



**APPLICATION ACCEPTED:** November 13, 2014  
**PLANNING COMMISSION:** April 16, 2015  
**BOARD OF SUPERVISORS:** Not yet scheduled

# County of Fairfax, Virginia

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**March 31, 2015**

## **STAFF REPORT**

**APPLICATION SE 2014-MV-071**

**MOUNT VERNON DISTRICT**



<b>APPLICANTS:</b>	Barry Maglaughlin / Catherine Powell
<b>ZONING:</b>	R-3 (Residential, 3 du/ac)
<b>PARCEL:</b>	93-2 ((8)) (10) 12
<b>SITE AREA:</b>	8,750 square feet
<b>PLAN MAP:</b>	Residential, 2 – 3 dwelling units per acre (du/ac)
<b>SE CATEGORY:</b>	Category 6 – Uses in a Floodplain
<b>PROPOSAL:</b>	To permit construction of an addition to a single family detached dwelling within the 100-year floodplain

### **STAFF RECOMMENDATIONS:**

Staff recommends approval of SE 2014-MV-071, subject to the proposed development conditions contained in Appendix 1.

It should be noted that it is not the intent of the staff to recommend that the Board, in adopting any conditions proffered by the owner, relieve the applicant/owner from compliance with the provisions of any applicable ordinances, regulations, or adopted standards.

The approval of this application does not interfere with, abrogate or annul any easements, covenants, or other agreements between parties, as they may apply to the property subject to this application.

Carmen Bishop, AICP

It should be noted that the content of this report reflects the analysis and recommendation of staff; it does not reflect the position of the Board of Supervisors.

For information, contact the Zoning Evaluation Division, Department of Planning and Zoning, 12055 Government Center Parkway, Suite 801, Fairfax, Virginia 22035-5505, (703) 324-1290.



Americans with Disabilities Act (ADA): Reasonable accommodation is available upon 48 hours advance notice. For additional information on ADA call (703) 324-1334 or TTY 711 (Virginia Relay Center).

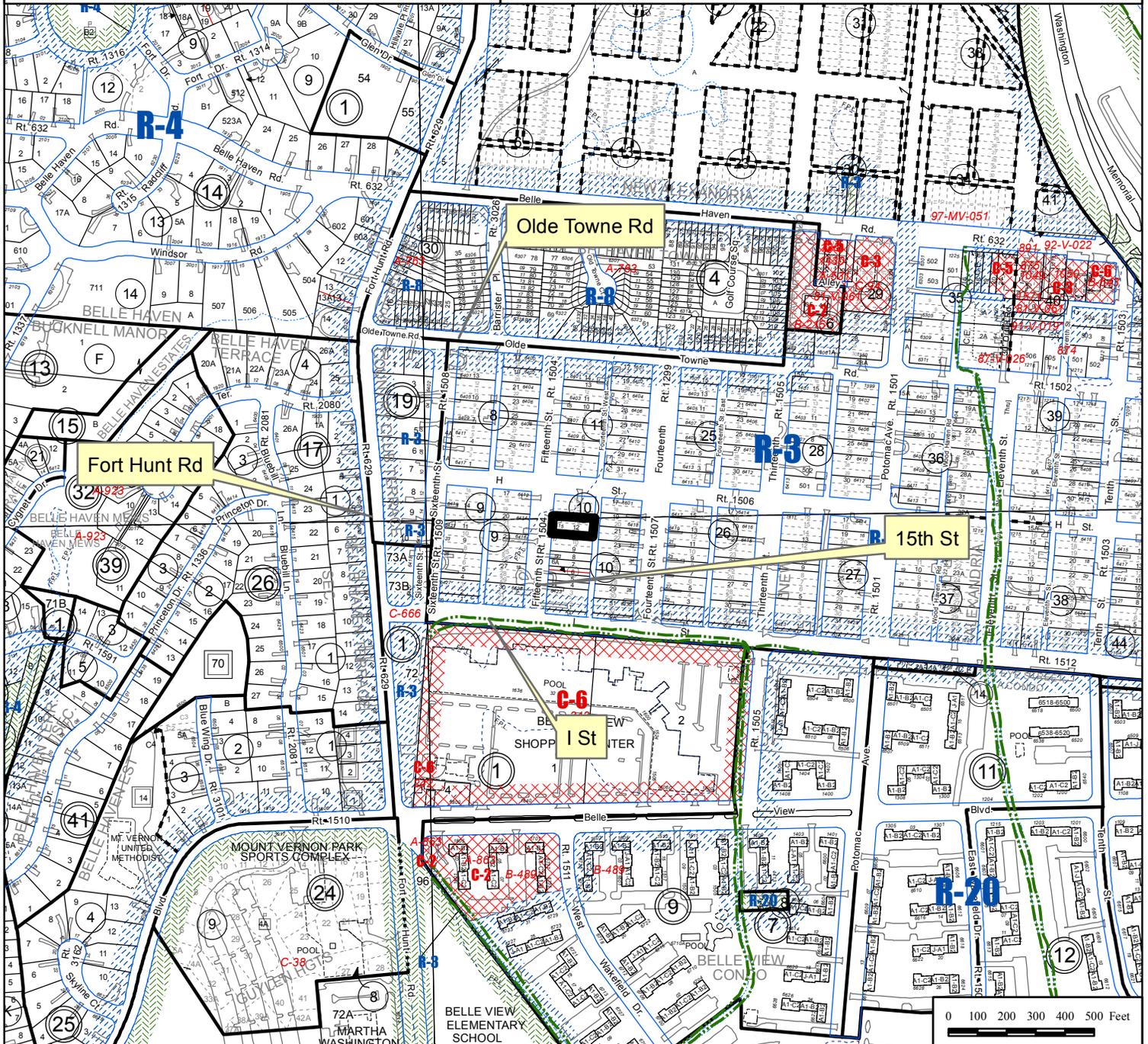
# Special Exception

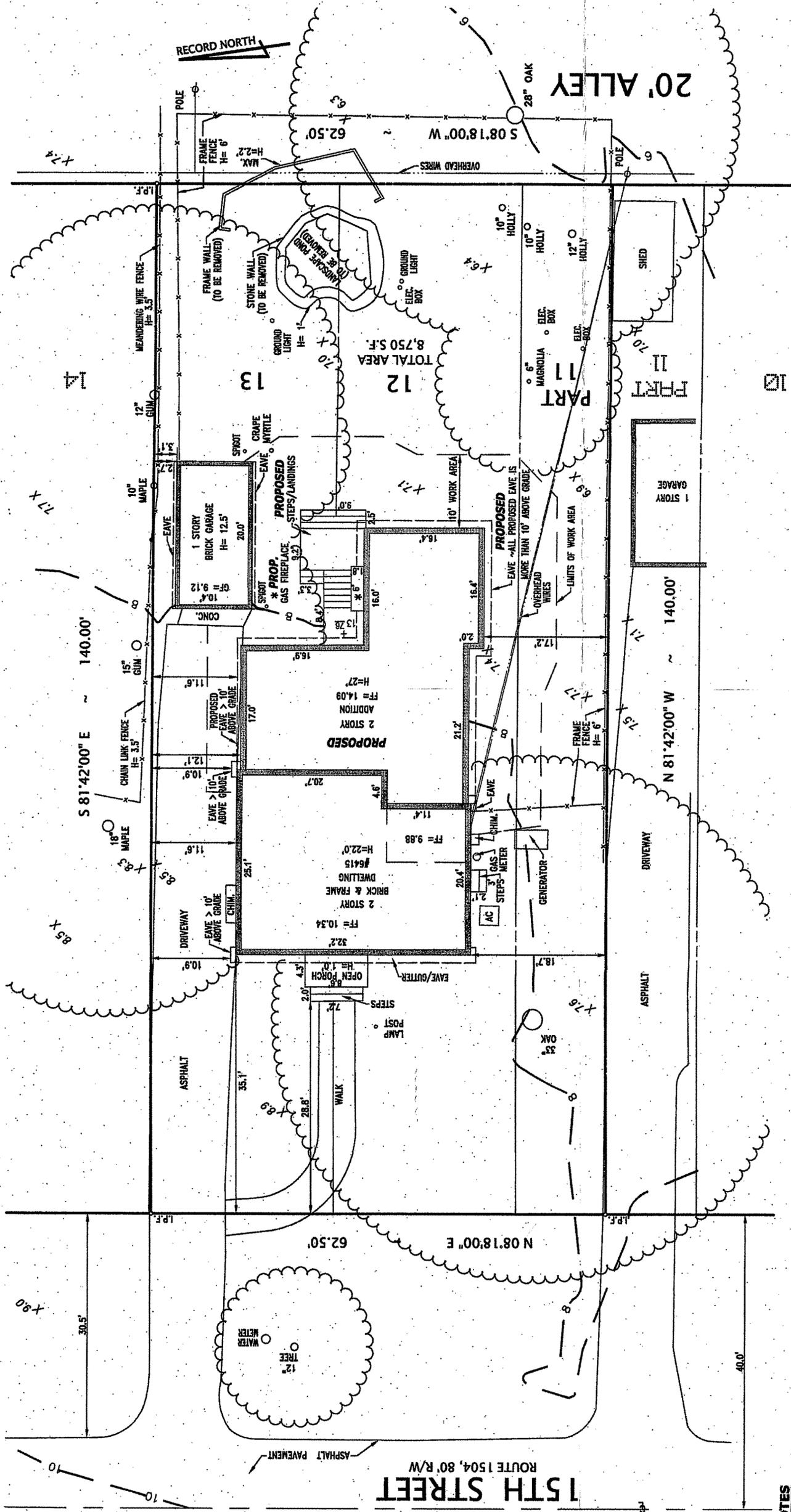
SE 2014-MV-071



Applicant: BARRY MAGLAUGHLIN / CATHERINE POWELL  
Accepted: 11/13/2014  
Proposed: PROVISIONS FOR USES IN A FLOODPLAIN  
Area: 8750 SF OF LAND; DISTRICT - MOUNT VERNON

Zoning Dist Sect: 02-0904  
Located: 6415 15TH STREET, ALEXANDRIA, VA 22307  
Zoning: R-3  
Plan Area: 4,  
Overlay Dist:  
Map Ref Num: 093-2- /08/10/0012





