



APPLICATION ACCEPTED: June 7, 2013
PLANNING COMMISSION DECISION: July 24, 2014
BOARD OF SUPERVISORS: tbd

County of Fairfax, Virginia

July 17, 2014

STAFF REPORT ADDENDUM

APPLICATION SE 2013-MA-010

MASON DISTRICT

APPLICANT: Deyi Awadallah (Glen Carlyn Childcare Center)

ZONING: R-3

PARCEL(S): 51-4 ((8)) A; 61-2 ((5)) 3, 4

ACREAGE: 2.25 acres

OPEN SPACE: 77%

FAR: 0.12

PLAN MAP: Residential @ 2-3 d.u./ac.

SE CATEGORY: Category 3 – Child Care Center

PROPOSAL: The applicant requests approval of a special exception to permit a child care center and associated modifications.

STAFF RECOMMENDATIONS:

Staff recommends approval of SE 2013-MA-010, subject to the proposed development conditions contained in Attachment 4.

Staff recommends approval of a modification of the transitional screening along the northern property boundary in favor of the plantings, block wall, and fencing shown on the SE Plat.

Brent Krasner, AICP

Staff recommends approval of a modification of the transitional screening plantings along the southern property line in favor of the existing vegetation and proposed plantings shown on the SE Plat.

Staff recommends approval of a modification of the barrier requirements along the western and southern property lines in favor of the block wall and fencing depicted on the SE Plat.

It should be noted that it is not the intent of staff to recommend that the Board, in adopting any conditions proffered by the owner, relieve the applicant/owner from compliance with the provisions of any applicable ordinances, regulations, or adopted standards.

It should be further noted that the content of this report reflects the analysis and recommendation of staff; it does not reflect the position of the Board of Supervisors.

The approval of this special exception does not interfere with, abrogate or annul any easement, covenants, or other agreements between parties, as they may apply to the property subject to this application.

For information, contact the Zoning Evaluation Division, Department of Planning and Zoning, 12055 Government Center Parkway, Suite 801, Fairfax, Virginia 22035-5505, (703) 324-1290.

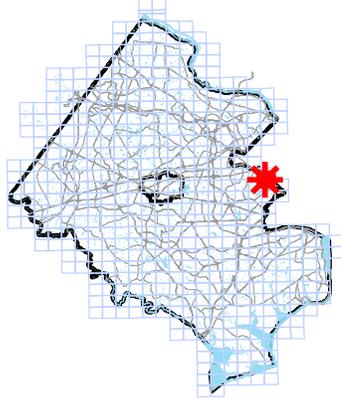
O:\bkrasner\ZED\Applications\Special Exceptions\Glen Carlyn Childcare SE 2013-MA-010\Report\SE 2013-MA-010_Glen Carlyn_Staff_Report_Cover.doc



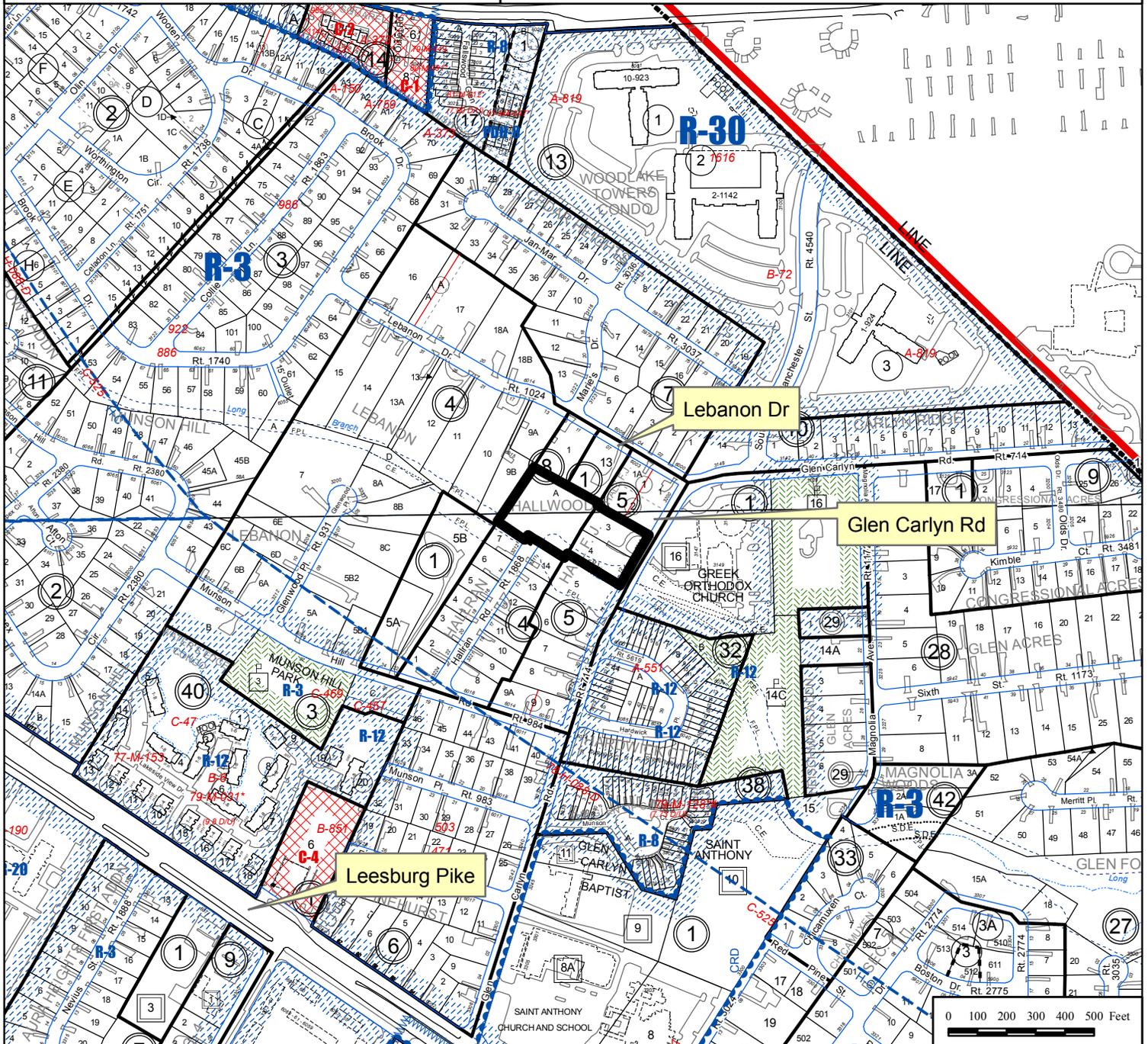
Americans with Disabilities Act (ADA): Reasonable accommodation is available upon 48 hours advance notice. For additional information on ADA call (703) 324-1334 or TTY 711 (Virginia Relay Center).

Special Exception

SE 2013-MA-010



Applicant: DEYI AWADALLAH
Accepted: 06/07/2013
Proposed: CHILD CARE CENTER
Area: 2.25 AC OF LAND; DISTRICT - MASON
Zoning Dist Sect: 03-0304
Art 9 Group and Use: 3-10
Located: 3212 GLEN CARLYN ROAD, BAILEY'S CROSSROADS, VA 22041
Zoning: R-3
Plan Area: 1,
Overlay Dist:
Map Ref Num: 051-4- /08/ / A 061-2- /05/ /0003 /05/ /0004



BACKGROUND AND DISCUSSION

The applicant, Deyi Awadallah, seeks a Special Exception, pursuant to Par. 2.B of Sect. 3-304, to allow the construction of a child care facility on a 2.25 acre site on Glen Carlyn Road in Falls Church. Although staff has endorsed the overall proposal and layout, during the Planning Commission public hearing outstanding concerns were identified by neighbors and members of the Commission related to the intensity of the project and the related issues of building orientation, screening, vehicular access, and others. In response, the applicant revised his proposal and elements of the SE Plat. The following addendum to the original staff report summarizes these concerns, reviews the new plan and development conditions, and restates the Staff recommendation.

STAFF REPORT – April 10, 2014

The staff report for SE 2013-MA-010 published on April 10, 2014, recommended approval of the application. This recommendation was based on a finding of consistency with the Comprehensive Plan's locational guidelines for child care facilities and the Special Exception criteria in the Zoning Ordinance. Specifically, staff found the proposed architectural design, wall, and vegetative screening would be effective at breaking up the mass of the structure when viewed from adjacent properties. In addition, staff relied on a positive review of the proposed site access and circulation from FCDOT and VDOT. Finally, the staff proposed a comprehensive set of development conditions to restrict the operation of the use and mitigate any adverse effects on the surrounding neighborhood.

PLANNING COMMISSION PUBLIC HEARING – April 24, 2014

During the course of the public hearing, multiple neighbors testified with concerns about traffic, intensity, stormwater management, and neighborhood compatibility. In addition, members of the Commission raised concerns about vehicular access and safety. The Planning Commission deferred decision of the application, while still keeping the record open for additional written public comment to June 18, 2014. Additional deferrals to allow more time to work on revisions moved the date to July 24, 2014.

REVISED PROPOSAL and FINAL SPECIAL EXCEPTION PLAT – July 2, 2014

(Attachments 1 & 2)

In response to concerns raised at the public hearing and after meeting with members of the community, the applicant has submitted a revised proposal and SE Plat. The maximum number of children at the facility has been reduced from 99 to 50 and the number of staff is reduced from 16 to 10. The applicant indicates this would include eight caregivers and two support staff, like a nurse or administrator, for example. It should be noted that while this reduces the parking requirements, the plan has retained the same 27 spaces with the same vehicular circulation pattern and ingress and egress points. Specific changes to the physical design of the site are detailed below:

Building Size and Orientation

While the architectural design of the facility remains the same, the overall floor area has

been reduced by about 1,000 sf. from 11,500 sf. to 10,540 sf. In addition, the building has been shifted an additional 13.25 feet away from the northern property line and now provides a 30 foot setback. In order to accommodate the greater side setback the building width has been reduced by four feet (now 54.5') and increased in length by eight feet (now 126'). Thus, the rear setback has been reduced slightly to 132 feet from 139 feet. All other aspects of the building layout and design, including the modulated side façades, remain the same.

Transitional Screening

With the increase in building setback from the northern property line, the applicant has been able to increase the transitional screening area width in this location by about six feet from 10 feet to 16.25 feet. Also, after conversations with the adjacent neighbors to the north, the applicant has substituted a four foot tall wood fence for the architectural block wall, except around the west and north sides of the play area where the 7-foot wall remains. The fence would sit atop a three foot tall landscape retaining wall. Additional plantings are provided on the south side of the fence.

PLAN ANALYSIS

Transportation Analysis (Attachment 3)

Members of the public and Commission raised numerous concerns regarding the safety of the proposed left turn lane on Glen Carlyn Road and potential conflicts with ingress and egress to the facility. Fairfax County DOT (FCDOT) reviewed the revised plans and provided an updated assessment of the proposal. FCDOT found that the reduction in the number of children from 99 to 50 will reduce the number of peak trips from 40 during the A.M. and P.M. to about 20. They also note that because this is a daycare and not a school, those 20 trips would be spread out over the hour and not concentrated at a particular start or end time. The reduction in the number of trips also has the added benefit of reducing demand for left turns into the site, thus reducing the potential for conflicts between vehicles entering and exiting. The number of parking spaces remains unchanged at 27 spaces, and now greatly exceeds the ordinance requirement for 50 children which is 10 spaces. Lastly, the egress point remains in the same location which VDOT previously determined provided acceptable sight distance.

Given these findings and because of the reduction in trips, low traffic volumes generated by the site, and the provision of a left turn lane, FCDOT maintains that the applicant has adequately addressed all transportation issues.

REVISED DEVELOPMENT CONDITIONS (Attachment 4)

The development conditions are consistent with those provided in the original staff report but have been updated to address several concerns raised by the community and members of the Commission:

- Condition # 3 was revised to reference the new plan date of July 2, 2014.
- Condition #5 was revised to reduce the permitted number of children and staff to 50 and 10, respectively.
- Condition # 6 was revised to limit the number of children who can utilize the outdoor play area at one time to 25. The permitted start time for use of the play area was changed to from 9 A.M. to 10 A.M.
- Condition #7 was revised to reduce the number of Saturdays that an open house or other similar type of activity can be held from two per month to one per month.
- Condition #8 was revised to reflect the new smaller maximum gross floor area for the building

All other proposed development conditions remain unchanged.

CONCLUSION AND RECOMMENDATIONS

Staff's overall opinion of the project and recommendations to the Planning Commission have not changed. As an infill site surrounded by established neighborhoods, the applicant was challenged with designing a layout that is harmonious with surrounding development. Although staff supported project, it was clear at the public hearing that the community and the Commission had significant concerns about the proposal's compatibility. These concerns could be grouped into two broad categories – those related to the physical design of site and those related to the intensity of the proposed use and its effect on the uses around it. It is staff's opinion that the revised proposal has addressed both concerns.

By reducing the size of the building by an additional 1,000 sf. and shifting it further away from the northern property line, the applicant will be able to provide a more effective transition to the houses on Lebanon Drive. Perhaps more significantly, by reducing the maximum number of children at the facility by almost 50 percent, added traffic on Glen Carlyn Road and conflicts with turning vehicles is significantly reduced. These changes, in conjunction with the revised development conditions, yield a proposal that staff maintains meets the Special Exception criteria even more convincingly than the previous proposal.

Therefore, staff concludes that the Special Exception request is in conformance with the Comprehensive Plan and all applicable provisions of the Zoning Ordinance and makes the following recommendations:

Staff recommends approval of SE 2013-MA-010, subject to the proposed development conditions contained in Attachment 4.

Staff recommends approval of a modification of the transitional screening along the northern property in favor of the plantings, block wall, and fencing shown on the SE Plat.

Staff recommends approval of a modification of the transitional screening plantings along the southern property lines in favor of the existing vegetation and proposed plantings shown on the SE Plat.

Staff recommends approval of a modification of the barrier requirements along the western and southern property lines in favor of the block wall and fencing depicted on the SE Plat.

It should be noted that it is not the intent of staff to recommend that the Board, in adopting any proffers or conditions, relieve the applicant/owner from compliance with the provisions of any applicable ordinances, regulations, or adopted standards. It should be further noted that the content of this report reflects the analysis and recommendation of staff; it does not reflect the position of the Board of Supervisors.

The approval of this Special Exception does not interfere with, abrogate or annul any easement, covenants, or other agreements between parties, as they may apply to the property subject to this application.

