



**APPLICATION ACCEPTED:** October 12, 2012  
**PLANNING COMMISSION DECISION:** July 18, 2013  
**BOARD OF SUPERVISORS:** July 30, 2013

## County of Fairfax, Virginia

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July 10, 2013

### STAFF REPORT ADDENDUM

SE 2012-MA-018

### MASON DISTRICT

**APPLICANT:** Agape Health Management, Inc.

**ZONING:** R-2 (Residential, 2 du/ac)

**PARCELS:** 72-1 ((1)) 50A and 50B

**ACREAGE:** 2.94 acres

**FAR:** 0.13

**OPEN SPACE:** 40%

**PLAN MAP:** Institutional & Residential at 1-2 du/ac

**SE CATEGORY:** Category 3 – Child Care Center (Adult)

**PROPOSAL:** A special exception to permit a day care center for up to 150 adult participants within a building of approximately 23,622 square feet (sf) and to permit an associated office use within a separate single-family detached structure of approximately 4,060 sf.

### STAFF RECOMMENDATIONS:

Staff recommends approval of SE 2012-MA-018 subject to the proposed development conditions in Attachment 2.

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Joe Gorney

**Department of Planning and Zoning**  
Zoning Evaluation Division  
12055 Government Center Parkway, Suite 801  
Fairfax, Virginia 22035-5509  
Phone 703-324-1290 FAX 703-324-3924  
[www.fairfaxcounty.gov/dpz/](http://www.fairfaxcounty.gov/dpz/)



Staff recommends approval of a modification to the transitional screening and barrier requirements along the northeast, southeast, and southwest project boundaries in lieu of the alternatives as shown on the proposed plat and as conditioned.

It should be noted that it is not the intent of staff to recommend that the Board, in adopting any conditions offered by the owner, relieve the applicant/owner from compliance with the provisions of any applicable ordinances, regulations, or adopted standards.

It should be further noted that the content of this report reflects the analysis and recommendation of staff; it does not reflect the position of the Board of Supervisors.

The approval of this special exception does not interfere with, abrogate, or annul any easement, covenants, or other agreements between parties as they may apply to the property subject to this application.

For information, contact the Zoning Evaluation Division, Department of Planning and Zoning, 12055 Government Center Parkway, Suite 801, Fairfax, Virginia 22035-5505, (703) 324-1290.

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Americans with Disabilities Act (ADA): Reasonable accommodation is available upon 48 hours advance notice. For additional information on ADA call (703) 324-1334 or TTY 711 (Virginia Relay Center).

## **BACKGROUND AND DISCUSSION**

The applicant, Agape Health Management, Inc., requests approval of a special exception to permit a day care center for up to 150 adult participants within a building of approximately 23,622 square feet (sf) and to permit an associated office within a separate single-family detached house of 4,060 sf. The project site is comprised of two parcels, located at 6349 and 6453 Lincolnia Road, has a total area of 2.94 acres, and is contained within the Residential (R-2) Zoning District. After receiving a negative recommendation from staff and hearing concerns during the Planning Commission public hearing related to accessible open space; the location of the proposed day care center; transitional screening; barriers; tree preservation; and recommended plat edits, the applicant has made revisions to the Special Exception (SE) plat and agreed to revised development conditions. The following addendum to the original staff report summarizes prior concerns, reviews the new plan, and provides an updated staff recommendation.

### **Staff Report - April 23, 2013**

The staff report for SE 2012-MA-018 published on April 23, 2013 recommended denial of the application. While the report acknowledged that the proposed use could be an appropriate land use on the subject property and provide a valuable service to the surrounding community, staff found that the proposed use was of a design that was not in harmony with the Comprehensive Plan or the applicable Zoning Ordinance provisions. Specifically, staff found that the application did not adequately address concerns regarding the provision of accessible open spaces for supervised participant outdoor activities; compatibility with the surrounding uses; forest and stream valley resources; stormwater management; site remediation; heritage resources; or parking. Given the intensity of the proposed use, the specialized needs associated with it (as underscored by the Virginia Administrative Code), and the sensitivity of the site, more work was recommended to ensure consistency with the Virginia Administrative Code, the Comprehensive Plan, and the Zoning Ordinance. The demolition of various structures and the reconfiguration of parking afforded the applicant the opportunity to develop the site in a manner responsive to the needs of the participants; compatible with the surrounding community; and sensitive to the location. Proposed modifications to the transitional screening and barrier requirements were seen as inappropriate, as design changes could ameliorate the need for the modifications. Additionally, edits were recommended to the proposed plan set. Staff provided an alternative in the report, which recommended that the applicant shift the day care center building toward the center of the site, add fenced and programmed open spaces to the southeast of the day care center, and demolish the single-family detached structure while incorporating the desired office uses into the center.

### **Planning Commission Public Hearing - May 9, 2013**

At the public hearing, staff reiterated the concerns raised in the staff report.

The Planning Commission directed the applicant to consider changes to the special exception plat to address the outstanding concerns. The Planning Commission then deferred decision of the application to May 22, 2013. On May 22, 2013, the application was again deferred to July 18, 2013, to allow sufficient additional time for the applicant to address outstanding issues.

## **PROJECT CHANGES**

### **Open Space**

Issue: The Virginia Administrative Code requires the provision of accessible outdoor spaces for adult day care centers with appropriate seasonal outdoor furniture for supervised participant activities. The original application proposed approximately 1,500 sf of accessible outdoor spaces, including a courtyard and deck. These spaces equated to approximately 10 sf of usable outdoor space per participant. Staff recommended that the applicant increase the amount of accessible open space to 15,000 sf, which equates to 100 square feet per participant. To facilitate the creation of the open space, staff recommended that the day care center building be shifted to the northwest and that the existing single-family detached structure be demolished. Staff concluded that shifting the building would facilitate the design of a larger, more functional open space along the southeast property boundary at the same elevation as the upper level of the center. Such a location would have given participants access to the open space without the need to negotiate relatively long distances or a significant elevation change.

Resolution: In response to staff recommendations, the applicant has increased the amount of accessible open space from approximately 1,500 sf to approximately 17,000 sf. The proposed open space would be provided in a fenced area, generally wrapping around the southeast and southwest sides of the day care center.

The upper open space to the southeast of the center is readily available to participants, as it is roughly at the same elevation as the upper level of the building, which houses all participant activities. However, the topography drops approximately 12 feet from the southeast area to the lower southwest area. The difference in elevation could present an obstacle for mobility-impaired participants, owing to both the distance and the slope between areas. In response to these concerns, the applicant has shown that a path could be constructed between the areas that meets Americans with Disabilities Act (ADA) Standards for Accessible Design. Additionally, illustrative floor plans of the center show that the center would be equipped with an elevator, which would allow participants to access the lower level and, subsequently, the open space to the southwest of the center. Development conditions have been added to require access

from both the lower and upper levels of the day care center to the fenced open space and compliance with ADA Standards for Accessible Design for open space pathways. Additionally, development conditions would require a rigid fence surrounding the open space and the planting of trees and shrubs to block the view of arriving and departing vehicles, helping to preclude any unnecessary distress for participants.

## **Forest Resources**

The previously considered application had several outstanding issues associated with forest resources. These included tree canopy, invasive species management, and reforestation.

### **Tree Canopy**

Issue: Initially, the application contained various deficiencies regarding Ten-Year Canopy coverage, including the application of coverage to sparse areas and areas in fair to poor condition, inconsistencies between the Tree Canopy Worksheet and the vegetation identified on the Existing Vegetation Map, applying canopy credit to floodplain and storm drainage easements, the inappropriate application of canopy credit multipliers, depicting trees to be preserved within the limits of clearing and grading, and the use of existing trees within the limits of clearing and grading, adjacent to infrastructure being removed, and consisting of species that do not qualify for Ten-Year Canopy credit, for the interior parking lot landscaping requirement.

Resolution: In consultation with Urban Forest Management Division (UFMD) staff, the applicant has revised various elements of the plat, including easement locations; the limits of clearing and grading; notes regarding the removal of existing pavement; interior parking lot landscaping requirements; and canopy calculations. A development condition has been prepared to ensure that the Ten-Year Canopy requirement is met.

### **Invasive Species Management**

Issue: A large number of invasive species, such as English ivy, Japanese honeysuckle, multi-flora rose, wineberry, and grape vines, are present in large quantities that threaten the long-term health of the forest and, if left unattended, would not be eligible to receive Ten-Year Canopy credit without an invasive species management plan. However, the project did not commit to any specific invasive species management actions, other than noting that invasives would be managed.

Resolution: A development condition is proposed regarding an invasive species management plan in order to achieve the Ten-Year Tree Canopy and Tree Preservation Target requirements for the site.

## **Reforestation**

Issue: The applicant proposed reforestation planting in order to help meet BMP requirements in areas that were devoid of trees. However, the applicant did not propose reforestation planting in areas of the bottomland forest with sparse tree coverage, with trees in fair to poor health, or where there existed a large population of invasive plant species.

Resolution: In response to staff concerns, the applicant agreed to a reforestation plan for the Resource Protection Area (RPA), which provides seedling plantings in accordance with the Fairfax County Chesapeake Bay Preservation Ordinance to include an appropriate selection of native species based on existing and proposed site conditions, to restore the area to a native forest cover type. In addition to the reforestation with seedlings, a minimum of 10 overstory and 10 understory deciduous trees having a minimum one-inch caliper are to be provided.

## **Building Materials**

Issue: Building elevations had not been made part of the previously considered plat.

Resolution: The applicant has updated the plat to include building elevations. The development conditions have been updated to address the design and materials of the day care center. A development condition has been added, which requires that the associated single-family detached building (to be used as an office) be refinished in brick and/or Hardie board siding.

## **Heritage Resources**

Issue: The site contains a farmhouse constructed in 1915. Initially, staff recommended that the applicant investigate and document the 1915 structure with consideration of its reuse or the recovery and reuse of its component parts. Staff also learned that one of the previous occupants of the farmhouse lives near to the project site.

Resolution: While the applicant does not plan to recover or reuse the component parts of the farmhouse, the proposed development conditions have been modified to include provisions to require the applicant to attempt to interview the former occupant(s) of the farmhouse. Video and audio recordings of any interviews would be submitted to the Virginia Room of the Fairfax County Public Library and to the Department of Planning and Zoning.

## **Site Remediation**

Issue: The development of the site would entail the removal of asphalt paving in areas planned for the day care center and for planting. An area of parking lot paving and a portion of a 6-foot wide trail were installed within the critical root zone of the two willow

oaks to be preserved along the Lincolnia Road frontage. Previously considered development conditions did not address the removal of the pavement within the critical root zone of the willow oaks and would have required the expansion of the trail to a width of eight feet.

Resolution: The development condition has been updated to address the removal of pavement within the critical root zones of the willow oaks. Additionally, the existing 6-foot wide trail within the critical root zone of these trees would now remain in place to avoid further damage to the roots and in recognition of the lack of pedestrian connections on either of the adjacent properties along Lincolnia Road.

### **Trash Collection**

Issue: A previously proposed development condition stated that no trash collection would occur prior to 7:00 a.m. However, the condition did not address an evening limitation.

Resolution: The proposed development condition has been updated so that no trash collection would occur between the hours of 7:00 p.m. and 7:00 a.m.

## **ZONING ORDINANCE PROVISIONS**

### **Transitional Screening and Barrier Requirements Modification**

Transitional screening and barriers may be waived or modified by the Director in certain circumstances in accordance with Sect. 13-305 of the Zoning Ordinance. (The Director may attach conditions to any modification which would assure that the results of the modification would be in accordance with the purpose and intent of the Zoning Ordinance).

Initially, the applicant sought a modification to the transitional screening and barrier requirements. No transitional screening was proposed along the Lincolnia Road frontage and reduced transitional screening was proposed along the southeast property boundary. Staff did not support the request.

With the exception of the driveway entrance, driveway exit, and the existing trail, the application now includes transitional screening along the Lincolnia Road frontage. Additionally, the applicant has shifted the day care center toward the northwest and relocated all the parking originally proposed along the southeast side of the building to the northwest side of the building. These changes allow the applicant to expand the transitional screening along the southeast project boundary and create a significantly expanded area of accessible open space. The applicant has also committed to the restoration of the RPA and the removal of invasive plants. Restoration of the RPA, removal of invasive plants, and the preservation of existing healthy trees within the

stream valley corridor would enhance screening along the southeast and southwest project boundaries.

Based on these changes, staff recommends approval of a modification to the transitional screening and barrier requirements along the northeast, southeast, and southwest project boundaries in lieu of the alternatives as shown on the proposed plat and as conditioned.

### **General Special Exception Standards (§9-006)**

All special exception uses shall satisfy the following general standards:

*General Standard 1 requires that the proposed use at the specified location be in harmony with the adopted Comprehensive Plan.*

Previously staff acknowledged that the adult day care center might be reasonable at the subject site, but concluded that the proposal was not in harmony with the Comprehensive Plan due to the proximity of the day care center building to the southeastern project boundary, insufficient screening, insufficient open space for participants, and a lack of protection of forest resources. Given the changes discussed above, staff concludes that the proposed use is now in harmony with the Comprehensive Plan.

*General Standard 2 requires that the proposed use be in conformance with the general purpose and intent of the applicable zoning district regulations. The R-2 District permits child care centers as a special exception use. The plat and proposed development conditions have been updated to help ensure compatibility with the surrounding uses.*

*General Standard 3 requires that the proposed use be harmonious with and not adversely affect the use or development of neighboring properties in accordance with the applicable zoning district regulations and the adopted comprehensive plan. The location, size, and height of buildings, structures, walls, and fences, and the nature and extent of screening, buffering, and landscaping shall be such that the use will not hinder or discourage the appropriate development and use of adjacent or nearby land and/or buildings or impair the value thereof. Staff concludes that the proposed changes will help minimize the impact of the proposed facility on the neighboring properties.*

*General Standard 4 requires that the proposed use be such that pedestrian and vehicular traffic associated with such use will not be hazardous or conflict with the existing and anticipated traffic in the neighborhood.*

Access for the site is provided from Lincolnia Road. The applicant has provided information regarding trip generation and turning movements for the proposed use. Staff concurs with the applicant that left and right-turn lanes are not needed at this time. However, staff has proposed a development condition regarding right-of-way dedication along Lincolnia Road to be used in the event that additional right-of-way is required for

roadway improvements.

*General Standards 5, 6, and 7 require landscaping, screening, open space, adequate utility, drainage, parking, loading, and other necessary facilities to serve the proposed use to be regulated in accordance with the Zoning Ordinance.* The applicant has met the requirements of the Zoning Ordinance with regards to landscaping, screening, open space, and drainage.

*General Standard 8 states that signs shall be regulated by the provisions of Article 12 and that the Board may impose more strict requirements for a given use than those set forth in the Zoning Ordinance.* The applicant states that signage and their locations will be in conformance with Article 12 of the Zoning Ordinance. A development condition has been added to ensure that the requirements of Article 12 are met.

## **CONCLUSIONS AND RECOMMENDATIONS**

### **Staff Conclusions**

The adult day care center is considered a reasonable use of the property and may be expected to provide a valuable service to the surrounding community. Several changes have been made to the plat to help ensure that the site is developed in a manner responsive to the needs of the participants, compatible with the surrounding community, and sensitive to the location. These changes include the shifting of the center to the northwest; the relocation of parking; an expansion of the accessible open space; enhanced transitional screening; attention to forest resource requirements; a commitment to elevations and building materials; reforestation of the RPA; removal of invasive plants; and stream restoration.

Staff concludes that the proposed use is of a design that is in harmony with the Comprehensive Plan and meets the applicable Zoning Ordinance provisions.

### **Recommendations**

Staff recommends approval of SE 2012-MA-018, subject to the proposed development conditions in Attachment 2.

Staff recommends approval of a modification to the transitional screening and barrier requirements along the northeast, southeast, and southwest project boundaries in lieu of the alternatives as shown on the proposed plat and as conditioned.

It should be noted that it is not the intent of staff to recommend that the Board, in adopting any conditions offered by the owner, relieve the applicant/owner from compliance with the provisions of any applicable ordinances, regulations, or adopted standards. The approval of this application does not interfere with, abrogate, or annul

any easements, covenants, or other agreements between parties, as they may apply to the property subject to this application.

It should be further noted that the content of this report reflects the analysis and recommendations of staff; it does not reflect the position of the Board of Supervisors.

## **ATTACHMENTS**

1. Revised Special Exception Plat
2. Revised Development Conditions
3. UFMD Analysis
4. Applicant's Comment Response Letter
5. Revised Statement of Justification
6. Policy Excerpt

**GENERAL NOTES:**

- ALL CONSTRUCTION METHODS AND MATERIALS SHALL CONFORM TO THE CURRENT SPECIFICATIONS AND STANDARDS OF THE FAIRFAX COUNTY PUBLIC FACILITIES MANUAL, FAIRFAX COUNTY ZONING ORDINANCE, AND ANY OTHER APPLICABLE CODE, UNLESS OTHERWISE SPECIFIED.
- ANY PAVEMENT, DRIVEWAYS, WALKS, CURBS, LANDSCAPING, ETC., THAT MAY BE CUT OR THAT ARE DAMAGED DURING CONSTRUCTION SHALL BE REPLACED WITH MATCHING MATERIALS.
- WHEN MATERIALS WHICH ARE UNSUITABLE FOR FOUNDATIONS, SUBGRADES, OR PAVEMENT PURPOSES OCCUR WITHIN THE LIMITS OF BUILDING OR PAVEMENT CONSTRUCTION, THE CONTRACTOR SHALL EXCAVATE SUCH MATERIAL BELOW THE SUBGRADE SHOWN ON PLANS AND THE AREAS SO EXCAVATED SHALL BE BACKFILLED WITH APPROVED SUITABLE MATERIALS.
- TOPSOIL, SEED AND FERTILIZE ALL AREAS WITHIN THE PROJECT LIMITS NOT OCCUPIED BY STRUCTURES, PAVEMENT, OR SIDEWALKS, AND NOT DESIGNATED TO BE SODDED OR LANDSCAPED.
- NO ROADWAY LANE CLOSURES SHALL BE PERFORMED WITHOUT WRITTEN APPROVAL FROM FAIRFAX COUNTY. ALL TRAFFIC CONTROL SHALL COMPLY WITH M.U.T.C.D. AND THE VIRGINIA WORK AREA PROTECTION MANUAL, AS REQUIRED.
- PERMITS FROM THE LOCAL UTILITY AGENCIES FOR CONNECTION AND SERVICE TO UTILITIES SHALL BE OBTAINED. PERMITS FROM THE LOCAL TRANSPORTATION AUTHORITY THAT HAS JURISDICTION OVER THE ROADS THAT THIS PROJECT WILL BE CONNECTING INTO SHALL BE OBTAINED.

**GRADING AND DRAINAGE NOTES**

- PROVIDE TEMPORARY DRAINAGE AS REQUIRED DURING CONSTRUCTION.
- ALL PERMANENT SLOPES SHALL NOT EXCEED A MAXIMUM SLOPE OF 3:1, H:V. TEMPORARY SLOPES SHALL NOT EXCEED A MAXIMUM SLOPE OF 1.5:1. TEMPORARY SEEDING OR STABILIZATION SHALL BE REQUIRED WITHIN 7 DAYS OF CONSTRUCTION OF THE SLOPES.
- PIPE LENGTHS SHOWN FOR STORM DRAINAGE ARE FROM CENTER OF STRUCTURE TO CENTER OF STRUCTURE.
- TRANSITIONS IN GRADING SHALL BE SMOOTH ROUND CURVES.

**PAVEMENT AND CONCRETE NOTES**

- ALL CONCRETE SHALL BE CLASS "A3" AIR ENTRACTED (3000 P.S.I.) IN ACCORDANCE WITH THE VIRGINIA DEPARTMENT OF TRANSPORTATION ROAD AND BRIDGE SPECIFICATIONS. EXCEPT CONCRETE CURBS AND CURB/GUTTER SHALL BE 4,000 PSI.
- EXPANSION JOINTS IN CONCRETE PAVEMENT SHALL BE PROVIDED AROUND ALL BUILDINGS, JUNCTIONS, STRUCTURES OR FIXED OBSTRUCTIONS.
- ANY PAVEMENT, WALKS, ETC., THAT ARE CUT OR DAMAGED DURING CONSTRUCTION SHALL BE REPLACED WITH MATCHING MATERIAL.

**TREE PROTECTION NOTES**

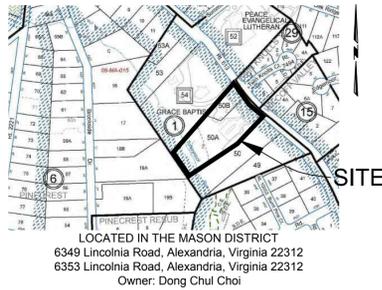
- TREES SELECTED FOR PRESERVATION ARE SHOWN ON THE TREE PRESERVATION PLAN AND SHALL BE CLEARLY MARKED IN THE FIELD.
- PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION, PROTECTION BARRIERS SHALL BE PLACED AROUND ALL TREES TO BE RETAINED ON THE SITE TO PREVENT THE DESTRUCTION OR DAMAGE OF THE TREES. THE TREE PROTECTION SHALL BE IN ACCORDANCE WITH THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK AND SHOULD BE LOCATED IN A CIRCULAR PATTERN AROUND THE TREE A MINIMUM DISTANCE EQUAL TO THE DRIP LINE OF THE TREE OR A MINIMUM OF 5' WHERE THE DRIP LINE IS LESS THAN 5'. MATERIALS SHALL NOT BE STOCKPILED WITHIN THIS DEFINED AREA AND VEHICLES AND OTHER EQUIPMENT SHALL BE OPERATED TO AVOID SOIL COMPACTION. THE ONLY EXCEPTION TO THIS REQUIREMENT WILL BE THOSE SPECIFICALLY ALLOWED BY THESE STANDARDS AND SPECIFICATIONS.
- BOARDS OR WIRES OF A NON-PROTECTIVE NATURE SHALL NOT BE NAILED OR ATTACHED TO TREES DURING CONSTRUCTION.
- HEAVY EQUIPMENT OPERATORS SHALL BE CAUTIONED TO AVOID DAMAGE TO EXISTING TREE TRUNKS AND ROOTS DURING LAND LEVELING OPERATIONS. FEEDER ROOTS SHOULD NOT BE CUT IN AN AREA EQUAL TO TWICE THE TREE DIAMETER (MEASURED 4 1/2" ABOVE GROUND LINE IN INCHES) EXPRESSED IN FEET (EXAMPLE: DIAMETER OF 10" WOULD HAVE A "NO CUT" ZONE OF 20" IN ALL DIRECTIONS FROM THE TREE). THIS SHALL APPLY TO DITCHING FOR UTILITY SERVICES, IF FEASIBLE. IN LIEU OF DITCHING, REROUTING OF UTILITIES OUTSIDE THE ROOT ZONE, OR JACKING CONDUIT THROUGH THE ROOT ZONE SHALL BE CONSIDERED.
- TREE TRUNKS AND EXPOSED ROOTS DAMAGED DURING EQUIPMENT OPERATIONS SHALL BE TREATED IN ACCORDANCE WITH CURRENT ARBORICULTURAL STANDARDS. DAMAGED TREE LIMBS SHALL BE CUT BACK TO THE NEXT LATERAL BRANCH OR PARENT STEM AT THE BRANCH COLLAR. CARE FOR SERIOUS INJURY SHALL BE PRESCRIBED BY A QUALIFIED ARBORIST SECURED BY THE CONTRACTOR.
- CRITERIA FOR REPLACING TREES DAMAGED DURING CONSTRUCTION: IF DESIRED TREES PROTECTED BY THE ABOVE MEANS ARE DAMAGED DURING CONSTRUCTION, THEY SHALL BE REPLACED BY TREES OF AT LEAST 2" CALIPER OF THE SAME SPECIES OF LIKE QUALITY AS SPECIFIED BY A QUALIFIED ARBORIST SECURED BY THE CONTRACTOR. REPLACEMENT TREES SHALL CONFORM TO THE LATEST EDITION OF THE AMERICAN STANDARD FOR NURSERY STOCK.
- EXCAVATION AND CONSTRUCTION IN CRITICAL ROOT ZONES SHALL BE BY HAND ONLY.

**UTILITY NOTES**

- PRIOR TO CONSTRUCTION OR EXCAVATION, THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL UNDERGROUND UTILITIES (PUBLIC OR PRIVATE) THAT MAY EXIST AND CROSS THROUGH THE AREA OF CONSTRUCTION THAT ARE NOT SHOWN ON THESE PLANS. BEFORE YOU DIG, CALL MISS UTILITY OF VIRGINIA AT 1-800-552-7001. THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPAIRING AT HIS EXPENSE ANY EXISTING UTILITY DAMAGED DURING CONSTRUCTION. LOCATIONS OF UNDERGROUND UTILITIES ARE APPROXIMATE. EXACT LOCATIONS SHALL BE VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION.
- THE RELOCATION OR ADJUSTMENT OF ANY OBSTRUCTIONS (POWER POLES, TELEPHONE PEDESTALS, GUY WIRES, WATER METER, ETC.) SHALL BE COORDINATED BY THE CONTRACTOR.
- THE RELOCATION OF ANY UTILITIES, AS A RESULT OF INTERFERENCE WITH PROPOSED CONSTRUCTION, SHALL BE COORDINATED BY THE CONTRACTOR.
- HAND EXCAVATE NEAR EXISTING UTILITIES.
- ALL WATER FACILITY CONSTRUCTION SHALL CONFIRM TO FAIRFAX COUNTY WATER AUTHORITY (FCWA) STANDARDS AND SPECIFICATIONS. NO WORK CAN BE COMPLETED ON EXISTING AND PROPOSED WATER FACILITIES UNTIL ALL EASEMENTS AND AGREEMENTS WITH FCWA ARE FINALIZED, EXECUTED AND RECORDED. DEVELOPER OR CONTRACTOR SHALL CONTACT FCWA AT 703-289-6317 TO OBTAIN AN APPROVED PROPOSAL AND PAY ALL REQUIRED FEES, PRIOR TO THE START OF CONSTRUCTION, DEMOLITION AND INSPECTION OF WATER FACILITIES, INCLUDING, BUT NOT LIMITED TO, WATER MAINS, FIRE HYDRANTS, DOMESTIC AND FIRE SERVICE LINES. ALL THE PROPOSED WET TAPS ON AN EXISTING WATER MAIN SHALL BE CONSTRUCTED BY FCWA.

Sheet List Table	
Sheet Number	Sheet Title
1	GENERAL NOTES & ABBREVIATIONS
2	EXISTING CONDITIONS
3	SITE PLAN
4	ARCHITECTURAL ELEVATIONS
5	STORM WATER MANAGEMENT
6	STORM WATER MANAGEMENT CALCULATIONS
7	TREE PRESERVATION PLAN
8	EXISTING VEGETATION MAP
9	LANDSCAPE PLAN
10	LANDSCAPE PLAN CALCULATIONS
11	LANDSCAPE NOTES AND DETAILS
12	PROJECT DOCUMENTS
13	SPECIAL EXCEPTION PLAT

VICINITY MAP SCALE: 1"=500'

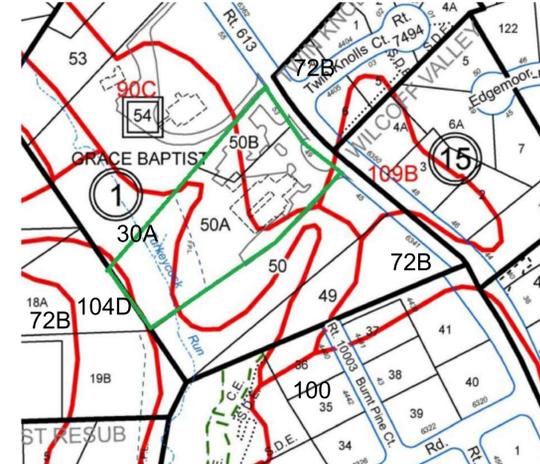


TAX MAP REFERENCE NUMBER(S)

MAP PAGE #	DOUBLE CIRCLE #	BLOCK (SINGLE CIRCLE #)	LOT/PARCEL(S) #
72-1	1		50A & 50B

\* THE PROPOSED PROJECT FOR THIS LOCATION IS A SPECIAL EXCEPTION USE UNDER FAIRFAX COUNTY ZONING ORDINANCE SECTION 3-204-3B.