**NOTES**

- TAX MAP: 0932 08100012 ZONE: R-3 USE: RESIDENTIAL
- PROPERTY SERVED BY PUBLIC WATER AND SEWER.
- NO UTILITY EASEMENTS 25 FEET WIDE OR GREATER WERE FOUND ON THIS PROPERTY.
- THIS LOT IS COMPLETELY LOCATED IN A RESOURCE PROTECTION AREA (RPA) NO CONSTRUCTION SHALL TAKE PLACE IN THE RPA WITHOUT PROPER PERMITS ASSOCIATED WITH THE CHESAPEAKE BAY PRESERVATION ORDINANCE.
- THIS LOT IS LOCATED COMPLETELY WITHIN A 100-YEAR FLOOD-PLAIN (BASE FLOOD ELEVATION 11.0). FLOODPLAIN INFORMATION PER FEMA MAP 515525 0320 E, DATED 09/17/2010.
- NO GRAVE SITES OR BURIAL GROUNDS WERE FOUND ON THIS PROPERTY.
- MINIMUM YARDS REQUIRED:  
FRONT 30 FEET  
SIDE 12 FEET  
REAR 25 FEET
- APPROXIMATE FLOOR AREAS:  
DWELLING 1,500 SQUARE FEET  
PROPOSED ADDITION 1,690 SQUARE FEET  
SHED 208 SQUARE FEET  
FAR: EXISTING .20 PROPOSED .39
- THE DWELLING WAS CONSTRUCTED IN 1939.
- IMPROVEMENTS SHOWN ON THIS PLAN ARE EXISTING UNLESS NOTED.
- TREES 5" DIAMETER AND GREATER ARE SHOWN. TWO SMALLER HOLLY TREES IN THE AREA OF THE ADDITION ARE TO BE REMOVED.
- FOOTPRINT AREA OF PROPOSED ADDITION: 845 SQUARE FEET. ADDITION FOOTPRINT INCLUDING CHIMNEY AND STEPS: 980 SQ. FT. CALCULATED LAND DISTURBANCE FOR ADDITION FOOTPRINT AND ADJACENT 10 FOOT WORK AREA: 2,065 SQUARE FEET.
- TOPOGRAPHY SHOWN BY FIELD RUN SURVEY. VERTICAL DATUM NGVD29. X 7.0 DENOTES EXISTING SPOT ELEVATION.
- THERE IS NO TRAIL REQUIREMENT ALONG THE FRONT OF THIS LOT (PER F.X. CO. MAP).
- THERE ARE NO STORMWATER MANAGEMENT FACILITIES ASSOCIATED WITH THIS PLAN.
- THE EXISTING STOOP, STEPS, WALK, AND PATIO IN THE AREA OF THE PROPOSED ADDITION ARE TO BE REMOVED.
- NO UPSTREAM OR DOWNSTREAM EROSION PROBLEMS OR INCREASED FLOODING PROBLEMS ARE GENERATED DUE TO THE PROPOSED DEVELOPMENT ON THIS SITE.
- THE PROPOSED USE OF THIS STRUCTURE IS RESIDENTIAL.
- THERE IS NO PROPOSED FILL WITH THIS PROJECT.
- THERE ARE NO KNOWN ADDITIONAL FEDERAL AND/OR STATE PERMITS REQUIRED.

20. THE APPLICANT SHALL PROVIDE A STATEMENT THAT ALL FLOODPROOFING PROPOSED COMPLIES WITH COUNTY, STATE, AND FEDERAL REQUIREMENTS. THE CERTIFYING PROFESSIONAL SHALL BE SIGNED AND INDICATE THE ADDRESS OF THE CERTIFYING PROFESSIONAL. IT SHALL COVER ALL STRUCTURAL, MECHANICAL, PLUMBING, WATER AND SANITARY FACILITIES CONNECTED WITH THE USE.

21. THE OWNER, APPLICANT ARE AWARE THAT FLOOD INSURANCE MAY BE REQUIRED BY A LENDING INSTITUTION AND THAT FLOOD INSURANCE RISK MAY INCREASE BECAUSE OF INCREASES IN RISKS TO LIFE AND PROPERTY.

**OWNER / APPLICANT ACKNOWLEDGMENT**

I (WE) HAVE READ THE FOREGOING NOTES 20 AND 21 AND AGREE TO THESE CONDITIONS.

NAME: Catherine [Signature] DATE: Nov 8 2014

NAME: Barry Maglaughlin DATE: Nov 8 2014

**SPECIAL EXCEPTION PLAT**  
PART OF LOT 11, LOT 12 AND LOT 13  
BLOCK 10

**NEW ALEXANDRIA**  
FAIRFAX COUNTY, VIRGINIA  
SCALE: 1" = 10'

RECEIVED  
Department of Planning & Zoning  
NOV 10 2014  
Zoning Evaluation Division

10/23/2014 REVISED PER COMMENTS

THE POSITION OF THE EXISTING IMPROVEMENTS HAS BEEN ESTABLISHED BY A CURRENT ON SITE INSTRUMENT SURVEY.



**ALTEIRA SURVEYS, INC.**  
11350 RANDOM HILLS ROAD #430  
FAIRFAX, VIRGINIA 22030  
TEL. NO. 703-520-1558  
FAX NO. 703-995-4800  
INFO@ALTERRASURVEYS.COM

REQUESTED BY:  
BARRY MAGLAUGHLIN

## DESCRIPTION OF THE APPLICATION

The applicants request approval of a Special Exception (SE) for uses in a floodplain to allow construction of an addition to the rear of an existing single family detached dwelling. Sect. 2-903 (8) (A) of the Zoning Ordinance requires SE approval for construction within the floodplain of an addition to a single family dwelling constructed prior to August 14, 1978, if the estimated cost of the addition is more than 50 percent of the market value of the existing structure, as determined by the Department of Tax Administration. The estimated cost of the proposed addition exceeds 50 percent of the market value of the existing structure, thus requiring the subject application.

No fill is proposed to be used as part of the construction of the addition. The finished floor of the proposed addition will be elevated to 14.09 feet above sea level, and the crawl space will be designed to allow floodwaters to enter through doors and vents. The application does not include any requested waivers or modifications.

A reduced copy of the Special Exception Plat is included at the beginning of this staff report. Copies of the proposed development conditions, the applicants' statement of justification, and the affidavit are included in Appendices 1, 2 and 3, respectively.

## LOCATION AND CHARACTER

The 8,750-square foot subject property is located at 6415 Fifteenth Street in the New Alexandria subdivision. The property is zoned R-3 and is surrounded by other properties zoned R-3 and developed with single family detached dwellings. The property is located entirely within the floodplain and Resource Protection Area (RPA) and contains an existing single family dwelling and a detached garage. The parcel configuration, street network, relationship to surrounding uses and the approximate location of the 100-year floodplain are shown in Figure 1 below.



Staff photograph of existing dwelling, Dec. 2014

## BACKGROUND

The two-story brick dwelling was constructed in 1939, and the applicants purchased the property in 2008. The property is not subject to any proffers, special exceptions, special permits or variances. Various other special exception applications for uses in the floodplain have been submitted in the New Alexandria area; however, only two are located in the immediate vicinity of the subject property, as shown in Figure 1 below. A

summary of similar case history for the surrounding area is included in Appendix 4.

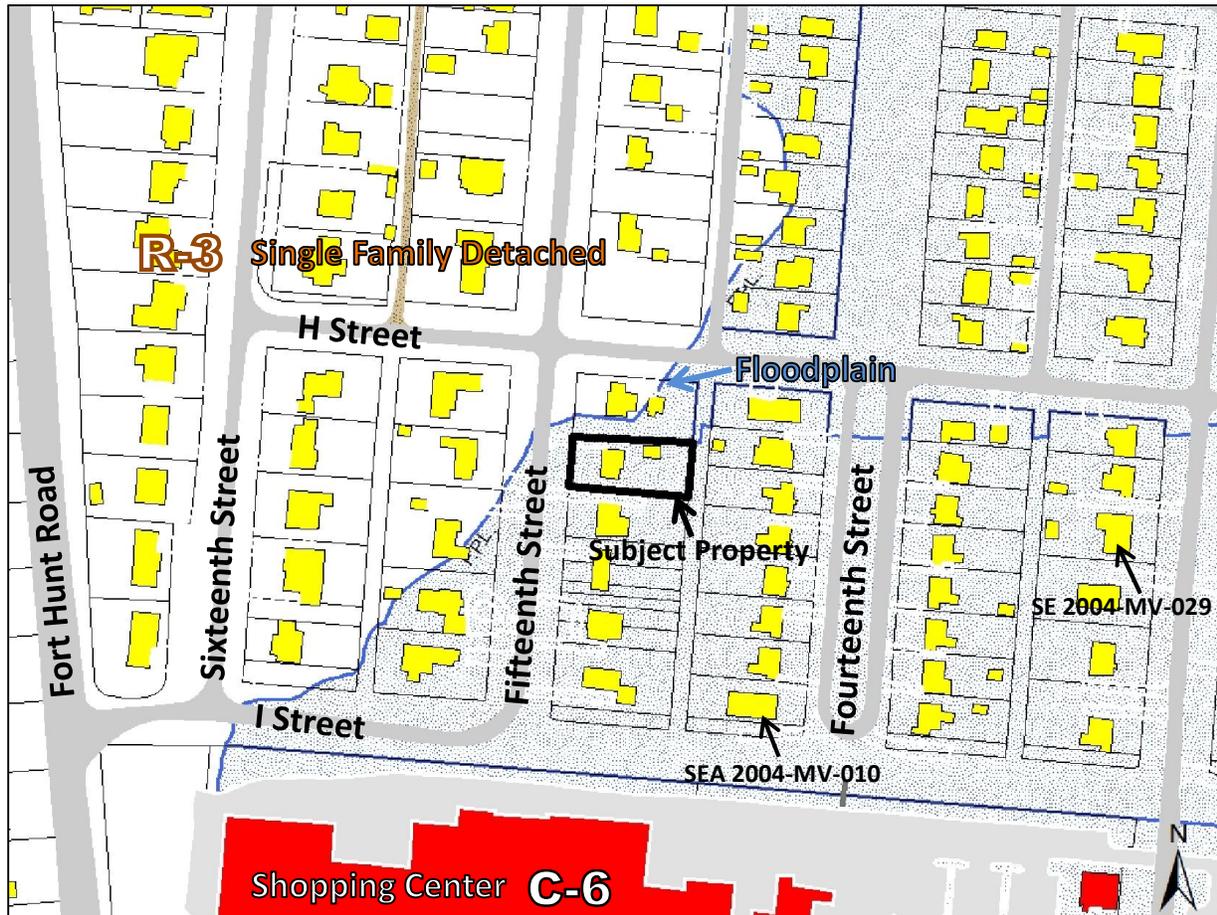


Figure 1: Source Fairfax County GIS with added annotations

## COMPREHENSIVE PLAN PROVISIONS

The subject property is located in the Belle Haven Community Planning Sector (MV3) within the Mount Vernon Planning District, Area IV. The Plan Map designates the property for residential uses at a density of two to three dwelling units per acre.

## DESCRIPTION OF THE SPECIAL EXCEPTION PLAT

The SE Plat titled “Special Exception Plat Part of Lot 11, Lot 12 and Lot 13 Block 10 New Alexandria” was prepared by Alterra Surveys, Inc., and consists of one sheet dated March 9, 2014, as revised through October 23, 2014.

The plat depicts the existing improvements to the property, which include a two-story dwelling of approximately 1,500 square feet, an asphalt driveway, a brick walkway to

the front porch, a detached one-story brick garage located to the rear of the dwelling, a generator and several trees. The removal of the landscape pond and frame wall as noted on the plat had been completed when the site visit was conducted in December 2014. Overhead wires are shown extending from the southern side of the dwelling to a pole near the southeast corner of the property. A 6-foot tall wood fence surrounds the rear yard. A 20-foot alley is defined to the rear of the property. This is a "paper street" and has not been developed for access purposes. Since there are no plans for development of the alley, the property line along the alley has been interpreted by the Zoning Administration Division to be the rear lot line.

The plat also depicts the proposed improvements to the property, which include a two-story addition to the rear of the existing dwelling consisting of approximately 1,690 square feet, as well as steps with a landing to the rear yard. The area of the proposed addition presently contains a concrete patio, a brick walkway to steps to a rear entrance, a mulched planting bed and grass. The first floor of the addition will include living space, a kitchen and a half-bathroom. The second floor of the addition will include a master bedroom suite and a guest bedroom and bathroom. According to the applicants' agent, the new kitchen will serve as the main kitchen and the existing kitchen will function as storage and a secondary kitchen. The Second Kitchen Request has been approved by the Zoning Permit Review Branch, contingent upon approval of this special exception.