ATTACHMENTS

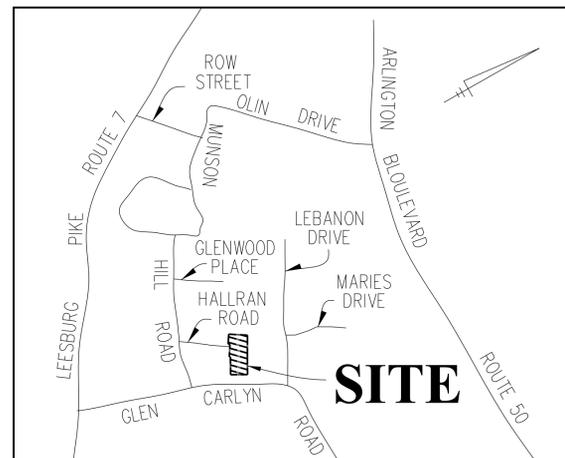
1. Special Exception Plat – Glen Carlyn Child Care Center, Revised July 2, 2014
2. Revised Statement of Justification
3. FCDOT Analysis
4. Development Conditions dated July 17, 2014

GLEN CARLYN CHILD CARE CENTER

3212 GLEN CARLYN ROAD, BAILEY'S CROSSROADS
FAIRFAX COUNTY, VIRGINIA

SPECIAL EXCEPTION PLAT SE 2013-MA-010

JULY 2, 2014



VICINITY MAP SCALE: 1" = 1000'

TAX MAP REFERENCE NUMBERS:
0612-05-0003, 0612-05-0004, 0514-08-A

CONTRACT PURCHASER / APPLICANT:

DEYI AWADALLAH
D.S.A. PROPERTIES & INVESTMENTS LLC
3337 GLENMORE DRIVE
FALLS CHURCH, VA 22041
PHONE: 703-501-5252

SHEET INDEX

ENGINEERING / LANDSCAPE ARCHITECT / PLANNER:



13604 TURNMORE ROAD
SILVER SPRING
MARYLAND 20906
PH: (301) 538-0995
FAX: (410) 772-8923
WWW.IDESIGNENG.COM



NUMBER	TITLE
1	COVER SHEET
2	SITE LAYOUT
3	TYPICAL DETAILS
4	EXISTING CONDITIONS AND EXISTING VEGETATION MAP
5	LANDSCAPE AND TREE PRESERVATION PLAN -1
6	LANDSCAPE AND TREE PRESERVATION PLAN -2
7	ADEQUATE OUTFALL AND STORMWATER ANALYSIS
8	STORMWATER MANAGEMENT
9	ELEVATIONS



GLEN CARLYN
CHILD CARE CENTER

3212 GLEN CARLYN ROAD
BAILEY'S CROSSROADS, VA 22041

SPECIAL EXCEPTION PLAT

PARCELS 3 AND 4 OF
FOREST J. HALL PROPERTY DIVISION
& PARCEL 'A' OF
HALLWOODS SUBDIVISION
MASON DISTRICT
FAIRFAX COUNTY, VIRGINIA

SITE PLAN

DWG NO. C-2	SHEET NO. 2 OF 9
DRAWN BY: JW	CHECKED BY: JW
SCALE: AS NOTED	
DATE: 07/02/2014	

NOTES:

- APPROXIMATE LOCATION OF RPA IS SHOWN AS 100 FEET FROM THE TOP OF EXISTING STREAM BANK OR THE 100-YEAR FLOOD PLAIN BOUNDARY, WHICHEVER IS FARTHER AWAY FROM THE STREAM.
- THE 100-YEAR FLOOD PLAIN BOUNDARY IS DETERMINED ACCORDING TO THE APPROVED FLOOD PLAIN STUDY FOR THIS PROJECT.
- THE FULL CAPACITY OF THE CHILD CARE CENTER IS 50 CHILDREN. THE BUILDING IS A ONE AND ONE HALF STORY STRUCTURE. MAXIMUM HEIGHT OF BUILDING DOES NOT EXCEED 25 FEET.
- PROPERTY WILL BE SERVED BY PUBLIC WATER AND SEWER.
- PROPOSED SIGNAGE WILL BE PROVIDED AS SHOWN ON PLAN.
- THERE IS NO GRAVE, OBJECT OR STRUCTURE MARKING A PLACE OF BURIAL WITHIN PROJECT LIMITS. THE PROPOSED DEVELOPMENT WILL NOT IMPACT ANY BURIAL SITE.
- THE PLAN SHOWS ALL KNOWN EXISTING UNDERGROUND UTILITIES AND ALL EXISTING UTILITY EASEMENTS. THERE IS NO UTILITY EASEMENT OF 25' OR MORE WITHIN THE PROPERTY LIMITS. THE LOCATIONS OF THE EASEMENTS SHOWN ARE FROM TAX RECORDS AND/OR DEEDS AND INFORMATION OF RECORD AND SHOULD NOT BE REGARDED AS CORRECT AND FINAL.
- THE PLAN DOES NOT SHOW PROPOSED UTILITIES. ALL NECESSARY PUBLIC UTILITIES ARE READILY ACCESSIBLE TO THE SITE AND WILL BE EXTENDED BY THE DEVELOPER OR UTILITY COMPANY. UTILITY PLANS AND PROFILES WILL BE SUBMITTED IN THE FUTURE FOR CONSTRUCTION PURPOSES.
- THERE ARE NO KNOWN HAZARDOUS OR TOXIC SUBSTANCES ON THIS SITE. IF ANY SUBSTANCES ARE FOUND, THE METHODS FOR DISPOSAL SHALL ADHERE TO COUNTY, STATE AND/OR FEDERAL LAW.
- THERE ARE NO KNOWN GRAVES OR PLACES OF BURIAL ON SITE.
- THE PROPOSED LIMITS OF DISTURBANCE ARE SHOWN ON THE PLAN. THESE LIMITS ARE APPROXIMATE AND SUBJECT TO ADJUSTMENT AT THE TIME OF FINAL GRADING, ENGINEERING AND LOCATION OF PROPOSED UTILITIES. WHERE THE LIMITS OF DISTURBANCE ARE SHOWN ADJACENT TO A PROPERTY LINE, IT SHOULD BE ASSUMED THAT THE LIMITS EXTEND TO THE PROPERTY LINE.
- THERE WILL BE NO FILL, CHANGE OF CONTOURS OR ESTABLISHMENT OF ANY USE WITHIN 100-YEAR FLOODPLAIN. THE LAND DISTURBING ACTIVITIES WITHIN THE FLOODPLAIN WILL BE LIMITED TO MINOR EXCAVATION AND BACKFILL FOR INSTALLING AN 18 INCH STORM DRAIN PIPE AND STABILIZING THE DISTURBED AREA WITH TURFGRASS.
- THE LAND DISTURBING ACTIVITIES WITHIN THE RPA WILL BE LIMITED TO REMOVAL OF EXISTING PAVEMENT AND ESTABLISHMENT OF VEGETATION AND TREE AND SHRUB PLANTING.
- SEE LANDSCAPE AND TREE PRESERVATION PLAN FOR PROPOSED LANDSCAPING, TREE PRESERVATION AND EXISTING TREES TO BE REMOVED.
- SEE SHEET C-3 FOR ANGLE OF BULK PLANE DIAGRAMS.
- SEE CROSS SECTIONS AND WATER SURFACE ELEVATIONS OF PROPOSED DITCHES ALONG THE NORTH AND WEST OF THE SITE ON SHEET C-3.

SITE TABULATION

EXISTING SITE AREA:	2.25 AC
AREA OF PROP. ROW DEDICATION:	NONE
EXISTING ZONING:	R-3
PROPOSED ZONING:	R-3
EXISTING USE:	RESIDENTIAL
PROPOSED USE:	CHILD CARE CENTER
EXISTING GFA:	1425 SF
PROPOSED GFA:	10540 SF
EXISTING FAR:	0.014
PROPOSED FAR:	0.108
MAXIMUM ALLOWABLE FAR:	0.25
OPEN SPACE REQUIRED:	NO MINIMUM REQUIREMENT
OPEN SPACE PROVIDED:	77% (75,600 SF ± OR 1.74 AC ±)

PARKING AND LOADING TABULATION

PARKING REQUIRED: 10 MIN. (= 0.19 SPACE/CHILD X 50 CHILDREN), INCLUDING ONE VAN ACCESSIBLE SPACE
PARKING PROVIDED: 27, INCLUDING ONE VAN ACCESSIBLE SPACE

LOADING SPACE REQUIRED: 1 (15'W X 25'L X 15'H)
LOADING SPACE PROVIDED: 1 (15'W X 25'L, UNCOVERED)

MAXIMUM BUILDING HEIGHT ALLOWED: 35 FEET
MAXIMUM BUILDING HEIGHT PROPOSED: NO MORE THAN 25 FEET

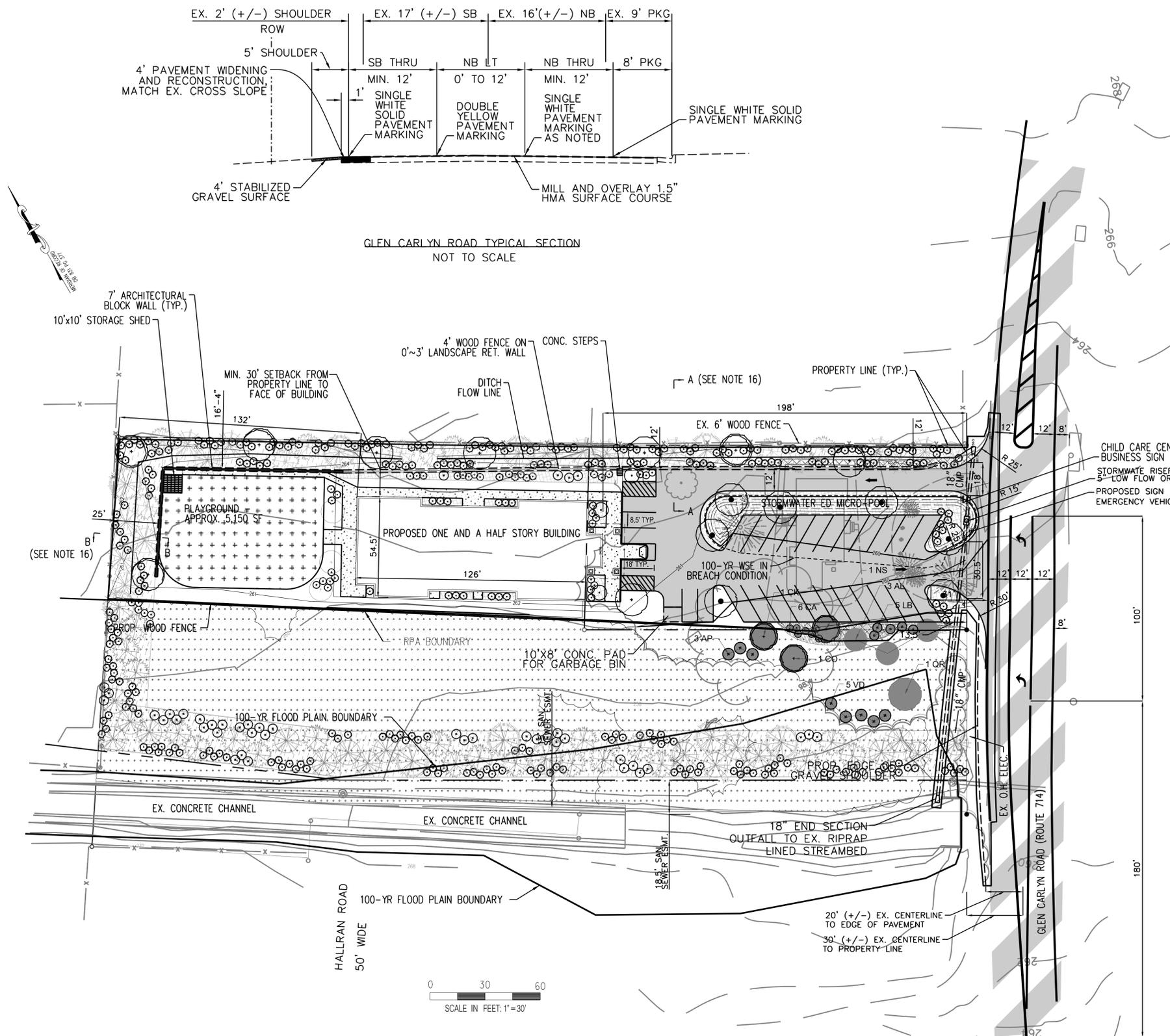
MINIMUM REQUIRED* MINIMUM PROVIDED (SEE ABP DIAGRAMS ON SHEET C-3)

FRONT YARD: 40' ABP, MIN. 30 FT 198 FT

SIDE YARD: 35' ABP, MIN. 10 FT 30 FT

BACK YARD: 35' ABP, MIN. 25 FT 132 FT

* - IN ACCORDANCE WITH PROVISIONS OF ARTICLE 3, PART 3, SECTION 3-307 PARAGRAPH 2.B OF THE FAIRFAX COUNTY ZONING ORDINANCE.



GLEN CARLYN ROAD TYPICAL SECTION
NOT TO SCALE



LEGEND

	REMOVAL OF EXISTING PAVEMENT		LIMIT OF DISTURBANCE/LIMIT OF CLEARING AND GRUBBING
	ASPHALT PAVEMENT		TRAFFIC FLOW DIRECTION
	ASPHALT PAVEMENT MILL AND OVERLAY		RPA BOUNDARY
	PLAYGROUND SURFACE (ENGINEERED WOOD FIBER)		100-YR FLOOD PLAIN BOUNDARY
	CONCRETE WALK		PROPOSED 6' WOOD FENCE
	NATURAL OPEN SPACE		PROPOSED 7' ARCHITECTURAL BLOCK WALL
			EXISTING TREELINE

CFS ENGINEERS INC

10908 ADARE DRIVE
FAIRFAX VIRGINIA 22032
PH: (703) 822-5935
FAX: (703) 822-5914
WWW.CFSENGINEERS.COM

PROJECT NO:

Client DEYI AWADALLAH

PH: (703) XXX-XXXX
FAX: (703) XXX-XXXX



GLEN CARLYN CHILD CARE CENTER

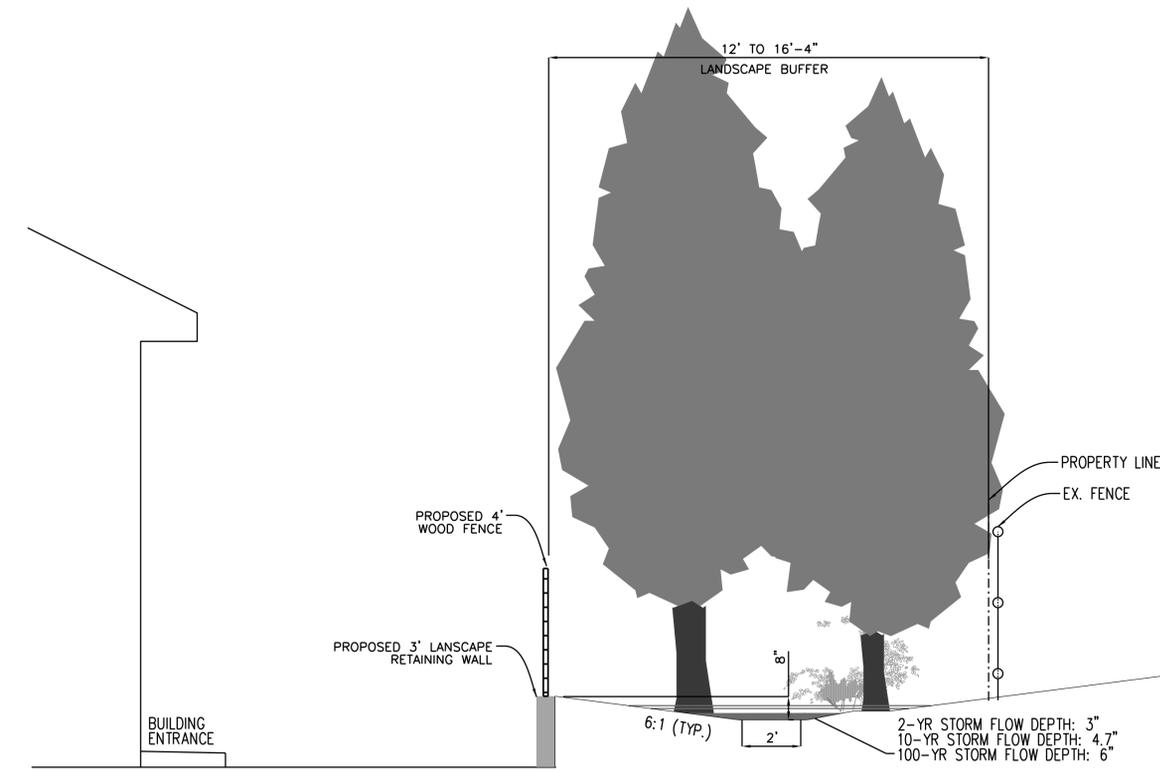
3212 GLEN CARLYN ROAD
BAILEY'S CROSSROADS, VA 22041

SPECIAL EXCEPTION PLAT

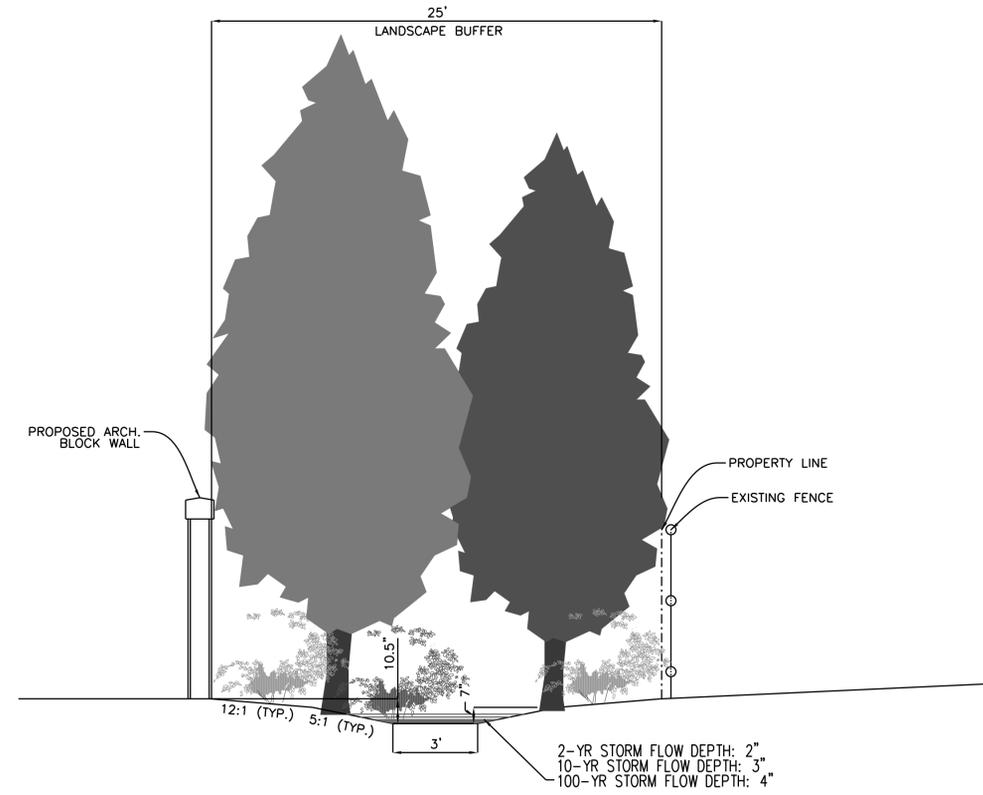
PARCELS 3 AND 4 OF
FOREST J. HALL PROPERTY DIVISION
& PARCEL 'A' OF
HALLWOODS SUBDIVISION
MASON DISTRICT
FAIRFAX COUNTY, VIRGINIA