SOILS MAP DATA SCALE: 1"=200'



SOIL ID NUMBERS	SOIL SERIES NAME	SOIL TYPE	FOUNDATION SUPPORT	SOIL DRAINAGE	TEXTURE	DEPTH (FT)	EROSION POTENTIAL	PROBLEM CLASS
30A	CODORUS AND HATBORO SOILS	D	POOR	POOR	SILT, LOAM, CLAY, SANDY	0-62	LOW	III
72B	KINGSTOWNE - SASSAFRAS - NEABSCO COMPLEX	D	FAIR	MARGINAL	CLAY, SANDY, LOAM,	0-72	LOW	IVB
90C	SASSAFRAS SANDY LOAM	B	GOOD	GOOD	FINE SANDY, LOAMY SAND, GRAVELLY SANDY LOAM	0-70	MEDIUM	I
100	URBAN LAND - KINGSTOWNE COMPLEX	D	FAIR	FAIR	SANDY CLAY LOAM, SILT LOAM	0-60	MEDIUM	IVB
104D	WHEATON - FAIRFAX COMPLEX	D	FAIR	GOOD	LOAM, FINE SANDY LOAM, SILT LOAM, CLAY LOAM	0-75	HIGH	IVB
109B	WOODSTOWN SANDY LOAM	C	MARGINAL	POOR	SANDY LOAM, LOAM, SILT LOAM	0-70	MEDIUM	IVA

**ATTACHMENT 1**

**TOPOGRAPHIC LEGEND**

BUILDING	[Symbol]
CONTOUR	[Symbol]
CONTOUR (INDEX)	[Symbol]
EDGE OF PAVEMENT	[Symbol]
FACE OF CURB	[Symbol]
FENCE	[Symbol]
GAS MAIN	[Symbol]
GUY WIRE	[Symbol]
OVERHEAD WIRES	[Symbol]
SANITARY SEWER	[Symbol]
SIDEWALK OR TRAIL	[Symbol]
STORM SEWER	[Symbol]
STREAM (OR POND) EDGE	[Symbol]
TREELINE	[Symbol]
U.G. ELECTRIC	[Symbol]
U.G. PHONE	[Symbol]
RETAINING WALL	[Symbol]
WATER MAIN	[Symbol]
WETLANDS	[Symbol]
ADJOINING THE PROPERTY	[Symbol]

**STANDARD ABBREVIATIONS**

ITEM	ABBREVIATION
CAST IRON PIPE	CIP
CLEARANCE	CLR
CLEANOUT	CO
CONCRETE	CONC
COPPER	Cu
CORRUGATED METAL PIPE	CMP
CORRUGATED PLASTIC PIPE	CPP
CURB AND GUTTER	C&G
DUCTILE IRON PIPE	DIP
DUMPSTER	D
EASEMENT	ESMT
EDGE OF PAVEMENT	EP
ELEVATION	ELEV
EXISTING	EX
FACE OF CURB	FC
FINISHED FLOOR ELEVATION	FF
FIRE HYDRANT	FH
FORCE MAIN	FM
GRADE	GRD
HEAVY DUTY CLEANOUT	HDCO
HEAD WATER	HW
MAXIMUM	MAX
MINIMUM	MIN
PAVEMENT	PVMT
PROPOSED	PROP
RAIN GARDEN	RG
RECYCLING DISPOSAL	R
REINFORCED CONCRETE PIPE	RCP
STREET NAME SIGN	SNS
SANITARY MANHOLE	MH
SIDEWALK	SW
STOP SIGN	SS
SANITARY SEWER	SAN SEW
SANITARY SEWER EASEMENT	SAN SEW ESMT
SHOULDER	SHLDR
STORM DRAINAGE EASEMENT	STM DRN ESMT
TRANSFORMER	T
WATER METER	METR
WATERLINE EASEMENT	WL ESMT
WATER SURFACE ELEVATION	WSE
WATERMAIN	WM
YEAR	YR

**PLAN LEGEND**

BOUNDARY	[Symbol]	ACCESSIBLE CURB RAMP	[Symbol]
BUILDING	[Symbol]	ACCESSIBLE PARKING SPACE	[Symbol]
CENTERLINE	[Symbol]	BOLLARD	[Symbol]
CLEARING & GRADING LIMITS	[Symbol]	END SECTION	[Symbol]
CONTOUR	[Symbol]	FIRE DEPARTMENT CONNECTION	[Symbol]
CURB (FACE)	[Symbol]	FIRE HYDRANT	[Symbol]
DRAINAGE DIVIDE	[Symbol]	FLOW DIRECTION ARROW	[Symbol]
EASEMENT (CONSERVATION)	[Symbol]	LIGHT (MISC.)	[Symbol]
EASEMENT (FLOODPLAIN)	[Symbol]	PARKING SPACE # LABEL	[Symbol]
EASEMENT (SANITARY)	[Symbol]	RIP-RAP	[Symbol]
EASEMENT (SIGHT DISTANCE)	[Symbol]	SANITARY MANHOLE	[Symbol]
EASEMENT (STORM)	[Symbol]	SANITARY MANHOLE LABEL	[Symbol]
EASEMENT (WATERLINE)	[Symbol]	SPOT ELEVATION	[Symbol]
EDGE OF PAVEMENT	[Symbol]	STORM BASEMANHOLE	[Symbol]
FENCE	[Symbol]	STORM STRUCTURE LABEL	[Symbol]
FLOODPLAIN	[Symbol]	TEST HOLE	[Symbol]
LOT LINE	[Symbol]	TEXT	[Symbol]
PARKING SPACE	[Symbol]	UTILITY POLE	[Symbol]
PAVEMENT	[Symbol]	UPPER CASE	[Symbol]
RETAINING WALL	[Symbol]	WATER FLOW ARROW	[Symbol]
SANITARY LATERAL	[Symbol]	WATER METER	[Symbol]
SANITARY SEWER	[Symbol]	WATER VALVE	[Symbol]
SIDEWALK HATCH	[Symbol]	WELL	[Symbol]
SIDEWALK OR TRAIL	[Symbol]	DUMPSTER CONTAINER	[Symbol]
SIGHT LINE	[Symbol]	RECYCLE CONTAINER	[Symbol]
STORM SEWER	[Symbol]	TRANSFORMER	[Symbol]
WATER MAIN	[Symbol]	PICNIC TABLE	[Symbol]
WATER SERVICE	[Symbol]		
YARD LINE	[Symbol]		
GAS MAIN	[Symbol]		
ELECTRIC	[Symbol]		

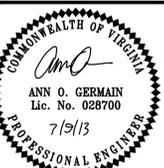
7	SE PLAN REVIEW	7/09/13
6	SE PLAN REVIEW	6/21/13
5	SE PLAN REVIEW	5/26/13
4	SE PLAN REVIEW	5/15/13
3	SE PLAN REVIEW	5/3/13
2	SE PLAN REVIEW	2/11/13
1	SE PLAN REVIEW	1/23/13



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AGAPE ADULT DAY  
HEALTH CARE CENTER  
MASON DISTRICT  
FAIRFAX COUNTY, VIRGINIA

GENERAL NOTES &  
ABBREVIATIONS



DATE: 09-12-2012  
FILE NO: ---  
DRN: LC  
CKD: AOG



EXISTING PARKING CONDITIONS:  
62 REGULAR SPACES AND 3  
HANDICAP SPACES.

PROPOSED PARKING TABULATION:

PARKING PROVIDED AS FOLLOWS, AS REQUESTED BY FAIRFAX COUNTY:

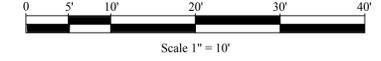
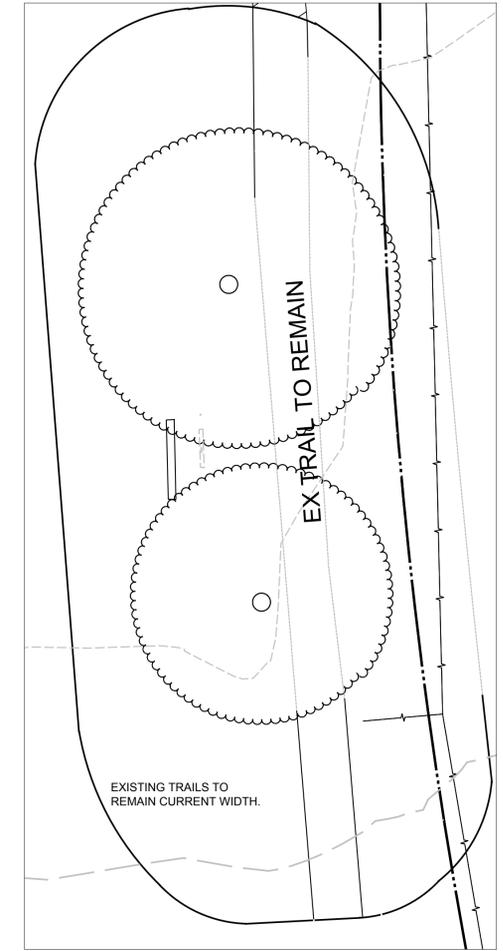
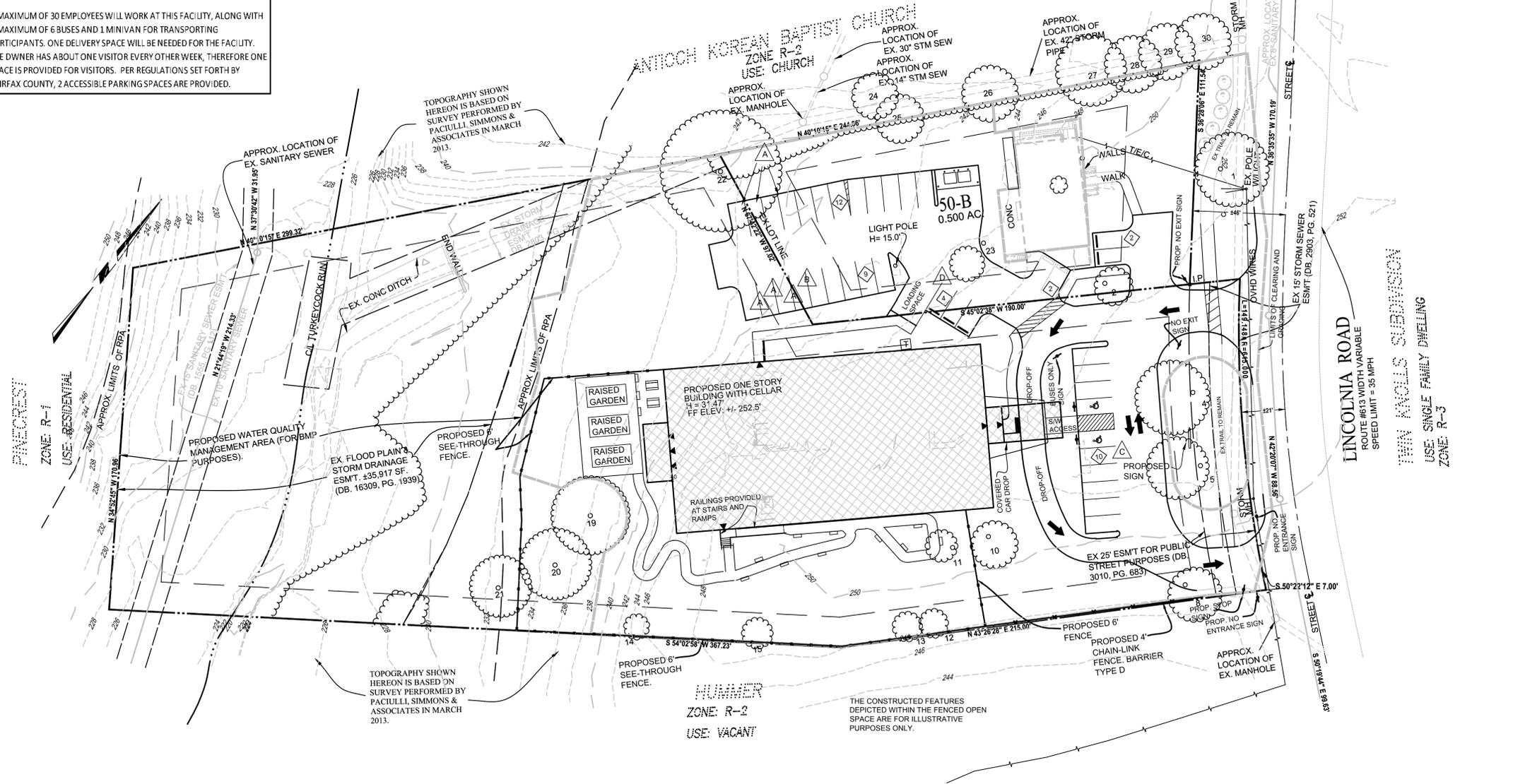
MAX # OF EMPLOYEES =	30
MAX # OF BUSES =	6
MINI VAN =	1
VISITORS =	1
DELIVERY =	1
<b>TOTAL =</b>	<b>39 SPACES REQUIRED BY FAIRFAX COUNTY</b>
<b>TOTAL NUMBER OF SPACES PROVIDED =</b>	<b>39</b>

A MAXIMUM OF 30 EMPLOYEES WILL WORK AT THIS FACILITY, ALONG WITH A MAXIMUM OF 6 BUSES AND 1 MINIVAN FOR TRANSPORTING PARTICIPANTS. ONE DELIVERY SPACE WILL BE NEEDED FOR THE FACILITY. THE DOWNER HAS ABOUT ONE VISITOR EVERY OTHER WEEK, THEREFORE ONE SPACE IS PROVIDED FOR VISITORS. PER REGULATIONS SET FORTH BY FAIRFAX COUNTY, 2 ACCESSIBLE PARKING SPACES ARE PROVIDED.

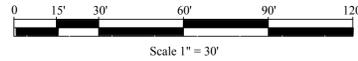
- A BUS PARKING
- B VAN PARKING
- C VISITOR PARKING
- D DELIVERY PARKING

STRIPING FOR THE PROPOSED PARKING SPACE LOCATIONS WILL BE IN ACCORDANCE WITH FAIRFAX COUNTY REGULATIONS AND STANDARDS.

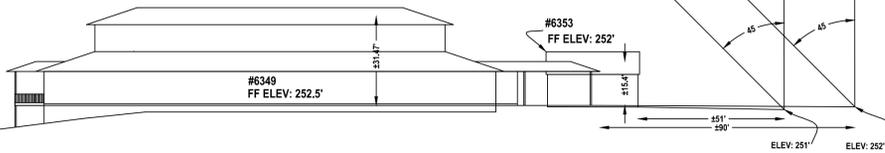
ACCESSIBLE PARKING SPACES SHALL BE IDENTIFIED BY SIGNAGE PER FAIRFAX COUNTY STANDARDS AND REGULATIONS SET FORTH IN THE PFM.



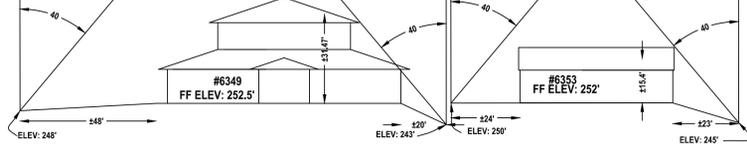
- NOTE:
- NO USE SHALL BE MADE OF, NOR SHALL ANY IMPROVEMENTS BE MADE IN, THE FLOODPLAIN EASEMENT WITHOUT SPECIFIC AUTHORIZATION FROM FAIRFAX COUNTY.
  - RAILINGS SHALL BE PROVIDED AT ALL EXIT PATHWAYS WHERE STAIRS AND/OR RAMP ARE LOCATED.
  - LOOPED SIDEWALK, LOCATED AT THE SOUTHEASTERN CORNER OF THE PROPOSED BUILDING, WILL BE USED TO PROVIDE PARTICIPANTS AND EMPLOYEES WITH AN OUTDOOR WALKING/SITTING AREA.
  - THE FENCED AREA LOCATED TO THE SOUTHWEST AND WEST OF THE DAY CARE CENTER SHALL BE CONSTRUCTED AS AN ACCESSIBLE OPEN SPACE FOR DAY CARE CENTER PARTICIPANTS SO THAT PARTICIPANTS HAVE OPPORTUNITIES FOR SUPERVISED OUTDOOR ACTIVITIES. THE AREA SHALL BE EQUIPPED WITH APPROPRIATE SEASONAL OUTDOOR FURNITURE. THE CONSTRUCTED FEATURES DEPICTED WITHIN THE FENCED OPEN SPACE ARE FOR ILLUSTRATIVE PURPOSES ONLY.
  - USABLE OPEN SPACE FOR PARTICIPANTS SHALL BE FENCED WITH 6' SEE-THROUGH FENCING. THE PROPOSED FENCE CAN BE MODIFIED TO MEET THE REQUIREMENT OF ZONING ORDINANCE SECTION 13-304.4F UPON REQUEST FROM THE URBAN FORESTRY DEPARTMENT. USEABLE OPEN SPACE AREA SHALL EXCEED THE MINIMUM REQUIREMENT OF 100 SF PER PARTICIPANT (A TOTAL MINIMUM OF 15,000 SF) AND BE ACCESSIBLE. USABLE OPEN SPACE DESIGN IS SUBJECT TO BMP AND IS ILLUSTRATIVE ONLY; IS SUBJECT TO CHANGES AT SITE PLAN.
  - THE RESIDENTIAL HOUSE WILL BE USED FOR ADMINISTRATIVE SUPPORT (E.G. STORAGE). THE MAIN BUILDING FOR THE PROPOSED PROJECT WILL BE USED AS AN ADULT DAY CARE FACILITY.
  - THERE ARE NO TURN LANES INTO THE FACILITY. TURN LANES WERE DEEMED UNNEEDED BY FDOT AND VDOT.
  - APPROXIMATE DISTANCES TO THE NEAREST INTERSECTIONS:
    - FROM PROPOSED ENTRANCE = 80 FT (TO THE NORTH)
    - FROM PROPOSED EXIT = 0.1 MI (TO THE SOUTH)
  - SEPARATION OF RECYCLED AND NON-RECYCLED MATERIAL WILL TAKE PLACE WITHIN THE FACILITY AND WILL BE DISPOSED OF IN THE PROPER WASTE BIN; LOCATIONS FOR WASTE BINS ARE INDICATED ON THIS SHEET.
    - WASTE CONTAINERS SHALL BE SCREENED BY BOARD-ON-BOARD ENCLOSURE.
    - COLLECTION OF FACILITY WASTE WILL BE CARRIED OUT BY FAIRFAX COUNTY.
  - BMP SHALL BE PROVIDED THROUGH A COMBINATION OF A REDUCTION IN IMPERVIOUS AREA, OPEN SPACE WATER QUALITY MANAGEMENT AREA, OR OTHER MEANS OF ACCEPTABLE MEASURES IN CONFORMANCE WITH STATE REGULATIONS AND PUBLIC FACILITY MANUAL STANDARDS AND REGULATIONS.



PROPOSED FRONT YARD ANGLE OF BULK PLANE



PROPOSED SIDE YARD ANGLE OF BULK PLANE

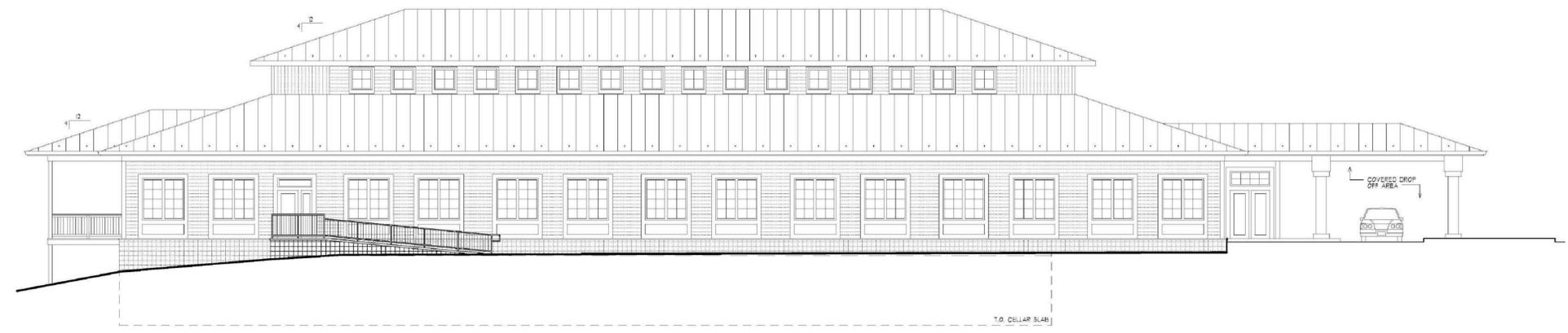
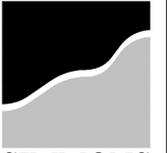


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 Environmental Scientists  
 Archaeologists

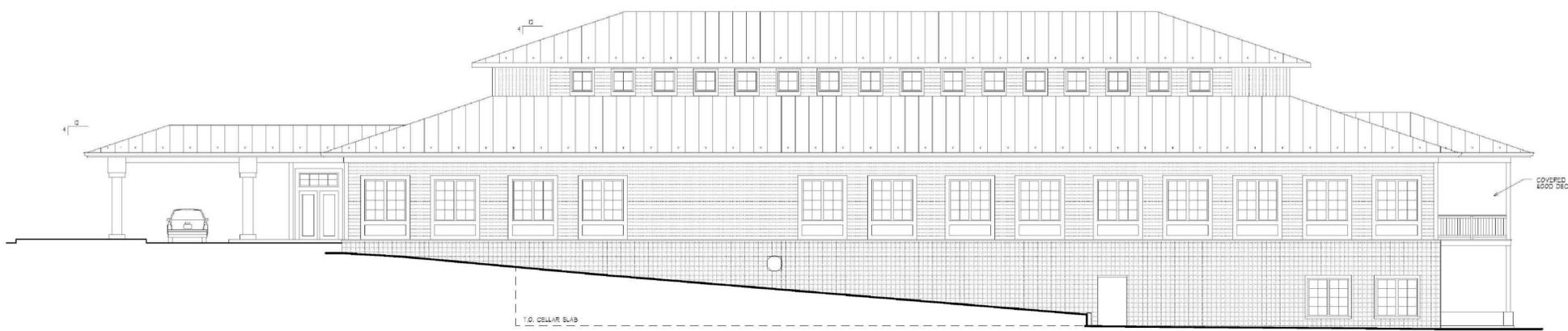
**AGAPE ADULT DAY  
HEALTH CARE CENTER**  
 MASON DISTRICT  
 FAIRFAX COUNTY, VIRGINIA

**SITE PLAN**

COMMONWEALTH OF VIRGINIA  
  
**ANN O. GERMAIN**  
 Lic. No. 028700  
 7/9/13  
 PROFESSIONAL ENGINEER



4 SOUTH ELEVATION  
1/8" = 1'-0"



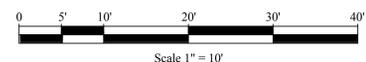
3 NORTH ELEVATION  
1/8" = 1'-0"



2 WEST ELEVATION  
1/8" = 1'-0"



1 EAST ELEVATION (FACING LINCOLNIA RD)  
1/8" = 1'-0"



**OUTFALL NARRATIVE**

THIS SITE IS LOCATED ON LINCOLNIA ROAD (ROUTE 613) ON TAX MAP 72-1-(11)-50A & 50B. THE EXISTING SITE CURRENTLY CONTAINS A ONE-STORY BRICK AND FRAME GARAGE, ONE-STORY BRICK AND FRAME BUILDING, AND A TWO-STORY FRAME BUILDING WITH DENSE VEGETATION ALONG THE BACK PORTION OF THE SITE. THE TOTAL APPROXIMATE AREA OF THE TWO PROPERTIES IS 2.9354 ACRES, WITH 50A HAVING 2.4354 ACRES AND 50B HAVING 0.5 ACRES. LAND GENERALLY SLOPES FROM THE FRONT TO THE BACK OF THE SITE AT AN AVERAGE SLOPE OF 5.5% TO THE BED AND BANKS OF TURKEYCOCK RUN.

ALL OF THE DRAINAGE FROM THE 2.9354 ACRE SITE SHEET FLOWS DIRECTLY TO THE TURKEYCOCK RUN FLOODPLAIN, WHICH RUNS ACROSS THE REAR OF THE SITE, FROM NORTH TO SOUTH, IN AN EXISTING FLOODPLAIN AND STORM DRAINAGE EASEMENT (DB 16309, PG 1939). DRAINAGE LEAVES THE SITE WITHIN THE BED AND BANKS CHANNEL OF TURKEYCOCK RUN; AN EXISTING OPEN, INCISED CHANNEL. A FIELD INVESTIGATION OF EXISTING OUTFALL CONDITIONS WAS CONDUCTED FOR THE APPROXIMATE 3355 FEET OF TURKEYCOCK RUN, FROM THE UPSTREAM BOUNDARY OF THE SUBJECT SITE TO A DOWNSTREAM POINT WHERE THE DRAINAGE AREA IS AT LEAST 293.54 ACRES (100 TIMES THE SITE AREA IN ACCORDANCE WITH SPECIAL EXCEPTION PLAT SUBMISSION REQUIREMENTS).

IMAGE 1 DEPICTS THE FIRST CONFLUENCE. THE CONFLUENCE IS LOCATED ON THE SUBJECT PROPERTY; THE BEGINNING OF THE FIELD INVESTIGATION. THE PHOTO WAS TAKEN FACING UPSTREAM. THE BANKS OF THE CHANNEL ARE VEGETATED WITH LITTLE EROSION. THE BED OF THE CHANNEL IS COMPOSED OF SMALL ROCKS AND THERE IS VERY LITTLE DEBRIS INTERFERING WITH FLOW. THE TOTAL DRAINAGE AREA AT THIS POINT IS 256.41 AC.



IMAGE 1

IMAGE 2 DEPICTS AN ADJACENT STREAM THAT MEETS WITH TURKEYCOCK RUN; THE OFF-SITE FIRST CONFLUENCE, APPROXIMATELY 210 FEET DOWNSTREAM OF THE SITE. THE PHOTO WAS TAKEN FACING DOWNSTREAM (TOWARD THE INTERSECTION WITH TURKEYCOCK RUN).



IMAGE 2

IMAGE 3 WAS TAKEN APPROXIMATELY 80 FEET DOWNSTREAM FROM IMAGE 2. IMAGE 3 IS FACING DOWNSTREAM AND SHOWS SLIGHT EROSION OF THE CHANNEL BANKS, EXPOSING THE ROOTS OF NEARBY VEGETATION. THE BED OF THE CHANNEL IS LAYERED WITH ROCKS. FLOW IS SLOW, BUT NOT STAGNANT. AT THIS LOCATION ALONG THE CHANNEL, THE TOTAL DRAINAGE AREA AT THIS POINT IS 263.67 AC.



IMAGE 3

THERE IS APPROXIMATELY 2967 FEET OF CHANNEL BETWEEN THE LOCATION OF IMAGE 3 AND IMAGE 4 THAT IS LOCATED ON PRIVATE PROPERTY AND THEREFORE INACCESSIBLE. IMAGE 4 IS FACING UPSTREAM AND IS LOCATED ON THE WESTBOUND SIDE OF LITTLE RIVER TURNPIKE, THE NEXT CLOSEST ACCESSIBLE POINT DOWNSTREAM. VEGETATION ALONG THE BANKS OF THE STREAM PREVENTS EROSION. DEBRIS INTERFERES WITH CHANNEL FLOW BUT DOES NOT IMPEDE FLOW TO THE POINT WHERE IT BECOMES STAGNANT. THE TOTAL DRAINAGE AREA AT THIS LOCATION IS APPROXIMATELY 300.59 AC. THIS LOCATION MARKS THE END OF THE FIELD INVESTIGATION.



IMAGE 4

IMAGE 5 BELOW SHOWS THE PATH OF THE FIELD INVESTIGATION.



IMAGE 5

AFTER DEVELOPMENT OF THE SITE, DRAINAGE WILL CONTINUE ALONG THE SAME PATH. POST-DEVELOPMENT, THE IMPERVIOUS AREA WILL BE REDUCED DUE TO THE REMOVAL OF THE ONE-STORY BRICK & FRAME GARAGE, A PORTION OF THE PARKING AREA, AND THE BASKETBALL COURT THEREBY REDUCING THE AMOUNT OF SHEET FLOW FROM THE SITE. DOWNSTREAM, ALONG TURKEYCOCK RUN FROM FIELD INVESTIGATION, IT APPEARS THAT RUNOFF IS ADEQUATELY CONVEYED.

IN CONCLUSION, ADEQUATE OUTFALL REQUIREMENTS OF THE PUBLIC FACILITIES MANUAL WILL BE SATISFIED FOR THIS SITE BASED ON THE FOLLOWING REASONS:

THE SURFACE WATERS ARE EFFECTIVELY CONVEYED INTO AN EXISTING WATERCOURSE.

IMPERVIOUS SURFACES ARE REDUCED SO THAT THE PEAK RATES OF RUNOFF AND RUNOFF VOLUME ARE REDUCED FROM PRE-DEVELOPMENT TO POST-DEVELOPMENT. IF COMPUTATIONS AND SURVEYED CROSS SECTIONS SHOW THAT THE 2 YEAR VELOCITY IN THE EXISTING CHANNEL IS EXCESSIVE, THE REDUCTION IN RUNOFF WILL PROVIDE THE REQUIRED PROPORTIONAL IMPROVEMENT USING THE CRITICAL SHEAR STRESS METHOD. IF COMPUTATIONS AND SURVEYED CROSS SECTIONS SHOW THAT THE CHANNEL CAPACITY IS INADEQUATE, THE REDUCTION IN RUNOFF WILL PROVIDE THE REQUIRED PROPORTIONAL IMPROVEMENT USING THE CHANNEL CAPACITY METHOD.

THE DRAINAGE VOLUME WILL BE REDUCED AND WILL NOT HAVE AN ADVERSE EFFECT ON THE DOWNSTREAM PROPERTIES.

**STORMWATER MANAGEMENT NARRATIVE**

THIS SITE IS LOCATED ON LINCOLNIA ROAD (ROUTE 613) ON TAX MAP 72-1-(11)-50A & 50B. THE SITE CURRENTLY CONTAINS THREE BUILDINGS, ASPHALT PARKING AND AN ASPHALT BASKETBALL COURT. THE BACK PORTION OF THE SITE IS WOODED FLOODPLAIN. THE TOTAL APPROXIMATE AREA OF THE TWO PROPERTIES IS 2.9354 ACRES, WITH PARCEL 50A MEASURING 2.4354 ACRES AND 50B MEASURING 0.5 ACRES. THE SITE GENERALLY SLOPES FROM THE FRONT TO THE BACK, NORTHEAST TO SOUTHWEST, WITH AN AVERAGE SLOPE OF 5.5% TO THE BANKS OF TURKEYCOCK RUN. TURKEYCOCK RUN FLOWS ACROSS THE REAR OF THE SITE, FROM NORTH TO SOUTH, IN AN EXISTING FLOODPLAIN AND STORM DRAINAGE EASEMENT (DB 16309, PG 1939).

DRAINAGE PATTERNS AFTER DEVELOPMENT WILL CONTINUE TO FOLLOW THE PRE-DEVELOPMENT PATTERNS. THE IMPERVIOUS AREA WILL BE REDUCED FOR THE POST-DEVELOPMENT CONDITION AS COMPARED TO THE EXISTING CONDITION DUE TO THE REMOVAL OF THE ONE-STORY BRICK & FRAME GARAGE, THE BASKETBALL COURT AND A PORTION OF THE PARKING AREA.

THE SUBJECT PROPERTY IS CONSIDERED TO BE RE-DEVELOPMENT IN ACCORDANCE WITH PFM SECTION 6-0401.2D. IMPERVIOUS SURFACE AREA ON THE SITE WILL BE REDUCED BY THE RE-DEVELOPMENT SUCH THAT THE POST-DEVELOPMENT PEAK FLOWS FOR RUNOFF FROM THE SITE WILL BE REDUCED BELOW PRE-DEVELOPMENT RATES (SEE CALCULATIONS BELOW). THE TIME OF CONCENTRATION WILL REMAIN CONSTANT DUE TO THERE BEING NO DEVELOPMENTS WITHIN THE PATH OF RUNOFF FROM THE MOST REMOTE POINT TO AN OUTLET.

A SUMMARY OF THE PRE AND POST DEVELOPMENT SITE CONDITIONS IS LISTED BELOW:

	PRE - DEVELOPMENT	POST - DEVELOPMENT
<b>IMPERVIOUS AREA C=0.9</b>	1.21 AC	0.95 AC
<b>PERVIOUS AREA C=0.2</b>	1.73 AC	1.99 AC
<b>WEIGHTED C VALUE</b>	0.49	0.43
<b>TIME OF CONC. (tc)</b>	3.74 MIN (USE 5 MIN)	3.74 MIN (USE 5 MIN)
<b>Q<sub>2</sub> (I=5.45)</b>	7.85 CFS	6.83 CFS
<b>Q<sub>10</sub> (I=7.27)</b>	10.47 CFS	9.11 CFS

AS A RE-DEVELOPMENT SITE LOCATED OUTSIDE OF THE WATER SUPPLY PROTECTION OVERLAY DISTRICT, BEST MANAGEMENT PRACTICES MUST BE PROVIDED TO MEET A 20% REDUCTION IN NON-POINT SOURCE POLLUTION, TO A MAXIMUM OF 40%. THE 0.819 ACRES OF LAND WITHIN THE FLOODPLAIN EASEMENT WILL BE DESIGNED AS OPEN SPACE FOR BMP CREDIT. AN RPA RE-DELINEATION WILL BE PERFORMED, AND AREA WITHIN THE RPA, BUT OUTSIDE THE FLOODPLAIN, WILL BE PLACED IN A CONSERVATION EASEMENT FOR BMP OPEN SPACE CREDIT.

