



APPLICATION ACCEPTED: September 10, 2014
PLANNING COMMISSION: January 22, 2015
BOARD OF SUPERVISORS: February 17, 2015

County of Fairfax, Virginia

January 15, 2015

STAFF REPORT ADDENDUM

SPECIAL EXCEPTION AMENDMENT APPLICATION SEA 94-D-002-02

DRANESVILLE DISTRICT

APPLICANT:	Wesley Hamel Lewinsville, LLC
ZONING:	R-3
PARCEL(S):	30-3 ((1)) 0042
LOCATION:	1609 Great Falls Street
ACREAGE:	8.66 acres
FAR (for public facility):	0.24
DENSITY (for independent living):	13.72 du/ac
OPEN SPACE:	55%
PLAN MAP:	Public Facility
SE CATEGORY:	Category 3 Use: Alternate Use of Public Facility
PROPOSAL:	To permit development of site with new buildings for child care center, senior center, independent living facility.

STAFF RECOMMENDATIONS:

Staff recommends that the Board of Supervisors approve SEA 94-D-002-02 subject to the proposed development conditions in Attachment 1.

Suzanne Wright

Staff recommends that the Board modify the transitional screening requirements along the periphery of this site in favor of that shown on the SEA Plat.

Staff recommends that the Board of Supervisors modify the barrier requirements along the periphery of this site in favor of that shown on the SEA Plat.

Staff recommends that the Board modify Standard 1 of Sect. 9-306 to permit residents 55 years of age or older in the proposed independent living facility.

Staff recommends that the Board modify Standard 10 of Sect. 9-306 to permit the front yard setback along Great Falls Street to that depicted on the SEA Plat.

Staff recommends that the Board modify the Bicycle Master Plan trail requirement along Great Falls Street in favor of that shown on the SEA Plat.

It should be noted that it is not the intent of staff to recommend that the Board, in adopting any conditions proffered by the owner, relieve the applicant/owner from compliance with the provisions of any applicable ordinances, regulations, or adopted standards.

It should be further noted that the content of this report reflects the analysis and recommendation of staff; it does not reflect the position of the Board of Supervisors.

The approval of this rezoning does not interfere with, abrogate or annul any easement, covenants, or other agreements between parties, as they may apply to the property subject to this application.

For information, contact the Zoning Evaluation Division, Department of Planning and Zoning, 12055 Government Center Parkway, Suite 801, Fairfax, Virginia 22035-5505, (703) 324-1290.

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Americans with Disabilities Act (ADA): Reasonable accommodation is available upon 7 days advance notice. For additional information on ADA call (703) 324-1334 or TTY 711 (Virginia Relay Center).

**A GLOSSARY OF TERMS FREQUENTLY
USED IN STAFF REPORTS WILL BE
FOUND AT THE BACK OF THIS REPORT**

BACKGROUND AND DESCRIPTION OF THE APPLICATION

The applicant, Wesley Hamel Lewinsville, LLC, requests approval of a Special Exception Amendment (SEA) to allow alternative use of public facilities on the subject site to include independent living units, a senior center, child care center and adult day care.

In the staff report published on January 8, 2015, staff noted that while the subject application met the applicable standards for an SEA, certain aspects of the application could be improved. Specifically, staff had noted: (1) that the layout did not meet the Bicycle Master Plan recommendations; (2) that the stormwater management (SWM) system met requirements but could be enhanced with more innovative facilities and/or techniques; and (3) that some sort of recreational equipment or area should be provided since the applicant proposed to remove an existing diamond field.

In response, the applicant has reviewed the site layout and provided a new SEA Plat as revised through January 14, 2015, which seeks to address the three issues listed above, including: the requested multi-use path along Great Falls Street; review of the stormwater management system onsite; and provision of a possible play area near the rectangle field. Staff has not had an opportunity to review these changes as the revised SEA Plat was received the day prior to publication of this addendum (January 14, 2015). Staff will continue to review the details of the most recent SEA Plat prior to the Planning Commission public hearing, scheduled for January 22, 2015.

The revised SEA Plat is attached at Attachment 2.

In addition, the development conditions have been revised (Attachment 1). Key changes include:

- a. Condition 11 has been modified per the request of the applicant to note that peripheral fencing will be provided prior to construction activities, but that transitional landscaping will be provided prior to the issuance of the first Residential Use or Non Residential Use Permit (RUP or Non-RUP). Those permits are the appropriate time as a site inspection is triggered at that time. If the transitional landscaping can be installed earlier, the applicant may do so.
- b. Condition 19 has been revised with regard to innovative stormwater management practices that will be expected onsite. Condition 20 was removed and incorporated into Condition 19.
- c. Condition 24 was amended to remove the final sentence relating to outdoor lighting on the field. Outdoor lighting would require 2232 approval through a public hearing

process. As such, staff does not believe it is necessary to prohibit outdoor lighting of the field with this SEA.

- d. Condition 28 was edited because independent living facilities are not subject to the provisions of Part 8 of Article 2 of the Zoning Ordinance.

Recommendation

Staff recommends that the Board of Supervisors approve SEA 94-D-002-02 subject to the proposed development conditions in Attachment 1.

Staff recommends that the Board modify the transitional screening requirements along the periphery of this site in favor of that shown on the SEA Plat.

Staff recommends that the Board of Supervisors modify the barrier requirements along the periphery of this site in favor of that shown on the SEA Plat.

Staff recommends that the Board modify Standard 1 of Sect. 9-306 to permit residents 55 years of age or older in the proposed independent living facility.

Staff recommends that the Board modify Standard 10 of Sect. 9-306 to permit the front yard setback along Great Falls Street to that depicted on the SEA Plat.

Staff recommends that the Board modify the Bicycle Master Plan trail requirement along Great Falls Street in favor of that shown on the SEA Plat.

It should be noted that it is not the intent of staff to recommend that the Board, in adopting any conditions proffered by the owner, relieve the applicant/owner from compliance with the provisions of any applicable ordinances, regulations, or adopted standards. The approval of this application does not interfere with, abrogate or annul any easements, covenants, or other agreements between parties, as they may apply to the property subject to this application.

It should be further noted that the content of this report reflects the analysis and recommendations of staff; it does not reflect the position of the Board of Supervisors.

ATTACHMENTS

1. Revised Proposed Development Conditions dated January 14, 2015
2. SEA Plat as revised through 1/14/2015

LEWINSVILLE CENTER

SPECIAL EXCEPTION AMENDMENT APPLICATION

FAIRFAX COUNTY, VIRGINIA
SEA 94-D-002-02
 AUGUST 8, 2014
 REVISED AUGUST 26, 2014
 REVISED OCTOBER 30, 2014
 REVISED JANUARY 05, 2015
 REVISED JANUARY 14, 2015

CIVIL

- C-1 COVER SHEET
- C-2 NOTES, TABULATIONS, AND DETAILS
- C-3 DENSITY INTENSITY TABULATION
- C-4 EXISTING CONDITIONS
- C-5 EXISTING VEGETATION MAP
- C-6 SPECIAL EXCEPTION AMENDMENT PLAT
- C-7 CONCEPT UTILITY PLAN
- C-7A ALTERNATE SWM/BMP AUGMENTATION PLAN
- C-8 VEHICULAR CIRCULATION/STRIPING PLAN
- C-9 BMP CALCULATIONS
- C-10 STORMWATER MANAGEMENT COMPUTATIONS
- C-11 STORMWATER MANAGEMENT COMPUTATIONS
- C-12 ADEQUATE OUTFALL
- C-13 ADEQUATE OUTFALL
- C-13A ADEQUATE OUTFALL
- C-14 OVERALL LANDSCAPE PLAN
- C-14A OVERALL "PRESENTATION" LANDSCAPE PLAN
- C-15 DETAILED LANDSCAPE PLAN PART 1
- C-15A DETAILED LANDSCAPE PLAN PART 2
- C-16 LANDSCAPE TABULATION AND EXHIBITS
- C-17 LANDSCAPE DETAILS AND SPECIFICATIONS
- C-18 CORRESPONDENCE
- C-19 SIGHT DISTANCE PROFILE
- C-20 SIGHT DISTANCE PROFILE

SHEET INDEX

ARCHITECTURAL

- A-2.1 ELEVATIONS
- A-3.0.1 ELEVATIONS



SOIL MAP
 SCALE: 1"=500'



VICINITY MAP
 SCALE: 1"=500'

OWNER

FAIRFAX COUNTY BOARD OF SUPERVISORS
 CONTACT: MR. EDWARD L. LONG JR. COUNTY EXECUTIVE

APPLICANT/DEVELOPER

FAIRFAX COUNTY REDEVELOPEMENT AND HOUSING AUTHORITY
 DEPARTMENT OF HOUSING AND COMMUNITY DEVELOPMENT
 3700 PENDER AVENUE, SUITE 300
 FAIRFAX, VIRGINIA 22030
 CONTACT: MR. HOSSEIN MALAYERI PE
 (703) 246-5100

APPLICANT/DEVELOPER

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 5515 CHEROKEE AVENUE, SUITE 200
 ALEXANDRIA, VIRGINIA 22312
 CONTACT: MS. KAMILAH McAFEE
 (703) 642-3830

ENGINEER

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 CONTACT: MR. JOHN F. AMATETTI PE
 (703) 442-7800

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ARCHITECT

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 (703) 903-9100

ARCHITECT

WEINCEK + ASSOCIATES + PLANNERS
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 GAITHERSBURG, MARYLAND 20877
 CONTACT: MR. SCOTT KNUDSON AIA
 (301) 948-6220

SOILS DATA

SOIL ID. NUMBER	SERIES NAME	FOUNDATION SUPPORT	SUBSURFACE DRAINAGE	ERODABILITY	PROBLEM CLASS
95	URBAN LAND	N/A	N/A	N/A	III
101	URBAN LAND WHEATON COMPL.	GOOD	FAIR	HIGH	IVB
102	WHEATON LOAM	GOOD	FAIR	HIGH	IVB
105B	WHEATON- GLENELG COMPLEX	GOOD	GOOD	HIGH	IVB
105C	WHEATON- GLENELG COMPLEX	GOOD	GOOD	HIGH	IVB
108B	WHEATON- SUMERDUCK COMPL.	MARGINAL	POOR	MEDIUM	IVB



JANUARY 14, 2015
 SHEET C-1 OF C-20

NOTES

- THE PROPERTY SHOWN HEREON IS LOCATED ON FAIRFAX COUNTY TAX ASSESSMENT MAP NO. 30-3--(11)-42 RECORDED IN DEED BOOK 6172 AT PAGE 839.
- THE PROPERTY IS CURRENTLY ZONED R-3 AND IS SUBJECT TO THE CONDITIONS OF SPECIAL EXCEPTION AMENDMENT SEA 94-D-002. THIS AMENDMENT PROPOSES TO REDUCE AND RELOCATE THE AMOUNT OF CHILD CARE, SENIOR CARE AND SENIOR CENTER GROSS FLOOR AREA PREVIOUSLY APPROVED AS AN ALTERNATIVE USE OF PUBLIC FACILITIES. IN ADDITION, THIS AMENDMENT PROPOSES THE ESTABLISHMENT OF AN INDEPENDENT LIVING FACILITY OF 82 UNITS. ALL EXISTING STRUCTURES WILL BE DEMOLISHED.
- THE HORIZONTAL DATUM SHOWN HEREON, VIRGINIA STATE GRID NORTH, AND IS REFERENCED TO VCS 83 IS BASED ON A FIELD RUN SURVEY.
- THE VERTICAL DATUM IS TIED TO USGS NGVD 29.
- THE CONTOUR INTERVAL SHOWN IS 2' - 0".
- THE BOUNDARY INFORMATION SHOWN HEREON IS THE RESULT OF FIELD RUN BOUNDARY SURVEY PERFORMED BY VIKI, VIRGINIA LLC. ZONE LINE FROM MAPPINGS RECORDS.
- THE SUBJECT PROPERTY LIES WITHIN THE McLEAN PLANNING DISTRICT, KIRBY COMMUNITY PLANNING SECTION (M3) OF THE COMPREHENSIVE PLAN FOR FAIRFAX COUNTY, LAND UNIT M3.
- PUBLIC WATER AND SANITARY SEWER ARE AVAILABLE OR WILL BE EXTENDED TO SERVE THE DEVELOPMENT.
- STORMWATER MANAGEMENT AND WATER QUALITY FACILITIES WILL BE CONSTRUCTED ON THE SITE IN A COMBINATION OF DRY PONDS AND URBAN UNDERGROUND BMP SYSTEMS AND WILL BE MAINTAINED ACCORDING TO THE APPLICABLE ORDINANCES AND PRACTICES OF FAIRFAX COUNTY UNLESS WAIVED OR MODIFIED BY THE DIRECTOR OF DPWES. ADEQUATE STORM DRAINAGE SYSTEM IN ACCORDANCE WITH THE PUBLIC FACILITIES MANUAL, STANDARDS AND DESIGN CRITERIA WILL BE PROVIDED.
- TO THE BEST OF OUR KNOWLEDGE, NO GRAVE SITES OR STRUCTURES MARKING A BURIAL SITE ARE PRESENT ON THE SUBJECT PROPERTY.
- TO THE BEST OF OUR KNOWLEDGE HAZARDOUS AND TOXIC SUBSTANCES ARE NOT KNOWN TO EXIST ON THE SUBJECT PROPERTY.
- THE SUBJECT PROPERTIES LIES WITHIN ZONE X (AREA DETERMINED TO BE OUTSIDE 500-YEAR FLOODPLAIN) IN ACCORDANCE WITH FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NUMBER 5155250025 D, LAST REVISED MARCH 5, 1990. THERE IS NO COUNTY DEFINED FLOODPLAIN ON THE PROPERTY.
- THE DEVELOPMENT OF THE SUBJECT PROPERTY SHALL GENERALITY CONFORM TO THE LIMITS OF CLEARING AND GRADING SHOWN ON THE SEA PLAT SUBJECT TO THE INSTALLATION OF UTILITY LINES AND FROM FRONTAGE IMPROVEMENTS AS NECESSARY, AS APPROVED BY DPW&ES AND IF NECESSARY, AS APPROVED BY URBAN FORESTER.
- SEE MAXIMUM BUILDING HEIGHT IN SITE TABULATION THIS SHEET.
- DEVELOPMENT WILL COMMENCE UPON COMPLETION OF REQUIRED FAIRFAX COUNTY PLAN PROCESSING AND APPROVALS
- TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE PROPOSED USE CONFORMS TO THE PROVISIONS OF ALL APPLICABLE ORDINANCES, REGULATIONS AND ADOPTED STANDARDS WITH THE EXCEPTION OF WAIVERS AND MODIFICATIONS REQUESTED.
- THE LANDSCAPING SHOWN HEREON MAY CHANGE WITH FINAL ENGINEERING AND DESIGN. A DETAILED LANDSCAPE PLAN WILL BE SUBMITTED IN CONJUNCTION WITH THE SITE PLAN, WHICH SHALL BE IN SUBSTANTIAL CONFORMANCE WITH THE LANDSCAPE FEATURES PRESENTED ON THE SEA PLAT AND IN ACCORDANCE WITH THE ZONING ORDINANCE.
- IN ACCORDANCE WITH THE ZONING ORDINANCE, MINOR MODIFICATIONS TO THE SIZES, DIMENSIONS, FOOTPRINTS AND LOCATIONS OF BUILDINGS, PARKING SPACES, SIDEWALKS, OPEN SPACE AND UTILITIES MAY OCCUR WITH FINAL ENGINEERING AND DESIGN. MODIFICATIONS SHALL NOT REDUCE BUILDING SETBACKS FROM PERIMETER PROPERTY LOT LINES AS SHOWN ON THE SEA PLAT OR DECREASE LANDSCAPING IN SUBSTANTIAL CONFORMANCE WITH THE SEA PLAT.
- THE FOOTPRINTS REPRESENTED HEREON ARE APPROXIMATE. BUILDING FOOTPRINTS MAY BE INCREASED OR DECREASED, SO LONG AS THE MINIMUM OPEN SPACE PROVIDED IN THE TABULATION AND THE MINIMUM DIMENSIONS TO THE PERIPHERAL LOT LINES ARE NOT DIMINISHED. REVISED FOOTPRINTS WILL BE IN SUBSTANTIAL CONFORMANCE WITH SEA PLAT. RETAINING WALLS MAY BE ADDED TO THE SITE PLAN AND WILL BE SPECIFIED AT THE TIME OF FINAL ENGINEERING.
- THE PROPOSED DEVELOPMENT ON THE SUBJECT PROPERTY WILL NOT POSE ANY ADVERSE EFFECT ON ADJACENT OR NEIGHBORING PROPERTIES.
- THE FAIRFAX COUNTY COMPREHENSIVE TRAILS PLAN INDICATES BIKING AND PEDESTRIAN TRAILS ADJACENT TO THE SUBJECT PROPERTY.
- IMPROVEMENTS ARE PROPOSED TO GREAT FALLS STREET BUT NOT EVERS DRIVE WITH THIS APPLICATION.
- THERE ARE NO EASEMENTS 25 FEET OR GREATER IN WIDTH ON THIS PROPERTY.
- THERE IS NO RPA OR ENVIRONMENTAL QUALITY CORRIDORS AS DEFINED IN THE ADOPTED COMPREHENSIVE PLAN ON THIS SITE.
- A REQUEST FOR AN ALTERNATE USE OF A PUBLIC FACILITY IS A CATEGORY 3 SPECIAL EXCEPTION USE AND IS SUBJECT TO, AMONG OTHERS, THE SPECIAL EXCEPTION STANDARDS FOR ALL CATEGORY 3 USES CONTAINED IN SECTIONS 9-304 AND 9-311 OF THE ZONING ORDINANCE, AND THE GENERAL STANDARDS FOR SPECIAL EXCEPTIONS CONTAINED IN SECTION 9-006 OF THE ZONING ORDINANCE.
- EXISTING PERIMETER FENCE ALONG ADJACENT TO PROPOSED FIELD TO REMAIN. PROPOSED 4' CHAIN LINK FENCE TO ENCLOSE TOT LOT PLAY AREA. ALL OTHER EXISTING SITE FENCING TO BE REMOVED. SEE TRANSITIONAL YARD BARRIER REQUIREMENTS/MODIFICATIONS.
- NO EXTERNAL LOUDSPEAKERS ARE PROPOSED.
- ALL SIGNS WILL BE IN ACCORDANCE WITH ARTICLE 12 OF THE ZONING ORDINANCE. NO SPECIFIC DESIGN OR SIZE HAS BEEN PROPOSED AT THIS TIME.
- LIMITS OF CLEARING AND GRADING SHOWN ON THE SEA ARE PRELIMINARY AND ARE SUBJECT TO MODIFICATION WITH FINAL ENGINEERING, PARTICULARLY IN THE AREA OF PUBLIC RIGHTS OF WAY TRAILS AND EASEMENTS. THE DEVELOPMENT OF THE SITE WILL BE IN GENERAL CONFORMANCE WITH THESE LIMITS. FINAL LIMITS OF CLEARING AND GRADING WILL TAKE INTO CONSIDERATION FINAL SITE ENGINEERING AND SHALL BE SUBMITTED FOR REVIEW AND APPROVAL BY THE COUNTY URBAN FORESTER AT THE TIME OF SITE PLAN REVIEW.
- ADDITIONAL SITE FEATURES AND ACCESSORY USES AND IMPROVEMENTS SUCH AS PLAZAS, GAZEBOS, FENCING LESS THAN 3' IN HEIGHT, CORNICES, TRELLISES, ENTRANCE SIGNS, LIGHTS AND/OR WALLS NOT REPRESENTED HEREON MAY BE PROVIDED WITHOUT THE NEED FOR INTERPRETATION, OR SEA.
- THE PROJECT WILL MEET THE MINIMUM PARKING REQUIREMENTS AS SET FORTH IN ARTICLE 11 OF THE ZONING ORDINANCE. SEE PARKING TABULATION. THE ACTUAL NUMBER OF PARKING SPACES PROVIDED MAY BE ADJUSTED AT SITE PLAN BASED UPON THE ACTUAL NUMBER OF UNITS AND THE ACTUAL SQUARE FOOTAGE OF NON-RESIDENTIAL USES
- APPLICANT RESERVES THE RIGHT TO DETERMINE THE FINAL NUMBER OF UNITS, THE AMOUNT OF CELLAR SQUARE FOOTAGE AND THE FINAL GFA OF THE BUILDINGS WITH THE SITE PLAN, SO LONG AS MAXIMUM LIMITS ARE NOT EXCEEDED. THE APPLICANT RESERVES THE RIGHT TO LOCATE SECONDARY AND ACCESSORY USES IN THE BUILDINGS AND ON THE SITE.
- THE SUBJECT PROPERTY MAY BE SUBDIVIDED IN THE FUTURE FOR THE PURPOSE OF SALE, JOINT VENTURE, OR PHASING AS SET FORTH IN Z.O. SECTION 6-403. ANY PROPOSED SUBDIVISION MAY BE MODIFIED ADMINISTRATIVELY BY THE DIRECTOR OF DPW & ES WITHOUT REQUIRING MODIFICATION OR AMENDMENT OF THE SEA OR AN INTERPRETATION.
- ACCESSORY USES AS IDENTIFIED UNDER ARTICLES 2, 6 AND 10 OF THE ZONING ORDINANCE MAY BE PROVIDED. THESE USES MAY INCLUDE BUT NOT BE LIMITED TO THE FOLLOWING:
 - ACCESSORY STRUCTURES
 - FLAG POLES
 - FENCES
 - CORNICES, CANOPIES, AWNINGS, EAVES AND OTHER SIMILAR FEATURES
 - OPEN FIRE BALCONIES, FIRE ESCAPES, UNCOVERED STAIRS AND STOOPS
 - AIR CONDITIONERS, HEAT PUMPS, EMERGENCY GENERATORS AND OTHER SIMILAR EQUIPMENT
 - BAY WINDOWS, ORIELS AND CHIMNEYS
 - ACCESSIBILITY IMPROVEMENTS AND LAY-BY PARKING SPACE IN FRONT OF THE PROPOSED BUILDINGS
 - OUTDOOR PATIOS NOT OVER FOUR (4) FEET IN HEIGHT ABOVE THE FINISHED GRADE
 - DECORATIVE WALLS FOR LANDSCAPING NOT OVER THREE (3) FEET IN HEIGHT ABOVE THE FINISHED GRADE
 - OUTDOOR CAFE SEATING AREAS

