



APPLICATION ACCEPTED: April 8, 2014
PLANNING COMMISSION DECISION: February 11, 2015
BOARD OF SUPERVISORS: February 17, 2015@ 4:00p.m.

County of Fairfax, Virginia

February 9, 2015

STAFF REPORT ADDENDUM

CRD

RZ 2014-MA-011 / SE 2014-MA-013

MASON DISTRICT

APPLICANT: Spectrum Development, LLC

EXISTING ZONING: C-2, R-3, CRD, HC, SC

PROPOSED ZONING C-6, CRD, HC, SC

PARCEL(S): 61-2 ((17)) (D) 1, 3, 4 and 5;
61-2 ((18)) 1, 2, 3, 4 and 5

ACREAGE: 2.72 acres

FAR: 0.22

OPEN SPACE: 17.7%

PLAN MAP: Office, Residential @ 2-3 du/ac.

SE CATEGORY: Category 5: drive through pharmacy and fast food restaurant(s)
Category 6: Waivers and Modifications in a CRD

PROPOSAL: Rezone from C-2 and R-3 to C-6 to allow for the development of an in-line retail shopping center plus a free-standing pharmacy and retail pad site with a total of 25,905 sf. of gross floor area;

Brent Krasner, AICP

Special Exception approval to permit a drive-through pharmacy and fast food restaurant uses in the shopping center;

CRD waivers and modifications to allow a parking reduction of 20.0% (27 spaces)

STAFF RECOMMENDATIONS:

Staff recommends denial of RZ 2014-MA-011, as proposed. If it is the Board's intent to approve RZ 2014-MA-011, staff recommends that such approval be subject to the execution of proffers consistent with those contained in Attachment 2.

Staff recommends denial of SE 2014-MA-013, as proposed. If it is the Board's intent to approve SE 2014-MA-013, staff recommends that such approval be subject to the development conditions contained in Attachment 3.

Waivers and Modifications Requested:

20% parking reduction as permitted in a Commercial Revitalization District (CRD) to allow 108 parking spaces instead of 135 (reduction of 27 spaces or 20.0%)

Waiver of the front yard setback requirement in the C-6 District per the CRD provisions to permit a 10 foot setback to Leesburg Pike and 7 foot setback to Washington Drive, where 40 feet is required.

Waiver of the minimum lot width standard in the C-6 District per the CRD provisions to allow 160 feet after the dedication of right-of-way along Charles Street where 200 feet is required.

Modification of the trail requirements along Leesburg Pike to permit an 8 foot wide paver walkway in accordance the Bailey's Crossroads streetscape standards in the Comprehensive Plan

Modification of the transitional screening and a barrier requirements along all or portions of the east, south and west property lines, in favor of the plantings and masonry walls shown on the GDP/SE Plat.

Waiver of the Tree Preservation Target Area in favor of the proposed plantings shown on the GDP/SE Plat.

Waiver of the service drive requirement along Leesburg Pike in favor of the frontage improvements shown on GDP/SE Plat.

Modification of the loading space requirements to permit one loading area where three spaces are required.

It should be noted that it is not the intent of the staff to recommend that the Board, in adopting any conditions, relieve the applicant/owner from compliance with the provisions of any applicable ordinances, regulations, or adopted standards; and that, should this application be approved, such approval does not interfere with, abrogate or annul any easements, covenants, or other agreements between parties, as they may apply to the property subject to this application

It should be noted that the content of this report reflects the analysis and recommendation of staff; it does not reflect the position of the Board of Supervisors.

For information, contact the Zoning Evaluation Division, Department of Planning and Zoning, 12055 Government Center Parkway, Suite 801, Fairfax, Virginia 22035-5505, (703) 324-1290 TTY 711 (Virginia Relay Center).

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Americans with Disabilities Act (ADA): Reasonable accommodation is available upon 48 hours advance notice. For additional information on ADA call (703) 324-1334 or TTY 711 (Virginia Relay Center).

Special Exception

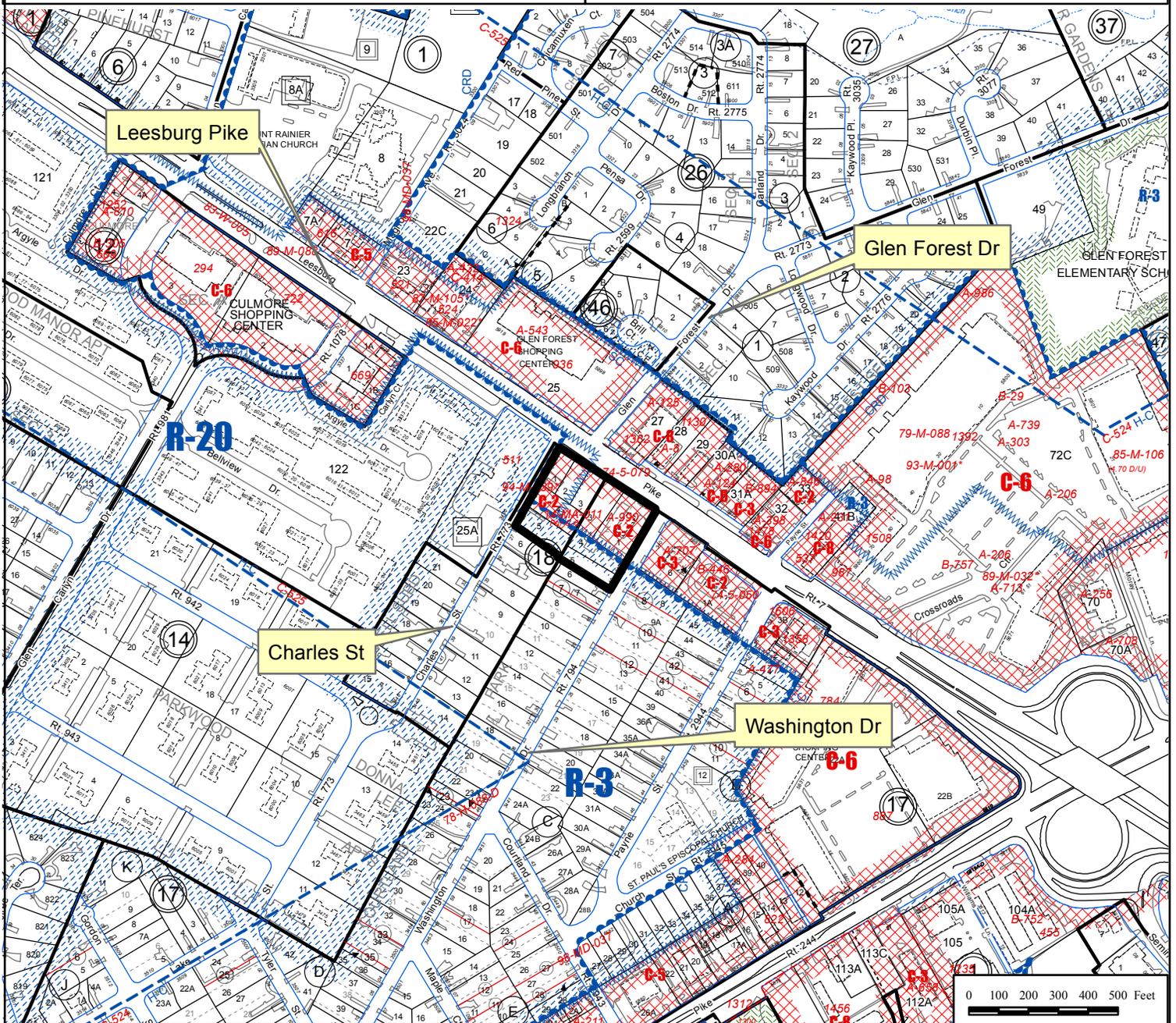
SE 2014-MA-013

Applicant: SPECTRUM DEVELOPMENT, LLC
Accepted: 04/08/2014
Proposed: DRIVE-THROUGH PHARMACY AND FAST FOOD RESTAURANT(S)
Area: 2.72 AC OF LAND; DISTRICT - MASON
Zoning Dist Sect: 04-060404-0604
Art 9 Group and Use: 5-36 5-11
Located: 5885 LEESBURG PIKE, 3408 & 3410 WASHINGTON DRIVE AND 3425 & 3401 CHARLES STREET FALLS CHURCH, VA 22041
Zoning: C-6
Plan Area: 1,
Overlay Dist: CRD SC HC
Map Ref Num: 061-2- /17/D /0001 /17/D /0003 /17/D /0004 /17/D /0005 /18/ /0001 /18/ /0002 /18/ /0003 /18/ /0004 /18/ /0005

Rezoning Application

RZ 2014-MA-011

Applicant: SPECTRUM DEVELOPMENT, LLC
Accepted: 04/08/2014
Proposed: RETAIL, DRIVE-THROUGH PHARMACY AND FAST FOOD
Area: 2.72 AC OF LAND; DISTRICT - MASON
Zoning Dist Sect: SOUTH SIDE OF LEESBURG PIKE BETWEEN CHARLES STREET AND WASHINGTON DRIVE
Zoning: FROM R-3, C-2 TO C-6
Overlay Dist: CRD SC HC
Map Ref Num: 061-2- /17/D /0001 /17/D /0003 /17/D /0004 /17/D /0005 /18/ /0001 /18/ /0002 /18/ /0003 /18/ /0004 /18/ /0005



BACKGROUND AND DISCUSSION

The applicant requests a rezoning of the subject property from C-2 and R-3 (with CRD, HC, and SC overlays) to C-6 (with CRD, HC, and SC overlays) in order to allow the development of a retail shopping center with a free-standing drive-through pharmacy totaling 25,905 square feet of gross floor area. The applicant also requests Special Exception approval for the drive-through component of the pharmacy and for fast food restaurant uses in the shopping center. After receiving a negative recommendation from Staff and hearing concerns from the Commission and neighbors during the Planning Commission public hearing, the applicant has made revisions to the General Development Plan/SE Plat and Proffers. The following addendum to the original staff report summarizes prior concerns, reviews the new plan, proffers, and development conditions and restates the Staff recommendation.

Staff Report– January 7, 2015

The staff report for RZ 2014-MA-013 and SE 2014-MA-011 published on January 7, 2015 recommended denial of the applications. This recommendation was based on a finding of inconsistency with the Comprehensive Plan for the design and layout of new buildings in the Baileys Crossroads Community Business Center. By situating the drive through loop prominently at the intersection of Charles Street and Leesburg Pike, the report concluded that it both detracts from the visual character at a gateway corner to Bailey's Crossroads and prevents the applicant from providing the necessary right of way to accommodate a safe realignment of Charles Street with Glen Forest Drive. In staff's opinion these issues, coupled with concerns about the architectural design and the orientation of the pharmacy, outweighed the positive elements of the proposal.

Planning Commission Public Hearing – January 14, 2015

At the public hearing staff explained that while the applicant had attempted to conform to the guidelines in the Plan, situating the drive through loop at the intersection of Charles Street and Leesburg Pike and orienting the buildings to the rear (parking lot) are both at odds with the future vision for Baileys Crossroads. In addition, the scale of the pharmacy building, as well as its architecture with its blank facades and single rear entrance are inconsistent with the rest of the development. Staff recommended improvements to the architectural design of the pharmacy and asked for greater emphasis on making that building more compatible with the rest of the shopping center.

During the course of the public hearing neighbors testified with concerns about the proposed layout, potential increases in traffic, noise, trash, and other quality of life concerns. Many members of the Commission shared these concerns and recommended revisions to the plan and proffers. Ultimately, the Planning Commission deferred decision of the application to February 11, 2015 and recommended that the applicant incorporate changes based on the testimony at the hearing.

Revised General Development Plan/Special Exception Plat (GDP/SE Plat) – January 29, 2015 (Attachment 1)

While the overall layout has not changed, the revised GDP/SE Plat incorporates a series of revisions to address staff and neighborhood concerns. The notable changes are listed below:

- The applicant has made significant architectural revisions to the pharmacy elevations and renderings on Sheets 6 and 7. The new elevations show a more articulated building facade with a greater variety of colors and materials on all sides. Additional faux windows and awnings have also been added. A proffer is now provided that indicates the windows fronting on Leesburg Pike and the seating area will feature images of historic themes relevant to the Baileys Crossroads area. Overall, it is staff's opinion that the architectural revisions have improved the building and have partly addressed staff concerns about compatibility both with the rest of the development and the guidelines for the Baileys CBC in the Comprehensive Plan.
- Additional landscaping and a pedestrian path are provided within the proposed ROW at the intersection of Charles Street and Leesburg Pike. These elements were added at staff's recommendation and will help to both improve the visual appearance of the development at this prominent corner and prevent pedestrians from trampling the landscaping in this location. The applicant will obtain a license from VDOT to maintain these improvements until such time as the area is needed for the Charles Street realignment.
- A right-turn lane has been added along Charles Street onto Leesburg Pike, and the sidewalk in this area has been adjusted to accommodate the new roadway design.
- The monument sign has been relocated to the central seating area between the two buildings and will incorporate a historical plaque. Staff supports this change as it will make the monument less visually prominent and provides a pedestrian feature..
- The bus shelter detail on sheet 5A has been revised to provide additional ROW as requested by FCDOT to accommodate the provision of a future cycle track.

Revised Proffers (Attachment 2)

The applicant has submitted revised proffers in conjunction with the revised GDP/SE Plat. The proffers are generally consistent with those provided in the staff report, but have been re-ordered and updated to provide enhanced commitments to address staff and neighborhood concerns. A backline version is provided in Attachment 2 and significant changes are described below:

- Proffer 6.A was revised to specify that the monument sign will be located in the pedestrian seating area as opposed to at the intersection. Additional language is now provided in 6.B relating to the installation of a historical plaque that will be located on the monument sign in consultation with the Mason Supervisor's office and the Baileys Crossroads/ Seven Corners Revitalization Corporation.

- Proffer 13.B is added to specify the design of the additional landscaping proposed for the Charles Street ROW area. This language was added at staff's recommendation to ensure that the plantings will not be damaged by pedestrian traffic.
- Proffer 15 for trash pick-up is revised to clarify that no mechanical trash collection will occur prior to 8 and 6 p.m. Monday through Saturday. In addition, the restriction on the construction and operation of the trash receptacles has been moved to this proffer.
- Proffer 22 is revised to specify that the largest tractor trailer deliveries will only occur between 5:00 a.m. through 9:00 a.m. In addition, no truck deliveries, loading, or unloading will occur on Washington Drive and trucks less than 19 feet in length will utilize the provided loading space and not block access to the property.
- Proffer 26 related to off-site improvements for the residential property at 3407 Washington Drive (Lot 8) is revised to indicate that a vehicle turn-around will be provided in addition to fencing and landscaping. The amount that will be reimbursed for these improvements has been increased to \$10,000 from \$3,000.
- Proffer 30, as discussed above, now includes a commitment to install historical window panels on the pharmacy.
- Proffer 32 is added to restrict the use of any outdoor speakers on the property with the exception of a standard intercom for the pharmacy drive through.

Revised Development Conditions (Attachment 3)

Minor editorial revisions have been made to the development conditions to account for the revised GDP/SE Plat and to delete conditions that have now been incorporated into the proffers.

CONCLUSION AND RECOMMENDATIONS

Staff believes the applicant should be commended for making significant improvements to the architectural design of the pharmacy and improving the proffer commitments to address staff, neighborhood, and Commission concerns. The pharmacy now more closely resembles the remainder of the development and will provide a more pleasing appearance as one enters the Baileys Crossroads neighborhood along Route 7 from the west. Despite these changes however, staff is unable to reverse our recommendations for denial. This is due to two main factors that, in staff's opinion, are still at odds with the recommendations in the Comprehensive Plan. The first relates to the layout of the pharmacy. The improved architecture notwithstanding, the building is still located facing rearwards with the only entrance to the store oriented to the parking lot, instead of the street, and places the drive-through window and stacking lane in a highly visible location at the intersection. These conditions are counter to the guidelines in the Baileys Plan for auto-oriented uses and the orientation of new retail buildings. The second factor is the

ROW provided for the proposed realignment of Charles Street which is still inadequate to provide a safe intersection that would meet current VDOT standards, without needing additional private land.

Recommendations

Staff recommends denial of RZ 2014-MA-011, as proposed. If it is the Board's intent to approve RZ 2014-MA-011, staff recommends that such approval be subject to the execution of proffers consistent with those contained in Attachment 2.

Staff recommends denial of SE 2014-MA-013, as proposed. If it is the Board's intent to approve SE 2014-MA-013, staff recommends that such approval be subject to the development conditions contained in Attachment 3.

Waivers and Modifications Requested:

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Waiver of the minimum lot width standard in the C-6 District per the CRD provisions to allow 160 feet after the dedication of right-of-way along Charles Street where 200 feet is required.

Modification of the trail requirements along Leesburg Pike to permit an eight foot wide paver walkway in accordance the Bailey's Crossroads streetscape standards in the Comprehensive Plan

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Waiver of the Tree Preservation Target Area in favor of the proposed plantings shown on the GDP/SE Plat.

Waiver of the service drive requirement along Leesburg Pike in favor of the frontage improvements shown on GDP/SE Plat.

Modification of the loading space requirements to permit one loading area where three spaces are required.

It should be noted that it is not the intent of staff to recommend that the Board, in adopting any proffers or conditions, relieve the applicant/owner from compliance with the provisions of any applicable ordinances, regulations, or adopted standards.

It should be further noted that the content of this report reflects the analysis and recommendation of staff; it does not reflect the position of the Board of Supervisors.

The approval of this Rezoning does not interfere with, abrogate or annul any easement, covenants, or other agreements between parties, as they may apply to the property subject to this application.

ATTACHMENTS

1. General Development Plan –dated January 29, 2015
2. Revised Proffers – dated February 5, 2015
3. Revised Development Conditions - dated February 9, 2015