TYPICAL DETAILS

DWG NO. C-3	SHEET NO. 3 OF 9
DRAWN BY: JW	CHECKED BY: JW
SCALE: AS NOTED	
DATE: 07/02/2014	



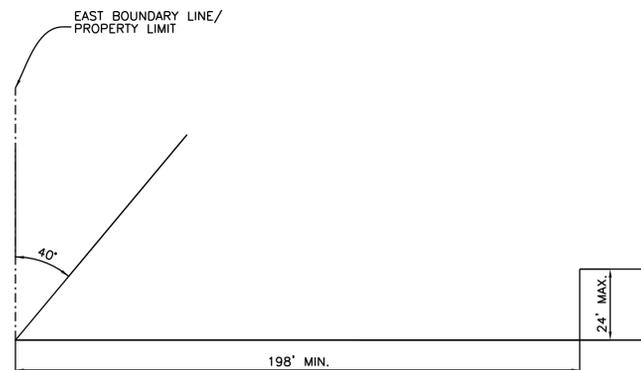
NORTH DITCH TYPICAL SECTION A-A



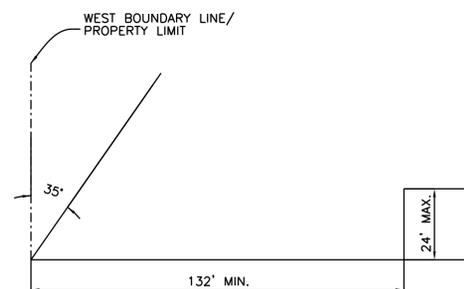
WEST DITCH TYPICAL SECTION

NOTE:
PEAK DISCHARGE RATES AND FLOW DEPTHS ARE CALCULATED AT THE DOWNSTREAM ENDS OF THE DITCHES TO DEMONSTRATE THE WORST-CASE SENARIOS.

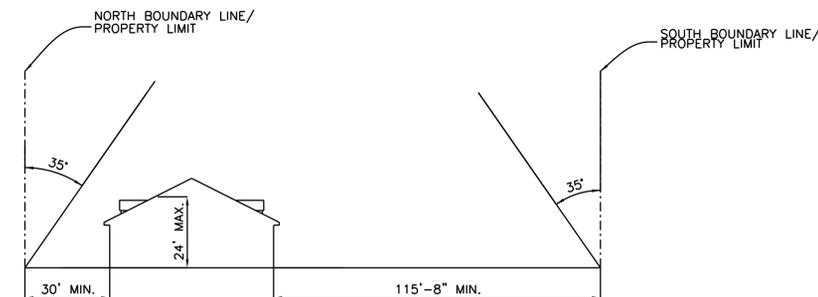
SUBAREA	SUBAREA DESCRIPTION	CN	AREA (AC)	Tc (hr)	Side Slope (Z:1)	Bottom Width (ft)	Manning's n	Ditch Slope	2-yr 2-hr Storm Event				10-yr 2-hr Storm Event				100-yr 2-hr Storm Event			
									Rainfall Depth (in)	Peak Flow (cfs)	Flow Depth (ft)	Flow Vel. (fps)	Rainfall Depth (in)	Peak Flow (cfs)	Flow Depth (ft)	Flow Vel. (fps)	Rainfall Depth (in)	Peak Flow (cfs)	Flow Depth (ft)	Flow Vel. (fps)
NORTH DITCH	SINGLE FAMILY UNITS (R-3) - HSG 'D'	86.00	1.42	0.10	6	2.00	0.035	0.02	2.0	1.85	0.26	1.94	3.0	3.64	0.39	2.36	4.5	6.49	0.49	2.72
WEST DITCH	SINGLE FAMILY UNITS (R-3) - HSG 'D'	86.00	0.75	0.10	5	3.00	0.035	0.02	2.0	0.97	0.16	1.61	3.0	1.92	0.23	1.94	4.5	3.42	0.33	2.33



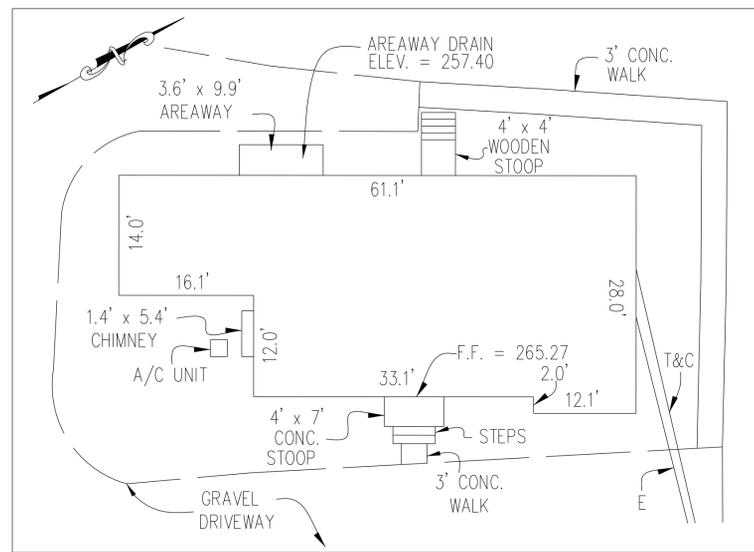
FRONT YARD ANGLE OF BULK PLANE FOR THE R-3 DISTRICT (PER SECTION 3-307.2.B)



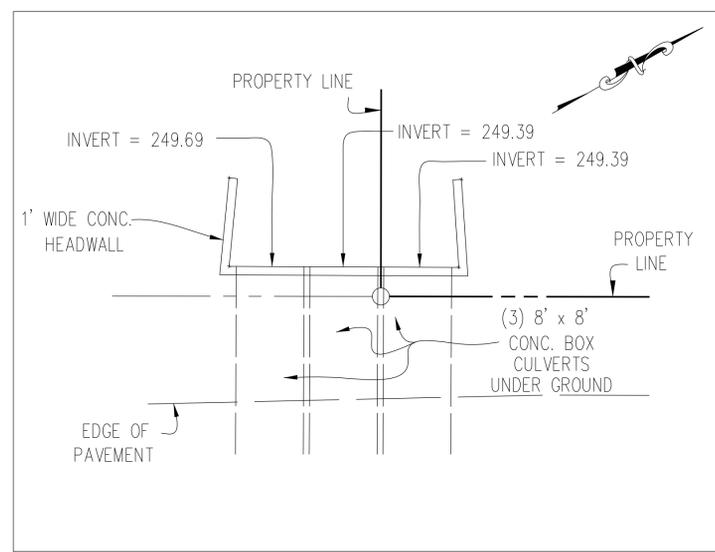
REAR YARD ANGLE OF BULK PLANE FOR THE R-3 DISTRICT (PER SECTION 3-307.2.B)



SIDE YARD ANGLE OF BULK PLANE FOR THE R-3 DISTRICT (PER SECTION 3-307.2.B)



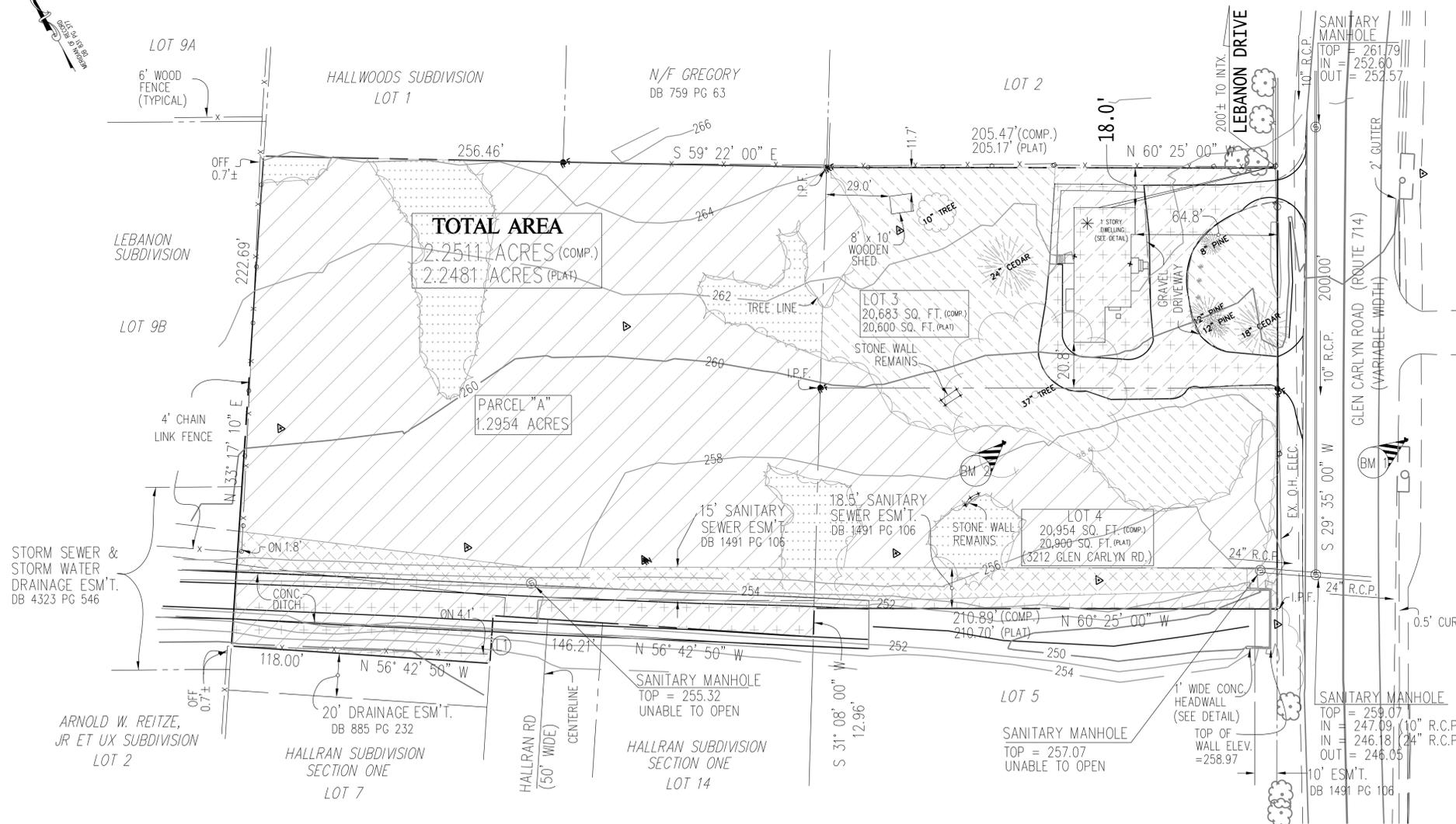
EXISTING ONE-STORY HOUSE DETAIL
 MAX. HEIGHT: 15' (+/-)
 (HOUSE TO BE REMOVED)
 SCALE: 1" = 10'



EXISTING HEADWALL DETAIL
 (HEADWALL TO REMAIN)
 SCALE: 1" = 10'

ID	Cover Type	Primary Species	Successional Stage	Condition	Acreage	Comments
A	Bottomland	Tulip Poplar, Red Maple	Early	Fair	1.18	The overstory of this cover type is dominated by tulip poplar and red maple. Other minor overstory tree species present include American sycamore, loblolly pine and black cherry. The understory has some spicebush, Eastern red cedar and American holly scattered throughout but is mainly dominated by invasive species including multiflora rose, Japanese honeysuckle, Porcelainberry, bush honeysuckle, English ivy and climbing euonymus vine. There is no tree regeneration due to the heavy presence of invasive species. In general the existing trees onsite are in fair to good condition with the exception of several dead and storm-damaged trees along the northern property boundary.
B	Maintained Grassland	Eastern red cedar, Colorado blue spruce	N/A	N/A	0.39	This cover type consists of yard and landscape trees in fair condition including Eastern red cedar and Colorado blue spruce.
C	Developed Land	N/A	N/A	N/A	0.37	This consists of areas of constructed features, including building, driveway, and paved stream channel.
D	Bottomland	Invasive Vines	Early	Poor	0.17	Gaps in existing tree canopy that are dominated by invasive species including multiflora rose, Porcelainberry, English ivy and Japanese honeysuckle.
E	Bottomland in Sanitary Easement	Tulip Poplar, Red Maple, and Invasive Vines	Early	Fair to poor	0.14	Same as A, with gaps dominated by invasive species described in D. No 10-year canopy credit claimed within easement.

TOTAL: 2.25 AC



LEGEND:

- COVER TYPE A (BOTTOMLAND FOREST)
- COVER TYPE B (MAINTAINED GRASSLAND)
- COVER TYPE C (DEVELOPED LAND)
- COVER TYPE D (BOTTOMLAND CANOPY GAPS)
- COVER TYPE E (BOTTOMLAND WITHIN EASEMENT)

EXISTING TREELINE

EXISTING PRE-DEVELOPMENT TREE CANOPY AREA (64209 S.F. +/-)

NOTES:

- 1) THIS PLAT HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND DOES NOT THEREFORE NECESSARILY INDICATE ALL ENCUMBRANCES ON THE PROPERTY.
- 2) THE PROPERTIES SHOWN ON THIS PLAT ARE LOCATED ON TAX ASSESSMENT MAP # 061-2-05-0003 (LOT 3), # 061-2-05-0004 (LOT 4) & # 051-4-08-A (PARCEL "A")
- 3) 2' CONTOUR INTERVAL. DATUM NGVD 29 (FEET)
- 4) THIS TOPOGRAPHIC SURVEY WAS COMPLETED UNDER THE DIRECT AND RESPONSIBLE CHARGE OF TIMOTHY J. FARRELL OF B.W. SMITH AND ASSOCIATES INC. (ADDRESS: 9255 CORPORATE CIRCLE, MANASSAS, VA 20110, TEL: 1-800-682-0996) FROM AN ACTUAL GROUND SURVEY COMPLETED ON MAY 4, 2011.