- MARKED CROSSWALK LOCATIONS INDICATED ON THE SE ARE CONCEPTUAL. FINAL LOCATIONS SHALL BE DETERMINED AT SITE PLAN AND UPON VDOT APPROVAL AND MAY BE MODIFIED WITHOUT THE NEED FOR A SE AMENDMENT OR INTERPRETATION.
- THE FINAL LOCATION AND TYPE OF ACCESSIBLE RAMPS AND STREET ACCESSIBLE PARKING SPACE LOCATIONS SHALL BE DETERMINED AT SITE PLAN.
- ALL ENTRANCES ON PUBLIC STREETS SHALL TYPICALLY BE CONSTRUCTED AS VDOT STANDARD ENTRANCE UNLESS INDICATED OTHERWISE AND AS DETERMINED BY VDOT.
- ALL IMPROVEMENTS IN PUBLIC SPACE INCLUDING ROADWAY'S LANDSCAPING, LANE USE AND BIKE DESIGNATIONS SUCH AS SHARROWS (EX., INTERIM, OR PLANNED) ARE SUBJECT TO REVIEW AND APPROVAL BY VDOT AT THE TIME OF FINAL SITE PLAN AND MAY BE MODIFIED WITHOUT THE NEED FOR SEA AMENDMENT, SO LONG AS CHANGES ARE IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED SE PLAT.
- THE ATHLETIC FIELDS WILL NOT BE LIGHTED.
- THE ATHLETIC FIELD AREA SHALL BE OCCUPIED AND UTILIZED WITH TEMPORARY TRAILERS DURING CONSTRUCTION OF THE NEW COUNTY FACILITY.
- ALL PEDESTRIAN RAMPS SHALL MEET ADA REQUIREMENTS

WAIVERS/MODIFICATIONS ZONING ORDINANCE

- THE APPLICANT REQUESTS A MODIFICATION OF THE TRANSITIONAL SCREENING AND BARRIER REQUIREMENTS ALONG ALL PROPERTY BOUNDARIES IN FAVOR OF THAT INDICATED ON THE EXISTING VEGETATION MAP, SEA PLAT AND LANDSCAPE PLANS. A MODIFICATION OF THESE REQUIREMENTS WAS PREVIOUSLY APPROVED ON THE SITE IN FAVOR OF EXISTING AND SUPPLEMENTAL LANDSCAPING WITH SEA 94-D-002. THIS APPLICATION PROPOSES TO INCREASE SIGNIFICANTLY THE QUANTITY OF THE SUPPLEMENTAL LANDSCAPING.
 - A: NORTH PROPERTY LINE**
 - YARD WIDTH MODIFICATION FROM 35' (REQUIRED) TO 15' (PROVIDED)
 - MODIFICATION OF BARRIER TYPE FROM 8' BLOCK WALL (REQUIRED TO SUPPORT YARD REDUCTION) TO 6' HT BOARD-ON-BOARD FENCE WITH MASONRY PIERS (PROVIDED) TO QUALIFY FOR YARD WIDTH REDUCTION REQUEST
 - LANDSCAPE SCREENING MODIFICATION (RETAIN AND SUPPLEMENT EXISTING VEGETATION AS SHOWN)
 - B: SOUTH PROPERTY LINE**
 - YARD TO INCLUDE PLAY FIELD
 - LANDSCAPE SCREENING MODIFICATION (RETAIN AND SUPPLEMENT EXISTING VEGETATION AS SHOWN)
 - BARRIER WAIVER
 - C: EAST PROPERTY LINE**
 - YARD WIDTH MODIFICATION FROM 35' (REQUIRED) TO 15' (PROVIDED)
 - MODIFICATION OF BARRIER TYPE FROM 8' BLOCK WALL (REQUIRED TO SUPPORT YARD REDUCTION) TO 6' HT BOARD-ON-BOARD FENCE WITH MASONRY PIERS (PROVIDED) TO QUALIFY FOR YARD WIDTH REDUCTION REQUEST
 - LANDSCAPE SCREENING MODIFICATION (RETAIN AND SUPPLEMENT EXISTING VEGETATION AS SHOWN)
 - D: WEST PROPERTY LINE**
 - YARD WIDTH MODIFICATION FROM 35' (REQUIRED) TO A VARYING DIMENSION AS SHOWN ON THE SEA PLAT
 - LANDSCAPE MODIFICATION (SEE LANDSCAPE PLAN FOR PROPOSED PLANTING PLAN)
 - WAIVER OF 35' BARRIER REQUIREMENT
- THE APPLICANT REQUESTS A MODIFICATION OF THE 50 FOOT FRONT YARD REQUIREMENT OF PARAGRAPH 10A OF SECTION 9-306 OF THE ZONING ORDINANCE TO ESTABLISH A 40 FOOT FRONT YARD AS DEPICTED ON THE PROPOSED SPECIAL EXCEPTION AMENDMENT PLAT ALONG GREAT FALLS STREET. (30 FEET AFTER DEDICATION)
- THE APPLICANT REQUESTS A WAIVER OF PFM 6-0303.8 TO PROVIDE STORMWATER MANAGEMENT FACILITIES (SWM AND BMP) WITHIN UNDERGROUND SYSTEMS WITHIN THE RESIDENTIAL USE OF THE PROPOSED DEVELOPMENT.

BULK REGULATIONS

AREA ZONED R-3 :	377,130 SF	
TOTAL AREA:	377,130 SF	
MINIMUM LOT AREA REQUIRED:	10,500 SF	
LOT AREA PROVIDED:	377,130 SF IN R-3 ZONE	
MINIMUM LOT WIDTH REQUIRED:	80'	
LOT WIDTH PROVIDED:	623.23' ON GREAT FALLS STREET	
REAR YARD:	630.15' ON EVERS DRIVE	
MAXIMUM BUILDING HEIGHT:	60'	
SIDE YARD: (NORTH):	35' ANGLE OF BULK PLANE, NOT LESS THAN 10'	PROPOSED: ±29' AND ±28'
SIDE YARD: (SOUTH):	35' ANGLE OF BULK PLANE, NOT LESS THAN 10'	PROPOSED: 48'±
*FRONT YARD:	40' ANGLE (SETBACK) OF BULK PLANE, NOT LESS THAN 30'	PROPOSED: 25'±
*ADDITIONAL YARD REQUIREMENTS, PER SECTION 9-306)		PROPOSED: 30' (GREAT FALLS) & 90' (EVERS DRIVE)

SITE TABULATIONS

TOTAL LAND AREA	8.6577 ACRES	= 377,130 SF	
		= 128,009 SF FOR COUNTY FACILITY AND 249,121 SF FOR INDEPENDENT LIVING	
FLOOR AREA RATIO	R-3 FAR	0.25 MAXIMUM	
EXISTING DAY CARE/SENIOR CENTER:	38,355 GSF/377,130	0.11 FAR	SEE SHEET C-3
PROPOSED DAY CARE/SENIOR CENTER	32,000 GSF/128,009	0.24 FAR	FOR AREA DESIGNATION
DENSITY*			
INDEPENDENT LIVING FACILITY:			
5.719 ACRES X 12 UNITS* (R-3)	= 68.60 UNITS	SEE SHEET C-3	
68.60 X 20% ADUs	= 13.72 UNITS	FOR AREA DESIGNATION	
TOTAL	68.6 + 13.72	= 82 UNITS	
*DENSITY CALCULATION BASED ON PAR. 6 OF SECTION 9-306.			
OPEN SPACE	REQUIRED	PROVIDED	
	N/A	55%	
TREE COVER	REQUIRED	PROVIDED	
	25%	25% MIN.	

ADDITIONAL STANDARDS FOR INDEPENDENT LIVING FACILITIES
 ALL ADDITIONAL STANDARDS ARE MET EXCEPT AS REQUESTED FOR MODIFICATION AS FOLLOWS:
 • WHERE THE YARD ABUTS OR IS ACROSS A STREET FROM AN AREA ADOPTED IN THE COMPREHENSIVE PLAN FOR 0.2 TO 8 DWELLING UNITS PER ACRE - 50 FEET. (PAR. 10A OF SECT. 9-306)
 SEE MODIFICATION REQUEST FOR 30' FRONT YARD
 • TRANSITIONAL SCREENING SHALL BE PROVIDED IN ACCORDANCE WITH THE PROVISIONS OF ARTICLE 13, AND FOR THE PURPOSE OF THAT ARTICLE, AN INDEPENDENT LIVING FACILITY SHALL BE DEEMED A MULTIPLE FAMILY DWELLING.
 SEE MODIFICATION REQUEST.

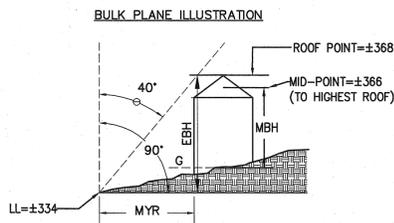
PARKING TABULATION

USE	RATE	REQUIRED	PROVIDED
INDEPENDENT LIVING	1 SPACE/4 UNITS	82/4 =	21 SPACES
	1 SPACE / STAFF	3 X 1 =	3 SPACES
SENIOR CENTER	1 SPACE/3 PERSONS	80/3=	26 SPACES
	1 SPACE/STAFF	5 X 1=	5 SPACES
ADULT DAY CARE	0.19 SPACES/PERSON	80 X 0.19=	16 SPACES
CHILD DAY CARE	0.16 SPACES/PERSON	210 X 0.16=	34 SPACES
PLAY FIELD	TO BE DETERMINED BY DPW&ES		57 PROPOSED SPACES
TOTAL			162 SPACES 162 SPACES*

*8 SPACES WILL BE ACCESSIBLE, INCLUDING VAN SPACES

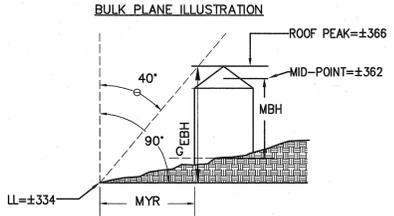
R-3 BULK PLANE ILLUSTRATION

NOT TO SCALE



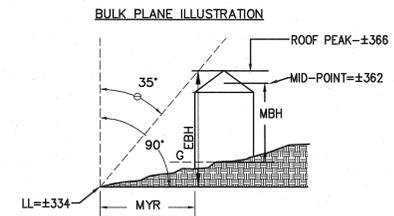
θ : ANGLE OF BULK PLANE = 40° (FRONT YARD) (MIN 30°)
 LL : LOT LINE (ELEV = 334±)
 MYR : MINIMUM YARD REQUIREMENT 30' BULK PLANE, 30' MIN (30' PROVIDED)
 EBH : EFFECTIVE BUILDING HEIGHT (35'±)
 MBH : MAXIMUM BUILDING HEIGHT (29'±)
 G : GRADE FOR HEIGHT CALCULATIONS = 337'±
 MYR = EBH tan θ
 EBH = MYR / tan θ

FRONT YARD (GREAT FALLS STREET)



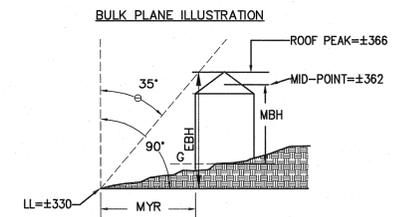
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 LL : LOT LINE (ELEV = 334±)
 MYR : MINIMUM YARD REQUIREMENT 27' BULK PLANE, 30' MIN. (90' PROVIDED)
 EBH : EFFECTIVE BUILDING HEIGHT (32'±)
 MBH : MAXIMUM BUILDING HEIGHT (28'±)
 G : GRADE FOR HEIGHT CALCULATIONS= 334'±
 MYR = EBH tan θ
 EBH = MYR / tan θ

FRONT YARD (EVERS DRIVE)



θ : ANGLE OF BULK PLANE = 35° (SIDE YARD) (MIN 10°)
 LL : LOT LINE (ELEV = 334±)
 MYR : MINIMUM YARD REQUIREMENT 22' BULK PLANE, 10' MIN. (48' PROVIDED)
 EBH : EFFECTIVE BUILDING HEIGHT (32'±)
 MBH : MAXIMUM BUILDING HEIGHT (28'±)
 G : GRADE FOR HEIGHT CALCULATIONS= 334'±
 MYR = EBH tan θ
 EBH = MYR / tan θ

SIDE YARD (NORTH)



θ : ANGLE OF BULK PLANE = 35° (SIDE YARD) (MIN 10°)
 LL : LOT LINE (ELEV = 330±)
 MYR : MINIMUM YARD REQUIREMENT 26' BULK PLANE, 10' MIN. (255' PROVIDED)
 EBH : EFFECTIVE BUILDING HEIGHT (36'±)
 MBH : MAXIMUM BUILDING HEIGHT (28'±)
 G : GRADE FOR HEIGHT CALCULATIONS= 334'±
 MYR = EBH tan θ
 EBH = MYR / tan θ

SIDE YARD (SOUTH)

VIKA REVISIONS

NO.	DATE	DESCRIPTION

REVISED JAN 14, 2015
 REVISED JAN 05, 2015
 REVISED OCT 30, 2014
 REVISED AUG 26, 2014
 DATE: AUG 8, 2014

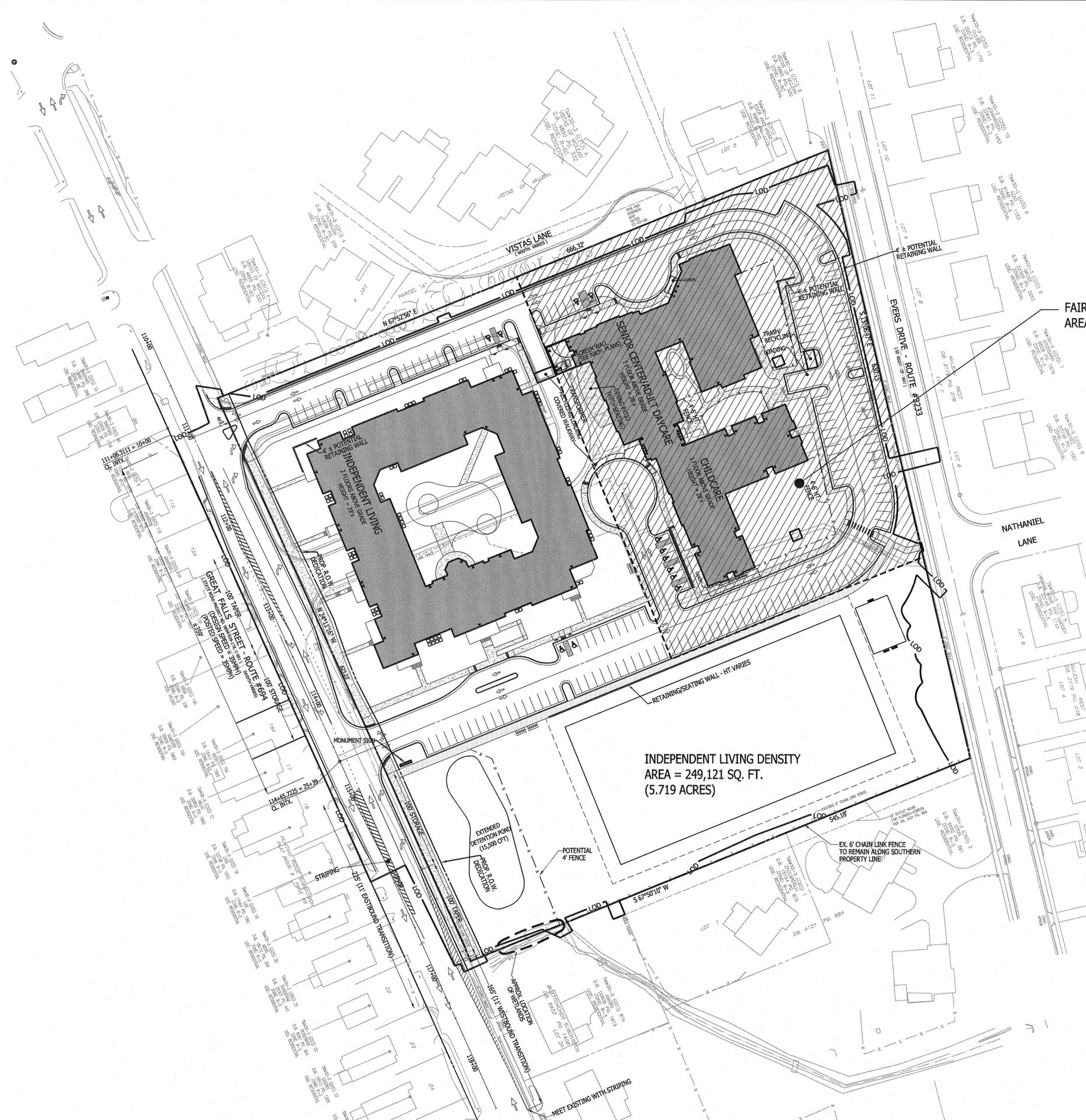
DES. DK DWN. DK

SCALE: NOT TO SCALE

PROJECT/FILE NO. 6307900

SHEET NO. C-2





FAIRFAX COUNTY INTENSITY
AREA = 128,009 SQ. FT.

INDEPENDENT LIVING DENSITY
AREA = 249,121 SQ. FT.
(5.719 ACRES)



VA STATE GRID NORTH
(VSC 83)
GRAPHIC SCALE
(IN FEET)
1 inch = 50 ft.



NO.	DATE	DESCRIPTION
		COUNTY REVISIONS

LEWINSVILLE CENTER
SEA PLAT
DRANESVILLE DISTRICT
FAIRFAX COUNTY, VIRGINIA

**DENSITY INTENSITY
TABULATION**

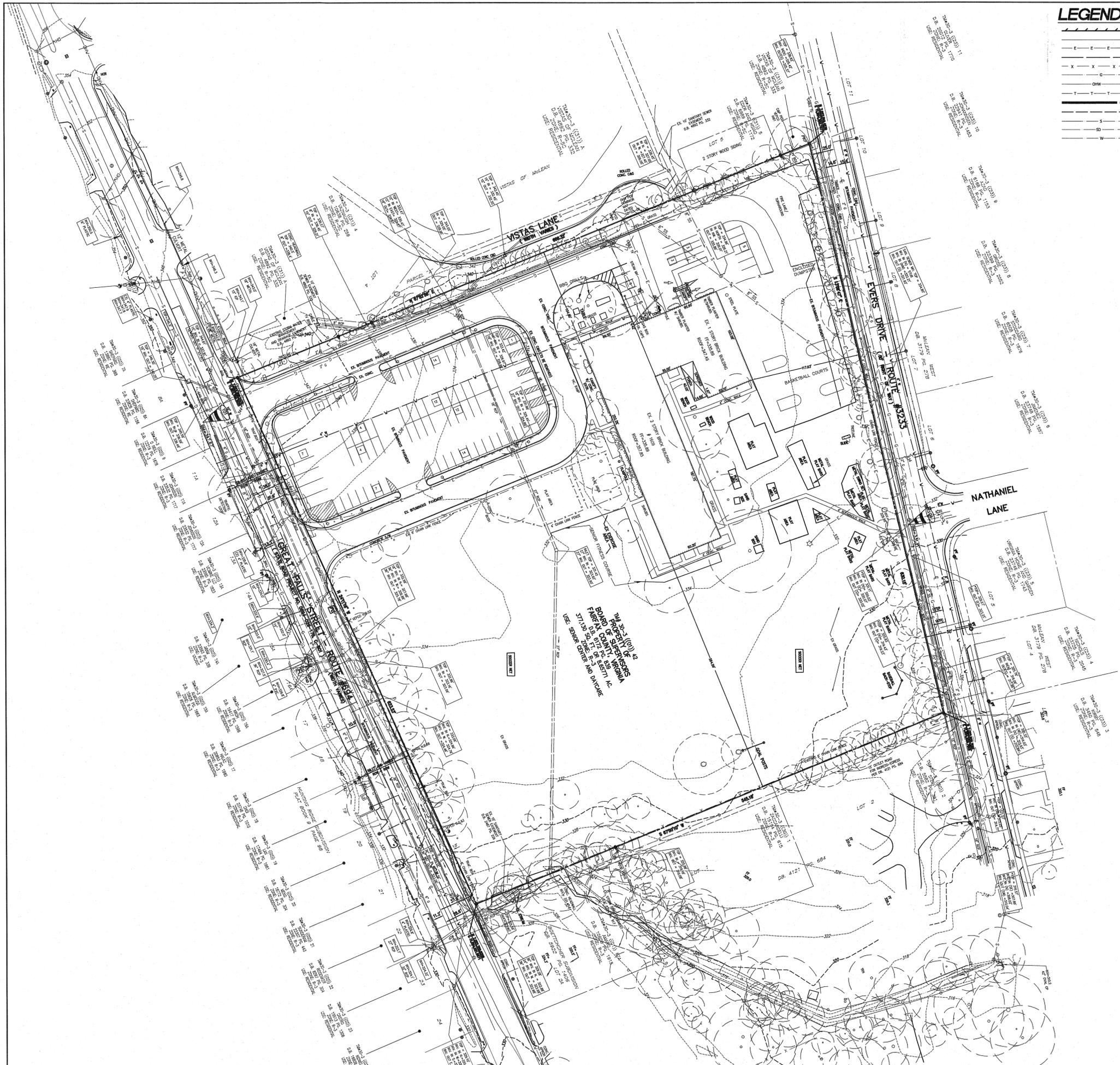
VKA REVISIONS	
DES.	JDA
PWN	
SCALE:	1" = 50'
PROJECT/FILE NO.	VV6307F
SHEET NO.	C-3

JANUARY 14, 2015
JANUARY 05, 2015
OCTOBER 30, 2014
DATE: AUGUST 8, 2014

DATE: JANUARY 14, 2015 TIME: 1:34:29 PM

USER: joenamretti

FILE: P:\projects\6307\F-CADD - P\PLANNING\PLANNING DRAWINGS\6307F-101.dwg



LEGEND

- BUILDING LINE
- CABLE TELEVISION CONDUIT
- ELECTRICAL CONDUIT
- EDGE OF PAVEMENT
- FENCE LINE
- NATURAL GAS CONDUIT
- OVERHEAD WIRES
- TELEPHONE/COMMUNICATIONS CONDUIT
- PROPERTY LINES
- PUBLIC UTILITIES EASEMENTS
- SANITARY SEWER CONDUIT
- STORM DRAIN CONDUIT
- WATER CONDUIT

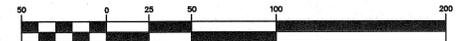
- SANITARY MANHOLE
- TRAFFIC CONTROL BOX
- ⊙ TRAFFIC SIGNAL POLE
- TREE
- CABLE TELEVISION PEDESTAL
- UNKNOWN UTILITY MANHOLE
- WATER METER
- WATER MANHOLE
- CURB INLET
- WATER VALVE
- BOLLARD
- SIGN POST
- WOOD POST
- INLETS
- PK NAIL FOUND
- BENCH MARK

- SANITARY CLEANOUT
- STORM DRAIN MANHOLE
- ELECTRICAL JUNCTION BOX
- ELECTRICAL MANHOLE
- FIRE DEPARTMENT CONNECTION
- FIRE HYDRANT
- GAS MANHOLE
- GUY VALVE
- GUY POLE
- GAS VALVE
- LIGHT POLE
- PHONE PEDESTAL
- PHONE MANHOLE
- UTILITY POLE
- 21 PARKING SPACES

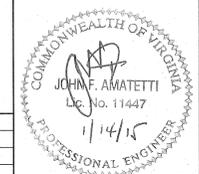


VA STATE GRID NORTH (VSC 83)

GRAPHIC SCALE



(IN FEET)
1 inch = 50 ft.



