



APPLICATION ACCEPTED: June 21, 2013  
BOARD OF ZONING APPEALS: September 11, 2013  
TIME: 9:00 a.m.

# County of Fairfax, Virginia

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September 4, 2013

## STAFF REPORT

SPECIAL PERMIT APPLICATION NO. SP 2013-SU-047

### SULLY DISTRICT

**APPLICANT/OWNER:** Michael A. Olson  
**STREET ADDRESS:** 14725 Cranoke Street, Centreville, 20120  
**SUBDIVISION:** Chalet Woods  
**TAX MAP REFERENCE:** 53-2 ((3)) 283  
**LOT SIZE:** 12,658 square feet  
**ZONING DISTRICT:** R-3 (Cluster), WS  
**ZONING ORDINANCE PROVISION:** 8-922  
**SPECIAL PERMIT PROPOSAL:** To permit reduction of certain yard requirements to permit construction of addition 5.1 feet from side lot line such that side yards total 17.1 feet.

**STAFF RECOMMENDATION:** Staff recommends approval of SP 2013-SU-047 for the addition with adoption of the proposed development conditions contained in Appendix 1.

It should be noted that it is not the intent of staff to recommend that the Board, in adopting any conditions, relieve the applicants/owners from compliance with the provisions of any applicable ordinances, regulations, or adopted standards.

*O:\gumk2\SP\_VC Cases\9-11) SP 2013-SU-047 Olson (50%)\SP 2013-SU-047 Olson staff report.doc*

*Laura Gumkowski*

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Excellence \* Innovation \* Stewardship  
Integrity \* Teamwork \* Public Service

Department of Planning and Zoning  
Zoning Evaluation Division  
12055 Government Center Parkway, Suite 801  
Fairfax, Virginia 22035-5509  
Phone 703-324-1290 FAX 703-324-3924  
[www.fairfaxcounty.gov/dpz/](http://www.fairfaxcounty.gov/dpz/)



It should be further noted that the content of this report reflects the analysis and recommendations of staff; it does not reflect the position of the Board of Zoning Appeals. A copy of the BZA's Resolution setting forth this decision will be mailed within five days after the decision becomes final.

The approval of this application does not interfere with, abrogate or annul any easements, covenants, or other agreements between parties, as they may apply to the property subject to the application.

For additional information, call Zoning Evaluation Division, Department of Planning and Zoning at 703-324-1280, 12055 Government Center Parkway, Suite 801, Fairfax, Virginia 22035. **Board of Zoning Appeals' meetings are held in the Board Room, Ground Level, Government Center Building, 12000 Government Center Parkway, Fairfax, Virginia 22035-5505.**

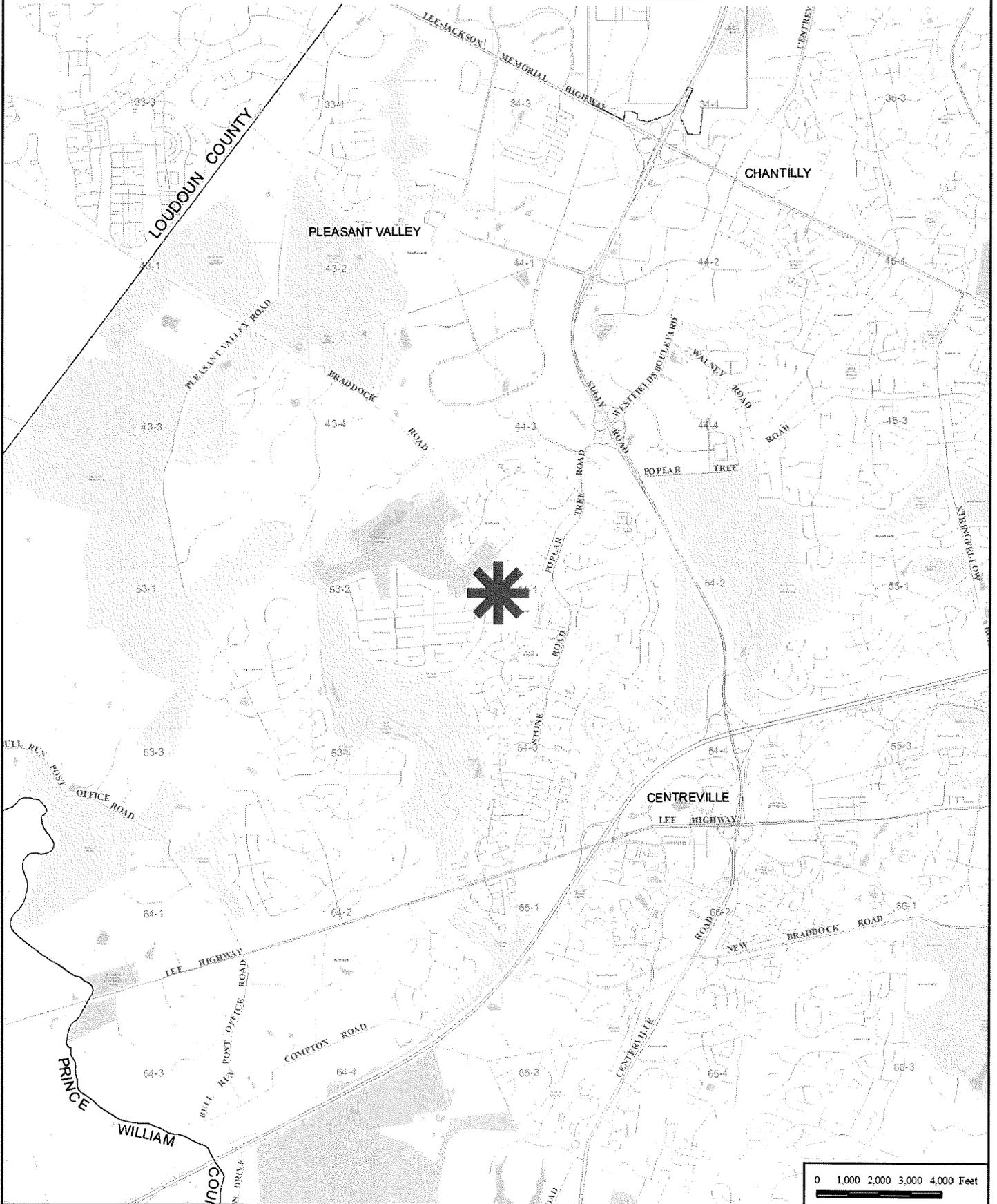


Americans with Disabilities Act (ADA): Reasonable accommodation is available upon 48 hours advance notice. For additional information on ADA call (703) 324-1334 or TTY 711 (Virginia Relay Center).

# Special Permit

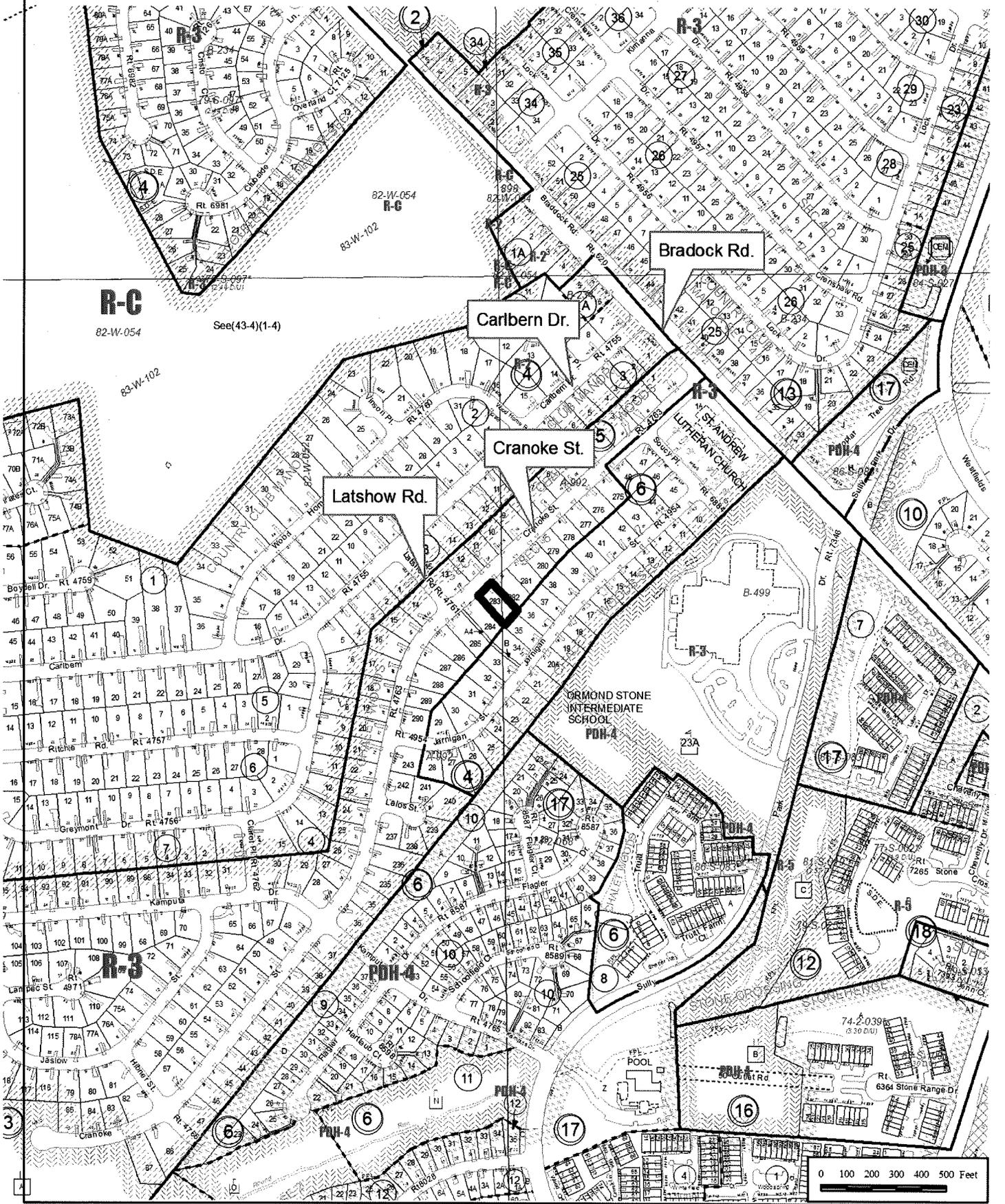
SP 2013-SU-047

MICHAEL A. OLSON



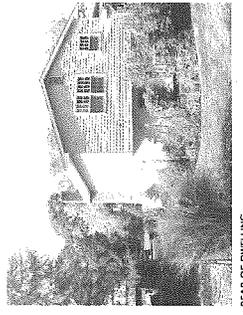
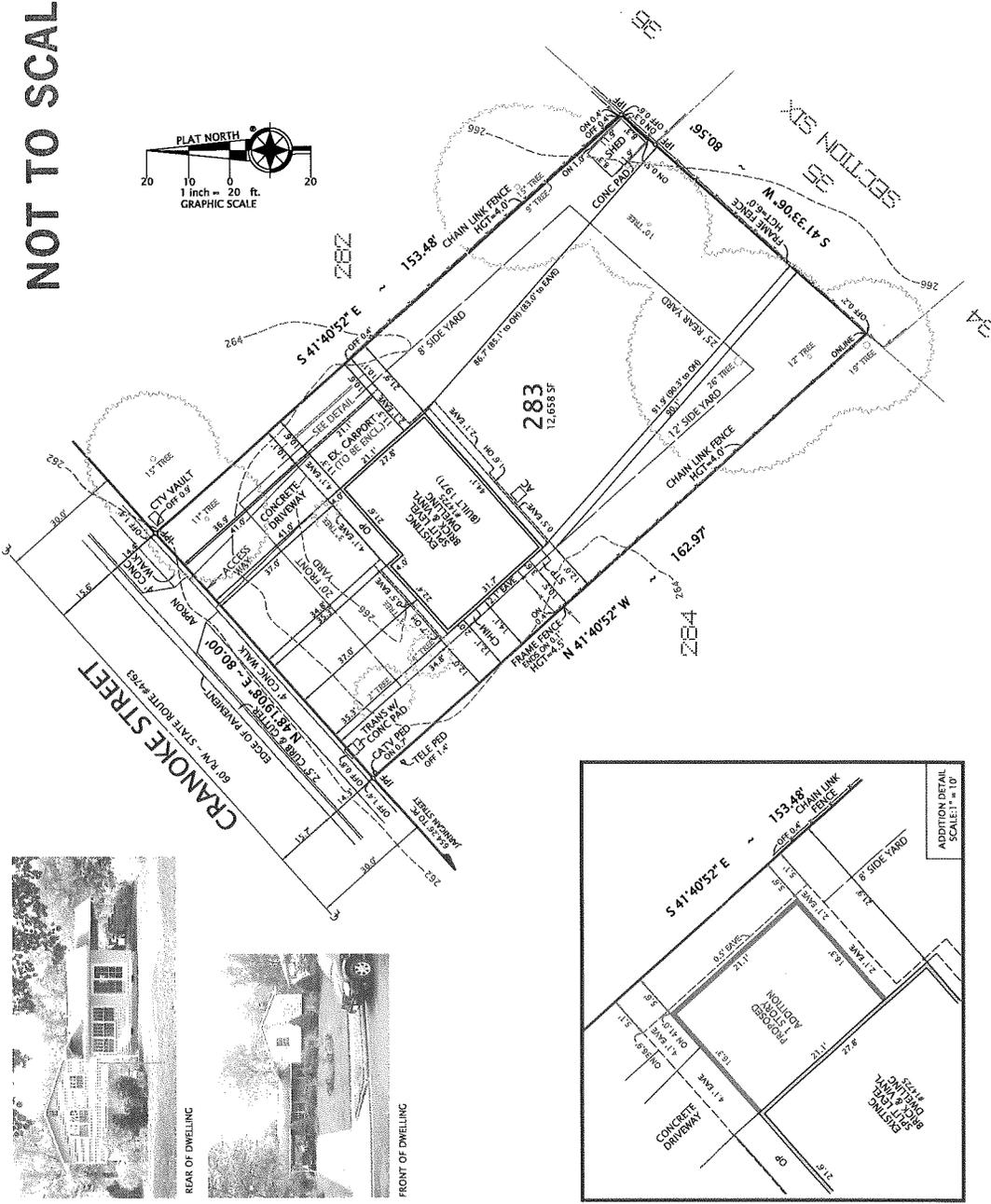
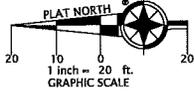
# Special Permit