THE SHOPS AT BAILEY'S CROSSROADS

MASON DISTRICT, FAIRFAX COUNTY GENERALIZED DEVELOPMENT PLAN

NOTES

- THE PROPERTY THAT IS THE SUBJECT OF THIS REZONING (R2) IS IDENTIFIED ON THE FAIRFAX COUNTY ZONING MAP AS 612-17D-001 & 612-17D-001-15. THE REZONING APPLICATION LAND AREA CONSISTS OF APPROXIMATELY 2.22 ACRES. SPECIAL EXCEPTIONS FOR A DRIVE-THROUGH PHARMACY AND FOR FAST FOOD RESTAURANTS WITHIN A BUILDING ARE BEING FILED CONCURRENTLY ON PORTIONS OF THE REZONING PROPERTY.
- THE REZONING HAS BEEN FILED TO PERMIT THE DEVELOPMENT OF A DRIVE-THROUGH PHARMACY AND TWO SHOPPING CENTER BUILDINGS.
- THE BOUNDARY INFORMATION SHOWN HEREON IS BY FIRST ORDER LLC.
- THE TOPOGRAPHY SHOWN HEREON IS AT A CONTOUR INTERVAL OF TWO FEET FROM A FIELD SURVEY BY FIRST ORDER LLC.
- IF AN AMENDMENT TO ANY PORTION OF THIS RZ BECOMES NECESSARY AT A LATER DATE, THE APPLICANT RESERVES THE RIGHT TO SUBMIT ONLY THAT PORTION THAT IS AFFECTED BY THE AMENDMENT FOR REVIEW AND APPROVAL.
- THE EXISTING OFFICE BUILDING ON PARCEL 0612-17D-0001 / 0612-17D-0002 WAS CONSTRUCTED IN 1965 ACCORDING TO AVAILABLE RECORDS. THE EXISTING RESIDENTIAL BUILDING ON PARCEL 0612-18-0005 WAS CONSTRUCTED IN 1936 ACCORDING TO AVAILABLE RECORDS. THE EXISTING RESIDENTIAL BUILDING ON PARCEL 0612-17D-0004 / 0612-17D-0005 WAS CONSTRUCTED IN 1954 AND REMODELED IN 2009 ACCORDING TO AVAILABLE RECORDS. ALL STRUCTURES WILL BE DEMOLISHED AS PART OF THE CONSTRUCTION OF THESE USES.
- LANDSCAPING, TRANSITIONAL SCREENING AND BARRIERS WILL BE PROVIDED IN ACCORDANCE WITH THE ZONING ORDINANCE. REQUESTED MODIFICATIONS ARE LISTED IN "WAIVERS/MODIFICATION REQUESTED" ON THIS SHEET.
- PARKING SPACES FOR THE PROPOSED DEVELOPMENT PROGRAM ON THE SUBJECT PROPERTY WILL BE PROVIDED IN ACCORDANCE WITH THE PROVISIONS SET FORTH IN ARTICLE 11 OF THE ZONING ORDINANCE. A PARKING REDUCTION IS BEING REQUESTED AS ALLOWED IN A COMMERCIAL REVITALIZATION DISTRICT. SEE WAIVER/MODIFICATION #7.
- A MODIFICATION IS BEING REQUESTED FOR THE LOADING SPACES REQUIRED BY ARTICLE 11 OF THE ZONING ORDINANCE. SEE WAIVER/MODIFICATION #8.
- TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITY EASEMENTS HAVING A WIDTH OF TWENTY-FIVE (25) FEET OR MORE OR MAJOR UNDERGROUND UTILITY EASEMENTS LOCATED ON THE SUBJECT PROPERTY.
- TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO GRAVES LOCATED ON THE SUBJECT PROPERTY.
- AN AREA AT THE INTERSECTION OF LEESBURG PIKE AND CHARLES STREET WILL BE DEDICATED AS SHOWN ON THE GDP AND AS PER THE PROPOSED PROFFERS. THIS DEDICATION AREA IS FOR A FUTURE REALIGNMENT OF CHARLES STREET AT LEESBURG PIKE BY OTHERS WHEN A ROUTE 7 AREA WIDE IMPROVEMENT PROJECT IS IMPLEMENTED. AN EIGHT-FOOT WIDE TRAIL WILL BE ADDED ALONG LEESBURG PIKE AS SHOWN IN THE GDP. THE FOLLOWING IMPROVEMENTS TO PUBLIC RIGHT-OF-WAYS ARE PROPOSED WITH THIS REZONING:
 - THE EXTENSION OF THE RIGHT-TURN-ONLY LANE BETWEEN CHARLES STREET AND WASHINGTON DRIVE
 - CONSTRUCTION OF A RIGHT TURN LANE FROM CHARLES STREET ONTO LEESBURG PIKE
- THERE ARE NO EXISTING SCENIC ASSETS LOCATED ON THE SUBJECT PROPERTY. THERE WILL BE NO ADVERSE EFFECTS ON ADJACENT OR NEIGHBORING PROPERTIES. THERE ARE NO COMMUNITY OR PUBLIC FACILITIES PROPOSED WITH THIS PROJECT.
- PUBLIC WATER AND SEWER ARE CURRENTLY AVAILABLE ON THE SITE.
- THERE IS NO FLOODPLAIN DESIGNATED BY THE FEDERAL INSURANCE ADMINISTRATION, UNITED STATES GEOLOGICAL SURVEY OR FAIRFAX COUNTY ON THE SITE. THERE IS NO ENVIRONMENTAL QUALITY CORRIDOR (EQC) OR RESOURCE PROTECTION AREA (RPA) ON THE SITE.
- THE LIMITS OF CLEARING AND GRADING ARE SHOWN ON THE GDP.
- TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE PROPOSED BUILDINGS WILL NOT GENERATE, UTILIZE, STORE, TREAT OR DISPOSE ANY HAZARDOUS OR TOXIC SUBSTANCES AS SET FORTH IN TITLE 40 CODE OF FEDERAL REGULATIONS PARTS 116.4, 302.4 AND 355.
- SIGNAGE FOR THE EXISTING AND PROPOSED USES WILL BE IN ACCORDANCE WITH THE PROVISIONS SET FORTH IN ARTICLE 12 OF THE ZONING ORDINANCE.
- IT IS UNDERSTOOD THAT ADDITIONAL SITE FEATURES SUCH AS GRADERS, BENCHES, COVERED WALKWAYS, FLAGPOLES, TRELLISES, WATER FOUNTAINS OR FEATURES, OUTDOOR SEATING, SIGNS, WALLS, FENCES, LIGHT STANDARDS AND/OR UTILITY MAINTENANCE STRUCTURES NOT REPRESENTED ON THE GRAPHIC MAY BE PROVIDED AS LONG AS THE RESULTANT PROPOSED DEVELOPMENT IS IN SUBSTANTIAL CONFORMANCE WITH THE ZONING ORDINANCE AND THAT REPRESENTED ON THE GRAPHIC. ALL NEWLY PROPOSED LIGHTING ON SITE WILL BE SHIELDED AND LOCATED IN SUCH A MANNER AS TO REDUCE GLARE ON ADJACENT PROPERTIES IN ACCORDANCE WITH THE STANDARDS SET FORTH IN ARTICLE 14 OF THE ZONING ORDINANCE.
- IT IS CURRENTLY ANTICIPATED THAT SUBJECT TO MARKET CONDITIONS, CONSTRUCTION OF THE PROPOSED PHARMACY AND SHOPPING CENTER BUILDINGS WILL COMMENCE AS SOON AS ALL REQUISITE PLANS AND PERMITS ARE APPROVED AND THEY WILL BE CONSTRUCTED IN ONE CONTINUOUS PHASE.
- THE EXACT LOCATION, SHAPE, AND SIZE OF THE BUILDING FOOTPRINTS SHOWN ON THE GRAPHIC ARE PRELIMINARY AND SCHEMATIC AND ARE NOT TO BE CONSIDERED FINAL. THEY ARE SUBJECT TO ADJUSTMENT AND REFINEMENT WITH FINAL ENGINEERING AND ARCHITECTURAL DESIGN SO LONG AS THEY REMAIN IN SUBSTANTIAL CONFORMANCE WITH THE REPRESENTATIONS ON THE GRAPHIC. THE TOTAL GROSS FLOOR AREA AND BUILDING HEIGHTS ARE TO BE CONSIDERED MAXIMUMS. THE OPEN SPACE REPRESENTED ON THE GRAPHIC AND THE DIMENSIONS TO THE PERIPHERAL LOT LINES ARE TO BE CONSIDERED MINIMUMS WITH THE UNDERSTANDING THAT ALL DIMENSIONS SHOWN ON THE GRAPHIC ARE SUBJECT TO MINOR MODIFICATION IN ACCORDANCE WITH THE PROVISIONS SET FORTH IN SECT. 16-403 OF THE ZONING ORDINANCE.
- THE FLOOR AREA REPRESENTED ON THE GRAPHIC IS GROSS FLOOR AREA AS DEFINED IN THE ZONING ORDINANCE.
- SCHEMATIC ARCHITECTURAL ELEVATIONS OF THE PROPOSED BUILDINGS ARE INCLUDED IN THE GDP.
- EXCEPT WHERE NOTED IN THE WAIVERS/MODIFICATIONS REQUESTED SECTION, TO THE BEST OF OUR KNOWLEDGE THE PROPOSED DEVELOPMENT OF THE SUBJECT PROPERTY CONFORMS TO ALL CURRENT APPLICABLE LAND DEVELOPMENT ORDINANCES, REGULATIONS AND ADOPTED STANDARDS.
- SPECTRUM DEVELOPMENT LLC IS THE CONTRACT PURCHASER OF THE SUBJECT PROPERTY. OWNERSHIP INFORMATION IS LISTED BELOW:
 - 0612-18-0001 - OWNED BY 0612-18-0002 / 0612-18-0003 / 0612-18-0004 - OWNED BY CULMORE PROPERTIES LLC
 - 0612-18-0005 - OWNED BY PAUL & KIM DYERS
 - 0612-17D-0001 / 0612-17D-0002 - OWNED BY GOVERNMENT EMPLOYEES INSURANCE CO. (GEICO)
 - 0612-17D-0003 - OWNED BY MY LEESBURG PIKE LLC
 - 0612-17D-0004 / 0612-17D-0005 - OWNED BY CHRISTOPHER AND CHRISTINA TRAN
- LEESBURG PIKE CENTERLINE INFORMATION IS AS SHOWN IN FAIRFAX COUNTY PROJECT 4YP201-PB049 (SIGNAL MODIFICATIONS FOR ROUTE 7 WALKWAY - CULMORE SHOPPING CENTER TO CHURCH STREET), ORIGINAL SURVEY BY VOLKERT, LLC, CIRCA 2011. CHARLES STREET AND WASHINGTON DRIVE CENTERLINE INFORMATION PROVIDED BY FIRST ORDER, LLC.
- A TREE PRESERVATION TARGET DEVIATION WILL BE REQUESTED AT SITE PLAN. AS EXISTING TREES ON THE SITE WOULD PRECLUDE THE DEVELOPMENT OF THE SITE, AND A MAJORITY OF THE VEGETATION DOES NOT MEET STANDARDS FOR HEALTH AND STRUCTURAL CONDITION, 10-YEAR CANOPY REQUIREMENTS WILL BE MET BY MEANS OF TREE PLANTING.

WAIVERS/MODIFICATIONS REQUESTED

- A MODIFICATION OF THE FRONT YARD SETBACK IS REQUESTED ALONG LEESBURG PIKE AND WASHINGTON DRIVE PER THE FAIRFAX COUNTY COMPREHENSIVE PLAN STREETScape GUIDELINES FOR THE BAILEY'S PLANNING DISTRICT, SEVEN CORNERS COMMUNITY BUSINESS CENTER.
- WAIVER OF THE SERVICE DRIVE REQUIREMENT ALONG ROUTE 7 IS REQUESTED PER THE FAIRFAX COUNTY COMPREHENSIVE PLAN TRANSPORTATION GUIDELINES FOR THE BAILEY'S PLANNING DISTRICT, BAILEY'S CROSSROADS COMMUNITY BUSINESS CENTER.
- A MODIFICATION OF THE LOT WIDTH REQUIREMENT TO 160 FEET IS REQUESTED DUE TO THE RESERVATION FOR THE REALIGNMENT OF CHARLES STREET AND AS ALLOWED IN THE COMMERCIAL REVITALIZATION DISTRICT ORDINANCE.
- A WAIVER OF THE TRAIL REQUIREMENT IS REQUESTED ALONG ROUTE 7 DUE TO THE PROVISION OF WIDE WALKWAYS IN ACCORDANCE WITH THE GUIDELINES FOR THE BAILEY'S PLANNING DISTRICT, SEVEN CORNERS COMMUNITY BUSINESS CENTER.
- A LANDSCAPE BUFFER REDUCTION IS REQUESTED AS ALLOWED IN THE ORDINANCE FROM THE REQUIRED 50 FOOT TYPE III TRANSITIONAL SCREENING BUFFER TO A BUFFER RANGING FROM 17 FEET TO 26 FEET, WHICH WILL BE ENHANCED WITH A 7 FOOT BRICK OR ARCHITECTURAL BLOCK WALL AS SHOWN HEREIN. THE WALL WILL BE PLACED TWO TO THREE FEET FROM THE SOUTH PROPERTY LINE TO ENSURE THAT THE MAJORITY OF THE LANDSCAPING IS ON THE COMMERCIAL SIDE AND THUS MAINTENANCE RESPONSIBILITY WILL BE CLEAR AND THE POTENTIAL FOR LITTERING AND LITTERING ON THE SOUTH SIDE WILL BE MINIMIZED. THE 7 FOOT MASSIVE WALL IS MORE EFFECTIVE THAN ADDITIONAL BUFFER WIDTH IN SCREENING THE ADJACENT PROPERTIES. THE WALL OFFSET FROM THE SOUTHERN PROPERTY LINE WILL ALLOW FOR AN INTERMITTENT HEDGEROW ADJACENT TO THE PROPERTY LINE, AND PROVIDE ADDITIONAL BUFFERING FOR THE ADJACENT PROPERTIES. THE SHRUBS ON THE SOUTHERN SIDE OF THE WALL WILL BE IN ADDITION TO THE REQUIRED PLANTINGS FOR THE TRANSITIONAL SCREEN YARD, WHICH WILL BE PROVIDED ON THE COMMERCIAL SIDE OF THE WALL AS SHOWN HEREIN.
- APPLICATION REQUESTS A MODIFICATION OF THE TYPE "D" BARRIER (42-48" CHAINLINK FENCE) REQUIRED ALONG THE NORTHWEST EDGE OF THE PARCEL. THE APPLICATION PROPOSES A 48" BRICK OR ARCHITECTURAL BLOCK WALL IN LIEU OF THE CHAINLINK FENCE.
- A 20.0% REDUCTION (MAXIMUM ALLOWED IS 20%) IN PARKING IS REQUESTED AS ALLOWED BY SECT. A7-209.3.A OF THE BAILEY'S CROSSROADS SEVEN CORNERS COMMERCIAL REVITALIZATION DISTRICT REGULATIONS.
- A MODIFICATION IS BEING REQUESTED FOR A REDUCTION IN THE NUMBER OF REQUIRED LOADING SPACES REQUIRED BY ARTICLE 11 OF THE ZONING ORDINANCE. PER CODE, THREE LOADING SPACES WOULD BE REQUIRED. ONE SHARED LOADING AREA BETWEEN THE BUILDINGS WILL BE PROVIDED AS SHOWN ON THE PLAN.

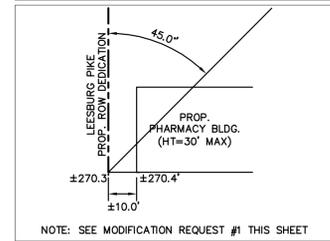
ZONING TABULATIONS	
EXISTING ZONING:	C-2 (LIMITED OFFICE DISTRICT) - 1.89 AC R-3 (RESIDENTIAL, 3 DU/AC) - 0.83 AC
PROPOSED ZONING:	C-6 (COMMUNITY RETAIL / COMMERCIAL DISTRICT)
OVERLAY DISTRICTS:	HIGHWAY OVERLAY DISTRICT SIGN CONTROL DISTRICT BAILEY'S CROSSROADS / SEVEN CORNERS COMMERCIAL REVITALIZATION DISTRICT
SITE AREA	± 118,524 SQ FT (± 2.72 AC)

	REQUIRED/ALLOWED (C-6 ZONING)	PROVIDED
MIN LOT AREA	40,000 SQ FT	± 118,524 SQ FT
MIN LOT WIDTH	200 FT	REQUESTED 160 FT MIN SEE MODIFICATION #3
MAX BLDG HEIGHT	40 FT	30 FT
MIN YARD		
FRONT	45 DEGREE ANGLE OF BULK PLANE (NOT LESS THAN 40 FT)	10 FT ALONG LEESBURG PIKE (PROPOSED R.O.W.) 7 FT ALONG WASHINGTON DRIVE (EXISTING R.O.W.)
SIDE	NONE	NONE
REAR	20 FT	± 70 FT
MAX FLOOR AREA RATIO *	0.40	0.22
MAX GROSS FLOOR AREA *	42,046 SQ FT	25,905 SQ FT
OPEN SPACE	15%	16.0%
	17,778 SQ FT	19,000 SQ FT
TREE COVER	10%	SEE SHEET 4A
INTERIOR PARKING LOT LANDSCAPING	5%	SEE SHEET 4A

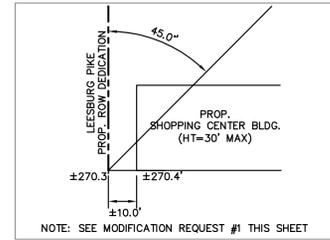
* SITE AREA BASED ON AREA PRIOR TO ANY R.O.W. DEDICATION (± 118,524 SF).
POST-DEDICATION SITE AREA IS ± 103,072 SF.

PARKING TABULATIONS - OVERALL			
USE/ RATE	MAX BUILDING SIZE	REQUIRED	PROVIDED
SHOPPING CENTER	11,625 SQ FT	50 SPACES	108 SPACES (INCLUDES 6 HANDICAPPED)
DRIVE-THRU PHARMACY	14,280 SQ FT	85 SPACES	
DRIVE-THRU STACKING	N / A	5 CARS	
TOTAL PARKING REQUIRED		135 SPACES REQUIRED	
COMMERCIAL REVITALIZATION DISTRICT PARKING REDUCTION REQUESTED (SEE MODIFICATION/WAIVER REQUEST #7)		20.0% REDUCTION REQUESTED (REDUCTION OF 27 SPACES)	
TOTAL PARKING REQUIRED AFTER REDUCTION		108 SPACES REQUIRED	
TOTAL PARKING PROVIDED		108 SPACES PROVIDED	

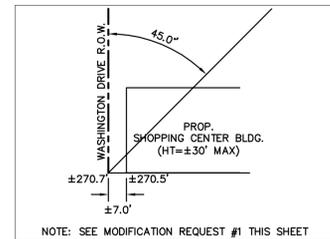
ANGLE OF BULK PLANE DIAGRAMS



ANGLE OF BULK PLANE :
FRONT YARD (LEESBURG PIKE) - PHARMACY

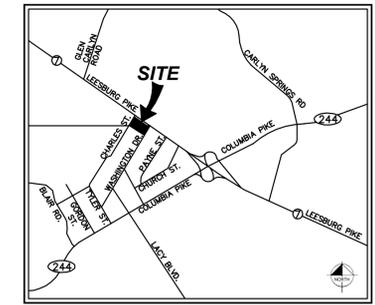


ANGLE OF BULK PLANE :
FRONT YARD (LEESBURG PIKE) - SHOPPING CENTER

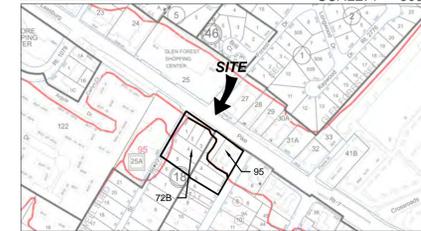


ANGLE OF BULK PLANE :
FRONT YARD (WASHINGTON DR) - SHOPPING CENTER

VICINITY MAP



SOILS MAP



SOILS DATA TABLE

SOIL ID NUMBERS	SERIES NAME	FOUNDATION SUPPORT	SOIL DRAINAGE	SLOPE STABILITY	EROSION POTENTIAL	GEOTECH REPORT REQ'D	PROBLEM CLASS
72B	KINGSTOWNE-SASSAFRAS-NEABSCO COMPLEX	FAIR-P	MARGINAL-P,S	N/A	LOW	YES-3	IVB
95	URBAN LAND	N/A	N/A	N/A	N/A	N/A	IVB

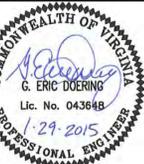
SOIL INFORMATION WAS TAKEN FROM FAIRFAX COUNTY SOILS MAP AND DESCRIPTION AND INTERPRETIVE GUIDE TO SOILS IN FAIRFAX COUNTY, REVISED 2011.

SHEET INDEX

- COVER SHEET
- EXISTING CONDITIONS PLAN - EXISTING VEGETATION PLAN
- GENERALIZED DEVELOPMENT PLAN
- CONCEPTUAL LANDSCAPE PLAN
- LANDSCAPE CALCULATIONS
- CHARLES STREET CONCEPTUAL ALIGNMENTS
- LEESBURG PIKE STREET SECTIONS & SITE FURNISHINGS
- ARCHITECTURAL DETAILS
- LANDSCAPE AMENITY AREAS & PERSPECTIVES
- VEHICULAR CIRCULATION PLAN
- PRELIMINARY SWM, BMP AND OUTFALL ANALYSIS
- SPECIAL EXCEPTIONS PLAT - DRIVE THRU & FAST FOOD USE

Plotted By: Johnson, Jacqui. Sheet: Sht:Kha. Layout:1. COVER SHEET. January 30, 2015 10:58:52am. K:\NVA-LA\LA\10374001_Spectrum - Charles St. CVS\CAD\Plan_Sheets\1_COVER SHEET.dwg
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6	01/12/2015	ADRESSED COUNTY COMMENTS
7	01/20/2015	ADRESSED COUNTY COMMENTS
8	01/29/2015	ADRESSED COUNTY COMMENTS

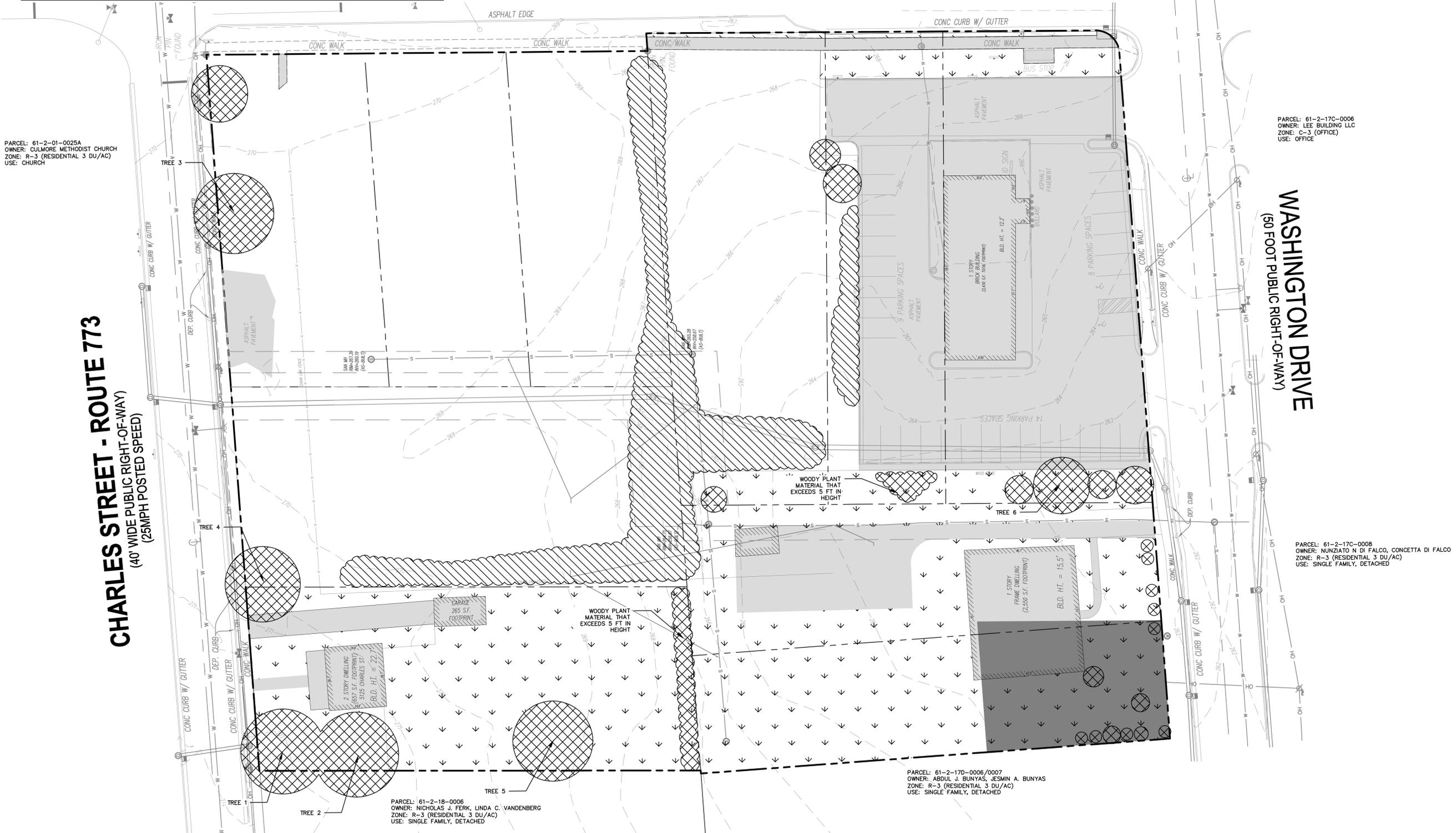
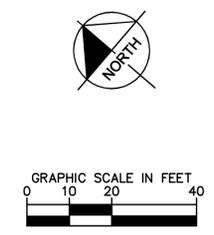