NO.	DATE	DESCRIPTION

V 8.13

**LEWINSVILLE CENTER
SEA PLAT**

EXISTING CONDITIONS

VIKA REVISIONS

DES.	MFC	DWN.	PNN
SCALE:	1" = 50'		
PROJECT/FILE NO.	V6307F		
SHEET NO.	C-4		

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VIKA VIRGINIA, LLC
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(703) 442-7800 ■ FAX (703) 761-2787
WWW.VIKA.COM

BMP FACILITY DESIGN CALCULATIONS

Plan Name: LEWINSVILLE CENTER Date: 1/15/2015
 Plan Number: Engineer: JDA

I. WATER QUALITY NARRATIVE

CURRENTLY THE SITE CONSIST OF 8.66 ACRES OF LOW-RISE RESIDENTIAL HOUSING AND NO EXISTING BMP CONTROLS. THE ENTIRE SITE WILL BE DEVELOPED AS A MULTI-FAMILY RESIDENTIAL USE WITH APPROX. 0.05 AC OF ROW DEDICATION YIELDING A SITE AREA OF 8.61 ACRES. THE SITE IS LOCATED IN A RESOURCE MANAGEMENT AREA OUTSIDE THE OCCOQUAN WATERSHED AND SHALL BE CONSIDERED NEW DEVELOPMENT PER PFM 6-0401.2A THEREFORE, 40% PHOSPHORUS REMOVAL RELATIVE TO POST DEVELOPMENT PHOSPHORUS LOADING WITHOUT BMP'S IS REQUIRED. BMP REQUIREMENTS SHALL BE MET VIA THE USE OF EXTENDED DETENTION POND OR ALLOWABLE ALTERNATIVE.

II. WATERSHED INFORMATION

Part 1: List all of the Subareas and "C" factors used in the BMP Computations

Subarea Designation (1)	"C" (2)	Acres (3)	Product (4)
Uncontrolled Pervious	0.30	1.45	0.44
Uncontrolled Impervious	0.90	0.04	0.04
Extended Detention Pond (Controlled Pervious)	0.30	1.85	0.56
Extended Detention Pond (Controlled Impervious)	0.90	2.45	2.21
STORM FILTER (Controlled Pervious)	0.30	1.36	0.41
STORM FILTER (Controlled Impervious)	0.90	1.46	1.31
Controlled Off-site (Not Included in Area Calc.)	0.54	3.79	
Total		8.61	

III a. PHOSPHORUS REMOVAL - "OCCOQUAN METHOD"

Part 2: Compute the Weighted Average "C" Factor for the Site

(A) Area of the Site (a) 8.61 acres

Subarea Designation (1)	"C" (2)	Acres (3)	Product (4)
Uncontrolled Pervious	0.30	1.45	0.44
Uncontrolled Impervious	0.90	0.04	0.04
Extended Detention Pond (Controlled Pervious)	0.30	1.85	0.56
Extended Detention Pond (Controlled Impervious)	0.90	2.45	2.21
STORM FILTER (Controlled Pervious)	0.30	1.36	0.41
STORM FILTER (Controlled Impervious)	0.90	1.46	1.31
(b) Total		4.95	

(C) Weighted average "C" factor (b)/(a) = (C) 0.58

Part 3: Compute the Total Phosphorus Removal for the Site

Subarea Designation (1)	Removal Efficiency (%) (3)	Area Ratio (4)	"C" Ratio (5)	Product (6)
Uncontrolled Pervious	0	0.17	0.52	0.00
Uncontrolled Impervious	0	0.00	1.56	0.00
Extended Detention Pond (Controlled Pervious)	40	0.21	0.52	4.48
Extended Detention Pond (Controlled Impervious)	40	0.28	1.56	17.81
STORM FILTER (Controlled Pervious)	50	0.16	0.52	4.12
STORM FILTER (Controlled Impervious)	50	0.17	1.56	13.26
Controlled Off-site (Not Included in Area Calc.)	40	0.09	0.94	3.31
(a) Total				42.98

Part 4: Determine Compliance with Phosphorus Removal Requirement

(A) Select Requirement (a) 40.0

Water Supply Overlay District (Occoquan Watershed) = 50% (Fairfax County and Prince William County)
 Chesapeake Bay Preservation Area (New Development) = 40% (Fairfax County) / 50% (Prince William County)
 Chesapeake Bay Preservation Area (Redevelopment) = 50%
 [1 - 0.9 x ("T" pre/"T" post)] x 100 = %

(B) If Line 3(a) > Line 4(a), the Phosphorus removal requirement is satisfied.

Line 3(a) 43.0 >= 40.0

PHOSPHORUS REMOVAL REQUIREMENT IS SATISFIED

IV. STORAGE

Part 5: Compute the Weighted Average "C" Factor for the BMP Facility

Subarea Designation (1)	"C" (2)	Acres (3)	Product (4)
Extended Detention Pond (Controlled Impervious)	0.90	2.45	2.21
Extended Detention Pond (Controlled Pervious)	0.30	1.85	0.56
Off-site to BMP (20% Total Area)	0.54	0.76	0.41
(a) Total		5.06	

(a) Total 5.06

(b) Total 3.17

(C) Weighted average "C" factor (b)/(a) = (C) 0.63

Part 6: Determine the Storage Required for the proposed BMP Facility

(A) Extended Detention Dry Pond

BMP Storage per acre [(4375 x "C") - 875] or [31.25 x %Imp.] = (a) 1866 cft/acre

Total Site Storage Required = 9440 cft

\\192.168.10.201\projects\projects\6307\6307\FDATA\X\SWM\BMP\COMPS POND AND STORM FILTER.kb\sheet1

BMP NARRATIVE

THIS PROJECT IS CLASSIFIED AS A NEW DEVELOPMENT BECAUSE THERE IS A GREATER THAN 20% NET INCREASE IN IMPERVIOUS AREA WITHIN AN RMA RELATIVE TO CONDITIONS PRIOR TO THE NEW DEVELOPMENT. THE EXISTING IMPERVIOUS AREA IS 135,335 SFT AND THE PROPOSED IMPERVIOUS AREA IS 169,884 SFT. THIS IN A 25.5% INCREASE IN IMPERVIOUS AREA. THEREFORE THIS SITE IS CLASSIFIED AS A NEW DEVELOPMENT UNDER PFM 6-0401.2.

BECAUSE THIS PROPERTY IS A NEW DEVELOPMENT THE REQUIRED REDUCTION IN PHOSPHOROUS LOADS MUST BE 40% OR GREATER (PFM 6-0401.2A).

AN EXTENDED DETENTION DRY POND AND A STRUCTURAL BMP (STORMFILTER) WILL BE USED TO ACHIEVE THE 40% PHOSPHOROUS REDUCTION REQUIRED. OFF-SITE STORMWATER WAS USED IN THE PHOSPHOROUS REDUCTION CALCULATIONS AT A RATE OF 20% OF THE TREATED AREA (NORTHERN VIRGINIA BMP HANDBOOK 4-23). AS DEMONSTRATED, THE REQUIRED PHOSPHOROUS REMOVAL REQUIREMENT HAS BEEN MET. SEE COMPUTATIONS THIS SHEET.

NOTE:

COMPUTATIONS HEREON ARE BASED ON APPROXIMATIONS OF PROPOSED PERVIOUS/IMPERVIOUS AREA. AT THE TIME OF FINAL CONSTRUCTION PLANS, BASED ON FINAL PERVIOUS/IMPERVIOUS AREAS, THE FINAL SWM VOLUME REQUIREMENTS WILL BE DETERMINED. THE METHODOLOGY USED SHALL BE CONSISTENT WITH THAT SHOWN HEREON

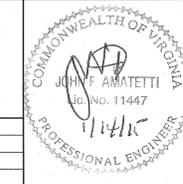
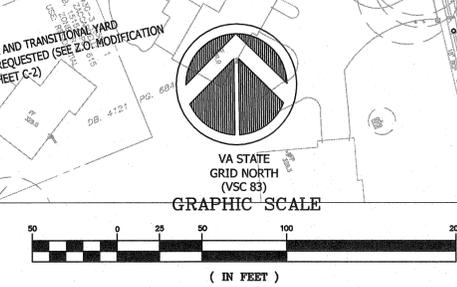
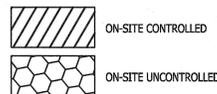
ALL GRADING SHOWN IS CONCEPTUAL AND SUBJECT TO CHANGE WITH THE FINAL SITE PLAN

ALL STORMWATER MANAGEMENT FACILITIES MUST BE PRIVATELY MAINTAINED AND A PRIVATE MAINTENANCE AGREEMENT WILL BE REQUIRED BEFORE THE CONSTRUCTION PLAN IS APPROVED.

BMP NOTE:

THE DEVELOPMENT PROPOSED ON THE SUBJECT SITE WILL PROVIDE A PHOSPHOROUS REMOVAL RATE OF 40% AT A MINIMUM. THE DEVELOPER RESERVES THE RIGHT TO UTILIZE LID TECHNIQUES (BIO-RETENTION TREE PITS, GREEN ROOFS, RAINWATER HARVESTING, ETC.) OR THE USE OF STRUCTURAL FILTER SYSTEMS, OR A COMBINATION THEREOF. FINAL DESIGN, LOCATION AND TYPES OF BMP SYSTEM(S) SHALL BE ESTABLISHED WITH FINAL CONSTRUCTION PLANS AND MAY BE REVISED TO ALTERNATES ALLOWED BY THE PFM.

LEGEND



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LEWINSVILLE CENTER
SEA PLAT
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 FAIRFAX COUNTY, VIRGINIA

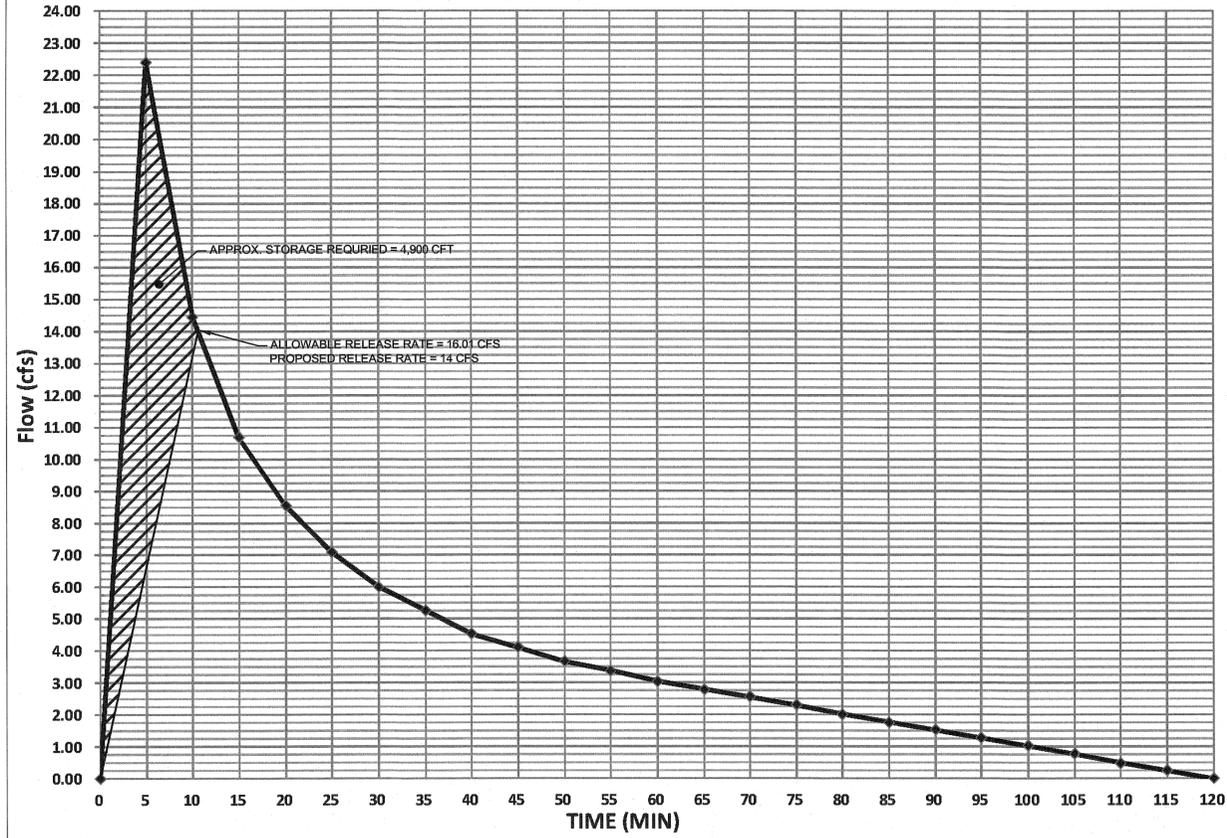
BMP CALCULATIONS

VIKA REVISIONS

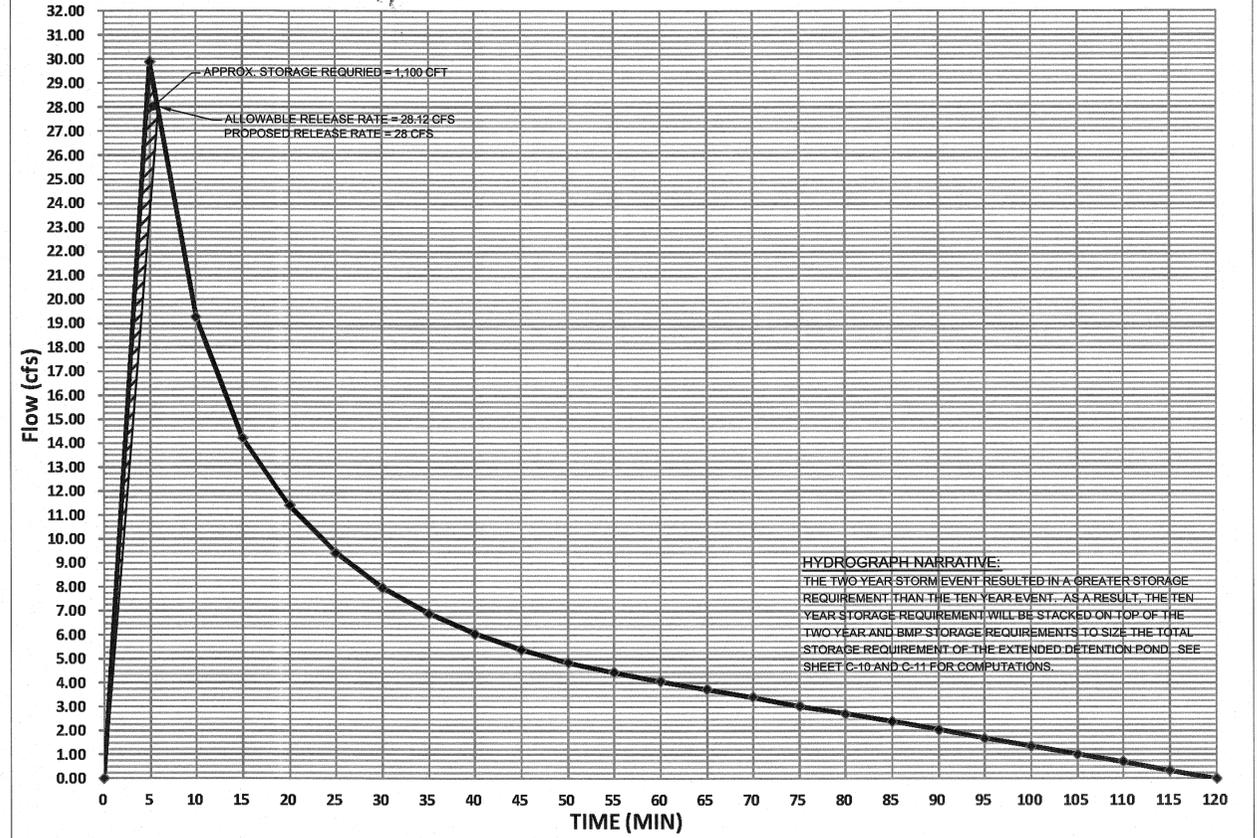
NO.	DATE	DESCRIPTION	COUNTY REVISIONS

DATE: AUGUST 8, 2014
 DES. JDA, DW. JDA
 SCALE: 1"=50'
 PROJECT/FILE NO. VV6307F
 SHEET NO. C-9

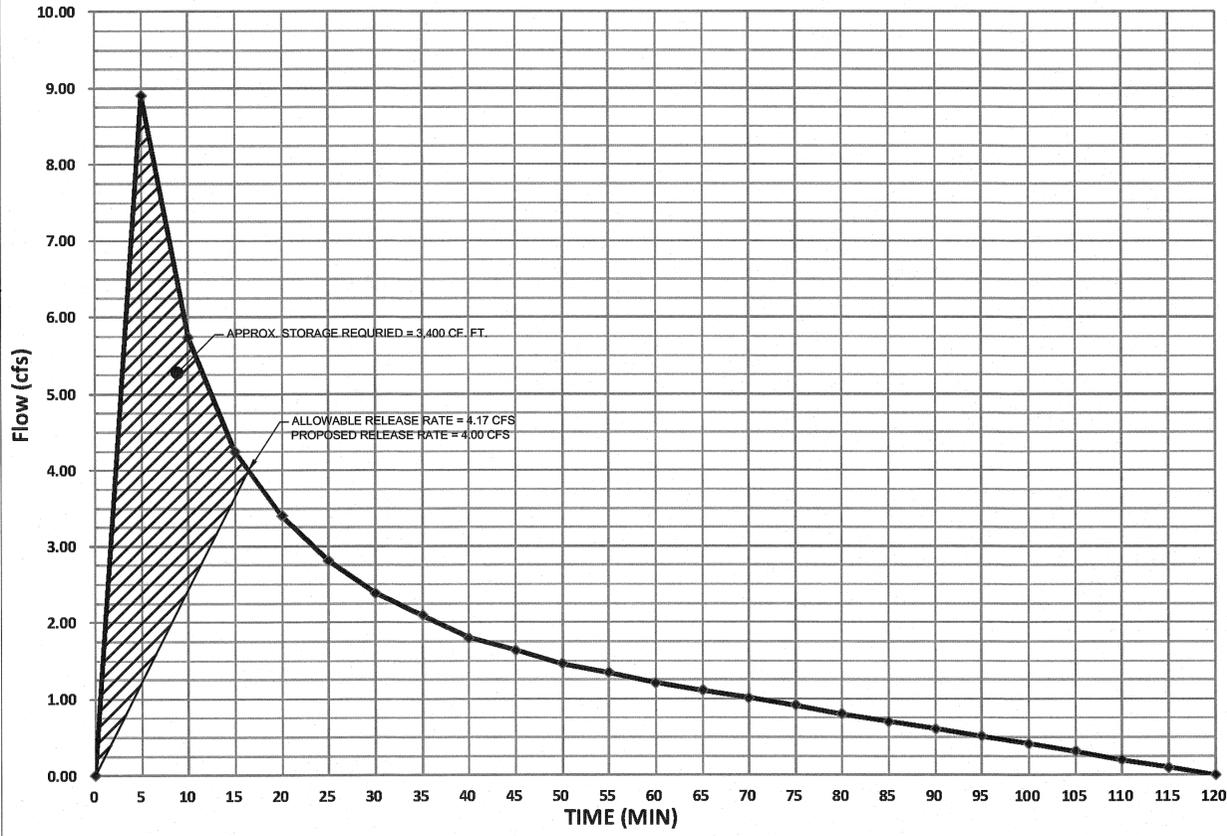
LEWINSVILLE - 2YR Storm Hydrograph To Small Pond - Outfall #1