The proposed addition is situated to the rear of the existing dwelling, reducing its visibility from the street. The height of the existing dwelling is 22 feet and the height of the proposed addition is 27 feet; however, the form of the proposed roof slopes away from the street, which reduces its visibility. The addition is positioned 17.2 feet from the southern side lot line, and 12.1 feet from the northern side lot line, observing the required 12-foot minimum side yards. The eaves on the north side will extend 6 inches into the minimum required side yard as permitted by Sect. 2-412 (1) of the Zoning Ordinance. The addition is located approximately 46.5 feet from the rear lot line. The applicants have provided architectural drawings and 3-D elevations which are included in Appendix 2.

No fill is proposed to be used. The property is generally flat and slopes gently to the southeast. The base 100-year flood elevation at this site is 11 feet above sea level. The plat shows the finished floor elevation of the existing dwelling as 10.34 feet above sea level, and the finished floor elevation of the proposed addition to be 14.09 feet. The addition will be elevated above a crawl space with doors and vents designed for the purpose of allowing the entry of floodwaters. The doors and vents will be minimally elevated above grade to reduce the entrance of soil and debris into the crawl space. The footprint of the addition comprises 980 square feet, and the total land disturbance, including the 10-foot adjacent work area is 2,065 square feet. In accordance with

Sect. 118-5-5 of the Chesapeake Bay Preservation Ordinance, the RPA exception can be obtained administratively with a walk-through permit for minor additions subsequent to SE approval. The application will also be exempt from stormwater management requirements since the total land disturbance is less than 2,500 square feet.

<b>Standards for R-3 District</b>			
<b>Standard</b>	<b>Required</b>	<b>Provided</b>	
<b>Minimum lot area</b>	10,500 sq. ft.	8,281 sq. ft.	
<b>Minimum lot width</b>	80 feet	62 feet +/-	
<b>Front yard</b>	30 feet	30.8 feet (to existing covered porch)	
<b>Side yard</b>	12 feet	North side 11.6 ft. existing 12.1 ft. addition	South side 18.7 ft. existing 17.2 ft. addition
<b>Rear yard</b>	25 feet	46.5 feet proposed	
<b>Max. building height</b>	35 feet	22 ft. existing; 27 ft. proposed	

As shown in the above table, the proposed addition meets the bulk standards for the R-3 District. The subject property does not conform to the minimum lot area and width requirements. However, pursuant to Sect. 2-405 of the Zoning Ordinance, because the lot that was recorded prior to March 1, 1941, it may be used for a permitted use even though the lot does not meet the minimum lot area or width. Also, the existing dwelling is located 11.6 feet from the north side lot line, which is within the minimum required side yard. However, according to the Department of Tax Administration, the existing dwelling and the detached garage were constructed in 1939, and therefore would be vested. Staff reviewed tax records for the previous 15 years which include the existing dwelling and detached garage, as well as the oldest aerial photograph available for this location, the year 1968, which depicts the dwelling and detached garage in the present locations.

## **ANALYSIS**

### **Use Limitations for Uses in a Floodplain (Sect. 2-905)**

All permitted uses and all special exception uses in a floodplain are subject to the following Zoning Ordinance provisions.

1. *Except as may be permitted by Par. 6 and 7 of Sect. 903 above, any new construction, substantial improvements, or other development, including fill, when combined with all other existing, anticipated and planned development, shall not increase the water surface elevation above the 100-year flood level upstream and downstream, calculated in accordance with the provisions of the Public Facilities Manual.*

This request for an addition to a single family dwelling does not fall within the exceptions permitted by Paragraphs 6 and 7 of Sect. 903, which relate to metrorail, railroad track and roadway crossings, and public and private utility lines and public improvements by the County. The subject property is located within the 100-year Tidal Federal Emergency Management Agency (FEMA) floodplain. The applicants propose to construct a residential addition with a total footprint, including the chimney and steps, of approximately 980 square feet on a lot with 8,750 square feet. The addition will be raised above the flood elevation on a crawl space that permits floodwater to enter through doors and vents. The Site Development and Inspections Division, DPWES, has not identified any concerns with this application related to the water surface elevation upstream or downstream of the site (Appendix 5).

2. *Except as may be permitted by Par. 8 of Sect. 903 above, the lowest elevation of the lowest floor of any proposed dwelling shall be eighteen inches or greater above the water-surface elevation of the 100-year flood level calculated in accordance with the provisions of the Public Facilities Manual.*

Paragraph 8 of Sect. 903 permits accessory structures and additions to single family dwellings constructed prior to August 14, 1978, subject to certain conditions. This application does not meet the condition specified in Paragraph 8.A. which requires the estimated cost to be less than fifty percent of the market value of the existing structure; therefore, this request is not a permitted exception under Paragraph 8. The 100-year flood elevation is at 11 feet above sea level on the subject property. The plat depicts a finished floor elevation of approximately 14.09 feet above sea level for the addition, which will permit the application to meet the 18-inch requirement stated in this standard. The unfinished crawl space is intended to allow the flow of floodwaters and will not be used as living space.

3. *All uses shall be subject to the provisions of Par. 1 of Sect. 602 above.*

Part 1 of Sect. 2-602 states that no building shall be erected on any land and no change shall be made in the existing contours of any land, including any change in the course, width or elevation of any natural or other drainage channel, in any manner that will obstruct, interfere with, or change the drainage of such land, taking into account land development that may take place in the vicinity under the provisions of this Ordinance, without providing adequate drainage in connection therewith as determined by the Director in accordance with the provisions of the Public Facilities Manual (PFM). The application proposes only minor grading and the crawl space will allow the continued flow of floodwaters. A portion of the area proposed for the addition presently contains impervious surfaces, including steps, a walkway and a patio. No concerns regarding stormwater management have been identified.

4. *No structure or substantial improvement to any existing structure shall be allowed unless adequate floodproofing as defined in the Public Facilities Manual is*

*provided.*

All floodproofing of the structure will comply with applicable county, state and federal requirements.

5. *To the extent possible, stable vegetation shall be protected and maintained in the floodplain.*

The Urban Forest Management Division (UFMD) reviewed the application and offered several recommendations (Appendix 6). The UFMD recommended that the two small hollies that will be impacted by the addition be replaced with two 6 to 7-foot tall American holly trees or two other Category II evergreen or deciduous trees, that construction activities not exceed the proposed limits of work area as depicted on the SE Plat, and that, at a minimum, two 8-foot tall evergreens, such as American arborvitae (*Thuja occidentalis* 'Nigra') or Nellie Stevens holly (*Ilex x Nellie Stevens*), be planted along the southern property line and away from the overhead wires to provide screening of the addition from the adjoining property to the south. These trees could reach 30 feet in height at maturity. Proposed conditions have been included to address these recommendations.

6. *There shall be no storage of herbicides, pesticides, or toxic or hazardous substances as set forth in Title 40, Code of Federal Regulations, Parts 116.4 and 261.30 et seq., in a floodplain.*

The applicants have stated that no herbicides, pesticides, or toxic or hazardous substances will be stored within the floodplain, and a proposed condition has been included to this effect.

7. *For uses other than those enumerated in Par. 2 and 3 of Sect. 903 above, the applicant shall demonstrate to the satisfaction of the approving authority the extent to which:*
  - A. *There are no other feasible options available to achieve the proposed use; and,*
  - B. *The proposal is the least disruptive option to the floodplain; and,*
  - C. *The proposal meets the environmental goals and objectives of the adopted comprehensive plan for the subject property.*

Paragraphs 2 and 3 of Sect. 903 relate to agriculture and accessory uses; as a result, this request is not subject to these exceptions. The proposed addition has been designed to minimize impacts to the floodplain with the crawl space design that allows floodwaters to enter through doors and vents. The proposed addition to a single family dwelling meets the standards of Sect. 2-903 of the Zoning Ordinance for a permitted use in the floodplain, with the exception of Paragraph 8.A. regarding the cost of the addition. In staff's opinion, the proposed use meets

the environmental goals and objectives of the comprehensive plan, and is the least disruptive option to the floodplain.

8. *Nothing herein shall be deemed to prohibit the refurbishing, refinishing, repair, reconstruction or other such improvements of the structure for an existing use provided such improvements are done in conformance with the Virginia Uniform Statewide Building Code and Article 15 of this Ordinance.*

The construction will be subject to the building code.

9. *Nothing herein shall be deemed to preclude public uses and public improvements performed by or at the direction of the County.*

No public uses have been proposed for the subject property.

10. *Notwithstanding the minimum yard requirements specified by Sect. 415 above, dwellings and additions thereto proposed for location in a floodplain may be permitted subject to the provisions of this Part and Chapter 118 of The Code.*

This standard permits dwellings and additions that do not comply with the 15-foot setback from the edge of a floodplain as required by Sect. 2-415, subject to the provisions of this Part and Chapter 118 of the Fairfax County Code which is the County's Chesapeake Bay Preservation Ordinance (CBPO). With the proposed development conditions, staff believes that this application conforms to the Zoning Ordinance Floodplain Regulations and the CBPO.

11. *All uses and activities shall be subject to the provisions of Chapter 118 of The Code.*

The Chesapeake Bay Preservation Ordinance defines how Resource Protection Areas are delineated, governs the land use activity that is permitted within them, and provides remedial requirements for unauthorized disturbance of RPAs. The proposed addition can be administratively approved as a minor addition pursuant to Sect. 118-5-5 of the CBPO.

12. *When as-built floor elevations are required by federal regulations or the Virginia Uniform Statewide Building Code for any structure, such elevations shall be submitted to the County on a standard Federal Emergency Management Agency (FEMA) Elevation Certificate upon placement of the lowest floor, including basement and prior to further vertical construction. If a non-residential building is being floodproofed, then a FEMA Floodproofing Certificate shall be completed in addition to the Elevation Certificate. In the case of special exception uses, the Elevation Certificate shall show compliance with the approved special exception elevations.*

Staff has proposed a development condition that would require the applicants to submit to DPWES certified as-built floor elevations prior to approval of the framing inspection on a FEMA Certificate in accordance with minimum federal requirements and the Virginia Uniform Statewide Building Code. Staff believes that the application will satisfy this standard with the adoption of the proposed condition.

13. *The construction of all buildings and structures shall be subject to the requirements of the Virginia Uniform Statewide Building Code.*

The proposed addition would be subject to these requirements.

14. *All recreational vehicles shall:*

- A. *Be on site for fewer than 180 consecutive days;*
- B. *Be fully licensed and ready for highway use; or,*
- C. *Meet the requirements of this Part and the Virginia Uniform Statewide Building Code for anchoring and elevation of manufactured homes.*

If the applicants decide to store recreational vehicles on site, this standard would apply.

15. *All necessary permits shall be received from those governmental agencies from which approval is required by Federal or State law, including Section 404 of the Federal Water Pollution Control Act Amendments of 1972, as amended, 33 U.S.C. § 1334.*

Section 404 of the Federal Water Pollution Control Act (or Clean Water Act) regulates the discharge of dredged or fill material into waters of the States, including wetlands. No wetlands have been identified on the property, no fill is proposed to be used, and the foundation of the addition would be installed at the current grade, with only minor grading to eliminate pooling against the foundation wall. Therefore, staff has not proposed a development condition relative to this standard; however, any special exception approval would not relieve the applicants from complying with all applicable county, state and federal regulations.