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EXISTING VEGETATION SUMMARY					
SYMBOL	COVER TYPE	PRIMARY SPECIES	CONDITION	ACREAGE	COMMENTS
	OPEN FIELD	MEDIUM GRASSES AND VINES	FAIR	1.08 ac	COVER TYPE CONSISTS PRIMARILY OF MEDIUM GRASSES IN OPEN AREAS AND LOW-LYING AREAS.
	DEVELOPED LAND	N/A	GOOD	.68 ac	COVER TYPE CONSISTS OF DEVELOPED COMMERCIAL BUILDING AND PARKING LOT, RESIDENTIAL HOMES AND DRIVEWAY, SIDEWALKS, AND ABANDONED ASPHALT DRIVEWAY ON VACANT PARCEL.
	MAINTAINED GRASSLANDS	MANICURED LAWNS, DOMESTIC PLANTINGS	FAIR - GOOD	.66 ac	COVER TYPE CONSISTS OF RESIDENTIAL LOT LAWNS AND LANDSCAPING.
	BOTTOMLAND FOREST	PRIMARILY SYCAMORE (PLATANUS OCCIDENTALIS), ELM (ULMUS SP.), CHERRY (PRUNUS SP.)	FAIR	.18 ac	COVER TYPE CONSISTS PRIMARILY OF SMALL TREES WITH A DBH OF 4-6" AND A HEIGHT OF 10-15'. INVASIVE SPECIES PRESENT.
	LANDSCAPED TREE CANOPY	PRIMARILY NORTHERN CATALPA (CATALPA SPECIOSA), PINE (PINUS SP.), HOLLY (ILEX SP.), BOX ELDER (ACER NEGUNDO), CRAPE MYRTLE (LAGERSTROMIA SP.), AND ARBORVITAE (THUJA SP.)	GOOD	.10 ac	TREES WITH A DBH GREATER THAN 12" ARE DESCRIBED IN THE "TREE INVENTORY AND CONDITION ANALYSIS" TABLE.
		DOMESTIC LANDSCAPE SHRUBS	GOOD	.02 ac	WOODY PLANT MATERIAL THAT EXCEEDS 5 FT IN HEIGHT AT TIME OF INVENTORY
TOTAL ACREAGE:				2.72 ac	

TREE INVENTORY AND CONDITION ANALYSIS					
NUMBER	SPECIES	DIAMETER AT BREST HEIGHT (DBH)	CANOPY COVER COUNTED	CONDITION	COMMENTS
TREE 1	NORTHERN CATALPA / CATALPA SPECIOSA	22" DBH	750 SF	GOOD	TREE NOT TO BE PRESERVED. NORTHERN CATALPA IS INCLUDED IN TABLE 12.8 "SPECIES THAT CAUSE PROBLEMS AFTER PRESERVATION" OF FAIRFAX COUNTY'S PUBLIC FACILITIES MANUAL, AND CONSTRUCTION WOULD OCCUR WITHIN THE TREE'S CRITICAL ROOT ZONE.
TREE 2	NORTHERN CATALPA / CATALPA SPECIOSA	24" DBH	750 SF	GOOD	TREE NOT TO BE PRESERVED. NORTHERN CATALPA IS INCLUDED IN TABLE 12.8 "SPECIES THAT CAUSE PROBLEMS AFTER PRESERVATION" OF FAIRFAX COUNTY'S PUBLIC FACILITIES MANUAL, AND CONSTRUCTION WOULD OCCUR WITHIN THE TREE'S CRITICAL ROOT ZONE.
TREE 3	BOX ELDER / ACER NEGUNDO	20" DBH	NO CANOPY COVERAGE ALLOTTED	POOR	LOCATED UNDER OVERHEAD WIRES. ALL SCAFFOLD BRANCHES HEAVILY PRUNED. CANOPY COVER COUNTED PROPORTIONATE TO ACTUAL COVER. NO CANOPY COVERAGE ALLOTTED DUE TO POOR STRUCTURAL AND HEALTH CONDITION OF TREE.
TREE 4	HOLLY / ILEX SP.	18" DBH	500 SF	GOOD	
TREE 5	PINE / PINUS SP.	18" DBH	500 SF	UNKNOWN	LOCATED IN INACCESSIBLE RESIDENTIAL PROPERTY BACK YARD. LOCATION AND DBH APPROXIMATE.
TREE 6	HOLLY / ILEX SP.	12" DBH	500 SF	GOOD	TWO HEADED - AT DBH, ONE STEM MEASURED AT 8" AND ONE AT 12"

EXISTING TREE CANOPY		
CATEGORY	CANOPY COVER COUNTED	METHOD CALCULATED
TREES WITH DBH > 12	3000 SF	CANOPY COVERAGE BASED ON TREE TYPE AND DBH (SEE TREE INVENTORY TABLE)
TREES WITH DBH < 12	1265 SF	CANOPY COVERAGE BASED ON APPROXIMATE TREE CANOPY SQUARE FOOTAGE
WOODY PLANTS THAT EXCEED 5 FT IN HEIGHT	775 SF	SQUARE FOOTAGE BASED ON APPROXIMATE AREA OF COVERAGE
BOTTOMLAND FOREST	7,676 SF	CANOPY COVERAGE FOR BOTTOMLAND FOREST CALCULATED BASED ON SQUARE FOOTAGE OF THE COVER TYPE
EXISTING SQUARE FOOTAGE ON SITE: 12,716 SF		



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KHA PROJECT #110374001
 DATE 03/31/2014
 SCALE
 DESIGNED BY KHA
 DRAWN BY JUN
 CHECKED BY GED



EXISTING VEGETATION PLAN
THE SHOPS AT BAILEY'S CROSSROADS
 MASON DISTRICT
 FAIRFAX COUNTY, VIRGINIA

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PARCEL: 61-2-170-0006
 OWNER: LEE BUILDING LLC
 ZONE: C-3 (OFFICE)
 USE: OFFICE

WASHINGTON DRIVE
 (50 FOOT PUBLIC RIGHT-OF-WAY)

PARCEL: 61-2-170-0008
 OWNER: NUNZIATO N DI FALCO, CONCETTA DI FALCO
 ZONE: R-3 (RESIDENTIAL 3 DU/AC)
 USE: SINGLE FAMILY, DETACHED

PARCEL: 61-2-170-0006/0007
 OWNER: ABDUL J. BUNYAS, JESMIN A. BUNYAS
 ZONE: R-3 (RESIDENTIAL 3 DU/AC)
 USE: SINGLE FAMILY, DETACHED

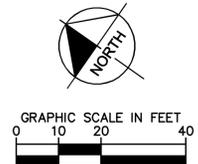
PARCEL: 61-2-18-0006
 OWNER: NICHOLAS J. FERK, LINDA C. VANDENBERG
 ZONE: R-3 (RESIDENTIAL 3 DU/AC)
 USE: SINGLE FAMILY, DETACHED

PARCEL: 61-2-01-0025A
 OWNER: CULMORE METHODIST CHURCH
 ZONE: R-3 (RESIDENTIAL 3 DU/AC)
 USE: CHURCH

Plotted By: Johnson, Jacqual. Sheet: Sht:Kha. Layout: 3. GDP. January 30, 2015. 10:56:29am. K:\NVA\LALE\110374001_Spectrum - Charles St. CV5\CAD\Plan Sheets\3_GENERALIZED DEVELOPMENT PLAN.dwg
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CHARLES STREET - ROUTE 773
 (40' WIDE PUBLIC RIGHT-OF-WAY)
 (25MPH POSTED SPEED)

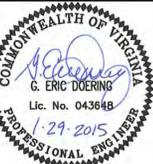
LEESBURG PIKE - ROUTE 7
 (VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)
 (40 MPH POSTED SPEED)



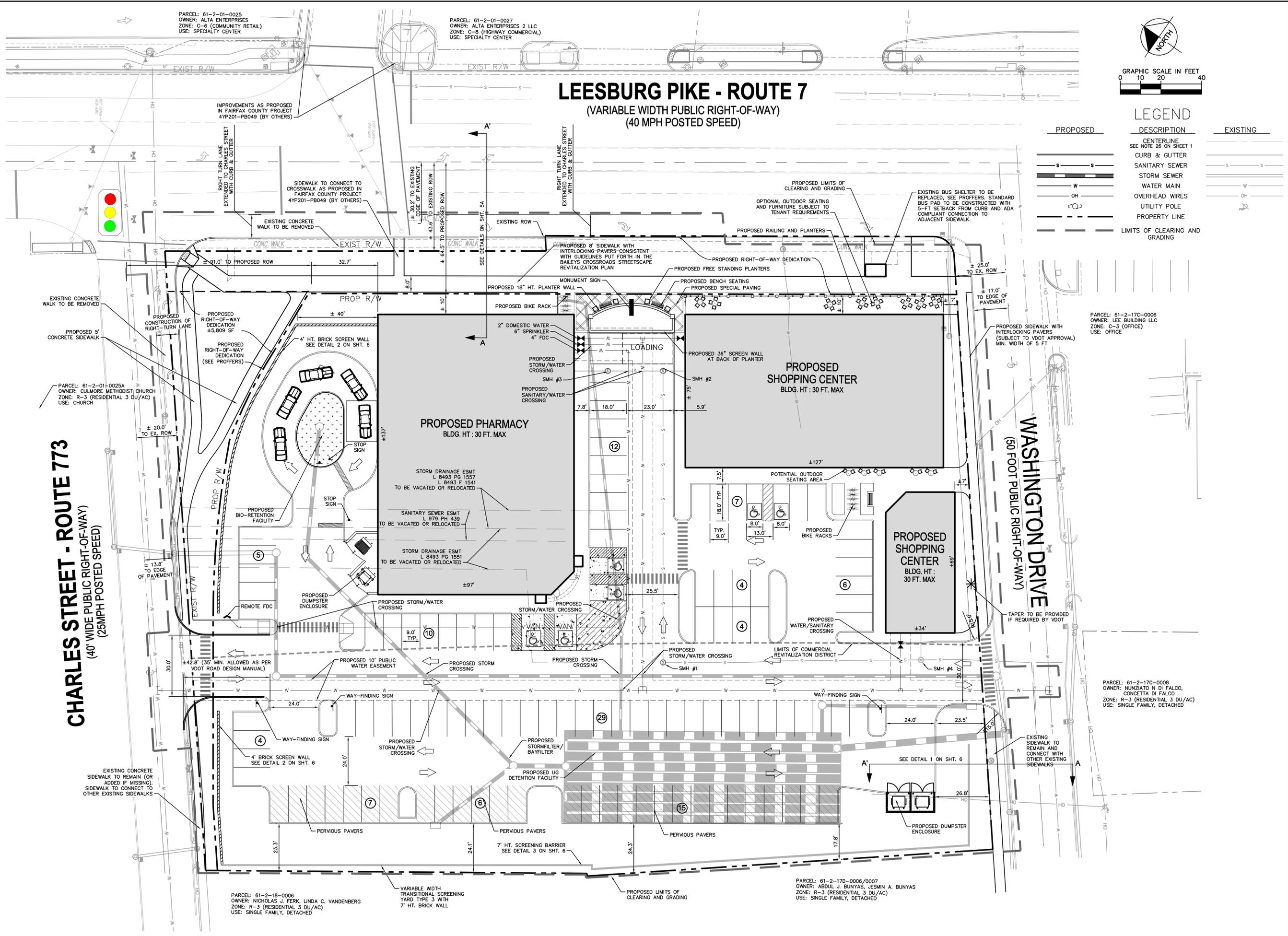
PROPOSED	DESCRIPTION	EXISTING
—	CENTERLINE	—
—	CURB & GUTTER	—
—	SANITARY SEWER	—
—	STORM SEWER	—
—	WATER MAIN	—
—	OVERHEAD WIRES	—
—	UTILITY POLE	—
—	PROPERTY LINE	—
—	LIMITS OF CLEARING AND GRADING	—

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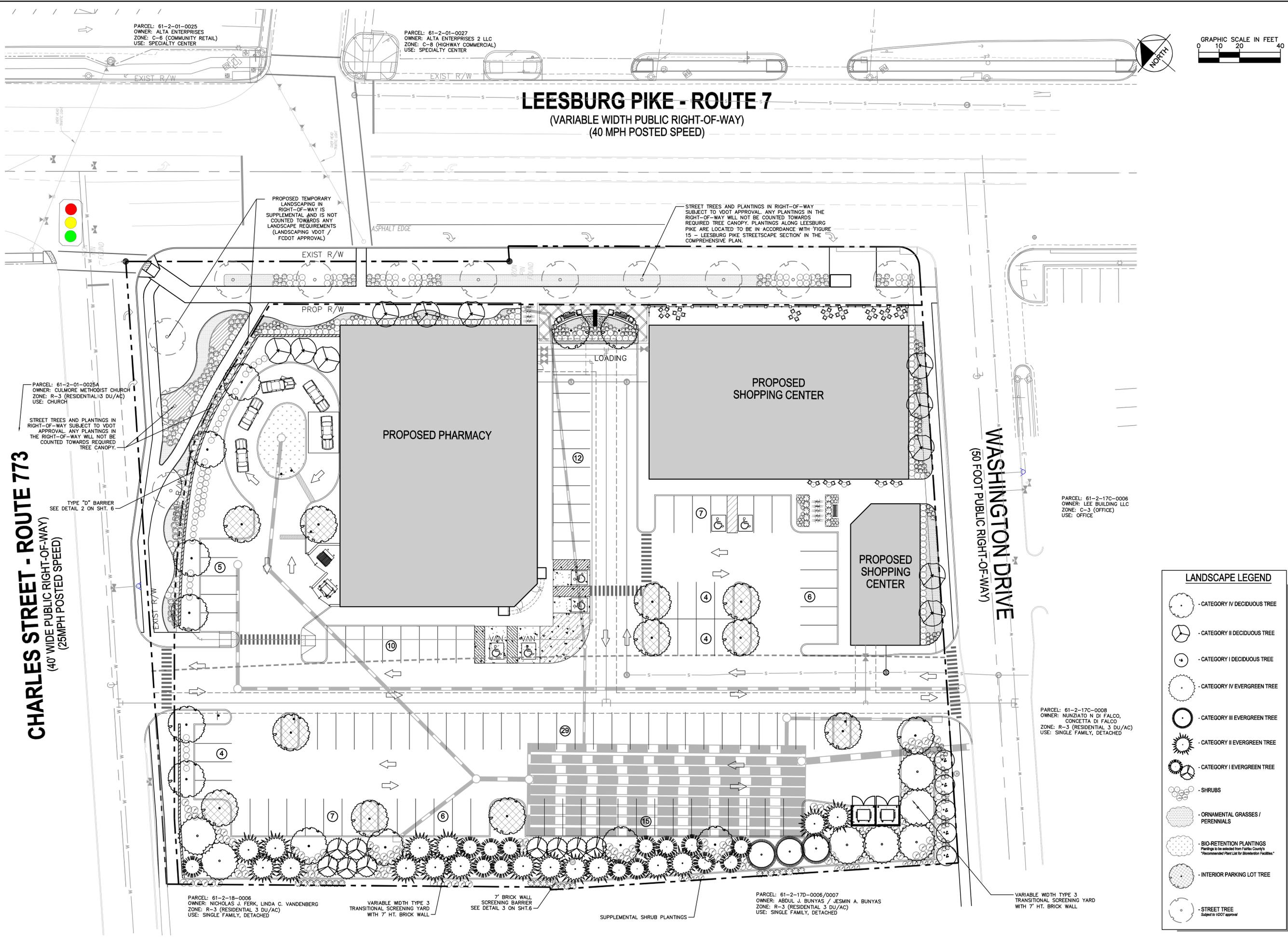
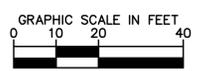
GENERALIZED DEVELOPMENT PLAN
THE SHOPS AT BAILEY'S CROSSROADS
 MASON DISTRICT
 FAIRFAX COUNTY, VIRGINIA



Plotted By: Johnson, Jacqui. Sheet: Sht:Kha. Layout: 4. CONCEPTUAL LANDSCAPE PLAN. January 30, 2015. 10:56:57am. K:\NAVA\LALE\110374001_Spectrum - Charles St. CVS\CAD\Plan_Sheets\4. CONCEPTUAL LANDSCAPE PLAN.dwg
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 (40' WIDE PUBLIC RIGHT-OF-WAY)
 (25MPH POSTED SPEED)

LEESBURG PIKE - ROUTE 7
 (VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)
 (40 MPH POSTED SPEED)



LANDSCAPE LEGEND

- CATEGORY IV DECIDUOUS TREE
- CATEGORY II DECIDUOUS TREE
- CATEGORY I DECIDUOUS TREE
- CATEGORY IV EVERGREEN TREE
- CATEGORY III EVERGREEN TREE
- CATEGORY II EVERGREEN TREE
- CATEGORY I EVERGREEN TREE
- SHRUBS
- ORNAMENTAL GRASSES / PERENNIALS
- BIO-RETENTION PLANTINGS
Plantings to be selected from Fairfax County's "Recommended Plant List for Stormwater Facilities."
- INTERIOR PARKING LOT TREE
- STREET TREE
Subject to VDOT approval

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 DATE 03/31/2014
 SCALE
 DESIGNED BY KHA
 DRAWN BY JUN
 CHECKED BY AJS

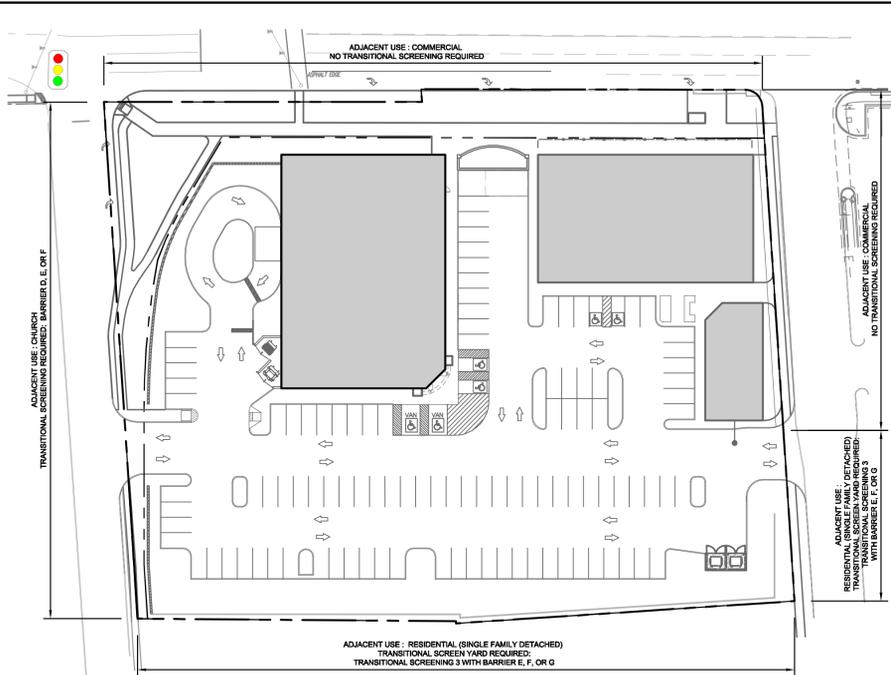
COMMONWEALTH OF VIRGINIA
 Adam J. Steiner
 Lic. No. 1237
 01-25-2015
 LANDSCAPE ARCHITECT

CONCEPTUAL LANDSCAPE PLAN
THE SHOPS AT BAILEY'S CROSSROADS

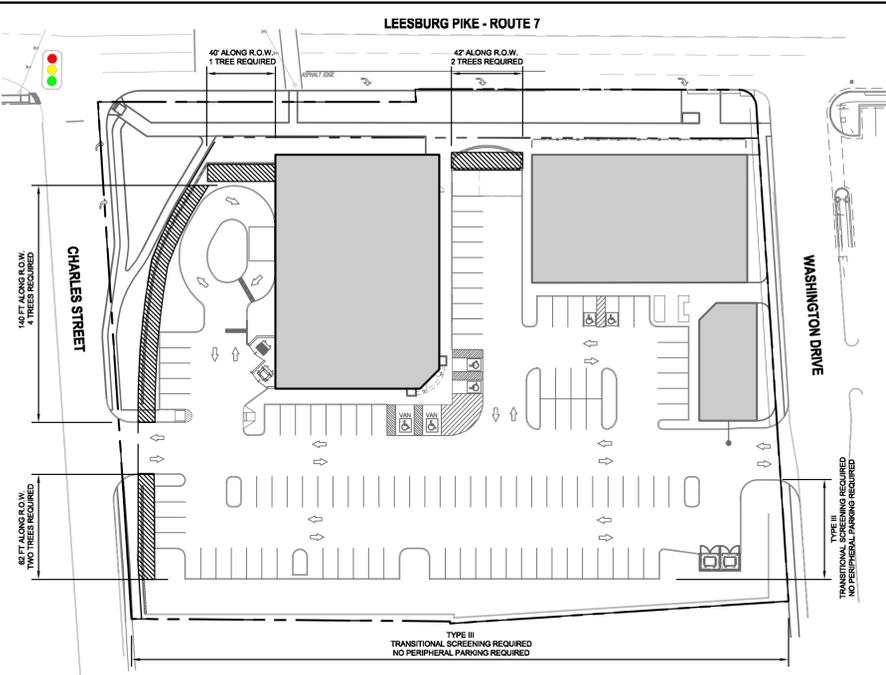
MASON DISTRICT
 FAIRFAX COUNTY, VIRGINIA

SHEET NUMBER
4 OF 10

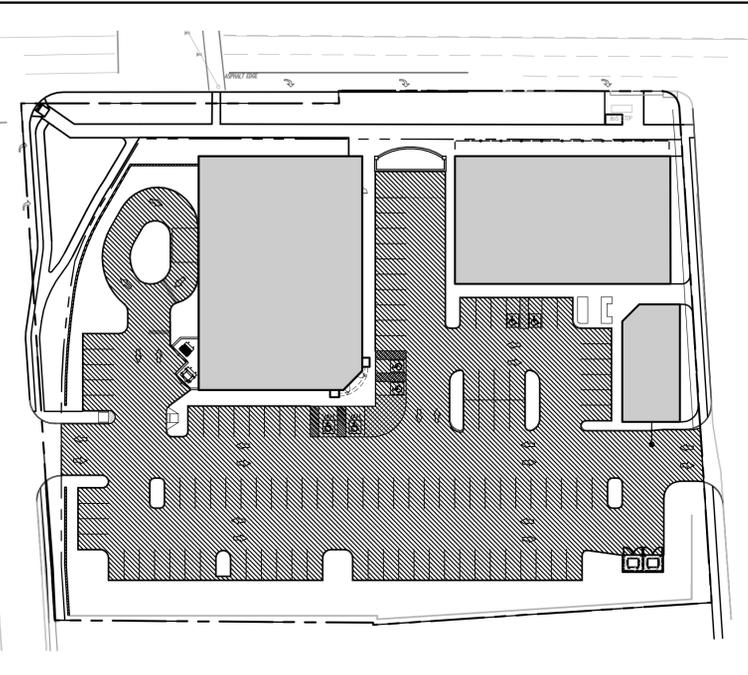
Plotted By: Johnson, Jacqui. Sheet: Site-Kim. Layout: 4A. LANDSCAPE CALCULATIONS - January 30, 2015. 10:57:03am. K:\NVA-LALP\101374001_Spectrum - Charles St. CVS\CAD\Plan Sheets\4. CONCEPTUAL LANDSCAPE PLAN.dwg
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LOCATION OF TRANSITIONAL SCREEN YARDS / BARRIERS
SCALE : 1" = 50'-0"