SP 2013-SU-047  
MICHAEL A. OLSON

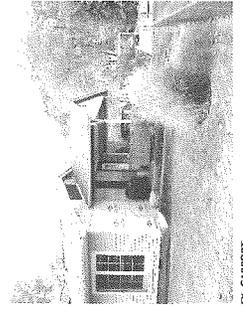


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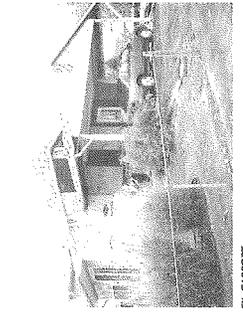
- NOTES
- TAX MAP: 53-2-03-0283
  - ZONE: R-3C (R-3 w/CLUSTER DEVELOPMENT)
  - LOT AREA: 12,658 SF (0.29059 ACRE)
  - REQUIRED YARDS:
    - FRONT: = 20.0 FEET
    - SIDE: = 8.0 FEET BUT A TOTAL OF 20 FEET
    - REAR: = 25.0 FEET
  - HEIGHTS:
    - EX. DWELLING = 17.9 FEET
    - EX. SHED = 08.0 FEET
    - EX. CARPORT = 10.9 FEET (MIDLINE OF ROOF)
    - PROPOSED ADDITION = 10.9 FEET (MIDLINE OF ROOF)
    - FENCES = AS NOTED
  - THIS PROPERTY IS SERVED BY PUBLIC WATER AND SEWER.
  - THERE IS NO OBSERVABLE EVIDENCE OF GRAVE SITES OR BURIAL GROUNDS ON THIS PROPERTY.
  - ALL IMPROVEMENTS SHOWN ON THIS PLAT ARE EXISTING UNLESS DENOTED AS PROPOSED.
  - THE SURVEYOR IS NOT AWARE OF ANY UTILITY EASEMENTS 25 FEET IN WIDTH OR GREATER AFFECTING THIS PROPERTY.
  - TOPOGRAPHY DELINEATED HEREON WAS TAKEN FROM AVAILABLE RECORDS, IS SHOWN AT 2' INTERVALS, AND IS AERIAL.
  - THERE ARE NO FLOODPLAINS OR RESOURCE PROTECTION AREAS ON THIS PROPERTY.
  - AREAS:
    - EX. BASEMENT = 710 SF
    - EX. FIRST FLOOR = 635 SF
    - EX. SECOND FLOOR = 786 SF
    - EX. GROSS FLOOR AREA = 2,131 SF
    - EX. FLOOR AREA RATIO: EX. GFA (2131) / LOT AREA (12658) = 0.17
    - PROP. ADDN. = 344 SF / EX. GFA (2131) = 0.16
    - PROP. GROSS FLOOR AREA = 2,475 SF
    - PROP. FLOOR AREA RATIO = PROP. GFA (2475) / LOT AREA (12658) = 0.20



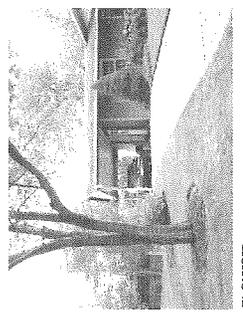
REAR OF DWELLING



EX. CARPORT



EX. CARPORT



EX. CARPORT

PLAT  
 SHOWING THE IMPROVEMENTS ON  
 LOT 283, SECTION FIVE  
**CHALET WOODS**  
 (DEED BOOK 3287, PAGE 505)  
 FAIRFAX COUNTY, VIRGINIA  
 SULLY DISTRICT  
 SCALE: 1" = 20'  
 OCTOBER 19, 2012



I HEREBY CERTIFY THAT THE PORTIONS OF ALL THE EXISTING IMPROVEMENTS HAVE BEEN CAREFULLY ESTABLISHED BY A CURRENT FIELD SURVEY AND UNLESS SHOWN THERE ARE NO VISIBLE ENCROACHMENTS AS OF THIS DATE.

THIS PLAT IS SUBJECT TO RESTRICTIONS OF RECORD. A TITLE REPORT WAS NOT FURNISHED. NO CORNER MARKERS SET.

CASE NAME:  
 MICHAEL A. OLSON  
 DEBRA S. OLSON

**DOMINION** Surveyors Inc.  
 8808-H PEAR TREE VILLAGE COURT  
 ALEXANDRIA, VIRGINIA 22309  
 TEL: 703.759.2412  
 FAX: 703.759.2412

PLEASE ADD TO FILE SP - 2013 - 0096 THANK YOU, M. OLSON

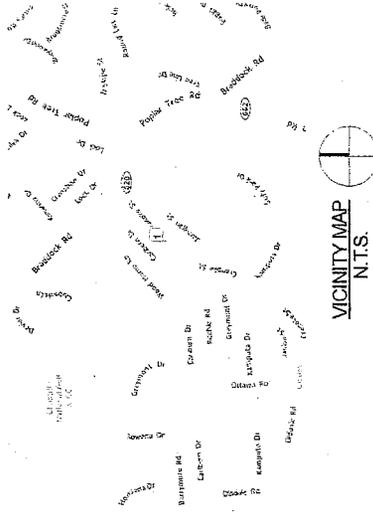


LUM ENGINEERING, PLLC  
42968 BROOKTON WAY  
ASHBURN, VA 20147  
LAURENCE BURLEY  
703-729-9276

SCALE

Mr. Mike Olson  
14225 Cranoke Street  
Centreville, VA 20120

CARPORT ENCLOSURE



**GENERAL NOTES:**  
1. THE PURPOSE OF THIS PROJECT IS TO ENCLOSE THE EXISTING CARPORT.  
2. THESE DRAWINGS SHALL CONSTITUTE THE DESIGN DOCUMENTS FOR THIS PROJECT. ANY DISCREPANCIES IN THESE DRAWINGS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE DESIGNER OF RECORD. THESE DRAWINGS DO NOT INDICATE THE METHOD OR MEANS OF CONSTRUCTION. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, PROCEDURES, TECHNIQUES, AND SEQUENCE. ALL APPLICABLE SAFETY REGULATIONS TO BE STRICTLY FOLLOWED.  
3. THE CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS, BOTH NEW AND EXISTING, REPORT ANY DISCREPANCIES TO THE DESIGNER OF RECORD PRIOR TO ORDERING MATERIALS OR PROCEEDING WITH ANY PHASE OF THE WORK.  
4. DO NOT SCALE DIMENSIONS FROM THE DRAWINGS. THE CONTRACTOR SHALL REQUEST FROM THE DESIGNER OF RECORD, NECESSARY DIMENSIONS NOT SHOWN ON THE PLANS.  
5. CONTRACTOR SHALL COORDINATE WITH FAIRFAX COUNTY ALL WORK REQUIRING INSPECTIONS AND TESTING.

**DESIGN CRITERIA:**  
1. 2009 VIRGINIA RESIDENTIAL CODE  
2. FAIRFAX COUNTY BUILDING CODE

**PERMIT LOADS:**  
1. FLOOR DEAD LOAD = 15 PSF  
2. FLOOR LIVE LOAD = 30 PSF  
3. WALL DEAD LOAD = 20 PSF  
4. SNOW LOAD = 25 PSF  
5. WIND LOAD DESIGN SPEED = 80 MPH (EXPOSURE B)

**FRAMING:**  
1. ALL STRUCTURAL MEMBERS SHALL BE SOUTHERN PINE OR BETTER. PROVIDE DOUBLE FRAMING AROUND ALL OPENINGS SUCH AS STAIRS AND DUCT CHASES. JOIST SHALL BE DOUBLED WHERE INTERIOR PARTITIONS ARE RUNNING DIRECTLY OVER IN SAME DIRECTION. ALL WOOD BEARING PARTITIONS SHALL BE 2" X 4" STUDS, 16" ON CENTER WITH DOUBLE TOP PLATE AND BLOCK BRIDGING AT MID-HEIGHT. PARTITIONS SHALL HAVE A SINGLE PRESSURE TREATED BOTTOM PLATE. PROVIDE WOOD LINEALS OVER WINDOW OPENINGS WITH DOUBLE 2" X 12 WITH 1/2" PLYWOOD.

**ROOFING AND CEILING:**  
1. THE ROOF SHALL BE 1/2" OSB OR GYPSUM BOARD OVER 1/2" OSB OR GYPSUM BOARD. PROVIDE 2X FLOOR JOISTS AT 16" ON CENTER WITH 2X 12 JOISTS AT MIDSPAN VERTICALLY OF 8" IUD JOIST. BLOCK JOIST AT ALL BEARING SUPPORTS AND BLOCK ALL STUD WALLS AT PERIMETER WALLS OF 2X 8 IUD JOIST WITH TIGHT JOINTS. PROVIDE 2X FLOOR JOISTS AT MIDSPAN VERTICALLY OF 8" IUD JOIST.

**TRUSSES:**  
1. ALL TRUSS STRUCTURAL PANEL BEARINGS SHALL BE MINIMUM 1/2" INCH PLYWOOD OR OSB AND COMPLY WITH DOG EYE 1 OR DOG EYE 2.  
2. PROVIDE TRUSS BRACING PER FRAME AT GARAGE DOOR OPENING PER FIGURE R402.10.3.3 IN THE 2009 VIRGINIA RESIDENTIAL CODE.  
3. ALL TRUSSES SHALL COMPLY WITH HAILING SCHEDULES IN THE INTERNATIONAL RESIDENTIAL CODE, LATEST EDITION AND ALL STATE AND LOCAL BUILDING CODES, OR MANUFACTURER'S RECOMMENDATIONS.  
4. ALL TRUSSES SHALL COMPLY WITH HAILING SCHEDULES IN THE INTERNATIONAL RESIDENTIAL CODE, LATEST EDITION AND ALL STATE AND LOCAL BUILDING CODES, OR MANUFACTURER'S RECOMMENDATIONS.  
5. FIRE STOPPING SHALL BE PROVIDED TO CUT OFF ALL CONCEALED DRAFT OPENINGS, BOTH VERTICAL AND HORIZONTAL, WITH 1" NOMINAL LUMBER OR TWO THICKNESS OF 1" NOMINAL LUMBER WITH BROKEN LAP JOINTS OR OTHER APPROVED MATERIAL.

**PARTITIONS:**  
1. GENERAL  
A. DOUBLE JOISTS CENTERED UNDER ALL PERIMETER PARTITIONS FOR CONVENTIONAL WOOD MEMBERS.  
B. PROVIDE SOLID BLOCKING AT 4'-0" ON CENTER BETWEEN THE BAND BOARD AND THE FIRST INTERIOR PARALLEL JOIST.  
C. SPICES OF THE TOP AND BOTTOM PORTION OF DOUBLE TOP PLATES MUST BE STAGGERED A MINIMUM OF 4'-0"  
D. LAP TOP PLATES AT CORNERS AND INTERSECTIONS.  
E. BEARING WALLS SUPPORTING ONE FLOOR OR MORE.  
F. PARTITIONS MUST BE CONSTRUCTED OF MINIMUM 2" X 4" STUDS SPACED 16" ON CENTER.  
G. IF A DOUBLE TOP PLATE OF LESS THAN 2" X 7" FLOOR JOIST SHALL BE GENERATED DIRECTLY OVER AND BELOW WALL STUDS WITH A TOLERANCE OF NO MORE THAN 1/8". BEARING STUDS SHALL BE SPACED WITH A MINIMUM 12" ON CENTER AND FASTENED ACCORDING TO THE CORP WALL MANUFACTURER'S RECOMMENDATIONS.

**WOOD DOOR TRUSSES:**  
1. THE DESIGN AND MANUFACTURE OF METAL-PLATE CONNECTED WOOD TRUSSES SHALL COMPLY WITH ANSI TP 1.  
2. THE TRUSS DESIGN DRAWINGS SHALL BE PREPARED BY A REGISTERED DESIGN PROFESSIONAL.  
3. IN THE ABSENCE OF SPECIFIC BRACING REQUIREMENTS, TRUSSES SHALL BE BRACED ACCORDING TO THE BUILDING COMPONENT SAFETY INFORMATION (BCSI) 1409 GUIDE TO GOOD PRACTICE FOR HANGING, INSTALLING AND BRACING OF METAL-PLATE CONNECTED WOOD TRUSSES.  
4. TRUSSES SHALL BE CONNECTED TO WALL PLATES WITH APPROVED CONNECTORS HAVING A RESISTANCE TO UPLIFT OF NOT LESS THAN 175 POUNDS ACCORDING TO MANUFACTURER'S RECOMMENDATIONS.