PROJECT NO:

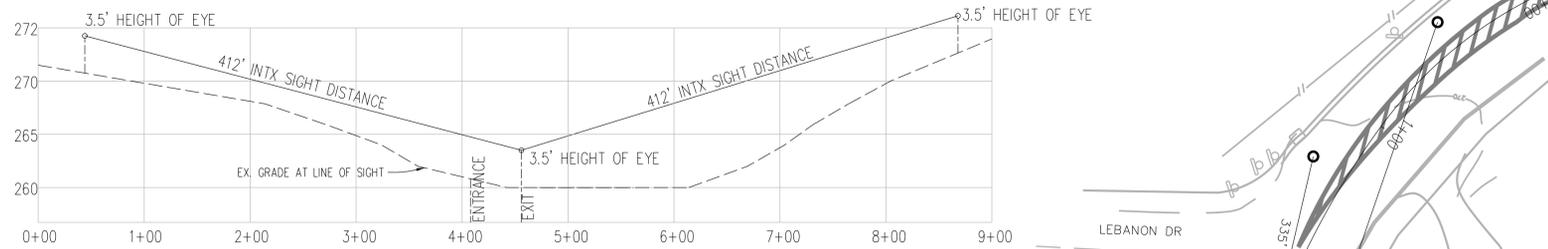
PH: (703) XXX-XXXX
 FAX: (703) XXX-XXXX



3212 GLEN CARLYN ROAD
 BAILEY'S CROSSROADS, VA 22041

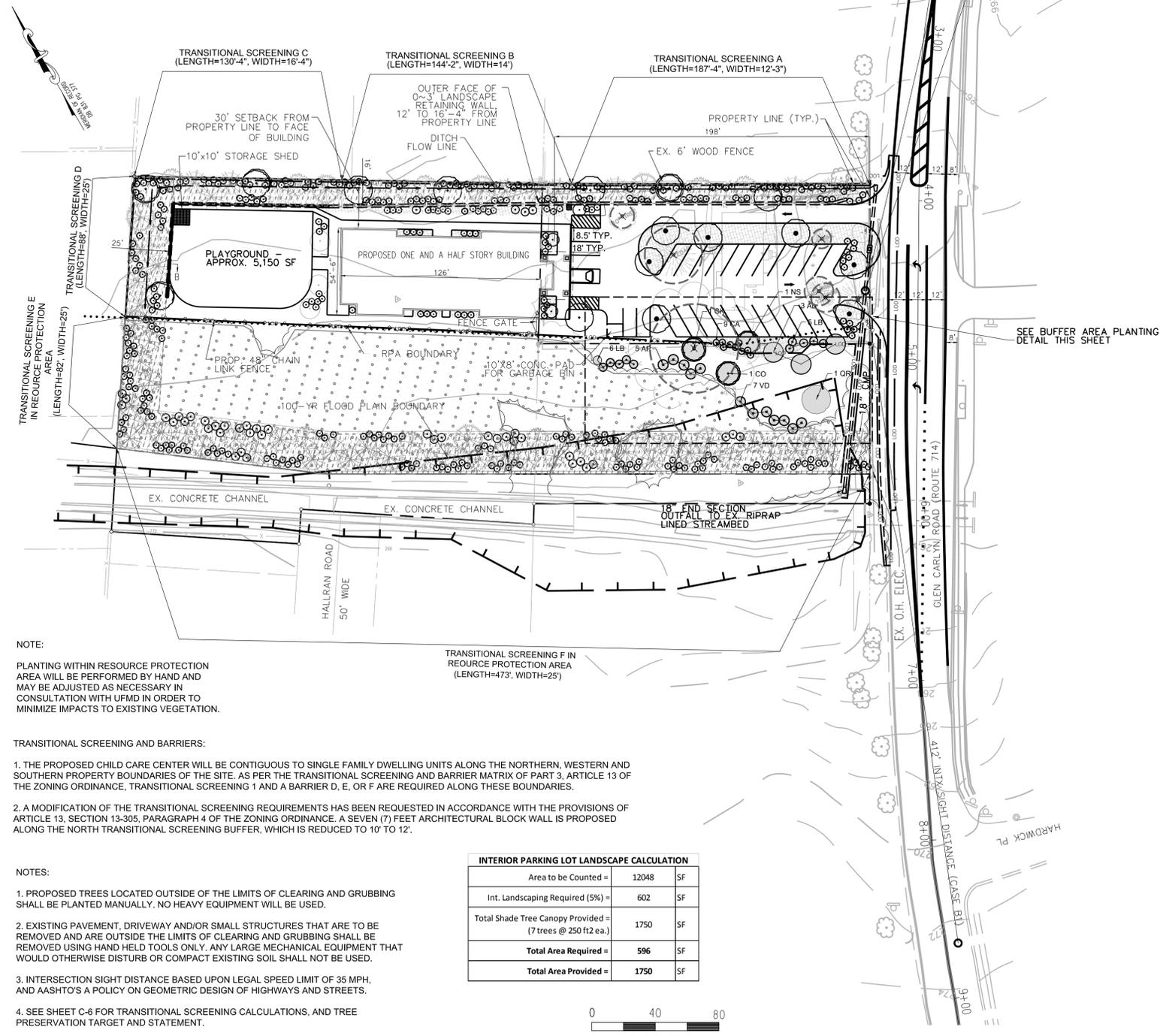
PARCELS 3 AND 4 OF
 FOREST J. HALL PROPERTY DIVISION
 & PARCEL 'A' OF
 HALLWOODS SUBDIVISION
 MASON DISTRICT
 FAIRFAX COUNTY, VIRGINIA

SCALE: 1" = 30'



INTERSECTION SIGHT DISTANCE PROFILE SCALE: HORIZ. 1"=80', VERT. 1"=8'

EXISTING AAWD ON GLEN CARLYN ROAD: 10,000 (PER VDOT 2011 DAILY TRAFFIC VOLUME ESTIMATE)
 EXISTING PEAK HOUR TRAFFIC: 970 (PER VDOT 2011 DAILY TRAFFIC VOLUME ESTIMATE)
 PROPOSED ADDED ADT: 444 (PER ITE TRIP GENERATION MANUAL)
 PROPOSED ADDED PEAK HOUR TRAFFIC: 79 (AM) & 81 (PM)



NOTE:
 PLANTING WITHIN RESOURCE PROTECTION AREA WILL BE PERFORMED BY HAND AND MAY BE ADJUSTED AS NECESSARY IN CONSULTATION WITH UFMD IN ORDER TO MINIMIZE IMPACTS TO EXISTING VEGETATION.

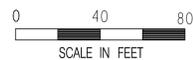
TRANSITIONAL SCREENING AND BARRIERS:

1. THE PROPOSED CHILD CARE CENTER WILL BE CONTIGUOUS TO SINGLE FAMILY DWELLING UNITS ALONG THE NORTHERN, WESTERN AND SOUTHERN PROPERTY BOUNDARIES OF THE SITE. AS PER THE TRANSITIONAL SCREENING AND BARRIER MATRIX OF PART 3, ARTICLE 13 OF THE ZONING ORDINANCE, TRANSITIONAL SCREENING 1 AND A BARRIER D, E, OR F ARE REQUIRED ALONG THESE BOUNDARIES.
2. A MODIFICATION OF THE TRANSITIONAL SCREENING REQUIREMENTS HAS BEEN REQUESTED IN ACCORDANCE WITH THE PROVISIONS OF ARTICLE 13, SECTION 13-305, PARAGRAPH 4 OF THE ZONING ORDINANCE. A SEVEN (7) FEET ARCHITECTURAL BLOCK WALL IS PROPOSED ALONG THE NORTH TRANSITIONAL SCREENING BUFFER, WHICH IS REDUCED TO 10' TO 12'.

NOTES:

1. PROPOSED TREES LOCATED OUTSIDE OF THE LIMITS OF CLEARING AND GRUBBING SHALL BE PLANTED MANUALLY. NO HEAVY EQUIPMENT WILL BE USED.
2. EXISTING PAVEMENT, DRIVEWAY AND/OR SMALL STRUCTURES THAT ARE TO BE REMOVED AND ARE OUTSIDE THE LIMITS OF CLEARING AND GRUBBING SHALL BE REMOVED USING HAND HELD TOOLS ONLY. ANY LARGE MECHANICAL EQUIPMENT THAT WOULD OTHERWISE DISTURB OR COMPACT EXISTING SOIL SHALL NOT BE USED.
3. INTERSECTION SIGHT DISTANCE BASED UPON LEGAL SPEED LIMIT OF 35 MPH, AND AASHTO'S A POLICY ON GEOMETRIC DESIGN OF HIGHWAYS AND STREETS.
4. SEE SHEET C-6 FOR TRANSITIONAL SCREENING CALCULATIONS, AND TREE PRESERVATION TARGET AND STATEMENT.

INTERIOR PARKING LOT LANDSCAPE CALCULATION	
Area to be Counted =	12048 SF
Int. Landscaping Required (5%) =	602 SF
Total Shade Tree Canopy Provided = (7 trees @ 250 ft ² ea.)	1750 SF
Total Area Required =	596 SF
Total Area Provided =	1750 SF



PROPOSED RPA BUFFER PLANTING SCHEDULE

Key	Botanical Name	Common Name	Quantity	Stock Size	Stock Type	Spacing	10-yr Tree Canopy sf
OVERSTORY TREES							
CO	Celtis occidentalis	Hackberry	1	2 in. cal.	B&B	as shown	150
CK	Cladrastis kentuckea	Yellowwood	1	2 in. cal.	B&B	as shown	150
NS	Nyssa sylvatica	Blackgum / Sourgum	1	2 in. cal.	B&B	as shown	175
QR	Quercus rubra	Northern Red Oak	1	2 in. cal.	B&B	as shown	200
UNDERSTORY TREES							
AL	Amelanchier lavalles	Serviceberry	3	8-10 ft. ht. or 2 in. cal.	B&B	as shown	125
SEEDLINGS							
As	Asimina triloba	Paw Paw	4		seedling	TBD	100
Cc	Cercis canadensis	Eastern Redbud	5		seedling	TBD	100
QR	Quercus rubra	Northern Red Oak	3		seedling	TBD	100
DECIDUOUS SHRUBS							
AP	Aesculus parviflora	Bottlebrush Buckeye	5	7 gal.	cont.	as shown	
CA	Clethra alnifolia	Summersweet	9	3 gal.	cont.	as shown	
LB	Lindera benzoin	Spicebush	11	5 gal.	cont.	as shown	
VD	Viburnum dentatum	Arrowwood Viburnum	7	7 gal.	cont.	as shown	
GROUNDCOVERS							
Cs	Carex pensylvanica	Pennsylvania Sedge	150	1 qt.	cont.	18" o.c.	
Di	Dryopteris intermedia	Evergreen Wood-fern	70	1 qt.	cont.	18" o.c.	
Pv	Panicum virgatum	Switch Grass	50	1 qt.	cont.	24" o.c.	
Sy	Symphoricarum novae-angliae	New England Aster	50	1 qt.	cont.	24" o.c.	

RPA BUFFER PLANTING LEGEND

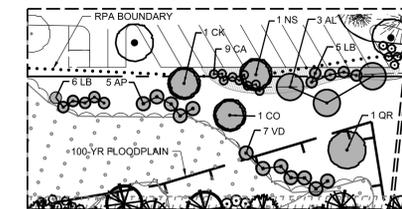
- CATEGORY IV DECIDUOUS (SHADE) TREE
- CATEGORY II-III DECIDUOUS (ORNAMENTAL) TREE
- DECIDUOUS SHRUBS
- BUFFER HERBACEOUS PLANTING

RPA BUFFER AREA PLANTING

Total Affected Buffer Area:	1196	sf
Required Number of Trees to provide 25% canopy area:	2	ea
Required Number of Seedlings (1 each per 100sf):	12	ea
Required Number of Shrubs (1 each per 40sf):	30	ea

Buffer Planting Provided:

Overstory Trees (with 200 sf 10-yr canopy area)	1	ea
Overstory Trees (with 175 sf 10-yr canopy area)	1	ea
Overstory Trees (with 150 sf 10-yr canopy area)	2	ea
Understory Trees (with 125 sf 10-yr canopy area)	3	ea
Seedlings	12	ea
Shrub Planting	30	ea
Groundcovers (850sf)	320	ea



Note:

Proposed RPA buffer planting not depicted specifically on plan but indicated as TBD in the above table will be field located in consultation with UFMD in order to minimize impacts to existing vegetation.

Water Quality Impact Assessment:

The project will result in an impact area of total 1196 square feet within the RPA, consisting primarily of removal of existing pavement and installation of a storm drain outfall pipe daylighting in the existing riprap channel. The impacted area will be fully restored with vegetation, and the buffer area planting requirements will be satisfied with more than the minimum required numbers of overstory and understory trees, seedlings, and shrubs. The water quality of the impact area in the RPA will be improved due to the proposed work. The proposed RPA buffer planting is shown on this sheet.

LEGEND

- CATEGORY IV DECIDUOUS (SHADE) TREE
- INTERIOR PARKING LOT SHADE TREE (CATEGORY IV DECIDUOUS TREE)
- CATEGORY II-III DECIDUOUS (ORNAMENTAL) TREE
- CATEGORY II-III EVERGREEN TREE
- CATEGORY IV EVERGREEN TREE
- DECIDUOUS SHRUBS
- EVERGREEN SHRUBS
- PERENNIALS & GRASSES
- TRANSITIONAL SCREENING AREA
- INTERIOR PARKING LOT AREA
- POST DEVELOPMENT 10-YEAR TREE CANOPY CREDIT AREA
- EXISTING TREE TO BE REMOVED
- LIMIT OF DISTURBANCE / LIMIT OF CLEARING AND GRUBBING
- RPA BOUNDARY
- 100-YR FLOOD PLAIN BOUNDARY
- PROPOSED 6' WOOD FENCE
- PROPOSED 7' ARCHITECTURAL BLOCK WALL
- EXISTING TREELINE
- PROPOSED TREELINE

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GLEN CARLYN CHILD CARE CENTER

3212 GLEN CARLYN ROAD
BAILEY'S CROSSROADS, VA 22041

SPECIAL EXCEPTION PLAT

PARCELS 3 AND 4 OF
FOREST J. HALL PROPERTY DIVISION
& PARCEL 'A' OF
HALLWOODS SUBDIVISION
MASON DISTRICT
FAIRFAX COUNTY, VIRGINIA

LANDSCAPE AND TREE PRESERVATION PLAN

DWG NO. C-5	SHEET NO. 5 OF 9
DRAWN BY: JW	CHECKED BY: JW
SCALE: 1" = 40'	
DATE: 07/02/2014	

Transitional Screening 'A' Calculation			
Screening Required:			
A. Tree Preservation Target and Statement			
A1	Transitional Screening Length	187.4	feet
A2	Transitional Screening Width	12.25	feet
A3	Transitional Screening Area (A1 x A2):	2296	sf
A4	10-Yr. Tree Canopy Required (A3 x 0.75):	1722	sf
A5	Minimum 10-Yr. Tree Canopy Required by Large and Medium Evergreen Trees (A4 x 0.30):	1291	sf
A6	Miximum 10-Yr. Tree Canopy Required by Large Deciduous Trees (A4 x 0.30):	517	sf
A7	Evergreen Shrubs Required (3 x (A1/10)):	56	shrubs
Screening Provided:			
B1	Transitional Screening Length	187.4	feet
B2	Transitional Screening Width	12.25	feet
B3	Transitional Screening Area:	2296	sf
B4	Total 10-Yr. Tree Canopy Provided (B5+B6+B7) :	2025	sf
B5	10-Yr. Tree Canopy Provided by Large and Medium Evergreen Trees:	1275	sf
B6	10-Yr. Tree Canopy Provided by Large Deciduous Trees:	750	sf
B7	Existing 10-Yr. Tree Canopy Provided	0	sf
B8	Total Shrubs Provided (B9+B10)	56	shrubs
B9	Evergreen Shrubs Provided	56	shrubs
B10	Deciduous Shrubs Provided:	0	shrubs

Transitional Screening 'B' Calculation			
Screening Required:			
A. Tree Preservation Target and Statement			
A1	Transitional Screening Length	144.2	feet
A2	Transitional Screening Width	14.00	feet
A3	Transitional Screening Area (A1 x A2):	2019	sf
A4	10-Yr. Tree Canopy Required (A3 x 0.75):	1514	sf
A5	Minimum 10-Yr. Tree Canopy Required by Large and Medium Evergreen Trees (A4 x 0.30):	1136	sf
A6	Miximum 10-Yr. Tree Canopy Required by Large Deciduous Trees (A4 x 0.30):	454	sf
A7	Evergreen Shrubs Required (3 x (A1/10)):	43	shrubs
Screening Provided:			
B1	Transitional Screening Length	144.2	feet
B2	Transitional Screening Width	14.00	feet
B3	Transitional Screening Area:	2019	sf
B4	Total 10-Yr. Tree Canopy Provided (B5+B6+B7) :	1650	sf
B5	10-Yr. Tree Canopy Provided by Large and Medium Evergreen Trees:	1150	sf
B6	10-Yr. Tree Canopy Provided by Large Deciduous Trees:	500	sf
B7	Existing 10-Yr. Tree Canopy Provided	0	sf
B8	Total Shrubs Provided (B9+B10)	43	shrubs
B9	Evergreen Shrubs Provided	43	shrubs
B10	Deciduous Shrubs Provided:	0	shrubs

Transitional Screening 'C' Calculation			
Screening Required:			
A. Tree Preservation Target and Statement			
A1	Transitional Screening Length	130.4	feet
A2	Transitional Screening Width	16.4	feet
A3	Transitional Screening Area (A1 x A2):	2139	sf
A4	10-Yr. Tree Canopy Required (A3 x 0.75):	1604	sf
A5	Minimum 10-Yr. Tree Canopy Required by Large and Medium Evergreen Trees (A4 x 0.30):	1123	sf
A6	Miximum 10-Yr. Tree Canopy Required by Large Deciduous Trees (A4 x 0.30):	481	sf
A7	Evergreen Shrubs Required (3 x (A1/10)):	39	shrubs
Screening Provided:			
B1	Transitional Screening Length	130.4	feet
B2	Transitional Screening Width	16.4	feet
B3	Transitional Screening Area:	2139	sf
B4	Total 10-Yr. Tree Canopy Provided (B5+B6+B7) :	1650	sf
B5	10-Yr. Tree Canopy Provided by Large and Medium Evergreen Trees:	1150	sf
B6	10-Yr. Tree Canopy Provided by Large Deciduous Trees:	500	sf
B7	Existing 10-Yr. Tree Canopy Provided	0	sf
B8	Total Shrubs Provided (B9+B10)	39	shrubs
B9	Evergreen Shrubs Provided	39	shrubs
B10	Deciduous Shrubs Provided:	0	shrubs