PERIPHERAL PARKING COMPUTATIONS
SCALE : 1" = 50'-0"



APPROXIMATE LIMITS OF INTERIOR PARKING LOT AREAS FOR LANDSCAPE COMPUTATIONS
SCALE : 1" = 50'-0"

TRANSITIONAL SCREEN YARD / BARRIER REQUIREMENTS	
SITE ZONING : PROPOSED C-6	
ADJACENT USE (NORTH) : COMMERCIAL (ZONED C-6/C-8) - NO BUFFER/BARRIER REQUIRED	
ADJACENT USE (EAST) : COMMERCIAL (ZONED C-3) - NO BUFFER/BARRIER REQUIRED	
ADJACENT USE (EAST) : RESIDENTIAL - DETACHED DWELLINGS (R-3 ZONING)	
BUFFER REQUIRED	BUFFER PROVIDED *
TYPE III 50' WIDE OPEN SPACE 75% CANOPY COVER AT LEAST 70% EVERGREEN PLANTINGS 3 SHRUBS PER 10 LINEAR FEET	VARIABLE WIDTH OPEN SPACE (MIN. WIDTH: 17 FT. ± 22 FT AVERAGE WIDTH) MINIMUM 75% CANOPY COVER MINIMUM 70% EVERGREEN PLANTINGS MINIMUM 4 SHRUBS PER 10 LINEAR FEET
BARRIER REQUIRED	BARRIER PROVIDED:
E: 6 FT ARCHITECTURAL BRICK/BLOCK WALL F: 6 FT WOOD FENCE OR G: 6 FT CHAINLINK FENCE	TYPE E BARRIER : 7 FT BRICK WALL
ADJACENT USE (SOUTH) : RESIDENTIAL - DETACHED DWELLINGS (R-3 ZONING)	
BUFFER REQUIRED	BUFFER PROVIDED *
TYPE III 50' WIDE OPEN SPACE 75% CANOPY COVER AT LEAST 70% EVERGREEN PLANTINGS 3 SHRUBS PER 10 LINEAR FEET	VARIABLE WIDTH OPEN SPACE (MIN. WIDTH: 17 FT. ± 22 FT AVERAGE WIDTH) MINIMUM 75% CANOPY COVER MINIMUM 70% EVERGREEN PLANTINGS MINIMUM 4 SHRUBS PER 10 LINEAR FEET
BARRIER REQUIRED	BARRIER PROVIDED:
E: 6 FT ARCHITECTURAL BRICK/BLOCK WALL F: 6 FT WOOD FENCE OR G: 6 FT CHAINLINK FENCE	TYPE E BARRIER : 7 FT HEIGHT BRICK WALL
ADJACENT USE (WEST) : CHURCH (R-3 ZONING)	
BARRIER REQUIRED BETWEEN DRIVE-THROUGH PHARMACY USE AND CHURCH USE	BARRIER PROVIDED: **
D : 42-48 IN CHAINLINK FENCE E: 6 FT ARCHITECTURAL BRICK/BLOCK WALL OR F: 6 FT WOOD FENCE	48 IN BRICK WALL

* APPLICATION REQUESTS 2/3 REDUCTION IN TYPE III TRANSITIONAL SCREENING YARD BUFFER WIDTH (SEE MODIFICATION #5 ON COVER SHEET). IN REQUESTING THE REDUCTION, THE APPLICANT ALSO PROPOSES TO INSTALL A 7 FT SCREEN WALL (AS OPPOSED TO THE 6 FT WALL REQUIRED BY THE MATRIX), IN ACCORDANCE WITH ZO 13-305 (4). THE BUFFER WILL BE PLANTED WITH A BIO-DIVERSE AND PRIMARILY EVERGREEN SELECTION OF PLANTINGS, THAT WILL PROVIDE A MINIMUM 75% TEN-YEAR CANOPY COVERAGE.
 ** APPLICATION REQUESTS MODIFICATION OF THE TYPE 'D' BARRIER (42-48 IN CHAINLINK FENCE) TO ALLOW FOR A 48 IN ARCHITECTURAL BRICK WALL (SEE MODIFICATION #6 ON COVER SHEET). THIS MODIFICATION WOULD ALLOW FOR VISUAL CONSISTENCY WITH THE OTHER SCREEN WALLS REQUIRED ON THE SITE, TIE INTO THE BUILDING ARCHITECTURE, AND HELP PROVIDE EFFECTIVE PARKING LOT SCREENING.

STREET TREE CALCULATIONS (PER COMPREHENSIVE PLAN)		
LENGTH OF RIGHT-OF-WAY	PLANTINGS REQUIRED	PLANTINGS PROVIDED
CHARLES STREET		
303 FT.	7 TREES	7 TREES
LEESBURG PIKE		
388 FT.	8 TREES	9 TREES
WASHINGTON DRIVE		
300 FT.	6 TREES	10 TREES

STREET TREE CALCULATIONS ARE BASED ON THE 'GENERAL STREETSCAPE GUIDELINES' IN THE COMPREHENSIVE PLAN FOR BAILEY'S CROSSROADS COMMUNITY BUSINESS CENTER. PLANTINGS ALONG LEESBURG PIKE ARE LOCATED TO BE IN ACCORDANCE WITH FIGURE 15 - LEESBURG PIKE STREETSCAPE SECTION' IN THE COMPREHENSIVE PLAN.

PRELIMINARY PERIPHERAL PARKING LOT LANDSCAPE COMPUTATIONS		
LENGTH OF RIGHT-OF-WAY	PLANTINGS REQUIRED	PLANTINGS PROVIDED
CHARLES STREET		
202 FT.	6 TREES	6 TREES
LEESBURG PIKE		
82 FT.	3 TREES	3 TREES
WASHINGTON DRIVE		
NOT APPLICABLE. AS PER ZO 13-203, PERIPHERAL PARKING LOT LANDSCAPING IS NOT REQUIRED IF TRANSITIONAL SCREENING IS PROVIDED. ALL PARKING AREAS ALONG WASHINGTON DRIVE ARE BUFFERED BY A TYPE III TRANSITIONAL SCREENING BUFFER (SEE MODIFICATION/WAIVER #5).		

PRELIMINARY INTERIOR PARKING LOT LANDSCAPING COMPUTATIONS	
AREA TO BE COUNTED (SF)	± 50,000 SF
INTERIOR LANDSCAPING REQUIRED (SF)	5%
TOTAL SHADE TREE COVER PROVIDED:	11 TREES @ 250 SF = 2,750 SF PROVIDED 5.5%

TYPICAL PLANT PALETTE					
SYMBOL	QUANTITY	BOTANICAL NAME	COMMON NAME	SIZE	10-YEAR CANOPY COVERAGE
CATEGORY IV DECIDUOUS TREES					
[Symbol]	24	Acer rubrum 'October Glory'	October Glory Red Maple	3" Cal.	250 SF
		Platanus acerifolia 'Bloodgood'	London Planetree	3" Cal.	250 SF
		Quercus phellos	Willow Oak	3" Cal.	250 SF
		Ulmus americana 'Valley Forge'	American Elm	3" Cal.	250 SF
		Zelkova serrata	Japanese Zelkova	3" Cal.	250 SF
CATEGORY II DECIDUOUS TREES					
[Symbol]	10	Acer palmatum	Japanese Maple	3" Cal.	125 SF
		Carpinus caroliniana	American Hornbeam	3" Cal.	125 SF
		Chionanthus virginicus	Fringetree	3" Cal.	125 SF
		Cornus kousa	Kousa Dogwood	3" Cal.	125 SF
		Magnolia stellata	Star Magnolia	3" Cal.	125 SF
CATEGORY I DECIDUOUS TREES					
[Symbol]	4	Acer rubrum 'Columnare'	Columnar Red Maple	3" Cal.	75 SF
		Carpinus betulus 'Fastigiata'	Fastigate European Hornbeam	3" Cal.	75 SF
		Fagus sylvatica 'Fastigiata'	Fastigate European Beech	3" Cal.	75 SF
CATEGORY IV EVERGREEN TREES					
[Symbol]	6	Magnolia grandiflora	Southern Magnolia	10' Ht.	250 SF
		Pinus sylvestris	Scotch Pine	10' Ht.	250 SF
		Pinus virginiana	Virginia Pine	10' Ht.	250 SF
CATEGORY III EVERGREEN TREES					
[Symbol]	3	Cedrus atlantica	Atlas Cedar	8' Ht.	150 SF
		Picea abies	Norway Spruce	8' Ht.	150 SF
		Pinus echinata	Shortleaf Pine	8' Ht.	150 SF
CATEGORY II EVERGREEN TREES					
[Symbol]	15	Chamaecyparis pisifera 'Plumosa'	Plume Sawara False Cypress	10' Ht.	125 SF
		Cryptomeria japonica	Japanese Cryptomeria	10' Ht.	125 SF
		Ilex opaca	American Holly	10' Ht.	125 SF
		Picea glauca	White Spruce	10' Ht.	125 SF
CATEGORY I EVERGREEN TREES					
[Symbol]	20	Ilex x 'altissima' 'Fosteri'	Foster's Holly	10' Ht.	75 SF
		Ilex x 'Nellie Stevens'	Nellie Stevens Holly	10' Ht.	75 SF
		Thuja occidentalis 'Nigra'	American Arborvitae	10' Ht.	75 SF
SHRUBS					
[Symbol]		Cornus sericea	Red Osier Dogwood	24" Ht.	
		Ilex glabra	Inkberry	24" Ht.	
		Rosa x 'Knockout'	Knockout Rose	24" Ht.	
		Viburnum dentatum	Arrowwood Viburnum	24" Ht.	
		Viburnum plicatum var. tomentosum 'Mariesii'	Marie's Doublefile Viburnum	24" Ht.	
					TOTAL CANOPY COVERAGE (SF) : 12,875 SF
PLANT SELECTIONS SUBJECT TO CHANGE WITH FINAL DESIGN AND ENGINEERING. SPECIES SHOWN ARE INTENDED TO DESCRIBE THE GENERAL NATURE AND BIODIVERSITY OF PLANT MATERIAL TO BE UTILIZED THROUGHOUT THE SITE.					

TREE PRESERVATION CALCULATIONS	
TOTAL SITE AREA:	118,524 SF
NOTE : SITE AREA IS CALCULATED PRIOR TO ANY R.O.W. DEDICATION. POST-DEDICATION SITE AREA IS ± 103,072 SF.	
PERCENTAGE OF GROSS SITE AREA COVERED BY EXISTING TREE CANOPY:	10.7% (12,716 SF)
PERCENTAGE OF 10-YEAR TREE CANOPY REQUIREMENT THAT SHOULD BE MET THROUGH TREE PRESERVATION:	1,267 SF
PROPOSED PERCENTAGE OF TREE CANOPY THAT WILL BE MET THROUGH TREE PRESERVATION:	0 SF
HAS THE TREE PRESERVATION TARGET BEEN MET:	NO *

TREE COVER CALCULATIONS	
TOTAL SITE AREA:	118,524 SF
NOTE : SITE AREA IS CALCULATED PRIOR TO ANY R.O.W. DEDICATION. POST-DEDICATION SITE AREA IS ± 103,072 SF.	
TREE COVER REQUIRED (10%)	11,853 SF
PROPOSED TREE SAVE AREA *	0 SF
PROPOSED PLANTINGS (10 YEAR CANOPY)	12,875 SF
TOTAL TREE COVER PROVIDED:	12,875 SF (10.8%)

THE APPLICANT WILL REQUEST A TREE PRESERVATION TARGET DEVIATION AT SITE PLAN (SEE NOTE #27 ON COVER PAGE). THE EXISTING TREES ON SITE ARE EITHER LOCATED IN CENTER OF THE DEVELOPMENT (IN LOCATIONS THAT WOULD GREATLY ALTER THE FUNCTIONALITY OF THE DEVELOPMENT), OR DO NOT MEET STANDARDS FOR HEALTH AND STRUCTURAL CONDITION. THERE ARE THREE EXISTING TREES (ONE PINE AND TWO CATALPAS) THAT ARE LOCATED IN PROPOSED BUFFER AREA. THEY ARE NOT DESIRED TO BE PRESERVED FOR SEVERAL REASONS.
 1. THE LOCATION OF THE TREES LIMITS THE PLACEMENT OF THE REQUIRED SCREEN WALL, WHICH WILL PROVIDE IMMEDIATE AND EFFECTIVE SCREENING.
 2. THE PINE TREE DOES NOT MEET THE INTENT OF THE SCREENING BUFFER. AS AN AGED EVERGREEN, THERE ARE LIMITED LIMBS AT A LEVEL TO PROVIDE EFFECTIVE SCREENING. THE TWO CATALPAS ARE LISTED ON FAIRFAX COUNTY'S TREES THAT CAUSE PROBLEMS AFTER PRESERVATION, AND ARE ONLY AFFORDED CREDIT IF THEY CAN BE PRESERVED IN NATURAL AREAS AWAY FROM DEVELOPMENT. THE EXISTING URBAN NATURE OF THE SITE AND THE PROPOSED DEVELOPMENT ARE NOT FAVORABLE CONDITIONS IN WHICH TO PRESERVE THESE TREES.
 3. THE TWO CATALPAS DO NOT MEET STANDARDS FOR HEALTH AND STRUCTURAL CONDITION. AS BOTH TREES HAVE LEADER TRUNKS WITH VISIBLE HORIZONTAL LEAN. FOR THE REASONS LISTED ABOVE, THE APPLICANT WILL REQUEST A TREE PRESERVATION TARGET DEVIATION AT SITE PLAN.

LANDSCAPE CALCULATIONS
THE SHOPS AT BAILEY'S CROSSROADS

MASON DISTRICT
FAIRFAX COUNTY, VIRGINIA

Adam J. Steiner
Lic. No. 1237
01-25-2015
LANDSCAPE ARCHITECT

1. ADDRESSED COUNTY COMMENTS

2. ADDRESSED COUNTY COMMENTS

3. ADDRESSED COUNTY COMMENTS

4. ADDRESSED COUNTY COMMENTS

5. ADDRESSED COUNTY COMMENTS

6. ADDRESSED COUNTY COMMENTS

7. ADDRESSED COUNTY COMMENTS

8. ADDRESSED COUNTY COMMENTS

07/03/2014

09/11/2014

11/14/2014

12/17/2014

12/31/2014

01/12/2015

01/20/2015

01/29/2015

DATE

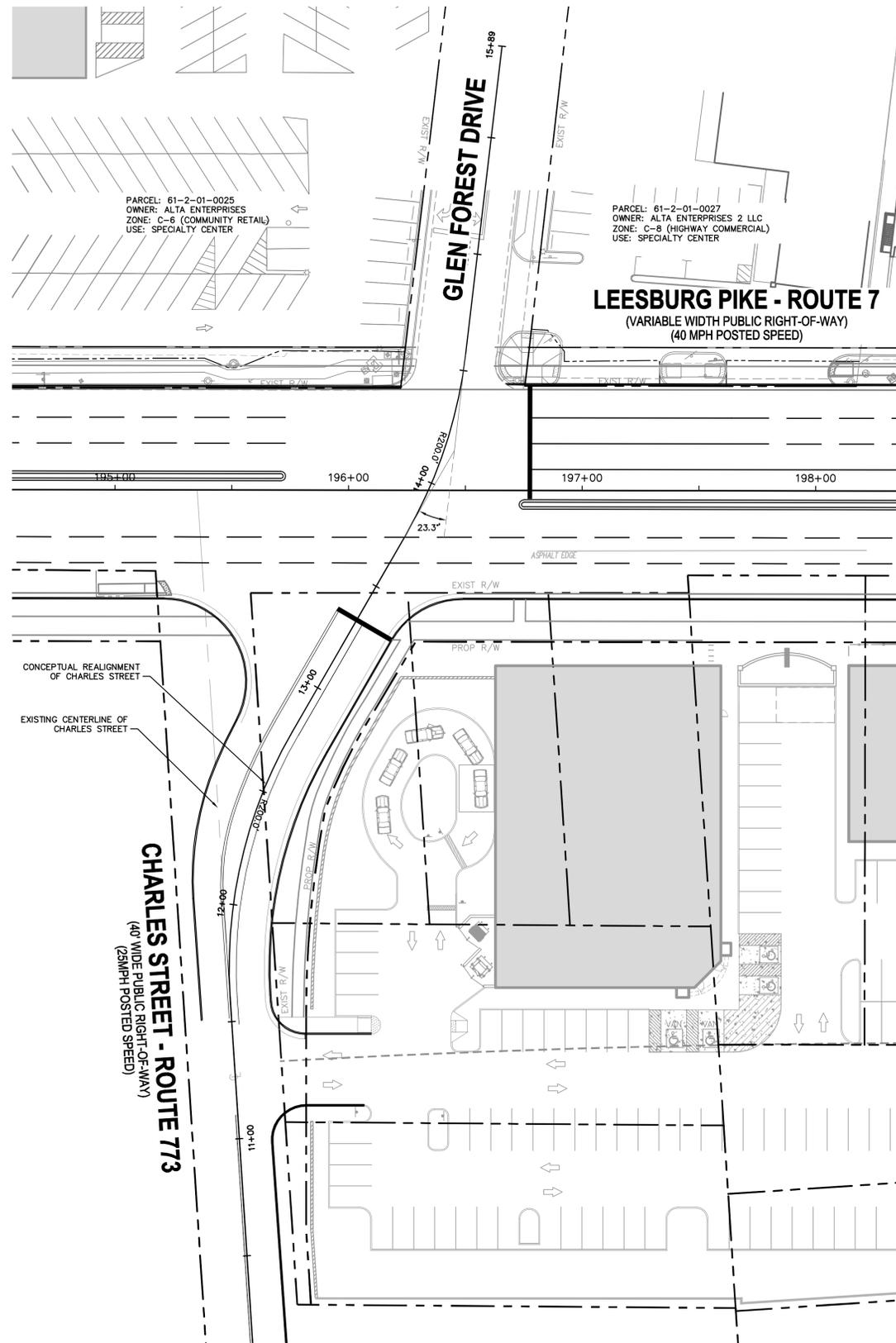
REVISIONS

SHEET NUMBER
4A OF 10

Kimley-Horn

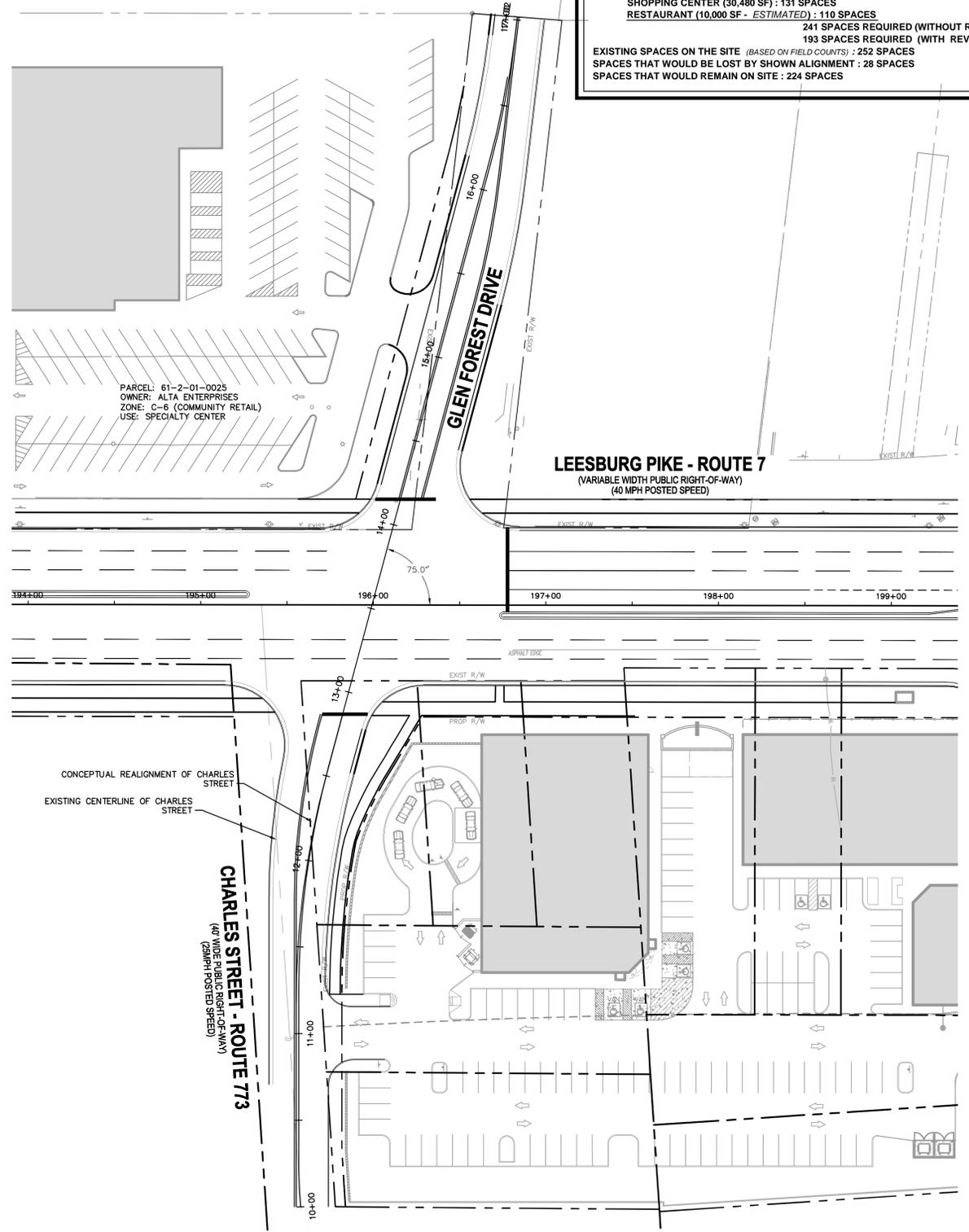
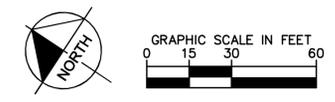
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1001 WARRENVILLE ROAD, SUITE 350, LISLE, IL 60532
PHONE: 630-487-5550 FAX: 312-726-9449
WWW.KIMLEY-HORN.COM

Plotted By: Johnson, Jacqui. Sheet: Sht:Kha. Layout:5: CHARLES STREET CONCEPTUAL ALIGNMENTS. January 30, 2015. 10:57:36am. K:\NVA-LA\LA\10374001 Spectrum - Charles St\CVS\CAD\Plan Sheets\5: LEESBURG PIKE STREET SECTIONS.dwg
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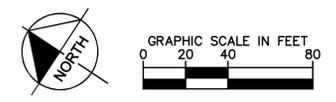
ALTERNATIVE "A" -
 CONCEPTUAL REALIGNMENT OF CHARLES STREET WITH GLEN FOREST DRIVE -
 ASSUMES ALL RIGHT-OF-WAY FOR ALIGNMENT TO BE PROVIDED ALONG CHARLES STREET

NOTE : THIS PLAN IS INTENDED ONLY TO SHOW THAT THE PROPOSED ROW DEDICATION IS ADEQUATE FOR THE FUTURE REALIGNMENT OF CHARLES STREET WITH GLEN FOREST DRIVE, AS PER VDOT PLAN #0007--29-117. NO REALIGNMENT OF CHARLES STREET IS PROPOSED WITH THIS PLAN.