16. *If any new construction, substantial improvements, or other development, including fill, when combined with all other existing, anticipated and planned development, results in change in the base flood elevation in any Special Flood Hazard Area (SFHA) depicted on the County's Flood Insurance Rate Map (FIRM), the applicant shall notify the Federal Insurance Administrator of the changes by submitting technical or scientific data to FEMA for a Letter of Map Revision, as soon as practicable but, not later than six (6) months after the date such information becomes available or the placement of fill, whichever comes first. If the projected increase in the base flood elevation is greater than one (1)*

*foot, the applicant shall also obtain approval of a Conditional Letter of Map Revision from the Federal Insurance Administrator prior to the approval of construction.*

The proposed construction does not involve the use of fill or major grading. Furthermore, with the implementation of a crawl space that allows the entrance of floodwaters, no change in the base flood elevation is anticipated.

17. *In riverine situations, adjacent communities and the Virginia Department of Conservation and Recreation shall be notified prior to any alteration or relocation of a watercourse depicted on the FIRM and copies of such notifications shall be submitted to the Federal Insurance Administrator. The flood carrying capacity within the altered or relocated portion of any watercourse shall be maintained.*

Staff does not believe that any watercourses will be altered or relocated as a result of the proposed construction.

In staff's opinion, the applicants' request satisfies all of the Use Limitations for Uses in a Floodplain with the proposed development conditions.

#### **General Special Exception Standards (Sect. 9-006)**

All special exception uses shall satisfy the following general standards:

1. *The proposed use at the specified location shall be in harmony with the adopted comprehensive plan.*

The subject parcel is designated for residential use in the Comprehensive Plan, and the property is developed with a single family detached dwelling built in 1939.

2. *The proposed use shall be in harmony with the general purpose and intent of the applicable zoning district regulations.*

Staff believes that the application is in harmony with the purpose and intent of the R-3 District and the Floodplain Regulations of the Zoning Ordinance. The R-3 District is established to provide for single family detached dwellings and other selected uses which are compatible with the low density residential character of the district. The purpose and intent of the Zoning Ordinance's Floodplain Regulations is to provide for safety from flood and other dangers; to protect against loss of life, health, or property from flood or other dangers; and, to preserve and protect floodplains in as natural a state as possible for the preservation of wildlife habitats, for the maintenance of the natural integrity and function of the streams, for the protection of water quality, and for the promotion of a zone for ground water recharge.

3. *The proposed use shall be such that it will be harmonious with and will not adversely affect the use or development of neighboring properties in accordance with the applicable zoning district regulations and the adopted comprehensive plan. The location, size and height of buildings, structures, walls and fences, and the nature and extent of screening, buffering and landscaping shall be such that the use will not hinder or discourage the appropriate development and use of adjacent or nearby land and/or buildings or impair the value thereof.*

The proposed construction is an addition to the rear of an existing single family detached dwelling that is surrounded by other single family dwellings. As depicted in the architectural drawings and elevations included in Appendix 2, the proposed addition will be minimally observable from the front. The rectangular property will maintain a setback of approximately 46.5 feet from the addition to the rear property line, and an undeveloped 20-foot alley lies between the rear of the subject property and the rear lot line of the properties that front on Fourteenth Street. The existing detached garage located in the northern side yard will somewhat obscure the views from the property to the north. Staff has proposed a development condition for the planting of two evergreens to screen the addition from the property to south. Therefore, staff believes that although the footprint of the addition is larger than the existing dwelling, its location, design and buffering will be such that it will not hinder or discourage the development and use of surrounding properties. As previously discussed, staff does not believe that the proposed construction will adversely affect surrounding properties with regards to stormwater and drainage.

4. *The proposed use shall be such that pedestrian and vehicular traffic associated with such use will not be hazardous or conflict with the existing and anticipated traffic in the neighborhood.*

The proposed addition will not affect pedestrian or vehicular traffic.

5. *In addition to the standards which may be set forth in this Article for a particular category or use, the Board shall require landscaping and screening in accordance with the provisions of Article 13.*

Article 13 does not require landscaping or screening for an addition to a single family detached dwelling; however, to mitigate the views of the proposed addition from the property to the south, staff has proposed a development condition to provide for the planting of two evergreens on the south side of the addition. A condition is also included for the two small American holly trees to be replaced in locations to be determined by the owner. Staff notes that the existing solid wood fence appears to be at ground level, which would impede the surface flow of water. Fences within the RPA are required to be designed so that they do not inhibit or alter the surface flow of water. Also, the SE Plat depicts that a portion of the rear fence is located within the 20-foot alley. Staff has proposed a condition for the fence to be relocated onto the applicants' property and to be

designed to provide a 4 to 6-inch gap between the ground and the bottom of the fence.

6. *Open space shall be provided in an amount equivalent to that specified for the zoning district in which the proposed use is located.*

The Zoning Ordinance does not specify a minimum open space requirement for a parcel within the R-3 District.

7. *Adequate utility, drainage, parking, loading and other necessary facilities to serve the proposed use shall be provided. Parking and loading requirements shall be in accordance with the provisions of Article 11.*

Necessary facilities are in place to serve the existing dwelling. As previously discussed, staff believes that with the proposed development conditions, adequate drainage will be provided.

8. *Signs shall be regulated by the provisions of Article 12; however, the Board may impose more strict requirements for a given use than those set forth in this Ordinance.*

This application does not incorporate any requests related to signs. Any signs would be required to be in accordance with the provisions of Article 12 of the Zoning Ordinance.

In staff's opinion, the applicants' request satisfies all of the General Special Exception Standards with the adoption of the proposed development conditions.

## **CONCLUSIONS AND RECOMMENDATIONS**

### **Staff Conclusions**

The applicants request the approval of a Special Exception to allow construction of an addition to a single family detached residential dwelling within the 100-year floodplain. Staff believes that with the implementation of the proposed development conditions, the proposal is in harmony with the Comprehensive Plan guidelines and in conformance with the applicable Zoning Ordinance provisions.

### **Recommendation**

Staff recommends approval of SE 2014-MV-071, subject to the development conditions contained in Appendix 1.

It should be noted that it is not the intent of staff to recommend that the Board, in adopting any conditions, relieve the applicants/owners from compliance with the provisions of any applicable ordinances, regulations, or adopted standards.

It should be further noted that the content of this report reflects the analysis and recommendation of staff; it does not reflect the position of the Board of Supervisors. The approval of this application does not interfere with, abrogate or annul any easements, covenants, or other agreements between parties, as they may apply to the property subject to this application.

## **APPENDICES**

1. Proposed Development Conditions
2. Applicants' Statement of Justification
3. Affidavit
4. Similar Case History
5. Stormwater Management Analysis
6. Urban Forest Management Analysis
7. Glossary of Terms

**PROPOSED DEVELOPMENT CONDITIONS****SE 2014-MV-071****March 31, 2015**

If it is the intent of the Board of Supervisors to approve SE 2014-MV-071, located at 6415 Fifteenth Street, Tax Map 93-2 ((8)) (10) 12, for uses in a floodplain pursuant to Sect. 2-904 and 9-606 of the Fairfax County Zoning Ordinance, staff recommends that the Board condition the approval by requiring conformance with the following development conditions:

1. This Special Exception is granted for and runs with the land indicated in this application and is not transferable to other land.
2. This Special Exception is granted only for the purpose(s), structure(s) and/or use(s) indicated on the Special Exception Plat approved with the application, as qualified by these development conditions.
3. Any plan submitted pursuant to this Special Exception shall be in substantial conformance with the approved Special Exception Plat titled "Special Exception Plat Part of Lot 11, Lot 12 and Lot 13 Block 10 New Alexandria" prepared by Alterra Surveys, Inc., dated March 9, 2014, as revised through October 23, 2014, and these conditions. Minor modifications to the approved Special Exception may be permitted pursuant to Par. 4 of Sect. 9-004 of the Zoning Ordinance.
4. These conditions shall be recorded by the applicant among the land records of Fairfax County for this lot prior to the issuance of a building permit. A certified copy of the recorded conditions shall be provided to the Zoning Permit Review Branch, Department of Planning and Zoning.
5. Prior to the approval of a building permit for the addition, a Hold Harmless agreement shall be executed with Fairfax County for any adverse effects resulting from the location of the site within a floodplain area.
6. Prior to approval of the final building inspection for the addition, all fencing shall be modified to provide a four to six-inch space between the ground and the bottom of the fence so as to not impede the surface flow of water. In addition, the fencing shall be relocated as necessary onto the subject property.
7. All mechanical, electrical, and utility equipment shall be located at or above the flood level.
8. Prior to approval of the framing inspection, as-built floor elevations shall be submitted on a FEMA Certificate to be filed with the Residential Inspections Division, DPWES, in accordance with minimum federal requirements and the

Virginia Uniform Statewide Building Code in effect at the time the building permit is issued. In addition, at the time of the framing inspection, the applicant shall demonstrate to DPWES that the elevation of the lowest part of the lowest floor of the addition proposed on the property shall be at least 18 inches above the base flood elevation, in accordance with Par. 2 of Sect. 2-905 of the Zoning Ordinance, and the inspection record shall include a signed or initialed statement of concurrence by the inspector.

9. The crawl space shall not be converted to a finished basement or any living space.
10. Permeable/perforated doors and foundation vents to the crawl space shall be provided as shown in attached Sheet F1, titled "Maglaughlin Residence Proposed Addition Project" prepared by Case, dated March 3, 2015, in accordance with the Public Facilities Manual.
11. The proposed limits of the work area as shown on the Special Exception Plat shall be strictly adhered to. The limits of clearing and grading shall be clearly marked and fenced to protect the off-site trees outside those limits. No work activities, stock piles, construction materials or other construction related materials shall be allowed outside the limits of work area. Any encroachment into, and/or disturbance of, the Resource Protection Area (RPA) not shown on the approved Plat will be considered a violation of the Chesapeake Bay Preservation Ordinance (CBPO) and is subject to the penalties of the CBPO Article 9.
12. Erosion and sediment control measures shall be installed at all stages of construction, as determined by DPWES. If deemed necessary by DPWES, controls shall be designed to achieve greater erosion and sediment control than that achieved by the minimum design standards set forth in the Public Facilities Manual and the Virginia Erosion and Sediment Control Handbook.
13. Within twelve months of Special Exception approval, two Category I evergreen trees, such as American arborvitae (*Thuja occidentalis* 'Nigra') or Nellie Stevens' holly (*Ilex* x Nellie Stevens'), shall be planted along the southern property line and away from the overhead wires. The trees shall be eight feet tall at planting.
14. Within twelve months of Special Exception approval, the two existing holly trees that will be removed by the construction will be replaced with two 6 to 7-foot tall American holly trees or two other Category II evergreen or deciduous trees.
15. Any replanting or maintenance of landscaping shall be in accordance with the Chesapeake Bay Preservation Ordinance (Chapter 118 of the Fairfax County Code).
16. There shall be no storage of herbicides, pesticides, or toxic or hazardous substances as set forth in Title 40, Code of Federal Regulations, Parts 116.4 and 261.30 et seq., within the floodplain.

This approval, contingent on the above noted conditions, shall not relieve the applicant from compliance with the provisions of any applicable ordinances, regulations, or adopted standards. The applicant shall be themselves responsible for obtaining the required Residential Use Permit through established procedures, and this Special Exception shall not be valid until this has been accomplished.