Transitional Screening 'D' Calculation			
Screening Required:			
A. Tree Preservation Target and Statement			
A1	Transitional Screening Length	88	feet
A2	Transitional Screening Width	25	feet
A3	Transitional Screening Area (A1 x A2):	2200	sf
A4	10-Yr. Tree Canopy Required (A3 x 0.75):	1650	sf
A5	Minimum 10-Yr. Tree Canopy Required by Large and Medium Evergreen Trees (A4 x 0.30):	1155	sf
A6	Miximum 10-Yr. Tree Canopy Required by Large Deciduous Trees (A4 x 0.30):	495	sf
A7	Evergreen Shrubs Required (3 x (A1/10)):	26	shrubs
Screening Provided:			
B1	Transitional Screening Length	88	feet
B2	Transitional Screening Width	25	feet
B3	Transitional Screening Area:	2200	sf
B4	Total 10-Yr. Tree Canopy Provided (B5+B6+B7) :	1700	sf
B5	10-Yr. Tree Canopy Provided by Large and Medium Evergreen Trees:	1200	sf
B6	10-Yr. Tree Canopy Provided by Large Deciduous Trees:	500	sf
B7	Existing 10-Yr. Tree Canopy Provided	0	sf
B8	Total Shrubs Provided (B9+B10)	26	shrubs
B9	Evergreen Shrubs Provided	26	shrubs
B10	Deciduous Shrubs Provided:	8	shrubs

Transitional Screening 'E' Calculation			
Screening Required:			
A. Tree Preservation Target and Statement			
A1	Transitional Screening Length	82	feet
A2	Transitional Screening Width	25	feet
A3	Transitional Screening Area (A1 x A2):	2050	sf
A4	10-Yr. Tree Canopy Required (A3 x 0.75):	1538	sf
A5	Minimum 10-Yr. Tree Canopy Required by Large and Medium Evergreen Trees (A4 x 0.30):	1076	sf
A6	Miximum 10-Yr. Tree Canopy Required by Large Deciduous Trees (A4 x 0.30):	461	sf
A7	Evergreen Shrubs Required (3 x (A1/10)):	25	shrubs
Screening Provided:			
B1	Transitional Screening Length	82	feet
B2	Transitional Screening Width	25	feet
B3	Transitional Screening Area:	2050	sf
B4	Total 10-Yr. Tree Canopy Provided (B5+B6+B7) :	3200	sf
B5	10-Yr. Tree Canopy Provided by Large and Medium Evergreen Trees:	1150	sf
B6	10-Yr. Tree Canopy Provided by Large Deciduous Trees :	0	sf
B7	Existing 10-Yr. Tree Canopy Provided:	2050	sf
B8	Total Shrubs Provided (B9+B10)	34	shrubs
B9	Evergreen Shrubs Provided	25	shrubs
B10	Deciduous Shrubs Provided:	9	shrubs

Transitional Screening 'F' Calculation			
Screening Required:			
A. Tree Preservation Target and Statement			
A1	Transitional Screening Length	473	feet
A2	Transitional Screening Width	25	feet
A3	Transitional Screening Area (A1 x A2):	11825	sf
A4	10-Yr. Tree Canopy Required (A3 x 0.75):	8869	sf
A5	Minimum 10-Yr. Tree Canopy Required by Large and Medium Evergreen Trees (A4 x 0.30):	6208	sf
A6	Miximum 10-Yr. Tree Canopy Required by Large Deciduous Trees (A4 x 0.30):	2661	sf
A7	Evergreen & Deciduous Shrubs Required (3 x (A1/10)):	142	shrubs
Screening Provided:			
B1	Transitional Screening Length	473	feet
B2	Transitional Screening Width	25	feet
B3	Transitional Screening Area:	11825	sf
B4	Total 10-Yr. Tree Canopy Provided (B5+B6+B7) :	16358	sf
B5	10-Yr. Tree Canopy Provided by Large and Medium Evergreen Trees:	6225	sf
B6	10-Yr. Tree Canopy Provided by Large Deciduous Trees :	0	sf
B7	Existing 10-Yr. Tree Canopy Provided:	10133	sf
B8	Total Shrubs Provided (B9+B10)	142	shrubs
B9	Evergreen Shrubs Provided	106	shrubs
B10	Deciduous Shrubs Provided:	36	shrubs

TREE PRESERVATION TARGET AND STATEMENT (10-YEAR TREE CANOPY CALCULATION)		
A.	Tree Preservation Target and Statement	Totals
A1.1	Pre-development area of existing tree canopy (cover type A) =	58409
A1.2	Pre-development area of existing tree canopy (cover type B) =	5800
A1	Total Pre-development area of existing tree canopy (cover type A and B) =	64209
A2	Percentage of gross site area covered by existing tree canopy (A1/B1)=	65.5%
A3	Percentage pf 10-year tree canopy required for site =	25.0%
A4	Percentage of the 10-year tree canopy requirement that should be met through tree preservation= (percentage of existing canopy that will be preserved,)	49.3%
A5	Proposed percentage of canopy requirement that will be met through tree preservation(C10/B7)=	129.0%
A6	Has the tree Preservation Target minimum been met?	Yes.
A7	If No for line F, then a request to deviate from the Tree Preservation Target shall be provided on the plan that states one or more of the justifications listed in § 12-0508.3 along with a narrative that provides a site-specific explanation of why the Tree Preservation Target cannot be met. Provide sheet number where deviation request is located.	N/A

B. Tree Canopy Requirement		
B1	Identify gross area site area=	98058
B2	Subtract area dedicated to parks, road frontage, and	0
B3	Subtract area of exemptions (Resource Protection Area) =	0
B4	Adjusted gross site area (B1-B2) =	98058
B5	Identify site's zoning and/or use	R-3
B6	Percentage of 10-year tree canopy required =	25%
B7	Area of 10-year tree canopy required (B4 x B6) =	24514
B8	Modification of 10-year tree Canopy Requirements requested?	No
B9	If B8 is yes, then list plan sheet where modification request is located	N/A

C. Tree Canopy Preservation		
C1	Tree perservation Target Area (B7 x A4) =	12076
C2	Total canopy area meeting standards of §12-0400	0
C3	C2 x 1.25 =	0
C4	Total canopy area provided by unique or valuable forest or woodland communities	0
C5	C4 x 1.5 =	0
C6	Total of canopy area provided by "Heritage," "Memorial," "Specimen," "Street" trees	0
C7	C6 x 1.5 to 3.0 =	0
C8	Canopy area of trees within Resource Protection Areas and 100-year floodplains =	31629
C9	C8 x 1.0 =	31629
C10	Total of C3, C5, C7 and C9 =	31629

D. Tree Planting		
D1	Area of canopy to be met through tree planting (B7-C10) =	0
D2	Area of Canopy planted for air quality benefits =	0
D3	x 1.5 =	0
D4	Area of canopy planted for energy conservation =	0
D5	x 1.5 =	0
D6	Area of canopy planted for water quality benefits =	0
D7	x 1.25 =	0
D8	Area of canopy planted for wildlife benefits =	0
D9	x 1.5 =	0
D10	Area of canopy planted by Native Species	0
D11	x 1.25 =	0
D12	Area of canopy provided by improved cultivars and varieties =	0
D13	x 1.25 =	0
D14	Area of canopy provided through tree seedlings =	0
D15	x 1.0 =	0
D16	Percentage of D14 represented by D15	0
D17	Total of canopy area provided through tree planting (with no multiplier) =	18100
D18	Is an off-site planting relief requested?	No
D19	Tree Bank or Tree Fund?	N/A
D20	Canopy area requested to be provided through off-site banking or tree fund	0
D21	Amount to be deposited to the Tree Perservation and Planting Fund	0

E. Total of 10-year Tree Canopy Provided		
E1	Total of Canopy area provided through tree perservation (C10) =	31629
E2	Total of canopy area provoid through tree planting (D17) =	18100
E3	Total of canopy area provided through off-site- mechanism (D19) =	0
E4	Total of 10-year Tree Canopy Provided = (E1 + E2 + E3)	49729



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GLEN CARLYN
CHILD CARE CENTER

3212 GLEN CARLYN ROAD
BAILEY'S CROSSROADS, VA 22041

SPECIAL EXCEPTION PLAT

PARCELS 3 AND 4 OF
FOREST J. HALL PROPERTY DIVISION
& PARCEL 'A' OF
HALLWOODS SUBDIVISION
MASON DISTRICT
FAIRFAX COUNTY, VIRGINIA

LANDSCAPE AND TREE
PRESERVATION PLAN

DWG NO. C-6 SHEET NO. 6 OF 9

DRAWN BY: JW CHECKED BY: JW

SCALE: NOT TO SCALE

DATE: 07/02/2014



STORMWATER MANAGEMENT & BMP NARRATIVE

PRE-DEVELOPMENT CONDITIONS

THIS 2.25 ACRE SITE IS LOCATED IN AN R-3 DISTRICT. IT CONSISTS OF THREE SEPARATE PARCELS. ONLY ONE OF THEM CONTAINS EXISTING SINGLE FAMILY DETACHED HOME, AND THE OTHER TWO ARE MOSTLY COVERED BY WOODS. MOST OF THE ADJACENT PARCELS ARE RESIDENTIAL LOTS. THE EASTERN SIDE OF THE SITE IS BOUNDED BY A TWO LANE ROADWAY, GLEN CARLYN ROAD (RT 714), ACROSS FROM THE ROAD TO THE EAST IS AN ORTHODOX GREEK CHURCH. THE SOUTHERN SIDE OF THE SITE IS BOUNDED BY A CONCRETE AND RIPRAP LINED CHANNEL, WHICH IS A MAJOR FLOODWAY AND A SECTION OF THE LONG BRANCH. THE SITE IS LOCATED WITHIN THE FOUR MILE RUN WATERSHED AND RUNOFF FROM THE SITE DRAINS THROUGH OVERLAND FLOW TO THE LONG BRANCH. DUE TO ITS PROXIMITY TO THE FLOODWAY, NEARLY HALF OF THE SITE IS OCCUPIED BY A RESOURCE PROTECTION AREA (RPA) ON ITS SOUTHERN PORTION.

POST-DEVELOPMENT CONDITIONS

THE PROPOSED CONDITIONS FOR THE SITE IS FOR A CHILD CARE CENTER. THE PROPOSED DEVELOPMENT WILL BE LIMITED TO THE NORTHERN PORTION OF THE SITE, AND THE SOUTHERN PORTION THAT IS IN RPA DESIGNATION WILL BE CONSERVED FOR NATURAL OPEN SPACE/FOREST. A 1.08 AC NATURAL OPEN SPACE WILL BE USED FOR BMP CREDIT. NO USE OR DISTURBANCE OF THIS AREA WILL BE PERMITTED WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE FAIRFAX COUNTY.

THE EXISTING ONE-STORY BUILDING STRUCTURE WILL BE REMOVED. THE PROPOSED PLAN IS TO BUILD A ONE AND ONE HALF STORY BUILDING, A 28 SPACES PARKING LOT, AND A 5000 SF PLYGROUND, RESULTING A TOTAL OF 0.50 AC IMPERVIOUS AREA. THE EXISTING IMPERVIOUS AREA IS APPROXIMATELY 0.33 ACRES.

THE OVERALL DRAINAGE PATTERN WILL BE MAINTAINED, EXCEPT THAT A 0.34-ACRE ONSITE AREA THAT DRAINS IN OVERLAND FLOW IN THE EXISTING CONDITION WILL BE DIVERTED TO A SWM MICROPOOL (ED POND) IN THE PROPOSED PARKING LOT ISLAND AND RELEASED TO THE FLOODWAY CHANNEL WITH CONTROLLED DISCHARGES. COMBINING THE ON-SITE AND OFF-SITE DISCHARGES, THE POST-DEVELOPMENT PEAK RATES FOR 2-YEAR AND 10-YEAR STORMS ARE LESS THAN THE PRE-DEVELOPMENT LEVELS.

BEST MANAGEMENT PRACTICE (BMP) NARRATIVE

THE 2.25 ACRE SITE IS IN THE FOUR MILE RUN WATERSHED AND REQUIRES A MINIMUM 40% PHOSPHORUS REMOVAL EFFICIENCY SINCE THIS IS A "NEW DEVELOPMENT" IN FAIRFAX COUNTY AND NOT LOCATED IN THE OCCOQUAN WATERSHED. BMP COMPUTATIONS ARE BASED ON THE OCCOQUAN METHOD AND RESULT IN A PHOSPHORUS REMOVAL OF 42% (SEE COMPUTATIONS ON SHEET C-6). THE BMP REQUIREMENTS WILL BE MET BY UTILIZING A SWM MICROPOOL (ED POND) AND A NATURAL OPEN SPACE.

DRAINAGE DIVERSION NARRATIVE

THE TOTAL DRAINAGE AREA THAT DRAINS FROM AND THRU THE PROJECT SITE INTO THE LONG BRANCH REMAINS THE SAME IN THE PROPOSED CONDITION AS IN THE EXISTING CONDITION. AN ONSITE SWM MICROPOOL (ED POND) PROVIDES PHOSPHORUS REMOVAL AND QUANTITY MANAGEMENT. AS A RESULT OF THE DIVERSION, THE DISCHARGE RATES LEAVING THE PROJECT SITE WILL BE LESS THAN THE EXISTING RATES IN 2-YEAR AND 10-YEAR STORMS, AND THE PHOSPHORUS REMOVAL REQUIREMENTS WILL BE MET. THERE WILL BE NO ADVERSE EFFECT ON ADJACENT OR DOWNSTREAM PROPERTIES.

OVERLAND RELIEVE NARRATIVE

THE PROPOSED BUILDING FLOOR ELEVATION WILL BE APPROXIMATELY 4 FEET HIGHER THAN THE FLOOD PLAIN ELEVATION. IT WILL ALSO BE HIGHER THAN THE PARKING LOT, DRIVE AISLES AND ENTRANCES. DURING A 100-YEAR STORM, THE PLAYGROUND AREA IN THE BACK YARD AND THE PARKING LOT WILL ACT AS OVERLAND FLOW RELIEF PATHS (SEE RELIEF FLOW PATHS SHOWN ON THE BMP DRAINAGE AREA MAP ON SHEET C-8).

MINIMUM STORMWATER INFORMATION FOR REZONING, SPECIAL EXCEPTION, SPECIAL PERMIT AND DEVELOPMENT PLAN APPLICATIONS

The following information is required to be shown or provided in all zoning applications, or a waiver request of the submission requirement with justification shall be attached. Note: Waivers will be acted upon separately. Failure to adequately address the required submission information may result in a delay in processing this application.