**THERMAL AND AIR LEAKAGE PROTECTION:**  
1. AIRPLATE SHEATHERS SHALL COMPLY WITH ASTM D 226 OR D 3062 AND HAVE THE MINIMUM NUMBER OF FASTENERS REQUIRED BY THE MANUFACTURER.  
2. UNDERLAMENT SHALL COMPLY WITH ASTM D 226 TYPE 1.  
3. PROVIDE ALL FLASHING AND COUNTERFLASHING IN ACCORDANCE WITH THE 2009 VIRGINIA RESIDENTIAL CODE.  
4. PROVIDE INSULATION WITH INSULATING GLASS OR SINGLE GLASS WITH STORM WINDOWS. GENERAL CONTRACTOR TO CONSULT WITH WINDOW AND DOOR MANUFACTURER TO DETERMINE EXACT SIZES, ROUGH OPENINGS, ETC. GLAZING IN DOORS SHALL MEET THE 2009 VIRGINIA RESIDENTIAL CODE AND FAIRFAX COUNTY BUILDING CODE.

**FINISHES:**  
1. EXTERIOR WALL BOARD SHALL BE IN ACCORDANCE WITH THE 2009 VIRGINIA CONSTRUCTION CODE AND FAIRFAX COUNTY BUILDING CODE.  
2. EXTERIOR WALL BOARD SHALL NOT BE INSTALLED UNTIL WEATHER PROTECTION FOR THE INSTALLATION PROVIDED STORAGE SHOULD BE IN ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.  
3. THE SIZE AND SPACING OF FASTENERS SHALL COMPLY WITH THE 2009 VIRGINIA CONSTRUCTION CODE AND FAIRFAX COUNTY BUILDING CODE.  
4. MATERIALS FOR MASONRY AND BRICK SHALL MEET AND BE CONSTRUCTED ACCORDING TO THE 2009 VIRGINIA RESIDENTIAL CODE.

**TABLE OF CONTENTS**  
S-1 COVER SHEET  
S-2 EXISTING FOUNDATION PLAN AND NEW FOUNDATION PLAN  
S-3 EXISTING AND NEW ROOF FRAMING PLAN  
S-4 BEARING WALL PARTITION PLAN  
S-5 PORTAL FRAME AND SLAB-ON-GRADE DETAILS

**SEQUENCE OF CONSTRUCTION:**  
ALL PERMITS CONTROL DEVICES SHALL BE INSTALLED PRIOR TO OR AS THE FIRST STEP IN GRADING. CONTRACTOR SHALL MAKE EFFORTS TO CLEAR AREAS REQUIRED FOR PERMITS AND EROSION CONTROL DEVICES FIRST. PLACEMENT OF PERMITS AND EROSION CONTROL DEVICES SHALL BE CONDUCTED IN SUCH A MANNER AS TO PREVENT THE ACCIDENTAL SITE, SOIL AND CLEARING AND GRADING OPERATIONS SHALL BE CONDUCTED ONLY AFTER ALL PERMITS AND EROSION CONTROL DEVICES ARE IN PLACE AND ARE OPERATIONAL. UPON COMPLETION OF CONSTRUCTION ALL TEMPORARY EROSION AND SEDIMENT CONTROL DEVICES SHALL BE REMOVED AND THE SITE SHALL BE RESTORED TO ORIGINAL OR BETTER CONDITION. ALL DISTURBED AREAS SHALL BE STABILIZED AND SEEDING, AS REQUIRED AT OWNER'S DISCRETION.

**PERMITS AND SCHEDULE:**  
ALL PERMITS CONTROL DEVICES SHALL BE INSPECTED DAILY BY THE SITE SUPERINTENDENT OR HIS REPRESENTATIVE. ANY DAMAGED PERMITS CONTROL DEVICES SHALL BE REPAIRED IMMEDIATELY. PERMITS CONTROL DEVICES SHALL BE MAINTAINED THROUGHOUT THE PROJECT. PERMITS CONTROL DEVICES SHALL BE MAINTAINED THROUGHOUT THE PROJECT. PERMITS CONTROL DEVICES SHALL BE MAINTAINED THROUGHOUT THE PROJECT. PERMITS CONTROL DEVICES SHALL BE MAINTAINED THROUGHOUT THE PROJECT.

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COVER SHEET

S-1

SHEET NO.

DATE: 01/11/2013

SCALE: AS SHOWN

DRAWING TITLE: CARPORT ENCLOSURE

DRAWN BY: L. BURLEY

NO. 1

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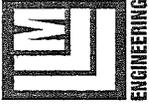
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LLM ENGINEERING, P.L.C  
 42995 BROOKTON (VA)  
 ASHBURN, VA 20147  
 LAURENCE BURLEY  
 703-729-8278

SEAL

Mr. Mike Olson  
 14725 Cranoke Street  
 Centreville, VA 20120

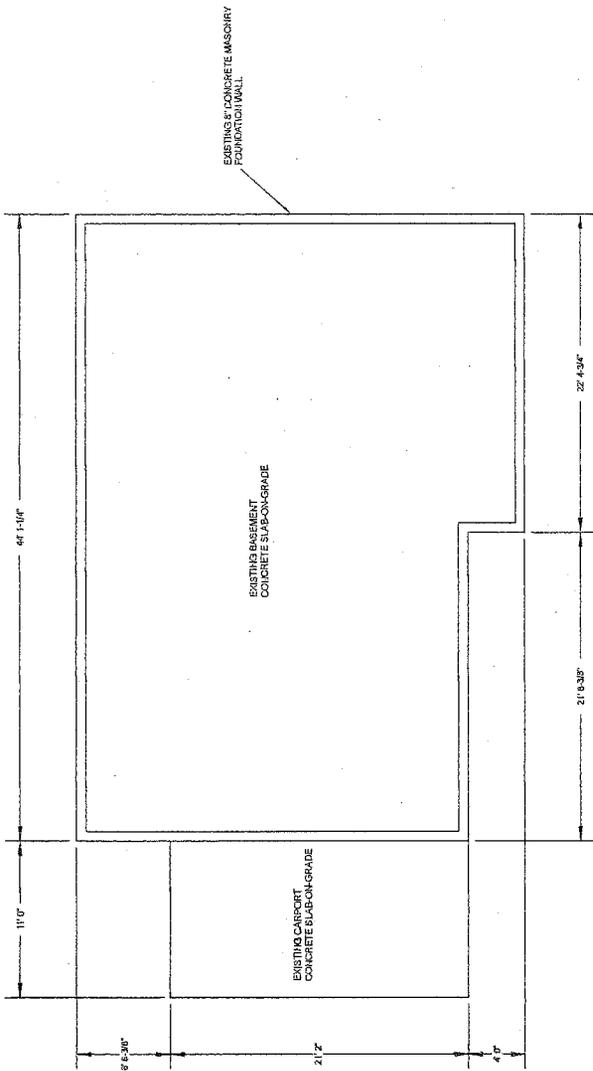
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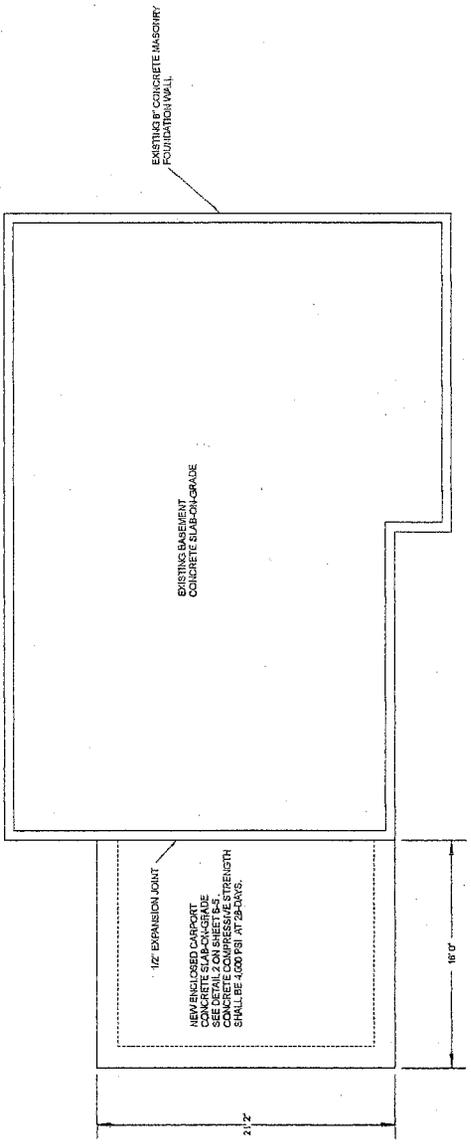
DATE: 6/17/2017  
 SCALE: AS NOTED

DRAWING TITLE:  
 EXISTING FOUNDATION PLAN  
 AND NEW FOUNDATION PLAN

SHEET NO.: S-2



- DEMOLITION NOTES:
1. REMOVE EXISTING CARPORT ROOF STORE TRUSSES FOR FUTURE USE.
  2. REMOVE EXISTING CARPORT SLAB-ON-GRADE.



- NEW CONSTRUCTION NOTES:
1. REMOVE EXISTING ROOF AND EXISTING SLAB-ON-GRADE. STORE EXISTING TRUSSES FOR FUTURE USE.
  2. INSTALL NEW 8" CONCRETE SLAB-ON-GRADE (FC = 4,000 PSI) PER DETAIL 1 AND 2 ON SHEET S-3.
  3. INSTALL NEW EXTERIOR WOOD STUD BEARING WALLS PER PLAN AND SECTION. SEE SERIAL 1 ON SHEET FOR PORTAL FRAME AT GARAGE DOOR.
  4. REINSTALL ROOF TRUSSES AT 24" SPACING PER ROOF FRAMING PLAN ON SHEET S-4.



LM ENGINEERING, P.L.C  
 4286 BROCKTON WAY  
 ASHBURN, VA 20147  
 LAURENCE BURLEY  
 703-729-3276

SCALE:

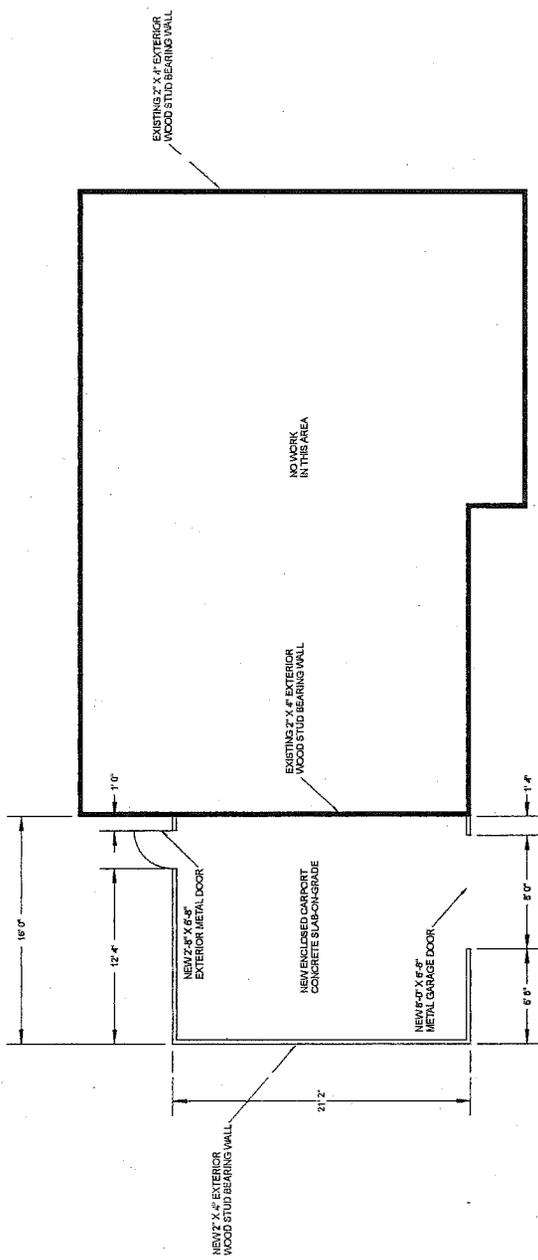
CARPOT ENCLOSURE  
 Mr. Mike Olson  
 14725 Cranoke Street  
 Centreville, VA 20120