Pursuant to Section 9-015 of the Zoning Ordinance, this special exception shall automatically expire, without notice, thirty (30) months after the date of approval unless, at a minimum, the use has been established or construction has commenced and been diligently prosecuted. The Board of Supervisors may grant additional time to establish the use or to commence construction if a written request for additional time is filed with the Zoning Administrator prior to the date of expiration of the special exception. The request must specify the amount of additional time requested, the basis for the amount of time requested and an explanation of why additional time is required.

6415 15th Street Alexandria, VA 22307

Proposed Addition Project

# Maglaughlin Residence

FOUNDATION NOTES

Scale: 1/8" = 1'-0"  
 Sheet: F1  
 15  
 Date: 3/5/15  
 9.20.13 - Measure  
 7.31.14 - Subwalk  
 9.26.14 - Contract

Drawing Log

**CASE**  
 BECAUSE IT'S YOUR HOME

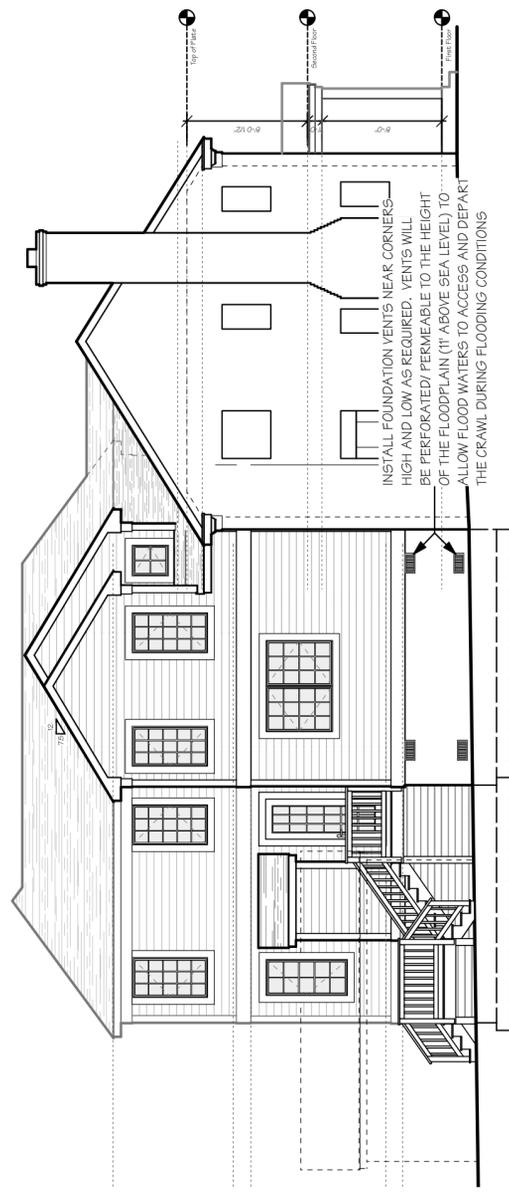
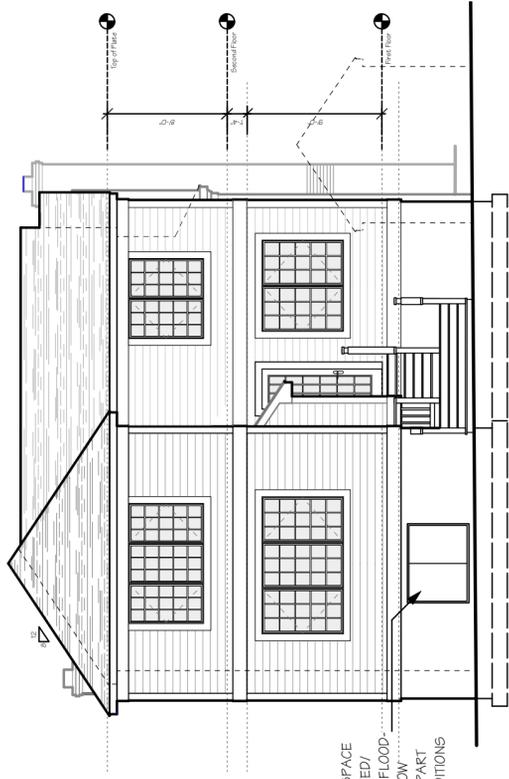
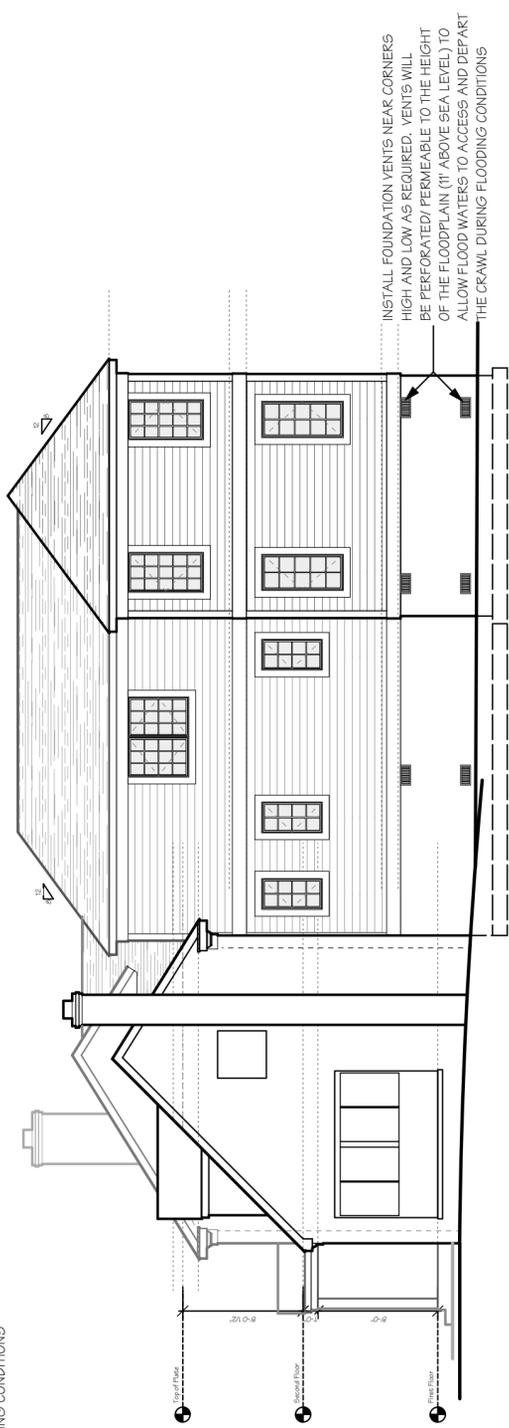
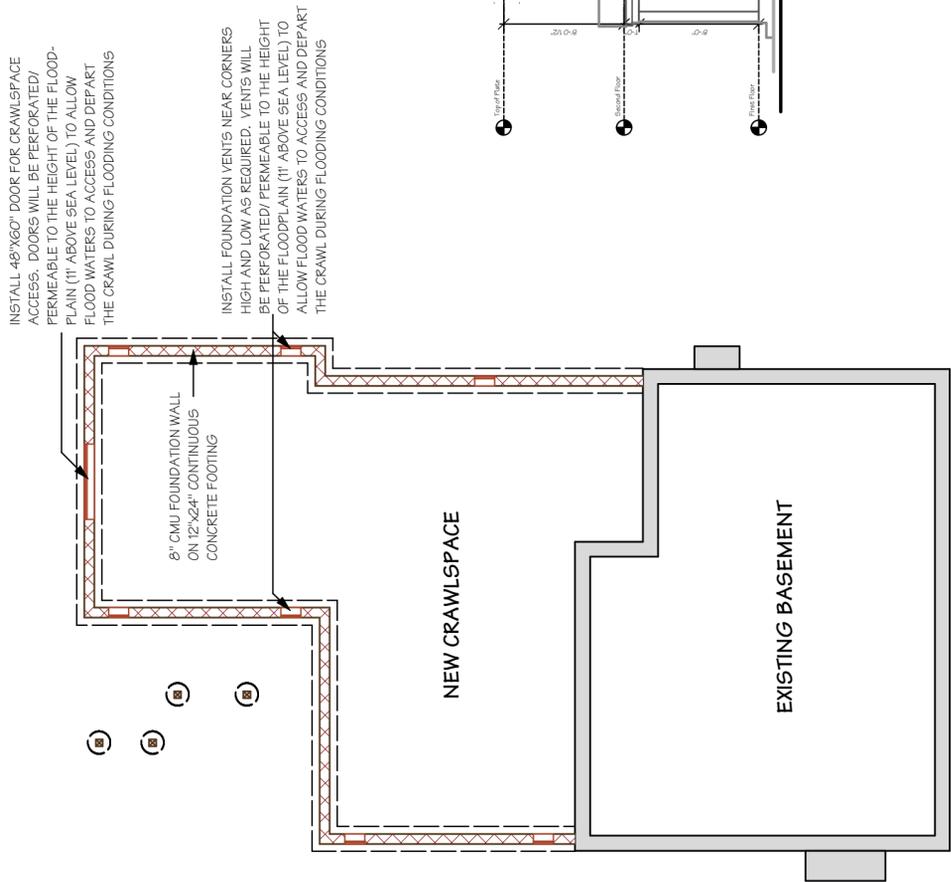
Bethesda  
 4701 Sarginson Road  
 701 Park Avenue  
 Falls Church, VA 22046  
 (P) 703.241.2980  
 (F) 703.594.0207

North Plaza, Suite 40  
 Bethesda, MD 20816  
 (P) 301.229.4600  
 (F) 301.229.3185

Falls Church  
 Development: DV  
 Management: JW

Proj. Number: 1824524  
 Design: HJ

THESE PLANS HAVE BEEN PREPARED BY CASE DESIGN/REMODELING, INC. SOLELY FOR ITS USE AND SHOULD NOT BE RELIED UPON BY ANY OTHER PARTIES



Special Exception Statement of Justification –  
 6415 15<sup>th</sup> Street  
 Alexandria VA 22307

We are filling a Special Permit Application with the County of Fairfax Virginia for the owners (subject property) at 6415 15<sup>th</sup> Street Alexandria VA 22307. We hope to address the Zoning Ordinance requirement found in 2 -903 – 8A.

**2-903 Permitted Uses**

8. Permitted accessory structures, other than those specified in Par. 3 above, and additions to single family detached and attached dwellings constructed prior to August 14, 1978, subject to the following conditions:

A. The estimated cost of the addition or accessory structure is less than fifty (50) percent of the market value as determined by the Department of Tax Administration of the existing structure.

Special Permit Statement of Justification:

- A. The current use of the property is a single family dwelling – proposed use, single family dwelling.
- B. Hours of operation – typical with single family use
- C. no patrons/ clients/ patients/ pupils will come to this property – single family dwelling
- D. no employees/ attendants/ teachers will work at this property – single family dwelling
- E. there is no change / impact to the traffic pattern at this property – single family dwelling.
- F. the addition will be used by the current family as a single family home – no change in use.
- G. we intend to add an addition to the rear of the current primary structure – single family dwelling.- see plans, elevations and plat.
- H. no known hazardous or toxic substances are to be stored, treated or disposed of on site
- I. See below

1. After having a pre-application review meeting of the proposed work, it is our understanding the proposed addition will meet all the zoning and building regulations for additions in the R-3 zone – except the item listed above- 2 -903 – 8 – A. This item limits value of a proposed addition to 50% of the current assessed value of the improvements. The intent of the proposed work is to retain the existing 1939 structure while increasing the size of the home to accommodate a growing family. The majority of the existing structure will remain intact while we increase the space and bedrooms for the family. The current home does not have a basement and is located in the floodplain requiring a larger floor plate to accommodate similar uses of homes with basements. It is our understanding that the proposed work meets all other requirements for a standard residential addition in the R-3 except the limitation of the value of the additional space.