ALTERNATE "B" :
 CONCEPTUAL REALIGNMENT OF CHARLES STREET WITH GLEN FOREST DRIVE -
 ASSUMES RIGHT-OF-WAY FOR ALIGNMENT TO BE PROVIDED ALONG BOTH GLEN FOREST DRIVE AND CHARLES STREET

NOTE : THIS PLAN IS INTENDED ONLY TO SHOW A POTENTIAL SOLUTION FOR THE REALIGNMENT OF CHARLES STREET AND GLEN FOREST DRIVE. NO REALIGNMENT OF CHARLES STREET OR GLEN FOREST DRIVE IS PROPOSED WITH THIS PLAN. NO ACQUISITION OF RIGHT-OF-WAY ALONG GLEN FOREST DRIVE IS PROPOSED WITH THIS PLAN. PARKING CALCULATIONS FOR PARCEL 61-2-01-0025 ARE PRELIMINARY, BASED ON ZONING ORDINANCE REQUIREMENTS, AND FOR GENERAL INFORMATION PURPOSES ONLY.



POTENTIAL IMPACTS OF ALTERNATE "B" ALIGNMENT TO PARKING ON PARCEL 61-2-01-0025:
 SHOPPING CENTER SIZE (BASED ON FAIRFAX COUNTY RECORDS) : 40,480 SF GROSS FLOOR AREA
 ZONING : C-6 (COMMUNITY RETAIL)
 REQUIRED PARKING RATIO FOR SHOPPING CENTERS : 4.3 / 1,000 SF OF GROSS FLOOR AREA

ASSUMED REQUIRED SPACES : 241 SPACES
 SHOPPING CENTER (30,480 SF) : 131 SPACES
 RESTAURANT (10,000 SF - ESTIMATED) : 110 SPACES

241 SPACES REQUIRED (WITHOUT REVITALIZATION DISTRICT REDUCTION)
 193 SPACES REQUIRED (WITH REVITALIZATION DISTRICT REDUCTION)

EXISTING SPACES ON THE SITE (BASED ON FIELD COUNTS) : 252 SPACES
 SPACES THAT WOULD BE LOST BY SHOWN ALIGNMENT : 28 SPACES
 SPACES THAT WOULD REMAIN ON SITE : 224 SPACES

Kimley-Horn

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 PHONE: 630-487-5550 FAX: 312-726-9449
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NO.	DATE	REVISIONS
1	07/03/2014	ADDRESSED COUNTY COMMENTS
2	09/01/2014	ADDRESSED COUNTY COMMENTS
3	11/14/2014	ADDRESSED COUNTY COMMENTS
4	12/17/2014	ADDRESSED COUNTY COMMENTS
5	12/31/2014	ADDRESSED COUNTY COMMENTS
6	01/12/2015	ADDRESSED COUNTY COMMENTS
7	01/20/2015	ADDRESSED COUNTY COMMENTS
8	01/29/2015	ADDRESSED COUNTY COMMENTS

KHA PROJECT #10374001
 DATE 03/31/2014
 SCALE
 DESIGNED BY KHA
 DRAWN BY JUN
 CHECKED BY GED

COMMONWEALTH OF VIRGINIA

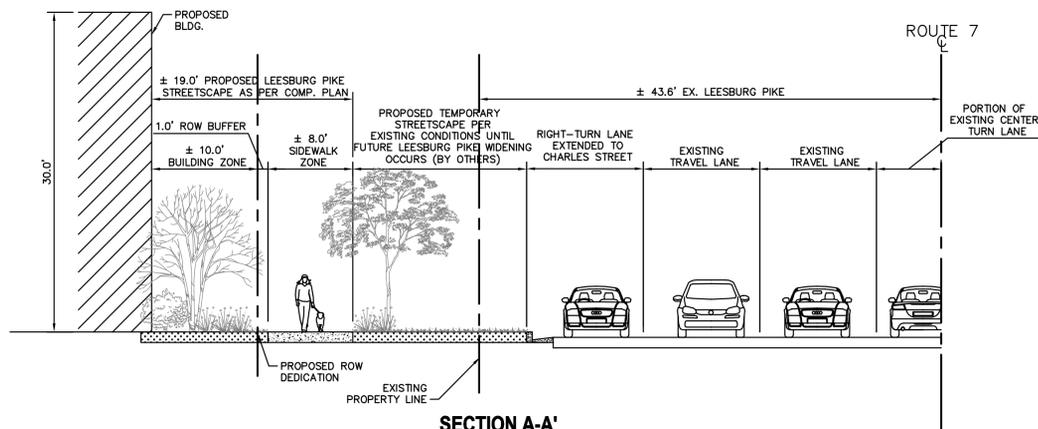
 G. ERIC DOERING
 Lic. No. 043648
 1-29-2015
 PROFESSIONAL ENGINEER

**CHARLES STREET CONCEPTUAL ALIGNMENTS
 THE SHOPS AT BAILEY'S CROSSROADS**

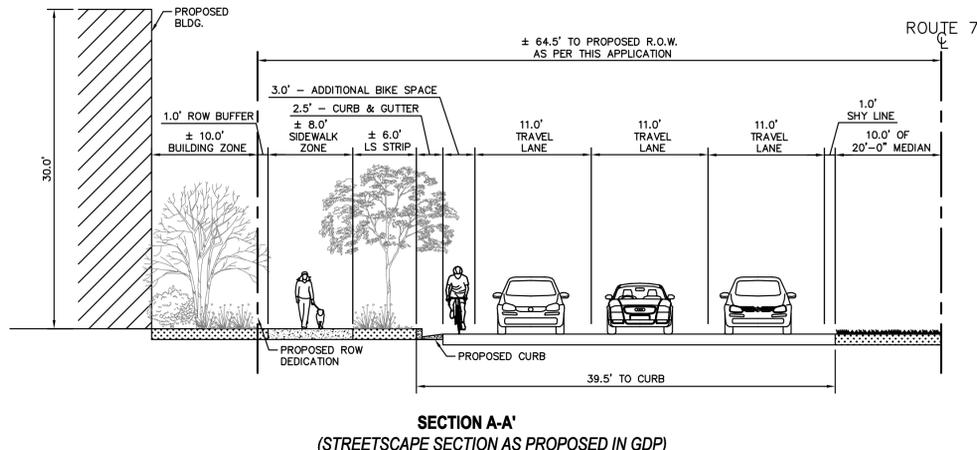
MASON DISTRICT
 FAIRFAX COUNTY, VIRGINIA

SHEET NUMBER
5 OF 10

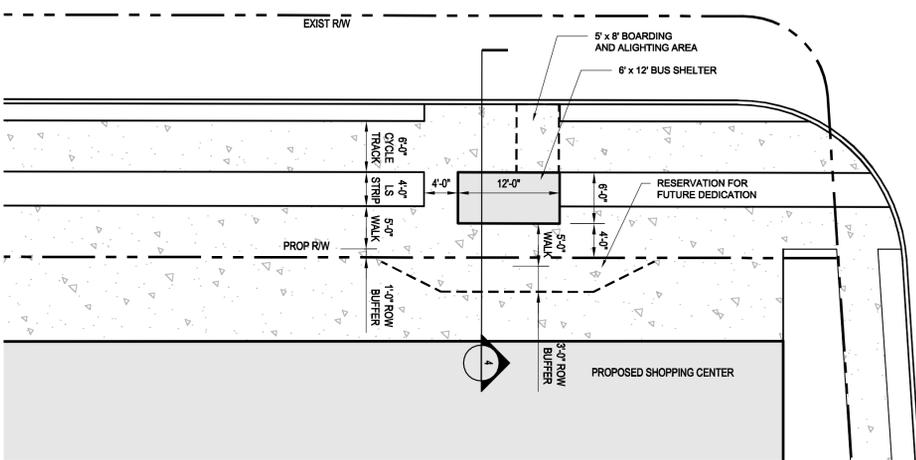
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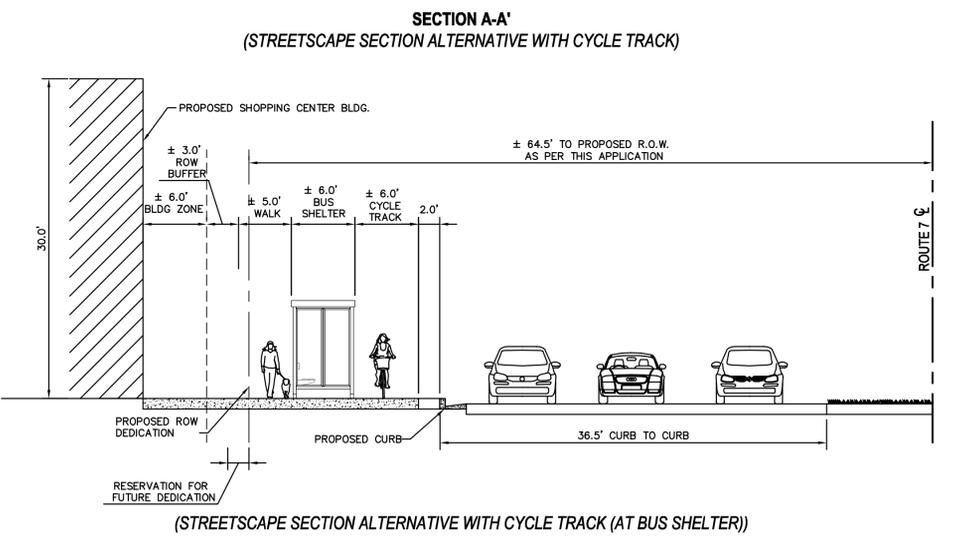
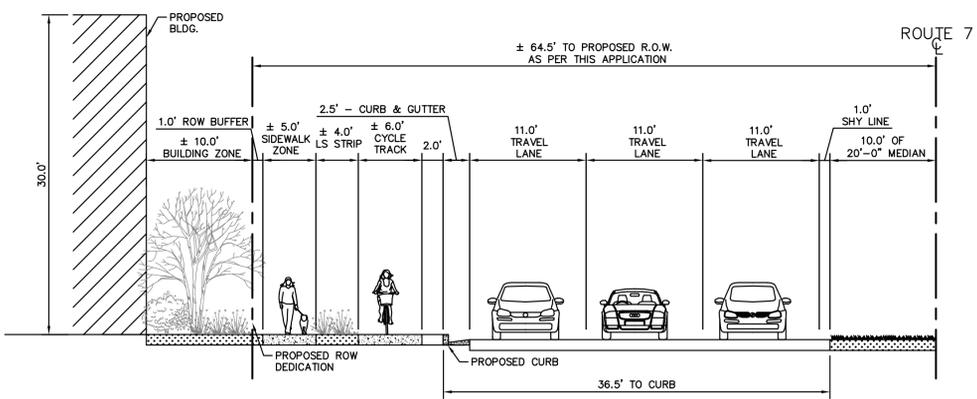
1 LEESBURG PIKE - PROPOSED CONDITION AFTER 'THE SHOPS AT BAILEY'S CROSSROADS' DEVELOPMENT
SCALE: 1/8" = 1'-0"



2 LEESBURG PIKE - FUTURE ROAD WIDENING CONDITIONS (BY OTHERS)
SCALE: 1/8" = 1'-0"



3 LEESBURG PIKE STREETSCAPE ALTERNATIVE (WITH CYCLE TRACK) : PLAN
SCALE: 1" = 10'-0"



4 LEESBURG PIKE STREETSCAPE ALTERNATIVE (WITH CYCLE TRACK) : SECTIONS
SCALE: 1/8" = 1'-0"



5 BENCHES
N.T.S.



7 TRASH RECEPTACLE
N.T.S.



6 TABLES & CHAIRS
N.T.S.



8 BIKE RACK
N.T.S.



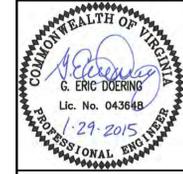
9 LIGHTING
N.T.S.



10 PLANTERS
N.T.S.

NOTE: SITE FURNISHINGS, LIGHTING, AND WALLS SHOWN ON THIS SHEET ARE CONCEPTUAL AND ARE INTENDED TO REFLECT THE GENERAL THEME AND CHARACTER OF THE PROPOSED DEVELOPMENT. FINAL PRODUCT SELECTION MAY VARY AT THE TIME OF SITE PLAN, BUT WILL BE CONSISTENT WITH THE QUALITY OF DESIGN REPRESENTED HEREON.

NO.	DATE	REVISIONS
1	07/03/2014	ADDRESSED COUNTY COMMENTS
2	09/01/2014	ADDRESSED COUNTY COMMENTS
3	11/14/2014	ADDRESSED COUNTY COMMENTS
4	12/17/2014	ADDRESSED COUNTY COMMENTS
5	12/31/2014	ADDRESSED COUNTY COMMENTS
6	01/12/2015	ADDRESSED COUNTY COMMENTS
7	01/20/2015	ADDRESSED COUNTY COMMENTS
8	01/29/2015	ADDRESSED COUNTY COMMENTS



Plotted By: jacob.jacqui@kimley-horn.com
 Sheet: Sht:Kha_Layouts:6_ARCHITECTURAL_DETAILS January 30, 2015 10:58:07am
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BUILDING ELEVATIONS - LEESBURG PIKE



BUILDING ELEVATIONS - CHARLES STREET



BUILDING ELEVATIONS - WASHINGTON DRIVE



PHARMACY ELEVATION BEYOND

NOTE : THE ELEVATIONS ON THIS SHEET ARE PRELIMINARY IN NATURE AND ARE PROVIDED TO AID IN THE UNDERSTANDING OF THE PROPOSED DEVELOPMENT PROGRAM IN RELATION TO THE SITE. THE ELEVATIONS ARE SUBJECT TO CHANGE WITH FINAL ENGINEERING AND ARCHITECTURAL DESIGN.

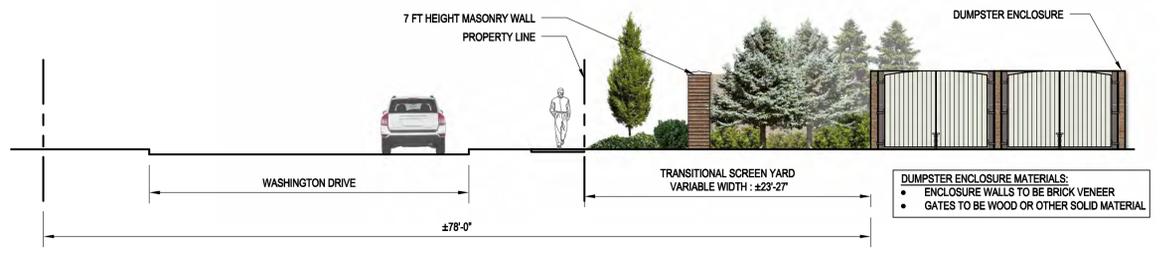


GTMARCHITECTS

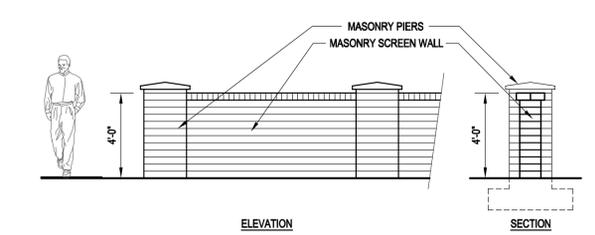
7735 OLD GEORGETOWN ROAD, SUITE 700, BETHESDA, MD 20814 - TEL: (240) 333-2000 - FAX: (240) 333-2001



5 TRANSITIONAL SCREEN YARD WALL : PERSPECTIVE



1 TRANSITIONAL SCREEN YARD BUFFER SECTION
 SCALE : 1/8"=1'-0"



2 TYPE "D" BARRIER (MODIFIED)
 SCALE : 1/4"=1'-0"



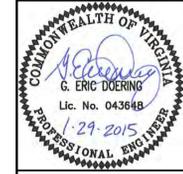
3 TRANSITIONAL SCREEN YARD WALL : ELEVATION
 SCALE : 1/4"=1'-0"



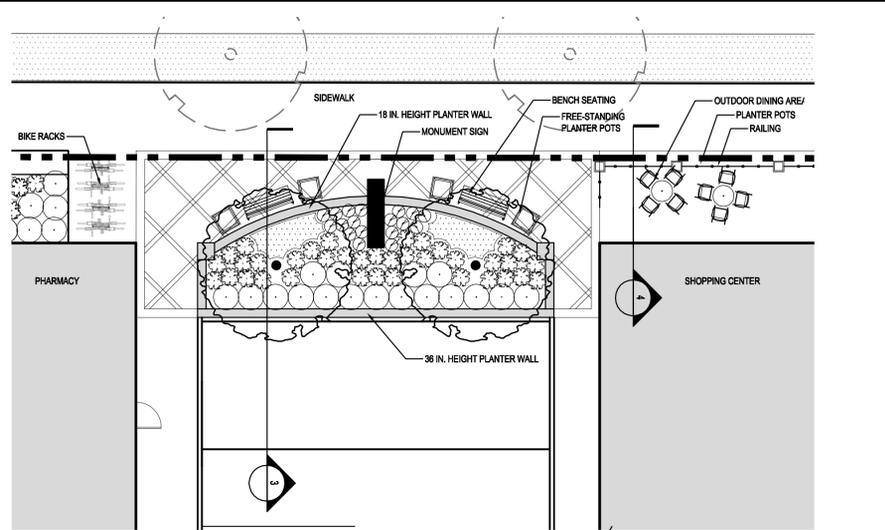
4 TRANSITIONAL SCREEN YARD WALL : SECTION
 SCALE : 1/4"=1'-0"

NOTE : WALLS SHOWN ON THIS SHEET ARE CONCEPTUAL AND ARE INTENDED TO REFLECT THE GENERAL THEME AND CHARACTER OF THE PROPOSED DEVELOPMENT. FINAL PRODUCT SELECTION MAY VARY AT THE TIME OF SITE PLAN, BUT WILL BE CONSISTENT WITH THE QUALITY OF DESIGN REPRESENTED HEREON.

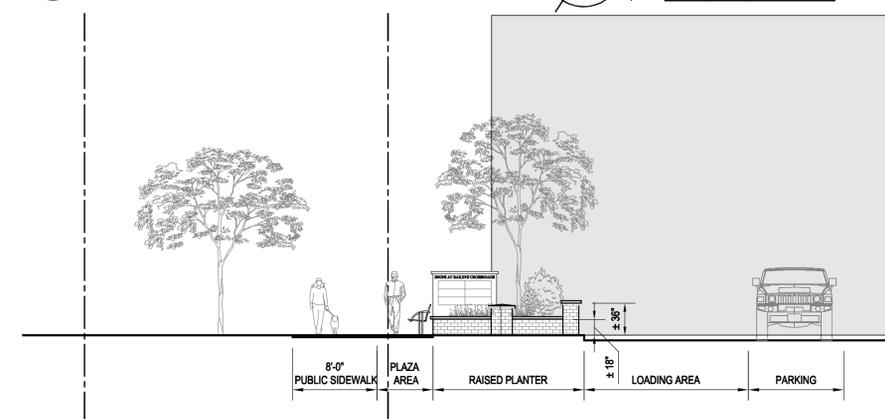
NO.	DATE	REVISIONS
1	07/03/2014	ADDRESSED COUNTY COMMENTS
2	09/11/2014	ADDRESSED COUNTY COMMENTS
3	11/14/2014	ADDRESSED COUNTY COMMENTS
4	12/17/2014	ADDRESSED COUNTY COMMENTS
5	12/31/2014	ADDRESSED COUNTY COMMENTS
6	01/12/2015	ADDRESSED COUNTY COMMENTS
7	01/20/2015	ADDRESSED COUNTY COMMENTS
8	01/29/2015	ADDRESSED COUNTY COMMENTS



Plotted By: Johnson, Jacqui. Sheet: Sht:Kha. Layout: 7 LANDSCAPE AMENITY AREAS & PERSPECTIVES. January 30, 2015 10:59:40am. K:\NVA\LALP\110374001 Spectrum - Charles St. CVS/CAD/Plan Sheets/6 AMENITY AREAS DESIGN.dwg. This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.