NO.	REVISION/REMARKS	DATE
1	PERMIT	
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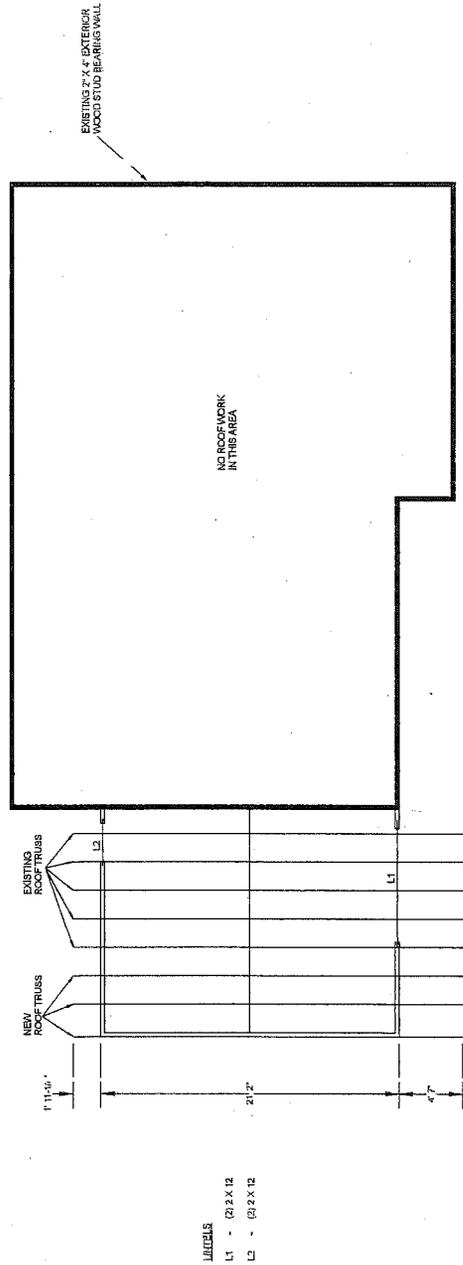
DATE: 11/11/11  
 SCALE: AS SHOWN

DRAWING TITLE  
 NEW FLOOR PLAN  
 AND NEW ROOF  
 FRAMING PLAN

SHEET NO.: S-3



NEW CARPORT FRAMING PLAN  
 1/4" = 1'-0"



NEW CARPORT ROOF FRAMING PLAN  
 1/4" = 1'-0"

- MEMBERS  
 L1 - (3) 2 X 12  
 L2 - (3) 2 X 12

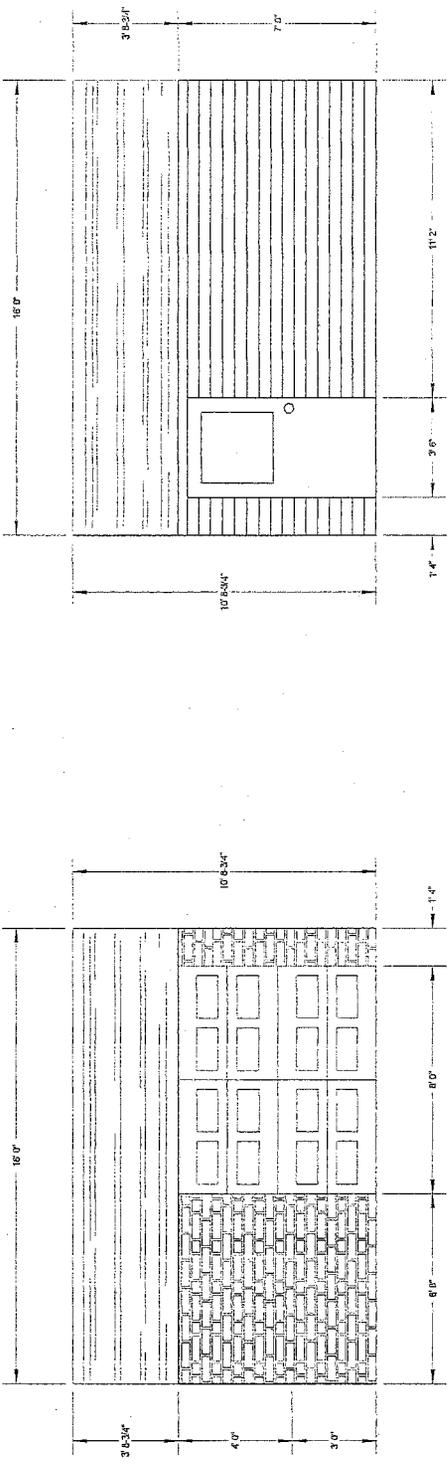
**MVE ENGINEERING**  
 L.L.M. ENGINEERING, P.C.  
 4295 W. COUNTRYWAY  
 ASHBURN, VA 20147  
 LAURENCE BURLEY  
 703-728-8276  
 An Employee-Owned Company

**CARPORT ENCLOSURE**  
 Mr. Mike Olson  
 14725 Cranoke Street  
 Centreville, VA 20120

NO.	REVISION/ISSUE	DATE
1	PERMIT	
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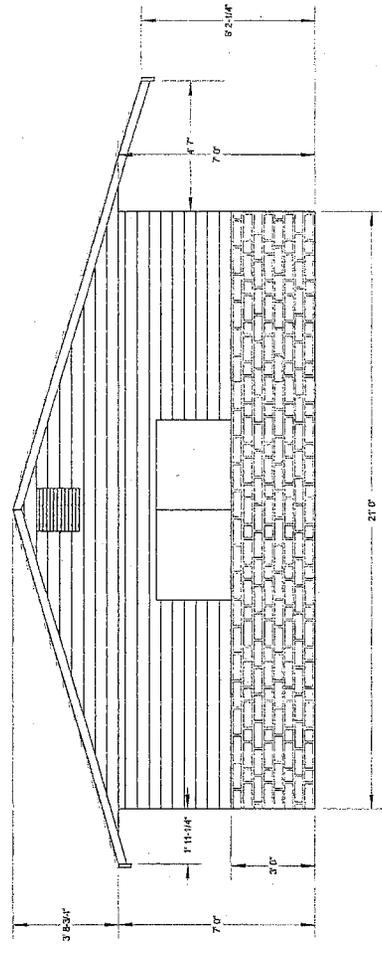
DATE: 6/11/2012  
 SCALE: AS NOTED  
 DRAWING TITLE  
**ELEVATIONS**

SUBJECT:  
**S4**



**EAST ELEVATION**  
 1/2" = 1'

**WEST ELEVATION**  
 1/2" = 1'

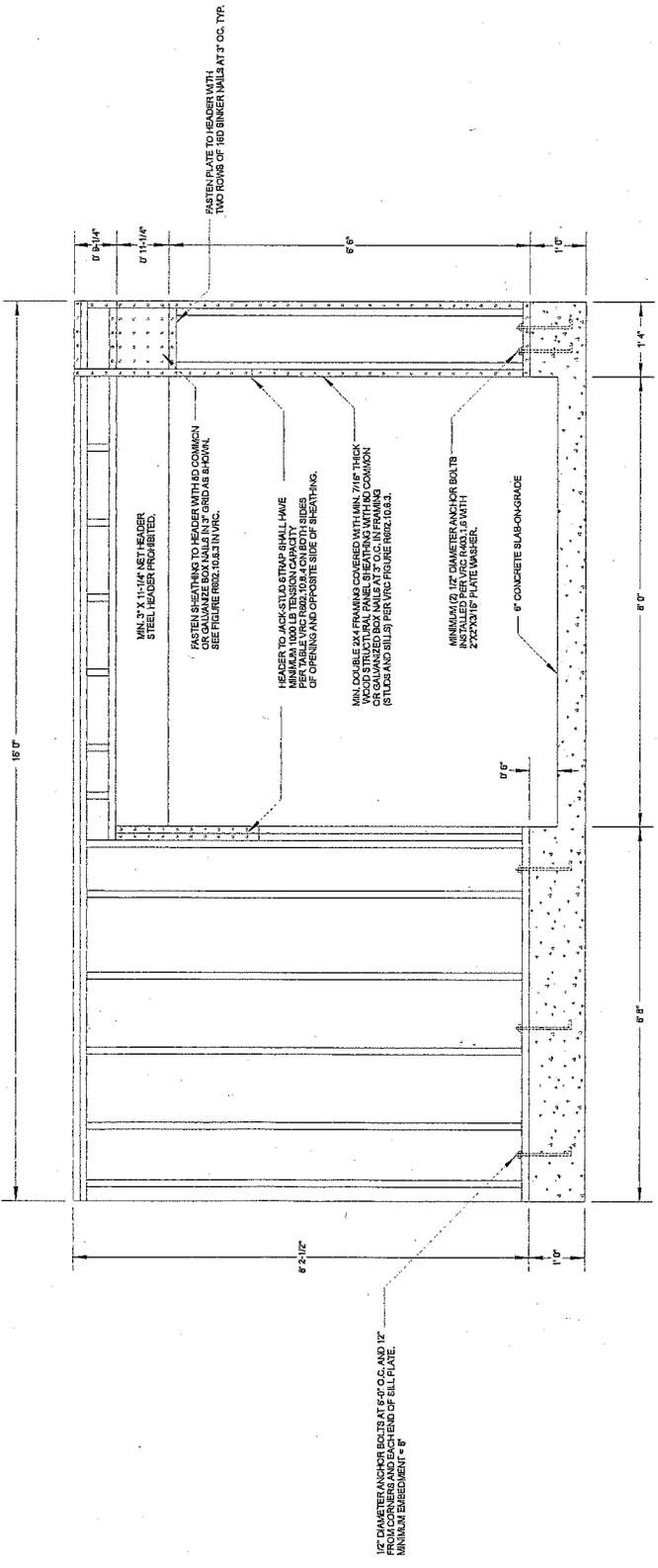


**NORTH ELEVATION**  
 1/2" = 1'

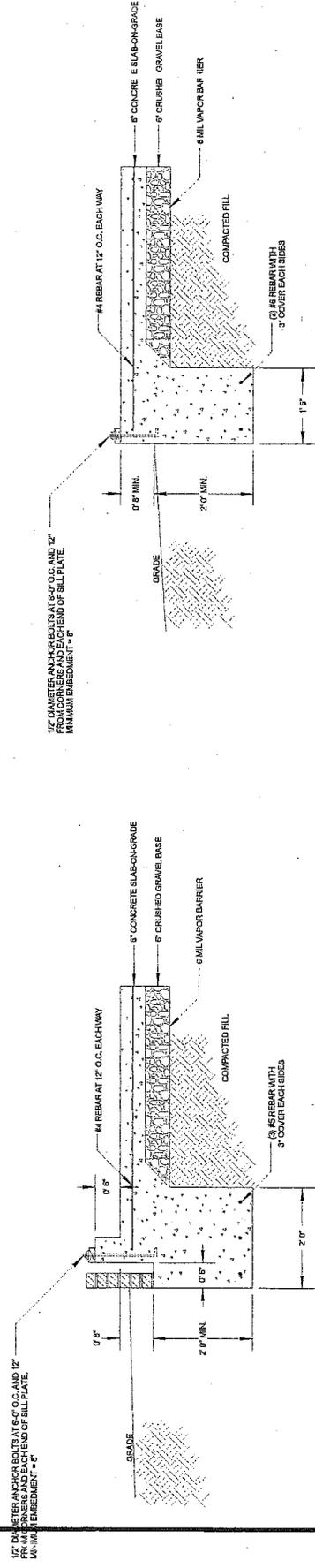
NOTE: ALL DIMENSIONS ARE APPROXIMATE. CONTRACTOR TO VERIFY IN FIELD.

NO.	REVISIONS	DATE
1	PERMIT	07/17/12
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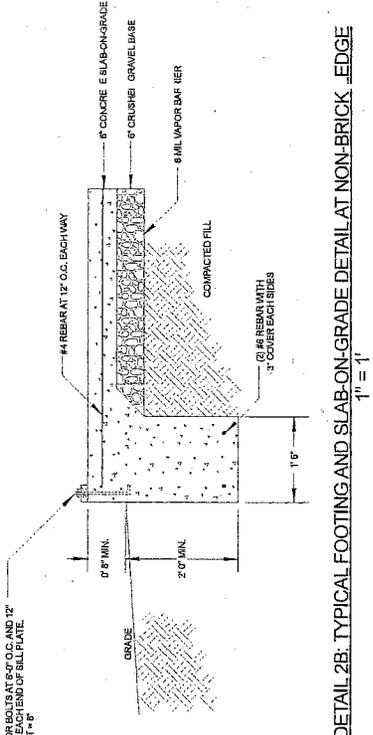
DRAWN BY: L. BURLEY  
 DATE: 07/17/12  
 SCALE: AS NOTED  
 DRAWING TITLE:  
**PORTAL FRAME AND SLAB-ON-GRADE DETAILS**