RECEIVED  
 Department of Planning & Zoning

JUN 05 2014

Zoning Evaluation Division

**SE 2014-MV-071, Barry Maglaughlin, Catherine Powell**

**2-905 Use Limitations**

6415 15<sup>th</sup> Street  
Alexandria VA 22307

We are filling a Special Permit Application with the County of Fairfax Virginia for the owners (subject property) at 6415 15<sup>th</sup> Street Alexandria VA 22307.

**2-905 Use Limitations**

1. Except as may be permitted by Par. 6 and 7 of Sect. 903 above, any new construction, substantial improvements, or other development, including fill, when combined with all other existing, anticipated and planned development, shall not increase the water surface elevation above the 100-year flood level upstream and downstream, calculated in accordance with the provisions of the Public Facilities Manual.

The subject property is located within the 100 year Tidal Federal Emergency Agency (FEMA) floodplain. The applicant intends to construct a two story addition with an approx. footprint of 845 sq ft to the original 1939 structure; the current lot is 8,750 sq ft. The proposed addition is to set on the site with a crawl space foundation assuming minimal if any fill dirt. The intent is to have access to the crawl space through a set of large shed style door on the rear elevation. The intent will minimize any flooding impact to the area as floor water would be allowed to enter the crawl though these doors and foundation vents, the curbs of the door and vent openings would be set at approx. 6” above the existing grade height. It is believed the proposed work is unlikely to increase the water surface elevation above the 100- year flood level upstream or downstream.

2. The lowest part (i.e., the bottom of the floor joists or top of a concrete slab on grade) of the lowest floor including basement of any new or substantially improved dwelling including manufactured homes and, except as may be permitted by Par. 8 of Sect. 903 above, any proposed addition to an existing dwelling shall be eighteen (18) inches or greater above the water-surface elevation of the 100-year flood level calculated in accordance with the provisions of the Public Facilities Manual

The bottom of the proposed addition structure is scheduled to be set a minimum of 18” above the water surface elevation of the 100-year flood level.

3. All uses shall be subject to the provisions of Par. 1 of Sect. 602 above.

The proposed work will meet the provisions of the Par. 1 of Sect. 602 – as the proposed addition does not look to change the existing contours of the land or change the drainage of the land. The foundation will simply be installed into the current grade, with minor grading eliminate pooling against the foundation wall.

4. No structure or substantial improvement to any existing structure shall be allowed unless adequate floodproofing as required herein or under the Virginia Uniform Statewide Building Code is provided.

Per the review of PDWES, Land Development Serviced the proposed work meets the requirement for the exception for water quality impact assessment for minor additions.

5. To the extent possible, stable vegetation shall be protected and maintained in the floodplain.

To the extent possible the existing vegetation will be protected and maintained on the subject property. The applicant will follow the recommendation of the DPWES for the tree protection, replacement or two trees and limiting the construction area according to the Special Exception Plat – per the report of 12/23/14

6. There shall be no storage of herbicides, pesticides, or toxic or hazardous substances as set forth in Title 40, Code of Federal Regulations, Parts 116.4 and 261.30 et seq., in a floodplain.

The applicant / owner will not store herbicides, pesticides, toxic or hazardous substances on the subject property.

7. For uses other than those enumerated in Par. 2 and 3 of Sect. 903 above, the applicant shall demonstrate to the satisfaction of the approving authority the extent to which:

A. There are no other feasible options available to achieve the proposed use; and –

-

As the proposed work is an addition to a current single family home and the proposed meets all current zoning requirement with no change in use. The only item the in questions is 2-903 par 8 item A – that limits the value of a proposed additions to less than fifty (50) percent of the market value as determined by the department of Tax Administration of the existing structure (improvements)

B. The proposal is the least disruptive option to the floodplain; and

The addition sits in the area that is buildable by right & has been planned to have minimal impact on the land contours, water run off with minimal fill if any.(only fill to eliminate pooling of storm water against the foundation wall)

C. The proposal meets the environmental goals and objectives of the adopted comprehensive plan for the subject property.

As the proposed work is an addition to a current single family home and the proposed meets all current zoning requirement – with no change to the in use – the proposed is in keeping with comprehensive plan.

8. Nothing herein shall be deemed to prohibit the refurbishing, refinishing, repair, reconstruction or other such improvements of the structure for an existing use provided such improvements are done in conformance with the Virginia Uniform Statewide Building Code, Article 15 of this Ordinance and the requirements of Par. 2 above.

The applicants request would confirm to these standards.

9. Nothing herein shall be deemed to preclude public uses and public improvements performed by or at the direction of the County.

No public use has been proposed for the subject property.

10. Notwithstanding the minimum yard requirements specified by Sect. 415 above, dwellings and additions thereto proposed for location in a floodplain may be permitted subject to the provisions of this Part and Chapter 118 of The Code.

The proposed addition to the existing structure conforms to all the applicable bulk regulations of the R-3 zoning district.

11. All uses and activities shall be subject to the provisions of Chapter 118 of The Code.

The proposed has been reviewed by DPWES, Land Development and was deemed to meet the exception requirements for Water Quality Impact Assessment for minor additions.

12. When as-built floor elevations are required by federal regulations or the Virginia Uniform Statewide Building Code for any structure, such elevations shall be submitted to the County on a standard Federal Emergency Management Agency (FEMA) Elevation Certificate upon placement of the lowest floor, including basement and prior to further vertical construction . If a non-residential building is being floodproofed, then a FEMA Floodproofing Certificate shall be completed in addition to the Elevation Certificate. In the case of special exception uses, the Elevation Certificate shall show compliance with the approved special exception elevations.

The applicant /owner will supply any required as-built floor elevations.

13. The construction of all buildings and structures shall be subject to the requirements of the Virginia Uniform Statewide Building Code.

The proposed work would conform with the applicable Virginia Uniform Statewide Building Code.

14. All recreational vehicles shall:

A. Be on site for fewer than 180 consecutive days;

B. Be fully licensed and ready for highway use; or

C. Meet the requirements of this Part and the Virginia Uniform Statewide Building Code for anchoring and elevation of manufactured homes.

A recreational vehicle shall be deemed ready for highway use if it is on wheels or jacking system, is attached to the site only by quick disconnect type utilities and security devices and has no permanently attached additions.

If the applicant / owner decides to store recreational vehicles on site, this standard would apply.

15. All necessary permits shall be received from those governmental agencies from which approval is required by Federal or State law, including Section 404 of the Federal Water Pollution Control Act Amendments of 1972, as amended, 33 U.S.C. § 1334.

The applicant / owner will received all the necessary permits and approves required for the proposed work.

16. If any new construction, substantial improvements, or other development, including fill, when combined with all other existing, anticipated and planned development, results in change in the base flood elevation in any Special Flood Hazard Area (SFHA) depicted on the County's Flood Insurance Rate Map (FIRM), the applicant shall notify the Federal Insurance Administrator of the changes by submitting technical or scientific data to FEMA for a Letter of Map Revision, as soon as practicable but, not later than six (6) months after the date such information becomes available or the placement of fill, whichever comes first. If the projected increase in the base flood elevation is greater than one (1) foot, the applicant shall also obtain approval of a Conditional Letter of Map Revision from the Federal Insurance Administrator prior to the approval of construction

The proposed work does not contemplate the use of fill dirt, or to change the current land contours. The proposed work would allow floor waters to enter the new crawl space, effectively eliminating any increase or change to the current flood elevation.

17. In riverine situations, adjacent communities and the Virginia Department of Conservation and Recreation shall be notified prior to any alteration or relocation of a watercourse depicted on the FIRM and copies of such notifications shall be submitted to the Federal Insurance Administrator. The flood carrying capacity within the altered or relocated portion of any watercourse shall be maintained.

It is not believed that the proposed work / construction will alter or relocate the nearby watercourse.

6415 15th Street Alexandria, VA 22307

Proposed Addition Project

# Maglaughlin Residence

FOUNDATION NOTES

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 Date: 3/5/15  
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Drawing Log