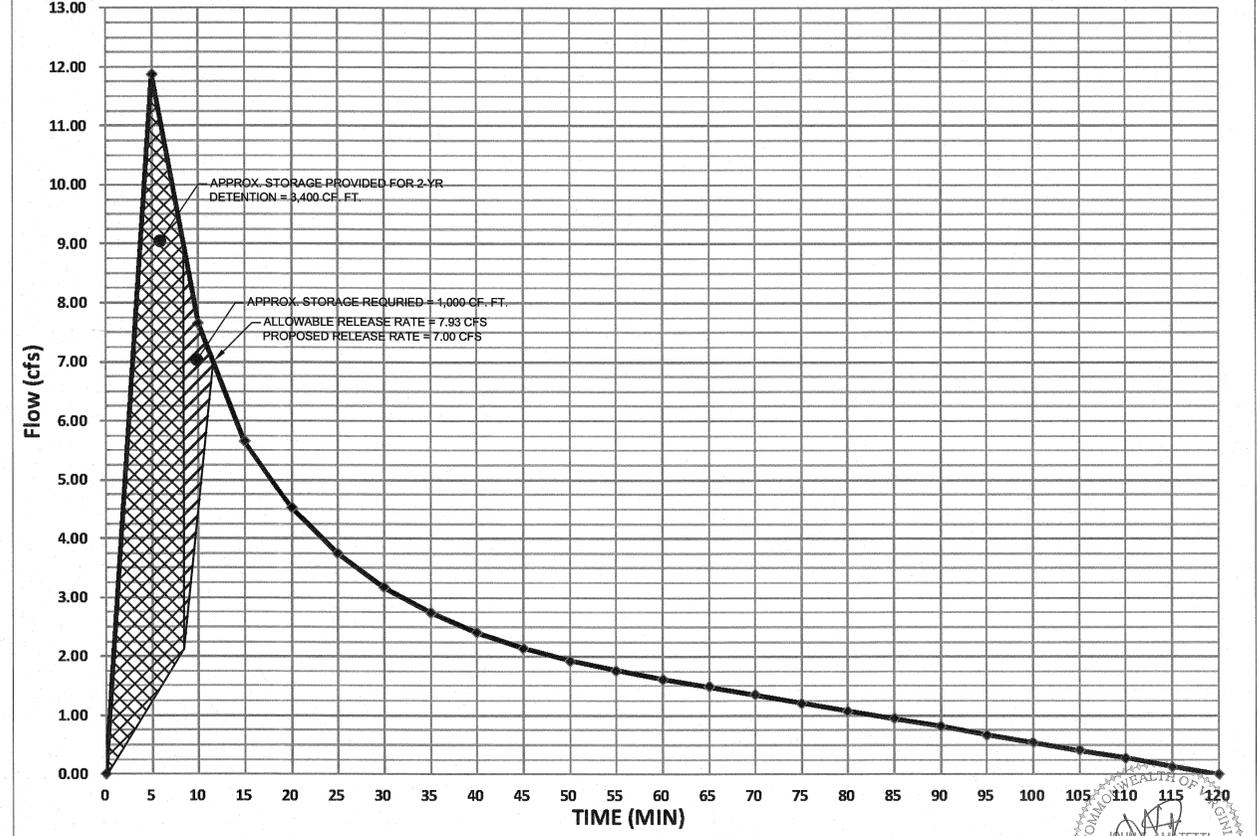
LEWINSVILLE - 10 YR Storm Hydrograph To SMALL POND - Outfall #1

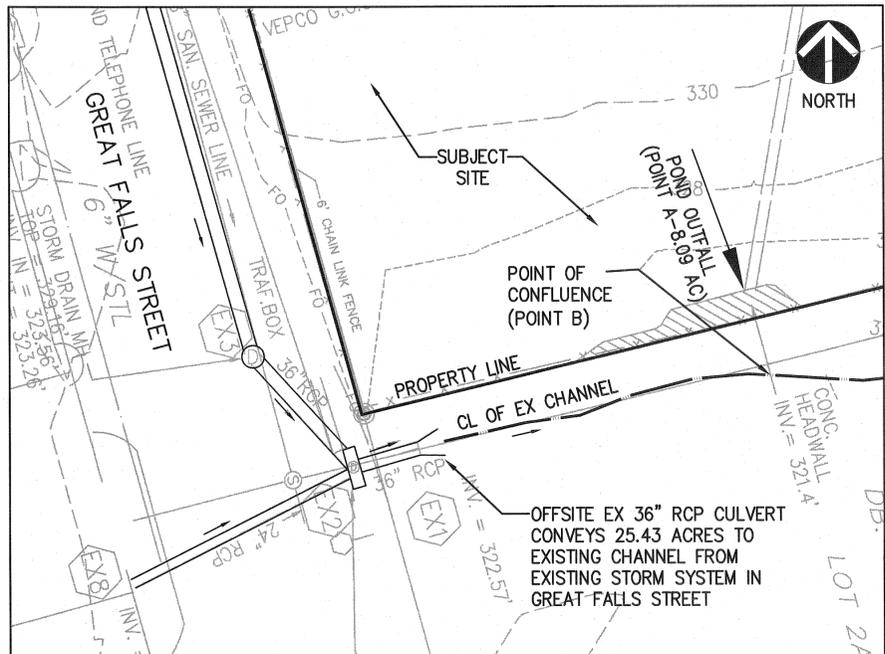
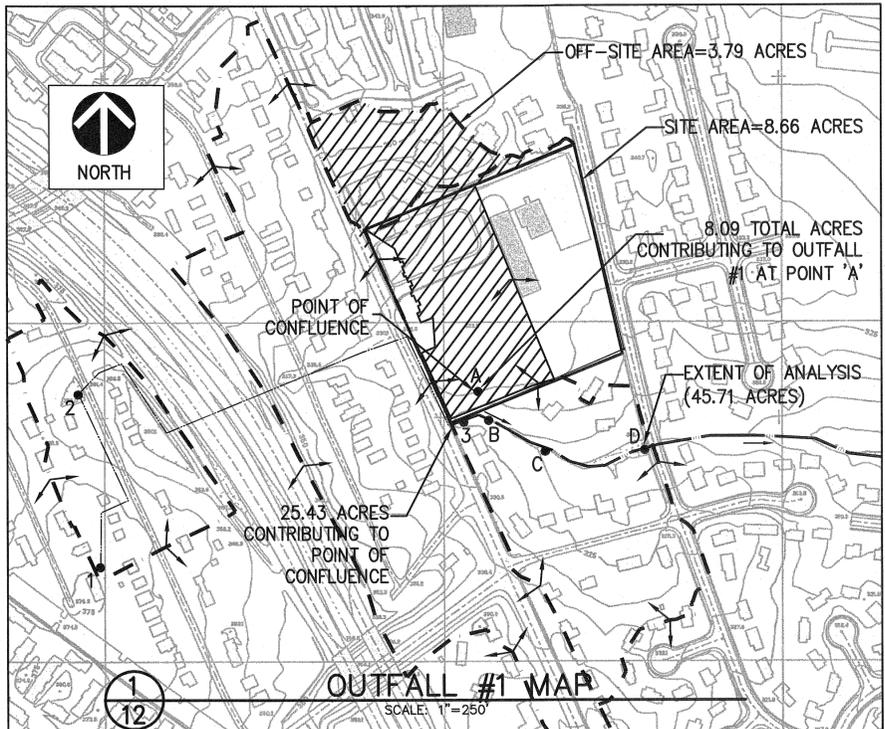
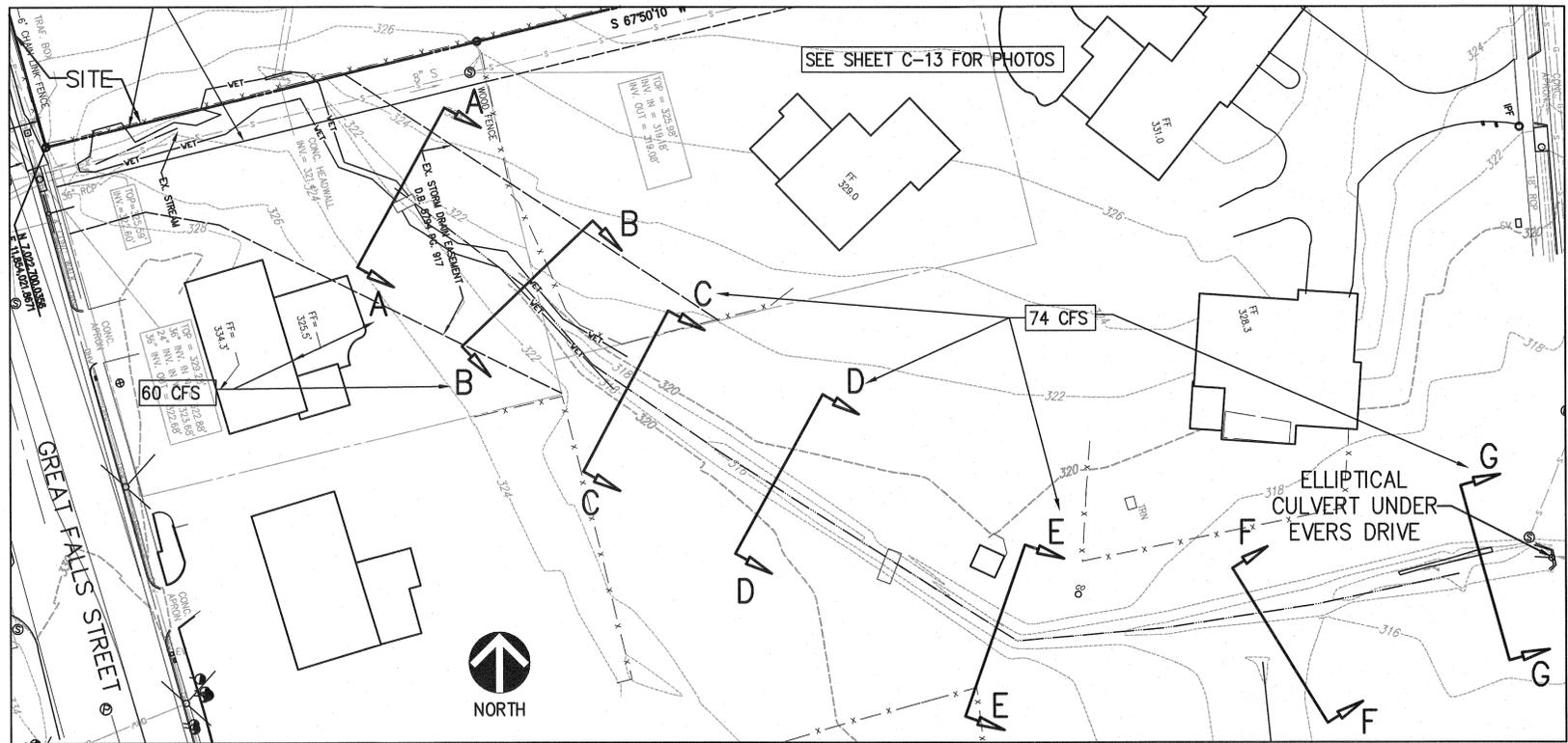


LEWINSVILLE - 2 YR Storm Hydrograph To U/G VAULT- Outfall #2



LEWINSVILLE - 10 YR Storm Hydrograph To U/G VAULT- Outfall #2





ADEQUATE OUTFALL #1 NARRATIVE

OUTFALL DESCRIPTION

THE OUTFALL HAS A CONTRIBUTING DRAINAGE AREA OF 8.09 ACRES. OVERLAND FLOW AND PIPED FLOW FROM THIS DRAINAGE AREA WILL DRAIN TO THE EXTENDED DETENTION POND AND THEN EXIT THE SITE VIA A PROPOSED 24" RCP. STORMWATER FLOW WILL CONTINUE FROM THE 24" RCP INTO AN EXISTING NATURAL CHANNEL THAT RUNS IN AN EASTERLY DIRECTION PARALLEL TO THE SOUTHERN PROPERTY LINE. STORMWATER FLOW CONTINUES IN THIS NATURAL CHANNEL AND MEANDERS FOR APPROXIMATELY 500 FEET UNTIL IT REACHES AN ELLIPTICAL CULVERT THAT CROSSES BENEATH EVERS DRIVE. THE NATURAL CHANNEL HAS A GRAVEL BOTTOM AND A COMBINATION OF RIP-RAP, GRASS, AND OTHER VEGETATION ALONG ITS BANKS. THE CHANNEL IS CONTAINED IN A STORM DRAIN EASEMENT RECORDED IN DEED BOOK 5794, PAGE 917. SEE OUTFALL MAP ON THIS SHEET FOR DRAINAGE AREAS AND FLOW PATH. SEE SITE PLAN FOR LOCATION OF STORM DRAIN EASEMENT.

OUTFALL ANALYSIS

SECTION 6-0203.2A OF THE PFM STATES THAT THE DOWNSTREAM DRAINAGE SYSTEM SHALL BE ANALYZED TO A POINT THAT IS AT LEAST 150 FEET DOWNSTREAM OF A POINT WHERE THE RECEIVING PIPE OR CHANNEL IS JOINED BY ANOTHER THAT HAS A DRAINAGE AREA THAT IS AT LEAST 90% OF THE SIZE OF THE FIRST DRAINAGE AREA AT THE POINT OF CONFLUENCE. THE DRAINAGE AREA, INCLUDING THE SUBJECT SITE AREA OF OUTFALL #1, THAT OUTFALLS TO POINT 'A' IS 8.09 ACRES. THE DRAINAGE AREA FROM THE WEST THAT DRAINS TO POINT 'B', IS 25.43 ACRES, WHICH IS MORE THAN 90% OF 8.09 ACRES. THEREFORE, POINT 'A' IS THE POINT OF CONFLUENCE AS DEFINED BY SECTION 6-0203.2A OF THE PFM (SEE "POINT OF CONFLUENCE EXHIBIT" ON THIS SHEET) AND POINT 'B' REPRESENTS THE POINT WHERE THE 90% RULE IS SATISFIED. AS SUCH, THE EXTENT OF THE DOWNSTREAM ANALYSIS SHALL BE 150 FEET DOWNSTREAM OF POINT 'B'. THIS POINT FALLS WITHIN AN EXISTING NATURAL CHANNEL, AND IS LABELED POINT 'C' ON THE ABOVE REFERENCED OUTFALL MAP. HOWEVER, PER PFM SECTION 6-0203.2E, FAIRFAX COUNTY HAS REQUESTED THAT THE EXTENT OF ANALYSIS BE EXTENDED FURTHER DOWNSTREAM TO ADDRESS THE CONCERNS OF THE PROPERTY OWNER OF PARCEL 30-3--((30))--3. THEREFORE, INSTEAD OF THE ANALYSIS STOPPING AT POINT 'C', THE ANALYSIS HAS BEEN EXTENDED TO THE ELLIPTICAL CULVERT, LABELED AS POINT 'D' ON THE OUTFALL MAP.

THE PROPOSED 2-YEAR RELEASE RATE FROM THE EXTENDED DETENTION POND IS CONSERVATIVELY 14 CFS (SEE SHEET C-9). PFM PLATES 4-6 AND 3-6 WERE UTILIZED TO DETERMINE THE FLOW RATE FROM THE 25.43 ACRE CONTRIBUTING AREA. THE TIME OF CONCENTRATION WAS CALCULATED USING PLATE 4-6 FOR THE OVERLAND FLOW (L = 600', H = 12', Tc = 5 MIN) AND 1500' OF PIPE FLOW AT A VELOCITY OF 5 FT/S. A TOTAL TIME OF CONCENTRATION OF 10 MINUTES WAS DETERMINED, AND PLATE 3-6 YIELDED A 2-YEAR RAINFALL INTENSITY OF 4 INCHES/HOUR. THE EXISTING DEVELOPMENT WITHIN THE 25.43 ACRES IS PRIMARILY SINGLE FAMILY DETACHED HOMES, AS WELL AS SOME TOWNHOUSES. THEREFORE, AN APPROPRIATE C-FACTOR FOR THIS AREA IS 0.45. THE RATIONAL FORMULA WAS THEN USED TO CALCULATE THE 2-YEAR PEAK FLOW FROM THE CONTRIBUTING AREA: $Q = (C)(I)(A) = (0.45)(4)(25.43) = 46$ CFS. THAT COMBINED WITH THE ON-SITE POND #1 RELEASE RATE OF 14 CFS YIELDS A TOTAL 2-YEAR PEAK FLOW OF 60 CFS. THIS FLOW WILL BE USED TO ANALYZE CROSS-SECTIONS A-A AND B-B.

THE FLOWRATE FOR CROSS-SECTIONS C-C, D-D, E-E, F-F, AND G-G WAS DETERMINED AS FOLLOWS. THE DRAINAGE AREA AT THE MOST DOWNSTREAM SECTION (G-G) IS 45.71 ACRES. PFM PLATES 4-6 AND 3-6 WERE UTILIZED TO DETERMINE THE FLOW RATE FROM THE 45.71 ACRE CONTRIBUTING AREA. PLATE 4-6 YIELDED A TIME OF CONCENTRATION OF 12 MINUTES, AND PLATE 3-6 YIELDED A 2-YEAR RAINFALL INTENSITY OF 3.6 INCHES/HOUR. THE EXISTING DEVELOPMENT WITHIN THE 45.71 ACRES IS PRIMARILY SINGLE FAMILY DETACHED HOMES, AS WELL AS SOME TOWNHOUSES. THEREFORE, AN APPROPRIATE C-FACTOR FOR THIS AREA IS 0.45. THE RATIONAL FORMULA WAS THEN USED TO CALCULATE THE 2-YEAR PEAK FLOW FROM THE CONTRIBUTING AREA: $Q = (C)(I)(A) = (0.45)(3.6)(45.71) = 74$ CFS. SINCE THIS IS THE FLOWRATE FOR THE MOST DOWNSTREAM SECTION, IT IS CONSERVATIVE TO USE THIS FLOWRATE FOR ANY UPSTREAM SECTION. THEREFORE THE FLOWRATE USED FOR CROSS-SECTIONS C-C THROUGH G-G IS 74 CFS.

PER SECTION 6-0203.3B(1), NATURAL WATERCOURSES SHALL BE ANALYZED BY THE USE OF A 2-YEAR FREQUENCY STORM TO VERIFY THAT STORMWATER WILL NOT OVERTOP CHANNEL BANKS NOR CAUSE EROSION OF CHANNEL BED OR BANKS. SEVEN CROSS-SECTIONS (A-A, B-B, C-C, D-D, E-E, F-F, AND G-G) WERE TAKEN IN THE STRETCH BETWEEN POINTS 'A' AND 'D'. SEE THIS SHEET FOR EXACT LOCATION OF CROSS-SECTIONS. BASED ON THE VIRGINIA SEDIMENT AND EROSION CONTROL HANDBOOK TABLE 5-22: PERMISSIBLE VELOCITIES FOR UNLINED EARTHEN CHANNELS, THE PERMISSIBLE VELOCITY FOR THE SUBJECT NATURAL CHANNEL IS 5.0 FT/S (GRADED, LOAM TO COBBLES). THE COMPUTATIONS ON THIS SHEET SHOW THAT THE 2-YEAR STORM VELOCITIES FOR THIS NATURAL CHANNEL ARE ALL LESS THAN 5.0 FT/S, EXCEPT FOR CROSS-SECTION B-B, F-F, AND G-G AND ARE THEREFORE NON-EROSIVE. CROSS-SECTION B-B HAS BEEN REINFORCED WITH RIPRAP AND IT IS THEREFORE OUR OPINION THAT THIS CROSS-SECTION IS ADEQUATE. CROSS-SECTIONS F-F AND G-G ARE LINED WITH ASPHALT TO PREVENT EROSION AND AS A RESULT IT IS OUR OPINION THAT THESE CROSS-SECTIONS ARE ADEQUATE. FINALLY, THE 2-YEAR STORM DOES NOT OVERTOP THE BANKS FOR ANY OF THE CROSS-SECTIONS, AND IS THEREFORE, BY SECTION 6-0203.3B(1) OF THE PFM, THE EXISTING NATURAL CHANNEL IS ADEQUATE.

2
12 POINT OF CONFLUENCE EXHIBIT
NOT TO SCALE



NO.	DESCRIPTION	REVIEW BY	APPROVED	DATE
REVISION APPROVED BY: DIVISION OF DESIGN REVIEW				

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ENGINEERS ■ PLANNERS ■ LANDSCAPE ARCHITECTS ■ SURVEYORS ■ CONSTRUCTION INSPECTORS

LEWINSVILLE CENTER
SEA PLAT
DRANESVILLE DISTRICT
FAIRFAX COUNTY, VIRGINIA

ADEQUATE OUTFALL

JANUARY 14, 2014
JANUARY 5, 2014
DECEMBER 01, 2014
OCTOBER 30, 2014
DATE: AUG 8, 2014

DES. SML DWN. SML

SCALE: AS SHOWN

PROJECT/FILE NO. 6307

SHEET NO. C-12

FILE: P:\projects\6307\CADD - P\PLANNING\DRAWINGS\6307904 - Outfall.dwg USER: joamatetti DATE: January 13, 2015 TIME: 12:25:30 PM

ADEQUATE OUTFALL #2 NARRATIVE

OUTFALL #2 DESCRIPTION

OUTFALL #2 HAS A CONTRIBUTING DRAINAGE AREA OF 3.4 ACRES. OVERLAND FLOW AND PIPED FLOW FROM THIS DRAINAGE AREA WILL DRAIN TO SWM-2 AND THEN EXIT THE SITE VIA A PROPOSED 18" RCP. STORMWATER FLOW WILL CONTINUE FROM THE 18" RCP INTO A CLOSED CONDUIT SYSTEM THAT RUNS IN A SOUTHERLY DIRECTION ALONG EVERS DRIVE. STORMWATER FLOW CONTINUES IN THIS CLOSED CONDUIT SYSTEM FOR APPROXIMATELY 300' UNTIL IT TURNS TO THE EAST, WHILE REMAINING IN A CLOSED CONDUIT SYSTEM. SEE OUTFALL MAP ON THIS SHEET FOR DRAINAGE AREAS AND FLOW PATH. SEE "MCLEAN WEST" SITE PLAN ON THIS SHEET FOR SIZE AND LOCATION OF EXISTING CLOSED CONDUIT SYSTEM.