THE NON-VEGETATED AREAS WITHIN THE FLOODPLAIN EASEMENT AND CONSERVATION EASEMENT WILL BE PLANTED IN ACCORDANCE WITH CHESAPEAKE BAY REGULATIONS FOR RPA RESTORATION IF NEEDED FOR 10-YEAR TREE CANOPY REQUIREMENTS. AREA DISTURBED FOR REMOVAL OF THE EXISTING BASKETBALL COURT WITHIN THE RPA WILL BE PLANTED IN ACCORDANCE WITH CHESAPEAKE BAY REGULATIONS FOR RPA RESTORATION.

**OVERLAND RELIEF NARRATIVE**

DRAINAGE PATTERNS AFTER DEVELOPMENT WILL CONTINUE TO FOLLOW THE PRE-DEVELOPMENT PATTERNS; THERE WILL BE NO DISTURBANCE OF THE CURRENT, SUFFICIENT, DRAINAGE PATTERNS. THE IMPERVIOUS AREA WILL BE REDUCED FOR THE POST-DEVELOPMENT CONDITION AS COMPARED TO THE EXISTING CONDITION DUE TO THE REMOVAL OF THE ONE-STORY BRICK & FRAME GARAGE, THE BASKETBALL COURT AND A PORTION OF THE PARKING AREA.

	PRE-DEVELOPMENT		POST-DEVELOPMENT	
	SF	AC	SF	AC
<b>IMPERVIOUS</b>	52707.6	1.21	41382	0.95
<b>PERVIOUS</b>	75358.8	1.73	86634.4	1.99
<b>TOTAL</b>	128066.4	2.94	128066.4	2.94

**% IMPERVIOUS (PRE) = 41.16%**

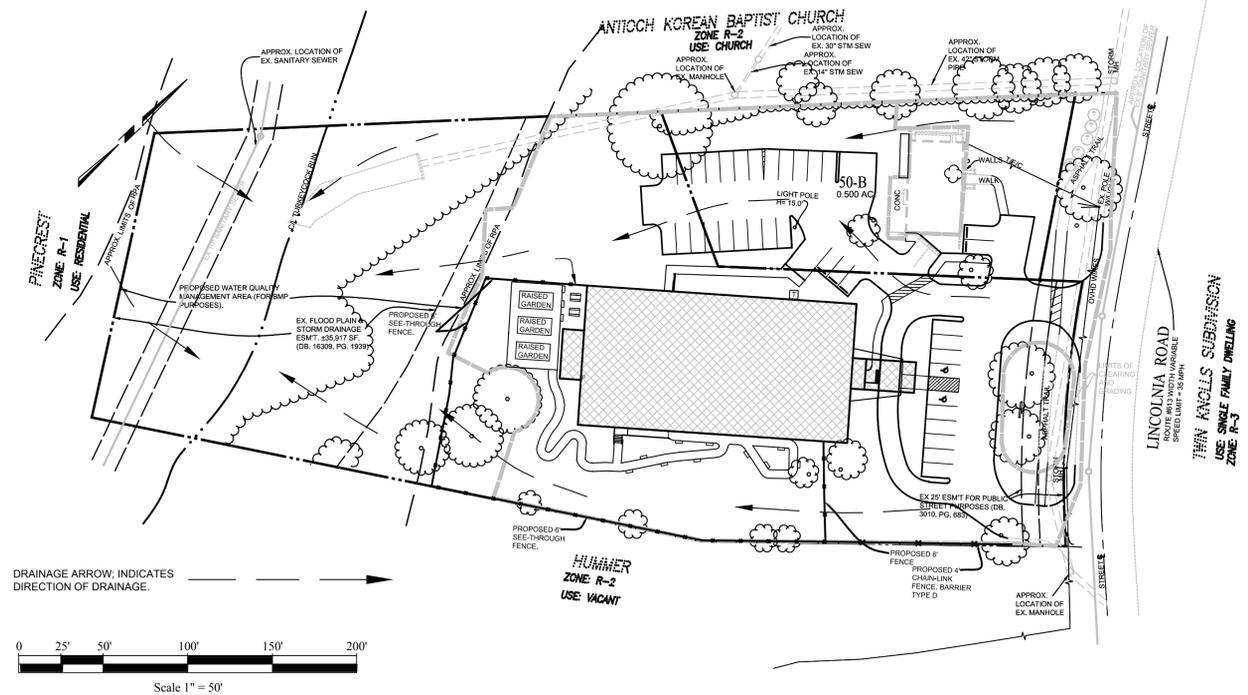
**% IMPERVIOUS (POST) = 32.31%**

**% PERVIOUS (PRE) = 58.84%**

**% PERVIOUS (POST) = 67.69%**

NOTE:

1. THE DRAINAGE PATTERNS FROM PRE-DEVELOPMENT TO POST-DEVELOPMENT CONDITIONS DO NOT CHANGE.
2. THE APPLICANT WILL ADHERE TO THE STREAM RESTORATION DEVELOPMENT CONDITIONS FOR THE PORTION OF THE STREAM THAT IS LOCATED ON THE PROJECT SITE.



**Post-Development Project & Land Cover Information**

<b>Constants</b>	
Annual Rainfall (inches)	43
Target Rainfall Event (inches)	1.00
Phosphorus EMC (mg/L)	0.26
Target Phosphorus Target Load (lb/acre/yr)	0.41
Pj	0.90
	Nitrogen EMC (mg/L) 1.86

<b>Pre-Development Land Cover (acres)</b>					
	<b>A soils</b>	<b>B Soils</b>	<b>C Soils</b>	<b>D Soils</b>	<b>Totals</b>
Forest/Open Space (acres) – undisturbed, protected forest/open space or reforested land	0.00	0.04	0.00	0.61	0.65
Managed Turf (acres) – disturbed, graded for yards or other turf to be moved/managed	0.00	0.75	0.00	0.33	1.08
Impervious Cover (acres)	0.00	0.26	0.00	0.95	1.21
	<b>Total</b>				2.94

<b>Post-Development Land Cover (acres)</b>					
	<b>A soils</b>	<b>B Soils</b>	<b>C Soils</b>	<b>D Soils</b>	<b>Totals</b>
Forest/Open Space (acres) – undisturbed, protected forest/open space or reforested land	0.00	0.04	0.00	0.61	0.65
Managed Turf (acres) – disturbed, graded for yards or other turf to be moved/managed	0.00	0.71	0.00	0.59	1.30
Impervious Cover (acres)	0.00	0.30	0.00	0.69	0.99
	<b>Total</b>				2.94

<b>Rv Coefficients</b>					
	<b>A soils</b>	<b>B Soils</b>	<b>C Soils</b>	<b>D Soils</b>	
Forest/Open Space	0.02	0.03	0.04	0.05	
Managed Turf	0.15	0.20	0.22	0.25	
Impervious Cover	0.95	0.95	0.95	0.95	

<b>Land Cover Summary Pre-Development</b>		<b>Land Cover Summary Post-Development</b>	
Forest/Open Space Cover (acres)	0.65	Forest/Open Space Cover (acres)	0.65
Weighted Rv(forest)	0.05	Weighted Rv(forest)	0.05
% Forest	22%	% Forest	22%
Managed Turf Cover (acres)	1.08	Managed Turf Cover (acres)	1.30
Weighted Rv(turf)	0.22	Weighted Rv(turf)	0.22
% Managed Turf	37%	% Managed Turf	44%
Impervious Cover (acres)	1.21	Impervious Cover (acres)	0.99
Rv(impervious)	0.95	Rv(impervious)	0.95
% Impervious	41%	% Impervious	34%
<b>Total Site Area (acres)</b>	<b>2.94</b>	<b>Total Site Area (acres)</b>	<b>2.94</b>
<b>Site Rv</b>	<b>0.48</b>	<b>Site Rv</b>	<b>0.43</b>
Pre-Development Treatment Volume (acre-ft)	0.1178	Post-Development Treatment Volume (acre-ft)	0.1051
Pre-Development Treatment Volume (cubic feet)	5,132	Post-Development Treatment Volume (cubic feet)	4,580
Pre-Development Load (TP) (lb/yr)	3.22	Post-Development Load (TP) (lb/yr)	2.88
	Maximum % Reduction Required Below Pre-Development Load		20%
	<b>Total Load (TP) Reduction Required (lb/yr)</b>		<b>0.30</b>
Pre-Development Load (TN) (lb/yr)	23.07	Post-Development Load (TN) (lb/yr)	20.59

<b>Drainage Area A Land Cover (acres)</b>					
	<b>A soils</b>	<b>B Soils</b>	<b>C Soils</b>	<b>D Soils</b>	<b>Totals</b>
Forest/Open Space (acres) – undisturbed, protected forest/open space or reforested land	0.00	0.04	0.00	0.61	0.65
Managed Turf (acres) – disturbed, graded for yards or other turf to be moved/managed	0.00	0.71	0.00	0.59	1.30
Impervious Cover (acres)	0.00	0.30	0.00	0.69	0.99
	<b>Total</b>				2.94

Credit	Unit	Description of Credit	Credit	Credit Area (acres)	Volume from Upstream RR Practice (cf)	Runoff Reduction (cf)	Remaining Runoff Volume (cf)	Phosphorus Efficiency (%)	Phosphorus Load from Upstream RR Practices (lbs)	Untreated Phosphorus Load to Practice (lbs.)	Phosphorus Removed By Practice (lbs.)	Remaining Phosphorus Load (lbs.)	Downstream Treatment to be Employed
<b>9. Sheetflow to Filter/Open Space</b>													
9.a. Sheetflow to Conservation Area with A/B Soils (Spec #2)	impervious acres draining to conserved open space	75% runoff volume reduction for treated area	0.75	0.36	0	931	310	0	0.00	0.78	0.58	0.19	
	turf acres draining to conserved open space	75% runoff volume reduction for treated area	0.75	0.71	0	416	139	0	0.00	0.35	0.26	0.09	
9.b. Sheetflow to Conservation Area with C/D Soils (Spec #2)	impervious acres draining to conserved open space	50% runoff volume reduction for treated area	0.50	0.59	0	1017	1017	0	0.00	1.28	0.64	0.64	
	turf acres draining to conserved open space	50% runoff reduction volume for treated area	0.50	0.46	0	180	180	0	0.00	0.23	0.11	0.11	
9.c. Sheetflow to Vegetated Filter Strip in A Soils or Compost Amended B/C/D Soils (Spec #2 & #4)	impervious acres draining to conserved open space	50% runoff volume reduction for treated area	0.50	0.00	0	0	0	0	0.00	0.00	0.00	0.00	
	turf acres draining to conserved open space	50% runoff reduction volume for treated area	0.50	0.00	0	0	0	0	0.00	0.00	0.00	0.00	

<b>Site Results Phosphorous</b>	
TOTAL PHOSPHOROUS LOAD REDUCTION REQUIRED (LB/YEAR)	0.30
RUNOFF REDUCTION (cf)	2544
PHOSPHOROUS LOAD REDUCTION ACHIEVED (LB/YR)	1.60
ADJUSTED POST-DEVELOPMENT PHOSPHOROUS LOAD (TP) (lb/yr)	1.28
REMAINING PHOSPHOROUS LOAD REDUCTION (LB/YR) NEEDED	CONGRATULATIONS!! YOU EXCEEDED THE TARGET REDUCTION BY 1.3 LB/YEAR!!

**PACIULLI**

**SIMMONS & ASSOCIATES**

3975 Fair Ridge Drive  
Suite 300 South  
Fairfax, VA 22033  
PH 703.934.0900  
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EM fairfax@psaltd.com

Engineers  
Planners  
Surveyors  
Landscape Architects  
Wetland Specialists  
Environmental Scientists  
Archaeologists

**AGAPE ADULT DAY HEALTH CARE CENTER**

MASON DISTRICT  
FAIRFAX COUNTY, VIRGINIA

**STORM WATER MANAGEMENT CALCULATIONS**

ANN O. GERMAIN  
Lic. No. 028700  
7/9/13  
PROFESSIONAL ENGINEER

DATE: 09-12-2012  
FILE NO: ----  
DRN: LC  
CKD: AOG  
SHEET 6 OF 13

Plan Name:	AGAPE ADULT DAY HEALTH CARE CENTER	Plan #	SE2012-MA-018
<b>Table 12.10 10-year Tree Canopy Calculation Worksheet</b>			
<b>Step</b>	<b>Totals</b>	<b>Reference</b>	
<b>A. Table 12.3 Tree Preservation Target Calculations and Statement</b>			
A	Pre-development area of existing tree canopy (from Existing Vegetation Map)=	33,661.000	—
B	Percentage of gross site area covered by existing tree canopy =	26.33%	
C	Percentage of 10-year tree canopy required for site (see Table 12.4)=	30.00%	
D	Proposed percentage of canopy requirement that should be met through tree preservation =	26.33%	
E	Proposed percentage of canopy requirement that will be met through tree preservation =	58.10%	
F	Has the Tree Preservation Target minimum been met?	Yes	Yes or No
G	If No for line F, see § 12-0507.3. Provide narrative and Sheet number		
H	If step G requires a narrative, it shall be prepared in accordance with § 12-0508.4		
I	Place this information prior to the 10-year Tree Canopy Calculations as per instructions in Table 12.10.		
<b>B. Tree Canopy Requirement</b>			
B1	Identify gross site area =	127,866.024	§ 12-0511.1A
B2	Subtract area dedicated to parks, road frontage, and floodplains and wetlands C-8	23,630.00	—
B3	Subtract area of exemptions =	0.000	§ 12-0511.1C(1) through § 12-0511.1C(5)
B4	Adjusted gross site area (B1-B2)+	104,236.024	
B5	Identify site's zoning and/or use	R-2	
B6	Percentage of 10-year tree canopy required =	30%	§ 12-510.1 and Table 12.4
B7	Area of 10-year tree canopy required (B4xB6)=	31,270.81	
B8	Modification of 10-year Tree Canopy Requirements requested?	No	Yes or No
B9	If B8 is yes, then list plan sheet where modification request is located		Sheet number
<b>C. Tree Preservation</b>			
C1	Tree Preservation Target Area =	8,861.33	
C2	Total canopy area meeting standards of § 12-0400 =	4,098.09	
C3	C2 x 1.25 =	5,122.61	§ 12-0510.3B
C4	Total Canopy area provided by unique or valuable forest or woodland communities =	0.00	
C5	C4 x 1.5 =	0.00	§ 12-0510.3B(1)
C6	Total of Canopy area provided by "Heritage," "memorial," "Specimen" or "Street" trees =	0.00	
C7	C6 x 1.5 to 3.0 =	0.00	§ 12-0510.3B(2)
C8	Canopy area of trees within Resource Protection Areas and 100-year floodplains =	13,044.86	
C9	C8 x 1.0 =	13,044.86	§ 12-0510.3C(1)
C10	Total of C3, C5, C7 and C9 =	18,167.47	If area of C10 is less than B7 remainder of requirement must be met through tree planting-go to D
<b>D. Tree Planting</b>			
D1	Area of canopy to be met through tree planting (B7-C10)=	13,103.33	
D2	Area of canopy planted for air quality benefits =	0.00	
D3	x1.5 =	0.00	§ 12-0510.4B(1)
D4	Area of canopy planted for energy conservation =	0.00	
D5	x1.5 =	0.00	§ 12-0510.4B(2)
D6	Area of canopy planted for water quality benefits =	0.00	
D7	x1.25 =	0.00	§ 12-0510.4B(3)
D8	Area of canopy planted for wildlife benefits =	0.00	
D9	x1.5 =	0.00	§ 12-0510.4B(4)
D10	Area of canopy provided by native trees =	0.00	
D11	x1.5 =	0.00	§ 12-0510.4B(5)
D12	Area of canopy provided by improved cultivars and varieties =	0.00	
D13	x1.25 =	0.00	§ 12-0510.4B(6)
D14	Area of canopy provided through tree seedlings =	0.00	
D15	x1.0 =	0.00	§ 12-0509.4D(1)
D16	x1.0 =	0.00	§ 12-0510.4D(1)
D17	Percentage of D14 represented by D15 =	0.00%	Must not exceed 33% of D14
D18	Total of canopy area provided through tree planting =	17,050.00	
D19	Is an offsite planting relief requested?	No	Yes or No
D20	Tree Banks or Tree Fund?	0.00	§ 12-0512
D21	Canopy area requested to be provided through offsite banking or tree fund	0.00	
D22	Amount to be deposited into the Tree Preservation and Planting Fund	0.00	
<b>E. Total of 10-year Tree Canopy Provided</b>			
E1	Total of canopy area provided through tree preservation (C10)=	18,167.47	
E2	Total of canopy area provided through tree planting (D17)=	17,050.00	
E3	Total of canopy area provided through offsite mechanism (D19)=	0.00	
E4	Total of 10-year Tree Canopy Provided =	35,217.47	Total of E1 through E3. Area should meet or exceed area required by B7

THIS VALUE IS OBTAINED FROM THE EXISTING CANOPY. SEE EVM, SHEET 8, FOR CALCULATIONS.

TREE PRESERVATION WILL BE MET THROUGH PROPOSED PLANTING.

THIS AREA OBTAINED BY SUBTRACTING THE AREA OF ACCEPTABLE EXISTING VEGETATION WITHIN THE BOTTOMLAND FOREST (12,287 SF - TO BE USED AS EXISTING CANOPY TO BE PRESERVED, AS INDICATED BY THE HATCH PATTERN) FROM THE 35,917 SF OF FLOODPLAIN.

TREE PRESERVATION QUALIFYING FOR 1.25 MULTIPLIER		TREE PRESERVATION NOT QUALIFYING FOR 1.25 MULTIPLIER	
TREES MEETING STANDARDS	AREA (SF)	TREES MEETING STANDARDS	AREA (SF)
4	1134.11	21	757.86
5	804.25	BOTTOMLAND FOREST	12287
19	1169.73		
20	990	<b>TOTAL AREA</b>	<b>13044.86</b>
<b>TOTAL AREA</b>	<b>4098.09</b>		

THIS VALUE IS OBTAINED FROM PROPOSED PLANTING (I.E. TRANSITIONAL SCREENING, INTERIOR PARKING LOT LANDSCAPING, PERIPHERAL PARKING LOT LANDSCAPING, AND ADDITIONAL PROPOSED PLANTING). SEE LANDSCAPE PLAN CALCULATIONS, SHEET 10, FOR CALCULATIONS.

Tree ID #	Species	DBH (in)	Drip (ft)	Condition	Comment
1	Acer saccharinum, silver maple	17	36	Good	TBR
2	Acer rubrum, red maple	5	18	Good	
3	Acer rubrum, red maple	5	16	Good	TBR
4	Quercus imbricaria, shingle oak	16	38	Good	
5	Quercus phellos, willow oak	15	32	Good	
6	Acer rubrum, red maple	4	12	Good	TBR
7	Liriodendron tulipifera, tulip poplar	13, 15	22	Fair	TBR
8	Morusalba, white mulberry	9	26	Fair	
9	Ulmus pumila, Siberian elm	17	48	Good	TBR
10	Acer platanoides, Norway maple	16	22	Good	
11	Acer rubrum, red maple	5	16	Good	
12	Pyrus calleryana, bradford pear			Fair	Tree is located offsite, but canopy extends into subject property.
13	Morusalba, white mulberry			Fair	Tree is located offsite, but canopy extends into subject property.
14	Oxydendrum arboreum, sourwood			Fair	Tree is located offsite, but canopy extends into subject property.
15	Prunus yedoensis, Japanese cherry			Fair	Tree is located offsite, but canopy extends into subject property.
16	Juniiperis virginiana, Eastern red cedar	12	38	Good	TBR
17	Pinus thunbergii, Japanese black pine	14	46	Good	TBR
18	Juniiperis virginiana, Eastern red cedar	15	26	Good	TBR
19	Juniiperis virginiana, Eastern red cedar	20	38	Good	
20	Juniiperis virginiana, Eastern red cedar	20	34	Good	
21	Juniiperis virginiana, Eastern red cedar	20	30	Good	
22	Morusalba, white mulberry	26	60	Fair	
23	Acer rubrum, red maple	6	18	Good	
24	Acer rubrum, red maple			Fair	Tree is located offsite, but canopy extends into subject property.
25	Acer rubrum, red maple			Fair	Tree is located offsite, but canopy extends into subject property.
26	Acer rubrum, red maple			Fair	Tree is located offsite, but canopy extends into subject property.
27	Acer rubrum, red maple			Fair	Tree is located offsite, but canopy extends into subject property.
28	Juniiperis virginiana, Eastern red cedar			Fair	Tree is located offsite, but canopy extends into subject property.
29	Juniiperis virginiana, Eastern red cedar			Fair	Tree is located offsite, but canopy extends into subject property.
30	Juniiperis virginiana, Eastern red cedar			Fair	Tree is located offsite, but canopy extends into subject property.

EXISTING TREES WHICH ARE REMOVED WITHOUT PRIOR PERMISSION FROM THE DIRECTOR OR IF SO DAMAGED AS TO REASONABLY REQUIRE REMOVAL SHALL BE REPLACED IN ACCORDANCE WITH PFM SECTION 12-0516. IF TREES WERE COUNTED TOWARD 10-YEAR CANOPY CREDIT, THOSE TREES WILL BE REPLACED SO THAT EQUIVALENT CANOPY IS PROVIDED.

TREES USED TO MEET THE PRESERVATION AND 10-YEAR CANOPY REQUIREMENTS (3 TREES AND A PORTION OF THE BOTTOMLAND FOREST)

PRE-DEVELOPED AREA OF EXISTING TREE CANOPY (ON-SITE TREES ONLY)

**TREE PRESERVATION PLAN NARRATIVE**

TREE CANOPY REQUIREMENT IS BASED ON 30% OF THE SITE AREA. THE REQUIREMENT WILL BE SATISFIED BY PLANTING OF TRANSITIONAL SCREENING, PERIPHERAL PARKING LOT LANDSCAPING, INTERIOR PARKING LOT LANDSCAPING AND ADDITIONAL DECIDUOUS TREES AS SHOWN ON THE LANDSCAPING PLAN. TREES USED TO MEET THE 10-YEAR CANOPY REQUIREMENT ARE AS INDICATED ON SHEET 9. CALCULATIONS ON SHEET 10.

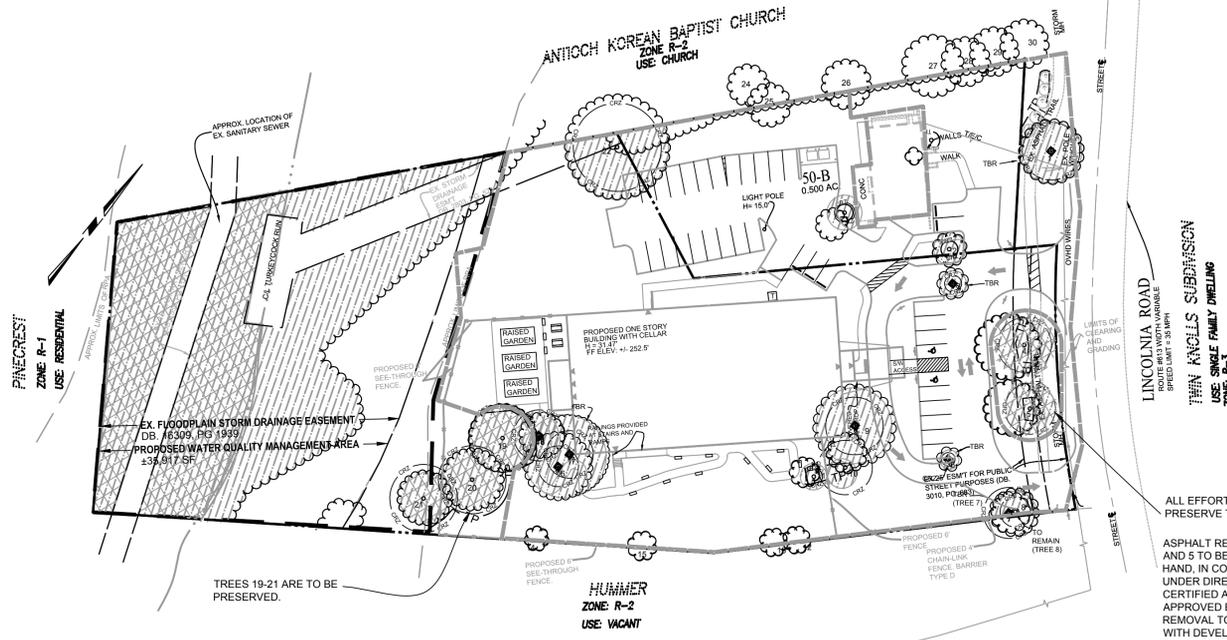
THE ENTIRETY OF THE BOTTOMLAND FOREST IS NOT BEING COUNTED AS CREDIT TOWARDS THE 10-YR TREE CANOPY CREDIT; AREA COUNTED INDICATED BY HATCH PATTERN.

EXISTING TREES NOT MARKED FOR PRESERVATION, BUT SURROUNDED BY TREE PROTECTION, SHALL BE PRESERVED BUT WILL NOT COUNT AS CREDIT TOWARD THE TREE PRESERVATION CALCULATIONS.

CARE SHALL BE TAKEN WHEN CONSTRUCTION IS WITHIN THE CRITICAL ROOT ZONES OF THE VEGETATION TO BE PRESERVED.

**NOTES:**

- THE LIMITS OF CLEARING AND GRADING SHALL BE STRICTLY ADHERED TO DURING CONSTRUCTION.
- CONSTRUCTION AROUND EXISTING VEGETATION, WITHIN THE LIMITS OF CLEARING AND GRADING, SHALL BE CARRIED OUT IN THE LEAST DISRUPTIVE MANNER POSSIBLE. MATERIAL SHALL BE REMOVED AND PLACED BY HAND WHERE POSSIBLE.
- TREES 4, 5, AND 19-21 ARE TO BE PRESERVED.
- ALL WORK PERFORMED IN ASSOCIATION WITH THIS PLAN SHALL MEET OR EXCEED CURRENT INDUSTRY STANDARDS AND STANDARDS APPROVED BY FAIRFAX COUNTY'S URBAN FOREST MANAGEMENT DIVISION.
- THE DEVELOPER SHALL RETAIN A CERTIFIED ARBORIST TO ENSURE THE PROPER IMPLEMENTATION OF THE TREE PRESERVATION PLAN. ALL WORK REQUIRED BY THIS PLAN SHALL BE PERFORMED UNDER THE DIRECT SUPERVISION OF THE ARBORIST AS SPECIFIED IN THE SITE MONITORING SCHEDULE AND TO ENSURE THAT ALL ACTIVITIES ARE CONDUCTED IN ACCORDANCE WITH THIS PLAN. ANY APPLICABLE DEVELOPMENT CONDITIONS AND/OR AS APPROVED BY UFMD.
- THE APPLICANT AGREES TO ADHERE TO THE PROPOSED DEVELOPMENT CONDITIONS FOR TREE PRESERVATION.
- PRIOR TO ANY CONSTRUCTION ACTIVITY, ALL INDIVIDUAL TREES OR GROUPS OF TREES SHOWN TO BE PRESERVED ON THIS PLAN SHALL BE PROTECTED BY FENCING AS SPECIFIED ON THIS PLAN. FENCING IS TO BE INSTALLED AFTER THE SITE WALK, BUT PRIOR TO CONSTRUCTION ACTIVITIES.
- TREES DESIGNATED FOR REMOVAL ALONG THE LIMITS OF DISTURBANCE SHALL BE REMOVED USING A CHAINSAW SO AS TO AVOID DAMAGE TO SURROUNDING TREES TO BE PRESERVED AND UNDERSTORY VEGETATION. SUCH REMOVAL SHALL BE ACCOMPLISHED IN A MANNER THAT AVOIDS DAMAGE TO SURROUNDING TREES AND VEGETATION.
- PRIOR TO THE SITE PRE-CONSTRUCTION MEETING AND SITE WALK WITH AN URBAN FORESTER FROM UFMD AND THE ARBORIST, THE APPLICANT SHALL HAVE THE LIMITS OF CLEARING AND GRADING MARKED WITH A CONTINUOUS LINE OF FLAGGING.

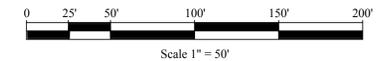


ALL EFFORTS SHALL BE MADE TO PRESERVE TREES 4 AND 5.

ASPHALT REMOVAL NEAR TREES 4 AND 5 TO BE CARRIED OUT BY HAND, IN COMPLIANCE WITH UFMD, UNDER DIRECT SUPERVISION OF CERTIFIED ARBORIST AS APPROVED BY UFMD. ASPHALT REMOVAL TO COMPLY APPLICABLE WITH DEVELOPMENT CONDITIONS.

**TREE PRESERVATION LEGEND**

	EXISTING TREE TO BE REMOVED		PROPOSED TREE PROTECTION FENCE (SEE DETAILS/SPECIFICATIONS)
	CONSERVATION EASEMENT BOUNDARY (AREA USED FOR BMP PURPOSES)		CRITICAL ROOT ZONE (CRRZ)



3975 Fair Ridge Drive  
Suite 300 South  
Fairfax, VA 22033  
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**AGAPE ADULT DAY HEALTH CARE CENTER**  
MASON DISTRICT  
FAIRFAX COUNTY, VIRGINIA

**TREE PRESERVATION PLAN**



DATE: 09-12-2012  
FILE NO: ---  
DRN: LC  
CKD: AOG

**AGAPE ADULT DAY HEALTH CARE CENTER - TRANSITIONAL SCREENING AND BARRIER NARRATIVE**

**PROPERTY DESCRIPTION**

THIS SUBJECT PROPERTY IS LOCATED ON LINCOLN ROAD (ROUTE 613) ON TAX MAP 72-1-(11): 50A & 50B. THE EXISTING SITE CURRENTLY CONTAINS A TWO-STORY FRAME BUILDING, A ONE-STORY BRICK AND FRAME GARAGE AND A ONE-STORY BRICK AND FRAME BUILDING, WITH DENSE VEGETATION ALONG THE BACK PORTION OF THE SITE. THE TOTAL APPROXIMATE AREA OF THE PROPERTY IS 2.9354 ACRES WITH LOT 50A HAVING 2.9354 ACRES AND LOT 50B HAVING 0.5 ACRES. LAND GENERALLY SLOPES FROM THE FRONT TO THE BACK OF THE SITE AT AN AVERAGE SLOPE OF 5.5% TO THE BED AND BANKS OF TURKEYCOCK RUN.

FOR THE PURPOSE OF DETERMINING THE TRANSITIONAL SCREENING AND BARRIER REQUIREMENTS, THE RESIDENTIAL HOUSE ON LOT 50B, WILL BE CONSIDERED APPROPRIATELY, AS PART OF THE ADULT DAY CARE CENTER. THE RESIDENTIAL HOUSE WILL FALL UNDER THE SAME CATEGORY AS THE ADULT DAY CARE CENTER AND WILL NOT BE CONSIDERED A DETACHED DWELLING.

**NORTHEAST PROPERTY LINE**

THE FRONT YARD OF LOT 50B IS RESIDENTIAL IN APPEARANCE. THE FRONT YARD IMPERVIOUS AREA OF LOT 50B IS WITHIN THE 25% REGULATION AS DEFINED BY SECTION 11-102.08 IN THE ZONING ORDINANCE. THE PROPERTY ADJACENT TO THE NORTHEAST PROPERTY LINE OF LOT 50B IS ZONED R-3. THERE IS A TRANSITIONAL BARRIER REQUIREMENT REQUIRED ALONG THIS LOT LINE, WHICH IS NOT SATISFIED BY THE EXISTING VEGETATION.