This information is required under the following Zoning Ordinance paragraphs:

Special Permits (8-011 2J & 2L) Special Exceptions (9-011 2J & 2L)
Cluster Subdivision (9-615 1G & 1N) Commercial Revitalization Districts (9-622 2A (12)&(14))
Development Plans PRC District (16-302 2 & 4L) PRC Plan (16-303 1E & 10)
FDP P Districts (except PRC) 916-502 1F & 1Q) Amendments (18-202 10F & 10I)

- Plat is at a minimum scale of 1"=50' (unless it is depicted on one sheet with a minimum scale of 1"=100).
- A graphic depicting the stormwater management facility(ies) and limits of clearing and grading accommodate the stormwater management facility(ies), storm drainage pipe systems and outlet protection, pond spillways, access roads, site outfalls, energy dissipation devices, and stream stabilization measures as shown on Sheet C-2
- Provide:

Facility Name/ Type & No.	On-Site area served (acres)	Off-Site area served (acres)	Drainage area (ac)	Footprint area (sq ft)	Storage volume (cft)	If pond, dam height (ft)
NATURAL OPEN SPACE	1.08	0	1.08	47045	N/A	N/A
ED Pond	0.34	0	0.34	2568	2841	1.5
Totals						
- Onsite drainage channels, outfalls and pipe systems are shown on Sheet C-2
- Maintenance accesses (road) to stormwater management facility(ies) are shown on Sheet C-2
- Landscaping and tree preservation shown in and near the stormwater management facility is shown on Sheet C-4
- A "stormwater management narrative" which contains a description of how detention and best management practices requirements will be met is provided on Sheet C-7
- A description of the existing conditions of each numbered site outfall extended downstream from the site to a point which is at least 100 times the site area or which has a drainage area of at least one square mile (640 acres) is provided on Sheet C-7
- A description of how the outfall requirements, including contributing drainage areas of the Public Facilities Manual will be satisfied is provided on Sheet C-7 & C-8
- Existing topography with maximum contour intervals of two (2) feet and a note as to whether it is an air survey or field run is provided on Sheets C-3
- A submission waiver is requester for _____
- Stormwater management is not required because _____

PRE- AND POST-DEVELOPMENT DISCHARGE RATE COMPUTATION

1a. ON-SITE PRE-DEVELOPMENT CALCULATIONS	C	AREA (AC)	PRODUCT	
SUBAREA DESCRIPTION				
ONSITE IMPERVIOUS PAVEMENT/ROOFTOP	0.90	0.30	0.27	
ONSITE LAWN AND FOREST CONSERVATION	0.30	1.92	0.57	
		2.25	0.88	
WEIGHTED AVERAGE "C"				
		0.39		
1b. OFF-SITE PRE-DEVELOPMENT CALCULATIONS				
SUBAREA DESCRIPTION	C	AREA (AC)	PRODUCT	
SINGLE FAMILY UNITS (R-3)	0.40	2.08	0.83	
1c. OVERALL PRE-DEVELOPMENT FLOW CALCULATIONS				
SUBAREA	2-YR RAINFALL INTENSITY (IN/HR)	C	AREA (AC)	PEAK FLOW (CFS)
ON-SITE	5.45	0.39	2.25	4.78
OFF-SITE	5.45	0.40	2.17	4.73
TOTAL		4.42		9.51
SUBAREA	10-YR RAINFALL INTENSITY (IN/HR)	C	AREA (AC)	PEAK FLOW (CFS)
ON-SITE	7.27	0.39	2.25	6.38
OFF-SITE	7.27	0.40	2.17	6.31
TOTAL		4.42		12.69
SUBAREA	100-YR RAINFALL INTENSITY (IN/HR)	C	AREA (AC)	PEAK FLOW (CFS)
ON-SITE	9.84	0.39	2.25	8.63
OFF-SITE	9.84	0.40	2.17	8.54
TOTAL		4.42		17.18

2. OVERALL POST-DEVELOPMENT CALCULATIONS

SUBAREA	SUBAREA DESCRIPTION	C	AREA (AC)	PRODUCT	2-YR RAINFALL INTENSITY (IN/HR)	PEAK FLOW (CFS)	10-YR RAINFALL INTENSITY (IN/HR)	PEAK FLOW (CFS)	100-YR RAINFALL INTENSITY (IN/HR)	PEAK FLOW (CFS)
ONSITE	IMPERVIOUS PAVEMENT/ROOFTOP UNCONTROLLED	0.90	0.27	0.25	5.45	1.34	7.27	1.79	9.84	2.43
ONSITE	LAWN AND FOREST CONSERVATION UNCONTROLLED	0.30	0.44	0.13	5.45	0.72	7.27	0.96	9.84	1.30
ONSITE	PLAYGROUND UNCONTROLLED	0.35	0.24	0.04	5.45	0.22	7.27	0.29	9.84	0.40
ONSITE	CONTROLLED AREA	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
ONSITE	NATURAL OPEN SPACE CONSERVATION	0.30	1.08	0.32	5.45	1.77	7.27	2.36	9.84	3.19
OFFSITE	SINGLE FAMILY UNITS (R-3)	0.40	2.17	0.87	5.45	4.73	7.27	6.31	9.84	8.54
TOTAL			4.42	1.63		9.18		12.31		18.09

4. DETERMINE THE REQUIRED STORAGE VOLUME (Plate 2-6)

Cover Type	Area (ac)	C	Product	Imperviousness
On-site impervious area to facility	0.23	0.90	0.21	
On-site grass area to facility	0.11	0.30	0.03	
Total	0.34	0.70	0.24	67%
Per Plate 2-6, Storage Volume per acre =		2167 cf		
BMP storage volume =		738.947 cf		

5. DETERMINE POND STAGE STORAGE

STAGE (FT)	ELEV. (FT)	CONTOUR AREA	INCR. VOL. (CF)	VOL. (CF)
0	258.5	678	0.00	0.00
0.5	259	1194	468.00	468.00
1	259.5	1725	729.75	1197.75
1.5	260	4048	1443.25	2641.00
Perm. Pool Elev. =	259.19	(for WQv of 738.947	cf)	

DRY STORAGE COMPUTATION

STAGE (FT)	ELEV. (FT)	CONTOUR AREA	INCR. VOL. (CF)	VOL. (CF)
0	259.19	1394	0	0
0.5	259.69	1931	831.25	831.25
0.81	260	4048	926.745	1757.995
1.01	260.2	5159	920.7	2678.695

6. DISCHARGE COMPUTATION

Orifice diameter (ft) 0.417 (5" orifice)
 Outfall Pipe Diameter (ft) 1.5
 Weir width (ft) 0 0 15
 Weir elevation 259.69 259.9 260.05
 Orifice discharge formula: $Q = C A^2 (2gH)^{1/2}$ where $C = 0.6$
 Weir discharge formula: $Q = CL(H)^{3/2}$ where $C = 3.10$

Stage (ft)	Elevation (ft)	hydraulic head (ft)	orifice discharge (cfs)	Weir discharge (cfs)	Combined Discharge (cfs)	Storage Vol. (cf)
0	259.19	0	0.00	0.00	0.00	0
0.25	259.44	0.25	0.13	0.00	0.13	382
0.5	259.69	0.5	0.36	0.00	0.36	831.25
0.81	260	0.81	0.51	0.00	0.51	1757.995
0.86	260.05	0.86	0.53	0.00	0.53	1975.945
1.01	260.2	1.01	0.59	2.70	3.29	2678.695

7. ORIFICE BREACH ANALYSIS

Weir width (ft) 15
 Weir elevation 260.05

Stage (ft)	Elevation (ft)	hydraulic head (ft)	orifice discharge (cfs)	Weir discharge (cfs)	Combined Discharge (cfs)	Storage Vol. (cf)
0	260.05	0	0.00	0.00	0.00	0
0.15	260.2	0.15	0.00	2.70	2.70	702.75

*****80-80 LIST OF INPUT DATA FOR TR-20 HYDROLOGY*****

JOB TITLE	TR-20 FULLPRINT	SUMMARY	NO PLOTS
001 GLEN CARLYN 1.2, 10, 100-YR STORMS	1.2, 10, 100-YR STORMS		
STRUCT 01	259.19 0.0 0.000		
	259.44 0.13 0.00877		
	259.69 0.36 0.0191		
	260.05 0.53 0.0455		
	260.20 0.79 0.0615		
ENDTBL RUNOFF 11	1 0.000531	91.8	0.1
RESVOR 2	1201 1 2 259.19		1 1 1
ENDTBL RUNOFF 6	11 12 0.05	2.7	1.0
COMPUT 7	11 12 0.0	3.2	2 2 01 01
ENDCMP 1	11 12 0.0	3.2	1.0
COMPUT 7	11 12 0.0	5.5	2 2 01 02
ENDCMP 1	11 12 0.0	5.5	1.0
COMPUT 7	11 12 0.0	7.7	2 2 01 10
ENDCMP 1	11 12 0.0	7.7	1.0
COMPUT 7	11 12 0.0		2 2 01 99
ENDCMP 1			
ENDJOB 2			

*****END OF 80-80 LIST*****

SUMMARY TABLE 1

SELECTED RESULTS OF STANDARD AND EXECUTIVE CONTROL IN ORDER PERFORMED. A CHARACTER FOLLOWING THE PEAK DISCHARGE TIME AND RATE (CFS) INDICATES: F-FLAT TOP HYDROGRAPH T-TRUNCATED HYDROGRAPH R-RISING TRUNCATED HYDROGRAPH

XSECTION/ STRUCTURE ID	STANDARD CONTROL OPERATION	DRAINAGE AREA (SQ MI)	RUNOFF AMOUNT (IN)	ELEVATION (FT)	PEAK DISCHARGE TIME (HR)	RATE (CFS)	RATE (CSM)
RAINFALL OF 2.70 inches AND 24.00 hr DURATION, BEGINS AT .0 hrs.							
RAINFALL OF 3.20 inches AND 24.00 hr DURATION, BEGINS AT .0 hrs.							
RAINFALL OF 5.50 inches AND 24.00 hr DURATION, BEGINS AT .0 hrs.							
RAINFALL OF 7.70 inches AND 24.00 hr DURATION, BEGINS AT .0 hrs.							
RAINFALL OF 9.84 inches AND 24.00 hr DURATION, BEGINS AT .0 hrs.							

END OF 1 JOBS IN THIS RUN

SCS TR-20, VERSION 2.04TEST FILES

INPUT = PROP.DAT ; GIVEN DATA FILE
 OUTPUT = PROP.OUT ; DATED 12/23/09, 12:43:14

FILES GENERATED - DATED 12/23/09, 12:43:14

NONE!

TOTAL NUMBER OF WARNINGS = 0, MESSAGES = 8

JOB ENDED AT 12:43:22
 *** TR-20 RUN COMPLETED ***

*****80-80 LIST OF INPUT DATA FOR TR-20 HYDROLOGY*****

JOB TITLE	TR-20 FULLPRINT	SUMMARY	NO PLOTS
001 GLEN CARLYN 100-YR STORM ORIFICE BREACH	100-YR STORM ORIFICE BREACH		
STRUCT 01	260.05 0.0 0.0		
	260.20 0.70 0.0161		
ENDTBL RUNOFF 11	1 0.000531	91.8	0.1
RESVOR 2	1201 1 2 260.05		1 1 1
ENDTBL RUNOFF 6	11 12 0.05	2.7	1.0
COMPUT 7	11 12 0.0	3.2	2 2 01 01
ENDCMP 1	11 12 0.0	3.2	1.0
COMPUT 7	11 12 0.0	5.5	2 2 01 02
ENDCMP 1	11 12 0.0	5.5	1.0
COMPUT 7	11 12 0.0	7.7	2 2 01 10
ENDCMP 1	11 12 0.0	7.7	1.0
COMPUT 7	11 12 0.0		2 2 01 99
ENDCMP 1			
ENDJOB 2			

*****END OF 80-80 LIST*****

TR20 ----- GLEN CARLYN 100-YR STORM ORIFICE BREACH

12/23/09 13:07:39 SCS - REPOSED CONDITION SUMMARY, JOB NO. 1 2.04TEST PAGE 5

SELECTED RESULTS OF STANDARD AND EXECUTIVE CONTROL IN ORDER PERFORMED. A CHARACTER FOLLOWING THE PEAK DISCHARGE TIME AND RATE (CFS) INDICATES: F-FLAT TOP HYDROGRAPH T-TRUNCATED HYDROGRAPH R-RISING TRUNCATED HYDROGRAPH

XSECTION/ STRUCTURE ID	STANDARD CONTROL OPERATION	DRAINAGE AREA (SQ MI)	RUNOFF AMOUNT (IN)	ELEVATION (FT)	PEAK DISCHARGE TIME (HR)	RATE (CFS)	RATE (CSM)
RAINFALL OF 2.70 inches AND 24.00 hr DURATION, BEGINS AT .0 hrs.							
RAINFALL OF 3.20 inches AND 24.00 hr DURATION, BEGINS AT .0 hrs.							
RAINFALL OF 5.50 inches AND 24.00 hr DURATION, BEGINS AT .0 hrs.							
RAINFALL OF 7.70 inches AND 24.00 hr DURATION, BEGINS AT .0 hrs.							
RAINFALL OF 9.84 inches AND 24.00 hr DURATION, BEGINS AT .0 hrs.							

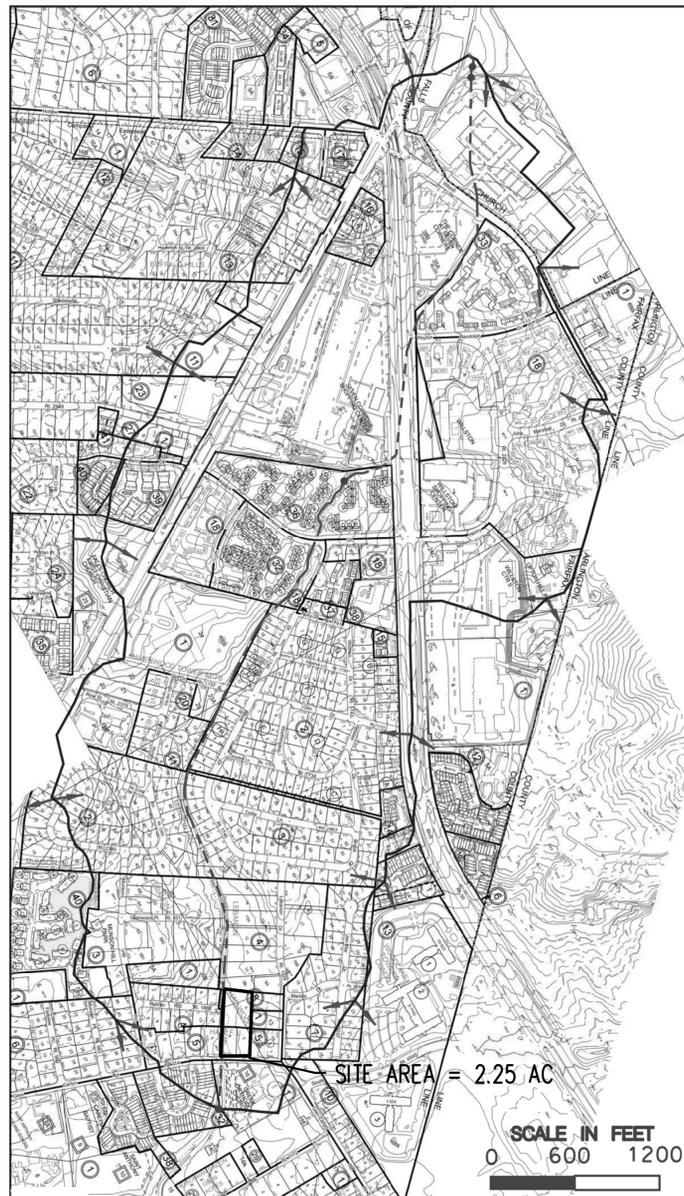
EXTENT OF REVIEW AND OUTFALL NARRATIVE

THE ENTIRE SITE AREA OF 2.25 ACRES DRAINS THROUGH AN OVERLAND FLOW TO A CONCRETE CHANNEL SECTION OF THE LONG BRANCH, WHICH IS A MAJOR FLOODWAY ADJOINING THE PROPERTY ON THE SOUTH, IN THE FOUR MILE RUN WATERSHED.

IN THE PROPOSED CONDITION, THE OVERALL DRAINAGE PATTERN IS MAINTAINED, EXCEPT THAT A 0.34 AC ONSITE DRAINAGE AREA THAT IS CURRENTLY DRAINING VIA OVERLAND FLOW WILL BE COLLECTED IN AN ED POND AND RELEASED TO THE EXISTING CHANNEL WITH CONTROLLED DISCHARGES.

THE REVIEW IS EXTENDED TO AN OUTFALL POINT ON THE CHANNEL APPROXIMATELY 400 FEET DOWNSTREAM OF THE PROJECT SITE. THE TOTAL DRAINAGE AREA TO THIS POINT IS 366.1 ACRES, ABOUT 163 TIMES GREATER THAN THE SITE AREA. THE EFFECTIVE 100-YEAR DISCHARGE RATE AT THIS POINT IS 1420 CFS, ACCORDING TO THE FEMA FLOOD INSURANCE STUDY. THE 100-YEAR DISCHARGE RATE FROM THE PROJECT SITE IN THE POST-DEVELOPMENT CONDITION IS 18.0 CFS, AS OPPOSED TO THE 17.2 CFS DISCHARGE RATE IN THE PRE-DEVELOPMENT CONDITION. THE LESS THAN 1 CFS INCREASE WILL NOT CAUSE ANY ADVERSE IMPACT TO THE MAJOR FLOODWAY.

THERE ARE NO RECENT DOWNSTREAM FLOODING COMPLAINTS ON FILE ACCORDING TO THE DEPARTMENT OF PUBLIC WORKS AND ENVIRONMENTAL SERVICES. THE EXISTING RECEIVING CONCRETE CHANNEL APPEARS STABLE.