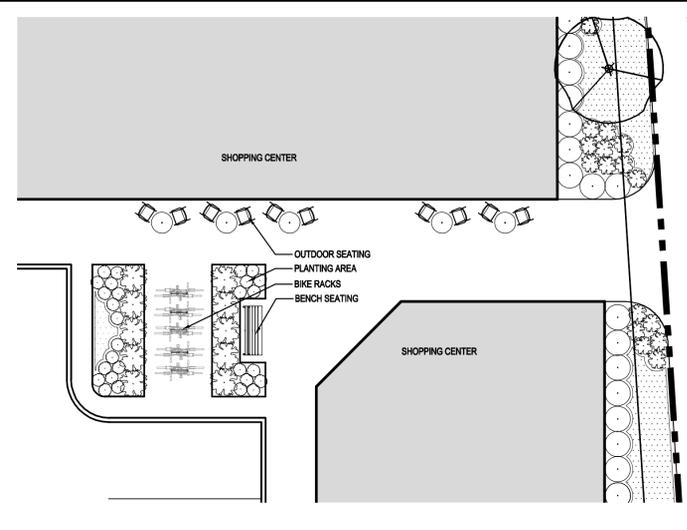


1 ENTRY PLAZA AMENITY AREA
SCALE: 1" = 10'-0"

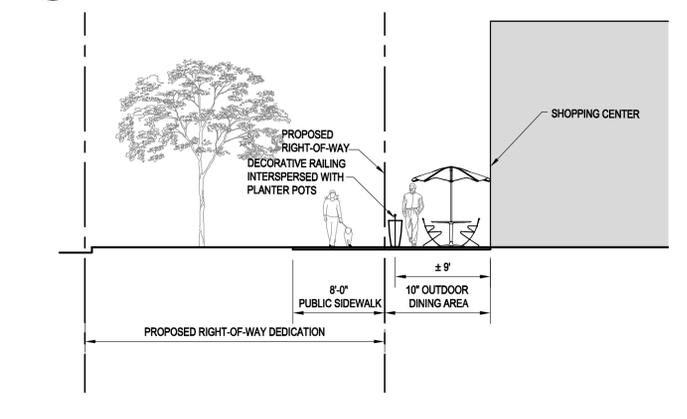


3 ENTRY PLAZA : SECTION
SCALE: 1/8" = 1'-0"

NOTE: MONUMENT SIGNAGE SHOWN IS CONCEPTUAL AND IS INTENDED TO REFLECT THE GENERAL CHARACTER. ALL SIGNAGE WILL BE IN ACCORDANCE WITH THE PROVISIONS SET FORTH IN ARTICLE 12 OF THE ZONING ORDINANCE.



2 SIDE PLAZA AMENITY AREA
SCALE: 1" = 10'-0"



4 OUTDOOR DINING AREA : SECTION
SCALE: 1/8" = 1'-0"



5 PERSPECTIVE : ENTRY PLAZA AMENITY AREA
SCALE: NTS



6 PERSPECTIVE : ENTRY PLAZA AMENITY AREA
SCALE: NTS



8 BIRDS-EYE PERSPECTIVE
SCALE: NTS



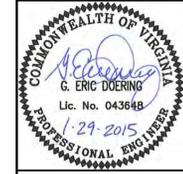
9 BIRDS-EYE PERSPECTIVE
SCALE: NTS



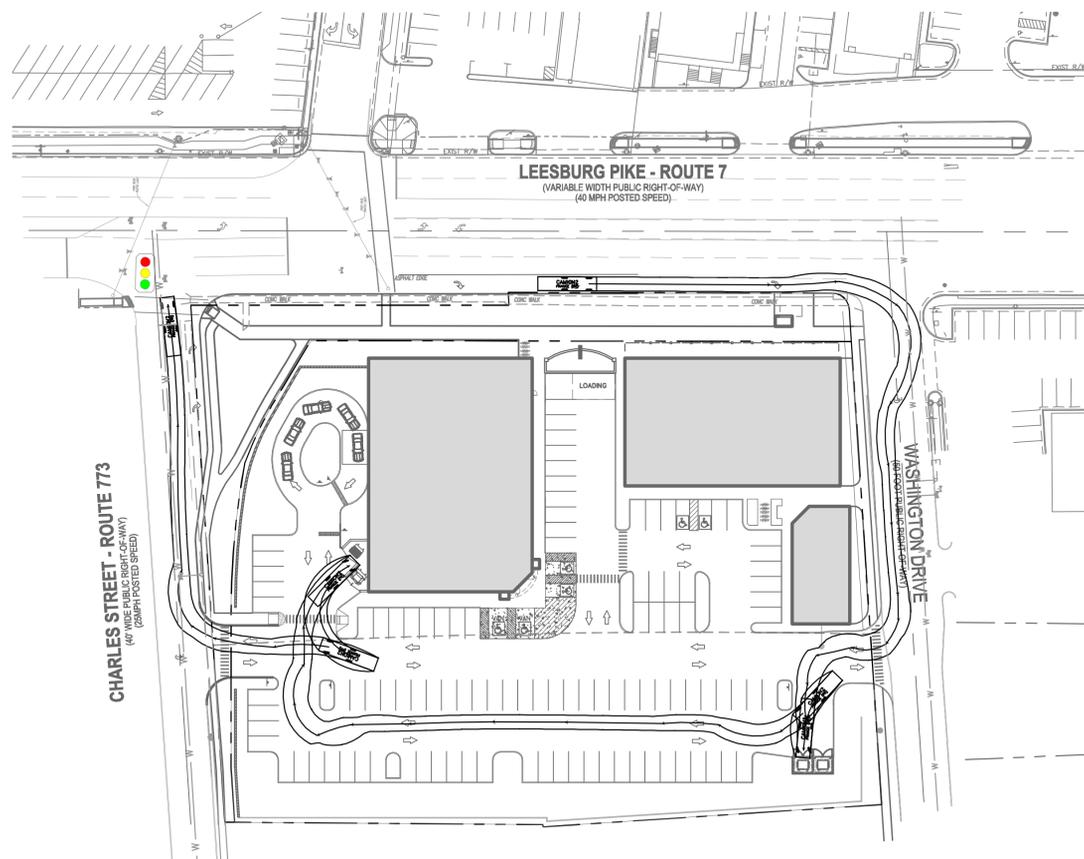
7 PERSPECTIVE : SIDE PLAZA AMENITY AREA
SCALE: NTS

NOTE: IMAGES SHOWN ON THIS SHEET ARE CONCEPTUAL AND ARE INTENDED TO REFLECT THE GENERAL THEME AND CHARACTER OF THE PROPOSED DEVELOPMENT. FINAL PRODUCT SELECTION MAY VARY AT THE TIME OF SITE PLAN, BUT WILL BE CONSISTENT WITH THE QUALITY OF DESIGN REPRESENTED HEREON.

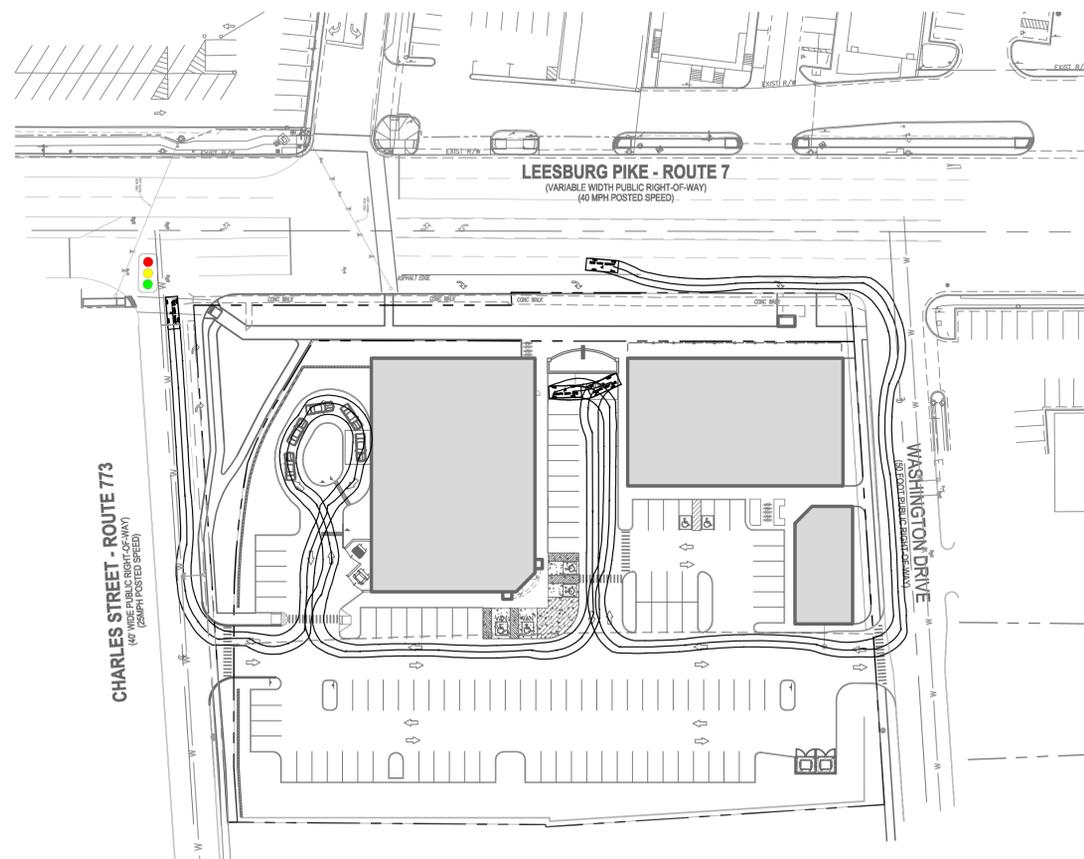
NO.	DATE	REVISIONS
1	07/03/2014	ADDRESSED COUNTY COMMENTS
2	09/01/2014	ADDRESSED COUNTY COMMENTS
3	11/14/2014	ADDRESSED COUNTY COMMENTS
4	12/17/2014	ADDRESSED COUNTY COMMENTS
5	12/31/2014	ADDRESSED COUNTY COMMENTS
6	01/12/2015	ADDRESSED COUNTY COMMENTS
7	01/20/2015	ADDRESSED COUNTY COMMENTS
8	01/29/2015	ADDRESSED COUNTY COMMENTS



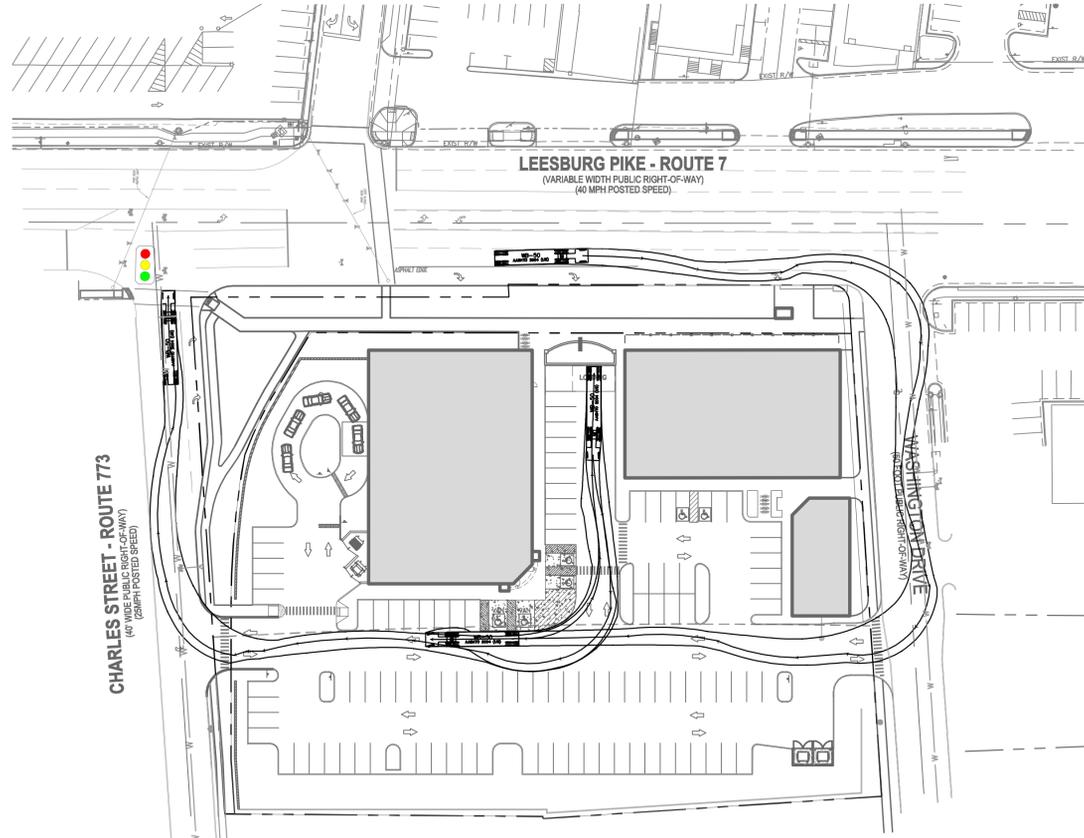
Plotted By: Johnson, Jocqui. Sheet: Sht-Kha. Layout: 8. VEHICULAR CIRCULATION PLAN. January 30, 2015. 11:00:50am. K:\NVA_LALPA\10374001_Spectrum - Charles St. CVS\CAD\Plan Sheets\7. VEHICULAR CIRCULATION PLAN.dwg. This document, together with the concepts and designs presented herein, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Kimley-Horn and Associates, Inc. shall be without liability to Kimley-Horn and Associates, Inc.



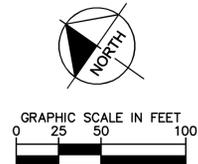
1 GARBAGE TRUCK
1" = 50'-0"



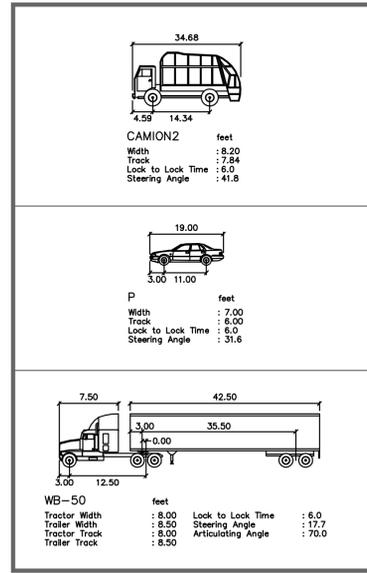
2 CAR
1" = 50'-0"



3 WB-50 DELIVERY TRUCK
1" = 50'-0"



AUTOTURN TRUCK LEGEND



VEHICULAR CIRCULATION PLAN
THE SHOPS AT BAILEY'S CROSSROADS

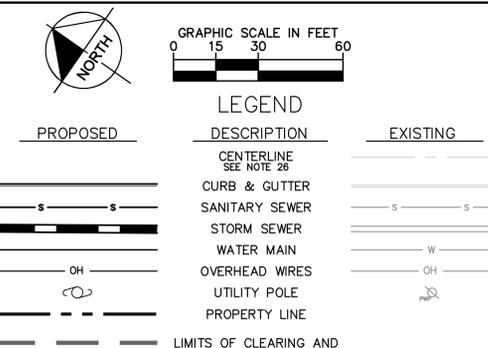
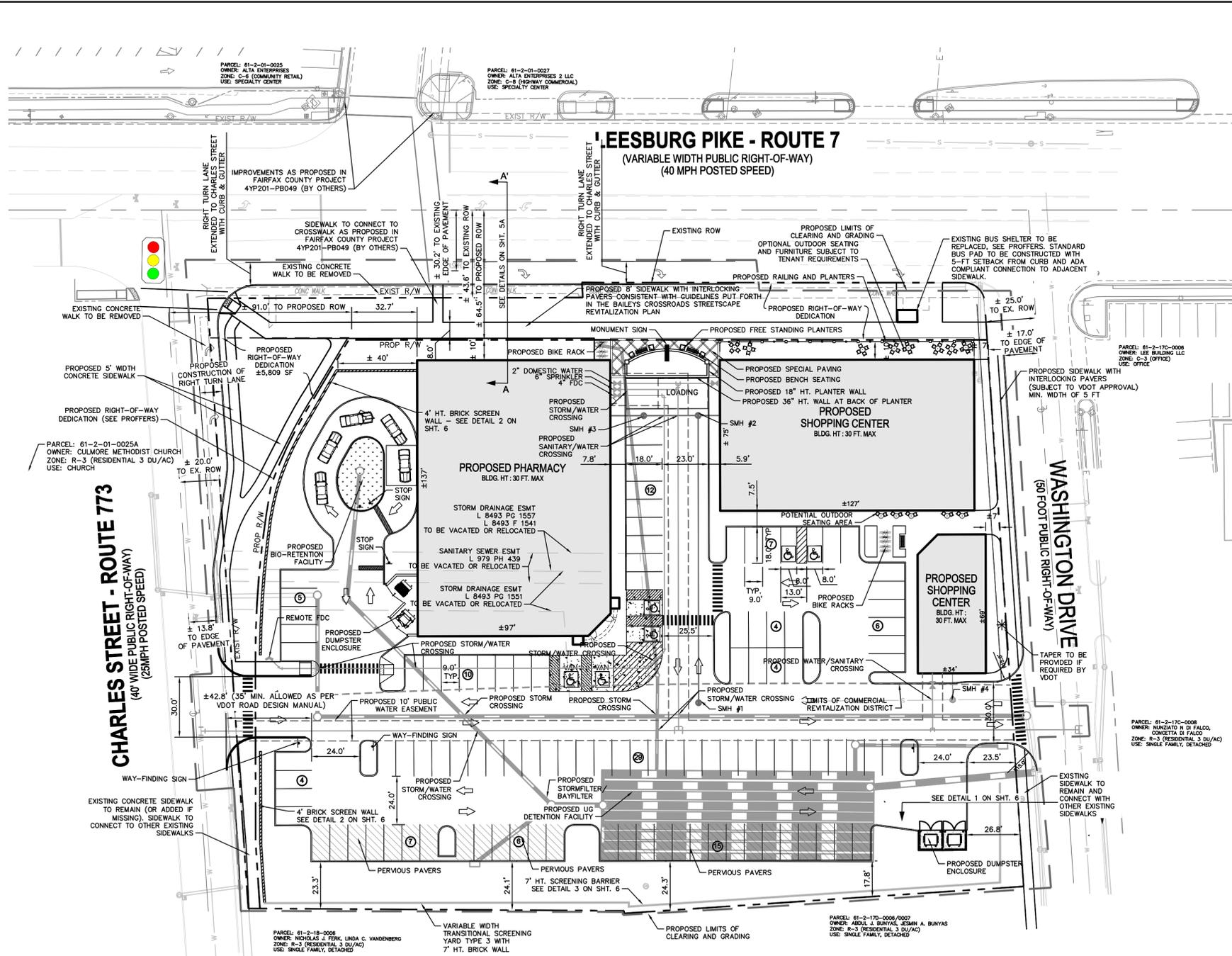
MASON DISTRICT
FAIRFAX COUNTY, VIRGINIA

KHA PROJECT		ADDRESSED COUNTY COMMENTS	
#10374001	1	07/03/2014	
DATE	2	09/11/2014	
03/31/2014	3	11/14/2014	
SCALE	4	12/17/2014	
DESIGNED BY KHA	5	12/31/2014	
DRAWN BY JUN	6	01/12/2015	
CHECKED BY GED	7	01/20/2015	
	8	01/29/2015	

