

## COUNTY OF FAIRFAX, VIRGINIA

### SPECIAL PERMIT RESOLUTION OF THE BOARD OF ZONING APPEALS

LESLIE E. DOANE, SP 2012-PR-056 Appl. under Sect(s). 8-922 of the Zoning Ordinance to permit reduction of certain yard requirements to permit construction of accessory structure 5.0 ft. from side lot line. Located at 2903 Westcott St., Falls Church, 22042, on approx. 7,200 sq. ft. of land zoned R-4. Providence District. Tax Map 50-4 ((16)) 60. Mr. Hart moved that the Board of Zoning Appeals adopt the following resolution:

WHEREAS, the captioned application has been properly filed in accordance with the requirements of all applicable State and County Codes and with the by-laws of the Fairfax County Board of Zoning Appeals; and

WHEREAS, following proper notice to the public, a public hearing was held by the Board on November 28, 2012; and

WHEREAS, the Board has made the following findings of fact:

1. The applicant is the owner of the property.
2. The Board has a staff report recommending approval and adopts the rationale in the staff report.
3. This is a relatively modest structure in the back of the property.
4. It is consistent with what else is going on with detached garages or sheds in this neighborhood.
5. It appears to be an attractive structure compatible with the home and the neighborhood.
6. There would not be any significant negative impact on anyone based on the record before the Board.
7. The Board determined that the application meets all of the criteria in the Sect. 8-922 motion.

AND WHEREAS, the Board of Zoning Appeals has reached the following conclusions of law:

THAT the applicant has presented testimony indicating compliance with the general standards for Special Permit Uses as set forth in Sect. 8-006 and the additional standards for this use as contained in the Zoning Ordinance.

NOW, THEREFORE, BE IT RESOLVED that the subject application is **APPROVED** with the following limitations:

1. This special permit is approved for the location and size of an accessory structure (a garage), as shown on the plat prepared by Michael L. Flynn, Land Surveyor, dated May 2, 2012 as revised through August 15, 2011, as submitted with this application and is not transferable to other land.

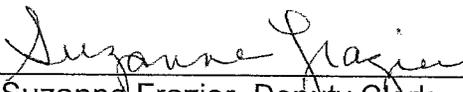
2. Every effort shall be made to protect offsite trees during construction of the garage and driveway. If needed the applicant shall hire a certified arborist to assess and make recommendations on tree protection measures.
3. If required by the Virginia Department of Transportation (VDOT), an entrance permit shall be obtained for the reconstruction of the entrance apron from Westcott Street and all requirements of VDOT shall be met prior to approval of final inspections for the detached garage.
4. The garage shall be generally consistent with the architectural renderings and materials as shown on Attachment 1 to these conditions.

This approval, contingent upon the above-noted conditions, shall not relieve the applicant from compliance with the provisions of any applicable ordinances, regulations or adopted standards.

Pursuant to Sect. 8-015 of the Zoning Ordinance, this special permit shall automatically expire, without notice, thirty (30) months after the date of approval unless construction has commenced and has been diligently prosecuted. The Board of Zoning Appeals may grant additional time to commence construction if a written request for additional time is filed with the Zoning Administrator prior to the date of expiration of the special permit. The request must specify the amount of additional time requested, the basis for the amount of time requested and an explanation of why additional time is required.

Ms. Gibb seconded the motion, which carried by a vote of 5-0. Mr. Smith and Mr. Beard were absent from the meeting.

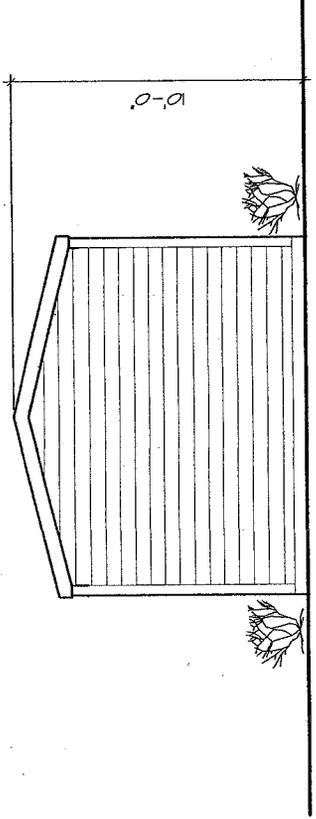
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Suzanne Frazier, Deputy Clerk  
Board of Zoning Appeals

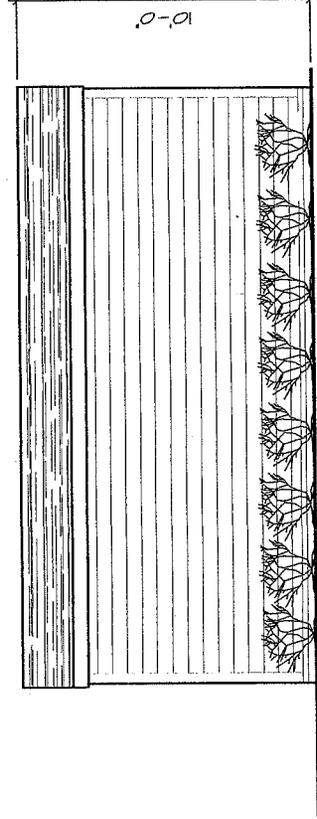
SP 2012-0146  
Leslie Doane  
2903 Westcott St  
Falls Church VA 22042