THERE ARE TRANSITIONAL SCREENING AND BARRIER REQUIREMENTS BETWEEN CATEGORY 4 (CHILD CARE CENTERS) AND CATEGORY 1 (DWELLINGS, DETACHED) PER THE FAIRFAX COUNTY ZONING ORDINANCE. CURRENTLY, THERE IS NO TRANSITIONAL SCREENING OR BARRIER PROVIDED ALONG THE NORTHEAST PROPERTY LINE FOR LOT 50A. A PORTION OF THIS PROPERTY LINE ON LOT 50A IS PLANTED (BETWEEN THE TWO ENTRANCES) AND IS INTENDED TO STAY PLANTED.

PROPOSED TRANSITIONAL SCREENING AND BARRIER REQUIREMENTS WILL MEET WHAT IS SPECIFIED IN THE ZONING ORDINANCE SECTION 13-303.3A, WHERE POSSIBLE. THE DENSITY REQUIREMENT IS MET WITH THE PROPOSED TRANSITIONAL SCREENING. THE SCREENING YARD REQUIREMENTS ARE MOSTLY MET ALONG THESE PROPERTY LINES. A PORTION OF THE PROPOSED PARKING ON LOT 50-B ENCLOSES INTO THE SCREENING YARD. A WAIVER IS HEREBY REQUESTED FOR THE SPECIFIED PORTION OF THE PARCEL 50-B LOT LINE WHERE THE PROPOSED PARKING ENCLOSES INTO THE 25' SCREENING YARD. THIS WAIVER IS REQUESTED UNDER Z.O. SECTION 13-305.2 AND 13-305.3; THE BUILDING IS RESIDENTIAL IN APPEARANCE AND IS TO REMAIN AS IS. THIS MINIMIZES THE IMPACT ON ADJACENT PROPERTIES. ADDITIONALLY, THE STRICT ADHERENCE TO THE TRANSITIONAL SCREENING AND BARRIER REQUIREMENTS WOULD REDUCE THE USABLE AREA OF THE LOT DUE TO THE REQUIREMENTS THAT MUST BE MET FOR PROPOSED PARKING IN THE FRONT YARD.

IT IS HEREBY REQUESTED THAT THE BARRIER REQUIREMENTS FOR THIS LOT LINE BE WAIVED THIS WAIVER IS REQUESTED UNDER Z.O. SECTION 13-305.3; THE REQUIRED SCREENING DENSITY HAS BEEN MET FOR THE PROPOSED USE; PROPOSED LANDSCAPING HAS BEEN PLACED TO MINIMIZE ADVERSE IMPACT TO THE SURROUNDING PROPERTIES. ADDITIONALLY, THE ARCHITECTURAL COMPONENTS OF THE FACILITY HAVE BEEN DESIGNED TO DECREASE VISUAL DISTURBANCE TO THE SURROUNDING DEVELOPMENT IN THE AREA.

**SOUTHEAST PROPERTY LINE**

THE SOUTHEAST PROPERTY LINE IS SEPARATED FROM THE ADJACENT PROPERTY BY AN EXISTING, WORN SFT CHAIN-LINK FENCE WHICH WILL BE REPLACED. THE REPLACEMENT FENCE WILL BE A SEE-THROUGH FENCE. THE REPLACEMENT FENCE CAN BE MODIFIED TO MEET ZONING ORDINANCE SECTION 13-304.4F UPON REQUEST FROM THE URBAN FORESTRY DEPARTMENT. THE ADJACENT PROPERTY IS ZONED R-2 AND IS CURRENTLY VACANT. THE REQUIRED VEGETATION REQUIREMENTS SET FORTH BY THE PFM WILL BE PROVIDED ALONG THIS LOT LINE, RUNNING THE LENGTH OF THE LOT LINE, WHERE POSSIBLE, UNTIL TERMINATING AT THE RPA LINE BOUNDARY. THE 25' STRIP OF OPEN SPACE WILL ALSO BE PROVIDED, WHERE POSSIBLE; THE EXISTING TRAVELWAY ALONG THIS LOT LINE IS TO REMAIN. THE TRAVELWAY TO REMAIN ENCLOSES INTO THE 25' SCREENING YARD. A WAIVER IS HEREBY REQUESTED FOR THE PORTION OF THE LOT LINE OCCUPIED BY THE TRAVELWAY.

IT IS REQUESTED THAT THE PARTIAL FULFILLMENT OF THE TRANSITIONAL SCREENING AND BARRIER REQUIREMENTS BE GRANTED FOR THIS PROJECT. IN ACCORDANCE WITH ZONING ORDINANCE SECTION 13-305.3; THE PROPOSED LAYOUT HAS BEEN REVISED TO MAXIMIZE THE COMPLIANCE WITH THE TRANSITIONAL SCREENING AND BARRIER REQUIREMENTS WHILE MAINTAINING THE EXISTING ENTRANCE/EXIT. THE LAYOUT HAS BEEN SPECIFICALLY DESIGNED TO MINIMIZE DISRUPTION TO ADJACENT PROPERTIES. PROPOSED PLANTINGS ALONG THIS LOT LINE HAVE BEEN PLACED TO MINIMIZE DISTURBANCE TO ADJACENT PROPERTIES.

**SOUTHWEST PROPERTY LINE**

THE TRANSITIONAL SCREENING REQUIREMENTS ARE MET FOR THIS PROPERTY LINE BY EXISTING VEGETATION (CALCULATIONS ON SHEET 10). A SEE-THROUGH FENCE HAS BEEN PROPOSED ALONG MOST OF THIS LOT LINE; THIS FENCE DOES NOT EXTEND THE ENTIRE LENGTH OF THIS LOT LINE.

A WAIVER IS HEREBY REQUESTED FOR THE BARRIER REQUIREMENTS AND TRANSITIONAL SCREENING REQUIREMENTS ALONG THIS LOT LINE. THESE WAIVERS ARE REQUESTED UNDER Z.O. SECTIONS 13-305.3 AND 13-305.12; THE REAR PORTION OF THE SUBJECT PROPERTY IS COMPOSED OF EXISTING VEGETATION WHICH SCREENS THE ADJACENT PROPERTY WHICH NEGATES THE NECESSITY OF A BARRIER (SEE BELOW PHOTO).



**NORTHWEST PROPERTY LINE**

THE ADJACENT PROPERTY IS ZONED R-2 AND USED AS A KOREAN BAPTIST CHURCH. THERE ARE NO TRANSITIONAL SCREENING OR BARRIER REQUIREMENTS FOR A TRANSITION BETWEEN A CHILD CARE CENTER AND A CHURCH.

**PROPERTY LINE BETWEEN LOT 50A AND 50B**

PER COUNTY COMMENTS, THERE ARE NO TRANSITIONAL SCREENING AND BARRIERS REQUIRED OR PROVIDED ALONG THIS LOT LINE, SEPARATING THE TWO LOTS OF THIS PROPERTY.

\*SEE SHEET 9 FOR PROPOSED PLANTING LOCATIONS.

THIS IS NOT THE AREA OF THE EXISTING BOTTOMLAND FOREST WHICH MEETS THE STANDARDS SET FORTH BY THE PFM CONCERNING EXISTING VEGETATION QUALIFYING FOR 10-YEAR CANOPY CREDIT. 12,287 SF OF THIS AREA QUALIFIES FOR 10-YEAR CANOPY CREDIT.

To: Department of Public Works and Environmental Services  
Office of Site Development Services  
Plan Control Section  
12055 Government Center Parkway  
Fairfax, Virginia 22035-5503

- FOR OSDS USE ONLY -  
Waiver # \_\_\_\_\_ Logged in by: \_\_\_\_\_  
Page 1 of \_\_\_\_\_ Fee Amount: \_\_\_\_\_  
Paid on \_\_\_\_/\_\_\_\_/\_\_\_\_ Receipt # \_\_\_\_\_  
Logged to UFB on \_\_\_\_\_

**REQUEST FOR WAIVER/MODIFICATION OF THE PROVISIONS OF ARTICLE 13 OF THE FAIRFAX COUNTY ZONING ORDINANCE**

**COVER SHEET**

NOTE: a complete waiver/modification request must contain all of the following items:  
(1) copies of a complete application (this cover sheet and appropriate attachment)  
(2) sets of landscape plans with complete plant schedule and details  
(3) copies of the applicant's letter of justification

WAIVER TYPE  
 transitional screening and/or barrier (USE ATTACHMENT A)  
 tree cover (USE ATTACHMENT B)  
 interior parking lot (USE ATTACHMENT C)

SUBDIVISION PLANS ONLY:  
If these cover waiver/modification request is for a subdivision plan, the notification requirements of County Code section 101-2-209 must be met. Include with this request (4) copies of the typical letter of notification that was sent to adjoining or affected property owners and include a list of the property owners notified. At a minimum the letter should include the County requirements and a description of the proposed waiver/modification to those requirements.

**1. APPLICATION INFORMATION (please print or type)**

PROJECT NAME: Agape Adult Day Health Care Center TAX MAP # 72 - 1 - (11) - (50) - A&B  
SUPERVISORY DISTRICT: Mason District  
PROPERTY OWNER OR DEVELOPER: Dong C. Choi PHONE: 703-354-6767  
ADDRESS: 5701-A General Washington Drive, Alexandria, Va, 22312  
AGENT FOR APPLICANT: Peter Rigby Jr. PHONE: 703-934-0900  
ADDRESS: 3975 Fair Ridge Drive, Suite 300 South, Fairfax, Va, 22033

2. PROPOSED USE: Adult Day Care Cent EXISTING USE: School ZONING: R-2  
USE MATRIX CATEGORY NUMBER FOR PROPOSED USE: 4

SITE PLAN SUBMITTED: YES  NO  PLAN NUMBER (if applicable): \_\_\_\_\_

3. ZONING ORDINANCE REFERENCE  
Section and paragraph under which modification or waiver is requested: 13-303-3B

4. APPLICANT/AGENT SIGNATURE: [Signature] DATE: 6/21/2013

**ATTACHMENT A: TRANSITIONAL SCREENING AND/OR BARRIER WAIVER**  
NOTE: THIS FORM IS AN ATTACHMENT TO THE COVER SHEET

1. Northeast PROPERTY LINE: Adjacent Use: Single Family SE OR SP Use? N/A Adjacent Zoning: R-3

SCREENING REQUIRED: None:   
Screening yard required: 25 ft  
NO. OF TREES: 24 ft large evergreens 10 ft medium evergreens  
7 large deciduous 1 small deciduous 81 evergreen shrubs

SCREENING PROVIDED: None:   
Screening yard provided: ±10ft  
NO. OF TREES: 24 ft large evergreens 10 ft medium evergreens  
9 ft large deciduous 0 small deciduous 81 evergreen shrubs

BARRIER TYPE: Existing: NONE Required: D, E, OR F Provided: NONE

This is the minimum amount of space between the lot line and pavement edge. See the Transitional Screening and Barrier Requirement Narrative - northeast lot line for explanation.

2. Southeast PROPERTY LINE: Adjacent Use: Vacant SE OR SP Use? N/A Adjacent Zoning: R-2

SCREENING REQUIRED: None:   
Screening yard required: 25 ft  
NO. OF TREES: 33 ft large evergreens 14 ft medium evergreens  
13 large deciduous 0 small deciduous 114 evergreen shrubs

SCREENING PROVIDED: None:   
Screening yard provided: ± 5ft  
NO. OF TREES: 33 ft large evergreens 14 ft medium evergreens  
13 large deciduous 0 small deciduous 114 evergreen shrubs

BARRIER TYPE: Existing: D Required: D, E, OR F Provided: PER COUNTY/PARTIAL

This is the minimum amount of space between the lot line and pavement edge. See the Transitional Screening and Barrier Requirement Narrative - southeast lot line for explanation.

3. Southwest PROPERTY LINE: Adjacent Use: Residential SE OR SP Use? N/A Adjacent Zoning: R-1

SCREENING REQUIRED: None:   
Screening yard required: 25 ft  
NO. OF TREES: 1 large evergreens 0 medium evergreens  
0 large deciduous 0 small deciduous 0 evergreen shrubs

SCREENING PROVIDED: None:   
Screening yard provided: 25ft  
NO. OF TREES: 1 large evergreens 0 medium evergreens  
0 large deciduous 0 small deciduous 0 evergreen shrubs

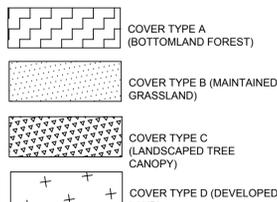
BARRIER TYPE: Existing: D Required: D, E, OR F Provided: PER COUNTY/PARTIAL

4. Northwest PROPERTY LINE: Adjacent Use: Church SE OR SP Use? SE Adjacent Zoning: R-2

SCREENING REQUIRED: None:   
Screening yard required: \_\_\_\_\_  
NO. OF TREES: \_\_\_\_\_ large evergreens \_\_\_\_\_ medium evergreens  
\_\_\_\_\_ large deciduous \_\_\_\_\_ small deciduous \_\_\_\_\_ evergreen shrubs

SCREENING PROVIDED: None:   
Screening yard provided: \_\_\_\_\_  
NO. OF TREES: \_\_\_\_\_ large evergreens \_\_\_\_\_ medium evergreens  
\_\_\_\_\_ large deciduous \_\_\_\_\_ small deciduous \_\_\_\_\_ evergreen shrubs

BARRIER TYPE: Existing: None Required: None Provided: None



**EXISTING VEGETATION AREA BREAKDOWN**

PRE-DEVELOPED AREA OF EXISTING VEGETATION (TREE CANOPY ID)	AREA (SF)
LANDSCAPED TREE CANOPY	4679
BOTTOMLAND FOREST	28982
<b>TOTAL AREA</b>	<b>33661</b>

THERE ARE NO ON-SITE UNIQUE OR ENDANGERED FOREST COMMUNITIES AS DEFINED IN THE PFM, SECTION 12-0000 TREE CONSERVATION, TABLE 12.2. SEE SHEET 7 FOR THE TREE PRESERVATION TARGET AND STATEMENT (10-YR TREE CANOPY CALCULATIONS).

**Existing Vegetation Narrative**

**Agape Adult Day Health Care Center Property**

A - Bottomland Forest (15,856 SF) (0.4 Acres)

The southwestern portion of the subject property consists of stream valley and bottomland forest. West of the stream, the bottomland forest is dominated by tulip poplar (Liriodendron tulipifera) and red maple (Acer rubrum). Trees average approximately 12 - 16 inch diameter at breast height (dbh). Canopy coverage in the bottomland forest is approximately 50%. The understory of the bottomland forest is dominated by typical wetland plants including skunk cabbage (Symlocarpus foetidus), cinnamon fern (Osmunda cinnamomea) and jewelweed (Impatiens capensis). Some populations of invasive species such as English ivy (Hedera helix) and multiflora rose (Rosa multiflora) were observed, however these species are isolated and do not pose a threat to the existing native species at this time. The overall health and condition of this stand is fair to good. Photos are provided below this narrative.

A - Bottomland Forest (13,126 SF) (0.3 Acres)

East of the stream a small fragment of bottomland forest exists. Canopy trees in this forest are in fair to poor health and grow among a large population of invasive plant species. Fiveleaf akela (Akebia quinata), multiflora rose (Rosa multiflora) and winberry (Rubus phoenicolasius) all dominate the shrub layer. The overall health and condition of this stand is fair to poor.

B - Maintained Grassland (41,933 SF) (0.9 Acres)

Maintained grass can be found in the central portion of the subject property, between the bottomland forest and the developed portion of the property.

C - Landscaped Tree Canopy (4,679 SF) (0.1 Acres)

Ornamental landscape plantings are primarily found in the northeastern portion of the subject property, integrated with the maintained grass and developed land.

D - Developed Land (52,272 SF) (1.2 Acres)

The northeastern portion of the subject property is developed with an existing building and parking lot.



INVASIVE SPECIES WITHIN THE BOTTOMLAND FOREST SHALL BE ANALYZED TO DETERMINE THE LEVELS OF DANGERMENT TO THE LONG-TERM ECOLOGICAL FUNCTIONALITY, HEALTH, AND REGENERATIVE CAPACITY OF ANY NATIVE PLANT COMMUNITIES OF THE FORESTED AREA - PER SECTION 12-0404.2B. BASED ON THE DETERMINED LEVELS, AREAS SUSTAINING INVASIVE PLANT SPECIES SHALL BE REMOVED WHILE MINIMIZING DISRUPTION TO THE EXISTING HEALTHY VEGETATION AND SOIL CONDITIONS PRESENT IN THE PRESERVATION AREA. THE AREAS IN QUESTION WILL BE PERIODICALLY CHECKED FOR INVASIVE SPECIES AND MAINTAINED. THE APPROXIMATE AREA OF THE INVASIVE SPECIES IS SHOWN BELOW; INVASIVE SPECIES ARE LOCATED TO THE RIGHT OF TURKEYCOCK RUN.

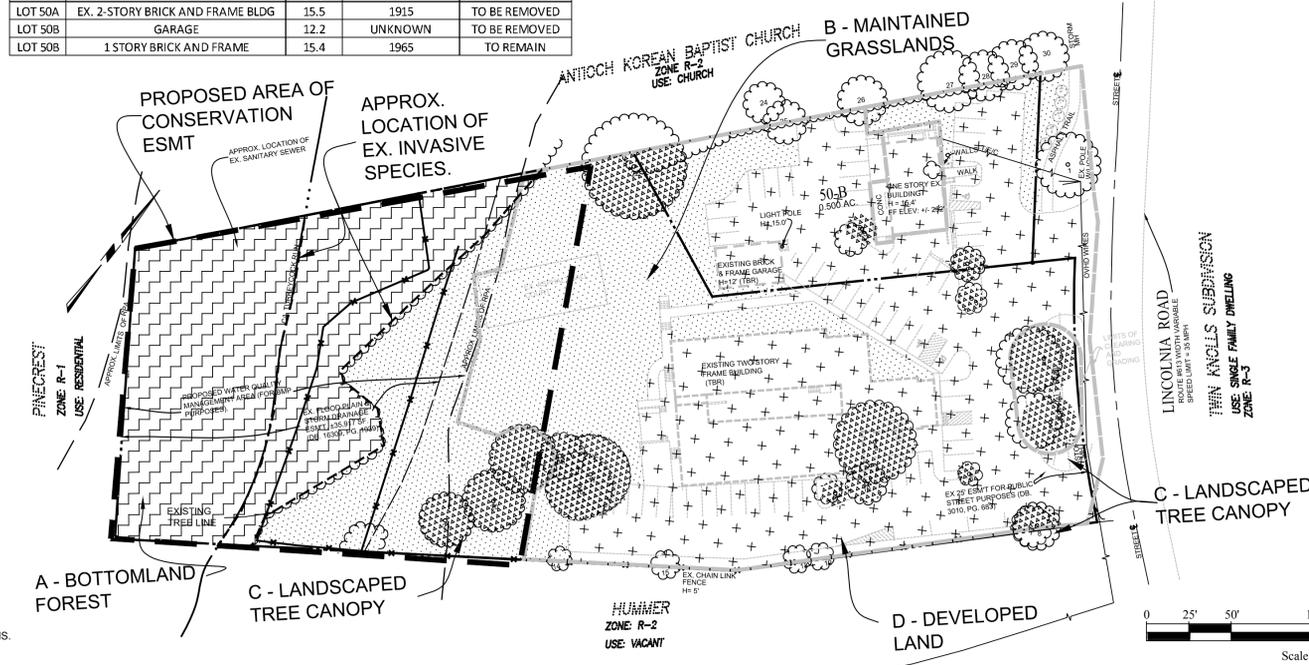
AREA DISTURBED FOR REMOVAL OF THE EXISTING BASKETBALL COURT WITHIN THE RPA WILL BE PLANTED IN ACCORDANCE WITH CHESAPEAKE BAY REGULATIONS FOR RPA RESTORATION.

THE APPLICANT WILL ADHERE TO THE INVASIVE SPECIES MANAGEMENT DEVELOPMENT CONDITION REQUIREMENTS FOR THIS PROJECT.

**AREA SUMMARY OF BELOW MAP**

COVER TYPE	PRIMARY SPECIES	AREA (SF)	AREA [AC]
A	BOTTOMLAND FOREST	15,856.00	0.36
A	BOTTOMLAND FOREST	13,126.00	0.30
B	MAINTAINED GRASSLAND	41,933.02	0.96
C	LANDSCAPED TREE CANOPY	4,679.00	0.11
D	DEVELOPED LAND	52,272.00	1.20
<b>TOTAL AREA =</b>		<b>127,866.02</b>	<b>2.94</b>

EXISTING BUILDING/STRUCTURE INVENTORY				
TYPE	HEIGHT (FT)	DATE OF CONSTRUCTION	STATUS	
LOT 50A	EX. 2-STORY BRICK AND FRAME BLDG	15.5	1915	TO BE REMOVED
LOT 50B	GARAGE	12.2	UNKNOWN	TO BE REMOVED
LOT 50B	1 STORY BRICK AND FRAME	15.4	1965	TO REMAIN



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Environmental Scientists  
Archaeologists

**AGAPE ADULT DAY HEALTH CARE CENTER**  
MASON DISTRICT  
FAIRFAX COUNTY, VIRGINIA

**EXISTING VEGETATION MAP**  
COMMONWEALTH OF VIRGINIA  
ANN O. GERMAIN  
Lic. No. 028700  
7/5/13  
PROFESSIONAL ENGINEER

**TRANSITIONAL SCREENING AND BARRIER MATRIX**

	1	2	3	4	5	6	7	8	9	10	11	12	13
1. Dwellings, detached													
2. Dwellings, attached	1												
	B,A												
3. Dwellings, multiple family Dwellings, mobile home	1	1											
	D,E	F											
4. Child care centers Churches, chapels Nursery schools Private schools	1	1	1	H									
	D,E	D,E	F										

**13-303 TRANSITIONAL SCREENING REQUIREMENTS**

A. Transitional Screening 1 shall consist of an unbroken strip of open space a minimum of twenty-five (25) feet wide and planted with all of the following:

- (1) A mixture of large and medium evergreen trees and large deciduous trees that achieve a minimum ten (10) year tree canopy of seventy-five (75) percent or greater;
- (2) A mixture of trees consisting of at least seventy (70) percent evergreen trees, and consisting of no more than thirty-five (35) percent of any single species of evergreen or deciduous tree; and
- (3) A mixture of predominately medium evergreen shrubs at a rate of three (3) shrubs for every ten (10) linear feet for the length of the transition yard area. The shrubs shall generally be located away from the barrier and staggered along the outer boundary of the transition yard.

**13-304 BARRIER REQUIREMENTS**

- D. Barrier D shall consist of a 42-48 inch chain link fence and may be required by the Director to have inserts in the fence fabric, to be coated, or to be supplemented by trees and/or shrubs.
- E. Barrier E shall consist of a 6 foot wall, brick or architectural block faced on the side facing the existing use and may be required to be so faced on both sides as determined by the Director.
- F. Barrier F shall consist of a 6 foot high solid wood or otherwise architecturally solid fence.
- See note 3, this sheet.

**PROPOSED PLANT LIST**

CATEGORY	NURSERY STOCK	Caliper	Quantity	10-YR CANOPY CREDIT FOR EACH (SF)	TOTAL 10-YR CANOPY (SF)
<b>LARGE DECIDUOUS TREES</b>					
	CATEGORY IV DECIDUOUS TREES	BALL AND BURLAP	2"	8	1600
	CATEGORY III DECIDUOUS TREES	BALL AND BURLAP	2"	6	900
	CATEGORY III DECIDUOUS TREES	BALL AND BURLAP	2"	8	1200
	CATEGORY IV DECIDUOUS TREES (INTERIOR PARKING LOT LANDSCAPING)	BALL AND BURLAP	2"	5	1000
	CATEGORY IV DECIDUOUS TREES (ADDITIONAL PROPOSED PLANTING)	BALL AND BURLAP	2"	10	2000
	CATEGORY IV DECIDUOUS TREES (PERIPHERAL PARKING LOT LANDSCAPING)	BALL AND BURLAP	2"	3	600
SUBTOTAL =					7300

CATEGORY	NURSERY STOCK	Size (Height)	Quantity	10-YR CANOPY CREDIT FOR EACH (SF)	TOTAL 10-YR CANOPY (SF)
<b>LARGE EVERGREEN TREES</b>					
	CATEGORY IV EVERGREEN TREES	BALL AND BURLAP	7-8'	17	2550
	CATEGORY IV EVERGREEN TREES	BALL AND BURLAP	7-8'	18*	2400
	CATEGORY III EVERGREEN TREES	BALL AND BURLAP	7-8'	24	3000
SUBTOTAL =					7950

\* TWO TREES SHOWN FOR SCREENING OF ARRIVING OR DEPARTING VEHICLES ARE NOT INCLUDED IN TREE CANOPY CREDIT.

CATEGORY	NURSERY STOCK	Size (Height)	Quantity	10-YR CANOPY CREDIT FOR EACH (SF)	TOTAL 10-YR CANOPY (SF)
<b>MEDIUM EVERGREEN TREES</b>					
	CATEGORY II EVERGREEN TREES	BALL AND BURLAP	7-8'	24	1800
SUBTOTAL =					1800

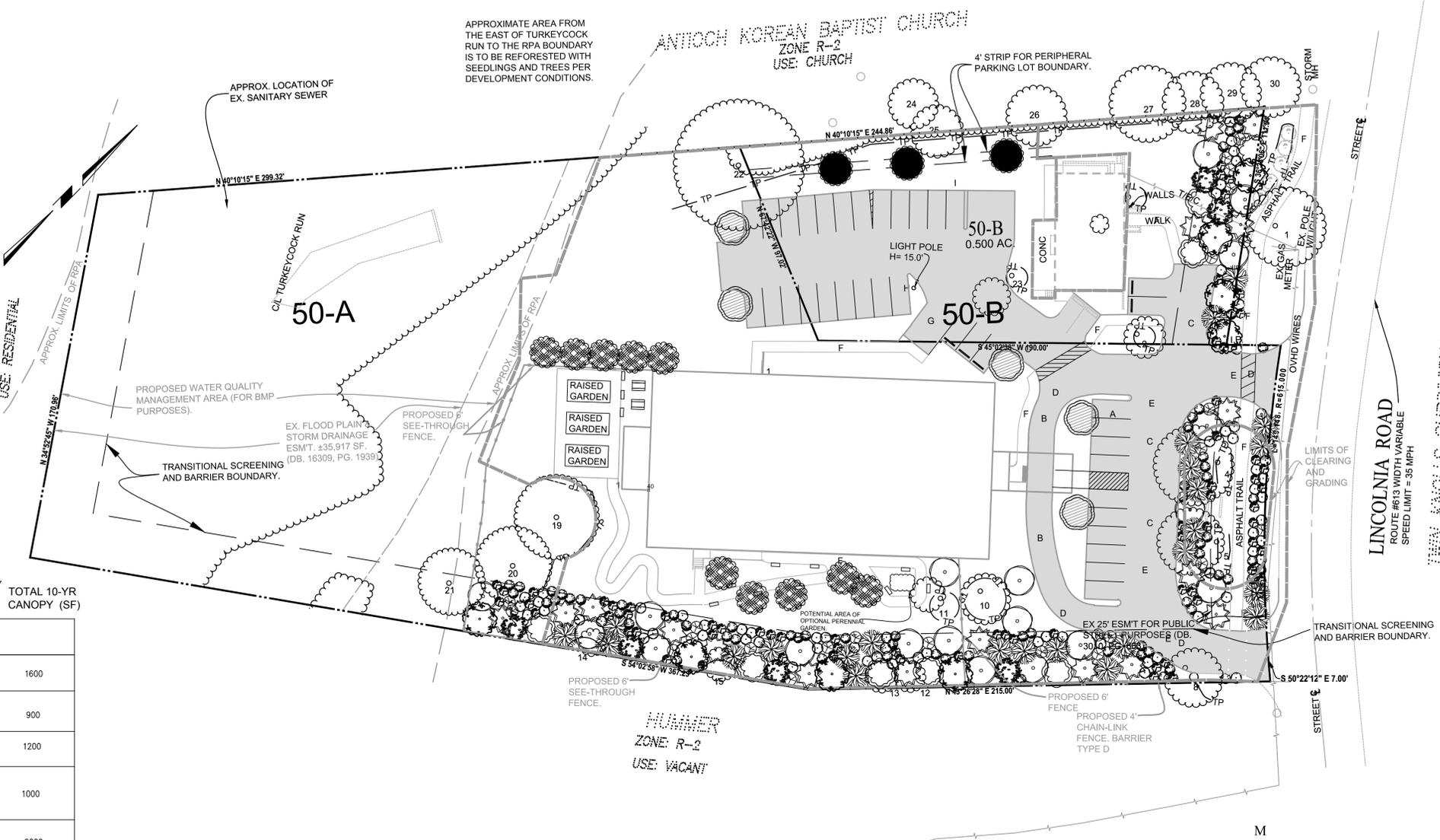
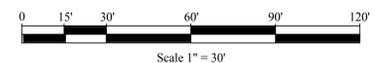
TOTAL AREA OF 10-YEAR CANOPY BY PROPOSED PLANTING = 17,050 SF

NOTE:  
TWO DIFFERENT CATEGORY III DECIDUOUS TREES HAVE BEEN CALLED OUT FOR THE PURPOSE OF ILLUSTRATING THAT TWO DIFFERENT TYPES ARE REQUIRED IN ORDER TO SATISFY THE REQUIREMENT SET FORTH BY FAIRFAX COUNTY ZONING ORDINANCE SECTION 13-303-3A.