**DETAIL 1: PORTAL FRAME AT GARAGE DOOR OPENING**  
 1" = 1'



**DETAIL 2A: TYPICAL FOOTING AND SLAB-ON-GRADE DETAIL AT BRICK LEDGE**  
 1" = 1'



**DETAIL 2B: TYPICAL FOOTING AND SLAB-ON-GRADE DETAIL AT NON-BRICK EDGE**  
 1" = 1'

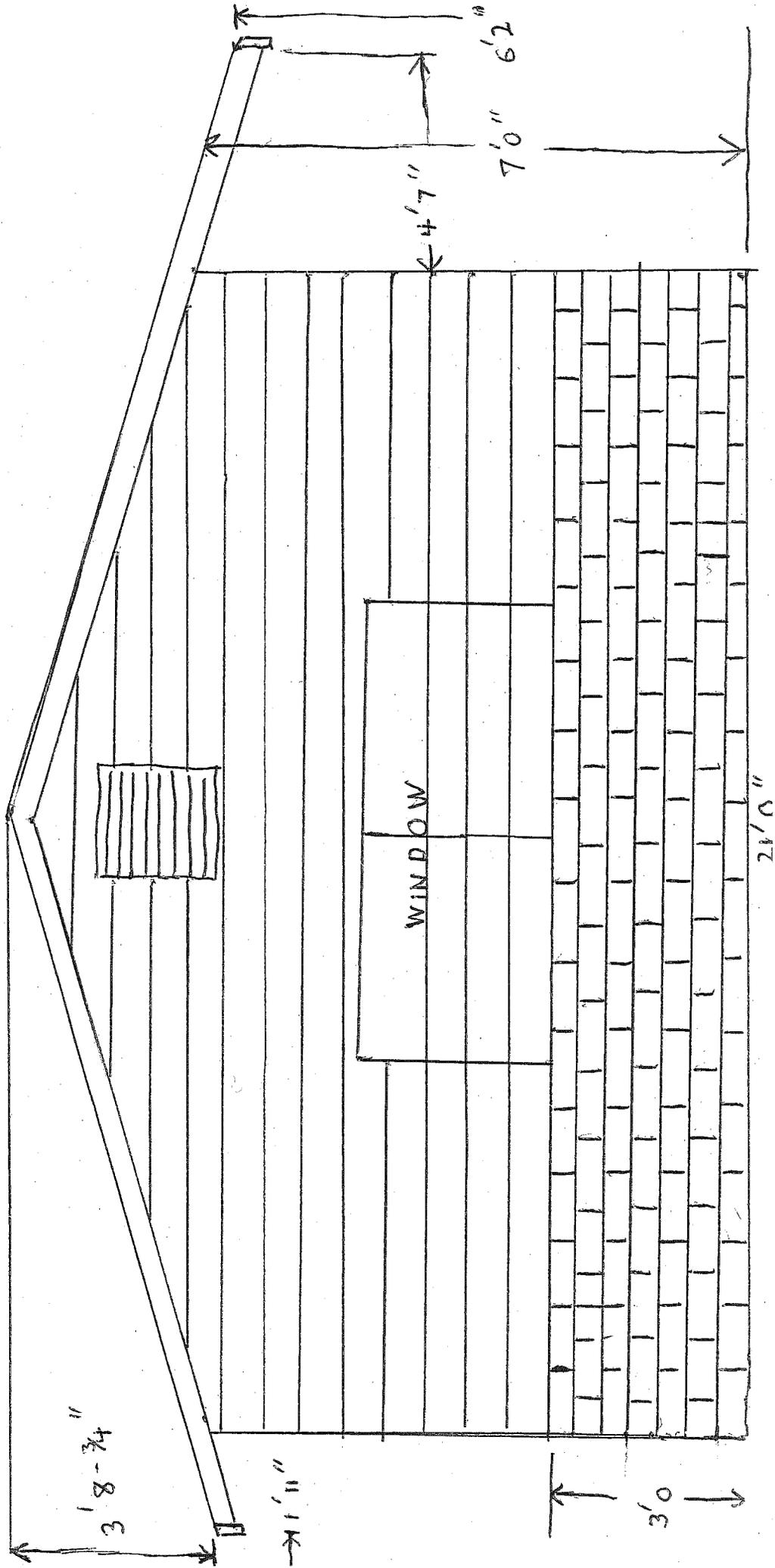
NOTE: ALL DIMENSIONS ARE APPROXIMATE. CONTRACTOR TO VERIFY IN FIELD.

14725 CRANOKE STREET  
CENTREVILLE, VIRGINIA 20120

RECEIVED NORTH (SIDE) ELEVATION  
Department of Planning & Zoning

APR 15 2013

Zoning Evaluation Division





FRONT LEFT VIEW  
SHOWS EXISTING  
CARPORT.



REAR VIEW



REAR VIEW

RECEIVED  
Department of Planning & Zoning  
JUN 12 2013  
Zoning Evaluation Division

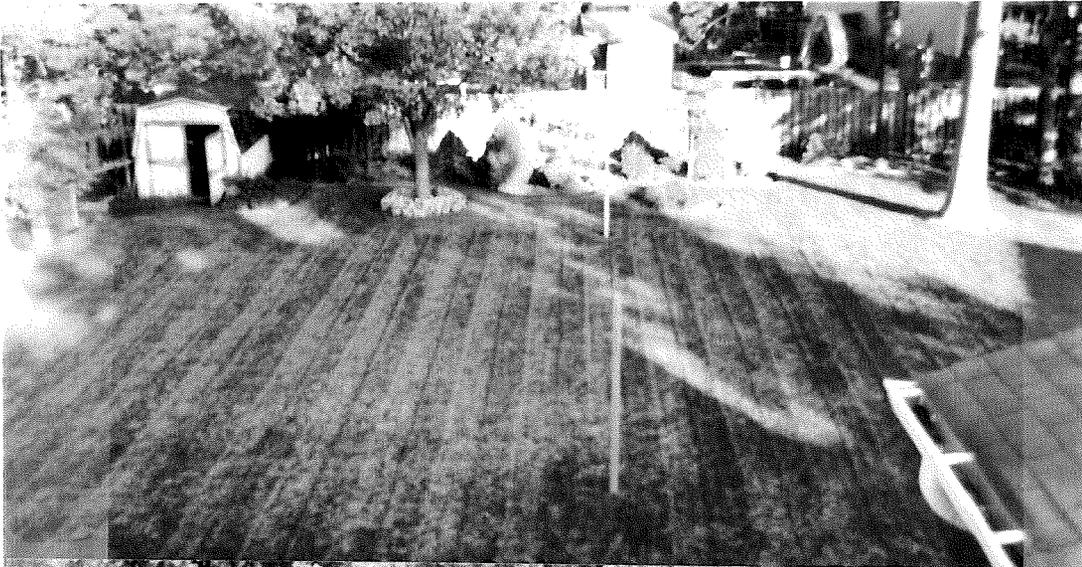
SP-2013-0096



DRIVEWAY ON LEFT  
SIDE OF HOUSE.  
VIEW FROM ROOF

RECEIVED  
Department of Planning & Zoning  
2 2013  
Planning Evaluation Division

SP-2013-0096

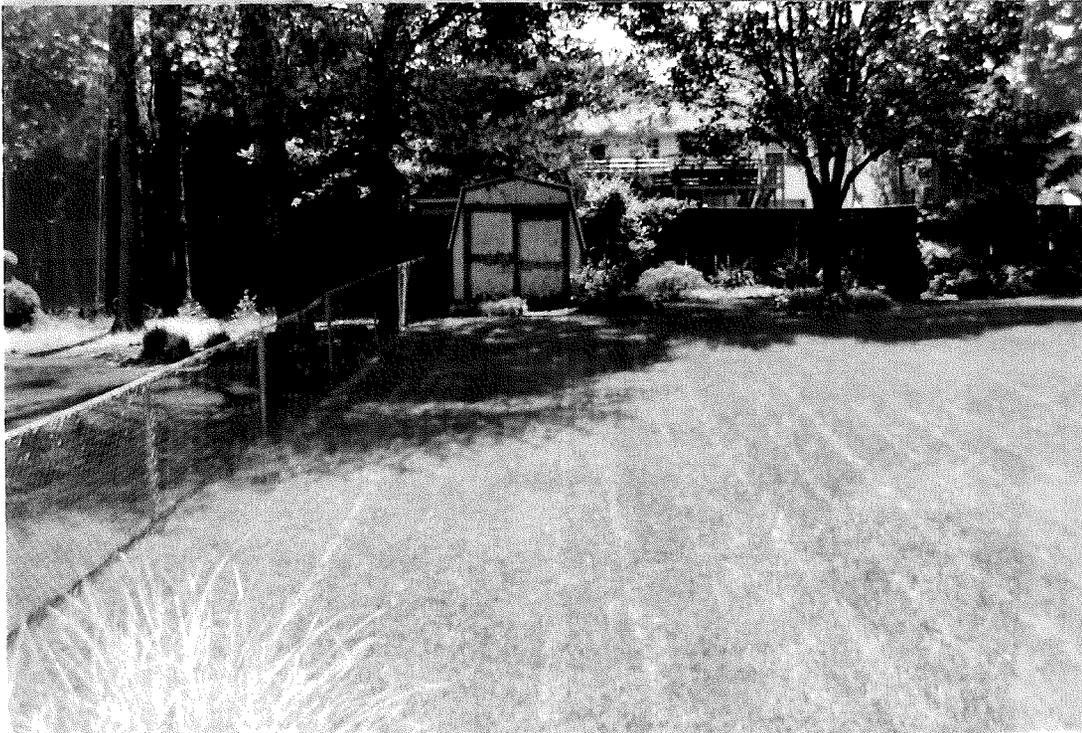


REAR YARD

RECEIVED  
Department of Planning & Zoning  
JUN 12 2013  
Zoning Evaluation Division



REAR YARD

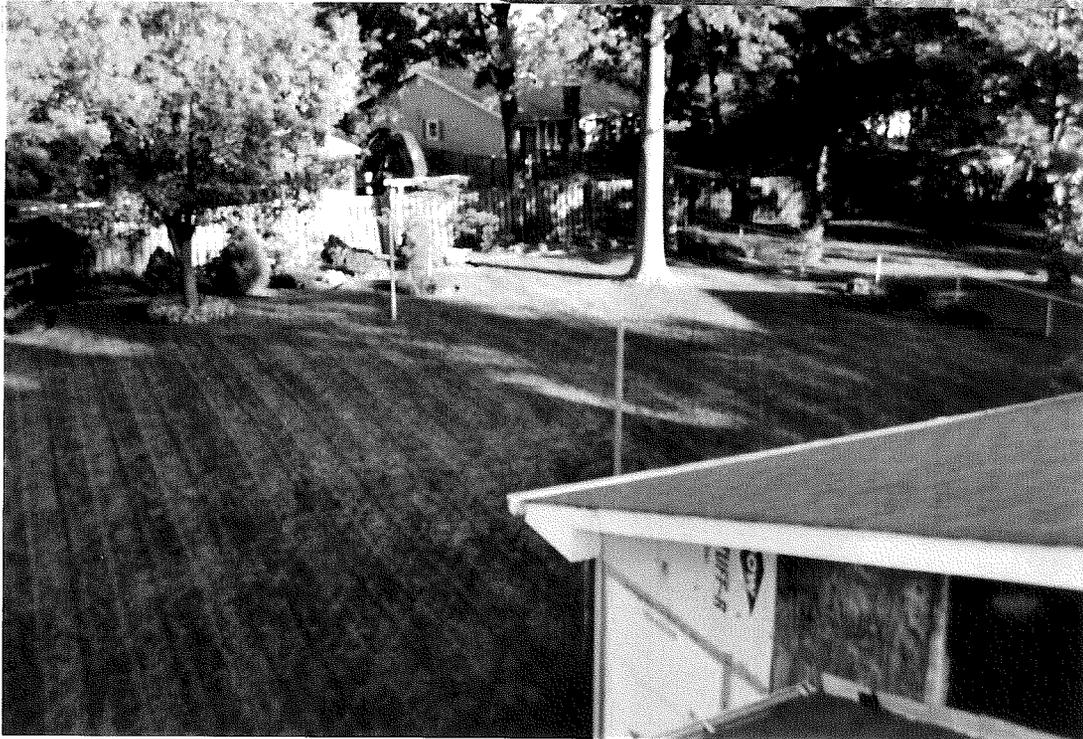


PROPERTY LINE  
LEFT REAR OF  
HOUSE.  
SHOWS SHED

SP-2013-0096



PROPERTY LINE  
RIGHT REAR OF  
HOUSE.



REAR YARD

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FRONT VIEW OF  
14727 CRANOKE ST.



FRONT VIEW OF  
14725 & 14727  
CRANOKE ST.



REAR OF HOUSE

14725  
CRANOKE ST.



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14723  
CRANOKE ST.



14723  
CRANOKE ST.

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FRONT RIGHT

14725  
CRANOKE ST.



FRONT LEFT

14725  
CRANOKE ST.



FRONT LEFT

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VIEW OF RIGHT SIDE  
OF 14723 CRANOKE ST.



EXISTING VIEW  
OF CARPORT AT  
14725 CRANOKE ST.



VIEW OF LEFT SIDE  
OF 14727 CRANOKE ST.

Zoning Evaluation Division

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VIEW OF RIGHT SIDE  
OF 14723 CRANOKE ST



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ACROSS THE  
STREET AND TO  
THE LEFT, CENTER,  
AND RIGHT OF  
14725 CRANOKE ST.