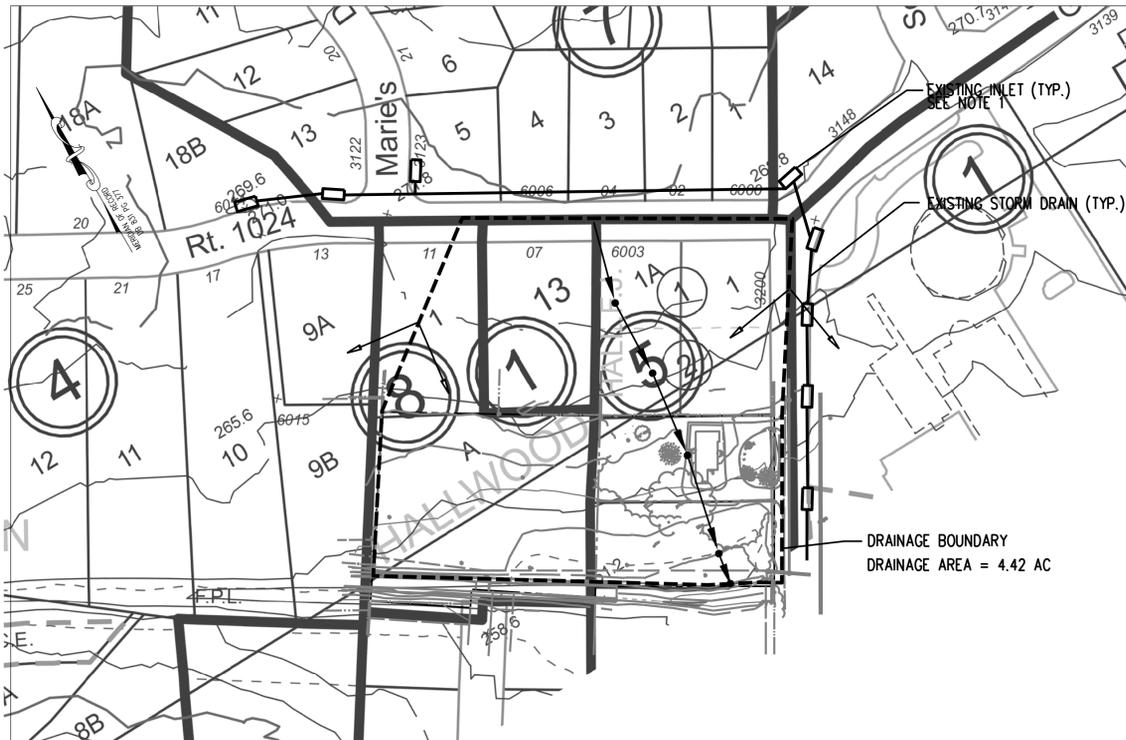


NOTES:

1. INLET LOCATIONS NOTED ON PLAN ALONG PUBLIC STREETS ARE ACCORDING TO FIELD OBSERVATION.
2. STORM DRAIN CONNECTIONS SHOWN ON PLAN ARE ESTIMATED FOR DRAINAGE AREA DELINEATION PURPOSE. THEY HAVE NOT BEEN VERIFIED BY RECORD DRAWINGS AND SHOULD NOT BE REGARDED AS ACCURATE.
3. NO USE OR DISTURBANCE OF THE NATURAL OPEN SPACE DESIGNATED FOR WATER QUALITY MANAGEMENT IS PERMITTED WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE DIRECTOR OF THE DEPARTMENT OF PUBLIC WORKS AND ENVIRONMENTAL SERVICES.
4. SWM MICROPOOL (ED POND) PROVIDES WATER QUALITY AND QUANTITY TREATMENT.

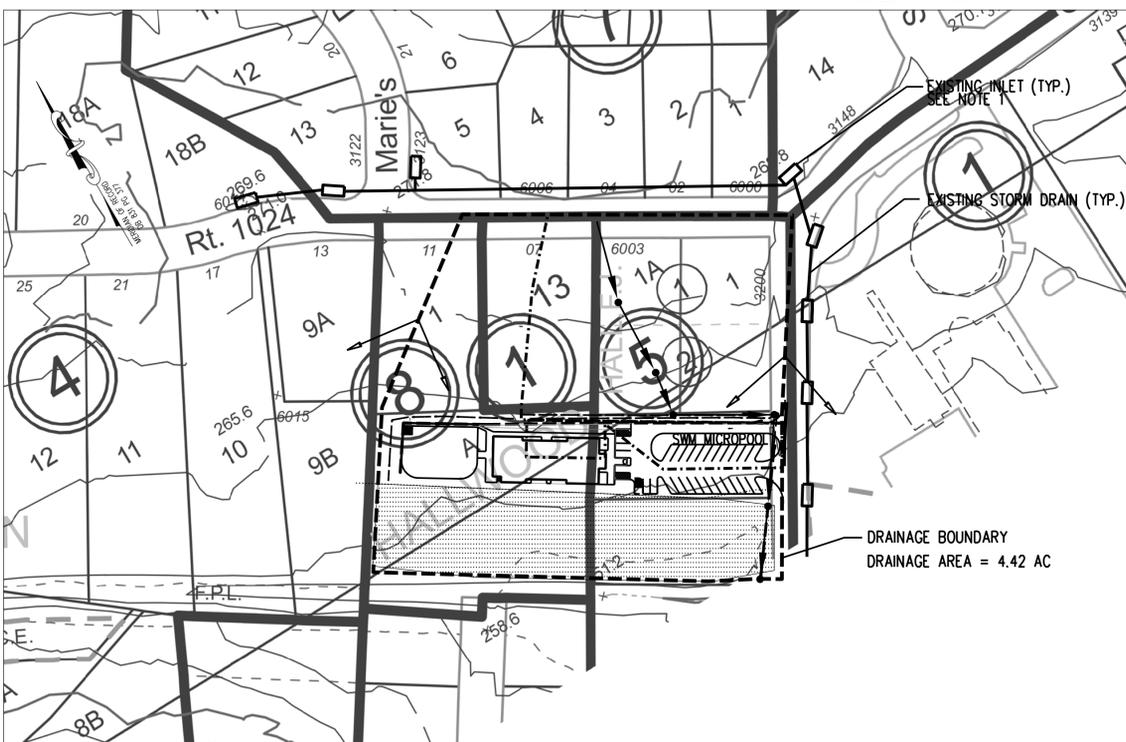
PRE-DEVELOPMENT DRAINAGE AREA MAP

SCALE: 1" = 100'



POST-DEVELOPMENT DRAINAGE AREA MAP

SCALE: 1" = 100'



BMP FACILITY DESIGN CALCULATIONS

1. SUBAREAS AND WEIGHTED AVERAGE "C" FACTOR FOR THE SITE

ID	SUBAREA DESCRIPTION	"C"	AREA (AC)	PRODUCT
A1	ONSITE PAVEMENT AND ROOFTOP	0.90	0.50	0.45
A2	ONSITE LAWN	0.30	0.55	0.17
A3	ONSITE UNCONTROLLED PLAYGROUND	0.35	0.12	0.04
A4	NATURAL OPEN SPACE CONSERVATION	0.30	1.08	0.32
TOTAL			2.25	0.98
WEIGHTED AVERAGE "C"		0.44		

2. COMPUTE THE TOTAL PHOSPHORUS REMOVAL FOR THE SITE

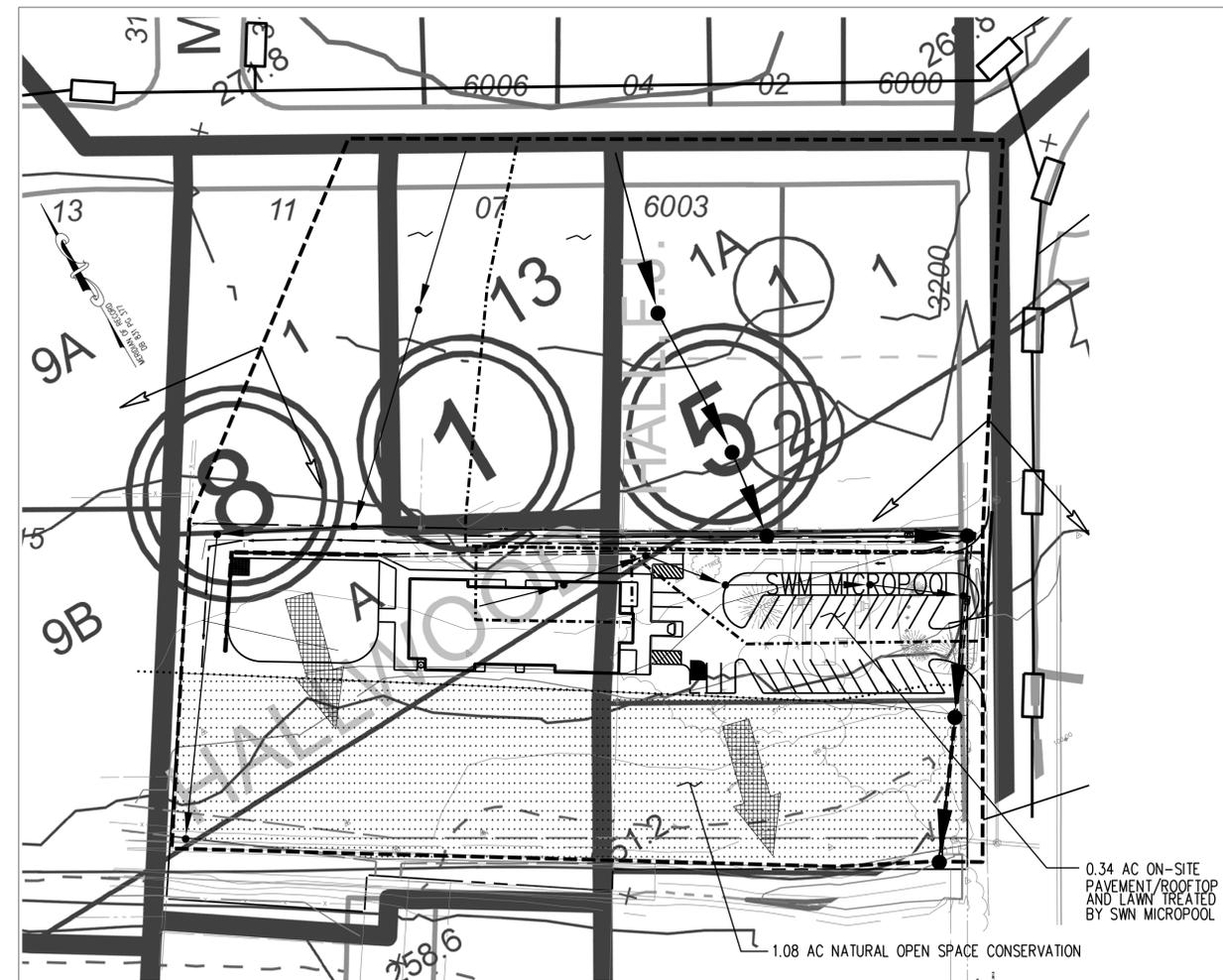
ID	SUBAREA DESCRIPTION	REMOVAL EFFICIENCY (%)	AREA	AREA RATIO	"C" FACTOR RATIO	PRODUCT
A1.1	ONSITE PAVEMENT AND ROOFTOP TREATED BY BMP	40	0.23	0.10	2.06	8.4
A1.2	ONSITE UNCONTROLLED PAVEMENT	0	0.27	0.12	2.06	0.0
A2.1	ONSITE LAWN TREATED BY BMP	40	0.11	0.05	0.69	1.4
A2.2	ONSITE UNCONTROLLED LAWN	0	0.44	0.20	0.69	0.0
A3	ONSITE UNCONTROLLED PLAYGROUND	0	0.12	0.05	0.80	0.0
A4	NATURAL OPEN SPACE CONSERVATION	100	1.08	0.48	0.69	33.0
TOTAL PHOSPHORUS REMOVAL (2a)						42.7

3. DETERMINE COMPLIANCE WITH PHOSPHORUS REMOVAL REQUIREMENT

(A) SELECT REQUIREMENT:	(3a)	40 %
(FAIRFAX COUNTY CHESAPEAKE BAY PRESERVATION AREA - 40% OR FAIRFAX COUNTY WATER SUPPLY OVERLAY DISTRICT - 50%)		
(B) IF LINE (2a)	42.7 % >= LINE (3a)	40 %
THEN PHOSPHORUS REMOVAL REQUIREMENT IS SATISFIED.		

BMP DRAINAGE AREA MAP

SCALE: 1" = 60'





GLEN CARLYN
CHILD CARE CENTER

3212 GLEN CARLYN ROAD
BAILEY'S CROSSROADS, VA 22041

SPECIAL EXCEPTION PLAT

PARCELS 3 AND 4 OF
FOREST J. HALL PROPERTY DIVISION
& PARCEL "A" OF
HALLWOODS SUBDIVISION

ELEVATIONS

DWG NO. C-9	SHEET NO. 9 OF 9
DRAWN BY: JW	CHECKED BY: JW
SCALE: AS NOTED	
DATE: 07/02/2014	



FRONT ELEVATION

GLEN CARLYN CHILD CARE CENTER



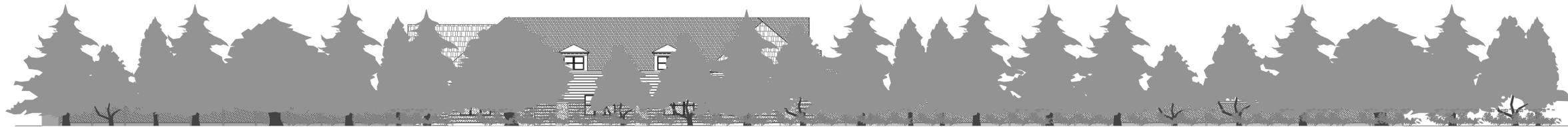
REAR ELEVATION

GLEN CARLYN CHILD CARE CENTER



NORTH SIDE ELEVATION

GLEN CARLYN CHILD CARE CENTER



SOUTH SIDE ELEVATION

GLEN CARLYN CHILD CARE CENTER

Special Permit Statement of Justification

A. Type of Operation

Child Care Center

Glen Carlyn Child Care Center will be providing affordable, convenient and dependable child care services to families in the adjacent communities with children ages 6 months to 5 years. Our goals are to provide a nurturing environment and learning experiences for our children, which ready them for lifelong social, cognitive and physical development.

B. Hours of Operation

Glen Carlyn Child Care Center will operate on weekdays between the hours of 7 AM and 6 PM throughout a year, except for major Holidays.

C. Estimated number of pupils

It is estimated that the enrollment of the child care center will not exceed 50 children, in keeping with the restrictions of the site and the zoning ordinance of the local area.

D. Proposed number of employees/attendants/teachers/etc

The Center anticipates up to 8 teachers in keeping with the Commonwealth of Virginia's Licensing standards for this use. In addition, up to 2 full-time employees will serve on site during normal business hours as administrator, nurse or receptionist.

E. Estimate of Traffic Impact

Within the hours of operation as set forth above, the anticipated traffic will occur in the early morning hours with parents dropping off their children and the mid to late afternoon with parents picking them up. Without assuming carpooling or multiple child households, the maximum number of trips is estimated to coincide with the number of children enrolled, with one trip in the morning and one in the afternoon.

F. Vicinity or general area to be served by the use

Glen Carlyn Child Care Center is located in the Mason District in an R-3 area, bounded by single family detached dwellings to the north, west and south, the St. Katherine's Greek Orthodox Church to the east, and 80 townhouses in R-12 and R-8 districts to the southeast. Within a 1000-foot radius around the Center, there are the Woodlake Towers Condo and the Water's Edge Condo, as well as over 100 single family detached houses in R-3 district. The St. Katherine's Greek Orthodox Church has a nursery school, which however only serves a limited number of families of the St. Katherine's community.

G. Description of building façade and architecture of proposed new building

The Child Care Center will be housed in a new building. The building will be a one and one-half story structure with a gable roof. The height of the building will not exceed 25 feet. The first floor will comprise of classrooms, kitchen, nurse station, reception, utility room and storage areas. The half story above will be used for offices and meeting space. The building exterior will have brick façade and windows matching the surrounding neighborhood. The roof will be constructed to match those of the neighbors in appearance.

H. Hazardous and Toxic Substances

There are no hazardous or toxic substances on the site or associated with this use.

I. Statement of Conformity

Applicable Regulations: 8-006, 8-303, 8-308 (9-309)

8-006 General Standards

The proposed child care center is in harmony with the adopted comprehensive plan, the zoning district regulations, and will not adversely affect the use or development of neighboring properties. The vehicular traffic will be slightly increased on Glen Carlyn Road (Route 714), but this will not be hazardous nor will it conflict with the existing or anticipated traffic in the neighborhood. Proposed landscape and screening are provided in accordance with the provisions of Article 13. Open space provided well exceeds the amount specified for the zoning district in which the child care center is located. Adequate utility, drainage, parking, loading and other necessary facilities are provided according to the provisions of Article 11.