CATEGORY	NURSERY STOCK	Size (Height)	Quantity	TOTAL 10-YR CANOPY (SF)	
<b>SMALL EVERGREEN SHRUBS</b>					
	N/A	5 GALLON	2-3'	66	N/A
	N/A	5 GALLON	2-3'	63	N/A
	N/A	5 GALLON	2-3'	66	N/A

**NOTES:**

1. SOIL REMEDIATION SHALL TAKE PLACE FOR LANDSCAPING IN PREVIOUSLY IMPERVIOUS AREAS; ALL ASPHALT AND GRAVEL WILL BE REMOVED FOR ALL LANDSCAPE AREAS AND THE AREA SHALL BE TILLED TO A DEPTH OF 18" LAND AMENDED WITH A MINIMUM OF 12" OF TOP SOIL / ORGANIC MATTER PRIOR TO ANY PLANTING. ADDITIONALLY, FAIRFAX COUNTY URBAN FOREST MANAGEMENT DIVISION SHALL BE NOTIFIED AFTER SOIL AMENDMENTS AND TILLING HAVE BEEN COMPLETED AND GIVEN THE OPPORTUNITY TO INSPECT THE SITE PRIOR TO PLANTING.
2. ANY SHRUB, TREE, OR HERBACEOUS SPECIES SUBSTITUTION MUST BE MADE IN ACCORDANCE WITH THE VIRGINIA STORMWATER MANAGEMENT DESIGN HANDBOOK AND IN COORDINATION WITH THE URBAN FOREST MANAGEMENT DIVISION, DPWS.
3. A SEE-THROUGH FENCE IS SHOWN ABOVE AS A PROPOSED BARRIER. THIS FENCE CAN BE MODIFIED TO MATCH ZONING ORDINANCE BARRIER TYPE F UPON REQUEST FROM THE URBAN FORESTRY DEPARTMENT.
4. NO LESS THAN THE QUANTITY OF TREES SHOWN ON THE PLANS SHALL BE PLANTED TO ACHIEVE THE MINIMUM 10-YEAR TREE CANOPY REQUIRED FOR THE SITE, UNLESS APPROVED BY UFM. TREES PLANTED THAT DO NOT MEET THE MINIMUM RESTRICTIVE REQUIREMENTS OF THE PFM WILL NOT RECEIVE CANOPY CREDIT. IF NEEDED, ADDITIONAL TREES WILL BE PROVIDED TO MEET THE MINIMUM 10-YEAR TREE CANOPY CREDIT FOR THE SITE.
5. ANY PROPOSED OR EXISTING TREE TO BE PRESERVED THAT IS LOST DURING CONSTRUCTION SHALL BE REPLACED ACCORDING TO THE PFM AND IN CONSULTATION WITH UFM.
6. TREES AND SHRUBS THAT ARE PLANTED SHALL BE OF THE SPECIES AND SIZE SPECIFIED ON THE APPROVED PLANS. THERE SHALL BE NO DEVIATIONS FROM THE APPROVED SIZES SPECIFIED EXCEPT AS APPROVED BY FAIRFAX COUNTY UFM AND IN CONFORMANCE WITH PFM SECTION 12-0705.1C.
7. ALL TREES AND SHRUBS SHALL MEET THE STANDARDS FOR SIZES AND QUALITY SPECIFIED IN THE AMERICAN ASSOCIATION OF NURSERYMAN'S AMERICAN STANDARD FOR NURSERY STOCK.
8. IF PROPOSED PLANTING CAN NOT BE ACHIEVED IN THE LOCATIONS SHOWN ON THE PLAN, AN ALTERNATIVE LOCATION MUST BE APPROVED BY UFM AND SHALL BE IN CONFORMANCE WITH APPLICABLE PFM STANDARDS AND REGULATIONS.
9. OPEN SPACE IS FOR ILLUSTRATIVE PURPOSES ONLY. THE AREA OF THE OPEN SPACE SHALL MEET THE 15,000 SF REQUIREMENT. DESIGN FEATURES SHALL INCLUDE APPROPRIATE OUTDOOR SEASONAL FURNITURE AND PATHS WILL MEET AMERICANS WITH DISABILITIES ACT STANDARDS FOR ACCESSIBLE DESIGN. OPEN SPACE AREA SHALL BE IN CONFORMANCE WITH DEVELOPMENT CONDITIONS. FINAL DESIGN TO BE DETERMINED AT SITE PLAN.



**M**

**SITE FEATURES**

- A. HANDICAP PARKING
- B. PICK UP/DROP OFF AREA
- C. TWO-WAY DRIVEWAY
- D. ONE-WAY DRIVEWAY
- E. EMERGENCY VEHICLE ACCESS
- F. SIDEWALK
- G. SERVICE AREA
- H. LIGHT POST
- I. DUMPSTER ENCLOSURE

**HARDSCAPE/SURFACING**

- 1. RETAINING WALL

**INTERIOR LANDSCAPING REQUIREMENTS**

PARKING LOT AREA USED FOR INTERIOR PARKING LOT CALCULATIONS

TRANSITIONAL SCREENING AND BARRIER BOUNDARY

TREE PRESERVATION/ PROTECTION FENCE

EXISTING TREE LINE

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**AGAPE ADULT DAY HEALTH CARE CENTER**

MASON DISTRICT  
FAIRFAX COUNTY, VIRGINIA

**LANDSCAPE PLAN**

ANN O. GERMAIN  
Lic. No. 028700  
7/9/13  
PROFESSIONAL ENGINEER

DATE: 09-12-2012  
FILE NO: \_\_\_\_\_  
DRN: LC  
CKD: AOG  
SHEET 9 OF 13

THIS SHEET TO BE USED FOR LANDSCAPE PURPOSES ONLY!!!

D = INDICATES THAT THE CATEGORY IS REFERRING TO A DECIDUOUS TREE.  
 EX:  
 Category IV - D = a category IV deciduous tree.

E = INDICATES THAT THE CATEGORY IS REFERRING TO AN EVERGREEN TREE.  
 EX:  
 Category IV - E = a category IV evergreen tree.

**NORTHEAST LOT LINE TRANSITIONAL SCREENING**

Approx. Area of Planting Strip (SF) = 6692

- Requirements:
- 1 Mixture of medium evergreens and large deciduous. 10-yr canopy > 75%
  - 2 Mixture of trees, at least 70% evergreen. <35% of any one species.
  - 3 3 med evergreen shrubs for every 10' length of the transitional screening yard.

Overall 10-year Canopy Credit - (Requirement 1)  
 75% of the total area = 5019

Types	Caliper (in)	SF	#	Total
Category IV - D	2	200	4	800
Category III - D	2	150	3	450
Category III - D	2	150	2	300
Grand Total =				1550

INDICATES THAT TWO DIFFERENT TYPES OF CATEGORY III-D SPECIES ARE TO BE USED.

INDICATES THAT TWO DIFFERENT TYPES OF CATEGORY IV-E SPECIES ARE TO BE USED.

**SUMMATION CHART OF TRANSITIONAL SCREENING CALCULATIONS**

Types	Size	SF	#	Total SF
Category IV - D	2" Caliper	200	8	1600
Category III - D	2" Caliper	150	5	750
Category III - D	2" Caliper	150	9	1350
Category IV - E	7-8' (Height)	150	17	2550
Category IV - E	7-8' (Height)	150	16	2400
Category III - E	7-8' (Height)	125	24	3000
Category II - E	7-8' (Height)	75	24	1800
Total 10-yr canopy from transitional screening requirements =				13450

IN ADDITION TO THE CATEGORY IV-D TREE SPECIES CALLED OUT, CATEGORY III-D TREES ARE CALLED OUT TWICE TO INDICATE THAT TWO DIFFERENT TYPES ARE TO BE USED IN ORDER TO SATISFY THE REQUIREMENT THAT A TOTAL OF THREE DIFFERENT SPECIES ARE TO BE PLANTED FOR TRANSITIONAL SCREENING, PER ZONING ORDINANCE SECTION 13-303-3A.

**Requirement 2**

70% of 10-yr canopy area (evergreens) (ft) = 3513.30  
 Can't have more than 35% of one species:  
 Number of different species needed = 2.86  
 = 3

Types	Height (ft)	SF	#	Total
Category IV - E	7-8'	150	7	1050
Category IV - E	7-8'	150	6	900
Category III - E	7-8'	125	11	1375
Category II - E	7-8'	75	10	750
Grand Total =				4075

CATEGORY III-D TREES ARE CALLED OUT TWICE TO INDICATE THAT TWO DIFFERENT TYPES ARE TO BE USED IN ORDER TO SATISFY THE REQUIREMENT THAT A TOTAL OF THREE DIFFERENT SPECIES ARE TO BE PLANTED FOR TRANSITIONAL SCREENING, PER ZONING ORDINANCE SECTION 13-303-3A.

**Requirement 3**

Length of yard (ft) = 267.68  
 # of med evergreen shrubs = 80.304  
 = 81

Need (SF): 5019  
 Provided (SF): 5625

\* ALL PROPOSED PLANTINGS ARE TO BE OF NATIVE SPECIES TO THE PROJECT AREA.

**SOUTHWEST LOT LINE TRANSITIONAL SCREENING**

Approx. Area of Planting Strip (SF) = 9441.75

- Requirements:
- 1 Mixture of medium evergreens and large deciduous. 10-yr canopy > 75%
  - 2 Mixture of trees, at least 70% evergreen. <35% of any one species.
  - 3 3 med evergreen shrubs for every 10' length of the transitional screening yard.

Overall 10-year Canopy Credit - (Requirement 1)  
 75% of the total area = 7081.313

Types	Caliper (in)	SF	#	Total
Category IV - D	2	200	4	800
Category III - D	2	150	5	750
Category III - D	2	150	4	600
Grand Total =				2150

IN ADDITION TO THE CATEGORY IV-D TREE SPECIES CALLED OUT, CATEGORY III-D TREES ARE CALLED OUT TWICE TO INDICATE THAT TWO DIFFERENT TYPES ARE TO BE USED IN ORDER TO SATISFY THE REQUIREMENT THAT A TOTAL OF THREE DIFFERENT SPECIES ARE TO BE PLANTED FOR TRANSITIONAL SCREENING, PER ZONING ORDINANCE SECTION 13-303-3A.

**Requirement 2**

70% of 10-yr canopy area (evergreens) (ft) = 4956.92  
 Can't have more than 35% of one species:  
 Number of different species needed = 2.86  
 = 3

Types	Height (ft)	SF	#	Total
Category IV - E	7-8'	150	10	1500
Category IV - E	7-8'	150	10	1500
Category III - E	7-8'	125	13	1625
Category II - E	7-8'	75	14	1050
Grand Total =				5675

CATEGORY III-D TREES ARE CALLED OUT TWICE TO INDICATE THAT TWO DIFFERENT TYPES ARE TO BE USED IN ORDER TO SATISFY THE REQUIREMENT THAT A TOTAL OF THREE DIFFERENT SPECIES ARE TO BE PLANTED FOR TRANSITIONAL SCREENING, PER ZONING ORDINANCE SECTION 13-303-3A.

**Requirement 3**

Length of yard (ft) = 377.67  
 # of med evergreen shrubs = 113.301  
 = 114

Need (SF): 7081.313  
 Provided (SF): 7825

**SOUTHWEST LOT LINE TRANSITIONAL SCREENING**

Approx. Area of Planting Strip (SF) = 4274

Requirement:  
 10-yr canopy > 75% of area

Requirement 1  
 75% of the total area = 3205.5

10-yr canopy occupied by existing vegetation (sf) = 7928

Need (SF): 3205.5  
 Provided (SF): 4274

**INTERIOR LANDSCAPE FOR PARKING**

AS REQUIRED PER PFM SECTION 12-0514. 1 & 2, THE PROPOSED PARKING LOT HAS BEEN USED TO CALCULATE THE INTERIOR PARKING LOT LANDSCAPING REQUIREMENT. THE AREA CONSIDERED FOR THIS CALCULATION IS INDICATED BY THE SHADING ON SHEET 9. THE INTERIOR LOT LANDSCAPING REQUIREMENT IS CALCULATED BELOW.

TABLE 12.11 INTERIOR PARKING LOT LANDSCAPING CALCULATIONS

AREA TO BE COUNTED =	SF
INT. LANDSCAPING REQUIRED (5%) =	19809
	990.45
SHADE TREE CANOPY PROVIDED BY PROPOSED TREES:	
CATEGORY IV DECIDUOUS TREE (2 CALIPER, 5 @ 200 SF)	1000
TOTAL =	1000
REMAINING INT. LANDSCAPING REQUIRED =	0
TOTAL AREA REQUIRED =	990
TOTAL AREA PROVIDED =	1000

THE INTERIOR LANDSCAPING REQUIREMENT WAS MET BY PROPOSED VEGETATION. AS REQUIRED BY PFM SECTION 12.0514.3C, THE DECIDUOUS TREES PROVIDE SHADE DIRECTLY TO A PORTION OF THE PARKING LOT AREA. ALL TREES COUNTED TOWARD THIS CREDIT SHALL BE LOCATED WITHIN THE INTERIOR OF THE PARKING LOT AND DISPERSED THROUGHOUT, AS IS REQUIRED BY PFM SECTION 12-0514.3D. NONE OF THE TREES COUNTED TOWARD THIS CREDIT WERE COUNTED AS TRANSITIONAL SCREENING.

**ADDITIONAL PROPOSED VEGETATION FOR LANDSCAPING**

ADDITIONAL PROPOSED VEGETATION HAS BEEN PROPOSED TO PROVIDE VEGETATION WITHIN THE PROPOSED USABLE OPEN SPACE.

Type	Caliper (in)	SF	#	Total SF
Category IV-D	2	200	10	2000
REQUIRED =		1,893.18		
PROVIDED =		2,000.00		

\*NOTE:

1. TREES ARE TO BE NATIVE SPECIES.

**PERIPHERAL PARKING LOT LANDSCAPING REQUIREMENTS**

PER ZONING ORDINANCE SECTION 13-203-1, PERIPHERAL PARKING LOT LANDSCAPING HAS BEEN PROVIDED ALONG THE NORTHWEST LOT LINE. A 4' PLANTING STRIP HAS BEEN PROVIDED PER 13-203-1A. CALCULATIONS FOR PLANTING REQUIREMENTS ARE BELOW.

LENGTH OF PARKING LOT (FT) = 141.89

REQUIREMENT 13-203-1B:  
 AT LEAST 1 TREE FOR EACH 50' INTERVAL SHALL BE PLANTED IN THE STRIP; THIS IS NOT TO BE CONSTRUED AS REQUIRING THE PLANTING OF TREES ON FIFTY FOOT CENTERS.

TYPE	CAUPER (IN)	SF	#	TOTAL SF (10-YR CANOPY)
CATEGORY IV - D	2	200	3	600
NUMBER OF REQUIRED PERIPHERAL PARKING LOT TREES =				2.84
NUMBER OF PROVIDED PERIPHERAL PARKING LOT TREES =				3

**10-YEAR CANOPY CREDIT PROVIDED BY TRANSITIONAL SCREENING, PERIPHERAL PARKING, ADDITIONAL PROPOSED VEGETATION, AND INTERIOR PARKING LOT LANDSCAPING**

TRANSITIONAL SCREENING =	13450
PERIPHERAL PARKING LOT LANDSCAPING =	600
INTERIOR PARKING LOT LANDSCAPING =	1000
ADDITIONAL PROPOSED LANDSCAPING =	2000
TOTAL =	17050

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**AGAPE ADULT DAY HEALTH CARE CENTER**

MASON DISTRICT  
 FAIRFAX COUNTY, VIRGINIA

**LANDSCAPE PLAN CALCULATIONS**

COMMONWEALTH OF VIRGINIA

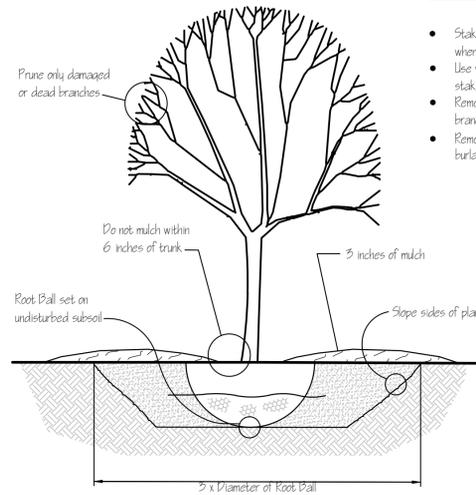
ANN O. GERMAIN  
 Lic. No. 028700  
 7/9/13  
 PROFESSIONAL ENGINEER

DATE: 09-12-2012  
 FILE NO: ---  
 DRN: LC  
 CKD: AOG

# LANDSCAPE NOTES

## GENERAL PLANTING NOTES

- THE LANDSCAPE CONTRACTOR SHALL PROVIDE ALL MATERIALS, LABOR AND EQUIPMENT TO COMPLETE ALL LANDSCAPE WORK AS SHOWN ON THE PLANS AND SPECIFICATIONS.
- THE LANDSCAPE CONTRACTOR SHALL STATE THE TOTAL NUMBER OF EACH PLANT WITH THE CONTRACT PRICE. THE PLANT LIST SUBMITTED WILL AUTOMATICALLY BECOME PART OF THE CONTRACT DOCUMENTS. NOTE: IF THE CONTRACTOR BIDS ACCORDING TO THE PLANT LIST, HE/SHE SHOULD DOUBLE CHECK THE PLANT LIST QUANTITIES WITH THE SYMBOLS DRAWN ON THE PLAN, TO BE SURE THERE ARE NO DISCREPANCIES. IF THERE IS A DISCREPANCY BETWEEN THE DRAWING AND THE LIST ON THE PLANS, THE CONTRACTOR SHALL REQUEST CLARIFICATION FROM THE LANDSCAPE ARCHITECT.
- ALL PLANT MATERIAL WILL CONFORM TO THE CURRENT ISSUE OF THE AMERICAN STANDARD FOR NURSERY STOCK PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSEYMEN. PLANT MATERIAL MUST BE SELECTED FROM NURSERIES THAT HAVE BEEN INSPECTED AND CERTIFIED BY STATE PLANT INSPECTORS.
- WHEN REQUESTED BY THE OWNER OR OWNER'S REPRESENTATIVE, SAMPLES OF ALL MATERIALS OTHER THAN PLANTS SHALL BE SUBMITTED TO THE OWNER'S DESIGNATED REPRESENTATIVE FOR APPROVAL.
- ALL APPROVALS WILL BE IN WRITING.
- IT IS THE LANDSCAPE CONTRACTOR'S RESPONSIBILITY TO MAKE EVERY REASONABLE EFFORT TO FIND THE MATERIAL SPECIFIED BY THE LANDSCAPE ARCHITECT. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR QUALIFYING HIS/HER PROPOSAL TO DOCUMENT ANY PLANT SUITABILITY OR AVAILABILITY PROBLEMS.
- THE LANDSCAPE CONTRACTOR SHALL NOTIFY UTILITY COMPANIES AND/OR THE GENERAL CONTRACTOR IN ADVANCE OF CONSTRUCTION TO LOCATE UTILITIES. IF THERE IS A CONFLICT WITH THE UTILITIES AND THE PLANTING, ANY COST DUE TO RELOCATING AFTER PLANTING SHALL BE BORNE BY THE OWNER.
- DURING PLANTING, ALL AREAS SHALL BE KEPT NEAT AND CLEAN, AND PRECAUTIONS SHALL BE TAKEN TO AVOID DAMAGE TO EXISTING PLANTS, LARGE TREES, TURF AND STRUCTURES. WHERE EXISTING TREES ARE TO BE PRESERVED, ADDITIONAL PRECAUTIONS SHOULD BE TAKEN TO AVOID UNNECESSARY ACCUMULATION OF EXCAVATED MATERIALS, SOIL COMPACTION OR ROOT DAMAGE. ANY DAMAGED AREAS CAUSED BY THE LANDSCAPE CONTRACTOR SHALL BE RESTORED TO THEIR ORIGINAL CONDITION PER PFM SECTION 12-0516.
- UPON COMPLETION, ALL DEBRIS AND WASTE MATERIAL RESULTING FROM PLANTING OPERATIONS SHALL BE REMOVED FROM THE PROJECT AND THE AREA CLEANED UP.
- THE OWNER SHALL SUPPLY WATER ON SITE AT NO COST. IF THE LANDSCAPE CONTRACTOR HAS TO SUPPLY WATER TO THE SITE, IT SHALL BE AT AN ADDITIONAL COST TO THE OWNER.
- CONTAINER-GROWN MATERIAL AND HARDENED-OFF B&B EVERGREEN OR DECIDUOUS MATERIAL CAN BE PLANTED YEAR ROUND.
- ALL PLANT ROOTS SHALL BE PROTECTED DURING HANDLING AND PLANTING TO GUARD AGAINST DRYING OUT AND DAMAGE.
- INSPECTION: A VERIFICATION OF PERFORMANCE FOR WORK BY CONTRACT DOCUMENTS, TO BE CONDUCTED BY THE OWNER OR HIS/HER REPRESENTATIVE ON-SITE AND IN THE PRESENCE OF THE LANDSCAPE ARCHITECT FOR THE PURPOSE OF ACCEPTANCE. INSPECTION SHALL BE MADE WITHIN TWO (2) WEEKS OF WRITTEN NOTIFICATION FROM THE LANDSCAPE CONTRACTOR. FAILURE OF THE OWNER TO INSPECT THE WORK SHALL VOID THE GUARANTEE. DURING INSPECTION FOR INITIAL ACCEPTANCE, THE LANDSCAPE CONTRACTOR SHOULD HAVE AN ACCEPTANCE FORM TO BE SIGNED BY THE OWNER OR OWNER'S REPRESENTATIVE.
- INITIAL ACCEPTANCE & THE APPROVAL OF WORK INSPECTED: ACCEPTANCE CAN BE ON PARTIALLY COMPLETED WORK UNDER THE CONTRACT, IF APPROVED BY THE OWNER. IF, FOR REASONS BEYOND THE LANDSCAPE CONTRACTOR'S CONTROL, WORK HAS STOPPED, INSPECTION SHALL BE MADE ON PARTIALLY COMPLETED WORK. WARRANTY SHALL BEGIN AFTER LANDSCAPE INSPECTION AND ACCEPTANCE. MAINTENANCE AFTER INITIAL INSPECTION AND ACCEPTANCE SHALL BE THE RESPONSIBILITY OF THE OWNER, UNLESS AN OPTIONAL MAINTENANCE CONTRACT HAS BEEN SPECIFIED.
- THE LANDSCAPE CONTRACTOR SHOULD PERIODICALLY INSPECT THE SITE DURING THE WARRANTY PERIOD AND NOTIFY THE OWNER IN WRITING IF PROPER MAINTENANCE IS NOT BEING PERFORMED.
- FINAL INSPECTION AND ACCEPTANCE: THE LANDSCAPE CONTRACTOR SHALL CONDUCT A FINAL INSPECTION WITH THE OWNER OR OWNER'S REPRESENTATIVE AT THE END OF THE ONE YEAR PERIOD.
- THE STANDARD WARRANTY IS FOR A ONE (1) YEAR PERIOD, EXCLUDING BULBS AND ANNUALS, COMMENCING ON THE DATE OF INITIAL ACCEPTANCE. ALL PLANTS SHALL BE ALIVE AND IN SATISFACTORY GROWTH AT THE END OF THE GUARANTEE PERIOD.
- ANY MATERIAL THAT IS 25% DEAD OR MORE SHALL BE CONSIDERED DEAD AND MUST BE REPLACED AT NO CHARGE. A TREE SHALL BE CONSIDERED DEAD WHEN THE MAIN LEADER HAS DIED BACK, OR 25% OF THE CROWN IS DEAD. REPLACEMENTS SHALL BE PER PFM SECTION 12-0516.
- WARRANTY MAY BE VOID IF PROPER CARE, BY OWNER OR OWNER'S MAINTENANCE CONTRACTOR, IS NOT MAINTAINED.
- REPLACEMENTS SHALL BE MADE DURING THE NEXT PLANTING PERIOD UNLESS THE LANDSCAPE CONTRACTOR AGREES TO AN EARLIER DATE. SPRING: MARCH 15 - JUNE 15 FALL: SEPTEMBER 15 - NOVEMBER 15 23. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR A ONE-TIME REPLACEMENT ONLY.
- REPLACEMENTS SHALL BE OF THE SAME TYPE, SIZE AND QUALITY AS ORIGINAL SPECIES UNLESS OTHERWISE NEGOTIATED, PER PFM STANDARDS AND SPECIFICATIONS.
- THE LANDSCAPE CONTRACTOR WILL NOT BE RESPONSIBLE FOR PLANT MATERIAL THAT HAS BEEN DAMAGED BY VANDALISM, FIRE, REMOVAL, RELOCATION, WILDLIFE, THEFT, IMPROPER MAINTENANCE OR OTHER ACTIVITIES BEYOND THE LANDSCAPE CONTRACTOR'S CONTROL.
- PLANT LOSSES DUE TO ABNORMAL WEATHER CONDITIONS SUCH AS FLOODS, EXCESSIVE WIND DAMAGE, DROUGHT, SEVERE FREEZING OR ABNORMAL RAINS WILL IN NO WAY BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FURNISHING AND INSTALLING ALL PLANT MATERIAL SHOWN ON THE DRAWINGS AND PLANT LIST, AS SUBMITTED WITH THE CONTRACT. THE LANDSCAPE CONTRACTOR SHALL HAVE INVESTIGATED THE SOURCES OF SUPPLY AND SATISFIED HIMSELF/HERSELF THAT HE/SHE CAN SUPPLY ALL THE PLANTS SPECIFIED ON THE DRAWINGS IN THE SIZE, VARIETY AND QUALITY NOTED BEFORE SUBMITTING THE BID. FAILURE TO TAKE THIS PRECAUTION WILL NOT RELIEVE THE SUCCESSFUL BIDDER FROM THE RESPONSIBILITY FOR FURNISHING AND INSTALLING ALL THE PLANT MATERIAL IN STRICT ACCORDANCE WITH THE CONTRACT REQUIREMENTS AND WITHOUT ADDITIONAL EXPENSE TO THE OWNER. ON THE OTHER HAND, IF PROOF IS SUBMITTED THAT ANY PLANT SPECIFIED IS NOT OBTAINABLE, A PROPOSAL WILL BE CONSIDERED FOR USE OF NEAREST EQUIVALENT SIZE OR VARIETY WITH AN EQUITABLE ADJUSTMENT OF CONTRACT PRICE. SUCH PROOF SHALL BE SUBSTANTIATED AND SUBMITTED IN WRITING TO THE LANDSCAPE ARCHITECT WITH COPIES TO THE OWNER.
- INsofar AS IS PRACTICAL, TREES AND SHRUBS SHALL BE PLANTED ON DAY OF DELIVERY. IF THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL PROTECT UNPLANTED TREES BY KEEPING THEM IN THE SHADE, WELL PROTECTED WITH SOIL, MULCH OR OTHER ACCEPTABLE MATERIAL AND SHALL KEEP TREES WELL WATERED. TREES AND SHRUBS SHALL NOT REMAIN UNPLANTED FOR MORE THAN 2 WEEKS.
- ALL TREES AND SHRUBS SHALL BE PLANTED IN SUCH A MANNER AS TO ENSURE THEIR SURVIVAL. THIS SHALL INCLUDE THE PLANTING OF INTACT BALLS, PLANTING AT THE PROPER DEPTH, PROPERLY BACKFILLING AND WATERING, AND CONSTRUCTION OF A PLANTING SAUCER. THE SAUCER SHALL BE FILLED WITHOUT BREAKING THE INTEGRITY OF THE SAUCER EDGES.