OUTFALL #2 ANALYSIS

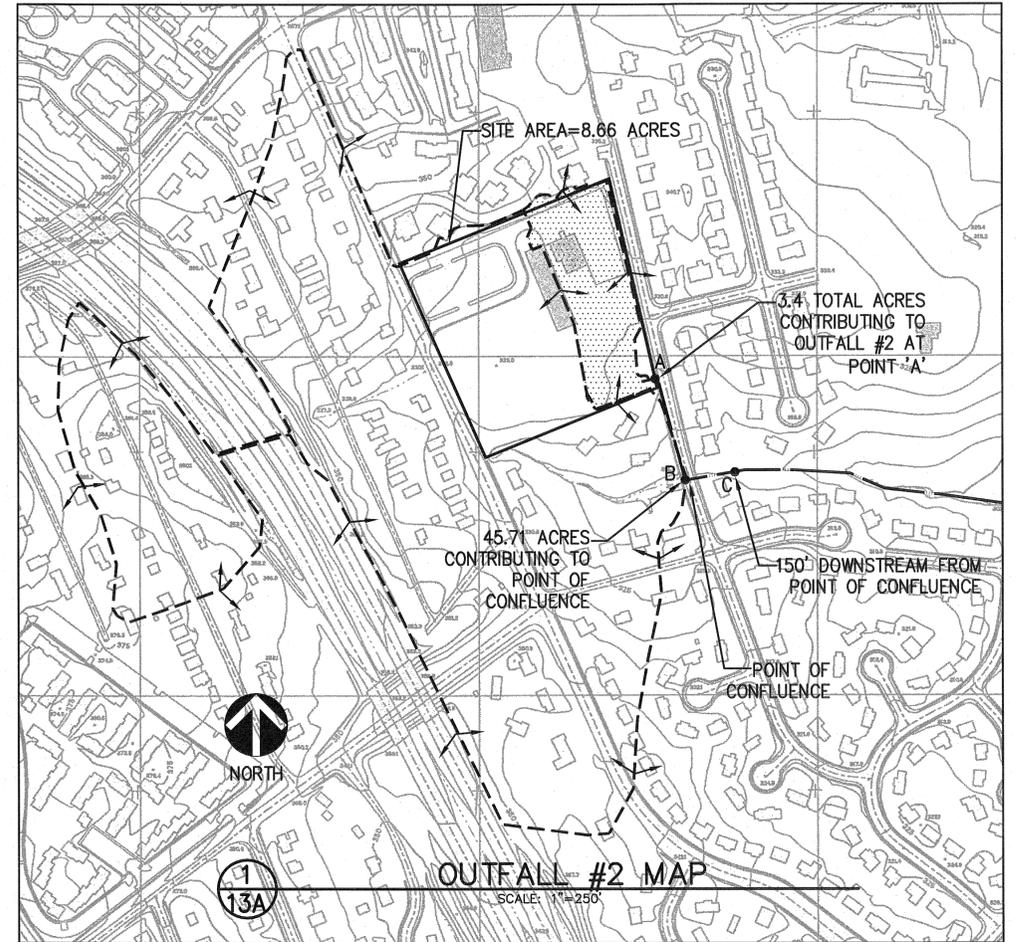
SECTION 6-0203.2A OF THE PFM STATES THAT THE DOWNSTREAM DRAINAGE SYSTEM SHALL BE ANALYZED TO A POINT THAT IS AT LEAST 150 FEET DOWNSTREAM OF A POINT WHERE THE RECEIVING PIPE OR CHANNEL IS JOINED BY ANOTHER THAT HAS A DRAINAGE AREA THAT IS AT LEAST 90% OF THE SIZE OF THE FIRST DRAINAGE AREA AT THE POINT OF CONFLUENCE. THE DRAINAGE AREA, INCLUDING THE SUBJECT SITE AREA OF OUTFALL #2, THAT OUTFALLS TO POINT 'A' IS 3.4 ACRES. THE DRAINAGE AREA FROM THE WEST THAT DRAINS TO POINT 'B', IS 45.71 ACRES, WHICH IS MORE THAN 90% OF 3.4 ACRES. THEREFORE, POINT 'B' IS THE POINT OF CONFLUENCE AS DEFINED BY SECTION 6-0203.2A OF THE PFM. AS SUCH, THE EXTENT OF THE DOWNSTREAM ANALYSIS SHALL BE 150 FEET DOWNSTREAM OF POINT 'B'. THIS POINT FALLS WITHIN AN EXISTING CLOSED CONDUIT SYSTEM, AND IS LABELED POINT 'C' ON THE ABOVE REFERENCED OUTFALL MAP.

THE FOLLOWING PARAGRAPH OUTLINES HOW THE FLOWS FOR EACH PIPE RUN IN THIS ANALYSIS WERE DETERMINED (SEE STORM COMPUTATIONS ON THIS SHEET). THE FLOW FROM D2-EX2B IS EQUAL TO THE PROPOSED 10-YEAR RELEASE RATE FROM POND #2, WHICH IS 7.00 CFS (FROM POND ROUTING ON SHEET 23). THE DRAINAGE AREA TO INLET EX2B IS 0.06 ACRES WITH A C-FACTOR OF 0.90. USING THE RATIONAL FORMULA: $Q = (C)(I)(A) = (0.90)(7.27)(0.06) = 0.39$ CFS. THEREFORE, THE FLOW FROM EX2B-EX2A IS 7.00 CFS + 0.39 CFS = 7.39 CFS. THE DRAINAGE AREA TO INLET EX2A IS ALSO 0.06 ACRES WITH A C-FACTOR OF 0.90. USING THE RATIONAL FORMULA: $Q = (C)(I)(A) = (0.90)(7.27)(0.06) = 0.39$ CFS. THEREFORE, THE FLOW FROM EX2A-EX2 IS 7.39 CFS + 0.39 CFS = 7.78 CFS. STRUCTURE EX2 IS THE POINT OF CONFLUENCE. THE DRAINAGE AREA THAT TIES INTO EX2 FROM THE WEST IS 45.71 ACRES. PFM PLATES 4-6 AND 3-6 WERE UTILIZED TO DETERMINE THE FLOW RATE FROM THE 45.71 ACRE CONTRIBUTING AREA. PLATE 4-6 YIELDED A TIME OF CONCENTRATION OF 12 MINUTES, AND PLATE 3-6 YIELDED A 10-YEAR RAINFALL INTENSITY OF 5.45 INCHES/HOUR. THE EXISTING DEVELOPMENT WITHIN THE 45.71 ACRES IS PRIMARILY SINGLE FAMILY DETACHED HOMES, AS WELL AS SOME TOWNHOUSES. THEREFORE, AN APPROPRIATE C-FACTOR FOR THIS AREA IS 0.60. THE RATIONAL FORMULA WAS THEN USED TO CALCULATE THE 10-YEAR PEAK FLOW FROM THE CONTRIBUTING AREA: $Q = (C)(I)(A) = (0.60)(5.45)(45.71) = 149.74$ CFS. THEREFORE, THE FLOW FROM EX2-EX3 IS 149.74 CFS + 7.78 CFS = 157.52 CFS. STRUCTURE EX3 IS A MANHOLE, SO THERE IS NO ADDITIONAL FLOW ADDED TO THE SYSTEM AT THAT STRUCTURE. THEREFORE, THE FLOW FROM EX3-EX4 IS ALSO 157.52 CFS.

PER SECTION 6-0203.3B(3), PIPES, STORM SEWER SYSTEMS, AND CULVERTS SHALL BE ANALYZED BY THE USE OF A 10-YEAR FREQUENCY STORM TO VERIFY THAT STORMWATER WILL BE CONTAINED WITHIN THE PIPE, SYSTEM OR CULVERT. THE STORM COMPUTATIONS ON THIS SHEET SHOW THAT FOR EVERY PIPE RUN CONTAINED WITHIN THE EXTENTS OF THIS OUTFALL ANALYSIS, THE PIPE'S CAPACITY EXCEEDS THE FLOW QUANTITY FOR THAT PIPE. THEREFORE, BY SECTION 6-0203.3B(3) OF THE PFM, THE EXISTING CLOSED CONDUIT SYSTEM IS ADEQUATE.

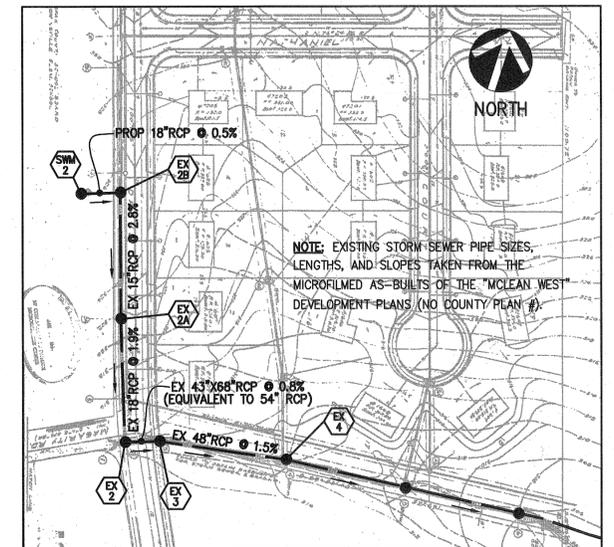
SUMMARY #2

IT IS THE OPINION OF VIKI, INC. THAT AFTER ANALYZING THE DOWNSTREAM CLOSED CONDUIT SYSTEM, THIS PROJECT WILL HAVE NO ADVERSE EFFECT NOR CAUSE FLOODING OF ANY DOWNSTREAM PROPERTY OR STRUCTURE AND THAT THE OUTFALL IS ADEQUATE AND IN CONFORMANCE WITH THE PUBLIC FACILITIES MANUAL.



STORM DRAIN COMPUTATIONS

FROM	TO	Q CFS	MIN SLOPE %	ACT SLOPE %	n	PIPE SIZE IN	F.F. VEL FPS	ACT VEL FPS	LENGTH FEET	TIME IN PIPE MIN-SEC	Q CAPACITY CFS
SWM-2	EX-2B	7.00	0.17	0.50	0.013	18	4.20	4.34	46	0.18	7.43
EX-2B	EX-2A	7.39	0.53	2.80	0.013	15	8.81	8.45	150	0.30	10.81
EX-2A	EX-2	7.78	0.24	1.90	0.013	18	8.19	7.44	150	0.34	14.48
EX-2	EX-3	157.52	0.58	0.84	0.013	54	11.33	12.67	35	0.05	180.23
EX-3	EX-4	157.52	1.16	1.50	0.013	48	14.00	15.79	155	0.16	175.93

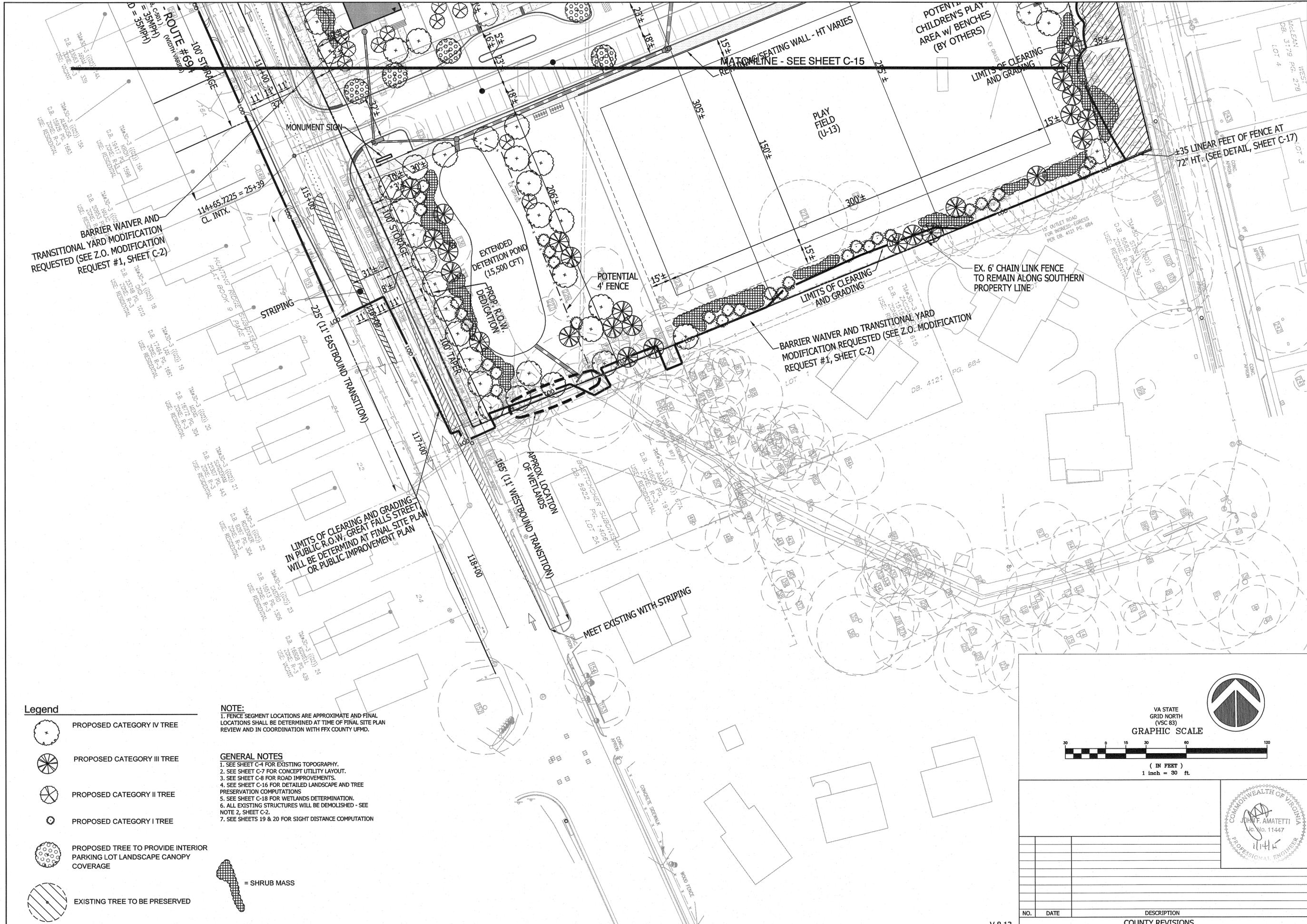


2
13A OUTFALL #2 EX STORM DRAIN
SCALE: 1"=100'



NO.	DESCRIPTION	REVIEW BY	APPROVED	DATE

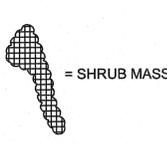
REVISION APPROVED BY:
DIVISION OF DESIGN REVIEW



- Legend**
- PROPOSED CATEGORY IV TREE
 - PROPOSED CATEGORY III TREE
 - PROPOSED CATEGORY II TREE
 - PROPOSED CATEGORY I TREE
 - PROPOSED TREE TO PROVIDE INTERIOR PARKING LOT LANDSCAPE CANOPY COVERAGE
 - EXISTING TREE TO BE PRESERVED

NOTE:
 1. FENCE SEGMENT LOCATIONS ARE APPROXIMATE AND FINAL LOCATIONS SHALL BE DETERMINED AT TIME OF FINAL SITE PLAN REVIEW AND IN COORDINATION WITH FFX COUNTY UFMD.

GENERAL NOTES
 1. SEE SHEET C-4 FOR EXISTING TOPOGRAPHY.
 2. SEE SHEET C-7 FOR CONCEPT UTILITY LAYOUT.
 3. SEE SHEET C-8 FOR ROAD IMPROVEMENTS.
 4. SEE SHEET C-16 FOR DETAILED LANDSCAPE AND TREE PRESERVATION COMPUTATIONS.
 5. SEE SHEET C-18 FOR WETLANDS DETERMINATION.
 6. ALL EXISTING STRUCTURES WILL BE DEMOLISHED - SEE NOTE 2, SHEET C-2.
 7. SEE SHEETS 19 & 20 FOR SIGHT DISTANCE COMPUTATION



VA STATE GRID NORTH (VSC 83)
GRAPHIC SCALE

(IN FEET)
 1 inch = 30 ft.

NO.	DATE	DESCRIPTION

VKA REVISIONS

NO.	DATE	DESCRIPTION

V 8.13

VKA
 ENGINEERS ■ PLANNERS ■ LANDSCAPE ARCHITECTS ■ SURVEYORS ■ SUSTAINABLE DESIGN

VKA VIRGINIA, LLC
 8180 GREENSBORO DRIVE, SUITE 200 ■ TYSONS CORNER, VIRGINIA 22102
 (703) 442-7800 ■ FAX (703) 761-2787
 WWW.VKA.COM

LEWINSVILLE CENTER
SEA FLAT
 DRANESVILLE DISTRICT
 FAIRFAX COUNTY, VIRGINIA

DETAILED SEA LANDSCAPE PLAN

DATE: JANUARY 14, 2015
 USER: jeamatetti
 FILE: P:\projects\6307\CADD - PLANNING\PLANNING DRAWINGS\6307F-01.dwg

JANUARY 14, 2015
 JANUARY 05, 2015
 DATE: AUGUST 8, 2014

DES.	JDA	DWN.	PNN
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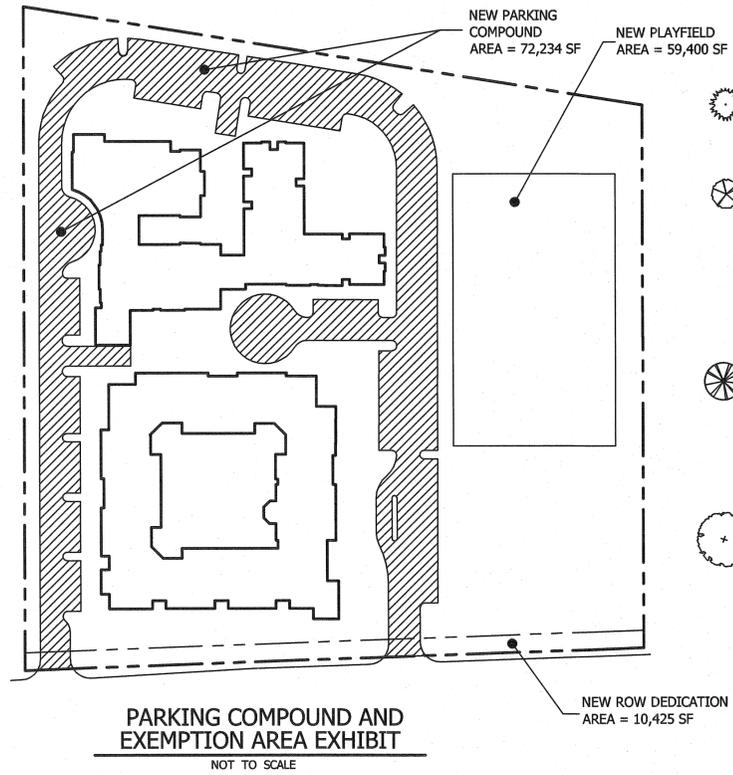
SCALE: 1"=30'

PROJECT/FILE NO.
 VV6307F

SHEET NO.
 C-15A

Statement	Value	Reference
A Pre-development area of existing tree canopy (from Existing Vegetation Map)(SF)=	78,423	see § 12-0508.2
B Percentage of gross site area covered by existing tree canopy =	21%	
C Percentage of 10-year tree canopy required for site =	25%	see Table 12.4
D Percentage of the 10-year tree canopy requirement that should be met through tree preservation =	21%	
E Proposed percentage of canopy requirement that will be met through tree preservation =	23.6%	
F Has the Tree Preservation Target minimum been met?	Yes	Provide Yes or No
G If No for line A 6, then a request to deviate from the Tree Preservation Target shall be provided on the plan that states one or more of the justifications listed in § 12-0508.3 along with a narrative that provides a site-specific explanation of why the T	-	Provide sheet number, see § 12-0508.3
H If step A 7 requires a narrative, it shall be prepared in accordance with § 12-0508.4	-	see § 12-0508.4
I Place this information prior to the 10-year Tree Canopy Calculations as per instructions in Table 12.10.	-	

Step	Totals	Reference
A. Tree Preservation Target and Statement		
A1 Place the Tree Preservation Target calculations and statement here preceding the 10-year tree canopy	SEE THIS SHEET & C-5	see § 12-0508.2 for list of required elements and worksheet
B. Tree Canopy Requirement		
B1 Identify gross site area (SF) =	377,130	§ 12-0511.1A
B2 Subtract area dedicated to parks, road frontage(SF) =	69,825	§ 12-0511.1B
B3 Subtract area of exemptions(SF) =	0	§ 12-0511.1C(1) through § 12-0511.1C(6)
B4 Adjusted gross site area (B1-B2, B3)(SF) =	307,305	Square feet
B5 Identify the site's zoning and/or use	R-3	
B6 Percentage of 10-year tree canopy required =	25%	§ 12-0510.1 and Table 12.4
B7 Area of 10-year Tree Canopy Required (B4 x B6)(SF) =	76,826	Square feet
B8 Modification of 10-year Tree Canopy Requirements requested?	NO	Yes or No
B9 If B8 is yes, then list plan sheet where modification request is located	-	Sheet number
C. Tree Preservation		
C1 Tree Preservation Target Area(SF) =	15,976	Square Feet
C2 Total canopy area meeting standards of § 12-0400 (SF) =	14,523	Square Feet
C3 C 2 x 1.25(SF) =	18,154	§ 12-0510.3B
C4 Total canopy area provided by unique or valuable forest or woodland communities(SF) =	0	Square Feet
C5 C 4 x 1.5(SF) =	0	§ 12-0510.3B(1)
C6 total of canopy area provided by "Heritage," "Memorial," "Specimen," or "Street" trees (SF) =	0	Square Feet
C7 C 6 x 1.5 to 3.0 (SF) =	0	§ 12-0510.3B(2)
C8 Canopy area of trees within resource Protection Areas and 100-year floodplains (SF) =	0	Square Feet
C9 C 8 x 1.0 (SF) =	0	§ 12-0510.3C(1)
C10 Total of C 3, C 5, C 7 and C 9 =	18,154	If area of C 10 is less than B 7 remainder of requirement must be met through tree planting - go to D
D. Tree Planting		
D1 Area of canopy to be met through tree planting (B 7-C10) =	58,673	Square feet
D2 Area of canopy planted for air quality benefits =	0	Square feet
D3 D 2 x 1.5 (SF) =	0	§ 12-0510.4B(1)
D4 Area of canopy planted for energy conservation =	0	Square feet
D5 D 4 x 1.5 (SF) =	0	§ 12-0510.4B(2)
D6 Area of canopy planted for water quality benefits =	0	Square feet
D7 D 6 x 1.25 (SF) =	0	§ 12-0510.4B(3)
D8 Area of canopy planted for wildlife benefits =	30,525	Square feet
D9 D 8 x 1.5 (SF) =	45,788	§ 12-0510.4B(4)
D10 Area of canopy provided by native trees =	6,875	Square feet
D11 D 10 x 1.5 (SF) =	10,313	§ 12-0510.4B(5)
D12 Area of canopy provided by improved cultivars and varieties =	0	Square feet
D13 D 12 x 1.25 (SF) =	0	§ 12-0510.4B(6)
D14 Area of canopy provided through tree seedlings (SF) =	0	§ 12-0510.4D(1)
D15 D 14 x 1.0 =	0	Square feet
D16 Area of canopy provided through native shrubs =	0	Square feet
D17 D15 x 1.0 =	0	Square feet
D18 Percentage of D 14 represented by D 15 =	0.0%	Must not exceed 33% of D 14
D19 Area of canopy to be planted with no benefit credits =	3,225	Square feet
D20 Total of canopy area provided through tree planting =	59,325	Square feet
D21 Is an offsite planting relief requested?	NO	Yes or No
D22 Tree Bank or Tree Fund?	NO	Yes or No § 12-0512
D23 Canopy area requested to be provided through offsite banking or tree fund =	-	Square Feet
D24 Amount to be deposited into the Tree Preservation and Planting Fund =	-	
E. Total of 10-year Tree Canopy Provided		
E1 Total of canopy area provided through tree preservation (C 10) =	18,154	Square Feet
E2 Total of canopy area provided through tree planting (D 17) =	59,325	Square Feet
E3 Total of canopy area provided through offsite mechanism (D 19) =	0	Square Feet
E4 Total of 10-year Tree Canopy Provided (SF) = (E1+E2+E3)	77,479	Total of E 1 through E 3, area should meet or exceed area in B 7