14724  
CRANOKE ST.



14722  
CRANOKE ST.



14720  
CRANOKE ST.

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APR 15 2013

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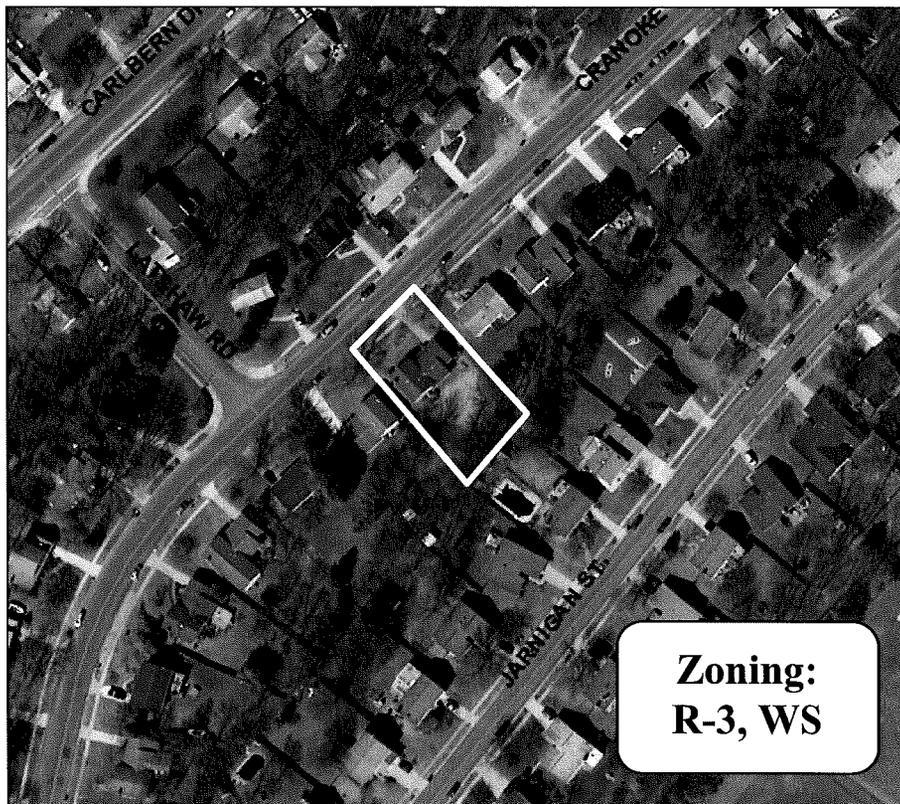
## DESCRIPTION OF THE APPLICATION

The applicant is seeking a special permit to allow a reduction of certain yard requirements to permit construction of a garage addition. A copy of the special permit, plat titled "Plat Showing the Improvements on Lot 283, Section Five, Chalet Woods," prepared by George M. O'Quinn, L.S., of Dominion Surveyors Inc., dated October 19, 2012, is included in the front of the staff report. A more detailed description of the proposal is provided on page two.

## EXISTING CONDITIONS

The 12,658 square foot lot contains a split level brick and vinyl dwelling. A carport is attached to the northeastern elevation. An open porch exists on the northwest façade of the house. A brick chimney and stoop are located on the southwestern façade of the house. The concrete driveway provides access to the lot from Cranoke Street. A 4.0 foot chain link fence exists along a portion of the northeastern property line and a portion of the southwestern property line. A 6.0 foot wood frame fence exists along the southeastern property line. There are a number of mature trees in the front and rear yards and the lot is relatively flat.

## CHARACTER OF THE AREA



**BACKGROUND AND HISTORY**

Fairfax County Tax Records indicate that the single family dwelling was constructed in 1971 and purchased by the applicant in 1996. A building permit was approved in June of 1988 for the construction of a 297 square foot screened porch on the existing deck.

A copy of information outlining similar special permit and variance requests is attached in Appendix 4.

**DESCRIPTION OF THE REQUEST**

The applicant is requesting approval of a special permit for a reduction of certain yard requirements to permit construction of an addition, a garage, 5.1 feet from northeastern side lot line such that side yards total 17.1 feet.

	Structure	Yard	Minimum Yard Required*	Proposed Location	Proposed Reduction	Percentage of Reduction Requested
Special Permit	Addition	Side	8.0 feet	5.1 feet	2.9 feet	36.3%
	Addition	Total Sides	20.0 feet	17.1 feet	2.9 feet	14.5 %

\*Minimum yard requirement per Section 3-307 and 10-104

The applicant proposes enclose an existing carport by constructing an approximately 344 square foot addition on the northeast elevation. The addition will be approximately 10.9 feet in height. The addition will have a gable roof with brick and vinyl siding.

**ANALYSIS**

**Zoning Ordinance Requirements**

Applicable bulk regulation(s) and additional location regulations are set forth on Page 1.

The application must meet all of the following standards, copies of which are attached as Appendix 4:

- Sect. 8-006 General Special Permit Standards
- Sect. 8-903 Group 9 Standards
- Sect. 8-922 Provisions for Reduction of Certain Yard Requirements

**Sect. 8-006 General Special Permit Standards**

Staff believes that the application for the addition meets all of the 8 General Special Permit Standards. Of particular note regarding this application is General Standard 3.

*General Standard 3* requires that the proposed use be harmonious with and not adversely affect the use or development of neighboring properties in accordance with the applicable zoning district regulations and the adopted comprehensive plan. *A number of properties located in this neighborhood have completed similar additions by converting a carport into a garage. Staff believes by observation of the neighborhood through submitted photographs and aerial photography that the construction of the garage addition will not adversely affect the use or development of neighboring properties. Therefore, staff believes this standard has been met.*

**Sect. 8-922 Provisions for Reduction of Certain Yard Requirements**

This special permit application must satisfy all of the provisions contained in Sect. 8-922, Provisions for Reduction of Certain Yard Requirements. Standards 1, 2, 3, 11 and 12 relate to submission requirements and were satisfied at the time of submission. Standard 5 relates to accessory structures, which does not apply to this application and Standard 10 allows the BZA to impose development conditions. Staff believes that the application has met all of the remaining standards, specifically Standards 4, 6, 7, 8, and 9.

*Standard 4* states that the resulting gross floor area of an addition to an existing principal structure may be up to 150 percent of the total gross floor area of the principal structure that existed at the time of the first yard reduction request. In such instance, if a portion of the principal structure is to be removed; no more than fifty (50) percent of the gross floor area of the existing principal structure at the time of the first yard reduction shall be removed. *The existing dwelling is 2,131 square feet in size. Therefore 150% of the total gross floor area could result in additions up to 3,197 square feet in size for a possible total square footage at build out of 5,378 square feet. The proposed addition is approximately 344 square feet, for a total square footage of the house with the additions of 2,475 square feet. Therefore the application meets this provision.*

*Standard 6* states that the BZA shall determine that the proposed development will be in character with the existing on-site development in terms of the location, height, bulk and scale of the existing structure(s) on the lot. *The elevation drawings and pictures submitted indicate that the materials, size and scale of the proposed addition will be compatible with the dwelling. The height of the addition will not be higher than the existing height of the house. The applicant has stated that he will not alter the roofline or pitches of the existing carport when it is converted into a garage. Staff believes that the application meets this provision.*

*Standard 7* states that the BZA shall determine that the proposed development is harmonious with the surrounding off-site uses and structures in terms of location, height, bulk and scale of surrounding structures, topography, existing vegetation and the

preservation of significant trees as determined by the Director. *Through testimony submitted by the applicant and aerial photography, staff has confirmed that the garage addition is similar to others in the neighborhood in terms of its height and location on the lot. Therefore, staff believes the addition will be harmonious with surrounding off-site uses and meets this provision.*

*Standard 8 states that the BZA shall determine that the proposed development shall not adversely impact the use and/or enjoyment of any adjacent property with regard to issues such as noise, light, air, safety, erosion, and stormwater runoff. Staff believes that the application meets the erosion and stormwater runoff portion of the standards since DPWES has indicated that there are no drainage complaints on file related to this property. Staff believes that the proposed garage addition, 344 square feet, will not impact the use and/or enjoyment of any adjacent property with regard to issues such as noise, light, air or safety. Staff believes the addition will not increase runoff or erosion as a portion of the garage addition is being constructed on the site of an existing concrete slab that served as the foundation for the carport. The applicant stated that downspouts on the side of the house with the new addition will be connected to existing underground piping. Therefore, staff believes the application meets this provision.*

*Standard 9 states that the BZA shall determine that the proposed reduction represents the minimum amount of reduction necessary to accommodate the proposed structure on the lot. Specific factors to be considered include, but are not limited to, the layout of the existing structure; availability of alternate locations for the addition; orientation of the structure(s) on the lot; shape of the lot and the associated yard designations on the lot; environmental characteristics of the site, including presence of steep slopes, floodplains and/or Resource Protection Areas; preservation of existing vegetation and significant trees as determined by the Director; location of a well and/or septic field; location of easements; and/or preservation of historic resources. Staff believes the request to build the addition is a modest request. The construction and layout of the addition is minimal as the applicant is asking for a one car garage and increasing the size of the carport foundation to make the space functional. No existing vegetation or trees are impacted by this construction. Other issues of wells, floodplains and/or Resource Protection Areas, and historic resources are not applicable to this site. Staff believes the application meets this provision.*

## **CONCLUSION**

Staff believes that the request is in conformance with the applicable Zoning Ordinance provisions with the implementation of the Proposed Development Conditions contained in Appendix 1 of the staff report.

## **RECOMMENDATION**

Staff recommends approval of SP 2013-SU-047 for the addition with adoption of the Proposed Development Conditions contained in Appendix 1 of the staff report. It should

be noted that it is not the intent of staff to recommend that the Board, in adopting any conditions, relieve the applicants/owners from compliance with the provisions of any applicable ordinances, regulations, or adopted standards.

It should be further noted that the content of this report reflects the analysis and recommendations of staff; it does not reflect the position of the Board of Zoning Appeals.

The approval of this application does not interfere with, abrogate or annul any easements, covenants, or other agreements between parties, as they may apply to the property subject to the application.

## **APPENDICES**

1. Proposed Development Conditions
2. Applicant's Affidavit
3. Applicant's Statement of Justification
4. Similar Case History
5. Applicable Zoning Ordinance Provisions

**PROPOSED DEVELOPMENT CONDITIONS****SP 2013-SU-047****September 4, 2013**

If it is the intent of the Board of Zoning Appeals to approve SP 2013-SU-047 located at Tax Map 53-2 ((3)) 283 to permit reduction of certain yard requirements pursuant to Section 8-922 of the Fairfax County Zoning Ordinance, staff recommends that the Board condition the approval by requiring conformance with the following development conditions.

1. These conditions shall be recorded by the applicant among the land records of Fairfax County for this lot prior to the issuance of a building permit. A certified copy of the recorded conditions shall be provided to the Zoning Permit Review Branch, Department of Planning and Zoning.
2. This special permit is approved for the location and size of the addition (344 square feet), as shown on the plat prepared by George M. O'Quinn, L.S. of Dominion Surveyors Inc., dated October 19, 2012, as submitted with this application and is not transferable to other land.
3. Pursuant to Paragraph 4 of Section 8-922 of the Zoning Ordinance, the resulting gross floor area of an addition to the existing principal structure may be up to 150 percent of the gross floor area of the dwelling that existed at the time of the first expansion (2,131 square feet existing + 3,197 square feet (150%) = 5,328 square feet maximum permitted on lot) regardless of whether such addition complies with the minimum yard requirement or is the subject of a subsequent yard reduction special permit. Subsequent additions that meet minimum yard requirements shall be permitted without an amendment to this special permit.
4. The addition shall be generally consistent with the architectural renderings and materials as shown on Attachment 1 to these conditions.

This approval, contingent upon the above-noted conditions, shall not relieve the applicant from compliance with the provisions of any applicable ordinances, regulations or adopted standards.

Pursuant to Sect. 8-015 of the Zoning Ordinance, this special permit shall automatically expire, without notice, 30 months after the date of approval unless construction has commenced and has been diligently prosecuted. The Board of Zoning Appeals may grant additional time to commence construction if a written request for additional time is

filed with the Zoning Administrator prior to the date of expiration of the special permit. The request must specify the amount of additional time requested, the basis for the amount of time requested and an explanation of why additional time is required.