Scale: None

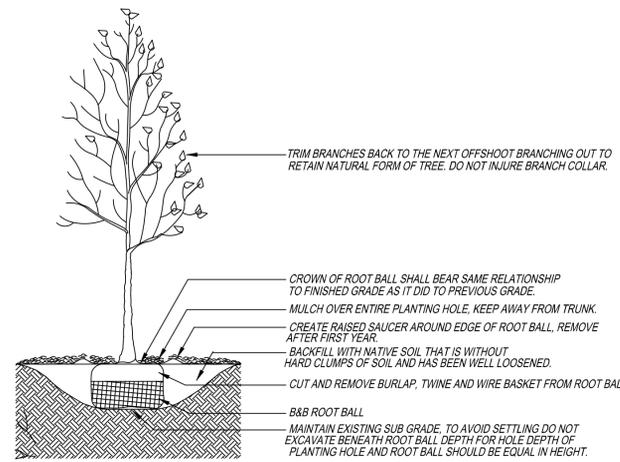
## TREE PLANTING DETAIL

### NOTES:

- PRIOR TO DEMOLITION AND EXCAVATION, VERIFY LOCATIONS AND ELEVATIONS OF EXISTING CONDITIONS, UTILITIES, UTILITY BOXES, POLES, FIRE HYDRANTS, VAULTS AND SIMILAR STRUCTURES. COORDINATE ELEVATION/CROSSING OF UTILITIES. NOTIFY OWNER'S REPRESENTATIVE IMMEDIATELY OF ANY INCONSISTENCIES. FAILURE TO NOTIFY OWNER'S REPRESENTATIVE SHALL CONSTITUTE CONTRACTOR'S ACCEPTANCE OF SITE CONDITIONS.
- CONTRACTOR IS REQUIRED TO NOTIFY ALL UTILITY COMPANIES NOT LESS THAN THREE (3) WORKING DAYS PRIOR TO BEGINNING EXCAVATION OR DEMOLITION.
- CONSTRUCTION SAFETY IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR. NEITHER THE OWNER NOR THE OWNER'S REPRESENTATIVES SHALL BE EXPECTED TO ASSUME ANY RESPONSIBILITY FOR SAFETY OF THE WORK OR OF THE PERSONS ENGAGED IN THE WORK.
- REMOVE DEMOLISHED AND EXCESS EXCAVATED MATERIALS FROM THE PROJECT SITE, UNLESS OTHERWISE DIRECTED.
- ALL PLANTING BEDS TO RECEIVE A MINIMUM OF 18" TOPSOIL UNLESS OTHERWISE NOTED.
- THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL PERMITS AND RELATED FEES REQUIRED BY THE CITY, COUNTY, AND/OR STATE GOVERNING AGENCIES.
- CONTRACTOR SHALL ADHERE TO THE GUIDELINES AND CONSTRUCTION STANDARDS SET FORTH BY REMEDIATION AND EROSION AND SEDIMENTATION CONTROL PLAN AS APPROVED.
- GRADING WITHIN LIMITS OF TREE PROTECTION AREAS WILL NOT BE PERMITTED WITHOUT THE APPROVAL FROM THE DIRECTOR. GRADING AROUND PROTECTED ZONES SHALL BE CONTOURED TO PROVIDE POSITIVE DRAINAGE.
- FOR ALL DISTURBED LAWN AREAS REMOVE A MINIMUM OF THE TOP 6" OF EXISTING SOIL IN ALL AREAS OF PROPOSED GREEN SPACE AND REPLACE WITH A MINIMUM OF 6" OF CLEAN SOIL AND TOPSOIL. IF THE EXISTING SOIL IS DEEMED OF ACCEPTABLE CONDITION FOR USE, IT SHALL BE PROPERLY TREATED, I.E. AERATED, AND REUSED IN THE PROPOSED SPACE.
- CONTRACTOR TO COORDINATE WITH OTHER CONTRACTORS TO ENSURE TIMELY INSTALLATION OF UTILITIES PRIOR TO PLACEMENT OF HARDSCAPE AND LANDSCAPE.
- NO CONSTRUCTION SHALL EXTEND BEYOND LIMITS OF WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER.
- AT THE START OF EARTHWORK OPERATIONS STRIP AND STOCKPILE EXISTING TOPSOIL FOR REUSE. THE EXPOSED SURFACE AREAS SHALL BE THOROUGHLY PROOF-ROLLED. UNSTABLE AREAS DETECTED DURING PROOF-ROLLING AREA TO BE UNDERCUT AND BACK FILLED WITH GENERAL FILL, THEN THOROUGHLY PROOF-ROLLED.
- PROPER TREATMENT OF SOILS PREVIOUSLY COVERED BY IMPERVIOUS MATERIAL WILL BE CARRIED OUT BEFORE VEGETATION. THIS WILL INCLUDE, BUT IS NOT LIMITED TO, THE AERATION AND THE ADDITION OF SUITABLE TOP SOIL AND MULCH AS NEEDED, IN ACCORDANCE WITH THE DEVELOPMENT CONDITIONS.
- ANY LARGE SCALE REMOVAL (OTHER THAN SEVERING AND TREATING VINE RE-GROWTH ON AND AROUND TREES) OF INVASIVE SPECIES WITHIN THE RPA WILL LIKELY REQUIRE ADDITIONAL PERMITTING (WQIA) THROUGH THE SITE DEVELOPMENT AND INSPECTIONS DIVISION AT SITE PLAN SUBMISSION.
- ALL TREES SHOWN TO BE PRESERVED ON THE TREE PRESERVATION PLAN SHALL BE PROTECTED BY TREE PROTECTION FENCING. TREE PROTECTION FENCING IN THE FORM OF FOUR (4) FOOT HIGH, FOURTEEN (14) GAUGE WELDED WIRE ATTACHED TO SIX (6) FOOT STEEL POSTS DRIVEN EIGHTEEN (18) INCHES INTO THE GROUND AND PLACE NO FURTHER THAN TEN (10) FEET APART OR SUPER SILT FENCE TO THE EXTENT THAT REQUIRED TRENCHING FOR SUPER SILT FENCE DOES NOT SEVER OR WOUND COMPRESSION ROOTS, WHICH CAN LEAD TO STRUCTURAL FAILURE AND/OR UPROOTING OF TREES, SHALL BE ERRECTED AT THE LIMITS OF CLEARING AND GRADING AS SHOWN ON THE DEMOLITION AND PHASE I & II EROSION AND SEDIMENT CONTROL SHEETS, AS MAY BE MODIFIED BY THE "ROOT PRUNING" CONDITION BELOW.
- ALL TREE PROTECTION FENCING SHALL BE INSTALLED AFTER THE TREE PRESERVATION WALKTHROUGH MEETING BUT PRIOR TO ANY CLEARING AND GRADING ACTIVITIES, INCLUDING THE DEMOLITION OF ANY EXISTING STRUCTURES. THE INSTALLATION OF ALL TREE PROTECTION FENCING SHALL BE PERFORMED UNDER THE SUPERVISION OF A CERTIFIED ARBORIST, AND ACCOMPLISHED IN A MANNER THAT DOES NOT HARM EXISTING VEGETATION THAT IS TO BE PRESERVED. THREE (3) DAYS PRIOR TO THE COMMENCEMENT OF ANY CLEARING, GRADING, OR DEMOLITION ACTIVITIES, BUT SUBSEQUENT TO THE INSTALLATION OF THE TREE PROTECTION DEVICES, THE UFMD SHALL BE NOTIFIED AND GIVEN THE OPPORTUNITY TO INSPECT THE SITE TO ENSURE THAT ALL TREE PROTECTION DEVICES HAVE BEEN CORRECTLY INSTALLED. IF IT IS DETERMINED THAT THE FENCING HAS NOT BEEN INSTALLED CORRECTLY, NO GRADING OR CONSTRUCTION ACTIVITIES SHALL OCCUR UNTIL THE FENCING IS INSTALLED CORRECTLY, AS DETERMINED BY THE UFMD.
- THE APPLICANT SHALL ROOT PRUNE, AS NEEDED TO COMPLY WITH THE TREE PRESERVATION REQUIREMENTS OF THESE DEVELOPMENT CONDITIONS. ALL TREATMENTS SHALL BE CLEARLY IDENTIFIED, LABELED, AND DETAILED ON THE EROSION AND SEDIMENT CONTROL SHEETS OF THE SITE PLAN SUBMISSION. THE DETAILS FOR THESE TREATMENTS SHALL BE REVIEWED AND APPROVED BY THE UFMD, ACCOMPLISHED IN A MANNER THAT PROTECTS AFFECTED AND ADJACENT VEGETATION TO BE PRESERVED, AND MAY INCLUDE, BUT NOT BE LIMITED TO, THE FOLLOWING:
  - ROOT PRUNING SHALL BE DONE WITH A TRENCHER OR VIBRATORY PLOW TO A DEPTH OF 18 - 24 INCHES;
  - ROOT PRUNING SHALL TAKE PLACE PRIOR TO ANY CLEARING AND GRADING, OR DEMOLITION OF STRUCTURES;
  - ROOT PRUNING SHALL BE CONDUCTED WITH THE SUPERVISION OF A CERTIFIED ARBORIST; AND
  - A UFMD REPRESENTATIVE SHALL BE INFORMED WHEN ALL ROOT PRUNING AND TREE PROTECTION FENCE INSTALLATION ARE COMPLETE.
- THE APPLICANT SHALL CONFORM STRICTLY TO THE LIMITS OF CLEARING AND GRADING AS SHOWN ON THE PLAT, SUBJECT TO ALLOWANCES SPECIFIED IN THE PROFFERED CONDITIONS AND FOR THE INSTALLATION OF UTILITIES AND/OR TRAILS AS DETERMINED NECESSARY BY THE DIRECTOR OF DPWS. AS DESCRIBED HEREIN, IF IT IS DETERMINED NECESSARY TO INSTALL UTILITIES AND/OR TRAILS IN AREAS PROTECTED BY THE LIMITS OF CLEARING AND GRADING AS SHOWN ON THE PLAT, THEY SHALL BE LOCATED IN THE LEAST DISRUPTIVE MANNER NECESSARY AS DETERMINED BY THE UFMD. A REPLANTING PLAN SHALL BE DEVELOPED AND IMPLEMENTED, SUBJECT TO APPROVAL BY THE UFMD FOR ANY AREAS PROTECTED BY THE LIMITS OF CLEARING AND GRADING THAT MUST BE DISTURBED FOR SUCH TRAILS OR UTILITIES.
- DURING ANY CLEARING OR TREE/VEGETATION/STRUCTURE REMOVAL ON THE APPLICANT PROPERTY, A REPRESENTATIVE OF THE APPLICANT SHALL BE PRESENT TO MONITOR THE PROCESS AND ENSURE THAT THE ACTIVITIES ARE CONDUCTED AS CONDITIONED AND AS APPROVED BY THE UFMD. THE APPLICANT SHALL RETAIN THE SERVICES OF A CERTIFIED ARBORIST OR REGISTERED CONSULTING ARBORIST TO MONITOR ALL CONSTRUCTION AND DEMOLITION WORK AND TREE PRESERVATION EFFORTS IN ORDER TO ENSURE CONFORMANCE WITH ALL TREE PRESERVATION DEVELOPMENT CONDITIONS AND UFMD APPROVALS. THE MONITORING SCHEDULE SHALL BE DESCRIBED AND DETAILED IN THE LANDSCAPING AND TREE PRESERVATION PLAN, AND REVIEWED AND APPROVED BY THE UFMD.
- AN INVASIVE SPECIES MANAGEMENT PLAN SHALL BE SUBMITTED AT SITE PLAN, PER THE DEVELOPMENT CONDITIONS.
- ANY DECONSTRUCTION, DEMOLITION, REMEDIATION, OR CONSTRUCTION WITHIN THE CRITICAL ROOT ZONES OF PRESERVED TREES, AS DEPICTED ON THE PLAT, SHALL BE DONE BY HAND TO MINIMIZE DISTURBANCE TO EXISTING VEGETATION, WHICH WILL BE COORDINATED WITH THE SITE REVIEW ENGINEER AND THE UFMD. ANY VEGETATION DAMAGED OR REMOVED SHALL BE REPLACED AS DETERMINED AND RECOMMENDED BY THE UFMD.

## NOTES

- Stake only to prevent wind tip or when planting on steep slopes
- Use wide fabric tape material for staking and quoin
- Remove all tags and ropes from branches and root ball
- Remove top 1/2 of wire baskets & burlap



### NOTES:

- AERATE AREA SURROUNDING PLANTING PIT WALLS TO 6" / 152mm MIN. DEPTH, 2 1/2 X BALL DIAMETER.
- WATER THOROUGHLY AFTER INSTALLATION, FILLING SAUCER AND ALLOW TO DRAIN. REPEAT 2 TO 3 TIMES.
- REMOVE SAUCER AT THE TIME THE WARRANTY EXPIRES.
- PROVIDE DRAINAGE FOR PLANTING PIT IF IN IMPERMEABLE SOIL.
- ALL TREES MUST BE TAGGED AND APPROVED BY CONTRACTOR WITHIN 14 DAYS AFTER TENDER CLOSING. AT THAT POINT ALL TAGS AND ANY TRASH SHALL BE PICKED UP AND REMOVED FROM SITE.
- ALL TAGS, ROPES, AND WIRES BINDING THE BALL SHALL BE CUT AND COMPLETELY REMOVED.



DECIDUOUS TREE DETAIL  
3" / 75 mm CALIPER OR LESS

KIND OF SEED-TURF-TYPE TALL FESCUE-BLUEGRASS-	PERENNIAL RYE GRASS-	% BY WEIGHT:	% PURITY:	%GERMINATION
	10			97
	10			97
	80		97	85
				80
				90

## SEEDING AND SODDING

SEEDING AND SODDING APPLICATION WILL BE IN ACCORDANCE WITH THE VIRGINIA EROSION AND SEDIMENT CONTROL HANDBOOK.

TEMPORARY SEEDING WILL BE PLACED IN DISTURBED AREAS THAT WILL NOT BE BROUGHT TO GRADE FOR A PERIOD OF MORE THAN 30 DAYS.

PERMANENT SEEDING WILL BE PLACED IN DISTURBED AREAS THAT WILL NOT BE BROUGHT TO GRADE FOR A YEAR OR MORE. PERMANENT SEEDING CAN BE APPLIED TO AREAS THAT HAVE REACHED FINAL GRADE.

SODDING SHALL BE PLACED IN AREAS OF PERMANENT SEEDING WHERE THE SEEDING DOES NOT GERMINATE TO A LEAST 80%.

## MATERIALS

MATERIALS SHALL BE SPECIFIED AT SITE PLAN.

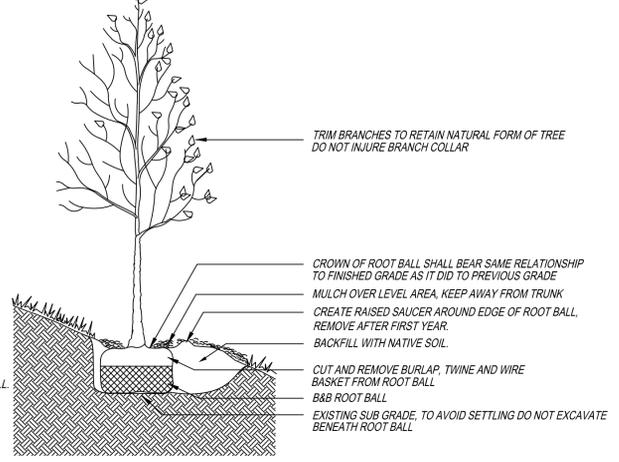
### GUARANTEE

THE CONTRACTOR SHALL BE RESPONSIBLE FOR MOVING ALL SODDED AND SEEDED AREAS AND MAINTAINING THEM IN A HEALTHY, VIGOROUS CONDITION AT HIS OWN EXPENSE UNTIL ALL CONTRACTED WORK IS COMPLETED AND ACCEPTED BY THE OWNER.

MOVING SHOULD BE OFTEN ENOUGH SO THAT NO MORE THAN 1/3 OF LEAF IS REMOVED AT ANY ONE MOWING. MAXIMUM HEIGHT OF GRASS BEFORE MOVING SHALL BE 3-1/2 INCHES. MINIMUM HEIGHT OF GRASS AFTER MOVING SHALL BE 2-1/2 INCHES.

THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPLACE ANY SEED OR SOD WHICH HAS DIED OR BEEN DAMAGED DURING THE ESTABLISHMENT PERIOD.

TEN PERCENT OF THE TOTAL COST OF SEED AND SOD WILL BE WITHHELD FROM FINAL PAYMENT UNTIL FINAL APPROVAL IS GIVEN BY THE OWNER.



### NOTES:

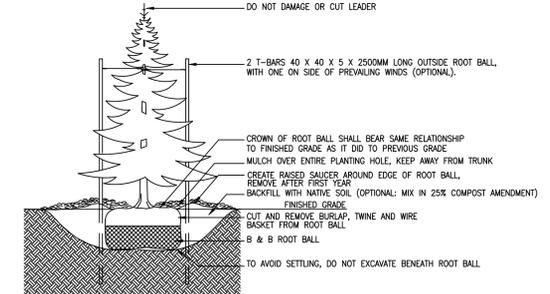
- AERATE AREA SURROUNDING PLANTING PIT WALLS TO 6" / 152mm MIN. DEPTH, 2 1/2 X BALL DIAMETER.
- WATER THOROUGHLY AFTER INSTALLATION, FILLING SAUCER AND ALLOW TO DRAIN. REPEAT 2 TO 3 TIMES.
- REMOVE SAUCER AT THE TIME THE WARRANTY EXPIRES.
- PROVIDE DRAINAGE FOR PLANTING PIT IF IN IMPERMEABLE SOIL.
- ALL TREES MUST BE TAGGED AND APPROVED BY CONTRACTOR WITHIN 14 DAYS AFTER TENDER CLOSING. AT THAT POINT ALL TAGS AND ANY TRASH SHALL BE PICKED UP AND REMOVED FROM SITE.
- ALL TAGS, ROPES, AND WIRES BINDING THE BALL SHALL BE CUT AND COMPLETELY REMOVED.



SLOPING GRADE DETAIL  
3" / 75mm CALIPER OR LESS



ENLARGED DETAIL

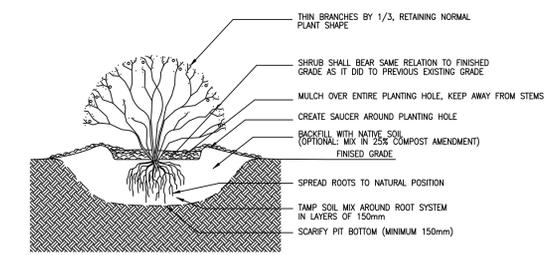


### SPECIFICATIONS:

- DO NOT DAMAGE MAIN ROOTS OR DESTROY ROOT BALL WHEN INSTALLING TREE STAKE.
- AERATE AREA SURROUNDING PLANTING PIT TO 6" MIN. DEPTH, 1 1/2 TIMES BALL DIAMETER.
- WATER THOROUGHLY AFTER INSTALLATION.
- REMOVE SAUCER AND STAKES TWO YEARS OR LESS AFTER INSTALLATION.
- PROVIDE DRAINAGE FOR PLANTING PIT IF IN IMPERMEABLE SOIL.
- ALL TREES MUST BE TAGGED AND APPROVED BY CONSULTANT WITHIN 14 DAYS AFTER TENDER CLOSING.

## CONIFEROUS TREE DETAIL

12" HGT OR LESS



### NOTES:

- WATER THOROUGHLY AFTER INSTALLATION.
- FOR PLANTING BED INSTALLATION EXCAVATE ENTIRE SHRUB BED AS SHOWN ON PROJECT DRAWINGS.

## SHRUB DETAIL - BARE ROOT

Supervisor Gross  
Board of Supervisors Meeting  
December 4, 2012  
Agape Adult Daycare Board Matter

Madame Chairman, Agape Health Management recently filed a Special Exception application, SE 2012-MA-018, which encompasses two parcels along Lincoln Road in the Mason District. The parcels are located on tax map 72-1 (01), parcels 50A & 50B. These parcels are also identified as 6359 & 6353 Lincoln Road, Alexandria. The subject property is comprised of a total of 2.9 acres and is currently developed under R-2 zoning. The present development consists of a school on parcel 50A and a residential house on parcel 50B.

Agape Health Management seeks to redevelop the property by removing the existing school and replacing it with a facility that will maintain a similar footprint. The new facility will be used as an adult daycare center, while the residential building on parcel 50B will be maintained in its current state and be used as an office for the main facility.

The Planning Commission public hearing is currently scheduled for February 28, 2013. In order to meet lease and construction constraints, the Applicant has requested concurrent and expedited processing. Therefore, I move that the Board of Supervisors authorize concurrent and expedited processing for SE 2012-MA-018.

The applicant is aware that the expediting of this application should not be construed to prejudice the consideration of the application in any way. The applicant is also aware that a favorable recommendation by the Board on the proposed application does not relieve the Applicant from compliance with the provisions of applicable ordinances, regulations, or adopted standards in any way.



County of Fairfax, Virginia  
Health Care Advisory Board

**MEMORANDUM**

DATE: April 9, 2013

**TO:** Board of Supervisors  
**FROM:** Marlene W. Blum, Chairman  
Health Care Advisory Board (HCAB)  
**SUBJECT:** Health Care Advisory Board Review of Special Exception (SE) application number SE 2012-MA-018, submitted by Agape Adult Day Health Care Center (AADHCC) to Build an Adult Day Health Care facility in Alexandria, VA, located on Lincoln Road (Mason District)

On April 8, 2013, the Health Care Advisory Board reconsidered Agape Adult Day Health Care Center's (AADHCC) Special Exception (SE) application (SE 2012-MA-018) to relocate and expand an existing AADHCC in Springfield to a new site, located off Lincoln Road in the Mason District. The HCAB originally reviewed the application during a public meeting held on February 11, 2013, but because of serious concerns about the proposal (Attachment 1), deferred its decision until April 8.

As the Board of Supervisors is aware, the Zoning Ordinance specifies that the Health Care Advisory Board (HCAB) review Special Exception applications for medical care facilities, which include ADHCs. The HCAB reviews these applications from the perspective of financial accessibility to clients, community and medical need, institutional need, cost, proposed staffing levels and qualifications, and financial feasibility.

Pete J. Rigby, Jr., PE, Partner, Vice President, Paciulli, Simmons & Associates, Ltd.; Javier Arencibia, Arencibia Architects Inc.; and Dong Chul Choi, President, Agape Health Management, Inc returned to the HCAB to answer follow up questions submitted to the applicant in writing, and to provide additional detail on AADHCC's proposal to expand.

AADHCC's lease on its Springfield facility will expire in December 2013. There are currently 105 participants (20 males and 85 females) attending the AADHCC with a waiting list of 10 individuals. The new facility would allow the applicant to increase the number of participants served from a current census of 105 to a maximum of 150.

AADHCC's hours of operation are Monday - Saturday, 8 a.m. to 5 p.m. Participants will be picked up in AADHCC vans from their place of residence and dropped off at the center where they will be engaged in a number of activities throughout the day, including games, crafts, karaoke, dance, exercise, relaxation, and physical therapy. Breakfast, a snack and lunch will be provided. AADHCC vans will return participants to their homes at 2:30 p.m. The facility will stay open until 5 p.m. to allow for cleanup. Saturday operations will mirror those Monday - Friday; no changes to schedules, procedures, participants, employees will occur.

AADHCC serves clients with a variety of needs and deficiencies, including Alzheimer's, dementia, diabetes, cancer, Parkinson's, and stroke/paralysis. AADHCC also accommodates participants with high blood pressure, high cholesterol, arthritis, short term memory loss, and depression as well as ambulatory and feeding challenges.

Ninety-three percent (98 participants) of AADHCC's population are covered by Medicaid. Virginia Medicaid pays AADHCC \$50.61 per person per day. AADHCC charges private pay clients \$60 per person per day, but in its written materials to the HCAB, AADHCC stated that none of their clients pay the fully daily rate. Seven participants received subsidies, which according to the applicant, vary from client to client (\$20-\$40 per person per day).

AADHCC reported annual income in the amount of \$1.2 million from Virginia Medicaid and \$120,000 from the Child and Adult Care Food Program, the federal program administered by the United States Department of Agriculture's (USDA) Food and Nutrition Service (FNS). The annual operating costs for the Springfield AADHCC are \$950,000, resulting in a net profit of \$370,000 before taxes. The HCAB felt that as a percentage of revenue, the profit margin was substantially higher than other service providers.

The operating costs for the new facility will be higher. Development and construction costs are projected at \$1.5 - \$2 million.

To address prior concerns regarding the applicant's failure to comply with Virginia Department of Social Services (DSS) medication administration regulations, AADHCC reaffirmed its commitment to all procedures and requirements governing medication administration. The applicant stated that all medication will be kept in a designated office in the facility under a double-lock system and a Registered Nurse (RN) and Medication Aide will be available in the medication office during operating hours. Self-administration of medication will be determined by the participant's primary physician; AADHCC will allow approved participants to self-administer medication under the direct supervision of the RN or Medication Aide. At AADHCC's existing facility, 93 participants, or 89% of the population, are authorized to administer their own medications.

Twelve AADHCC participants (11%) are unable to self-medicate. AADHCC restated its commitment to properly dispense medication using a RN or Medication Aide and confirming the participant's information as directed by the participant's physician.

The staff for the proposed facility will include a Director, Activity Director, RN, Medication Aide, and up to 27 Participant Supervisors, whose primary responsibility will be to supervise and ensure the well-being of participants (e.g., personal care, toileting, eating, ambulatory needs, etc.).

The HCAB did express concern about the ability of staff to supervise adults with dementia or Alzheimer's Disease, especially when participants are engaged in outdoor activities. Based on proposed diagrams presented to the HCAB in February, the facility's outdoor space is partially fenced in. The HCAB would recommend that AADHCC consider securing the perimeter to mitigate the potential for individuals to wander offsite. In addition to protecting the facility's cognitively impaired participants, the addition of fencing, given the facility's proximity to the heavily traveled Lincoln Road, would ensure the safety of all AADHCC's clients.

In conclusion, the HCAB recommends that the Board of Supervisors approve AADHCC's application to relocate and expand its current adult day health care facility.

Should the Board have any questions or comments, please contact the HCAB. Thank you.

Tiffany Paredes-Turner

**From:** Guthrie, Michelle <Michelle.Guthrie@Fairfaxcounty.gov>  
**Sent:** Tuesday, August 07, 2012 1:07 PM  
**To:** Tiffany Paredes-Turner  
**Cc:** Ruffner, Virginia; Guinaw, Kevin; Rodeheaver, Angela K.; Chauncey, Michael P.  
**Subject:** Agape - TIA Exemption Review

Tiffany,

FCDOT has reviewed the Ch 870 (previously 527) TIA determination request for an Agape Adult Day Care Center (tax map #72-1(11)50A & 50B). Based on the proposed maximum number of 150 adults per day, a Ch 870 TIA is not required.

Please include this email correspondence with your application submittal. I'm including Zoning staff for notification purposes.

Thanks and have a good day.

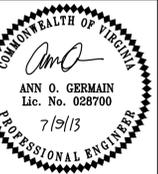
Michelle Guthrie  
Fairfax County Transportation



3975 Fair Ridge Drive  
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Fairfax, VA 22033  
PH 703.934.0900  
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Engineers  
Planners  
Surveyors  
Landscape Architects  
Wetland Specialists  
Environmental Scientists  
Archaeologists

AGAPE ADULT DAY  
HEALTH CARE CENTER  
MASON DISTRICT  
FAIRFAX COUNTY, VIRGINIA

PROJECT DOCUMENTS



DATE: 09-12-2012  
FILE NO: ---  
DRN: LC  
CKD: AOG

1. THE PROPERTY IS LOCATED ON TAX MAP 72-1-001-50A&50B AND IS ZONED R-2.

2. OWNER:  
 AGAPE HEALTH MANAGEMENT, INC.  
 5701-A GENERAL WASHINGTON DRIVE  
 ALEXANDRIA, VA 22312

3. AREA:  
 PARCEL 50A: 106,086 SF OR 2.4354 AC  
 PARCEL 50B (LOT1): 21,780 SF OR 0.500 AC  
 TOTAL: 127,866.024 SF OR 2.9354 AC

4. NO TITLE REPORT WAS FURNISHED WHICH MAY REFLECT EASEMENTS OR RIGHTS-OF-WAY OF RECORD NOT SHOWN HEREON. BOUNDARY IS FROM SURVEY PERFORMED BY PACIULLI, SIMMONS & ASSOCIATES LTD IN APRIL 2013.

5. THIS PLAT IS SUBJECT TO RESTRICTIONS OF RECORD.

6. YARD REQUIREMENTS:  
 FRONT YARD: CONTROLLED BY A 45° ANGLE OF BULK PLANE, BUT NOT LESS THAN 35 FEET.  
 SIDE YARD: CONTROLLED BY A 40° ANGLE OF BULK PLANE, BUT NOT LESS THAN 15 FEET.  
 REAR YARD: CONTROLLED BY A 40° ANGLE OF BULK PLANE, BUT NOT LESS THAN 25 FEET.

7. THE MAXIMUM PERMITTED HEIGHT IS 60 FEET. SEE EXISTING HEIGHTS ON THE PLAN.

8. THIS PROPERTY IS SERVED BY EXISTING PUBLIC WATER & SEWER. THERE ARE NO EXISTING UTILITY EASEMENTS HAVING A WIDTH OF 25FT OR MORE.

9. A WAIVER FOR STORM WATER DETENTION IS HEREBY REQUESTED. BMP MAY BE SATISFIED BY THE DEDICATION OF A CONSERVATION EASEMENT TO FAIRFAX COUNTY OVER THE AREA OF FLOOD PLAIN SHOWN.

10. TOPOGRAPHY SHOWN HEREON IS BASED ON FAIRFAX COUNTY TAX MAPS.

DEVELOPMENT OF THIS SITE MAY REQUIRE A GEOTECHNICAL ENGINEERING STUDY IN ACCORDANCE WITH THE FAIRFAX COUNTY PUBLIC FACILITIES MANUAL.

11. THERE IS NO KNOWN VISIBLE EVIDENCE OF A GRAVE, OBJECT OR STRUCTURE MARKING A PLACE OF BURIAL ON THIS SITE.

12. THE EXISTING TRAILS ALONG THE FRONTAGE OF THE PROPERTY ARE TO REMAIN THEIR CURRENT WIDTH.

13. NO CONSTRUCTION OR LAND DISTURBANCE ACTIVITY SHALL TAKE PLACE IN A RESOURCE PROTECTION AREA EXCEPT THE REMOVAL OF THE EXISTING BASKETBALL COURT, FENCES, AND INVASIVE SPECIES. ALL PREVIOUSLY IMPERVIOUS SURFACES WITHIN THE RPA ARE TO BE REPLANTED UPON THE RECONDITIONING OF THE EXISTING SOIL.

14. FOR EXISTING AND PROPOSED PARKING TABULATIONS, SEE SITE PLAN SHEET.

15. FLOOR AREA RATIO  
 GROSS FLOOR AREA = FLOOR AREA (MAIN BLDG) + FLOOR AREA (BLDG 6353)  
 = 12,920 SF + 2,067 SF  
 FAR = GROSS FLOOR AREA / SITE AREA  
 FAR = 14,987 SF / 0.12 = 20 F.A.R. OKAY  
 127,866.024 SF

REVISED AS OF 06/21/2013

16. A MODIFICATION OF THE NORTH ORIENTATION FOR PROJECT PRESENTATION PURPOSES IS HEREBY REQUESTED.

17. TWO STORY FRAME BUILDING WAS ORIGINALLY BUILT IN 1915 AND HAS HAD SEVERAL ADDITIONS. THE 1 STORY BRICK AND FRAME HOUSE WAS CONSTRUCTED IN 1965. EXISTING BUILDINGS TO BE REMOVED (TBR) AS NOTED ON SHEET 2.

18. EXISTING BUILDING HEIGHTS (SEE SHEET 2 FOR EX BUILDINGS):  
 TWO STORY FRAME BUILDING 15.5 FEET  
 1 STORY BRICK AND FRAME 15.4 FEET  
 GARAGE 12.2 FEET  
 BRICK SIGN 3.0 FEET  
 0.5 FRAME WALL 1.5 FEET  
 ASPHALT BALL COURT 0.2 FEET  
 CHAIN LINK FENCE 5.0 FEET

19. A TRANSITIONAL SCREENING AND BARRIER MODIFICATION IS HEREBY REQUESTED TO PERMIT THE PROPOSED SCREENING AND BARRIERS TO SATISFY THE REQUIREMENT.

20. DENOTES NUMBER OF PARKING SPACES.

21. BUILDING DIMENSIONS ARE PRELIMINARY AND ARE SUBJECT TO MINOR ADJUSTMENTS WITH FINAL BUILDING DESIGN.

22. APPLICANT RESERVES THE RIGHT TO INTERRUPT THE TRANSITIONAL SCREENING YARD FOR UTILITY CROSSINGS AND/OR TRAILS AS DETERMINED NECESSARY BY DPW&S. IF IT IS NECESSARY TO INSTALL UTILITIES AND/OR TRAILS OUTSIDE LIMITS OF CLEARING AND GRADING SHOWN ON THIS PLAN, THEY SHALL BE IN THE LEAST DISRUPTIVE LOCATION NECESSARY AS DETERMINED BY URBAN FORESTRY.

23. ADVANCED DENSITY CREDIT SHALL BE RESERVED FOR ALL DEDICATIONS DESCRIBED HERE, OR AS MAY BE REQUIRED BY FAIRFAX COUNTY OR VDOT AT THE TIME OF SITE PLAN APPROVAL.

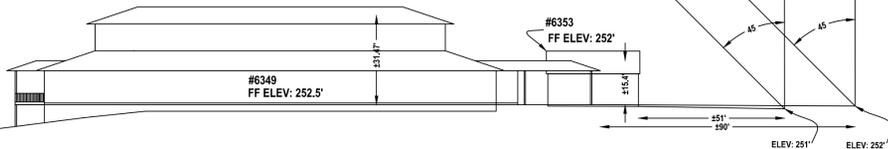
24. NEW ENTRANCE SIGNAGE AND LOCATION WILL BE IN CONFORMANCE WITH ARTICLE 12 OF THE ZONING ORDINANCE.

25. PER COMPREHENSIVE PLAN, THERE IS NO WIDENING OF LINCOLNIA ROAD SHOWN FOR FUTURE DEVELOPMENT; CURRENT RIGHT-OF-WAY IS ADEQUATE.