KEY CATEGORY	QUANTITY	BOTANICAL NAME	COMMON NAME	STOCK SIZE	CANOPY CREDIT (SF)	ADDITIONAL CREDIT (SF)	TOTAL CREDIT (SF)	STOCK TYPE
CATEGORY I - TREES								
Ia		Ilex x attenuata "Fosteri"	Foster Holly	8' Ht	75			B&B
To		Thuja occidentalis "Nigra"	Dark Green American Arborvitae	8' Ht	75			B&B
	43						3,225	
CATEGORY II - TREES								
Aa		Amelanchier arborea	Downey Serviceberry	3" Caliper	125	187.50(WL)		B&B
Al		Amelanchier laevis	Allegheny Serviceberry	3" Caliper	125	187.50(WL)		B&B
Cf		Cornus florida "Cherokee Princess"	"Cherokee Princess" Dogwood	3" Caliper	125	187.50(WL)		B&B
Io		Ilex opaca	American Holly	3" Cal(6"Ht)	125	187.50(WL)		B&B
Mv		Magnolia virginiana	Sweetbay Magnolia	3" Caliper	125	187.50(N)		B&B
Oa		Oxydendrum arboreum	Sourwood	3" Caliper	125	187.50(N)		B&B
Sa		Sassafras albidum	Sassafras	3" Caliper	125	187.50(N)		B&B
	36						6,750	
CATEGORY III - TREES								
Bn		Betula nigra	River Birch	3" Caliper	175	262.50(WL)		B&B
Ce		Celtis occidentalis	Deodara Cedar	3" Caliper	175	262.50(WL)		B&B
Dv		Diospiros virginia	Persimmon	3" Caliper	175	262.50(WL)		B&B
Ma		Magnolia acuminata	Cucumber Tree	3" Caliper	175	262.50(N)		B&B
Ns		Nyssa sylvatica	Black Gum	3" Caliper	175	262.50(WL)		B&B
Td		Taxodium distichum	Bald Cypress	3" Caliper	175	262.50(WL)		B&B
	58						15,225	
CATEGORY IV - TREES								
Ar		Acer rubrum	Red Maple	3" Caliper	250	375.00(WL)		B&B
As		Acer saccharum	Sugar Maple	3" Caliper	250	375.00(WL)		B&B
Ct		Carya tomentosa	Mockernut Hickory	3" Caliper	250	375.00(WL)		B&B
Lt		Liriodendron tulipifera	Tulip Poplar	3" Caliper	250	375.00(WL)		B&B
Pa		Platanus acerifolia	London planetree	3" Caliper	250	375.00(N)		B&B
Pv		Pinus virginiana	Virginia Pine	3" Caliper	250	375.00(WL)		B&B
Qp		Quercus phellos	Willow Oak	3" Caliper	250	375.00(WL)		B&B
	91						34,125	
TOTAL TREE COVERAGE PROVIDED BY PLANTING								59,325 SF
SHRUBS - EVERGREEN								
Ig		Ilex glabra	Inkberry	24"-30"				Cont.
Ixm		Ilex x meserveae	Meserve Holly	24"-30"				Cont.
JC		Juniperus chinensis	Chinese Juniper	24"-30"				Cont.
PJ		Pieris japonica	Japanese Pieris	24"-30"				Cont.
RC		Rhododendron catawbiense	Catawba Rhododendron	24"-30"				Cont.
RPJ		Rhododendron PJM	PJM Rhododendron	24"-30"				Cont.
SH		Sarcococca hookerana	Sweetbox	24"-30"				Cont.
TB		Taxus baccata 'Repandens'	Repandens yew	24"-30"				Cont.
SHRUBS - DECIDUOUS								
AA		Aronia arbutifolia	Red Chokeberry	24"-30"				Cont.
CA		Clethra alnifolia	Summersweet	24"-30"				Cont.
FC		Fothergilla gardenii	Dwarf Fothergilla	24"-30"				Cont.
HQ		Hydrangea quercifolia	Oak-Leaf Hydrangea	24"-30"				Cont.
IV		Ilex verticillata	Winterberry	24"-30"				Cont.
IT		Itea virginica	Virginia Sweetpire	24"-30"				Cont.

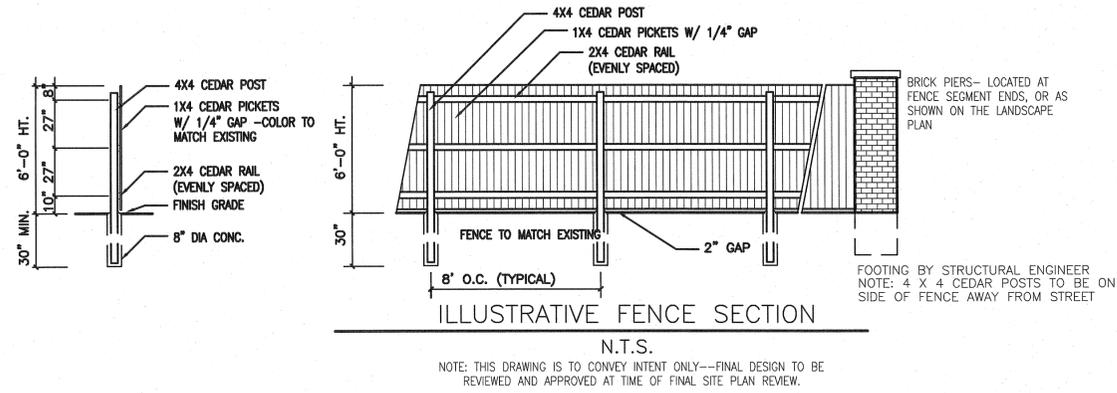
**December 1, 2014
Lewinsville Center (VV6307F)
Supplemental 10-Year Tree Canopy Coverage Summary**
(See Tables 12.3 and 12.10 for detailed information and calculations)

- Gross Site Area = 377,130 SF
 - Minus Dedication Area(s) = 69,825 SF (Play Field and R.O.W Dedication along Great Falls Dr.)
 - Minus Exemption Area(s) = 0 SF
- Adjusted Gross Site Area = 307,305 SF
- Required 10-Year Tree Canopy Coverage (from Table 12.4) = 25%
- Required 10-Year Tree Canopy Coverage = 76,826 SF (#2 x #3 = 76,826 SF)
- Area of Existing Tree Canopy (See EVM Sheet C-5) = 78,423 SF
- % of Gross Site Area covered by Existing Tree Canopy = 21% or .2037122 (#5 / #1 = 21%)
- Target: Required 10-Year Tree Canopy that should be met through Preservation of Existing Trees = 15,976 SF (#4 x #6 = 15,976 SF)
- Area of Existing Tree Canopy to be Preserved = 14,523 SF (see EVM & Landscape Plans)
- Area of Existing Tree Canopy to be Preserved w/ 1.25 benefit = 18,154 SF (14,523 SF x 1.25 = 18,154 SF)
- Total Area of Existing Tree Canopy to be Preserved = 18,154 SF
- Tree Preservation Target Met? **YES (18,154 SF > 15,976 SF)** If "NO" See Target Deviation Request & Narrative
- Resultant Area of Required 10-Year Tree Canopy to be Provided Through Tree Planting = 58,673 SF (#4 minus #10 = 58,673 SF)
- 10-Year Canopy Area of Proposed Tree Planting = 59,325 SF
- Total Tree Canopy Provided = 77,479 SF (#10 + #13)
- Required 10-Year Tree Canopy Coverage Met? **YES - 77,479 SF > 76,826 SF (#14 > #4)**

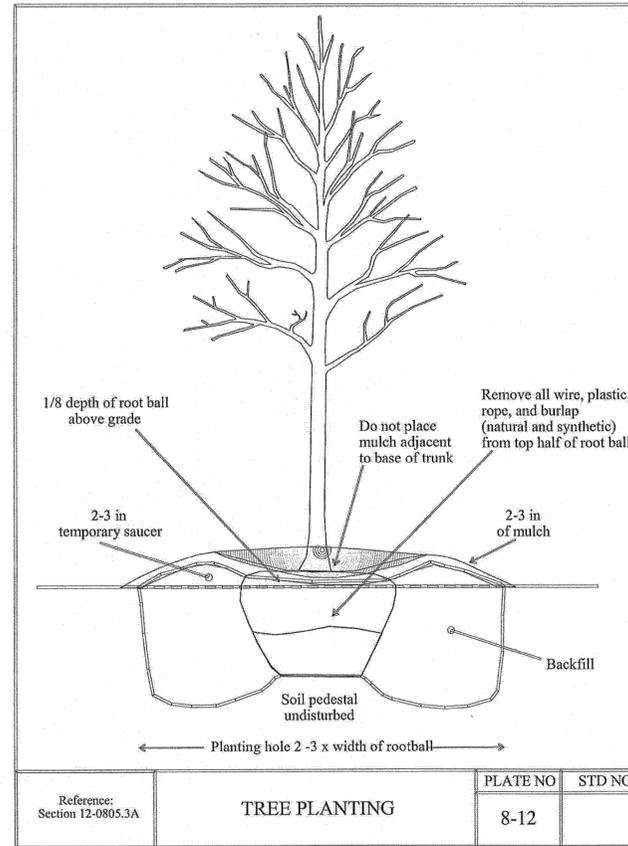
	Value	Remarks
Area to be counted (SF) =	72,234	square feet
Interior Landscaping Required (5%) =	3611.7	square feet
Total Shade tree Canopy Provided (21 trees @ 250 sf ea.) =	5,250	Counting benefit credits
		Counting benefit credits
Total Area Required (SF) =	3,612	5%
Total Area Provided (SF) =	5,250	7%

* SEE PARKING COMPOUND EXHIBIT ON THIS SHEET.

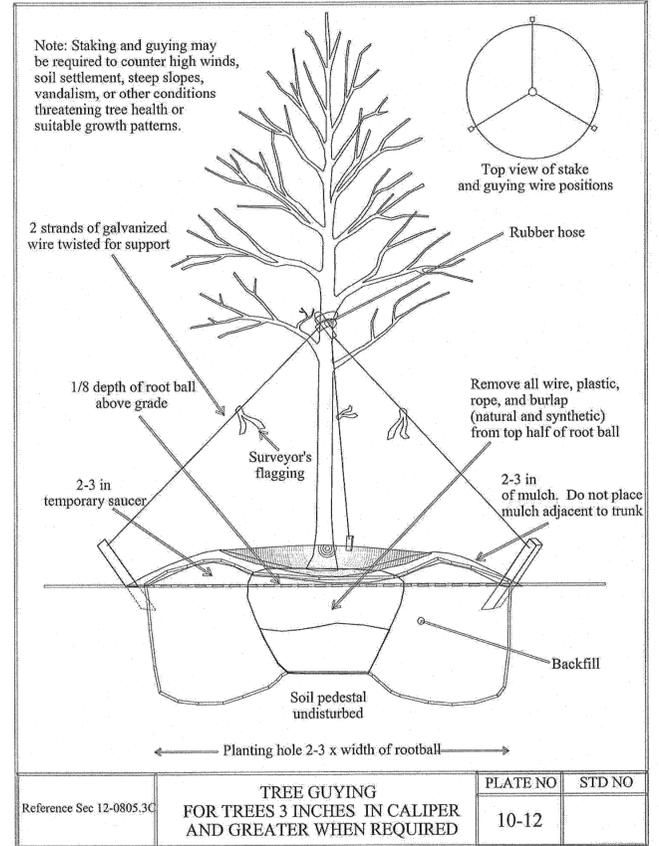




FAIRFAX COUNTY PUBLIC FACILITIES MANUAL



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Virginia Cooperative Extension
REPRINTED 2004



Horticulture
PUBLICATION 430-295

Tree and Shrub Planting Guidelines

Bonnie Lee Appleton and Susan French*

Plant and Site Selection

Select trees and shrubs well-adapted to conditions of individual planting sites. Poorly-sited plants are doomed from the start, no matter how carefully they're planted.

Test soil drainage before planting. Dig a test hole as deep as your planting hole and fill with water. If water drains at a rate of less than one inch per hour, consider installing drainage to carry water away from the planting hole base, or moving or raising the planting site (berm construction).

Also consider using more water-tolerant species. For trees, try red maple, sycamore, bald cypress, willow oak, or river birch. For shrubs, try inkberry, redbud, dogwood, and buttonbush. Avoid dogwoods, azaleas, boxwoods, Japanese hollies, and other plants that don't like "wet feet" where drainage is poor.

Examine soil for compaction before planting. If soils are compacted, consider replacement with a good loam soil, or incorporation of several inches of an organic material such as composted yard waste to a depth of at least 8 inches over the entire planting area. Do not incorporate small quantities of sand - compaction will increase and drainage decrease.

Site Preparation

Dig shallow planting holes two to three times as wide as the root ball. Wide, shallow holes encourage horizontal root growth that trees and shrubs naturally produce.

In well-drained soil, dig holes as deep as the root ball. In poorly-drained heavy clay soil, dig holes one to two inches shallower than the root ball. Cover the exposed root ball top with mulch.

Don't dig holes deeper than root balls or put loose soil beneath roots because loose soil will compact over time, leaving trees and shrubs planted too deep. Widen holes near the soil surface where most root growth occurs. Score walls of machine-dug (auger, backhoe) holes to prevent glazing.

Backfill holes with existing unamended soil. Do not incorporate organic matter such as peat moss into

backfill for individual planting holes. Differences in soil pore sizes will be created causing problems with water movement and root growth between the root ball, planting hole, and surrounding soil.

Backfill half the soil, then water thoroughly to settle out air pockets. Finish backfilling, then water again. Cover any exposed root ball tops with mulch.

Incorporate slow-release granular fertilizers into backfill soil to provide nitrogen, or if a soil test indicates a need for phosphorus or potassium. Avoid using fast-release agronomic fertilizers that can dehydrate tree roots. Use no more than 1# actual nitrogen per 1,000 ft. of planting hole surface. (Example - if using 18-6-12 with a 5' diameter hole, incorporate 0.3 oz. per planting hole.)

Tree and Shrub Preparation

Closely inspect the wrapping around root balls of B&B (balled and burlapped) trees and shrubs. Growers use many synthetic materials, as well as burlap treated to retard degradation, to wrap root balls. Many of these materials will not degrade. To insure root growth into surrounding soil, remove pruning nails or rope lacing, then cut away or drop the wrapping material to the bottom of the planting hole, backfilling over it.

Wire baskets used to protect root balls degrade very slowly underground. Remove the top 8-12 inches of wire to keep equipment from getting caught in wire loops, and surface roots from girdling.

Remove all rope, whether jute or nylon, from trunks. Again, degradation is slow or nonexistent, and ropes can girdle trunks and roots.

Remove plastic containers from container-grown trees and shrubs. For plants in fiber pots, break away the top or remove the pot entirely. Many fiber pots are coated to extend their shelf life, but this slows degradation below ground and retards root extension.

If roots are circling around the root ball exterior, cut through the roots in a few places. Cutting helps prevent circling roots from eventually girdling the trunk. Select trees grown in containers with vertical ribs or a

copper-treatment on the interior container wall. These container modifications and treatments minimize circling root formation.

Tree Care After Planting

Remove tags and labels from trees and shrubs to prevent girdling branches and trunks.

Good follow-up watering helps promote root growth. Drip irrigation systems and water reservoir devices can facilitate watering.

Mulch, but don't over mulch newly planted trees and shrubs. Two to three inches of mulch is best - less if a fine material, more if coarse. Use either organic mulches (shredded or chunk pine bark, pine straw, compost) or inorganic mulches (volcanic and river rocks).

Keep mulch from touching tree trunks and shrub stems. This prevents disease and rodent problems if using organic mulches, and bark abrasion if using inorganic mulches.

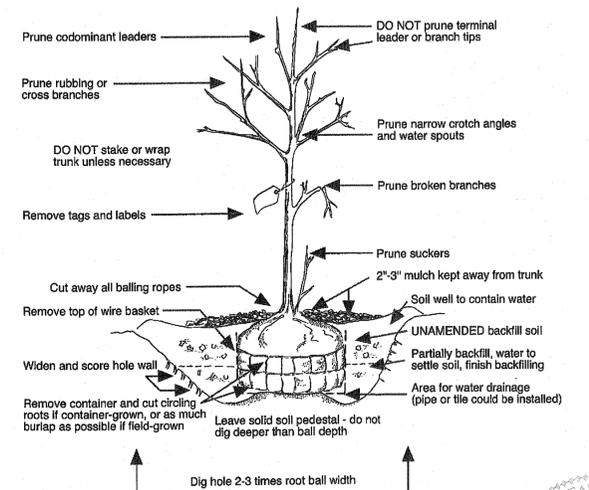
Don't use black plastic beneath mulch around trees and shrubs because it blocks air and water exchange. For

added weed control, use landscape fabrics that resist weed root penetration. Apply only one to two inches of mulch atop fabrics to prevent weeds from growing in the mulch.

Only stake trees with large crowns, or those situated on windy sites or where people may push them over. Stake for a maximum of one year. Allow trees to settle a slight amount of flex, rather than holding them rigidly in place. Use guying or attaching material that won't damage the bark. To prevent trunk girdling, remove all guying material after one year.

Most trees should not have their trunks wrapped. Wrapping often increases insect, disease, and water damage to trunks. Thin-barked trees planted in spring or summer into hot or paved areas may benefit from wrapping if a white wrap is used. To avoid trunk girdling, do not attach wraps with wire, nylon or rope, plastic ties, or electrical tape. If wraps must be used, remove within one year.

For protection against animal or equipment damage, install guards to protect the trunk. Be sure the guards are loose-fitting and permit air circulation.

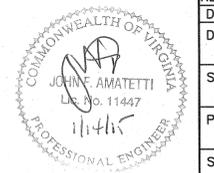


LEWINSVILLE CENTER
SEA PLAT
DRANESVILLE DISTRICT
FAIRFAX COUNTY, VIRGINIA

LANDSCAPE DETAILS AND SPECIFICATIONS

VKA REVISIONS

REVISED JAN 14, 2015	DES.	NPK	DWN.	NPK
REVISED JAN 05, 2015	SCALE:	NOT TO SCALE		
DATE: OCT 30, 2014	PROJECT/FILE NO.	6307		
	SHEET NO.	C-17		



FILE: P:\projects\6307\6307\CADD - P\PLANNING\PLANNING DRAWINGS\6307900-9db.dwg USER: jecomett DATE: Jun, 13 2015 TIME: 12:51 pm



DEPARTMENT OF THE ARMY
US ARMY CORPS OF ENGINEERS
NORFOLK DISTRICT
FORT NORFOLK
803 FRONT STREET
NORFOLK, VA 23510-1096

JUNE 27, 2014

APPROVED JURISDICTIONAL DETERMINATION

Northern Virginia Regulatory Section
NAO-2014-01147 (Lewinsville Center)

Ms. Kamillah McAfee
Wesley Housing Development Corporation
5515 Cherokee Avenue, Suite 200
Alexandria, Virginia 22312

Dear Ms. McAfee:

This letter is in regard to your request for a verification of an approved jurisdictional determination for waters of the U.S. (including wetlands) on property known as Lewinsville Center, located on an approximately 9.0 acre parcel east of Great Falls Street (Route 694), and directly west of the intersection of Evers Drive and Nathaniel Lane in Prince William County, Virginia.

A desktop jurisdictional determination has found waters and/or wetlands regulated under Section 10 of the Rivers and Harbors Act (33 U.S.C. 403) and/or Section 404 of the Clean Water Act (33 U.S.C. 1344) on property listed above. Nontidal wetlands and/or waters have been identified on the site. This letter shall serve to confirm the wetlands delineation by Wetland Studies and Solutions, Inc., as surveyed and shown on the map titled, "Lewinsville Center" dated June 13, 2014 (on file at the Corps).

Our basis for this determination is the application of the Corps' 1987 Wetland Delineation Manual and Regional Supplement to the Corps of Engineers Wetland Delineation Manual: Eastern Mountains and Piedmont Region and the positive indicators of wetland hydrology, hydric soils, and hydrophytic vegetation. The wetland is a water of the United States and is part of a tributary system to interstate waters (33 CFR 328.3(a)). These waters meet the Corps' definition of waters of the United States, are part of a tributary system to interstate waters (33 CFR 328.3 (a)) and have an ordinary high water mark.

Discharges of dredged or fill material, including those associated with mechanized landclearing, into jurisdictional waters and/or wetlands on this site will require a Department of the Army permit and may require authorization by state and local authorities, including a Virginia Water Protection Permit from the Virginia Department of Environmental Quality (DEQ), a permit from the Virginia Marine Resources Commission (VMRC) and/or a permit from your local wetlands board. This letter is a confirmation of the Corps jurisdiction for the waters and/or wetlands on the subject property and does not authorize any work in these jurisdictional areas. Please obtain all required permits before starting work in the delineated waters/wetland areas.

This letter contains an approved jurisdictional determination for your subject site. If you object to this determination, you may request an administrative appeal under Corps regulations at 33 CFR Part 331. Enclosed you will find a Notification of Appeal Process (NAP) fact sheet and Request for Appeal (RFA) form. If you request to appeal this determination you must submit a completed RFA form to the North Atlantic Division Office at the following address:

ATTN: Mr. Michael Vissicelli, Regulatory Appeals Review Officer
United States Army Corps of Engineers
CENAD-PD-OR
Fort Hamilton Military Community
301 General Lee Avenue
Brooklyn, NY 11252-6700

In order for an RFA to be accepted by the Corps, the Corps must determine that it is complete, that it meets the criteria for appeal under 33 C.F.R. part 331.5, and that it has been received by the Division Office within 60 days of the date of the NAP. Should you decide to submit an RFA form, it must be received at the above address by ****August 27, 2014.**** It is not necessary to submit an RFA form to the Division office if you do not object to the determination in this letter.