Mr. Mike Olson  
14725 Cranke Street  
Centerville, VA 20120

CARPORT ENCLOSURE

LAURENCE BURLEY  
703-729-9276  
42815 KATY LANE  
ASHLAND, VA 23007  
LLM ENGINEERING  
An Employee-Owned Company

SCALE:

NO.	REVISION/CHANGE	DATE
1	PERMIT	07/20/11
2		
3		
4		
5		

DRAWN BY: L. BURLEY

DATE: 07/20/11

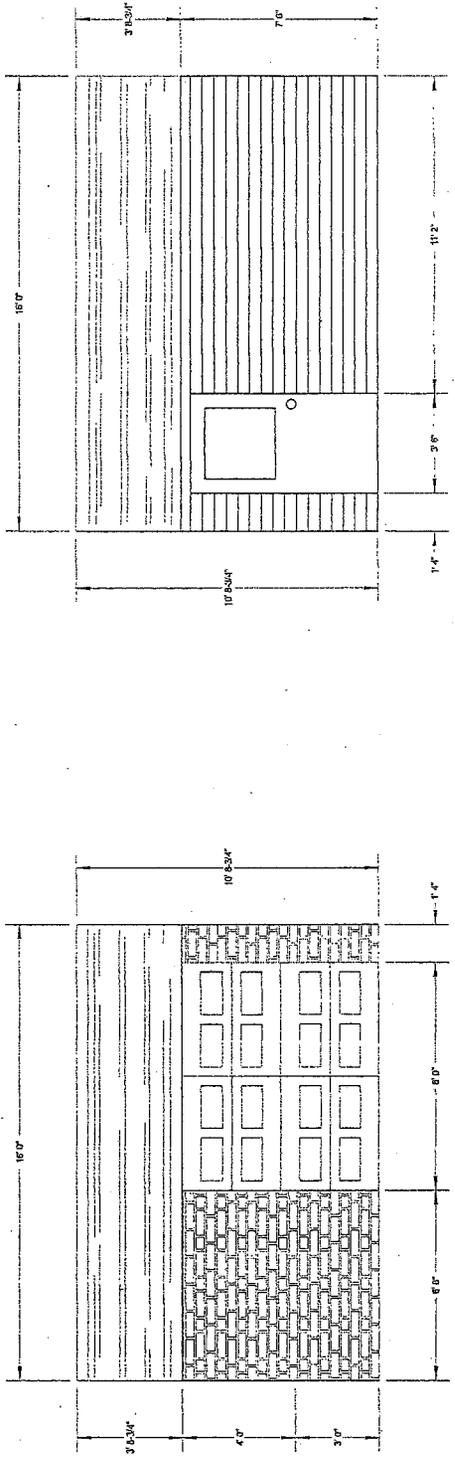
SCALE: AS SHOWN

DRAWING TITLE

ELEVATIONS

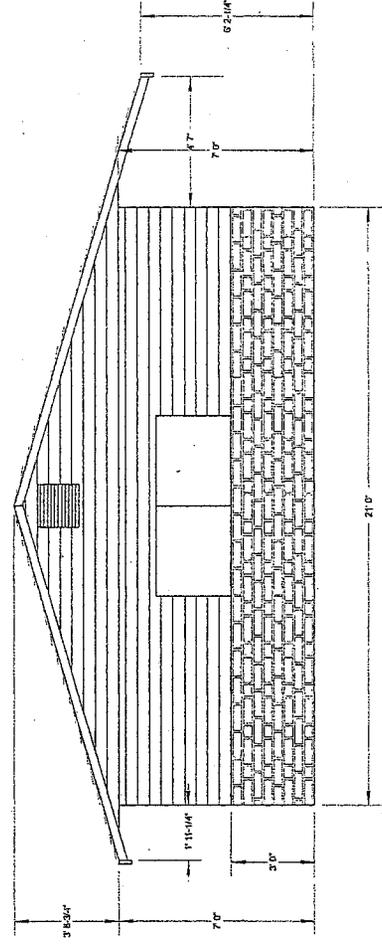
SHEET NO.

54



WEST ELEVATION  
1/2\"/>

EAST ELEVATION  
1/2\"/>



SOUTH ELEVATION  
1/2\"/>

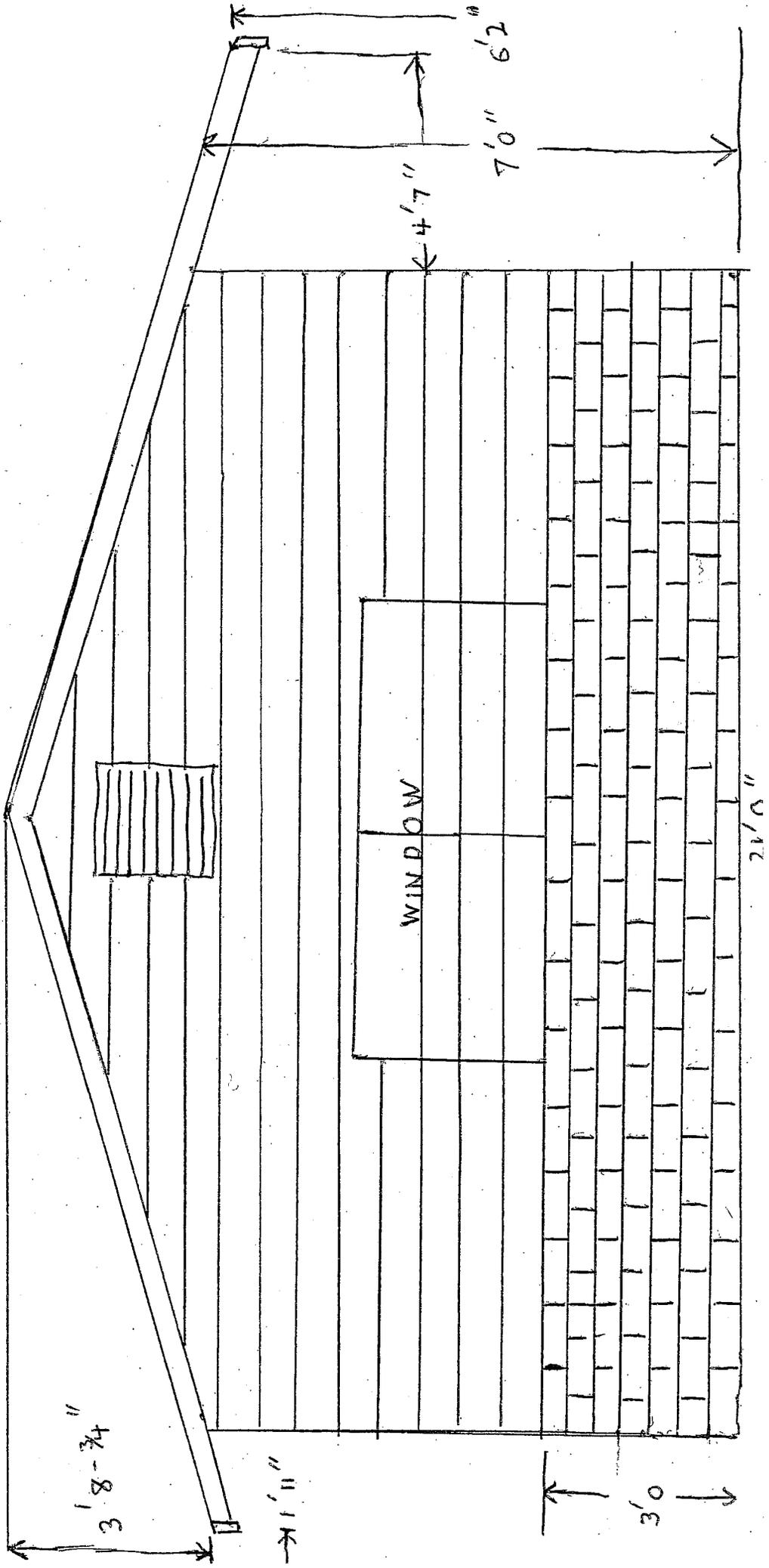
NOTE: ALL DIMENSIONS ARE APPROXIMATE. CONTRACTOR TO VERIFY IN FIELD.

14725 CRANOKE STREET  
CENTREVILLE, VIRGINIA 20120

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APR 15 2013

Zoning Evaluation Division



Application No.(s): SP 2013 - SU - 047  
(county-assigned application number(s), to be entered by County Staff)

**SPECIAL PERMIT/VARIANCE AFFIDAVIT**

DATE: 4/1/13  
(enter date affidavit is notarized)

I, MICHAEL A. OLSON, do hereby state that I am an  
(enter name of applicant or authorized agent)

(check one)       applicant  
                          applicant's authorized agent listed in Par. 1(a) below

120791

and that, to the best of my knowledge and belief, the following is true:

1(a). The following constitutes a listing of the names and addresses of all **APPLICANTS, TITLE OWNERS, CONTRACT PURCHASERS, and LESSEES** of the land described in the application,\* and, if any of the foregoing is a **TRUSTEE,\*\*** each **BENEFICIARY** of such trust, and all **ATTORNEYS** and **REAL ESTATE BROKERS**, and all **AGENTS** who have acted on behalf of any of the foregoing with respect to the application:

**(NOTE:** All relationships to the application listed above in **BOLD** print must be disclosed. Multiple relationships may be listed together, e.g., **Attorney/Agent, Contract Purchaser/Lessee, Applicant/Title Owner**, etc. For a multiparcel application, list the Tax Map Number(s) of the parcel(s) for each owner(s) in the Relationship column.)

NAME (enter first name, middle initial, and last name)	ADDRESS (enter number, street, city, state, and zip code)	RELATIONSHIP(S) (enter applicable relationships listed in <b>BOLD</b> above)
MICHAEL A. OLSON	14725 CRANOKE STREET CENTRE VILLE, VA 20120	<b>APPLICANT/TITLE OWNER</b>

(check if applicable)       There are more relationships to be listed and Par. 1(a) is continued on a "Special Permit/Variance Attachment to Par. 1(a)" form.

\* In the case of a condominium, the title owner, contract purchaser, or lessee of 10% or more of the units in the condominium.  
\*\* List as follows: Name of trustee, Trustee for (name of trust, if applicable), for the benefit of: (state name of each beneficiary).

Application No.(s): SP 2013-SU-047  
(county-assigned application number(s), to be entered by County Staff)

**SPECIAL PERMIT/VARIANCE AFFIDAVIT**

DATE: 4/1/13 120791  
(enter date affidavit is notarized)

1(b). The following constitutes a listing\*\*\* of the **SHAREHOLDERS** of all corporations disclosed in this affidavit who own 10% or more of any class of stock issued by said corporation, and where such corporation has 10 or less shareholders, a listing of all of the shareholders:

**(NOTE: Include SOLE PROPRIETORSHIPS, LIMITED LIABILITY COMPANIES, and REAL ESTATE INVESTMENT TRUSTS herein.)**

**CORPORATION INFORMATION**

**NAME & ADDRESS OF CORPORATION:** (enter complete name, number, street, city, state, and zip code)  
N/A

**DESCRIPTION OF CORPORATION:** (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

**NAMES OF SHAREHOLDERS:** (enter first name, middle initial, and last name)

(check if applicable)  There is more corporation information and Par. 1(b) is continued on a "Special Permit/Variance Attachment 1(b)" form.

\*\*\* All listings which include partnerships, corporations, or trusts, to include the names of beneficiaries, must be broken down successively until (a) only individual persons are listed or (b) the listing for a corporation having more than 10 shareholders has no shareholder owning 10% or more of any class of stock. *In the case of an APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\* of the land that is a partnership, corporation, or trust, such successive breakdown must include a listing and further breakdown of all of its partners, of its shareholders as required above, and of beneficiaries of any trusts. Such successive breakdown must also include breakdowns of any partnership, corporation, or trust owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER or LESSEE\* of the land. Limited liability companies and real estate investment trusts and their equivalents are treated as corporations, with members being deemed the equivalent of shareholders; managing members shall also be listed.* Use footnote numbers to designate partnerships or corporations, which have further listings on an attachment page, and reference the same footnote numbers on the attachment page.

Application No.(s): SP 2013 - SU - 047  
(county-assigned application number(s), to be entered by County Staff)

**SPECIAL PERMIT/VARIANCE AFFIDAVIT**

DATE: 4/1/13  
(enter date affidavit is notarized)

120791

1(c). The following constitutes a listing\*\*\* of all of the **PARTNERS**, both **GENERAL** and **LIMITED**, in any partnership disclosed in this affidavit:

**PARTNERSHIP INFORMATION**

**PARTNERSHIP NAME & ADDRESS:** (enter complete name, number, street, city, state, and zip code)

N/A

(check if applicable)  The above-listed partnership has no limited partners.

**NAMES AND TITLE OF THE PARTNERS** (enter first name, middle initial, last name, and title, e.g. **General Partner, Limited Partner, or General and Limited Partner**)

(check if applicable)  There is more partnership information and Par. 1(c) is continued on a "Special Permit/Variance Attachment to Par. 1(c)" form.

\*\*\* All listings which include partnerships, corporations, or trusts, to include the names of beneficiaries, must be broken down successively until: (a) only individual persons are listed or (b) the listing for a corporation having more than 10 shareholders has no shareholder owning 10% or more of any class of stock. *In the case of an APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\* of the land that is a partnership, corporation, or trust, such successive breakdown must include a listing and further breakdown of all of its partners, of its shareholders as required above, and of beneficiaries of any trusts. Such successive breakdown must also include breakdowns of any partnership, corporation, or trust owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\* of the land. Limited liability companies and real estate investment trusts and their equivalents are treated as corporations, with members being deemed the equivalent of shareholders; managing members shall also be listed.* Use footnote numbers to designate partnerships or corporations, which have further listings on an attachment page, and reference the same footnote numbers on the attachment page.

Application No.(s): SP 2013-SU-047  
(county-assigned application number(s), to be entered by County Staff)

**SPECIAL PERMIT/VARIANCE AFFIDAVIT**

DATE: 4/1/13 120791  
(enter date affidavit is notarized)

1(d). One of the following boxes **must** be checked:

In addition to the names listed in Paragraphs 1(a), 1(b), and 1(c) above, the following is a listing of any and all other individuals who own in the aggregate (directly and as a shareholder, partner, and beneficiary of a trust) 10% or more of the **APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\*** of the land:

Other than the names listed in Paragraphs 1(a), 1(b), and 1(c) above, no individual owns in the aggregate (directly and as a shareholder, partner, and beneficiary of a trust) 10% or more of the **APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\*** of the land.

2. That no member of the Fairfax County Board of Zoning Appeals, Planning Commission, or any member of his or her immediate household owns or has any financial interest in the subject land either individually, by ownership of stock in a corporation owning such land, or through an interest in a partnership owning such land.

**EXCEPT AS FOLLOWS:** (NOTE: If answer is none, enter "NONE" on the line below.)

NONE

(check if applicable)  There are more interests to be listed and Par. 2 is continued on a "Special Permit/Variance Attachment to Par. 2" form.