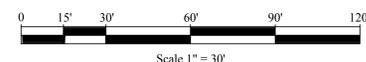
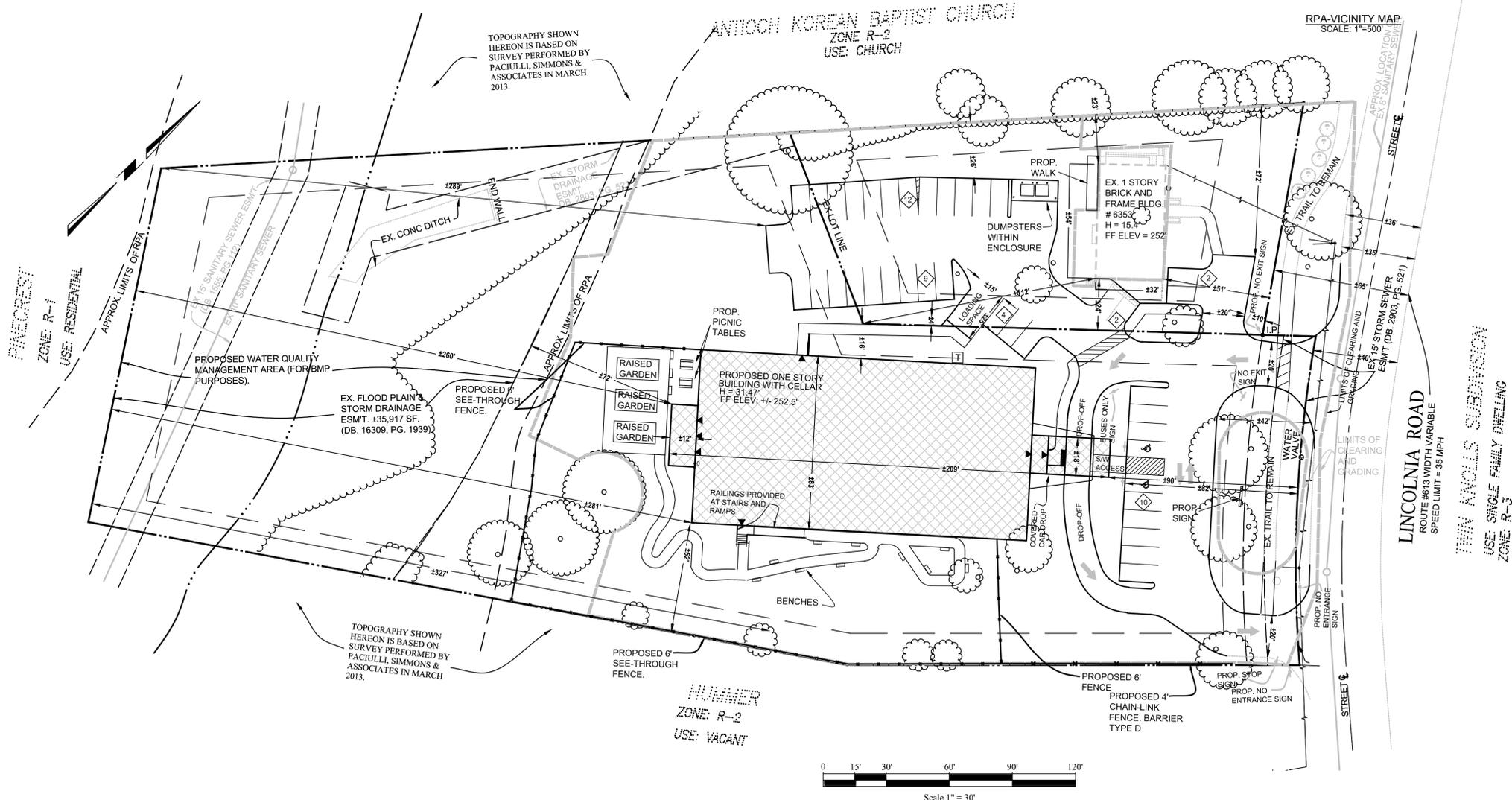
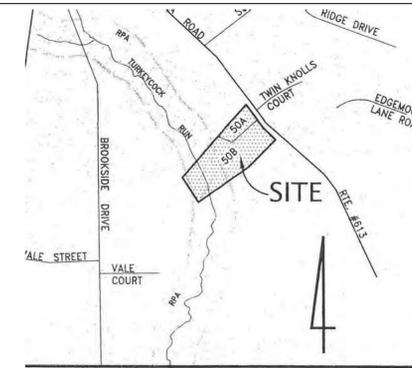
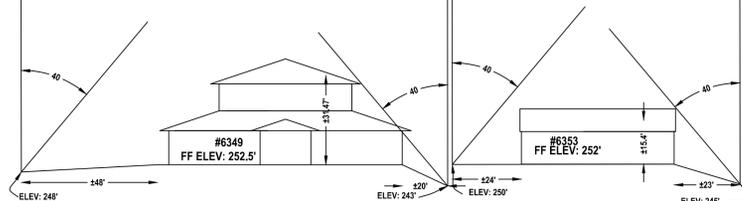
26. APPROXIMATE PRE AND POST DEVELOPMENT IMPERVIOUS CONDITIONS ARE SHOWN BELOW.

	PRE - DEVELOPMENT	POST - DEVELOPMENT
IMPERVIOUS AREA C-0.9	1.21 AC	0.95 AC
PERVIOUS AREA C-0.2	1.73 AC	1.99 AC
WEIGHTED C VALUE	0.49	0.43
TIME OF CONC. (tc)	3.74 MIN (USE 5 MIN)	3.74 MIN (USE 5 MIN)
Q2 (i=5.45)	7.85 CFS	6.83 CFS
Q10 (i=7.27)	10.47 CFS	9.11 CFS

PROPOSED FRONT YARD ANGLE OF BULK PLANE



PROPOSED SIDE YARD ANGLE OF BULK PLANE



SEE THE CORRESPONDING SHEETS FOR THE BELOW INFORMATION:

EXISTING TREE TABLE	2
STORMWATER MANAGEMENT NARRATIVE	5
OVERLAND RELIEF NARRATIVE	5
OUTFALL NARRATIVE	5

**GREEN BUILDING COMMITMENTS**  
 IN AN EFFORT TO BE ENVIRONMENTALLY CONSCIOUS, THIS PROJECT WILL BE INCORPORATING THE FOLLOWING DETAILS IN THE PROJECT DESIGN:

- SUSTAINABLE SITES - SITE SELECTION
- ALTERNATE TRANSPORTATION - PARKING CAPACITY - THE FACILITY WILL PROVIDE TRANSPORTATION FOR PARTICIPANTS TO DECREASE PARKING CAPACITY REQUIREMENTS
- STORMWATER DESIGN - QUANTITY CONTROL: STORMWATER RUNOFF REDUCTION TO MEET STATE REQUIREMENTS.
- STORMWATER DESIGN - QUALITY CONTROL: TO MEET STATE REQUIREMENTS.
- SITE DEVELOPMENT - RESTORATION OF OPEN SPACE AND RPA AREAS
- SITE DEVELOPMENT - MAXIMIZE OPEN SPACE
- WATER EFFICIENCY - WATER EFFICIENT LANDSCAPING, NO IRRIGATION
- BUILDING REUSE - REUSE OF ONSITE RESIDENTIAL HOUSE

**PACIULLI**  
  
**SIMMONS & ASSOCIATES**  
 3975 Fair Ridge Drive  
 Suite 300 South  
 Fairfax, VA 22033  
 PH 703.934.0900  
 FX 703.934.9787  
 EM fairfax@psald.com  
 Engineers  
 Planners  
 Surveyors  
 Landscape Architects  
 Wetland Specialists  
 Environmental Scientists  
 Archaeologists

**AGAPE ADULT DAY HEALTH CARE CENTER**  
 MASON DISTRICT  
 FAIRFAX COUNTY, VIRGINIA

**SPECIAL EXCEPTION PLAT**

COMMONWEALTH OF VIRGINIA  
  
 ANN O. GERMAIN  
 Lic. No. 028700  
 7/9/13  
 PROFESSIONAL ENGINEER

DATE: 09-12-2012  
 FILE NO.:  
 DRN:  
 CKD:  
 SHEET 13 OF 13

**PROPOSED DEVELOPMENT CONDITIONS**

SE 2012-MA-018

July 10, 2013

If it is the intent of the Board of Supervisors to approve SE 2012-MA-018 located at 6349 and 6353 Lincolnia Road, Tax Map 72-1 ((1)) 50A and 50B, for a day care center for adults pursuant to Sect. 3-204-3.B. of the Fairfax County Zoning Ordinance, the staff recommends that the Board condition the approval by requiring conformance with the following development conditions, which supersede all previous conditions:

1. This Special Exception is granted for and runs with the land indicated in this application and is not transferable to other land.
2. This Special Exception is granted only for the purpose(s), structure(s) and/or use(s) indicated on the special exception plat approved with the application, as qualified by these development conditions.
3. This Special Exception is subject to the provisions of Article 17, Site Plans. Any plan submitted pursuant to the Special Exception shall be in substantial conformance with the approved Special Exception (SE) Plat entitled "Agape Adult Day Health Care Center," consisting of 13 sheets prepared by Paciulli Simmons & Associates, Ltd., dated September 12, 2012, as revised through July 9, 2013, and these conditions. Minor modifications to the approved Special Exception may be permitted pursuant to Par. 4 of Sect. 9-004 of the Zoning Ordinance.
4. Hours of Operation: The hours of operation for the adult day care center, in which participants are present, shall be limited to 8:00 a.m. to 3:00 p.m. Monday through Saturday. Employees may be present in the center from 6:00 a.m. to 6:00 p.m. Monday through Saturday.
5. Enrollment: Enrollment in the day care center for adults shall be limited to a maximum daily enrollment of 150 participants.
6. Parking: All parking for the adult day care center shall be on-site. Parking spaces shall be provided as delineated and in conformance with the Public Facilities Manual (PFM) Standards, as determined by the Department of Public Works and Environmental Services (DPWES). The applicant shall submit a parking tabulation prior to site plan approval and the issuance of a Non-Residential Use Permit (Non-RUP) demonstrating that adequate parking is provided on the site.
7. Trash Collection: No trash collection shall occur between the hours of 7:00 p.m. and 7:00 a.m.
8. Exterior Lighting: The combined height of the light standards and fixtures shall not exceed fifteen (15) feet and shall meet the performance standards of Part 9 of Article

14 of the Zoning Ordinance. All exterior lighting shall be fully shielded and downward-directed.

9. 1915 House: The existing house identified on the Special Exception application (constructed circa 1915) shall be photographed and documented prior to any land disturbing activity, by an individual(s) who meets, at a minimum, The Secretary of the Interior's professional qualification standards for history, architectural history, or historic architecture in accordance with 48 FR 44716, Sept. 1983 ([http://www.cr.nps.gov/local-law/Prof\\_Qual\\_83.htm](http://www.cr.nps.gov/local-law/Prof_Qual_83.htm)). Photographic recordation shall be done to a standard as required for determination of National Register eligibility, Virginia Department of Historic Resources (VDHR) Preliminary Information Form. The number and angle of views shall be coordinated with the Department of Planning and Zoning (DPZ) prior to the taking of the photographs and completed photographs shall be approved by DPZ prior to the demolition of the existing house. In addition, written documentation and description of the house, its construction, its occupants, and significant events that occurred on the property shall be prepared to a standard as required for determination of National Register eligibility, VDHR Preliminary Information Form, and completed prior to demolition of the existing house. The applicant shall attempt to interview the former occupant(s) of the house, prior to its demolition, as part of the documentation and description of the house, its construction, its occupants, and significant events that occurred on the property and in the surrounding area. The interview shall be video and audio recorded, if agreed to by the interviewee(s), to the same standards as described above. All photographs (including CD or equivalent version), written documentation, and video and audio recordings shall be submitted to the Virginia Room of the Fairfax County Public Library and to DPZ. The applicant shall provide written documentation to DPZ that required documentation has been submitted to the Virginia Room.
10. Day Care Center Building Materials and Design: Architectural elevations shall be in substantial conformance with those shown on the SE Plat. The upper level of the day care center for adults shall be finished in brick and/or Hardie Board siding and trim. The lower level shall be finished in brick and/or split-face Concrete Masonry Units (CMUs). The roof shall be a standing seam pre-finished metal roof. The building shall be constructed to allow natural lighting into all participant activity, meeting, and dining rooms through the use of skylights, windows, clerestory windows, or other means.
11. Office Building Materials and Design: The office building on Tax Map 72-1 ((1)) 50B shall be refinished in brick and/or Hardie board siding compatible with the treatment of the primary structure.
12. Accessible Open Space: The applicant shall provide a minimum of 15,000 square feet of accessible outdoor open space for supervised outdoor activities of participants as depicted on the plat. The open space shall provide appropriate seasonal outdoor furniture, to include seating, and accessible pedestrian paths, which comply with Americans with Disabilities Act (ADA) Standards for Accessible Design. The accessible open space may include shade structures, raised gardens, patios, or other amenities for the use of participants. The area shall be fenced to prevent participants from wandering unsupervised from the area. Fencing shall be rigid and of a material

other than chain-link. The open space shall be ADA-accessible from both the lower and upper levels of the day care center.

13. Views of Vehicular Traffic: Trees and shrubs shall be sited to filter or block participants' views of arriving or departing vehicles from interior rooms and the accessible open space located to the southeast of the day care center.
14. Railings: All entrance and exit paths shall include fixed handrails.
15. Right-of-Way: Upon request by Fairfax County, the applicant shall dedicate right-of-way along the Lincolnia Road frontage to a distance of forty-five (45) feet from the centerline of Lincolnia Road for future improvements. This area shall be conveyed in fee simple to the Board of Supervisors at no cost to the County.
16. Entrance and Exit: The vehicular entrance to and exit from the adult day care center property onto Lincolnia Road shall be improved to meet the commercial entrance standards of the Virginia Department of Transportation (VDOT), as depicted on the plat.
17. Construction: Construction traffic access to the site shall be limited to Lincolnia Road. Construction activities shall be limited to Monday through Friday and from 7:30 a.m. to 7:00 p.m. Saturday construction will be allowed from 8:30 a.m. to 5:00 p.m., if the hours of construction are coordinated with adjacent homeowners' associations, institutional uses, and residences not part of a homeowners' association. No outdoor construction activities will be permitted on Sundays or on federal holidays. The site superintendent shall notify all employees and subcontractors of these hours of operation and shall ensure that the hours of operation are respected by all employees and subcontractors. Construction hours shall be posted on-site in both English and Spanish. This condition applies to the original construction only and not to interior renovations.
18. Stormwater Management: Water quality controls must be satisfied for this development in accordance with PFM requirements. Stormwater management shall be provided as generally depicted on the SE Plat and as approved by DPWES. A detailed evaluation and analysis of stormwater detention requirements shall be provided on the site plan. It is the applicant's intention to meet Best Management Practice (BMP) requirements through a decrease in impervious surfaces. Final determination regarding the adequacy of these measures to meet stormwater management requirements will be subject to review and approval by DPWES and will be made at the site plan phase. If it is determined that additional BMP measures are necessary, the applicant shall provide such measures in substantial conformance with the SE Plat or may be required to file a Special Exception Amendment (SEA) application.
19. Chesapeake Bay Preservation Ordinance (CBPO): A Resource Protection Area (RPA) delineation must be submitted and approved prior to site plan approval if not already done so. The removal of invasive plants from the site, including the RPA, will require an RPA exemption request prior to site plan approval through the Site Development and Inspections Division.

20. Floodplain: A flood plain study shall be required to establish 100-year water surface elevation if not already done so and the area inundated by 100-year storm event shall be recorded as a floodplain easement (PFM 6-1401.1).
21. Remediation of Impervious Areas: Soils in which impervious surfaces were removed shall be restored and remediated to support plant growth to the satisfaction of the Urban Forest Management Division (UFMD), DPWES, to include the incorporation of adequate organic materials and the creation of adequate void spaces for air and water. Remediation of these soils shall include the removal of all paving and gravel sub-base materials, the aeration of the soils to a depth of 18 inches through tilling or air excavation, and the incorporation of at least 12 inches of high quality topsoil mixed with organic matter into the remaining soils, with the exception of within the critical root zones of trees #4 and #5, which are shown to be preserved, in order to minimize impacts to roots. If air excavation is used, it shall be accomplished with an Air-Spade® or similar tool. Once soils have been completely tilled/aerated and amended, UFMD shall be notified and given the opportunity to inspect the amendments prior to planting. Soil amendment shall occur within areas of the critical root zones of trees #4 and #5 where landscaping is shown to occur on the landscape plan as determined in the field and in consultation with UFMD.
22. Tree Canopy: The landscape plan shall conform to the tree canopy requirements of the Zoning Ordinance and the PFM.
23. Tree Preservation: The applicant shall submit a Tree Preservation Plan and Narrative as part of the first and all subsequent site plan submissions. The preservation plan and narrative shall be prepared by a Certified Arborist or a Registered Consulting Arborist, and shall be subject to the review and approval of UFMD. The tree preservation plan shall include a tree inventory that identifies the location, species, critical root zone, size, crown spread and condition analysis percentage rating for all individual trees located within the tree save area living or dead with trunks 8 inches in diameter and greater (measured at 4½ feet from the base of the trunk or as otherwise allowed in the latest edition of the Guide for Plant Appraisal published by the International Society of Arboriculture) and 35 feet outside of the proposed limits of clearing, in the undisturbed area and within 10 feet of the proposed limits of clearing in the area to be disturbed. The tree preservation plan shall provide for the preservation of those areas shown for tree preservation, those areas outside of the limits of disturbance shown on the SE Plat and those additional areas in which trees can be preserved as a result of final engineering. The tree preservation plan and narrative shall include all items specified in PFM 12-0507 and 12-0509. Specific tree preservation activities that will maximize the survivability of any tree identified to be preserved, such as: crown pruning, root pruning, mulching, fertilization, compost tea, Cambistat, radial mulching, notes and details for asphalt removal around trees, and others as necessary, shall be included in the plan.
  - a. Tree Preservation Walk-Through. The Applicant shall retain the services of a Certified Arborist or Registered Consulting Arborist, and shall have the limits of clearing and grading marked with a continuous line of flagging prior to the walk-through meeting. During the tree-preservation walk-through meeting, the

Applicant's Certified Arborist or Registered Consulting Arborist shall walk the limits of clearing and grading with an UFMD representative to determine where adjustments to the clearing limits can be made to increase the area of tree preservation and/or to increase the survivability of trees at the edge of the limits of clearing and grading, and such adjustment shall be implemented. Trees that are identified as dead or dying may be removed as part of the clearing operation. Any tree that is so designated shall be removed using a chain saw and such removal shall be accomplished in a manner that avoids damage to surrounding trees and associated understory vegetation. If a stump must be removed, this shall be done using a stump-grinding machine in a manner causing as little disturbance as possible to adjacent trees and associated understory vegetation and soil conditions.

- b. Limits of Clearing and Grading. The Applicant shall conform strictly to the limits of clearing and grading as shown on the plat, subject to allowances specified in these proffered conditions and for the installation of utilities and/or trails as determined necessary by the Director of DPWES, as described herein. If it is determined necessary to install utilities and/or trails in areas protected by the limits of clearing and grading as shown on the plat, they shall be located in the least disruptive manner necessary as determined by the UFMD. A replanting plan shall be developed and implemented, subject to approval by the UFMD, for any areas protected by the limits of clearing and grading that must be disturbed for such trails or utilities.
- c. Tree Preservation Fencing: All trees shown to be preserved on the tree preservation plan shall be protected by tree protection fence. Tree protection fencing in the form of four (4)-foot high, fourteen (14)-gauge welded wire attached to six (6)-foot steel posts driven eighteen (18) inches into the ground and placed no further than ten (10) feet apart or, super silt fence to the extent that required trenching for super silt fence does not sever or wound compression roots, which can lead to structural failure and/or uprooting of trees, shall be erected at the limits of clearing and grading as shown on the demolition sheet and the Phase I & II erosion and sediment control sheets, as may be modified by the "Root Pruning" condition below.

All tree protection fencing shall be installed after the tree preservation walk-through meeting but prior to any clearing and grading activities, including the demolition of any existing structures. The installation of all tree protection fencing shall be performed under the supervision of a Certified Arborist or Registered Consulting Arborist and accomplished in a manner that does not harm existing vegetation that is to be preserved. Three (3) days prior to the commencement of any clearing, grading, or demolition activities, but subsequent to the installation of the tree protection devices, the UFMD shall be notified and given the opportunity to inspect the site to ensure that all tree protection devices have been correctly installed. If it is determined that the fencing has not been correctly installed, no grading or construction activities shall occur until the fencing is installed correctly, as determined by the UFMD.

- d. Root Pruning. The Applicant shall root prune, as needed to comply with the tree

preservation requirements of these development conditions. All treatments shall be clearly identified, labeled, and detailed on the erosion and sediment control sheets of the site plan submission. The details for these treatments shall be reviewed and approved by the UFMD, accomplished in a manner that protects affected and adjacent vegetation to be preserved, and may include, but not be limited to, the following:

- 1) Root pruning shall be done with a trencher or vibratory plow to a depth of 18 - 24 inches;
  - 2) Root pruning shall take place prior to any clearing and grading, or demolition of structures;
  - 3) Root pruning shall be conducted with the supervision of a Certified Arborist or Registered Consulting Arborist; and
  - 4) An UFMD representative shall be informed when all root pruning and tree protection fence installation is complete.
- e. Reforestation Plan: A reforestation plan for the RPA shall be submitted concurrently with the first and all subsequent site plan submissions for review and approval by Urban Forest Management Division, and shall be implemented as approved. The plan shall provide seedling plantings according to §118-3-3(f) of the Fairfax County Chesapeake Bay Preservation Ordinance to include an appropriate selection of native species based on existing and proposed site conditions to restore the area to a native forest cover type. In addition to the reforestation with seedlings, a minimum of 10 overstory and 10 understory deciduous trees having a minimum one-inch caliper shall be provided. The reforestation plan shall include, but not be limited to the following:
- 1) Plant list detailing species, sizes, and stock type of trees and other vegetation to be planted;
  - 2) Soil treatments and amendments, if necessary;
  - 3) Methods to reduce deer browse;
  - 4) Methods to reduce weed competition;
  - 5) Mulching specifications;
  - 6) Details and methods of installation;
  - 7) Maintenance activities (such as weeding and watering);
  - 8) Mortality threshold; and
  - 9) Monitoring and replacement schedule.
- f. Site Monitoring. During any clearing or tree/vegetation/structure removal on the Applicant Property, a representative of the Applicant shall be present to monitor the process and ensure that the activities are conducted as conditioned and as approved by the UFMD. The Applicant shall retain the services of a Certified Arborist or Registered Consulting Arborist to monitor all construction and demolition work and tree preservation efforts in order to ensure conformance with all tree preservation development conditions and UFMD approvals. The monitoring schedule shall be described and detailed in the Landscaping and Tree Preservation Plans, and reviewed and approved by the UFMD.

- g. Invasive Plant Species Management Plan. As part of the first and all subsequent submissions during the site plan review process, the Applicant shall submit and implement an invasive plant species management plan for all areas containing invasive plants to include the area of the Resource Protection Area (RPA) that starts on the eastern side of Turkeycock Run and continues east to the RPA boundary (PFM 12-0404.2B and 12-0509.3D). The plan will be prepared by a Certified Arborist or Registered Consulting Arborist and shall be subject to the review and approval of DPWES and UFMD (PFM 12-0404.2B and 12-0509.3D). The plan will:

- 1) Clearly identify and provide information about each invasive plant species present;
- 2) Describe the management strategies and control options for invasive plant populations/infested areas to include manual plant removal and herbicide treatment techniques, including application rates and timing;
- 3) Describe how cleared areas are to be restored and replanted with herbaceous and woody material;
- 4) Include monitoring objectives and protocols for measuring the effectiveness of management actions;
- 5) Include a list of equipment and other resources to be used in the management plan; and
- 6) Define the program duration.

Any large scale removal (other than severing and treating vine regrowth on and around trees) of invasive species within the RPA will likely require additional permitting (Water Quality Impact Assessment (WQIA)) through the Site Development and Inspections Division at site plan submission.

- h. Critical Root Zones: Any deconstruction, demolition, remediation, or construction within the critical root zones of preserved trees, as depicted on the plat, shall be done by hand to minimize disturbance to existing vegetation, which will be coordinated with the site review engineer and the UFMD. Any vegetation damaged or removed shall be replaced as determined and recommended by the UFMD.
- i. Trees # 4 and 5: Within the critical root zone of the two willow oaks (*Quercus phellos*) adjacent to Lincolnia Road (Trees #4 and 5 of the Landscape Plan), the existing asphalt will be removed by hand under the direct supervision of a Certified Arborist or Registered Consulting Arborist. The critical root zones of Trees 4 and 5 shall be covered with a 1-2 inch layer of organic compost and then mulched immediately after removing asphalt and watered in so any exposed roots are not allowed to dry out.

24. Stream Restoration. As part of the first and all subsequent submissions during the site plan review process, the Applicant shall submit a Stream Restoration Plan prepared by a qualified engineer and subject to the review and approval of DPWES and the Northern Virginia Soil and Water Conservation District (NVSWCD). The stream on the property shall be restored north and south of the concrete channel. HEC-RAS shall be used to determine velocities and shear stresses from

the design flow rates in the channel bed and any overbank flow area. Velocities in the overbank portion of the stream valley (outside of the "ordinary" stream channel flow area) shall be less than or equal to the allowable velocity for the proposed vegetative cover conditions in the 100-year event. Substrate materials for the stream shall be specified based on these results. Non-erosive velocities of the substrate material in the stream channel during the 2-year storm event shall be demonstrated in the design calculations. Allowable velocities shall be based on requirements of the PFM or by other accepted engineering methods as approved by DPWES. The design shall also provide incipient motion, scour, limiting slope criteria, and bed armoring calculations to demonstrate the adequacy of the specified cobble size in the streambed. Calculations shall also be provided to check for toe and bank stability. Final design characteristics shall be subject to review and modification by DPWES and NVSWCD and shall be submitted at the time of site plan.

Bonding. Contemporaneously with the approval by Fairfax County of either the release of the performance bond, or the reduction of that portion of the performance bond, whichever is applicable, attributable to completion and final approval of the Stream Restoration Plan (the "Completion Date"), the Applicant shall post a performance bond with Fairfax County in the amount of \$200,000 (the "Maintenance Bond"), to guarantee maintenance of the restored stream and associated riparian plantings for a five (5)-year period. The Maintenance Bond shall be subject to annual reductions as provided below.

Monitoring Requirements. Within forty-five (45) days of the Completion Date, representatives of the Applicant, DPWES, and NVSWCD shall meet on site and select eight (8) locations for survey cross-sections of the channel and eight (8) locations for installation of photographic monuments. Within forty-five (45) days of the date of this meeting, the Applicant shall prepare and submit to DPWES and NVSWCD for review and approval, the initial baseline stream monitoring report (the "Monitoring Report"). The Monitoring Report shall be sealed by a licensed, professional engineer (the "Engineer") retained by the Applicant.

a. The Monitoring Report shall include:

- 1) The location of the cross-sections;
- 2) Cross-section survey data, consisting of a graphical section drawing, coordinates of surveyed points (with an average spacing of two (2) feet or less) and the area of the channel below the plan formed by the section monuments;
- 3) Photographs of the stream from each photo monument;
- 4) Analysis of the riparian buffer condition relative to the survival rate and plant density specified on the construction plans approved by DPWES; and
- 5) A narrative statement describing the status of the stream channel.

b. On the date that is one year after the Completion Date, and on each anniversary date thereafter for the next four (4) years, the Applicant shall prepare and submit to DPWES and NVSWCD for review and approval, an annual Monitoring Report sealed by the Engineer. All survey data shall be compared graphically and

numerically to the initial Monitoring Report. The narrative statement shall address whether corrective action is required under the Criteria, as hereinafter defined. The Applicant shall complete corrective actions recommended in the annual Monitoring Report.

- c. Fairfax County shall reduce the Maintenance Bond by \$40,000 each year, as follows: upon the date of the earlier to occur: (i) approval of the annual Monitoring Report by DPWES and NVSWCD for a given year with no corrective action required; or (ii) completion and approval by DPWES and NVSWCD of any required corrective action. Upon submission of the final annual Monitoring Report on the fifth anniversary date, the Applicant shall complete required corrective actions, if any. If no corrective action is required, or upon approval of required corrective actions by DPWES and NVSWCD, Fairfax County shall release the balance of the Maintenance Bond.

25. The applicant shall obtain a sign permit for any proposed sign in accordance with the provisions of Article 12 of the Zoning Ordinance. Any illumination of the sign(s) shall be in conformance with Part 9 of Article 14 of the Zoning Ordinance.

The above proposed conditions are staff recommendations and do not reflect the position of the Board of Supervisors unless and until adopted by that Board.

This approval, contingent on the above noted conditions, shall not relieve the applicant from compliance with the provisions of any applicable ordinances, regulations, or adopted standards. The applicant shall be himself responsible for obtaining the required Non-Residential Use Permit through established procedures, and this Special Exception shall not be valid until this has been accomplished.

Pursuant to Section 9-015 of the Zoning Ordinance, this Special Exception shall automatically expire, without notice, thirty (30) months after the date of approval unless the use has been established or construction has commenced and been diligently prosecuted. The Board of Supervisors may grant additional time to establish the use or to commence construction if a written request for additional time is filed with the Zoning Administrator prior to the date of expiration of the Special Exception. The request must explain why additional time is required, specify the amount of additional time requested, and explain the basis for the amount of time requested.



# County of Fairfax, Virginia

## MEMORANDUM

**DATE:** June 24, 2013

**TO:** Joe Gorney, Senior Staff Coordinator  
Zoning Evaluation Division, DPZ

**FROM:** Nicholas Drunasky, Urban Forester II  
Forest Conservation Branch, UFMD

**SUBJECT:** Agape Adult Day Care, SE 2012-MA-018

**Site Description:** The site is located within the Pinecrest community of the Lincolnia Planning District and consists of an existing school building, detached garage, and one story house that are all in a state of disrepair and appear to have been vacant for some time. Invasive species are very abundant throughout the site such as English ivy, Japanese honeysuckle, multi-flora rose, wineberry, and grape vines. Various landscape trees (willow oak, sugar maple, red maple, silver maple, Leyland cypress) are present throughout the site, some of which should be considered for preservation (eastern red cedars and willow oaks), along with what appears to be floodplain species within the Resource Protection Area (RPA) such as American holly, tulip poplar, red maple, and black cherry.

This review is based upon the special exception SE 2012-MA-018 with an engineer signature date of June 21, 2013. A site visit was conducted on February 8, 2013 as part of the review for this application.

- 1. Comment:** Given the nature of tree cover on this site, several development conditions will be instrumental in assuring adequate tree preservation and protection throughout the development process.

**Recommendation:** UFMD feel that the following development condition language is necessary to ensure effective tree preservation:

Tree Preservation: “The applicant shall submit a Tree Preservation Plan and Narrative as part of the first and all subsequent site plan submissions. The preservation plan and narrative shall be prepared by a Certified Arborist or a Registered Consulting Arborist, and shall be subject to the review and approval of UFMD.

The tree preservation plan shall include a tree inventory that identifies the location, species, critical root zone, size, crown spread and condition analysis percentage rating for all individual trees located within the tree save area living or dead with trunks 8 inches in diameter and greater (measured at 4 ½ -feet from the base of the trunk or as



otherwise allowed in the latest edition of the Guide for Plant Appraisal published by the International Society of Arboriculture) and 35 feet outside of the proposed limits of clearing, in the undisturbed area and within 10 feet of the proposed limits of clearing in the area to be disturbed. The tree preservation plan shall provide for the preservation of those areas shown for tree preservation, those areas outside of the limits of disturbance shown on the SE Plat and those additional areas in which trees can be preserved as a result of final engineering. The tree preservation plan and narrative shall include all items specified in PFM 12-0507 and 12-0509. Specific tree preservation activities that will maximize the survivability of any tree identified to be preserved, such as: crown pruning, root pruning, mulching, fertilization, compost tea, Cambistat, radial mulching, notes and details for asphalt removal around trees, and others as necessary, shall be included in the plan.”

Tree Preservation Walk-Through. “The Applicant shall retain the services of a certified arborist or Registered Consulting Arborist, and shall have the limits of clearing and grading marked with a continuous line of flagging prior to the walk-through meeting. During the tree-preservation walk-through meeting, the Applicant’s Certified Arborist or landscape architect shall walk the limits of clearing and grading with an UFM, representative to determine where adjustments to the clearing limits can be made to increase the area of tree preservation and/or to increase the survivability of trees at the edge of the limits of clearing and grading, and such adjustment shall be implemented. Trees that are identified as dead or dying may be removed as part of the clearing operation. Any tree that is so designated shall be removed using a chain saw and such removal shall be accomplished in a manner that avoids damage to surrounding trees and associated understory vegetation. If a stump must be removed, this shall be done using a stump-grinding machine in a manner causing as little disturbance as possible to adjacent trees and associated understory vegetation and soil conditions.”