SHEET NUMBER
8 OF 10

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Plotted By: Johnson, Jocelyn Sheet: Sak-Kha Layout: 10 SPECIAL EXCEPTIONS PLAT January 30, 2015 11:01:46am K:\NVA-LA\PLAT\10374001 Spectrum - Charles ST CVS/CAD/Plan-Sheets\9 SPECIAL EXCEPTIONS PLAT.dwg
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- NOTES**
- THE PROPERTY THAT IS THE SUBJECT OF THIS REZONING (RZ) IS IDENTIFIED ON THE FAIRFAX COUNTY ZONING MAP AS 61-2 (18) 1.5-61-2 (17) (D) 1.5. THE REZONING APPLICATION LAND AREA CONSISTS OF APPROXIMATELY 2.72 ACRES. SPECIAL EXCEPTIONS FOR A DRIVE-THROUGH PHARMACY AND FOR FAST FOOD RESTAURANTS WITHIN A BUILDING ARE BEING FILED CONCURRENTLY ON PORTIONS OF THE REZONING PROPERTY.
 - THE REZONING HAS BEEN FILED TO PERMIT THE DEVELOPMENT OF A DRIVE-THROUGH PHARMACY AND TWO SHOPPING CENTER BUILDINGS.
 - THE BOUNDARY INFORMATION SHOWN HEREON IS BY FIRST ORDER LLC.
 - THE TOPOGRAPHY SHOWN HEREON IS AT A CONTOUR INTERVAL OF TWO FEET FROM A FIELD SURVEY BY FIRST ORDER LLC.
 - IF AN AMENDMENT TO ANY PORTION OF THIS RZ BECOMES NECESSARY AT A LATER DATE, THE APPLICANT RESERVES THE RIGHT TO SUBMIT ONLY THAT PORTION THAT IS AFFECTED BY THE AMENDMENT FOR REVIEW AND APPROVAL.
 - THE EXISTING OFFICE BUILDING ON PARCEL 0612-17D-0001/0612-17D-0002 WAS CONSTRUCTED IN 1994 ACCORDING TO AVAILABLE RECORDS. THE EXISTING RESIDENTIAL BUILDING ON PARCEL 0612-17D-0004/0612-17D-0005 WAS CONSTRUCTED IN 1994 AND REMODELED IN 2009 ACCORDING TO AVAILABLE RECORDS. ALL STRUCTURES WILL BE DEMOLISHED AS PART OF THE CONSTRUCTION OF THESE USES.
 - LANDSCAPING, TRANSITIONAL SCREENING AND BARRIERS WILL BE PROVIDED IN ACCORDANCE WITH THE ZONING ORDINANCE. REQUESTED MODIFICATIONS ARE LISTED IN "WAIVERS/MODIFICATION REQUESTED" ON THIS SHEET.
 - PARKING SPACES FOR THE PROPOSED DEVELOPMENT PROGRAM ON THE SUBJECT PROPERTY WILL BE PROVIDED IN ACCORDANCE WITH THE PROVISIONS SET FORTH IN ARTICLE 11 OF THE ZONING ORDINANCE. A PARKING REDUCTION IS BEING REQUESTED AS ALLOWED IN A COMMERCIAL REVITALIZATION DISTRICT. SEE WAIVER/MODIFICATION #7.
 - A MODIFICATION IS BEING REQUESTED FOR THE LOADING SPACES REQUIRED BY ARTICLE 11 OF THE ZONING ORDINANCE. SEE WAIVER/MODIFICATION #8.
 - TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITY EASEMENTS HAVING A WIDTH OF TWENTY-FIVE (25) FEET OR MORE OR MAJOR UNDERGROUND UTILITY EASEMENTS LOCATED ON THE SUBJECT PROPERTY.
 - TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO GRAVES LOCATED ON THE SUBJECT PROPERTY.
 - AN AREA AT THE INTERSECTION OF LEESBURG PIKE AND CHARLES STREET WILL BE DEDICATED AS SHOWN ON THE GDP AND AS PER THE PROPOSED PROFFERS. THIS DEDICATION AREA IS FOR A FUTURE REALIGNMENT OF CHARLES STREET AT LEESBURG PIKE BY OTHERS WHEN A ROUTE 7 AREA WIDE IMPROVEMENT PROJECT IS IMPLEMENTED. AN EIGHT FOOT WIDE TRAIL WILL BE ADDED ALONG LEESBURG PIKE AS SHOWN IN THE GDP. THE FOLLOWING IMPROVEMENTS TO PUBLIC RIGHT-OF-WAYS ARE PROPOSED WITH THIS REZONING:
 THE EXTENSION OF THE RIGHT-TURN ONLY LANE BETWEEN CHARLES STREET AND WASHINGTON DRIVE
 CONSTRUCTION OF A RIGHT TURN LANE ONTO LEESBURG PIKE FROM CHARLES STREET
 - THERE ARE NO EXISTING SCENIC ASSETS LOCATED ON THE SUBJECT PROPERTY. THERE WILL BE NO ADVERSE EFFECTS ON ADJACENT OR NEIGHBORING PROPERTIES. THERE ARE NO COMMUNITY OR PUBLIC FACILITIES PROPOSED WITH THIS PROJECT.
 - PUBLIC WATER AND SEWER ARE CURRENTLY AVAILABLE ON THE SITE.
 - THERE IS NO FLOODPLAIN DESIGNATED BY THE FEDERAL INSURANCE ADMINISTRATION, UNITED STATES GEOLOGICAL SURVEY OR FAIRFAX COUNTY ON THE SITE. THERE IS NO ENVIRONMENTAL QUALITY CORRIDOR (EQC) OR RESOURCE PROTECTION AREA (RPA) ON THE SITE.
 - THE LIMITS OF CLEARING AND GRADING ARE SHOWN ON THE GDP.
 - TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE PROPOSED BUILDINGS WILL NOT GENERATE, UTILIZE, STORE, TREAT OR DISPOSE ANY HAZARDOUS OR TOXIC SUBSTANCES AS SET FORTH IN TITLE 40, CODE OF FEDERAL REGULATIONS PARTS 114.4, 302.4 AND 355.
 - SIGNAGE FOR THE EXISTING AND PROPOSED USES WILL BE IN ACCORDANCE WITH THE PROVISIONS SET FORTH IN ARTICLE 12 OF THE ZONING ORDINANCE.
 - IT IS UNDERSTOOD THAT ADDITIONAL SITE FEATURES SUCH AS GAZEBOS, BENCHES, COVERED WALKWAYS, FLAGPOLES, TRELLISES, WATER FOUNTAINS OR FEATURES, OUTDOOR SEATING, SIGNS, WALLS, FENCES, LIGHT STANDARDS AND/OR UTILITY MAINTENANCE STRUCTURES NOT REPRESENTED ON THE GRAPHIC MAY BE PROVIDED AS LONG AS THE RESULTANT PROPOSED DEVELOPMENT IS IN SUBSTANTIAL CONFORMANCE WITH THE ZONING ORDINANCE AND THAT REPRESENTED ON THE GRAPHIC. ALL NEWLY PROPOSED LIGHTING ON SITE WILL BE SHIELDED AND LOCATED IN SUCH A MANNER AS TO REDUCE GLEARE ON ADJACENT PROPERTIES IN ACCORDANCE WITH THE STANDARDS SET FORTH IN ARTICLE 14 OF THE ZONING ORDINANCE.
 - IT IS CURRENTLY ANTICIPATED THAT, SUBJECT TO MARKET CONDITIONS, CONSTRUCTION OF THE PROPOSED PHARMACY AND SHOPPING CENTER BUILDINGS WILL COMMENCE AS SOON AS ALL REQUISITE PLANS AND PERMITS ARE APPROVED AND THEY WILL BE CONSTRUCTED IN ONE CONTINUOUS PHASE.
 - THE EXACT LOCATION, SHAPE, AND SIZE OF THE BUILDING FOOTPRINTS SHOWN ON THE GRAPHIC ARE PRELIMINARY AND SCHEMATIC AND ARE NOT TO BE CONSIDERED FINAL. THEY ARE SUBJECT TO ADJUSTMENT AND REFINEMENT WITH FINAL ENGINEERING AND ARCHITECTURAL DESIGN SO LONG AS THEY REMAIN IN SUBSTANTIAL CONFORMANCE WITH THE REPRESENTATIONS ON THE GRAPHIC. THE TOTAL GROSS FLOOR AREA AND BUILDING HEIGHTS ARE TO BE CONSIDERED MAXIMUMS. THE OPEN SPACE REPRESENTED ON THE GRAPHIC AND THE DIMENSIONS TO THE PERIPHERAL LOT LINES ARE TO BE CONSIDERED MINIMUMS WITH THE UNDERSTANDING THAT ALL DIMENSIONS SHOWN ON THE GRAPHIC ARE SUBJECT TO MINOR MODIFICATION IN ACCORDANCE WITH THE PROVISIONS SET FORTH IN SECT. 16-403 OF THE ZONING ORDINANCE.
 - THE FLOOR AREA REPRESENTED ON THE GRAPHIC IS GROSS FLOOR AREA AS DEFINED IN THE ZONING ORDINANCE.
 - SCHEMATIC ARCHITECTURAL ELEVATIONS OF THE PROPOSED BUILDINGS ARE INCLUDED IN THE GDP.
 - EXCEPT WHERE NOTED IN THE WAIVERS/MODIFICATIONS REQUESTED SECTION, TO THE BEST OF OUR KNOWLEDGE THE PROPOSED DEVELOPMENT OF THE SUBJECT PROPERTY CONFORMS TO ALL CURRENT APPLICABLE LAND DEVELOPMENT ORDINANCES, REGULATIONS AND ADOPTED STANDARDS.
 - SPECTRUM DEVELOPMENT LLC IS THE CONTRACT PURCHASER OF THE SUBJECT PROPERTY. OWNERSHIP INFORMATION IS LISTED BELOW:
 - 0612-18-0001/0612-18-0002/0612-18-0003/0612-18-0004 OWNED BY CULMORE PROPERTIES LLC
 - 0612-18-0005 OWNED BY PAUL & KIM BYERS
 - 0612-17D-0001/0612-17D-0002 OWNED BY GOVERNMENT EMPLOYEES INSURANCE CO. (GEICO)
 - 0612-17D-0003 OWNED BY MY LEESBURG PIKE LLC
 - 0612-17D-0004/0612-17D-0005 OWNED BY CHRISTOPHER AND CHRISTINA TRAN
 - LEESBURG PIKE CENTERLINE INFORMATION IS AS SHOWN IN FAIRFAX COUNTY PROJECT 4YP201-PB049 (SIGNAL MODIFICATIONS FOR ROUTE 7 WALKWAY, CULMORE SHOPPING CENTER TO CHURCH STREET), ORIGINAL SURVEY BY VOLKERT, LLC, CIRCA 2011. CHARLES STREET AND WASHINGTON DRIVE CENTERLINE INFORMATION PROVIDED BY FIRST ORDER LLC.
 - A TREE PRESERVATION TARGET DEVIATION WILL BE REQUESTED AT SITE PLAN AS EXISTING TREES ON THE SITE WOULD PRECLUDE THE DEVELOPMENT OF THE SITE, AND A MAJORITY OF THE REGULATIONS DOES NOT MEET STANDARDS FOR HEALTH AND STRUCTURAL CONDITION. 10-YEAR CANOPY REQUIREMENTS WILL BE MET BY MEANS OF TREE PLANTING.

- WAIVERS/MODIFICATIONS REQUESTED**
- A MODIFICATION OF THE FRONT YARD SETBACK IS REQUESTED ALONG LEESBURG PIKE AND WASHINGTON DRIVE PER THE FAIRFAX COUNTY COMPREHENSIVE PLAN STREETScape GUIDELINES FOR THE BAILEY'S PLANNING DISTRICT, SEVEN CORNERS COMMUNITY BUSINESS CENTER. WAIVER OF THE SERVICE DRIVE REQUIREMENT ALONG ROUTE 7 IS REQUESTED PER THE FAIRFAX COUNTY COMPREHENSIVE PLAN TRANSPORTATION GUIDELINES FOR THE BAILEY'S PLANNING DISTRICT, BAILEY'S CROSSROADS COMMUNITY BUSINESS CENTER.
 - A MODIFICATION OF THE LOT WIDTH REQUIREMENT TO 160 FEET IS REQUESTED DUE TO THE RESERVATION FOR THE REALIGNMENT OF CHARLES STREET AND AS ALLOWED IN THE COMMERCIAL REVITALIZATION DISTRICT ORDINANCE.
 - A WAIVER OF THE TRAIL REQUIREMENT IS REQUESTED ALONG ROUTE 7 DUE TO THE PROVISION OF WIDE WALKWAYS IN ACCORDANCE WITH THE GUIDELINES FOR THE BAILEY'S PLANNING DISTRICT, SEVEN CORNERS COMMUNITY BUSINESS DISTRICT.
 - A LANDSCAPE BUFFER REDUCTION IS REQUESTED AS ALLOWED IN THE ORDINANCE FROM THE REQUIRED 50 FOOT TYPE III TRANSITIONAL SCREENING BUFFER TO A BUFFER RANGING FROM 12 FEET TO 26 FEET, WHICH WILL BE ENHANCED WITH A FOOT BRICK OR ARCHITECTURAL BLOCK WALL AS SHOWN HEREIN. THE WALL WILL BE PLACED TWO TO THREE FEET FROM THE SOUTH PROPERTY LINE TO ENSURE THAT THE MAJORITY OF THE LANDSCAPING IS ON THE COMMERCIAL SIDE AND THUS MAINTENANCE RESPONSIBILITY WILL BE CLEAR AND THE POTENTIAL FOR OFFERING AND LITING ON THE SOUTH SIDE WILL BE MINIMIZED. THE FOOT MASONRY WALL IS MORE EFFECTIVE THAN ADDITIONAL BUFFER WIDTH IN SCREENING THE ADJACENT PROPERTIES. THE WALL OFFSET FROM THE SOUTHERN PROPERTY LINE WILL ALLOW FOR AN INTERMITTENT HEDGEROW ADJACENT TO THE PROPERTY LINE, AND PROVIDE ADDITIONAL BUFFERING FOR THE ADJACENT PROPERTIES. THE SHRUBS ON THE SOUTHERN SIDE OF THE WALL WILL BE IN ADDITION TO THE REQUIRED PLANTINGS FOR THE TRANSITIONAL SCREEN YARD, WHICH WILL BE PROVIDED ON THE COMMERCIAL SIDE OF THE WALL AS SHOWN HEREIN.
 - APPLICATION REQUESTS A MODIFICATION OF THE TYPE "D" BARRIER (42-48" CHAINLINK FENCE) REQUIRED ALONG THE NORTHWEST EDGE OF THE PARCEL. THE APPLICATION PROPOSES A 48" BRICK OR ARCHITECTURAL BLOCK WALL IN LIEU OF THE CHAINLINK FENCE.
 - A 20.0% REDUCTION (MAXIMUM ALLOWED IS 20%) IN PARKING IS REQUESTED AS ALLOWED BY SECT. A7-209.3.A OF THE BAILEY'S CROSSROADS SEVEN CORNERS COMMERCIAL REVITALIZATION DISTRICT REGULATIONS.
 - A MODIFICATION IS BEING REQUESTED FOR A REDUCTION IN THE NUMBER OF REQUIRED LOADING SPACES REQUIRED BY ARTICLE 11 OF THE ZONING ORDINANCE. PER CODE, THREE LOADING SPACES WOULD BE REQUIRED. ONE SHARED LOADING AREA BETWEEN THE BUILDINGS WILL BE PROVIDED AS SHOWN ON THE PLAN.

ZONING TABULATIONS

EXISTING ZONING:	C-2 (LIMITED OFFICE DISTRICT) - 1.89 AC R-3 (RESIDENTIAL, 3 DU/AC) - 0.83 AC
PROPOSED ZONING:	C-6 (COMMUNITY RETAIL / COMMERCIAL DISTRICT)
OVERLAY DISTRICTS:	HIGHWAY OVERLAY DISTRICT SIGN CONTROL DISTRICT BAILEY'S CROSSROADS / SEVEN CORNERS COMMERCIAL REVITALIZATION DISTRICT
SITE AREA	± 118,524 SQ FT (± 2.72 AC)

ZONING TABULATIONS (CONT.)

	REQUIRED (FOR C-6 ZONING)	PROVIDED
MIN LOT AREA	40,000 SQ FT	± 118,524 SQ FT
MIN LOT WIDTH	200 FT	REQUESTED 160 FT MIN SEE MODIFICATION #3
MAX BLDG HEIGHT	40 FT	30 FT
MIN YARD		10 FT ALONG LEESBURG PIKE (PROPOSED R.O.W.) 7 FT ALONG WASHINGTON DRIVE (EXISTING R.O.W.)
FRONT	45 DEGREE ANGLE OF BULK PLANE (NOT LESS THAN 40 FT)	
SIDE	NONE	NONE
REAR	20 FT	± 70 FT
MAX FLOOR AREA RATIO *	0.40	0.22
MAX GROSS FLOOR AREA *	42,046 SQ FT	25,905 SQ FT
OPEN SPACE	15% 17,778 SQ FT	16.0% 19,000 SQ FT
TREE COVER	10%	SEE SHEET 4A
INTERIOR PARKING LOT LANDSCAPING		SEE SHEET 4A

* SITE AREA BASED ON AREA PRIOR TO ANY R.O.W. DEDICATION (± 118,524 SF).
POST-DEDICATION SITE AREA IS ± 103,072 SF.

PARKING TABULATIONS - OVERALL

USE/ RATE	MAX BUILDING SIZE	REQUIRED	PROVIDED
SHOPPING CENTER 4.3 / 1000 SF of GFA	11,625 SQ FT	50 SPACES	
DRIVE-THRU PHARMACY 5 / 1000 SF OF N.F.A. FOR THE FIRST 1000 SF 6 / 1000 FOR ADDITIONAL SQUARE FOOTAGE	14,280 SQ FT	85 SPACES	108 SPACES (INCLUDES 6 HANDICAPPED)
DRIVE-THRU STACKING 5 CARS	N / A	5 CARS	5 CARS
TOTAL PARKING REQUIRED		135 SPACES REQUIRED	
COMMERCIAL REVITALIZATION DISTRICT PARKING REDUCTION REQUESTED (SEE MODIFICATION / WAIVER REQUEST #7)		20.0% REDUCTION REQUESTED (REDUCTION OF 27 SPACES)	
TOTAL PARKING REQUIRED AFTER REDUCTION		108 SPACES REQUIRED	
TOTAL PARKING PROVIDED			108 SPACES PROVIDED

Kimley-Horn
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1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	
ADDRESS	DATE	BY	SCALE	DESIGNED BY	DRAWN BY	CHECKED BY	DATE	REVISIONS	NO.	DATE	COMMENTS																
07/03/2014	09/11/2014	11/14/2014	12/17/2014	12/31/2014	01/12/2015	01/20/2015	01/29/2015																				

SPECIAL EXCEPTIONS PLAT
THE SHOPS AT BAILEY'S CROSSROADS
 MASON DISTRICT
 FAIRFAX COUNTY, VIRGINIA

SHEET NUMBER
10 OF 10

PROFFERS
SPECTRUM DEVELOPMENT, LLC
RZ 2014-MA-011

2.51.30.15

Pursuant to Section 15.2-2303(a) of the Code of Virginia, 1950, as amended, the property Owners and Applicant in this Rezoning proffer that the development of the parcels under consideration and shown on the Fairfax County Tax Map as Tax Map Reference Nos. 61-2 ((18)) 0001, 0002, 0003, 0004, 0005, and 61-2 ((17)) (D) 0001, 0003, 0004, 0005 (hereinafter referred to as the “Property”) will be in accordance with the following conditions if, and only if, said rezoning request for the C-6, CRD, H-C and S-C Districts for the Property is granted by the Board of Supervisors of Fairfax County, Virginia (the “Board”). In the event said application request is denied or the Board’s approval is overturned by a court of competent jurisdiction, these proffers shall be null and void. The Owners and the Applicant (the “Applicant”), for themselves, their successors and assigns, agree that these proffers shall be binding on the future development of the Property unless modified, waived or rescinded in the future by the Board, in accordance with applicable County and State statutory procedures.

GENERAL

1. Substantial Conformance. Development of the Property shall be in substantial conformance with the Generalized Development Plan and Special Exception Plat entitled “The Shops at Baileys Crossroads” (~~the “GDP Plan” and “SE Plat”~~), prepared by Kimley-Horn and Associates, Inc., and last dated 1/~~30~~29/15.

2. Minor Modifications. In addition to that described above, pursuant to Paragraph 4 of Section 18-204 of the Zoning Ordinance, minor modifications to the GDP and these proffers may be permitted as determined by the Zoning Administrator.

3. Maximum Intensity. The Applicant reserves the right to construct a lesser amount of Gross Floor Area (“GFA”) from that shown on the GDP provided that the buildings and Property remain in substantial conformance with that shown on the GDP ~~Plan~~ as determined by the Zoning Administrator.

4. Architecture.

A. The final architectural design shall be in substantial conformance with the general type, quality and proportion of materials depicted in the elevations, and sections shown on the GDP ~~Plan and SE Plat~~. The materials on the building façade shall include, without limitation, brick, azek, EIFS and/or Hardie-board siding and shall be graffiti resistant.

B. Rooftop Equipment. Rooftop mechanical equipment will be shielded from view from the nearby public roads using parapet walls and designed not to exceed roof coverage limitations of the Zoning Ordinance. Other screening measures may be used such as including the facilities as part of the architecture of the buildings, utilizing compatible colors.

5. Unifying Elements. All street furniture, including garbage cans, benches and lamp posts, shall be consistent, both in terms of materials and design, throughout the development.

6. Signage.

A. All signage shall comply with Article 12 of the Zoning Ordinance. Pole signs, inflatable signs, pennants and flashing signs shall not be permitted on the Property. All directional and way finding signage shall be consistent, both in terms of materials and design, throughout the development. No signs on the building fronting Washington Drive shall be mounted on the South façade. Any building mounted signs which face south shall not be internally lit with translucent panels. The monument sign shall be limited in height to six (6)

feet. Notwithstanding any exhibit to the contrary, the monument sign shall be placed in the pedestrian plaza area as shown on Sheet 3 of the GDP. There shall not be any lit signs in storefront windows. No temporary A-frame type signs or live individuals holding signs shall be used at the Property.

B. A metal plaque shall be installed and displayed in the vicinity of the Leesburg Pike frontage of the Property and be visible to pedestrians walking along Leesburg Pike. The plaque shall have a summary of a significant historic happening in the Baileys Crossroads area. The language on the plaque shall be shared with the Supervisor's office and Baileys Crossroads/Seven Corners Revitalization Corporation for their comment prior to installation.

7. Charles Street Right of Way. The area shown on the GDP which is labeled "Proposed Right of Way Dedication" shall be dedicated, in fee simple, as public Right Of Way to Fairfax County Board of Supervisors at no cost upon site plan approval of the project. The Applicant shall reserve a license, or the County shall grant a license, that allows the Applicant to maintain and landscape the said area until it is used for the road realignment.

8. Leesburg Pike Right of Way and Turn Lane Extension. The area shown on the GDP which is labelled "Proposed Right of Way Dedication" shall be dedicated, in fee simple, to Fairfax County Board of Supervisors at no cost upon site plan approval of the Project. If approved by the Virginia Department of Highways and Transportation ("VDOT") and the Fairfax County Department of Transportation ("DOT"), the eastbound right turn lane shall be extended from its current terminus eastward to Washington Drive. Curb and Gutter shall be installed along the entire Leesburg Pike frontage. Pavers or other equivalent material shall be used in the Leesburg Pike sidewalk as shown on the GDP subject to VDOT approval.