This jurisdictional determination is valid for a period of five years from the date of this letter unless new information warrants revision prior to the expiration date. If you have any questions, please contact Ms. Theresa Crockett-Augustine in the Northern Virginia Field Office at 18139 Triangle Plaza, Suite 213, Dumfries, Virginia 22026, (703) 221-9736 or theresa.m.crockett-augustine@usace.army.mil.

Sincerely,

Theresa Crockett-Augustine
Theresa Crockett-Augustine
Project Manager
Northern Virginia Regulatory Section

NOTIFICATION OF ADMINISTRATIVE APPEAL OPTIONS AND PROCESS AND REQUEST FOR APPEAL

Applicant: Wesley Housing Development Corporation	File Number: NAO-2014-01147	Date: June 27, 2014
Attached is:	See Section below	
INITIAL PROFFERED PERMIT (Standard Permit or Letter of permission)	A	
PROFFERED PERMIT (Standard Permit or Letter of permission)	B	
PERMIT DENIAL	C	
X APPROVED JURISDICTIONAL DETERMINATION	D	
PRELIMINARY JURISDICTIONAL DETERMINATION	E	

SECTION I - The following identifies your rights and options regarding an administrative appeal of the above decision. Additional information may be found at http://www.usace.army.mil/CECW/Pages/reg_materials.aspx or Corps regulations at 33 CFR Part 331.

- A: INITIAL PROFFERED PERMIT:** You may accept or object to the permit.
- ACCEPT:** If you received a Standard Permit, you may sign the permit document and return it to the district engineer for final authorization. If you received a Letter of Permission (LOP), you may accept the LOP and your work is authorized. Your signature on the Standard Permit or acceptance of the LOP means that you accept the permit in its entirety, and waive all rights to appeal the permit, including its terms and conditions, and approved jurisdictional determinations associated with the permit.
 - OBJECT:** If you object to the permit (Standard or LOP) because of certain terms and conditions therein, you may request that the permit be modified accordingly. You must complete Section II of this form and return the form to the district engineer. Your objections must be received by the district engineer within 60 days of the date of this notice, or you will forfeit your right to appeal the permit in the future. Upon receipt of your letter, the district engineer will evaluate your objections and may (a) modify the permit to address all of your concerns, (b) modify the permit to address some of your objections, or (c) not modify the permit having determined that the permit should be issued as previously written. After evaluating your objections, the district engineer will send you a proffered permit for your reconsideration, as indicated in Section B below.
- B: PROFFERED PERMIT:** You may accept or appeal the permit
- ACCEPT:** If you received a Standard Permit, you may sign the permit document and return it to the district engineer for final authorization. If you received a Letter of Permission (LOP), you may accept the LOP and your work is authorized. Your signature on the Standard Permit or acceptance of the LOP means that you accept the permit in its entirety, and waive all rights to appeal the permit, including its terms and conditions, and approved jurisdictional determinations associated with the permit.
 - APPEAL:** If you choose to decline the proffered permit (Standard or LOP) because of certain terms and conditions therein, you may appeal the decision of Engineers Administrative Appeal Process by completing Section II of this form and sending the form to the division engineer. This form must be received by the division engineer within 60 days of the date of this notice.
- C: PERMIT DENIAL:** You may appeal the denial of a permit under the Corps of Engineers Administrative Appeal Process by completing Section II of this form and sending the form to the division engineer. This form must be received by the division engineer within 60 days of the date of this notice.
- D: APPROVED JURISDICTIONAL DETERMINATION:** You may accept or appeal the approved JD or provide new information.
- ACCEPT:** You do not need to notify the Corps to accept an approved JD. Failure to notify the Corps within 60 days of the date of this notice, means that you accept the approved JD in its entirety, and waive all rights to appeal the approved JD.
 - APPEAL:** If you disagree with the approved JD, you may appeal the approved JD under the Corps of Engineers Administrative Appeal Process by completing Section II of this form and sending the form to the division engineer. This form must be received by the division engineer within 60 days of the date of this notice.

E: PRELIMINARY JURISDICTIONAL DETERMINATION: You do not need to respond to the Corps regarding the preliminary JD. The preliminary JD is not appealable. If you wish, you may request an approved JD (which may be appealed), by contacting the Corps district for further instruction. Also you may provide new information for further consideration by the Corps to reevaluate the JD.

SECTION II - REQUEST FOR APPEAL OR OBJECTIONS TO AN INITIAL PROFFERED PERMIT
REASONS FOR APPEAL OR OBJECTIONS: (Describe your reasons for appealing the decision or your objections to an initial proffered permit in clear concise statements. You may attach additional information to this form to clarify where your reasons or objections are addressed in the administrative record.)

POINTS OF CONTACT FOR QUESTIONS OR INFORMATION:
If you have questions regarding this decision and/or the appeal process you may contact:
United States Army Corps of Engineers
Norfolk District CENAD-WR
Northern Virginia Field Office
ATTN: Theresa Crockett-Augustine
18139 Triangle Plaza, Suite 213
Dumfries, Virginia 22026
Phone: (703) 221-9736
Email: theresa.m.crockett-augustine@usace.army.mil

If you only have questions regarding the appeal process you may also contact:
Mr. Michael Vissicelli
Regulatory Appeals Review Officer
U.S. Army Corps of Engineers
CENAD-PD-OR
Fort Hamilton Military Community
301 General Lee Avenue
Brooklyn, NY 11252-6700
1-212-70-4663

RIGHT OF ENTRY: Your signature below grants the right of entry to Corps of Engineers personnel, and any government consultants, to conduct investigations of the project site during the course of the appeal process. You will be provided a 15 day notice of any site investigation, and will have the opportunity to participate in all site investigations.

Signature of appellant or agent:	Date:	Telephone number:



DEPARTMENT OF THE ARMY
US ARMY CORPS OF ENGINEERS
NORFOLK DISTRICT
FORT NORFOLK
803 FRONT STREET
NORFOLK, VIRGINIA, 23510-109

JUNE 27, 2014

Supplemental Preappraisal Information

Project Number: NAO-2014-01147 (Lewinsville Center)
Applicant: Wesley Housing Development Corporation
Project Location: Prince William County, Virginia

1. A search of the Virginia Department of Historic Resources data revealed the following:

- No known historic properties are located on the property.
- The following known architectural resources are located on the property:
- The following known archaeological resources are located on the property:
- The following known historic resources are located in the vicinity of the property (potential for effects to these resources from future development):

NOTE:

- The information above is for planning purposes only. In most cases, the property has not been surveyed for historic resources. Undiscovered historic resources may be located on the subject property or adjacent properties and this supplemental information is not intended to satisfy the Corps' requirements under Section 106 of the National Historic Preservation Act (NHPA).
- Prospective permittees should be aware that Section 108 of the NHPA (16 U.S.C. 470b-2(b)) prevents the Corps from granting a permit or other assistance to an applicant who, with intent to avoid the requirements of Section 106 of the NHPA, has intentionally or significantly adversely affected a historic property to which the permit would relate, or having legal power to prevent it, allowed such significant adverse effect to occur, unless the Corps, after consultation with the Advisory Council on Historic Preservation (ACHP), determines that circumstances justify granting such assistance despite the adverse effect created or permitted by the applicant.

2. A search of the data supplied by the U.S. Fish & Wildlife Service, the Virginia Department of Conservation and Recreation and the Virginia Department of Game and Inland Fisheries revealed the following:

- No known populations of threatened or endangered species are located on or within the vicinity of the subject property.
- The following federally-listed species may occur within the vicinity of the subject property.
- The following state-listed (or other) species may occur within the vicinity of the subject property:

Please note this information is being provided to you based on the preliminary data you submitted to the Corps relative to project boundaries and project plans. Consequently, these findings and recommendations are subject to change if the project scope changes or new information becomes available and the accuracy of the data.



U.S. Fish and Wildlife Service

Natural Resources of Concern

This resource list is to be used for planning purposes only — It is not an official species list.

Endangered Species Act species list information for your project is available online and listed below for the following FWS Field Offices:

Virginia Ecological Services Field Office
6669 SHORTLAND LANE
GLOUCESTER, VA 23061
(804) 693-6694
<http://www.fws.gov/northeast/regional/>

Project Name:
Lewinsville Center



U.S. Fish and Wildlife Service

Natural Resources of Concern

Project Location Map:



Project Counties:
Fairfax, VA

Geographic coordinates (Open Geospatial Consortium Well-Known Text, NAD83):
MULTIPOLYGON ((-77.1964194 38.9269265, -77.1942629 38.9275362, -77.1936942 38.9259086, -77.1955932 38.9254328, -77.1964194 38.9269265))

Project Type:
Development



U.S. Fish and Wildlife Service

Natural Resources of Concern

Endangered Species Act Species List (USFWS Endangered Species Program).
There are no listed species found within the vicinity of your project.

Critical habitats within your project area:

There are no critical habitats within your project area.

FWS National Wildlife Refuges (USFWS National Wildlife Refuges Program).
There are no refuges found within the vicinity of your project.

FWS Migratory Birds (USFWS Migratory Bird Program).

Most species of birds, including eagles and other raptors, are protected under the Migratory Bird Treaty Act (16 U.S.C. 703). Bald eagles and golden eagles receive additional protection under the Bald and Golden Eagle Protection Act (16 U.S.C. 668). The Service's Birds of Conservation Concern (2009) report identifies species, subspecies, and populations of all migratory nongame birds that, without additional conservation actions, are likely to become listed under the Endangered Species Act as amended (16 U.S.C. 1531 et seq.).

Migratory bird information is not available for your project location.

NWI Wetlands (USFWS National Wetlands Inventory).

The U.S. Fish and Wildlife Service is the principal Federal agency that provides information on the extent and status of wetlands in the U.S., via the National Wetlands Inventory Program (NWI). In addition to impacts to wetlands within your immediate project area, wetlands outside of your project area may need to be considered in any evaluation of project impacts, due to the hydrologic nature of wetlands (for example, project activities may affect local hydrology within, and outside of, your immediate project area). It may be helpful to refer to the USFWS National Wetland Inventory website. The designated FWS office can also assist you. Impacts to wetlands and other aquatic habitats from your project may be subject to regulation under Section 404 of the Clean Water Act, or other State/Federal Statutes. Project Proponents should discuss the relationship of these requirements to their project with the Regulatory Program of the appropriate U.S. Army Corps of Engineers District.



U.S. Fish and Wildlife Service

Natural Resources of Concern

There are no wetlands found within the vicinity of your project.



June 19, 2014

VIA UPS GROUND

Ms. Kamillah McAfee
Wesley Housing Development Corporation
5515 Cherokee Avenue, Suite 200
Alexandria, Virginia 22312

Re: Environmental Quality Corridor (EQC) Investigation
Lewinsville Center (59 acres)
Fairfax County, Virginia
WSSI #22421.01

Dear Ms. McAfee:

At your request, Wetland Studies and Solutions, Inc. (WSSI) has determined if Environmental Quality Corridor (EQC) components (including streams, wetlands, floodplain area, and adjacent slopes) are present on-site.

According to the Fairfax County Comprehensive Plan, lands may be included within the EQC system if they can achieve any of the following purposes:

- Habitat Quality:** The land has a desirable or scarce habitat type, or one could be readily restored, or the land hosts a species of special interest. This may include habitat for species that have been identified by state or federal agencies as being rare, threatened or endangered; rare vegetative communities; unfertilized vegetated areas that are large enough to support interior forest dwelling species; and aquatic and wetland breeding habitats (i.e., seeps, vernal pools) that are connected to and in close proximity to other EQC areas.
- Connectivity:** This segment of open space could become a part of a corridor to facilitate the movement of wildlife and/or conserve biodiversity. This may include natural corridors that are wide enough to facilitate wildlife movement and/or the transfer of genetic material between core habitat areas.
- Hydrology/Stream Buffering/Stream Protection:** The land provides, or could provide, protection to one or more streams through: the provision of shade; vegetative stabilization of stream banks; moderation of sheet flow stormwater runoff velocities and volumes; trapping of pollutants from stormwater runoff and/or flood waters; flood control through temporary storage of flood waters and dissipation of stream energy; separation of potential pollution sources from streams; accommodation of stream channel evaluation/migration; and protection of steeply sloping areas near streams from denudation.
- Pollution Reduction Capabilities:** Preservation of this land would result in significant pollutant reductions. Water pollution, for example, may be reduced through: trapping of nutrients, sediment and/or other pollutants from runoff from adjacent areas; trapping of nutrients, sediment and/or other pollutants from runoff; protection of highly erodible soils and/or steeply sloping areas from denudation; and/or separation of potential pollution sources from streams.

The core of the EQC system will be the county's stream valleys. Additions to the stream valleys should be selected to augment the habitats and buffers provided by the stream valleys, and to add representative elements of the landscapes that are not represented within stream valleys. The stream valley component of the EQC system shall include the following elements:

5300 Wellington Branch Drive • Suite 100 • Gainesville, VA 20155 • Phone 703.679.5600 • Fax 703.679.5601
www.wetlandstudies.com



Ms. Kamillah McAfee
Environmental Quality Corridor (EQC) Investigation
6/19/2014
Page 2

- All 100 year flood plains as defined by the Zoning Ordinance;
- All areas of 15% or greater slopes adjacent to the flood plain, or if no flood plain is present, 15% or greater slopes that begin within 50 feet of the stream channel;
- All wetlands connected to the stream valleys; and
- All the land within a corridor defined by a boundary line which is 50 feet plus 4 additional feet for each % slope measured perpendicular to the stream bank. The % slope used in the calculation will be the average slope measured within 110 feet of a stream channel or, if a flood plain is present, between the flood plain boundary and a point fifty feet up slope from the flood plain. This measurement should be taken at fifty foot intervals beginning at the downstream boundary of any stream valley on or adjacent to a property under evaluation.

Based on our field investigation and review of available information, this site lacks a 100-year floodplain area, quality habitat characteristics, and connectivity to natural corridors. This site does have a stream and wetlands adjacent to the stream that have the potential to provide temporary storage of flood waters, and well as pollution reduction characteristics, among other benefits. Although these are important aspects of the EQC system, the county's stream valleys are the core component. Since there is an intermittent stream and wetlands present, EQC components are present. There will be a corridor defined as a 50-foot buffer plus 4 additional feet for each percent slope measured perpendicular to the stream bank. The percent slope used in the calculation will be the average slope measured within 110 feet of a stream channel (when a floodplain is not present). There are steep slopes present (slopes greater than 15 percent), but these are included within the 50-foot buffer from the stream, therefore the steep slopes do not increase the EQC on-site.

In summary, there are EQC components on your project site, and a sketch of the estimated EQC based on the buffer formula is included on the EQC Investigation map. We believe that the case could be made to Fairfax County staff that the area with EQC components should not be considered an EQC based on the fact that a) the stream does not continue up slope or across Great Falls Street, b) the stream flows through a residential development downstream of the site, and c) the stream is piped for a distance of approximately 450 feet below Evers Drive. Thus it does not function, nor provide any of the intended benefits of an EQC.

If you have any questions concerning the content of our report or need any additional copies, please contact us at 703-679-5600.

Sincerely,

WETLAND STUDIES AND SOLUTIONS, INC.

Jessica M. Campo
Jessica M. Campo, WPIT, CT
Environmental Scientist
Mark Heady
Mark Heady, PWS, PWD, LEED® AP
Executive Vice President

Enclosures

cc. Mr. John F. Amatetti, P.E., VIKa Companies (w/encl.)

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June 27, 2014

Via: KMcAfee@whdc.org

Ms. Kamillah McAfee
Wesley Housing Development Corporation
5515 Cherokee Avenue, Suite 200
Alexandria, Virginia 22312

Re: Jurisdictional Determination (#NAO-2014-01147)
Lewinsville Center (59 acres)
Fairfax County, Virginia
WSSI #22421.01

Dear Ms. McAfee:

Enclosed is a copy of the U.S. Army Corps of Engineers' Jurisdictional Determination (JD) (#NAO-2014-01147) confirming the wetland delineation submitted by Wetland Studies and Solutions, Inc. This JD is valid for a period of five years from the date that it was issued (June 27, 2014).

Please note that this JD is only the U.S. Army Corps of Engineers verification of the wetland delineation and does not constitute authorization to impact any waters of the U.S. on the site. WSSI can provide you with a proposal to prepare a permit application, if your site design will impact any waters of the U.S. on the site.

If you have any questions, please contact me (jcampo@wetlandstudies.com; 703-679-5621).

Sincerely,

WETLAND STUDIES AND SOLUTIONS, INC.

Jessica M. Campo
Jessica M. Campo, WPIT, CT
Environmental Scientist

Enclosures

cc. Mr. John F. Amatetti, P.E., VIKa Companies (w/encl.)

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5300 Wellington Branch Drive • Suite 100 • Gainesville, VA 20155 • Phone 703.679.5621 • Fax 703.679.5601
www.wetlandstudies.com



From: Caperton, Chris B [mailto:Chris.Caperton@fairfaxcounty.gov]

Sent: Wednesday, June 25, 2014 3:40 PM

To: Mike Congleton

Cc: Lewis, Catherine E.; 'Kamillah McAfee'; John F. Amatetti, P.E.; Malayeri, Hossein; 'Scott D.Q. Knudson'; Nee, Pamela

Subject: RE: 2232 Lewinsville Center Tax Map Ref: 30-3-(1)142

Mike:

Our office has reviewed the pertinent information, including application 2232-D03-9, approved December 4, 2003, and determined that the previously-approved 2232 sufficiently covers the planned public uses shown in the amended SEA. The proposed uses are determined to be in general conformance with the Comprehensive Plan and based on adverse impacts on location, character, and extent.

If you have any further questions, please don't hesitate to contact me.

Thanks,

Chris

Chris Caperton
Chief, Facilities Planning Branch
Department of Planning and Zoning
703-324-1375

From: Mike Congleton [mailto:congleton@vika.com]

Sent: Tuesday, June 03, 2014 3:45 PM

To: Caperton, Chris B

Cc: Lewis, Catherine E.; pam.nee@fairfaxcounty.gov; Kamillah McAfee; John F. Amatetti, P.E.; Malayeri, Hossein; Scott D.Q. Knudson

Subject: 2232 Lewinsville Center Tax Map Ref: 30-3-(1)142

Chris:

As we discussed, the Department of Housing and Community Development (HDCD) in partnership with Wesley Housing Corporation (Wesley) are proposing the development of the Lewinsville Center as a Senior Day Care, Child Care, Senior Center and Assisted Living Facility. The HDCD will own/operate the day care centers and senior center. Wesley will own/operate the assisted living facility. These uses were approved in 2003 as part of SEA-94-D-002 in 2003 as well as a 2232 Application on County owned property. SEA 92-D-002 proposed and approved having the County own and operate all the facilities. This SEA will switch the ownership and operation of the Assisted Living Facility from HDCD to Wesley. We are the engineers for the amendment to this Special Exception. The footprints of the buildings will be somewhat different than that was originally approved, however the original SEA was comprised as follows:

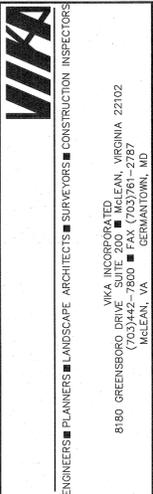
Original SEA	Amended SEA	82 Units
Beds	Beds	82 Units
Senior Center	Senior Center	80 persons
Child Care Center	Child Care Center	210 Persons
Adult Day Care	Adult Day Care	65 Persons

As you can see, the number of persons using the site has decreased, thereby decreasing the intensity. The public use of the site has been reduced by approximately 1/4 as Wesley will own/operate the assisted living facility. It seems logical to conclude that the proposed SEA which proposes the same uses as originally approved as part of the 2232, a 50% reduction in the public use, combined with a decrease in intensity conforms in area, purpose and extent with the original 2232 and no additional approvals of a new 2232 would be required. I have attached a scan of the cover sheet and tab for the original SEA and a scan of the proposed building configuration. It would be appreciated if you would review this information and advise me if my assumptions are correct. Thanks again for your help in this matter.