Application No.(s):

SP 2013 - SU - 047

(county-assigned application number(s), to be entered by County Staff)

SPECIAL PERMIT/VARIANCE AFFIDAVIT

DATE:

4/1/13

120791

(enter date affidavit is notarized)

3. That within the twelve-month period prior to the public hearing of this application, no member of the Fairfax County Board of Zoning Appeals, Planning Commission, or any member of his or her immediate household, either directly or by way of partnership in which any of them is a partner, employee, agent, or attorney, or through a partner of any of them, or through a corporation in which any of them is an officer, director, employee, agent, or attorney or holds 10% or more of the outstanding bonds or shares of stock of a particular class, has, or has had any business or financial relationship, other than any ordinary depositor or customer relationship with or by a retail establishment, public utility, or bank, including any gift or donation having a value of more than \$100, singularly or in the aggregate, with any of those listed in Par. 1 above.

EXCEPT AS FOLLOWS: (NOTE: If answer is none, enter "NONE" on line below.)

NONE

(NOTE: Business or financial relationships of the type described in this paragraph that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings. See Par. 4 below.)

(check if applicable) [ ] There are more disclosures to be listed and Par. 3 is continued on a "Special Permit/Variance Attachment to Par. 3" form.

4. That the information contained in this affidavit is complete, that all partnerships, corporations, and trusts owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\* of the land have been listed and broken down, and that prior to each and every public hearing on this matter, I will reexamine this affidavit and provide any changed or supplemental information, including business or financial relationships of the type described in Paragraph 3 above, that arise on or after the date of this application.

WITNESS the following signature:

(check one)

Michael A Olson

[X] Applicant

[ ] Applicant's Authorized Agent

MICHAEL A. OLSON

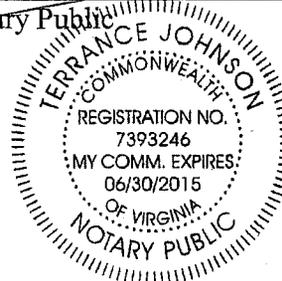
(type or print first name, middle initial, last name, and title of signee)

Subscribed and sworn to before me this 10 day of April 2013, in the State/Comm. of VA, County/City of Prince William.

My commission expires:

6/30/2015

Notary Public



**Reference ( SP 2013-0096 ) Additional Statements Reference 8-922. Items 4-10.**

4. The current square footage of the existing house is 1920 square feet. The existing carport is 240 square feet. The proposed change will add 110 more square feet to the carport or garage for a total of 350 square feet .
5. The resulting gross floor area of the existing structure shall be clearly subordinate in purpose and scale. I will not be altering any roofline angles or pitches.
6. My proposed development will be in character the bulk and scale of the existing house. There are several other houses on my street of the same model that have added on to and enclosed their existing carports.
7. My proposed development will be harmonious with the surrounding off- site uses and structures. No other structures , vegetation , or trees will be affected.
8. My proposed development will not adversely affect any adjacent property. My front and rear downspouts on this section of the house will be connected into the existing underground pipeing which takes the water 40' away from the house. There will be only a small increase in water runoff.
9. My proposed reduction represents the minium amount of reduction necessary to accommodate the proposed structure on the lot. There are no steep slopes, floodplains, or proteced areas involved.
10. I understand that the BZA may impose such conditions as it deems necessary to satisfy these criteria.

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SPECIAL PERMIT STATEMENT OF JUSTIFICATION

A WRITTEN STATEMENT FROM THE APPLICANT DESCRIBING THE PROPOSED USE AND OTHER PERTINENT DATA, INCLUDING SPECIFICALLY:

- A. **Type of operation:** Residential use.
- B. **Hours of operation:** N/A
- C. **Estimated number of patrons/clients/patients/pupils/etc. :** N/A
- D. **Proposed number of employees /attendants/teachers/etc. :** N/A
- E. **Estimate of traffic impact of the proposed use, including the maximum expected trip generation and the distribution of such trips by mode and time of day:** This will be a single car garage. There are 2 cars associated with the property .
- F. **Vicinity or general area to be served by the use:** N/A
- G. **Description of building facade and architecture of proposed new building or additions:** The existing construction is brick and vinyl siding. The new construction will use these same components.
- H. **A listing, if known, of all hazardous or toxic substances as set forth in Title 40, Code of Federal Regulations Parts 116.4, 302.4, and 355; all hazardous waste as set forth in Virginia Department of Environmental Quality hazardous Waste management Regulations :** N/A
- I. **A statement of how the proposed use conforms to the provisions of all applicable ordinances, regulations, adopted standards and any applicable conditions, or, if any waiver, exception or variance is sought by the applicant from such ordinances, regulations, standards and conditions, such shall be specifically noted with the justification for any such modification:** The reason for the addition is to improve the overall appearance of the property and increase the value of the property. I am also wanting to increase the size of the existing space to make it more functional. There are several other houses of the same Model as mine who have made this modification

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# Similar Case History

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Group: 01-Y -043

**VC 01-Y -043**

**APPLICANT:** LOWREY, CHRISTY N.  
**STATUS:** APPLICATION APPROVED  
**STATUS/DECISION DTE:** 06/20/2001  
**ZONING DISTRICT:** R- 3  
**DESCRIPTION:** TO PERMIT THE CONSTRUCTION OF ADDITION 5.1 FEET FROM SIDE LOT LINE SUCH THAT SIDE YARDS TOTAL 18.2 FEET  
**LOCATION:** 14835 CRANOKE STREET, CENTREVILLE, VA 22020  
**TAX MAP #S:**  
0532 03 0039

Group: 98-Y -133

**VC 98-Y -133**

**APPLICANT:** ABDO, ESSI A.K.A ESFANDIAR ABDOLLAHZADEH  
**STATUS:** APPLICATION APPROVED  
**STATUS/DECISION DTE:** 01/27/1999  
**ZONING DISTRICT:** R- 3  
**DESCRIPTION:** PERMIT CONSTRUCTION OF ADDITION 7.3 FT. FROM SIDE LOT LINE SUCH THAT SIDE YARDS TOTAL 16.7 FT.  
**LOCATION:** 15110 OLDDALE ROAD

### **8-006 General Standards**

In addition to the specific standards set forth hereinafter with regard to particular special permit uses, all special permit uses shall satisfy the following general standards:

1. The proposed use at the specified location shall be in harmony with the adopted comprehensive plan.
2. The proposed use shall be in harmony with the general purpose and intent of the applicable zoning district regulations.
3. The proposed use shall be such that it will be harmonious with and will not adversely affect the use or development of neighboring properties in accordance with the applicable zoning district regulations and the adopted comprehensive plan. The location, size and height of buildings, structures, walls and fences, and the nature and extent of screening, buffering and landscaping shall be such that the use will not hinder or discourage the appropriate development and use of adjacent or nearby land and/or buildings or impair the value thereof.
4. The proposed use shall be such that pedestrian and vehicular traffic associated with such use will not be hazardous or conflict with the existing and anticipated traffic in the neighborhood.
5. In addition to the standards which may be set forth in this Article for a particular group or use, the BZA shall require landscaping and screening in accordance with the provisions of Article 13.
6. Open space shall be provided in an amount equivalent to that specified for the zoning district in which the proposed use is located.
7. Adequate utility, drainage, parking, loading and other necessary facilities to serve the proposed use shall be provided. Parking and loading requirements shall be in accordance with the provisions of Article 11.
8. Signs shall be regulated by the provisions of Article 12; however, the BZA, under the authority presented in Sect. 007 below, may impose more strict requirements for a given use than those set forth in this Ordinance.

### **8-903 Standards for All Group 9 Uses**

In addition to the general standards set forth in Sect. 006 above, all Group 9 special permit uses shall satisfy the following standards:

1. All uses shall comply with the lot size and bulk regulations of the zoning district in which located, except as may be qualified below.
2. All uses shall comply with the performance standards specified for the zoning district in which located.
3. Before establishment, all uses, including modifications or alterations to existing uses, shall be subject to the provisions of Article 17, Site Plans, or other appropriate submission as determined by the Director.

### **8-922 Provisions for Reduction of Certain Yard Requirements**

The BZA may approve a special permit to allow a reduction of certain yard requirements subject to all of the following:

1. Only the following yard requirements shall be subject to such special permit:
  - A. Minimum required yards, as specified in the residential, commercial, industrial and planned development districts in Articles 3, 4, 5 and 6, provided such yards are not subject to proffered conditions or development conditions related to yards and/or such yards are not depicted on an approved conceptual development plan, final development plan, development plan, special exception plat, special permit plat or variance plat.
  - B. Yard regulations for pipestem lots and lots contiguous to pipestem driveways set forth in Sect. 2-416.
  - C. Accessory structure location requirements set forth in Sect. 10-104.
  - D. Regulations on permitted extensions into a minimum required yard as set forth in Sect. 2-412.

Approval of a reduction of yard requirements specified in Paragraphs A, B and C above shall not result in any yard that is less than fifty (50) percent of the requirement and shall not result in any yard of less than five (5) feet, as measured from the lot line to the closest point of the proposed structure.

Approval of a reduction of yard requirements specified in Par. D above shall not result in an extension that exceeds the applicable distances set forth in Sect. 2-412 by more than fifty (50) percent. Where no extension is permitted by the provisions of Sect. 2-412, the BZA shall not approve a special permit that results in a structure that extends into a minimum required yard by more than fifty (50) percent.

2. Such reduction shall not result in the placement of a detached accessory structure in a front yard where the placement of such accessory structure is not otherwise permitted in that yard.

3. This special permit shall only apply to those lots that contain a principal structure and use that complied with the minimum yard requirements in effect when the use or structure was established.
4. The resulting gross floor area of an addition to an existing principal structure may be up to 150 percent of the total gross floor area of the principal structure that existed at the time of the first yard reduction request. In such instance, if a portion of the principal structure is to be removed, no more than fifty (50) percent of the gross floor area of the existing principal structure at the time of the first yard reduction shall be removed.
5. The resulting gross floor area of an existing accessory structure and any addition to it shall be clearly subordinate in purpose, scale, use and intent to the principal structure on the site.
6. The BZA shall determine that the proposed development will be in character with the existing on-site development in terms of the location, height, bulk and scale of the existing structure(s) on the lot.
7. The BZA shall determine that the proposed development is harmonious with the surrounding off-site uses and structures in terms of location, height, bulk and scale of surrounding structures, topography, existing vegetation and the preservation of significant trees as determined by the Director.
8. The BZA shall determine that the proposed development shall not adversely impact the use and/or enjoyment of any adjacent property with regard to issues such as noise, light, air, safety, erosion, and stormwater runoff.
9. The BZA shall determine that the proposed reduction represents the minimum amount of reduction necessary to accommodate the proposed structure on the lot. Specific factors to be considered include, but are not limited to, the layout of the existing structure; availability of alternate locations for the addition; orientation of the structure(s) on the lot; shape of the lot and the associated yard designations on the lot; environmental characteristics of the site, including presence of steep slopes, floodplains and/or Resource Protection Areas; preservation of existing vegetation and significant trees as determined by the Director; location of a well and/or septic

field; location of easements; and/or preservation of historic resources.

10. The BZA may impose such conditions as it deems necessary to satisfy these criteria, including, but not limited to imposition of a maximum gross floor area, floor area ratio, lot coverage, landscaping and/or screening requirements.
11. Notwithstanding Par. 2 of Sect. 011 above, all applications shall be accompanied by fifteen (15) copies of a plat and such plat shall be presented on a sheet having a maximum size of 24" x 36", and one 8 ½" x 11" reduction of the plat. Such plat shall be drawn to a designated scale of not less than one inch equals fifty feet (1" = 50'), unless a smaller scale is required to accommodate the development. Such plat shall be certified by a professional engineer, land surveyor, architect, or landscape architect licensed by the State of Virginia. Such plat shall contain the following information:
  - A. Boundaries of entire property, with bearings and distances of the perimeter property lines, and of each zoning district.
  - B. Total area of the property and of each zoning district in square feet or acres.
  - C. Scale and north arrow, with north, to the extent feasible, oriented to the top of the plat and on all supporting graphics.
  - D. The location, dimension and height of any building, structure or addition, whether existing or proposed. In addition, for decks, the height of the finished floor above finished ground level.
  - E. All required minimum yards to include front, side and rear, a graphic depiction of the angle of bulk plane, if applicable, and the distances from all existing and proposed structures to lot lines.
  - F. Means of ingress and egress to the property from a public street(s).
  - G. For nonresidential uses, the location of parking spaces, indicating minimum distance from the nearest property line(s).

- H. If applicable, the location of a well and/or septic field.
  - I. Existing and proposed gross floor area and floor area ratio.
  - J. Location of all existing utility easements having a width of twenty-five (25) feet or more, and all major underground utility easements regardless of width.
  - K. The location, type and height of any existing and proposed landscaping and screening.
  - L. Approximate delineation of any floodplain designated by the Federal Insurance Administration, United States Geological Survey, or Fairfax County, the delineation of any Resource Protection Area and Resource Management Area, and the approximate delineation of any environmental quality corridor as defined in the adopted comprehensive plan, and, if applicable, the distance of any existing and proposed structures from the floodplain, Resource Protection Area and Resource Management Area, or environmental quality corridor.
  - M. Seal and signature of professional person certifying the plat.
12. Architectural depictions of the proposed structure(s) as viewed from all lot lines and street lines to include building materials, roof type, window treatment and any associated landscaping and/or screening shall be provided.