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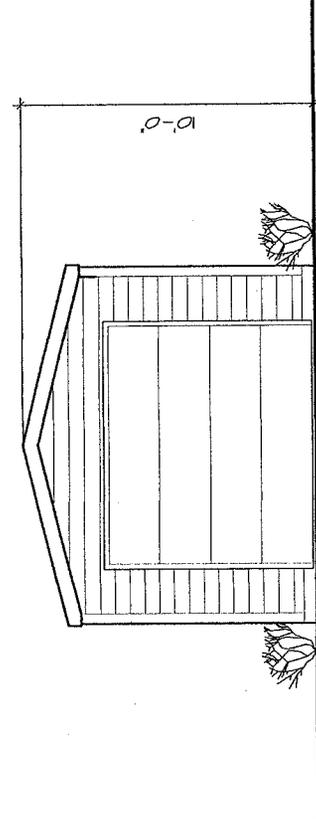
Zoning Evaluation Division



REAR ELEVATION  
1/4" = 1'-0"

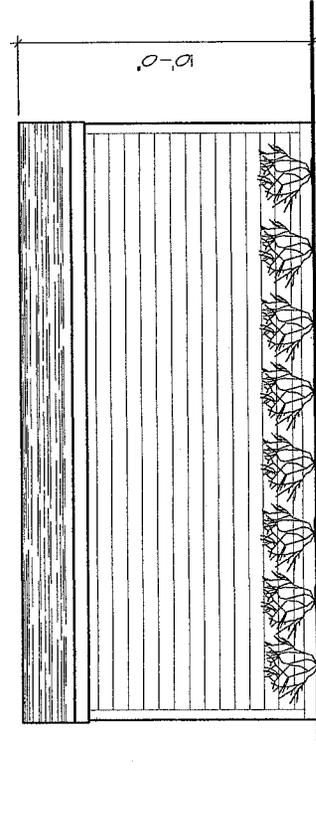


RIGHT ELEVATION  
1/4" = 1'-0"

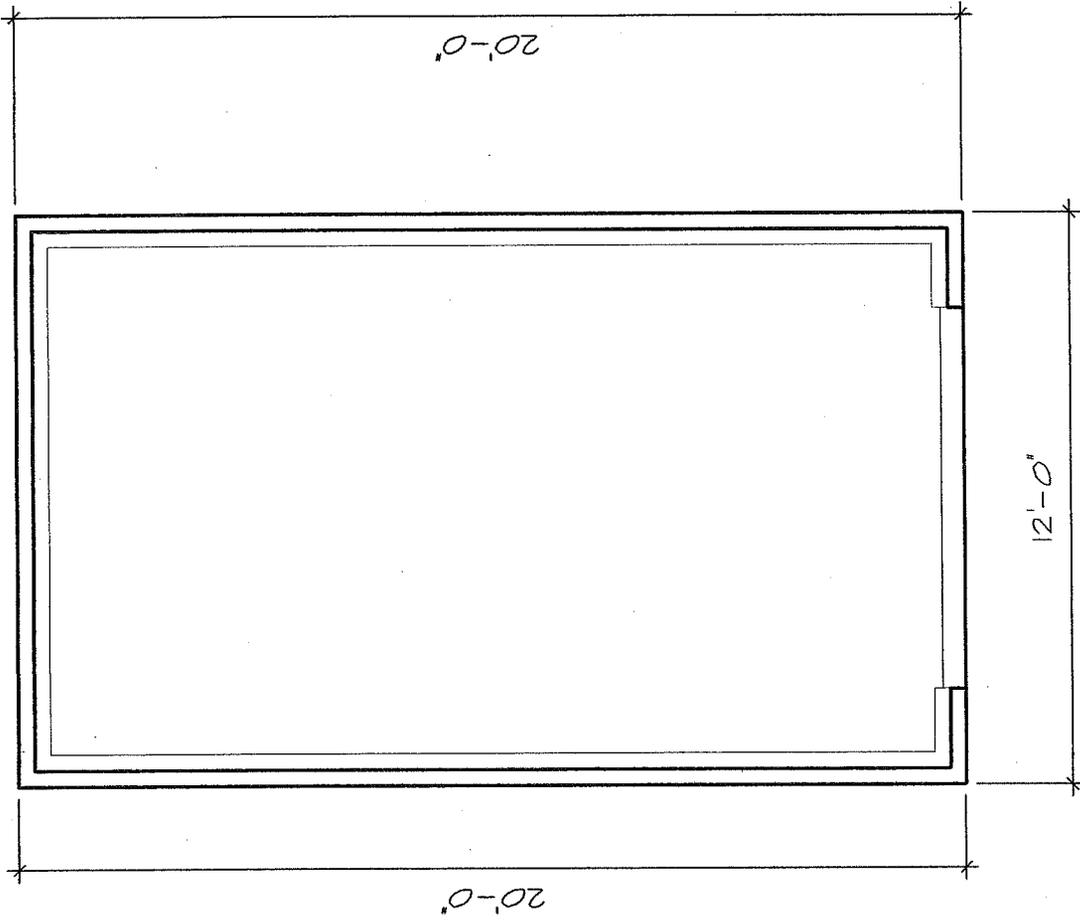


FRONT ELEVATION  
1/4" = 1'-0"

NOTE: NO  
OVERHANGS ON  
ROOF. ALL SIDES



LEFT ELEVATION  
1/4" = 1'-0"



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Department of Planning & Zoning  
AUG 03 2012  
Zoning Evaluation Division

FLOOR PLAN  
1/4" = 1'-0"