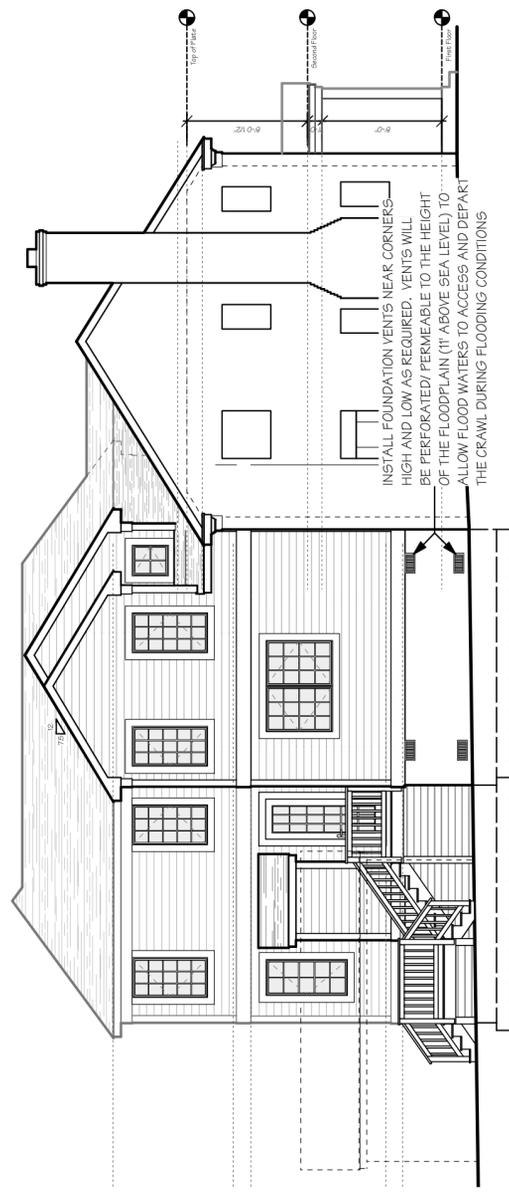
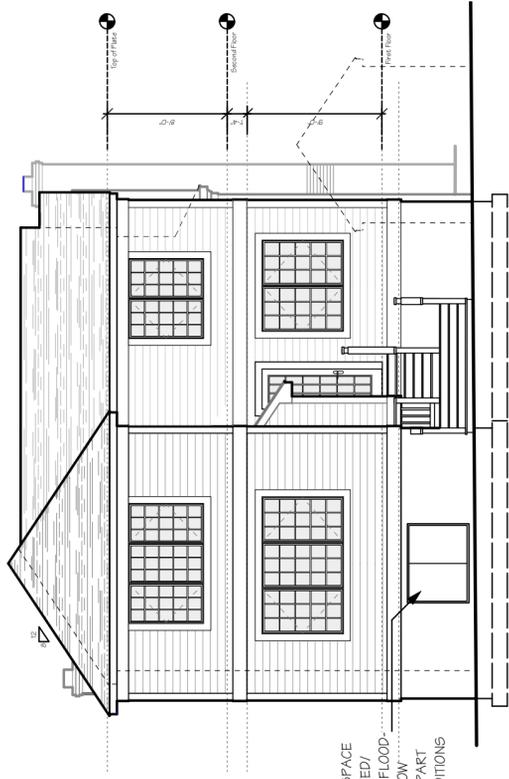
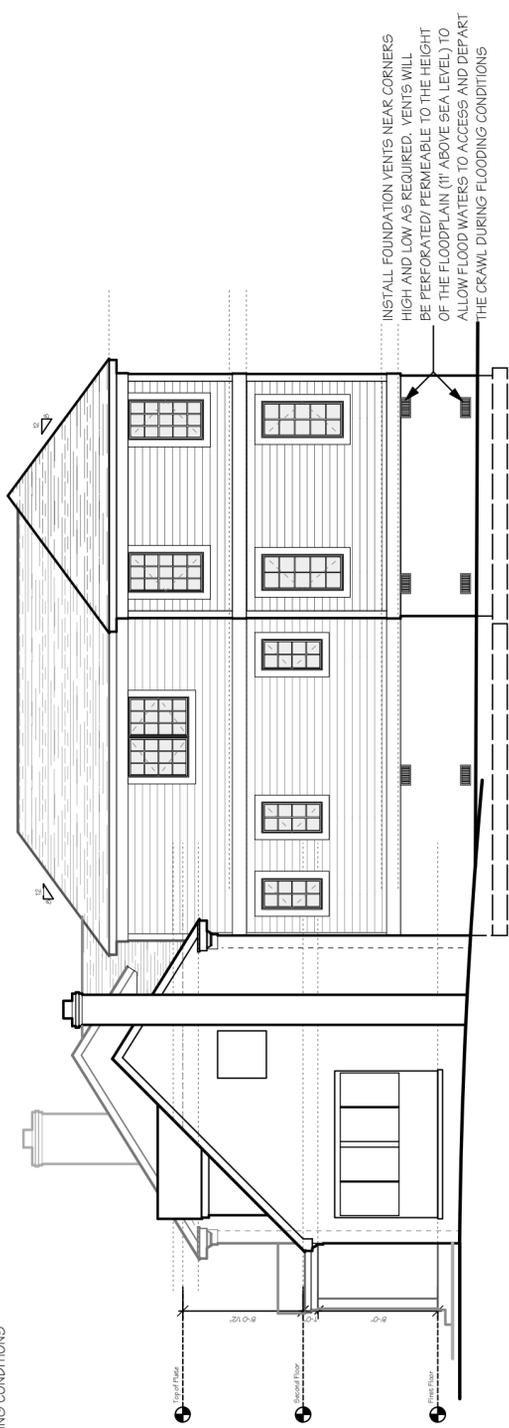
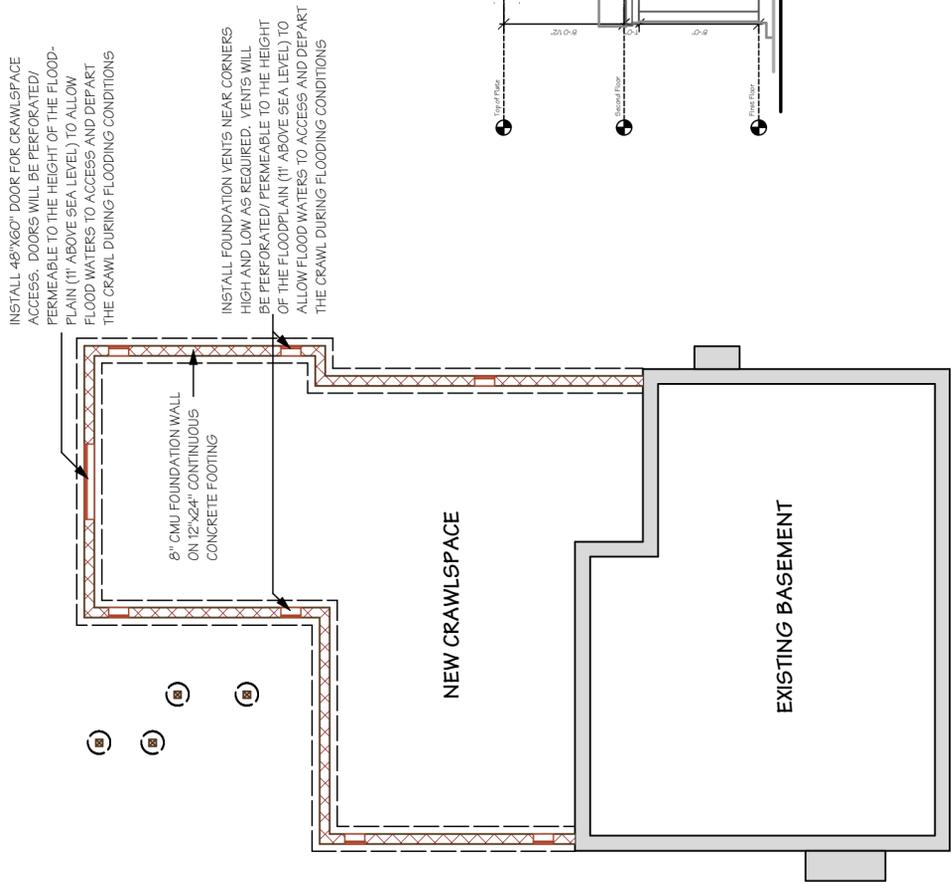
**CASE**  
 BECAUSE IT'S YOUR HOME

Bethesda  
 4701 Sarginson Road  
 701 Park Avenue  
 Falls Church, VA 22046  
 (P) 703.241.2930  
 (F) 703.594.0207

Development: DV  
 Design: JMW  
 Management: JMW

Proj. Number: 1824524  
 Design: HJ

THESE PLANS HAVE BEEN PREPARED BY CASE DESIGN/REMODELING, INC. SOLELY FOR ITS USE AND SHOULD NOT BE RELIED UPON BY ANY OTHER PARTIES



## General Notes:

### DEMOLITION NOTES:

- Remove existing brick patio haul as debris.- see plans.
- Remove interior walls, haul as debris. see plans.
- Demo. existing second floor hall bath and prep. for relocation of bath and new laundry location- see plans.
- Remove existing roof eaves and create opening for tie in at second floor stairs.
- Create new brick opening at second floor to allow access to the addition see plans.
- Raise the header at the existing bay window opening at current dining room, width to stay the same. Min clearance to be 6'8" above new stair nosing.
- We have anticipated being able to cut a chase into the existing kitchen cabinets to allow a truck line to come across from the mechanical room and condition the living / dining room area.
- We have included routing in a return duct from the mechanical area in the closet at the den and under the stairs to allow a HV/AC return duct to be placed.
- Remove roofing as needed to tie in walls and roof of addition haul debris.
- Remove windows and frame up opening as needed for renovation see plans haul as debris.
- Remove existing rear stoop as need to install new foundation- haul as debris.
- Create masonry opening as needed to run ducting, electrical, plumbing and vents.
- Create passage from new roof structure to existing roof structure to allow new ducting system.

### HV / AC NOTES:

- We have included re-using the existing air conditioning units as part of the overall forced air system for the house.
- We have included zoning the house with a 3 ton A/C unit & gas furnace at the first floor and a heat pump unit with a 10kw heat pack unit at the second floor see contract for specifications.
- We have included two new and separate duct systems supply and returns.

### ELECTRICAL NOTES:

- Provide and install all electrical fixtures and wiring as shown on electrical plans.
- All surface mounted and decorative fixtures to be provided by owner and installed by Case, as it relates to plans/renovation.
- All NEW electrical work to conform to NEC and local codes.
- No change to the existing electrical work has been anticipated or included. If at time of inspection Case is required to fix any existing conditions, these changes will be at a time and material cost.
- No stereo wiring has been anticipated or included.
- See plans for locations of included phone and TV Cable wiring.

### PLUMBING NOTES:

- We have included the following plumbing work:  
Create new Master Bath  
Relocate Laundry to second floor- no sink  
Renovate Hall Bath  
Renovate ½ bath  
Create new Guest Bath
- Extend existing supply lines, connect to existing waste lines, install vents and gas lines as required by code.
- No change to the existing plumbing scheduled to remain.
- No change to the water heater has been included.
- All plumbing work to conform to local and national codes.
- Note, tying into existing piping can be unpredictable, the tie in will be made at the first joint back from the work to be done, any repairs related to the remaining existing piping will be at time and material cost.

### MISCELLANEOUS NOTES:

- We have included (1) niche shelf in the master bath shower area.
- We have included (1) niche shelf in the guest bath shower area.
- We have included (1) niche shelf in the hall bath tub/shower area.
- We have included a standard single pole and shelf single hanging at new master closet, guest room closet and coat closet at dining room.
- We have included (4) plywood fixed shelves at the linen closet.

## Construction Notes:

### FOUNDATION:

- We have included a new foundation wall and footing for the addition; footing to be 24" wide 12" deep with (2) #4 rebar set 24" below grade; foundation wall to be 8" CMU block with horizontal dura-wall reinforcement every 2 courses and vertical re-bar reinforcement every 24" along the wall fill cores solid at re-bar reinforcement location.
- Install pier footings for deck as needed.
- Install concrete slab at stair termination. (this is not a being of a patio and if patio work is to happen shortly, we should plan and incorporate this into a larger patio)
- No brick work has been included in the contract.

### FLOOR:

- Set 2 x 6 FTF sill bolted to new foundation, install sill seal.
- TJI -11 7/8" tall floor joists @ 16" o.c. at first floor of addition. Install R-30 batt installation at floor cavity.
- TJI -14" tall floor joists @ 16" o.c. at second floor of addition.
- The floor joist bay of the second floor will capture the ductwork from the first floor HV/AC unit & we will have to create a chase through the middle of the joists to feed the first floor. The locations and sizes of these chases will be coordinated for structural integrity.
- All new sub-floor to be ¾" tongue and groove plywood.
- Install new standard oak (2 ¼" red oak) hardwood flooring, at addition only- sanded and finished in place. FV with owner on stain color - see plans and contract for specific locations.
- We have included ceramic tile at hall bath, guest bath and new laundry area. No tile base has been included all tile floor wall connection to receive wood base (paint grade) to blend with existing house.

### WALLS:

- We have included 2 x 6 regular framing lumber all new exterior walls of the addition, with ½ plywood sheathing - with (R-19) batt insulation and house wrap.
- Exterior walls to have ½" drywall interior.
- We have included 2 x 4 regular framing lumber for all new interior wall of the addition with ½" drywall both sides.
- Exterior siding to be Hard-plank with pvc trim-- see drawings/contract for locations and material sizes.
- Interior walls to be 2 x 4 @ 16" o.c. with drywall both sides.
- Furred walls to have ½" drywall on one side.

### CEILING / ROOF:

- The roof structure at the addition to be regular roof trusses w/ framing lumber. Flat ceiling at all other new ceiling locations.
- Install 5/8" plywood sheathing with clips at roof sheathing.
- 12" batt insulation at ceilings (R-38), with 1" styrofoams as required.
- ALL ROOFING IS BY OWNER NOT IN CONTRACT.
- ALL GUTTERS & DOWNSPOUTS BY OWNER NOT IN CONTRACT.
- We have included dropping the ceiling in the pantry area to allow for the HV/AC duct work to turn into the floor joist bay.