Limits of Clearing and Grading: “The Applicant shall conform strictly to the limits of clearing and grading as shown on the CDP/FDP, subject to allowances specified in these proffered conditions and for the installation of utilities and/or trails as determined necessary by the Director of DPWES, as described herein. If it is determined necessary to install utilities and/or trails in areas protected by the limits of clearing and grading as shown on the CDP/FDP, they shall be located in the least disruptive manner necessary as determined by the UFMD, DPWES. A replanting plan shall be developed and implemented, subject to approval by the UFMD, DPWES, for any areas protected by the limits of clearing and grading that must be disturbed for such trails or utilities.”

Tree Preservation Fencing: “All trees shown to be preserved on the tree preservation plan shall be protected by tree protection fence. Tree protection fencing in the form of four (4) foot high, fourteen (14) gauge welded wire attached to six (6) foot steel posts driven eighteen (18) inches into the ground and placed no further than ten (10) feet apart or, super silt fence to the extent that required trenching for super silt fence does not sever or wound compression roots which can lead to structural failure and/or uprooting of trees shall be erected at the limits of clearing and grading as shown on the demolition, and phase I & II erosion and sediment control sheets, as may be modified by the “Root Pruning” condition below.



All tree protection fencing shall be installed after the tree preservation walk-through meeting but prior to any clearing and grading activities, including the demolition of any existing structures. The installation of all tree protection fencing shall be performed under the supervision of a Certified Arborist, and accomplished in a manner that does not harm existing vegetation that is to be preserved. Three (3) days prior to the commencement of any clearing, grading or demolition activities, but subsequent to the installation of the tree protection devices, the UFMD, DPWES, shall be notified and given the opportunity to inspect the site to ensure that all tree protection devices have been correctly installed. If it is determined that the fencing has not been installed correctly, no grading or construction activities shall occur until the fencing is installed correctly, as determined by the UFMD, DPWES.”

Root Pruning: “The Applicant shall root prune, as needed to comply with the tree preservation requirements of these development conditions. All treatments shall be clearly identified, labeled, and detailed on the erosion and sediment control sheets of the site plan submission. The details for these treatments shall be reviewed and approved by the UFMD, DPWES, accomplished in a manner that protects affected and adjacent vegetation to be preserved, and may include, but not be limited to the following:

- Root pruning shall be done with a trencher or vibratory plow to a depth of 18 - 24 inches.
- Root pruning shall take place prior to any clearing and grading, or demolition of structures.
- Root pruning shall be conducted with the supervision of a Certified Arborist or Registered Consulting Arborist.
- An UFMD, DPWES, representative shall be informed when all root pruning and tree protection fence installation is complete.”

Site Monitoring: “During any clearing or tree/vegetation/structure removal on the Applicant Property, a representative of the Applicant shall be present to monitor the process and ensure that the activities are conducted as conditioned and as approved by the UFMD. The Applicant shall retain the services of a Certified Arborist or Registered Consulting Arborist to monitor all construction and demolition work and tree preservation efforts in order to ensure conformance with all tree preservation development conditions, and UFMD approvals. The monitoring schedule shall be described and detailed in the Landscaping and Tree Preservation Plan, and reviewed and approved by the UFMD, DPWES.”

Remediation of Impervious Areas: “Soils in which impervious surfaces were removed shall be restored and remediated to support plant growth to the satisfaction of the Urban Forest Management Division (UFMD) to include the incorporation of adequate organic materials and the creation of adequate void spaces for air and water. Remediation of these soils will include the removal of all paving and gravel sub-base materials, the aeration of the soils to a depth of 18 inches through tilling or air excavation, and the



incorporation of at least 12 inches of high quality topsoil mixed with organic matter into the remaining soils (with the exception of within the critical root zones of trees #4 and #5) shown to be preserved in order to minimize impacts to roots as determined in the field and in consultation with UFMD. Soil amendments shall occur within areas of the critical root zones of trees #4 and #5 where landscaping is shown to occur on the landscape plan). If air excavation is used, it shall be accomplished with an Air-Spade® or similar tool. Once the soil has been completely tilled/aerated and amended, UFMD shall be notified and given the opportunity to inspect the amendments prior to planting.”

Trees # 4 and 5: Within the critical root zone of the two willow oaks (*Quercus phellos*) adjacent to Lincolnia Road (Trees #4 and 5 of the Landscape Plan), the existing asphalt will be removed by hand under the direct supervision of a Certified Arborist or Registered Consulting Arborist. The critical root zones of trees 4 and 5 shall be covered with a 1-2 inch layer of organic compost and then mulched immediately after removing asphalt and watered in so any exposed roots are not allowed to dry out.

Invasive Species Management Plan: “Create and implement an invasive species management program for the Tree Conservation Ordinance to include the area of the RPA that starts on the eastern side of Turkeycock Run and continues east to the RPA boundary that contains invasive plant material (PFM 12-0404.2B and 12-0509.3D) and clearly identifies targeted species, details removal and treatment techniques, replanting with herbaceous and woody material, monitoring, program duration, etc. It should be noted that any large scale removal (other than severing and treating vine re-growth on and around trees) of invasive species within the RPA will likely require additional permitting (WQIA) through the Site Development and Inspections Division at site plan submission.”

Reforestation Plan: “A reforestation plan for the RPA shall be submitted concurrently with the first and all subsequent site plan submissions for review and approval by Urban Forest Management Division, and shall be implemented as approved. The plan shall provide seedling plantings according to §118-3-3(f) of the Fairfax County Chesapeake Bay Preservation Ordinance to include an appropriate selection of native species based on existing and proposed site conditions to restore the area to a native forest cover type. In addition to the reforestation with seedlings, a minimum of 10 overstory and 10 understory deciduous trees having a minimum one inch caliper shall be provided. The reforestation plan shall include, but not be limited to the following:

- plant list detailing species, sizes and stock type of trees and other vegetation to be planted
- soil treatments and amendments if necessary
- methods to reduce deer browse
- methods to reduce weed competition
- mulching specifications
- details and methods of installation



- maintenance activities (eg. weeding, watering, etc.)
- mortality threshold
- monitoring and replacement schedule”

Transitional Screening Barrier: “In all the locations on the SE Plat where a see-through barrier is shown, it shall be provided of a material other than chain-link fence.”

If you have any questions, please feel free to contact me at 703-324-1770.

NJD/

UFMDID #: 177980

cc: DPZ File





06/18/2013

Mr. Gorney  
Zoning Evaluations Division  
Department of Planning and Zoning  
12055 Government Center Parkway, Suite 801  
Fairfax, Virginia 22035-5505

RE: Agape Adult Day Health Care Center  
5th Comment responses

Dear Mr. Gorney,

Please find the attached comment response letter for the Agape Adult Day Health Care Center. This set of comment responses pertains to the UFMD comments, which will be submitted with this letter. The comments reflect what was discussed at the 6/11/2013 meeting regarding remaining UFM issues. Comments from UFMD are repeated and answered below. The below comments retain the numerical values from the previous comment letter attached with this submission. This was done so that a connection between remaining comments and previous comments can be tracked. Please contact me with any questions.

Very truly yours,

Tiffany Turner  
Project Engineer

**1. Comment:** The applicant is requesting to modify/waive the transitional screening (sheet 8) that is required along the northeast, southeast, and southwest sides of the site and notes that existing screening, proposed landscaping, and barriers will be used to satisfy the requirement. In addition to the zoning ordinance requirement for transitional screening, the Comprehensive Plan for the Lincolnia Planning District (L-1 Pinecrest) states that sites being redeveloped should provide screening and buffering to minimize the impact on adjacent areas planned for low density residential use. The following items are still outstanding regarding transitional screening modifications/waivers:

- **Northeastern:** The applicant is proposing to completely waive the transitional screening and barrier requirements based on ZO 13-305.14, which states that the proposed project has been architecturally designed to provide as little impact as possible to the surrounding properties, but does not appear to be the case.
  - **Recommendation:** The applicant should provide Type I transitional screening and a barrier along the northeastern side of the property to meet the intent of ZO 13-303.3A, along with providing a transitional screening matrix as detailed in ZO 13-303.3B to demonstrate that all required landscaping densities have been met.

*The matrix of the transitional screening requirements and calculations has been adjusted per mark-ups and meeting comments (6/11/2013) and is provided on Sheet 10. Transitional screening has been placed along the frontage of the property, quantities and sizes adjusted accordingly. See Sheet 9. A waiver for the barrier requirement is hereby requested and is presented on Sheet 8.*

- **Southeastern:** The applicant has provided additional landscaping within this transitional screening yard, but a proposed trail is encroaching into the transitional screening yard and the full 25 foot area is not being planted and does not meet the density requirement. In addition it is unclear what type of fencing is being provided for the Barrier Type D, E, or F since it has only been specified as 6 foot fence.
  - **Recommendation:** The applicant should relocate the trail so that it does not encroach into the 25 foot wide transitional screening yard. In addition, more landscaping primarily in the form of evergreen trees should be provided to meet the density requirement along with providing a transitional screening matrix to demonstrate that plant densities are being met as detailed in ZO 13-303.3B for the screening yard. The type of 6 foot fencing should also be specified on the plan and must satisfy the requirements for a Barrier Type D, E, or F.

*The proposed trail remains where it was relocated previously so that it does not encroach into the transitional screening yard. Landscaping calculations have been revised on Sheet 10 - per mark-ups and meeting comments (6/11/2013) - to support the transitional screening schedule and trees shown on Sheet 9. The fence, a 6' see-through fence, as specified by the County, has been called out on Sheet 9.*

- **Southwestern:** A transitional screening matrix has not been provided and it is unclear what type of 6 foot fence is proposed and if it satisfies the Type D, E, or F barrier requirement.
  - **Recommendation:** The applicant should provide a transitional screening matrix as detailed in ZO 13-303.3B to demonstrate that the area is 100% forested and that it meets the density required for the transitional screening yard. In addition the type of 6 foot fencing proposed should also be clarified on the plan and must satisfy the requirements for a Barrier Type D, E, or F.

*A transitional screening matrix, which calculates the 10-year canopy area required and provided, has been provided on Sheet 10; no extra planting is required for this lot line. The fence, a 6' see-through fence, as specified by the County, has been called out on Sheet 9. There is no detail provided for this fence so as leave flexibility in the decision, as discussed during the 6/11/2013 meeting. This fence extends until the edge of the proposed building. It is hereby requested that a waiver be granted for the barrier requirement along the remainder of the lot line. Waiver and narrative on Sheet 8. Proposed fence termination location shown on Sheet 9.*

2. **Comment:** The applicant should add a note that states that all asphalt and gravel will be removed for all landscape areas and the area shall be tilled to a depth of at least 12 inches and amended with a minimum of six inches of high quality organic matter prior to any planting. In addition Fairfax County Urban Forest Management Division shall be notified after soil amendments and tilling have been completed and given the opportunity to inspect the site prior to planting.

**Recommendation:** Remove “where applicable” from note 1.

*The above note has been added to Sheet 9, “where applicable” has been removed from the note.*

3. **Comment:** It is unclear how the 10-Year Canopy requirement will be met for the site since existing canopy identified in the EVM is significantly less than what is shown in table 12.10.

**Recommendation:** Table 12.10 should be revised to only include existing vegetation being preserved that is onsite and not exceed what is shown on the existing vegetation map.

*Existing canopy has been recounted and recalculated to only include existing vegetation being preserved onsite. An area breakdown of existing vegetation counted has been provided on sheet 7. Existing vegetation area (line A.A on Table 12.10) on Sheet 7 is equivalent to the existing vegetation area shown on Sheet 8.*

4. **Comment:** It is unclear how the tree preservation target requirement will be met for the site since tabulations being provided in table 12.10 appear to be incorrect and do not reflect what is shown to be preserved that can be counted towards 10-year canopy.

**Recommendation:** Trees being used to meet the tree preservation target in table 12.10 shall reflect what is shown to be preserved that can also be counted towards the 10-year canopy requirement for the site.

*The limits of clearing and grading have been adjusted away from vegetation to be preserved and count toward 10-year canopy. Tabulations in table 12.10 have been reviewed and adjusted, and a breakdown of the pre-developed canopy area quantity (inserted in table line A.A) has been provided to aid in identifying the origin of the value. Existing vegetation counting toward the 10-year canopy has been indicated on the plan via a hatching pattern and calculation breakdown on Sheet 8. A breakdown on the existing vegetation meeting the standards for 10-year canopy credit has also been provided to aid in identifying where the value inserted in Table 12.10, line C2, originated from. Calculations for proposed planting requirements to meet the 10-year canopy requirement are shown on Sheet 10, proposed planting depicted on Sheet 9.*

7. **Comment:** With this submission the limits of clearing and grading have increased and the entire group of cedars is now proposed to be removed. It appears that 10-year canopy credit with a 1.25 multiplier is being applied to all trees being preserved outside of the RPA, many of which are undesirable species and not eligible to receive canopy credit, in poor condition, have a large portion of their critical root zones being impacted by the limits of clearing and grading, or are within the limits of clearing and grading.

**Recommendation:** The limits of clearing and grading shall be adjusted inward where possible to provide additional protection to existing trees and preserve trees such as 16 - 21 in order to allow applying 10-year canopy credit. In addition, 10-year canopy credit and the additional 1.25 canopy multiplier should only be applied to trees being preserved that meet the health and species requirements and their critical root zones are located outside of the limits of clearing and grading.

*The entire group of cedars is not to be removed. Trees 16-18 will be removed and are not being counted towards the 10-year canopy credit due to their close proximity to the development, as requested by the County. The 1.25 multiplier is not being applied to all the trees outside of the RPA boundary. An area breakdown of the existing tree canopies meeting the requirements has been provided to aid in identifying the origin of the quantity in Table 12.10 (See Sheet 7). Trees being counted for credit have been identified by the County as desirable. The limits of construction have been re-adjusted to be pushed out of the critical root zones as much as possible, given the constraints of the site.*

- 9. Comment:** It is unclear how the two willow oaks (tree # 4 and 5) that are worthy candidates for preservation will be preserved since they are located within the limits of clearing and grading. The note that has been added to the plan stating that “Construction around existing vegetation, within the limits of clearing and grading, shall be carried out in the least disruptive manner possible,” is unclear and does not provide any notes or details necessary to assure preservation of these two trees.

**Recommendation:** If 10-year canopy credit is going to be taken for tree numbers 4 and 5, the limits of clearing and grading shall be bumped outside their critical root zones along with adding notes and details that specify how the existing asphalt trail and any of the parking lot will be removed by hand in a way that reduces impacts to their critical root zones. It shall also be specified how any repaving around the tree will be done without impacting their critical root zones, or 10-year canopy should not be claimed for preserving these two trees.

*Trees 4 and 5 are no longer being counted toward 10-year canopy credit; however, they are still to be preserved. A note indicating that trees 4 and 5 are to be preserved has been added to Sheet 7. This note is also added for trees 19-21. The limits of clearing and grading have been pushed outside of the CRZ for trees 19-21.*

- 10. Comment:** It appears that a large number of invasive species such as English ivy, Japanese honeysuckle, multi-flora rose, wine berry, and grape vines are present in large quantities that threaten the long term health of the forest and if left as is, would not be eligible to receive 10-Year Canopy credit for the site, without some type of invasive species management plan. However, the SE Plat does not appear to contain any type of invasive species management plan, but simply mentions that they shall be managed.

**Recommendation:** UFMD recommends that the applicant agree to the following development condition in order to achieve the 10-Year Tree Canopy and Tree Preservation Target requirements for the site. Create and implement an invasive species management program for the Tree Conservation Ordinance to include all tree save areas that may contain invasive plant material (PFM 12-0404.2B and 12-0509.3D) that clearly identifies targeted species, details removal and treatment techniques, replanting with herbaceous and woody material, monitoring, program duration, etc. It should be noted that any large scale removal (other than severing and treating vine regrowth on and

around trees) of invasive species within the RPA will likely require additional permitting (WQIA) through the Site Development and Inspections Division at site plan submission.

*The applicant agrees to the development condition concerning the development of an invasive species management plan.*

**11. Comment:** It appears that the applicant has proposed to provide reforestation planting in accordance with CBO in order to help meet their BMP requirements in areas that are void of trees, but has not proposed to provide reforestation planting in the areas of the bottomland forest that have been identified as being “very sparse,” with trees in “fair to poor condition,” where the “lack of canopy has led to an explosion of exotic invasive shrubs and vines in the forest.” In addition, one of the references (PFM 12-0516.5) stated on the EVM that mentions planting the non-vegetated areas within the RPA is for land disturbance without an approved plan, which does not apply to this case. It should be noted that if reforestation is being provided within a dedicated stormwater BMP area, 10-year canopy may be taken in accordance with PFM 6-1311.3.

**Recommendation:** The applicant should revise the EVM (sheet 7) and the SE Plat (sheet 11) to state that reforestation planting will occur within the RPA in areas of the bottomland forest that has been identified as have a fair to poor condition, contain sparse vegetation, where invasive species will be controlled, and in areas that do not contain forest cover shall be reforested in accordance PFM 6 -1311.3. If any 10-year canopy is going to be claimed for reforestation, it shall be clearly depicted for stormwater BMPs on the SE plat and noted in table 12.10. In addition, it is strongly recommended that the applicant agree to a development condition for a reforestation plan to be submitted at site plan to include the following:

A reforestation plan for the RPA shall be submitted concurrently with the first and all subsequent site plan submissions for review and approval by Urban Forest Management, DPWES, and shall be implemented as approved. The plan shall propose an appropriate selection of species based on existing and proposed site conditions to restore the area to a native forest cover type. The reforestation plan shall include, but not be limited to the following:

- plant list detailing species, sizes and stock type of trees and other vegetation to be planted
- soil treatments and amendments if necessary
- methods to reduce deer browse
- methods to reduce weed competition
- mulching specifications
- methods of installation
- maintenance
- mortality threshold
- monitoring
- replacement schedule

*The applicant agrees to the development condition concerning the reforestation of the specified areas within the RPA.*

- 14. Comment:** The amount of 10-year canopy claimed for many of the trees in the plant schedule does not correspond to what is shown in table 12.17.

**Recommendation:** The amount of 10-year canopy shown in the plant schedule shall be revised to reflect what is shown in table 12.17 for each size tree proposed.

*The 10-year canopy credits have been revised and adjusted according to the mark-up and discussion on 6/11/2013. See Sheet 9 for new planting schedule and Sheet 10 for the supporting calculations for transitional screening, interior parking lot screening, peripheral parking lot screening, and proposed landscaping to meet the 10-year canopy for the subject site.*

- 17. Comment:** The outdoor passive recreation area proposed only contains some sidewalks and benches with a few scattered trees, but little to no landscaping for people being served by this Adult Day Care Center, which can be detrimental to both physical and mental health of patients using this facility.

**Recommendation:** The applicant should incorporate additional activities within the outdoor passive activity area provided and possibly increase its size and incorporate additional landscaping that can be used by patients of the facility.

*The applicant has added 3 proposed raised gardens for the facility participants. Additional landscaping has been placed around the passive recreation area for this facility. An area reserved for a potential perennial garden has been reserved within the usable open space and is depicted on Sheet 9.*

- 18. Comment:** Given the nature of tree cover on this site, several development conditions will be instrumental in assuring adequate tree preservation and protection throughout the development process.

**Recommendation:** In addition to some of the above recommended condition language regarding invasive species management (comment #11), the following development condition language is necessary to ensure effective tree preservation:

Tree Preservation: “The applicant shall submit a Tree Preservation Plan and Narrative as part of the first and all subsequent site plan submissions. The preservation plan and narrative shall be prepared by a Certified Arborist or a Registered Consulting Arborist, and shall be subject to the review and approval of UFMD.

The tree preservation plan shall include a tree inventory that identifies the location, species, critical root zone, size, crown spread and condition analysis percentage rating for all individual trees located within the tree save area living or dead with trunks 8 inches in diameter and greater (measured at 4 ½ -feet from the base of the trunk or as otherwise allowed in the latest edition of the Guide for Plant Appraisal published by the International Society of Arboriculture) and 35 feet outside of the proposed limits of clearing, in the undisturbed area and within 10 feet of the proposed limits of clearing in the area to be disturbed. The tree preservation plan shall provide for the preservation of those areas shown for tree preservation, those areas outside of the limits of disturbance shown on the SE Plat and those additional areas in which trees can be preserved as a result of final engineering. The tree preservation plan and narrative shall include all items specified in PFM 12-0507 and 12-0509. Specific tree preservation activities that will maximize the survivability of any tree identified to be preserved, such as: crown pruning, root pruning, mulching, fertilization, compost tea, Cambistat, radial mulching, notes and details for asphalt removal around trees, and others as necessary, shall be included in the plan.”

Tree Preservation Walk-Through. “The Applicant shall retain the services of a certified arborist or Registered Consulting Arborist, and shall have the limits of clearing and grading marked with a continuous line of flagging prior to the walk-through meeting. During the tree-preservation walk-through meeting, the Applicant’s certified arborist or landscape architect shall walk the limits of clearing and grading with an UFM, representative to determine where adjustments to the clearing limits can be made to increase the area of tree preservation and/or to increase the survivability of trees at the edge of the limits of clearing and grading, and such adjustment shall be implemented. Trees that are identified as dead or dying may be removed as part of the clearing operation. Any tree that is so designated shall be removed using a chain saw and such removal shall be accomplished in a manner that avoids damage to surrounding trees and associated understory vegetation. If a stump must be removed, this shall be done using a stump-grinding machine in a manner causing as little disturbance as possible to adjacent trees and associated understory vegetation and soil conditions.”

Limits of Clearing and Grading. “The Applicant shall conform strictly to the limits of clearing and grading as shown on the CDP/FDP, subject to allowances specified in these proffered conditions and for the installation of utilities and/or trails as determined necessary by the Director of DPWES, as described herein. If it is determined necessary to install utilities and/or trails in areas protected by the limits of clearing and grading as shown on the CDP/FDP, they shall be located in the least disruptive manner necessary as determined by the UFMD, DPWES. A replanting plan shall be developed and implemented, subject to approval by the UFMD, DPWES, for any areas protected by the limits of clearing and grading that must be disturbed for such trails or utilities.”

Tree Preservation Fencing: “All trees shown to be preserved on the tree preservation plan shall be protected by tree protection fence. Tree protection fencing in the form of four (4) foot high, fourteen (14) gauge welded wire attached to six (6) foot steel posts driven eighteen (18) inches into the ground and placed no further than ten (10) feet apart or, super silt fence to the extent that required trenching for super silt fence does not sever or wound compression roots which can lead to structural failure and/or uprooting of trees

shall be erected at the limits of clearing and grading as shown on the demolition, and phase I & II erosion and sediment control sheets, as may be modified by the “Root Pruning” condition below.

All tree protection fencing shall be installed after the tree preservation walk-through meeting but prior to any clearing and grading activities, including the demolition of any existing structures. The installation of all tree protection fencing shall be performed under the supervision of a certified arborist, and accomplished in a manner that does not harm existing vegetation that is to be preserved. Three (3) days prior to the commencement of any clearing, grading or demolition activities, but subsequent to the installation of the tree protection devices, the UFMD, DPWES, shall be notified and given the opportunity to inspect the site to ensure that all tree protection devices have been correctly installed. If it is determined that the fencing has not been installed correctly, no grading or construction activities shall occur until the fencing is installed correctly, as determined by the UFMD, DPWES.”

Root Pruning. “The Applicant shall root prune, as needed to comply with the tree preservation requirements of these development conditions. All treatments shall be clearly identified, labeled, and detailed on the erosion and sediment control sheets of the site plan submission. The details for these treatments shall be reviewed and approved by the UFMD, DPWES, accomplished in a manner that protects affected and adjacent vegetation to be preserved, and may include, but not be limited to the following:

- Root pruning shall be done with a trencher or vibratory plow to a depth of 18 - 24 inches.
- Root pruning shall take place prior to any clearing and grading, or demolition of structures.
- Root pruning shall be conducted with the supervision of a certified arborist.
- An UFMD, DPWES, representative shall be informed when all root pruning and tree protection fence installation is complete.”

Site Monitoring. “During any clearing or tree/vegetation/structure removal on the Applicant Property, a representative of the Applicant shall be present to monitor the process and ensure that the activities are conducted as conditioned and as approved by the UFMD. The Applicant shall retain the services of a certified arborist or Registered Consulting Arborist to monitor all construction and demolition work and tree preservation efforts in order to ensure conformance with all tree preservation development conditions, and UFMD approvals. The monitoring schedule shall be described and detailed in the Landscaping and Tree Preservation Plan, and reviewed and approved by the UFMD, DPWES.”

*The applicant understands and agrees to the above development conditions.*

Agape Adult Day Health Care Center

**Special Exception Statement of Justification**

Submitted 5/15/2013

Amended 06/21/2013

It is hereby requested that approval be granted for the development of an adult day care facility, known as Agape Adult Day Health Care Center. The proposed project is to occupy property located at 6349 and 6353 Lincolnia Road, Alexandria, Va 22312. This property is owned by Agape Health Management, Inc. The subject property is located in the Mason District on Tax Map 72-1 ((1)): 50A & 50B, and is composed of 2.94 acres of land. Parcel 50B makes up 0.5 acres of the total property; parcel 50A is composed of 2.435 acres. The zoning for the project location is R-2. Per section 3-204-3B of the Fairfax County Zoning Ordinance, the proposed project is a special exception in this location.

**EXISTING SITE DESCRIPTION**

The site currently contains three buildings, asphalt parking and an asphalt basketball court. The back portion of the site is wooded floodplain. The site generally slopes from the front to the back, northeast to southwest, with an average slope of 5.5% to the banks of Turkeycock Run. Turkeycock Run flows across the rear of the site, from north to south, in an existing floodplain and storm drainage easement (DB 16309, Pg 1939). Drainage patterns after development will continue to follow the pre-development patterns. The impervious area will be reduced for the post-development condition as compared to the existing condition due to the removal of the one-story brick & frame garage, the basketball court and a portion of the parking area.

While waivers are still required for the proposed project's transitional screening and barrier requirements, the proposed landscaping, reforestation, screening and barriers have been substantially enhanced from previous design.

**NEED FOR THE FACILITY**

The proposed facility will provide a service which aids in the assistance or supervision of individuals. The applicant currently operates an existing facility and is relocating his operations to a more conducive environment and better facility. He has demonstrated the need for these services based on the number of existing patrons and a current wait list for admission of additional participants into the facility; there are currently 10 individuals on the waitlist for the existing facility. Additionally, the lease for the current facility will reach termination in December 2013. The proposed facility will allow access for all of the individuals on the waitlist plus additional future individuals. The location for the proposed facility, and the proposed footprint of the building, will allow a greater number of participants to attend. The general areas that will be served by the proposed use include Eastern Fairfax County including Mason, Braddock and Lee Districts, but are not limited to those areas. The proposed facility is located within the vicinity of these areas.

**USABLE OPEN SPACE**

At the proposed location, a usable open space area for the participants has been reserved. This space will provide an outdoor area that the participants will be able to enjoy without being transported away from the facility. The open space will meet the requirement of 100SF per person

under maximum occupancy conditions. The open space will contain three raised gardens in the lower area of the space, and one perennial garden in the upper area of the space. The usable open space will be furnished with appropriate outdoor furniture for the participants to use and will contain vegetation to provide shade. The usable open space will be accessible to all participants.

#### DESCRIPTION OF USE

- A. **Type of Operation:** The proposed building to be constructed on Lot 50-A will be used as an adult daycare facility. Adults are picked up in vans from their places of residences and carpooled and dropped off at the facility. They are engaged in a number of activities during the day including; relaxation, games, crafts, karaoke, dance, exercise, physical therapy, breakfast, snack and lunch, nurse care and group activities. They are carpooled by vans back to their residencies at the end of the day.

The house on Lot 50-B will be used as a construction office during construction of the project. After completion of the project, the house will be used as an administrative support building associated with the Agape Adult Day Health Care Center facility.

- B. **Hours of Operation:** Monday- Saturday, 8 a.m. to 5 p.m. Participants will be carpooled back to their places of residence at 2:30 pm. The facility stays operational until 5 pm to allow for clean-up.

- C. **Maximum number of patrons/clients/patients/pupils/etc:** 150

- D. **Maximum number of employees/attendants/teachers/etc:** 30

- E. **Transportation:** There are five facility buses and one mini-van that are used to transport participants. Each bus makes up to two trips and the mini-van makes one trip to pick up and return the participants. Each bus can hold up to 14 people. The mini-van can hold up to 6 people. The same vehicles and maximum number of trips per vehicle will be used for the proposed facility. As the number of participants increases, the number of bus trips or the number of buses will increase to accommodate the change in participant population.

An estimate of the traffic impact due to the proposed use, including the maximum expected trip generation and the distribution of such trips by mode and time of day, yields a minimal traffic impact. Traffic will be less than the previous approved school use of the property. At maximum conditions: Expect 1 van trips + 11 bus trips + 30 employee/attendea a.m./p.m. peak hour trips for a total of 41 VPD during 7:30-9:00 a.m. and 2:30-5:00 p.m. onto Lincolnia Road.

- F. **Description of building façade and architecture of proposed new buildings or additions:** building is a combination of concrete block and wood frame with strategically placed windows to allow for natural lighting. Building includes shingled roof and drop-off canopy.

- G. There are no known hazards or toxic substances to be used/stored on existing onsite..

- H. To the best of our knowledge and belief, the proposed plans comply with all ordinances, regulations, adopted standards and applicable conditions.

### FAIRFAX COUNTY COMPREHENSIVE PLAN, 2011 Edition POLICY PLAN, Human Services, Amended through 8-5-2002, Pages 5 and 6

#### HUMAN SERVICES FACILITIES ELEMENT HEALTH SERVICES INTRODUCTION

"Adult day health care services are provided to the elderly impaired -- approximately 15 percent of those age 75 and over. These services, which are based on a medical model, provide assistance to the impaired elderly who are usually unable to live alone. Total supervision, therapy, socialization, meals, reality-orientation exercises, adaptive exercises and other activities are provided. Adult day health care also provides facilities for respite care during evenings and weekends to the family member who is caring for the elderly person. Participants in adult day health care programs come from all income levels."

#### **"Objective 10: Develop sufficient adult day health care centers.**

Policy a. Provide centers in areas of high concentration of elderly persons.

Policy b. Ensure programmatic integration, by co-locating adult day health care centers with senior centers, and senior housing, where possible and where feasible.

Policy c. Locate centers in or near residential communities to minimize transportation requirements of families.

Policy d. Locate adult day health care centers, co-located with other programs, e.g., senior centers, housing, etc., in areas having appropriate zoning.

Policy e. Provide a minimum of 8,000 square foot of facility space for all program activities in adult day health care centers.

Policy f. Develop architecturally and environmentally appropriate facilities on sites with adequate space for outdoor activities. Parking needs are limited as clients do not drive. Provide ample space for para-transit vans and handicapped loading. A five mile service radius is desirable for the convenience of commuting adult children and for para-transit services.

Policy g. Utilize the facility standards in the Senior Center Study (1988) that establish the criteria for adult day health care centers."