The Applicant shall enter into a maintenance agreement with VDOT for the maintenance or replacement, in-kind, by the Applicant, of streetscape elements, installed by the Applicant, that are located in the public right-of-way, excluding vegetation removed by the County and/or VDOT.

Sidewalks for the development shall connect to the County’s walkway project on Leesburg Pike.

9. Charles Street Improvements. A northbound right turn lane shall be provided along Charles Street at Leesburg Pike in accordance with VDOT requirements.

10. Washington Drive Improvements. The existing pavement on Washington Drive at Leesburg pike shall be restriped to allow an additional northbound right turn lane, in accordance with VDOT requirements.

11. Green Building Practices. Prior to the issuance of a building permit for each of the three buildings (individually a “Building”), the Applicant will post a “green building escrow,” in the form of cash or a letter of credit from a financial institution acceptable to DPWES as defined in the Public Facilities Manual, in the amounts as set forth below. The escrow will be divided among the three buildings as follows:

- Pharmacy \$80,000.00
- Retail building fronting Route 7 \$25,000.00
- Retail building fronting Washington Drive \$10,000.00

This escrow will be in addition to and separate from other bond requirements and will be released upon demonstration of attainment of certification, by the U.S. Green Building Council, for each building, under the most current version of the U.S. Green Building Council’s (“USGBC”) Leadership in Energy and Environmental Design – New Construction (“LEED®-

NC”) rating system or other LEED® rating system determined, by the USGBC, to be applicable to the Building. The provision to the Environment and Development Review Branch of DPZ of documentation of the USGBC preliminary review of the design oriented credits that along with the anticipated construction credits will be sufficient to support the attainment of LEED® certified, or documentation from the USGBC that the Building has attained LEED® certification will be sufficient to satisfy this commitment. If the Applicant fails to provide documentation to the Environment and Development Review Branch of DPZ demonstrating attainment of LEED® certification within two years of issuance of the final non-RUP for each of the Buildings, the escrow for the non-complying building or buildings will be released to Fairfax County and will be posted to a fund within the county budget supporting implementation of county environmental initiatives.

If the Applicant provides to the Environment and Development Review Branch of DPZ, within two years of issuance of the final non-RUP for each of the buildings, documentation demonstrating that LEED® certified status for any Building has not been attained but that the Building has been determined by the USGBC to fall within three points of attainment of LEED® certified status, 50% of the escrow will be released to the Applicant; the other 50% will be released to Fairfax County and will be posted to a fund within the county budget supporting implementation of county environmental initiatives.

If the Applicant fails to provide, within two years of issuance of the final non-RUP for any building, documentation to the Environment and Development Review Branch of DPZ demonstrating attainment of LEED® certified status or demonstrating that the Building has fallen short of certification by three points or less, after sufficient written notice to the Applicant, the entirety of the escrow for the Building will be released to Fairfax County and will be posted

to a fund within the county budget supporting implementation of county environmental initiatives.

If the Applicant provides documentation from the USGBC demonstrating, to the satisfaction of the Environment and Development Review Branch of DPZ, that USGBC completion of the review of the LEED® certified application has been delayed through no fault of the Applicant, the Applicant's contractors or subcontractors, the time frame may be extended as determined appropriate by the Zoning Administrator, and no release of escrowed funds shall be made to the Applicant or to the County during the extension.

The Applicant will include, as part of the site plan submission for each Building, a statement certifying that a LEED®-accredited professional who is also a professional engineer or licensed architect is a member of the design team, and that the LEED®-accredited professional is working with the team to incorporate sustainable design elements and innovative technologies into the Building with a goal of having the Building attain LEED® certified status.

The Applicant will include, as part of the site plan submission and building plan submission for the Building, a list of specific LEED® credits that the Applicant intends to pursue.

Prior to site plan approval for the Building, the Applicant will designate the Chief of the Environment and Development Review Branch of DPZ as a team member in the USGBC's LEED® online system. This team member will have privileges to review the project status and monitor the progress of all documents submitted by the project team, but will not be assigned responsibility for any LEED® credits and will not be provided within the authority to modify any documentation or paperwork.

12. Stormwater Management.

A. Stormwater Management (“SWM”) Facilities. Subject to review and approval by the Department of Public Works and Environmental Services (DPWES), stormwater management and Best Management Practices (BMP) measures for the Property shall be provided through the use of an underground stormwater detention facility and a bioretention area, as shown on the GDP. Other innovative BMP measures such as, but not limited to biofiltration swales or pervious pavers may be substituted as determined by the Applicant and approved by DPWES. Any innovative BMP measures shall be maintained by the Applicant, in accordance with the procedures as determined by DPWES.

13. Landscaping.

A. Landscaping and Landscaped Open Space. The site plan submitted for the development shall include a landscape plan consistent with that on Sheet 4 of the GDP. The Applicant shall maintain the proposed landscaping as shown on the GDP and any diseased or dead trees shall be replanted at the next spring or fall planting season. All new deciduous trees provided as shown on such landscape plan, shall be a minimum of 2 to 2.5 inches in caliper at the time of planting. All new evergreen trees used in peripheral screening and landscaping areas and public spaces shall be a minimum of six feet (6’) in height at the time of planting. Such landscape plan shall be provided in substantial conformance with the landscaping concepts shown on the GDP ~~and SE~~ as determined and approved by the Urban Forest Management Division (“UFMD”).

B. Additional Landscaping. In the triangular area that is being dedicated for the realignment of Charles Street and being maintained by the Applicant, additional landscaping consisting of low ground barriers, supplemental ground cover, attractive paving, such as pavers

or an equivalent material, and/or street furniture shall be installed to protect vegetation and landscaping in that area from damage caused by pedestrian traffic.

BC. Landscape Pre-Inspection Meeting. Prior to installation of plants to meet requirements of the approved landscape plan, the Contractor/Developer shall coordinate a pre-installation meeting on site with the landscape contractor and a representative of the County Urban Forest Management Division (UFMD). Any proposed changes to the location of planting, size of trees/shrubs, and any proposed plant substitutions for species specified on the approved plan shall be reviewed at this time and must be approved prior to planting. The installation of plants not specified on the approved plan, and not previously approved by UFMD, may require submission of a revision to the landscape plan or removal and replacement with approved material. Field location of planting material, when required by the approved plan, shall be reviewed at the pre-installation meeting. The Landscape Contractor shall stake proposed individual planting locations in consultation with the Contractor/Developer prior to the pre-installation meeting, for review by UFMD staff. Stakes shall be adjusted, as needed, during the course of the meeting as determined by UFMD staff based on discussion with the Contractor/Developer and the Landscape Contractor.

CD. Tree Replacement. The contractor/developer shall install a minimum of six (6) new *Ilex opaca* (American Holly), or other similar species approved by the Urban Forester, at 10-foot size as part of the overall plantings in the transitional screening buffer adjacent to the southern property line. The final location and cultivar selection shall be subject to the approval of the UFMD.

DE. Native Species Landscaping. All landscaping provided shall be native or regionally adapted to the middle Atlantic region to the extent feasible and non-invasive as

determined by the Mid-Atlantic Exotic Pest Plant Council Plant List or Virginia DCR. In addition, the quality and quantity of landscaping provided shall be in substantial conformance with the GDP/~~SE Plat~~.

14. Location of Utilities. Along all existing and proposed public rights-of-way, utility lines shall be generally located so as not to interfere with the landscaping concepts shown on the GDP ~~and SE~~. The Applicant reserves the right to make minor modifications to relocate such landscaping to reasonably accommodate utilities lines and Virginia Department of Transportation (VDOT) sight distances provided such relocated landscaping shall retain a generally equivalent number of plantings and continues to reflect the concepts illustrated on the GDP ~~and SE~~ and shall conform to the tree canopy calculations specified in the Fairfax County Public Facilities Manual (PFM). Any tree or shrub determined to impact utilities lines and sight distance shall be replaced with an appropriate size or relocated elsewhere on the site with equal size and quality, as determined by UFMD. For all other areas of the Property, in the event that, during the process of site plan review any landscaping shown on the GDP ~~and SE~~ cannot be installed in order to locate utility lines, as determined by DPWES, then an area of additional landscaping consistent of equivalent flora generally consistent with that displaced shall be substituted at an alternate location on the Property, subject to approval by UFMD. The Applicant shall not place utility vaults under sidewalk and bicycle facilities designated for dedication for public use.

MISCELLANEOUS PROFFERS

15. Trash.

A. Trash. All outdoor trash receptacles shall conform to the standards set forth in the Public Facilities Manual for the screening of such receptacles. The Applicant shall: (a) provide

trash cans in the general vicinity of any outdoor seating and patio area; (b) provide for the removal of trash bi-weekly from this area, if any; and (c) generally clean and clear any outdoor seating and patio area of trash daily. The Applicant shall arrange for any site clean-up ~~to occur~~ by mechanical equipment to occur; no earlier than 7 a.m. and no later than 9 p.m. Trash removal by emptying the dumpsters shall take place twice a week and shall occur between the hours of 8:00 a.m. and 6:00 p.m., Monday through Saturday. Trash pickup shall occur more often if necessary.

B. A screening wall shall be installed to screen any dumpsters placed on the Property which shall be constructed of masonry materials that match those used on the buildings. Doors shall remain closed except during the times that trash is being removed.

16. Food Odor. The Applicant shall not allow the discharge of air contaminants/objectionable odors generated by the restaurants, if any, or their solid waste. For any restaurant located on the Property, the Applicant shall employ, but not be limited to, the following control measures:

A. All putrescible material as defined by the Fairfax County Code Section 109-1-1-2, shall be stored in sealed containers and shall be disposed in a container(s) reserved exclusively for use by the restaurant(s). Such putrescible material shall not be shredded or unsealed.

B. All putrescible materials shall be removed from the subject property by a commercial refuse hauler as needed, Monday through Saturday. These standards shall be in addition to any other performance standards, regulations, ordinances, or restrictions promulgated by the County.

17. Parking Enforcement.

A. The Applicant shall prohibit parking of vehicles by people not visiting the shopping center and shall provide signage to alert the public of the restricted parking in accordance with applicable law. The Applicant shall maintain a contract with a towing service and have parked vehicles which are in violation towed from the Property at the violator's expense.

18. The Applicant shall provide bicycle racks as shown on the GDP. The total number of bike parking/storage spaces and design of the bike racks shall be consistent with the Fairfax County Policy and Guidelines for Bicycle Parking, as determined at site plan.

19. Outdoor Construction. Outdoor construction of the improvements on the Property shown on the GDP shall take place only during the hours from 7:00 a.m. to 9:00 p.m. Monday through Friday and from 8:00 a.m. to 6:00 p.m. on Saturday. There shall be no outdoor construction activity taking place on Sunday. There will be no outdoor construction on New Year's Day, Martin Luther King Jr. Day, Presidents' Day, Memorial Day, the Fourth of July, Labor Day, Thanksgiving and Christmas Day. The permitted hours of construction shall be posted on-site in both English and Spanish. There shall be no parking of construction vehicles on Charles Street or Washington Drive.

20. Construction Vehicles. During initial construction, and any subsequent major construction activity, all construction vehicles and construction material vehicles shall utilize ingress and egress to the site via Route 7. No construction vehicles shall utilize Washington Drive or Charles Street south of the entrance to the Property for ingress and egress to the site. This direction to the contractors and sub-contractors shall be set forth in the contracts. Deliveries of construction materials shall only occur between 5:00 a.m. through 6:00 p.m., seven (7) days a week.

21. Community Liaison. The Applicant agrees to identify a person(s) who will serve as liaison to the community throughout the duration of construction. This individual shall be available at ~~oversee~~ the construction site during ~~throughout~~ the hours of construction, including weekends, if applicable, upon receiving reasonable notice to be on-site. The name and telephone number of the individual(s) shall be posted at the entrance of the project.

212. Deliveries.

A. Deliveries.—The Applicant shall direct the tenants to require that all deliveries utilize ingress and egress to the site via Route 7. No delivery vehicles shall utilize Washington Drive or Charles Street south of the entrance to the Property for ingress and egress to the site.

On-site deliveries by ~~tractor-trailer (semi-trailer)~~ class 7 or class 8 heaving duty trucks with GVWR greater than 26,000 lbs. shall only occur between 5:00 a.m. through 9:00 a.m., seven (7) days a week. All other deliveries shall only occur between 5:00 a.m. and 9:00 p.m., seven (7) days a week. Trucks making deliveries shall not park on Washington Drive while loading or off loading supplies. Trucks that are parked or standing to make deliveries shall not remain idling. Trucks in excess of 18 feet in length shall use the site loading area and shall not block entrances and/or exits to the Property. Trucks less than 19 feet in length shall use the site loading area or park in a manner that does not block parked vehicles. ~~These~~ directions to the tenants shall be via rules and regulations incorporated into the shopping center leases governing the operation of the shopping center.

B. Cones shall be placed in the parking spots along the east side of the pharmacy building to discourage visitor parking prior to scheduled deliveries to the pharmacy.

~~22. Construction Vehicles. During initial construction, and any subsequent major construction activity, all construction vehicles and construction material vehicles shall utilize ingress and egress to the site via Route 7. No construction vehicles shall utilize Washington Drive or Charles Street south of the entrance to the Property for ingress and egress to the site. This direction to the contractors and sub-contractors shall be set forth in the contracts. On-site deliveries shall only occur between 5:00 a.m. through 9:00 p.m., seven (7) days a week.~~

23. Lights. Full cutoff lighting shall be utilized and light fixtures shall be used that do not let light spill into the residential neighborhood southeast of the property.

24. Barrier Wall. The materials to be used in the rear screening barrier shall be brick as shown in the GDP. Piping or weep holes shall be placed at the bottom of the wall and shall remain unobstructed to allow water to pass through.

~~25. Dumpster Screening Wall. A screening wall shall be installed to screen any dumpsters placed on the Property which shall be constructed of masonry materials that match those used on the buildings. Door shall remain closed except during the times that trash is being removed.~~

265. Donation Boxes. No donation boxes ~~or outdoor vending machines~~ for clothing, books, etc. or outdoor vending machines shall be allowed on the property.

276. Off-Site Landscaping and Paving. The Applicant will reimburse the owner of the property with a street address of 3407 Washington Drive, Falls Church, Virginia, 22041 (the “DeFalco Property”) for certain landscaping and driveway improvements to the DeFalco Property. These improvements may will include extending the fence on their northern boundary and installing screening landscaping or fence in the front of the DeFalco Property and installing a vehicle turn around space to the driveway. The Applicant shall reimburse the owner of the

DeFalco Property up to Ten Thousand Dollars (~~\$310,000.00~~) for the cost of implementing the above described improvements. Said reimbursement shall be made within fifteen days of delivery of paid invoices to the Applicant. Completion of said described improvements shall be no later than ~~August 15~~June 30, 2016, or this obligation shall lapse. Delivery to the County of copies of the paid invoices and checks issued for the payment of the above described work shall be deemed to be sufficient to demonstrate compliance with this proffer. ~~Additionally, if a feasible plan is provided by the DeFalco property owner, the Applicant's paving subcontractor at Applicant's cost will install a paved vehicle turn-about area to allow vehicles to exit the DeFalco driveway traveling forward.~~

287. Bus Shelter. Prior to site plan approval, the Applicant shall pay the County or an entity of their assigns \$5,000.00 to relocate the existing bus shelter on Route 7 frontage in coordination with and for approval by FCDOT. The Applicant shall be responsible for constructing the bus shelter pad on Leesburg Pike frontage for the bus shelter to be relocated back on the frontage after frontage improvement is completed. The construction and the location of the bus shelter pad shall be coordinated with and approved by FCDOT prior to site plan approval. The future bus shelter should have a minimum of 5-ft. landing pad from the curb and an ADA compliant sidewalk connection.

298. Single Beers. The pharmacy or any other retail sales establishment that holds a Virginia ABC license which permits the sale of beer for off-premises consumption shall not sell single cans or bottles of beer.

3029. Financial Institutions. Any financial institutions located on the Property shall be FDIC, SPIC or NCIS approved.

~~301.~~ Pharmacy Facades. The façade along the Leesburg Pike frontage and along the east façade of the pharmacy building shall include display windows with exhibits depicting historic themes that are determined by the pharmacy to comply with copyright requirements. The exhibits shall be shared with the Supervisor’s office and the Baileys Crossroads/Seven Corners Revitalization Corporation for their comment prior to installation. Advertising shall not be placed in any windows along either the Leesburg Pike or eastern frontages of the pharmacy building.

~~321.~~ Additional Right-of-Way. The Applicant shall dedicate additional right-of-way upon demand by the County in the vicinity of the bus stop as shown on the GDP as needed for implementation of a bike lane cycle track project along Leesburg Pike.

~~33.~~ Parking Cones. ~~Cones shall be placed in the parking spots along the east side of the pharmacy building to discourage visitor parking prior to scheduled deliveries to the pharmacy.~~

~~32.~~ Speakers. No outdoor speakers of any kind shall be installed on the Property excepting a building mounted intercom for use at the drive through window and music for the patio seating area on Leesburg Pike.

~~343.~~ Successors and Assigns. These proffers shall bind and inure to the benefit of the Applicant and its successors and assigns. Each reference to “Applicant” in these proffers shall include and be binding upon the Applicant’s successor(s) in interest and/or developer(s) of any portion of the Property.

~~354.~~ Counterparts. These proffers may be executed in one or more counterparts, each of which when so executed shall be deemed an original document and all when taken together shall constitute but one and the same instrument.

[SIGNATURES TO APPEAR ON THE FOLLOWING PAGES]

Applicant:

Spectrum Development, LLC

By: _____

Name: Richard P. Buskell

Title: Managing Member

Owner:

Paul W. Byers

By: Richard P. Buskell, Managing Member of
Spectrum Development, LLC,
as Power of Attorney

Kim S. Byers

By: Richard P. Buskell, Managing Member of
Spectrum Development, LLC,
as Power of Attorney

Owner:

Christopher Tran

By: Richard P. Buskell, Managing Member of
Spectrum Development, LLC,
as Power of Attorney

Christina Tran

By: Richard P. Buskell, Managing Member of
Spectrum Development, LLC,
as Power of Attorney

Owner:

Culmore Properties, LLC

By: Richard P. Buskell, Managing Member of
Spectrum Development, LLC,
as Power of Attorney

Owner:

My Leesburg Pike, LLC

By: Richard P. Buskell, Managing Member of
Spectrum Development, LLC,
as Power of Attorney

Owner:

GEICO

By: Terence Perkins
Assistant Vice President

DEVELOPMENT CONDITIONS

SE 2014-MA-013

February 9, 2015

If it is the intent of the Board of Supervisors to approve SE 2014-MA-013, located at Tax Map 61-2 ((17)) (D) 1, 3, 4 and 5 and 61-2 ((18)) 1, 2, 3, 4 and 5 for a special exception to permit a drive through pharmacy and fast food restaurants within shopping center pursuant to Sect. 4-604 and 9-505 of the Fairfax County Zoning Ordinance, Staff recommends that the Board condition the approval by requiring conformance with the following development conditions:

1. This Special Exception is granted for and runs with the land indicated in this application and is not transferable to other land.
2. This Special Exception is granted only for the purpose(s), structure(s) and/or use(s) indicated on the Special Exception Plat approved with the application, as qualified by these development conditions.
3. This Special Exception is subject to the provisions of Article 17, Site Plans, as may be determined by the Director, Department of Public Works and Environmental Services (DPWES). Any plan submitted pursuant to this special exception shall be in substantial conformance with the approved General Development Plan and Special Exception Plat (GDP/SE Plat) entitled "The Shops at Bailey's Crossroads" prepared by Kimley Horn and Associates, Inc., dated March 31, 2014, as revised through January 29, 2015, consisting of 12 sheets, and these conditions. Minor modifications to the approved Special Exception may be permitted pursuant to Par. 4 of Sect. 9-004 of the Zoning Ordinance.
4. A copy of this Special Exception and the Non-Residential Use Permit (Non-RUP) shall be posted in a conspicuous place on the property of the use and be made available to all departments of the County of Fairfax during the hours of operation of the permitted use.
5. There shall be no idling of any commercial vehicle when loading or unloading and signs stating this restriction shall be conspicuously posted in the loading area.
6. All signage on the property shall conform to Article 12 of the Zoning Ordinance except the following types of signs shall be prohibited: monument signs greater than 6 feet in height, inflatable signs, such as balloons; pennants; signs powered by any mechanical means; ground waver, sail banner, and pole signs. No internally illuminated signs shall be installed on the rear (southwest) sides of the buildings facing residential uses.
7. An information sign shall be posted in the vicinity of the stacking area for the

drive through pharmacy stating the limitations on the use of the window service and/or drive-through lane. Such sign shall not exceed two (2) square feet in area or be located closer than five (5) feet to any lot line.

8. No Special Exception Amendment or Proffered Condition Amendment shall be required in the event that the bus shelter shown on the General Development Plan/SE Plat in the right of way along Leesburg Pike near Washington Drive is moved to another location along the property's Leesburg Pike frontage or away from the property's frontage onto the application property. Any such relocation shall be undertaken in coordination with and subject to approval from FCDOT and shall not reduce the area of the landscaped seating area.

This approval, contingent on the above noted conditions, shall not relieve the applicant from compliance with the provisions of any applicable ordinances, regulations, or adopted standards. The applicant shall be himself responsible for obtaining the required Non-Residential Use Permit through established procedures, and this Special Exception shall not be valid until this has been accomplished.

Pursuant to Section 9-015 of the Zoning Ordinance, this special exception shall automatically expire, without notice, thirty (30) months after the date of approval unless the use has been established or construction has commenced and been diligently prosecuted. If the project is phased, development of the initial phase shall be considered to establish the use for the entire development as shown herein. The Board of Supervisors may grant additional time to establish the use or to commence construction if a written request for additional time is filed with the Zoning Administrator prior to the date of expiration of the special exception. The request must specify the amount of additional time requested, the basis for the amount of time requested and an explanation of why additional time is required.