Mike
Michael R. Congleton
Senior Project Planner

Ranked in The Washington Business Journal as one of the Top 25 Engineering Firms

VIKA Virginia, LLC
8180 Greensboro Drive
Suite 200
Tysons, VA 22102
703.442.7800
703.761.2787 (Fax)
Congleton@vika.com



LEWINSVILLE CENTER
SEA PLAT
DRAINSVILLE DISTRICT
FAIRFAX COUNTY, VIRGINIA



VIKA INCORPORATED
 8180 GREENSBORO DRIVE
 FAIRFAX COUNTY, VIRGINIA 22102
 (703) 442-7800 FAX (703) 761-2267
 McLEAN, VA

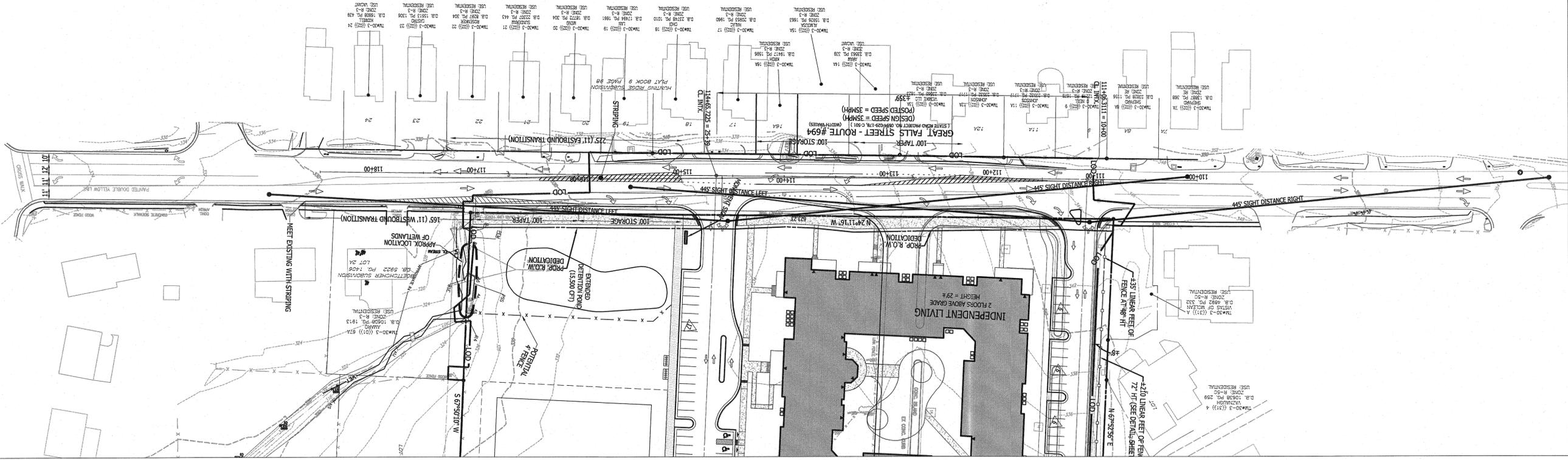
LEWINSVILLE CENTER
SEA PLAT
 DRANESVILLE DISTRICT
 FAIRFAX COUNTY, VIRGINIA

**SIGHT DISTANCE
 PLAN & PROFILE**

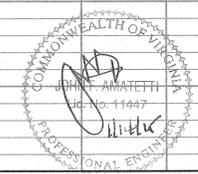
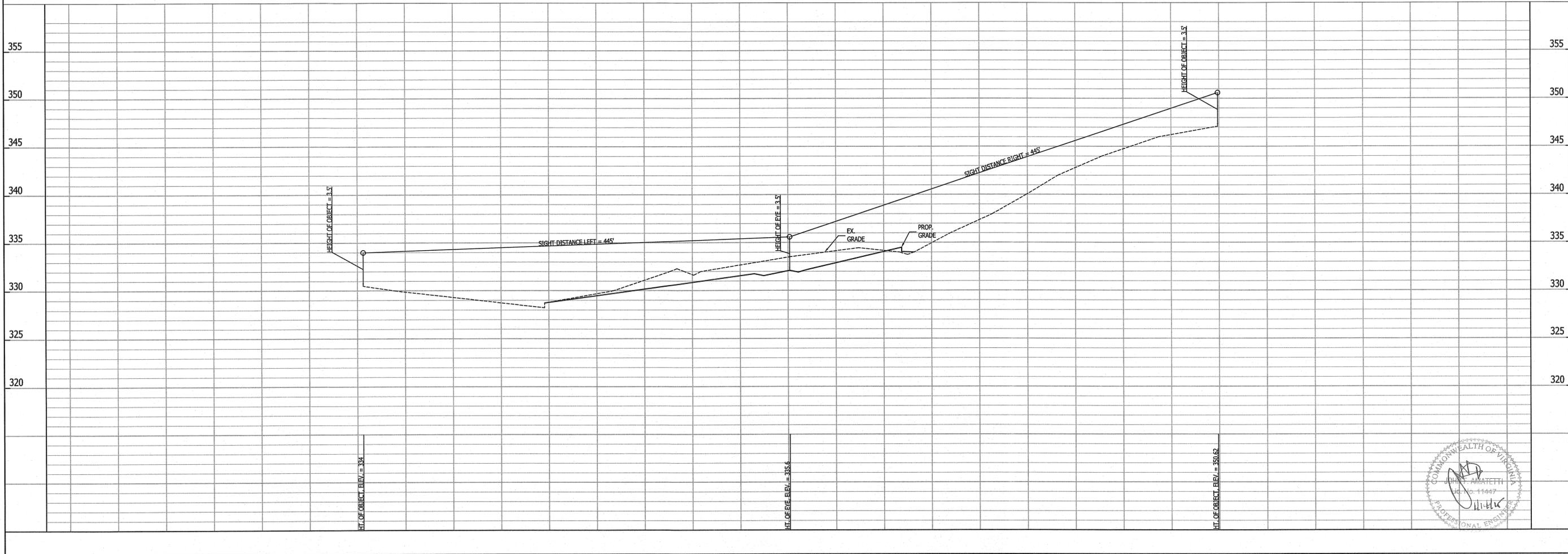
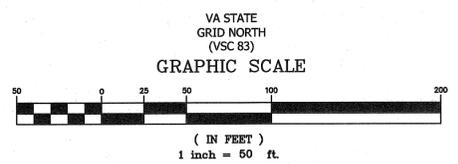
VIKA REVISIONS

JANUARY 14, 2015
 JANUARY 05, 2015
 OCTOBER 30, 2014
 DATE: AUG 11, 2014
 DES. MDB DWN. SML
 SCALE: HORZ: 1"=50'
 VERT: 1"=5'
 PROJECT/FILE NO.
 7037F
 SHEET NO.
 C-20

FILE: P:\projects\6307\6307F\CADD - P\PLANNING\PLANNING DRAWINGS\6307F-01.dwg USER: beamstett DATE: sun, 14, 2015 TIME: 01:15 pm



GREAT FALL STREET - ROUTE 694
 (URBAN MINOR ARTERIAL)
 POSTED SPEED LIMIT=35 MPH
 AADT = 1600 VPD (2012 VDOT TRAFFIC VOLUME ESTIMATE)





EAST ELEVATION



WEST ELEVATION

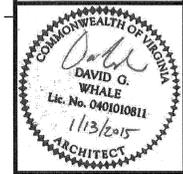


SOUTH ELEVATION



NORTH ELEVATION

ROOF PEAK HEIGHT: 27'-4" AFF
AVERAGE ROOF HEIGHT: 20'-0" AFF
DRAWING SCALE: 3/32" = 1'-0"



11720 Beltsville Drive
Suite 600
Calverton, MD 20705
Tel 301.595.1000
www.grimmandparker.com



GP# 21434

Elevations
Intergenerational Center
McLean, VA



A-21

1/14/2015

GENERAL ELEVATION NOTES:

1. PROVIDE EXTERIOR STAIR RAILINGS AND GUARDRAILS TO MEET CURRENT CODE.
2. ALL WINDOWS TO BE DOUBLE GLAZED, THERMALLY BROKEN VINYL WINDOWS.
3. PROVIDE BENCHES AND OTHER SITE AMENITIES.
4. PROVIDE ROOF, FLASHING, ROOF FELTS AND ASPHALT SHINGLES WITH VENTED SOFFIT ALONG EAVES AT MAIN ROOF. PROVIDE TPO ROOF AT INTERNAL ROOF. PROVIDE STANDING SEAM ROOF AT PORCHES. PROVIDE BLOWN-IN INSULATION TO ACHIEVE A CONTINUOUS R-38 VALUE AT THE ATTIC.
5. PROVIDE NEW GUTTERS AND DOWNSPOUTS WITH DISCHARGE A MINIMUM OF 5'-0" AWAY FROM BUILDING.
6. PROVIDE EXTERIOR WALL MOUNTED LIGHT FIXTURES AND SITE LIGHT POLES.
7. SEE SITE PLAN FOR ADDITIONAL EXTERIOR AND SITE UPGRADES.
8. EXTERIOR FINISH TO BE 30% BRICK, 70% FIBER CEMENT BOARD.

- ELEVATION KEY NOTES:**
- ① CORNERBOARD
 - ② SHUTTERS
 - ③ BRICK
 - ④ SOLIDER BRICK
 - ⑤ HARDIE SIDING
 - ⑥ 3" WINDOW TRIM
 - ⑦ ASPHALT SHINGLES
 - ⑧ ADA RAMP AND RAIL



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ALL DIMENSIONS SHALL BE APPROVED BY THE FIELD BY THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING THE CORRECTNESS OF ALL DIMENSIONS. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS BEFORE THE COMMENCEMENT OF CONSTRUCTION AND SHALL BE RESPONSIBLE FOR CORRECTING ANY ERRORS. THESE PLANS AND DIMENSIONS ARE NOT TO BE APPROVED, CHANGED OR COPIED IN ANY FORM OR BY ANY MEANS WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE ACCURACY OF THE DIMENSIONS AND FOR THE PROTECTION OF THE RIGHTS OF THE ARCHITECT AND CLIENT. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE PROTECTION OF THE RIGHTS OF THE ARCHITECT AND CLIENT.



WIENCEK + ASSOCIATES ARCHITECTS + PLANNERS

JOB NO. 2013-014.00

ISSUANCES		
NO.	DESCRIPTION	DATE
1	Pricing Submission	10/6/2014
2	SEA	1/14/15

Owner	Architect	Contractor	Surety
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Independent Living Facility at Lewinsville Center

160g Great Falls Rd. Fairfax, VA

SHEET TITLE
BUILDING ELEVATIONS

DWG. NO.
A3.0.1

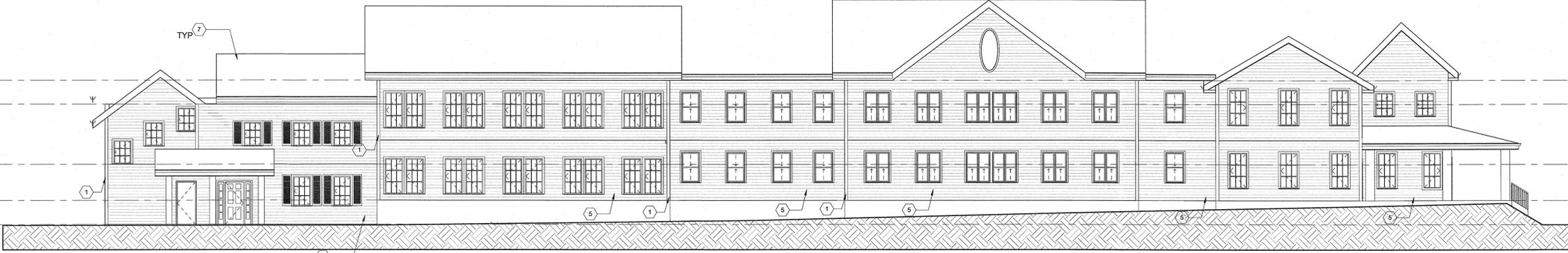
160g Great Falls Rd. Fairfax, VA



4 SOUTH ELEVATION
A3.0.1 1/8" = 1'-0"



3 WEST ELEVATION
A3.0.1 1/8" = 1'-0"



2 NORTH ELEVATION
A3.0.1 1/8" = 1'-0"



1 EAST ELEVATION
A3.0.1 1/8" = 1'-0"

PROPOSED DEVELOPMENT CONDITIONS

SEA 94-D-002-02

January 14, 2015

If it is the intent of the Board of Supervisors to approve SEA 94-D-002-02 located at Tax Map 30-3((1)) 42 ([the "SEA Property"](#)) for -an alternate use of a public facility and pursuant to Sect. 9-311 of the Fairfax County Zoning Ordinance, the staff recommends that the Board condition the approval by requiring conformance with the following development conditions. Conditions brought forward from SEA 94-D-002 are marked with an [asterikasterisk](#).

1. This Special Exception is granted for and runs with the land indicated in this application and is not transferable to other land.
2. This Special Exception is granted only for the purpose(s), structure(s) and/or use(s) indicated on the special exception plat approved with the application, as qualified by these development conditions.
3. This Special Exception is subject to the provisions of Article 17, Site Plans, as may be determined by the Director, Department of Public Works and Environmental Services (DPWES). Any plan submitted pursuant to this special exception shall be in substantial conformance with the approved Special Exception Plat entitled Lewinsville Center, prepared by VIKA, Virginia, LLC and dated August 8, 2014 as revised through [December 1, 2014](#), [January 14, 2015](#) and these conditions. Minor modifications to the approved special exception may be permitted pursuant to Par. 4 of Sect. 9-004 of the Zoning Ordinance.
4. A copy of the Special Exception shall be posted in a conspicuous place on the property along with the Non-Residential Use Permit (Non-RUP) of the use shall be made available to all Departments of the County of Fairfax during hours of operation of the permitted use.*
5. The maximum combined daily enrollment for the child care centers shall not exceed 210 children.
6. The maximum number of dwelling units in the independent housing program shall be eight-two (82).
7. The maximum number of participants in the adult day care on site at any one time shall be eighty (80). The maximum number of participants on site at any

one time in the senior center shall be eighty (80).

8. The architecture of the buildings shall be in general conformance with the elevations provided in the SEA Plat.
9. The County operated Senior Center/Adult Day Care/Child Care Center building shall be designed to meet LEED-Silver certification consistent with Fairfax County sustainable policy for Capital Facilities.
10. The independent living facility shall ~~obtain certification in accordance with the be designed to meet the~~ EarthCraft House Multi-family Program as demonstrated through documentation provided to DPWES and DPZ prior to the issuance of a RUP.
11. A landscape plan shall be submitted concurrent with submission of the site plan for review and approval by the Urban Forestry Management Division (UFMD). The plan shall provide landscaping in substantial conformance with the quality and quantity of landscaping shown on the special exception amendment plat. All peripheral fencing shall be installed prior to any construction activities on the SEA Property. All ~~peripheral transitional screening~~ landscaping, including those areas adjacent to Vistas Land and Evers Drive, shall be installed no later than issuance of the Residential Use Permit (RUP) or Non-Residential Use Permit (Non-RUP) but may be installed earlier if determined feasible, prior to approval of the first footing inspection, or as soon as determined viable by the UFMD, whichever is later, shall be installed prior to the issuance of a building permit.

~~Prior to commencement of construction activity, all supplemental peripheral landscaping adjacent to Vistas Lane shall be installed. The supplemental peripheral landscaping along Evers Drive shall be installed as soon as determined by the Urban Forester, but no later than commencement of construction activities.~~
12. Tree Preservation. The applicant shall submit a Tree Preservation plan as part of the first and all subsequent site plan submissions. The preservation plan shall be prepared by a professional with experience in the preparation of tree preservation plans, such as a Certified Arborist or Registered Consulting Arborist, and shall be subject to the review and approval of the Urban Forest Management Division, DPWES.

The tree preservation plan shall consist of a tree survey that includes the location, species, size, crown spread and condition rating percentage of all trees 12 inches in diameter and greater within 25 feet within the undisturbed area and 10 feet of the limits of clearing and grading in the disturbed area shown on the SEA plat for the entire site. The tree preservation plan shall provide for the preservation of those areas shown for tree preservation, those areas outside of

the limits of clearing and grading shown on the SEA plat and those additional areas in which trees can be preserved as a result of final engineering. The condition analysis ratings shall be prepared using methods outlined in the latest edition of the Guide for Plant Appraisal published by the International Society of Arboriculture. Specific tree preservation activities that will maximize the survivability of any tree identified to be preserved, such as: crown pruning, root pruning, mulching, fertilization, and others as necessary, shall be included in the plan.

13. Tree Preservation Walk-Through. The Applicant shall retain the services of a certified arborist or Registered Consulting Arborist, and shall have the limits of clearing and grading marked with a continuous line of flagging prior to the walk-through meeting. During the tree-preservation walk-through meeting, the Applicant's Certified Arborist or Registered Consulting Arborist shall walk the limits of clearing and grading with an UFMD, DPWES, representative to determine where adjustments to the clearing limits can be made, if any, to increase the area of tree preservation and/or to increase the survivability of trees at the edge of the limits of clearing and grading, and such adjustment shall be implemented. Trees that are identified as dead or dying may be removed as part of the clearing operation. Any tree that is so designated shall be removed using a chain saw and such removal shall be accomplished in a manner that avoids damage to surrounding trees and associated understory vegetation. If a stump must be removed, this shall be done using a stump-grinding machine in a manner causing as little disturbance as possible to adjacent trees and associated understory vegetation and soil conditions.
14. Limits of Clearing and Grading. The Applicant shall conform strictly to the limits of clearing and grading as shown on the SEA plat, subject to allowances specified in these development conditions and for the installation of utilities and/or trails as determined necessary by the Director of DPWES, as described herein. If it is determined necessary to install utilities and/or trails in areas protected by the limits of clearing and grading as shown on the SEA plat, they shall be located in the least disruptive manner necessary as determined by the UFMD, DPWES. A replanting plan shall be developed and implemented, subject to approval by the UFMD, DPWES, for any areas protected by the limits of clearing and grading that must be disturbed for such trails or utilities.
15. Tree Preservation Fencing. All trees shown to be preserved on the tree preservation plan shall be protected by tree protection fence. Tree protection fencing in the form of four (4) foot high, fourteen (14) gauge welded wire attached to six (6) foot steel posts driven eighteen (18) inches into the ground and placed no further than ten (10) feet apart or, super silt fence to the extent that required trenching for super silt fence does not sever or wound compression roots which can lead to structural failure and/or uprooting of trees shall be erected at the limits of clearing and grading as shown on the demolition, and phase I & II erosion and sediment control sheets, as may be modified by the "Root Pruning"

proffer below.

All tree protection fencing shall be installed after the tree preservation walk-through meeting but prior to any clearing and grading activities, including the demolition of any existing structures. The installation of all tree protection fencing shall be performed under the direct supervision of a certified arborist, and accomplished in a manner that does not harm existing vegetation that is to be preserved. Three (3) days prior to the commencement of any clearing, grading or demolition activities, but subsequent to the installation of the tree protection devices, the UFMD, DPWES, shall be notified and given the opportunity to inspect the site to ensure that all tree protection devices have been correctly installed. If it is determined that the fencing has not been installed correctly, no grading or construction activities shall occur until the fencing is installed correctly, as determined by the UFMD, DPWES.

16. Root Pruning. The Applicant shall root prune, as needed to comply with the tree preservation requirements of these development conditions. All treatments shall be clearly identified, labeled, and detailed on the erosion and sediment control sheets of the submitted plan. The details for these treatments shall be reviewed and approved by the UFMD, DPWES, accomplished in a manner that protects affected and adjacent vegetation to be preserved, and may include, but not be limited to the following:
 - a. Root pruning shall be done with a trencher or vibratory plow to a depth of 18 inches.
 - b. Root pruning shall take place prior to any clearing and grading, or demolition of structures.
 - c. Root pruning shall be conducted with the supervision of a certified arborist.
 - d. An UFMD, DPWES, representative shall be informed when all root pruning and tree protection fence installation is complete.

17. Site Monitoring. During any clearing or tree/vegetation/structure removal on the Applicant Property, a representative of the Applicant shall be present to monitor the process and ensure that the activities are conducted as per specific development conditions and as approved by the UFMD. In addition, during the installation of the landscaping, a representative of the Applicant shall be present to monitor the installation of all landscaping. The Applicant shall retain the services of a Certified Arborist or Registered Consulting Arborist to monitor all construction and demolition work adjacent to any vegetation to be preserved and tree preservation efforts and during the installation of all landscaping in order to ensure conformance with all tree preservation and landscaping development conditions, and UFMD approvals. The monitoring schedule shall be described and detailed in the Landscaping and Tree Preservation Plan, and reviewed and approved by the UFMD, DPWES.

18. Demolition of Existing Structures. The demolition of all existing features and structures within areas protected by ~~the limits of clearing and grading~~tree preservation areas shown on the SEA plat shall be done by hand without heavy equipment and conducted in a manner that does not impact individual trees and or groups of trees that are to be preserved as reviewed and approved by UFMD, DPWES.

19. Stormwater Management shall be provided as shown on the Special Exception Amendment Plat, with modifications as may be permitted by DPWES at the time of site plan review, and as described in these conditions. The primary Best Management Practices (BMP) treatment facility is shown as an extended release dry pond with perimeter vegetation; however, ~~other alternative BMP~~ facilities, including but not limited to, a stormfilter, underground detention, an enhanced pond, permeable pavers, infiltration, bioretention, and/or cisterns shall be evaluated for use in treating stormwater runoff. These alternative practices shall be provided ~~as well on this site~~ as determined feasible by the Department of Public Works and Environmental Services' (DPWES) Stormwater Planning and Land Development Services, and pending funding by DPWES Stormwater Planning, ~~based on site conditions, using best engineering judgment in coordination with the Department of Public Works and Environmental Services (DPWES) Stormwater Planning and Land Development Services.~~

~~20. Final design and evaluation of the Stormwater Management practices provided for this site shall be coordinated with DPWES (Stormwater Planning Division) during site plan review to ensure the inclusion of all reasonably feasible innovative practices.~~

~~21.~~20. In order to reduce maximum interior noise to a level of approximately ~~45~~35 dBA Ldn, the units within the independent living facility shall be constructed with the following acoustical measures:

- a. Exterior walls shall have a laboratory Sound Transmission Class (STC) rating of at least 39.
- b. Doors and windows shall have a laboratory STC rating of at least 28. If glazing constitutes more than 20% of any façade, they shall have the same laboratory STC ratings as wells.
- c. Measures to seal and caulk between surfaces shall follow methods approved by the American Society for Testing and Materials to minimize sound transmission.*

~~22.~~21. Prior to the issuance of any Residential Use or Non-Residential Use Permits on the site, frontage improvements along Great Falls Street shall be constructed as depicted on the SEA Plat, subject to approval of the Virginia Department of Transportation (VDOT), including the proposed sidewalk and/or on road bicycle lane.*

~~23-22.~~ No construction activities, other than the installation of utilities as generally depicted on the SEA Plat, associated with the proposed additional shall occur on Evers Drive. No contractor vehicles or equipment, including contractor's personal vehicles, may be parked on Evers Drive. Construction activities shall include the parking of construction or associated vehicles.*

~~24-23.~~ Signage shall comply with Article 12 of the Zoning Ordinance and shall be consistent with one another in terms of materials, style and color. If lighted, signs shall be internally lit ~~of and/or~~ lighted from the top downward. *

~~25-24.~~ All outdoor lighting, including security, pedestrian and/or other incidental lighting shall be in accordance with the Performance Standards for outdoor lighting contained in Part 9 of Article 14 of the Zoning Ordinance. ~~The outdoor field shall not be lit.*~~

~~26-25.~~ All outdoor dumpster(s) on site shall be enclosed with a board-on-board fence, masonry or comparable material. Trash pick-up shall not occur on Saturday or Sunday, and shall not occur before 10:00 a.m. and after 7:00 p.m. Monday through Friday.*

~~27-26.~~ The hours of construction shall comply with those in Chapter 108 of the Code of Fairfax County, with the exception that there shall be no construction on Sundays and Federal Holidays.*

~~28-27.~~ All facilities associated with the Independent Living Facility shall be for the use of the Independent Living Facility's residents, employees and their guests. The athletic field is not a facility associated with the Independent Living Facility, and shall not be restricted to use by residents, employees and their guests. These facilities, except for the athletic field, shall be for the use of the residents, employees and invited guests.

~~29-28.~~ In accordance with Par. 6 of Section 9-306(2) of the Zoning Ordinance, 100% of all dwelling units shall be Affordable Dwelling Units (ADUs). ~~The ADUs shall be administered in accordance with the provisions of Part 8 of Article 2 of the Zoning Ordinance. Within the Applicant's discretion, all of the ADUs may be provided within the multi-family portion of the community.~~

~~30-29.~~ The facility tenancy shall be administered in accordance with Sect. 9-306 with regard to operation, resident care providers, and health care providers.