8-303 Standards for all Group 3 Uses

The proposed use satisfies all requirements set forth in Section 8-303.

8-308 Additional Standards for Child Care Centers

The proposed use has been designed to satisfy all requirements set forth in Section 8-308 and 9-309.



County of Fairfax, Virginia

MEMORANDUM

DATE: July 10, 2014

TO: Barbara Berlin, Director
Zoning Evaluation Division
Department of Planning and Zoning

FROM: Michael A. Davis, Acting Chief 
Site Analysis Section
Department of Transportation

FILE: 3-5 (SE 2013-MA-010)

SUBJECT: Transportation Impact, Addendum

REFERENCE: SE 2013-MA-010 Deyi Awadallah
Land Identification Map: 51-4 ((8)) A; 61-2 ((5)) 3 & 4

Transmitted herewith are the comments from the Department of Transportation with respect to the referenced application. These comments are based on the plan made available to this office dated July 2, 2014. The applicant has reduced the proposed number of children from 99 to 50 and the number of staff to eight which effectively reduces the number of trips during peak hours in the morning and afternoon. Proposed hours are from 7 a.m. to 6 p.m.

- The application is for a day care facility where vehicular trips will be spread out over the peak hour periods; unlike a school where vehicular trips are concentrated into a 15 to 20 minute period before the start or end times.
- The reduction in the number of children to a maximum of 50 will also reduce the number of trips in the peak hour periods from approximately 40 vehicles in and out in the a.m. and p.m. peaks to about 20 vehicles in and out spread over one hour during the a.m. and p.m. peak hour periods.
- To reduce the potential for vehicle conflicts and rear-end accidents on Glen Carlyn Road, a left turn lane is being provided at the site entry.
- The reduction in site generated trips also will reduce the demand for left turns into the site reducing the potential conflicts for parents exiting the site. Fewer vehicles will be queued in the left turn lane to potentially block egress from the site.
- Sight distance at the site egress to Glen Carlyn Road has been deemed adequate by VDOT.
- The on-site parking supply remains the same despite the decreased enrollment.
- An escrow for a future sidewalk across the frontage is being provided.

In summary, while the site access is not optimal, because of the reduction in trips, the relatively low traffic volumes generated by the site, and the provision of a left turn lane on Glen Carlyn Road, this department believes the applicant has addressed the transportation issues adequately.

MAD/LAH/lah

Fairfax County Department of Transportation
4050 Legato Road, Suite 400
Fairfax, VA 22033-2895
Phone: (703) 877-5600 TTY: 711
Fax: (703) 877 5723
www.fairfaxcounty.gov/fcdot



PROPOSED DEVELOPMENT CONDITIONS

SE 2013-MA-010

Deyi Awadallah

(Glen Carlyn Childcare Center)

July 15, 2014

If it is the intent of the Board of Supervisors to approve SE 2013-MA-010 located at 3212 Glen Carlyn Road (Tax Map 51-4 ((8)) A; 61-2 ((5)) 3, 4) for use as a child care facility pursuant to Sect. 3-304 of the Fairfax County Zoning Ordinance, staff recommends that the Board condition the approval by requiring conformance with the following development conditions.

1. This Special Exception is granted for and runs with the land indicated in this application and is not transferable to other land.
2. This Special Exception is granted only for the purpose(s), structure(s), and/or use(s) indicated on the Special Exception Plat, as qualified by these development conditions.
3. A copy of this Special Exception and the Non-Residential Use Permit shall be made available to all departments of the County of Fairfax during the hours of operation of the permitted use.
4. This Special Exception is subject to the provisions of Article 17, Site Plans, as may be determined by the Director, Department of Public Works and Environmental Services (DPWES). Any plan submitted pursuant to this special exception shall be in substantial conformance with the approved Special Exception Plat **entitled Glen Carlyn Childcare Center, prepared by iDesign Engineering, Inc., dated July 2, 2014, consisting of nine sheets** and these conditions. Minor modifications to the approved Special Exception Amendment may be permitted pursuant to Paragraph 4 of Section 9-004 of the Zoning Ordinance.
5. Upon the issuance of the Non-RUP for this Special Exception, the maximum daily enrollment for the child care center shall be limited to fifty (50) children and the total number of staff persons or employees of any type limited to ten (10) at any one time.
6. Upon the issuance of the Non-RUP for this Special Exception the total number of children permitted to utilize the outdoor play area shall be limited to a maximum of twenty-five (25) at any one time. The outdoor play area shall be utilized only between the hours of 10:00 a.m. and 5:00 p.m.
7. The maximum hours of operation of the childcare center shall be from 6:30 am to 6:30 pm, Monday through Friday. Open houses or any other similar activities

sponsored by the child care center shall be permitted on a maximum of one (1) Saturday per month between the hours of 9:00 a.m. and 5:00 p.m.. The childcare building, including the play area, shall not be rented out for general use by the public.

8. The building shall be limited to 10,540 square feet, with a maximum height of twenty-four (24) feet, within the building footprint shown on the Special Exception Plat. The final architectural design of the building shall be consistent with the general design and type, quality, and proportion of materials depicted in the illustrative elevations and renderings attached as Exhibit A. All colors shall be earth tones.
9. The childcare facility shall incorporate environmentally sustainable attributes into its building program, that may include, but not necessarily be limited to, such elements as high-efficiency mechanical systems, use of materials with recycled content, a high performance and insulated building envelope, water efficient fixtures, low volatile organic compounds in paints, sealants and finish materials, construction waste management, and storage and collection of recyclables.
10. Prior to the issuance of a non-RUP, the applicant shall make improvements to Glen Carlyn Road consisting of a left turn lane and stabilized gravel shoulder consistent with the improvements depicted on Sheet 2 of the SE Plat, subject to DPWES and VDOT approval.
11. Prior to the issuance of a Non-RUP, the applicant shall escrow funds for the construction of a sidewalk along the site's Glen Carlyn Road frontage in an amount deemed adequate by DPWES, pursuant to PFM requirements, as determined by DPWES and FCDOT.
12. There shall be no drop-off of students on Glen Carlyn Road. All vehicles must enter the site and drop off children at the building entrance. All vehicle stacking shall occur on-site.
13. Parking shall occur on-site only, limited to the areas shown on the Special Exception Plat. There shall be no overflow parking permitted along any of the surrounding streets including, but not limited to, Lebanon Drive, Munson Hill Road or Hardwick Place. The administration shall make all parents and staff aware of this restriction.
14. A landscape plan shall be submitted as part of the first site plan submission to be reviewed and approved by the Urban Forest Management Branch. The plan shall provide for landscaping consistent in quality and quantity with that shown on Sheet 5 of the Special Exception Plat.
15. In addition to the required transitional screening shown on Sheet 5 of the Special Exception plat, the Applicant shall offer to install certain off-site plantings in an effort to provide enhanced screening for the properties to the north, specifically on lots 51-4 ((1)) 13, 51-4 ((5)) 1 and 1A, and 51-4 ((8)) 1. The plantings may include a row of evergreen tree and shrub plantings within a 12 foot wide strip immediately adjacent and parallel to the rear lot lines of the identified lots and shall be subject to review and recommendations by UFM in conjunction with their review of the site plan for

the application property. It is understood that these efforts are not required as part of the transitional screening requirements of the Zoning Ordinance.

Within 30 days of the approval of this application, the Applicant shall send, by certified mail, a letter to the owners of Lots 51-4 ((1)) 13, 51-4 ((5)) 1 and 1A, and 51-4 ((8)) 1, offering to install the additional plantings. If the Applicant does not receive a response by certified mail postmarked within 30 days of the Applicant's letter, from the owners of the lots indicating that they want the plantings described within this condition, the Applicant shall have no further obligation in connection with this development condition. Within 30 days of receiving confirmation by certified mail that the owners want the additional plantings, the Applicant shall submit an agreement to the owners of lots 51-4 ((1)) 13, 51-4 ((5)) 1 and 1A, and 51-4 ((8)) 1 that will detail a mutually acceptable scope of work and allow the Applicant to install the plantings.

At a minimum, the off-site planting agreement shall provide for the following: 1. the proposed work shall reflect commercially acceptable and reasonable standards, 2. Permission to enter the owners property to perform the necessary work; 3. No responsibility by the Applicant for any future maintenance of the plantings installed. These minimum requirements shall not be an exclusive list of the necessary terms of the Off-site Planting Agreement.

The Applicant's obligations under any Agreement entered into pursuant to this condition shall not be preconditions to the review and approval of the site plan for the child care center approved pursuant to this Special Exception.

16. No lighting shall be provided for the outdoor play area and the use of outdoor public address speaker systems or bull horns shall be prohibited.
17. Outdoor lighting fixtures used to illuminate the parking area and walkways shall not exceed 12 feet in height. All fixtures shall be fully shielded and directed downward, to prevent glare and light spillover onto the surrounding residential properties. Outdoor building-mounted security lighting shall also be shielded and directed inward to prevent glare. All parking lot lighting, with the exception of necessary security lighting, shall be turned off within one hour of the closing of the center
18. Heating and air conditioning and associated mechanical units (HVAC systems) shall be placed to the interior of the site to minimize noise impact on the surrounding residential properties. The units shall be subject to Zoning Ordinance performance standards with respect to noise levels, and shall be surrounded by vegetative screening and/or fencing so as to minimize exterior noise to the maximum extent possible.
19. Trash dumpsters shall be screened with wood or masonry enclosures which are designed to be compatible with the building; further screened from the adjacent residential properties with vegetation; and located in the area shown on the Special Exception plat. Refuse and trash removal shall be permitted only between the hours of 9:30 a.m. to 6:00 p.m., weekdays.

20. Distribution and re-heating of food prepared off-site may be permitted up to five days per week for the child care center. No on-site food preparation shall occur.
21. All signage shall be in conformance with Article 12 of the Zoning Ordinance.
22. The proposed use shall be in conformance with all applicable Performance Standards in Article 14 of the Zoning Ordinance.
23. Outdoor and exterior construction shall be permitted only between the hours of 7:00 am and 6:30 pm. Outdoor and exterior construction activities shall not be permitted on Sundays and the following legal holidays: New Years Day, Memorial Day, Independence Day, Labor Day, Thanksgiving, and Christmas.
24. Prior to the issuance of a demolition permit for the existing single family dwelling, the Applicant shall obtain the necessary permits from the Fairfax County Health Department to ensure the proper abandonment of any septic systems and the capping of any wells on the property.
25. A. Tree Preservation: The applicant shall submit a Tree Preservation Plan and Narrative as part of the first and all subsequent site plan submissions. The preservation plan and narrative shall be prepared by a Certified Arborist or a Registered Consulting Arborist, and shall be subject to the review and approval of the Urban Forest Management Division, DPWES. The tree preservation plan shall include a tree inventory that identifies the location, species, critical root zone, size, crown spread and condition analysis percentage rating for all individual trees to be preserved, as well as all on and off-site trees, living or dead with trunks 8 inches in diameter and greater (measured at 4 ½ -feet from the base of the trunk or as otherwise allowed in the latest edition of the Guide for Plant Appraisal published by the International Society of Arboriculture) located within 25 feet to either side of the limits of clearing and grading. The tree preservation plan shall provide for the preservation of those areas shown for tree preservation, those areas outside of the limits of clearing and grading shown on the Special Exception Plat and those additional areas in which trees can be preserved as a result of final engineering. The tree preservation plan and narrative shall include all items specified in PFM 12-0507 and 12-0509. Specific tree preservation activities that will maximize the survivability of any tree identified to be preserved, such as: crown pruning, root pruning, mulching, fertilization, and others as necessary, shall be included in the plan.

B. Tree Preservation Walk-Through. The Applicant shall retain the services of a certified arborist or Registered Consulting Arborist, and shall have the limits of clearing and grading marked with a continuous line of flagging prior to the walk-through meeting. During the tree-preservation walk-through meeting, the Applicant's certified arborist or landscape architect shall walk the limits of clearing and grading with an UFMD, DPWES, representative to determine where adjustments to the clearing limits can be made to increase the area of tree preservation and/or to increase the survivability of trees at the edge of the limits of clearing and grading,

and such adjustment shall be implemented. Trees that are identified as dead or dying may be removed as part of the clearing operation. Any tree that is so designated shall be removed using a chain saw and such removal shall be accomplished in a manner that avoids damage to surrounding trees and associated understory vegetation. If a stump must be removed, this shall be done using a stump-grinding machine in a manner causing as little disturbance as possible to adjacent trees and associated understory vegetation and soil conditions.

C. Limits of Clearing and Grading. The Applicant shall conform strictly to the limits of clearing and grading as shown on the Special Exception Plat, subject to allowances specified in these development conditions and for the installation of utilities and/or trails as determined necessary by the Director of DPWES, as described herein. If it is determined necessary to install utilities and/or trails in areas protected by the limits of clearing and grading as shown on the Special Exception Plat, they shall be located in the least disruptive manner necessary as determined by the UFMD, DPWES. A replanting plan shall be developed and implemented, subject to approval by the UFMD, DPWES, for any areas protected by the limits of clearing and grading that must be disturbed for such trails or utilities.

D. Tree Preservation Fencing: All trees shown to be preserved on the tree preservation plan shall be protected by tree protection fence. Tree protection fencing in the form of four (4) foot high, fourteen (14) gauge welded wire attached to six (6) foot steel posts driven eighteen (18) inches into the ground and placed no further than ten (10) feet apart or, super silt fence to the extent that required trenching for super silt fence does not sever or wound compression roots which can lead to structural failure and/or uprooting of trees shall be erected at the limits of clearing and grading as shown on the demolition, and phase I & II erosion and sediment control sheets, as may be modified by the "Root Pruning" development condition below. All tree protection fencing shall be installed after the tree preservation walk-through meeting but prior to any clearing and grading activities, including the demolition of any existing structures. The installation of all tree protection fencing shall be performed under the supervision of a certified arborist, and accomplished in a manner that does not harm existing vegetation that is to be preserved. Three (3) days prior to the commencement of any clearing, grading or demolition activities, but subsequent to the installation of the tree protection devices, the UFMD, DPWES, shall be notified and given the opportunity to inspect the site to ensure that all tree protection devices have been correctly installed. If it is determined that the fencing has not been installed correctly, no grading or construction activities shall occur until the fencing is installed correctly, as determined by the UFMD, DPWES. For the purpose of demolition permitting only, the required tree protection fencing shall be limited to the areas required to demolish the structures including access from the public street as reviewed and approved by UFMD.

E. Root Pruning. The Applicant shall root prune, as needed to comply with the tree preservation requirements of these development conditions. All treatments shall be clearly identified, labeled, and detailed on the erosion and sediment control sheets of

the subdivision plan submission. The details for these treatments shall be reviewed and approved by the UFMD, DPWES, accomplished in a manner that protects affected and adjacent vegetation to be preserved, and may include, but not be limited to the following:

- Root pruning shall be done with a trencher or vibratory plow to a depth of 18 inches.
- Root pruning shall take place prior to any clearing and grading, or demolition of structures.
- Root pruning shall be conducted with the supervision of a certified arborist.
- An UFMD, DPWES, representative shall be informed when all root pruning and tree protection fence installation is complete.

F. Site Monitoring. During any clearing or tree/vegetation/structure removal on the Applicant Property, a representative of the Applicant shall be present to monitor the process and ensure that the activities are conducted as proffered and as approved by the UFMD. The Applicant shall retain the services of a certified arborist or Registered Consulting Arborist to monitor all construction and demolition work and tree preservation efforts in order to ensure conformance with all tree preservation proffer, development conditions, and UFMD approvals. The monitoring schedule shall be described and detailed in the Landscaping and Tree Preservation Plan, and reviewed and approved by the UFMD, DPWES.

G. Invasive Species Management. The applicant shall create and implement an invasive species management program for all tree conservation areas that may contain invasive plant material that clearly identifies targeted areas and species, details removal and treatment techniques, replanting with herbaceous and woody material, monitoring, and program duration in accordance with PFM 12-0404.2B and 12-0509.3D.

This approval, contingent on the above noted conditions, shall not relieve the applicant from compliance with the provisions of any applicable ordinances, regulations, or adopted standards. The applicant shall be responsible for obtaining the required Non-Residential Use Permit (Non-RUP) through established procedures, and this Special Exception Amendment shall not be valid until this has been accomplished.

Pursuant to Section 9-015 of the Zoning Ordinance, this special exception amendment shall automatically expire, without notice, thirty (30) months after the date of approval unless a new (Non-RUP) has been issued to reflect this special exception amendment. The Board of Supervisors may grant additional time to establish the use or to commence construction if a written request for additional time is filed with the Zoning Administrator prior to the date of expiration of the Special Exception Amendment. The request must specify the amount of additional time requested, the basis for the amount of time requested and an explanation of why additional time is required.