### EXTERIOR TRIM:

- We have included PVC fascia board, soffits, corner boards and trim boards.-See plans/ elevations.
- See drawing for roof overhang and soffit vents soffit detailing. 2" continuous aluminum vent with pvc trim board.
- New deck to be pressure treated, standard decking and railing materials. No painting, staining or sanding has been anticipated. We have included a 5/4 x 6 decking material horizontal deck skirt.
- Windows and doors in hardi siding materials to be PVC trim boards- see drawings.

### INTERIOR TRIM:

- Base: (2) piece paint grade to blend with existing as practical- from local stock supply.
- Door / Window casing blend with existing as practical - from local stock supply.
- We have included (2) piece crown at the new Dining Room, kitchen, and Family Room.
- We have included two cased openings at dining/kitchen & kitchen/family room- these opening will have dropped headers that separate the rooms and will accept crown molding.
- New interior doors to be split jamb pre-hung doors solid pine 2 panel doors to blend with existing.

## Drawing Index

Sht.	Description
01	Cover Sheet
02	Schedule Sheet
03	Proposed Foundation Plan
04	Proposed 1st Floor Plans
05	Proposed 2nd Floor Plans
06	Proposed Electrical Plans
07	Front Elevation
08	Right Side Elevation
09	Rear Elevation
10	Left Side Elevation
11	Proposed Kitchen Plan
12	Proposed Kitchen Elevations
13	Kitchen Perspectives
14	Master Bath Drawings
15	Hall & Guest Bath Drawings
15	Total No of Sheets

# Maglaughlin Residence

## Proposed Addition Project

6415 15th Street Alexandria, VA 22307

### Drawing Log

9/20/15 - Measure  
7/31/14 - Subwalk  
9/26/14 - Contract

Date: 9/25/14

Sheet: 01  
15

Cover Sheet

Scale:

01

DRAWING LEGEND
A.F.F.: Above Finished Floor
B.O.I: By the Owner
B.C.D: By Case Design
N.L.C: Not in Contract
E.O.: Equal
G.W.B: Gypsum Wall Board (Drywall)
M.I.N: Minimum
O.C.C: On Center
O.S.B: Oriented Strand Board
P.S.I: Pounds per square inch
T.B.S: To Be Specified

### APPROVED CONTRACT PLANS

OWNER	DATE
OWNER	DATE
CONTRACTOR	DATE

DIMENSIONS SHOWN OR SCALED ARE SUBJECT TO CHANGE PER ACTUAL JOB CONDITIONS.

MATERIALS ARE TO BE SPECIFIED AS EQUAL OR STANDARD WHEN NOT SPECIFIED.

INSTALLED MATERIALS MAY VARY IN APPEARANCE FROM DRAWINGS. REFERENCE MANUFACTURERS PRODUCT DATA FOR ACTUAL APPEARANCE & SPECIFICATIONS.

PROJECT NUMBER: 01 WITH CASE NUMBER: 01 CLIENTS FOR LIFE

THESE PLANS HAVE BEEN PREPARED BY CASE DESIGN/REMODELING, INC. SOLELY FOR ITS USE AND SHOULD NOT BE RELIED UPON BY ANY OTHER PARTIES



Bethesda  
Falls Church  
701 Park Avenue  
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Falls Church, VA 22046  
Bethesda, MD 20816  
P) 703.241.2950  
F) 703.534.0207

## DOOR SCHEDULE

1	ANDERSEN RO Size: 3'-11" W x 8'-0" H	<p><b>FWH3180</b></p> <p>400 Series, Frenchwood Hinged, Single Units Operation/Handling: L &amp; R Exterior Color: Forest Green Interior Color: Pre-finished White Glass Type: High Performance Low-E4, Tempered Divided Light w/o Spacer, Colonial, 3/4" Insect Screens: Hinged Screen, Forest Green Hardware Color: Satin Nickel Quantity: 2</p>
2	STOCK RO Size: per manufacturer	<p><b>2068</b></p> <p>Unit dimension: 2'-0" x 6'-8" Solid Wood 2-Panel Simple Swing Door Hardware T.B.D. Quantity: 5</p>
3	STOCK RO Size: per manufacturer	<p><b>2468</b></p> <p>Unit dimension: 2'-4" x 6'-8" Solid Wood 2-Panel Simple Swing Door Hardware T.B.D. Quantity: 1</p>
4	STOCK RO Size: per manufacturer	<p><b>2668</b></p> <p>Unit dimension: 2'-6" x 6'-8" Solid Wood 2-Panel Simple Swing Door Hardware T.B.D. Quantity: 3</p>
5	STOCK RO Size: per manufacturer	<p><b>4068</b></p> <p>Unit dimension: 4'-0" x 6'-8" Solid Wood 2-Panel Double Swing Door Hardware T.B.D. Quantity: 1</p>
6	STOCK RO Size: per manufacturer	<p><b>3068</b></p> <p>Unit dimension: 3'-0" x 6'-8" Solid Wood 2-Panel Double Swing Door Hardware T.B.D. Quantity: 1</p>
7	STOCK RO Size: per manufacturer	<p><b>2668</b></p> <p>Unit dimension: 2'-6" x 6'-8" Solid Wood 2-Panel Simple Pocket Door Hardware T.B.D. Quantity: 1</p>
8	STOCK RO Size: per manufacturer	<p><b>2068</b></p> <p>Unit dimension: 2'-0" x 6'-8" Solid Wood 2-Panel Simple Pocket Door Hardware T.B.D. Quantity: 1</p>
9	STOCK RO Size: per manufacturer	<p><b>3068</b></p> <p>Unit dimension: 3'-0" x 6'-8" Solid Wood 2-Panel Simple Swing Door Hardware T.B.D. Quantity: 1</p>
E	EXISTING WINDOW/DOOR	Existing Window/Door No Change

## WINDOW SCHEDULE

A	ANDERSEN RO Size: 2'-0 5/8" W x 4'-5 3/8" H	<p><b>C145</b></p> <p>400 Series, Casement, Single Units Operation/Handling: L Exterior Color: Forest Green Interior Color: Pre-finished White Glass Type: High Performance Low-E4 Divided Light w/o Spacer, Colonial, 3/4" Insect Screens: Insect Screen, White Hardware Color: Satin Nickel Quantity: 3</p>
B	ANDERSEN RO Size: 2'-4 7/8" W x 5'-5 3/8" H	<p><b>CW155</b></p> <p>400 Series, Casement, Single Units Operation/Handling: L &amp; R Exterior Color: Forest Green Interior Color: Pre-finished White Glass Type: High Performance Low-E4 Divided Light w/o Spacer, Colonial, 3/4" Insect Screens: Insect Screen, White Hardware Color: Satin Nickel Quantity: 3</p>
C	ANDERSEN RO Size: 9'-0 5/8" W x 5'-5 3/8" H	<p><b>CXW155-3</b></p> <p>400 Series, Casement, Triple Unit Operation/Handling: L Exterior Color: Forest Green Interior Color: Pre-finished White Glass Type: High Performance Low-E4 Divided Light w/o Spacer, Colonial, 3/4" Insect Screens: Insect Screen, White Hardware Color: Satin Nickel Quantity: 1</p>
D	ANDERSEN RO Size: 6'-0 1/2" W x 5'-5 3/8" H	<p><b>CXW155-2</b></p> <p>400 Series, Casement, Double Unit Operation/Handling: LK Exterior Color: Forest Green Interior Color: Pre-finished White Glass Type: High Performance Low-E4 Divided Light w/o Spacer, Colonial, 3/4" Insect Screens: Insect Screen, White Hardware Color: Satin Nickel Quantity: 1</p>
E	ANDERSEN RO Size: 6'-0 1/2" W x 4'-5 3/8" H	<p><b>CXW245</b></p> <p>400 Series, Casement, Double Unit Operation/Handling: LK Exterior Color: Forest Green Interior Color: Pre-finished White Glass Type: High Performance Low-E4 Divided Light w/o Spacer, Colonial, 3/4" Insect Screens: Insect Screen, White Hardware Color: Satin Nickel Quantity: 1</p>
G	ANDERSEN RO Size: 2'-0 5/8" W x 2'-4 7/8" H	<p><b>C125</b></p> <p>400 Series, Casement, Single Unit Operation/Handling: R Exterior Color: Forest Green Interior Color: Pre-finished White Glass Type: High Performance Low-E4 Divided Light w/o Spacer, Colonial, 3/4" Insect Screens: Insect Screen, White Hardware Color: Satin Nickel Quantity: 1</p>
H	ANDERSEN RO Size: 2'-6" W x 5'-0 3/8" H	<p><b>CX15</b></p> <p>400 Series, Casement, Single Unit Operation/Handling: L &amp; R Exterior Color: Forest Green Interior Color: Pre-finished White Glass Type: High Performance Low-E4 Divided Light w/o Spacer, Colonial, 3/4" Insect Screens: Insect Screen, White Hardware Color: Satin Nickel Quantity: 6</p>
I	ANDERSEN RO Size: 5'-3 5/8" W x 5'-0 3/8" H	<p><b>CX15-2</b></p> <p>400 Series, Casement, Double Unit Operation/Handling: LK Exterior Color: Forest Green Interior Color: Pre-finished White Glass Type: High Performance Low-E4 Divided Light w/o Spacer, Colonial, 3/4" Insect Screens: Insect Screen, White Hardware Color: Satin Nickel Quantity: 1</p>
J	ANDERSEN RO Size: 7'-11 1/4" W x 5'-0 3/8" H	<p><b>CX15-3</b></p> <p>400 Series, Casement, Triple Unit Operation/Handling: LSR Exterior Color: Forest Green Interior Color: Pre-finished White Glass Type: High Performance Low-E4 Divided Light w/o Spacer, Colonial, 3/4" Insect Screens: Insect Screen, White Hardware Color: Satin Nickel Quantity: 1</p>
J	ANDERSEN RO Size: 5'-3 1/4" W x 4'-0 1/2" H	<p><b>CX24</b></p> <p>400 Series, Casement, Double Unit Operation/Handling: LK Exterior Color: Forest Green Interior Color: Pre-finished White Glass Type: High Performance Low-E4 Divided Light w/o Spacer, Colonial, 3/4" Insect Screens: Insect Screen, White Hardware Color: Satin Nickel Quantity: 1</p>

THESE PLANS HAVE BEEN PREPARED BY CASE DESIGN/REMODELING, INC. SOLELY FOR ITS USE AND SHOULD NOT BE RELIED UPON BY ANY OTHER PARTIES.

# Maglaughlin Residence

## Proposed Addition Project

6415 15th Street Alexandria, VA 22307

Proj. Number: 1824524	Design: HJ
Development: DV	Management: JM

**CASE**  
 BECAUSE IT'S YOUR HOME  
 Bethesda  
 4701 Sangamore Road  
 701 Park Avenue  
 Falls Church, VA 22046  
 (P) 703.241.2930  
 (F) 703.534.0207  
 Bethesda  
 4701 Sangamore Road  
 701 Park Avenue  
 Falls Church, VA 22046  
 (P) 703.241.2930  
 (F) 703.534.0207

Drawing Log	Scale: 9/20/15 - Measure 7/31/14 - Subwalk 9/26/14 - Contract
Date: 9/25/14	Sheet: 02
Schedule Sheet	

6415 15th Street Alexandria, VA 22307

Proposed Addition Project

# Maglaughlin Residence

Proposed Foundation Plan
Sheet: <b>03</b>
Of: <b>15</b>
Date: 9/25/14
Scale: 1/4" = 1'-0"

Drawing Log

9.20.13 - Measure  
7.31.14 - Subwalk  
9.26.14 - Contract

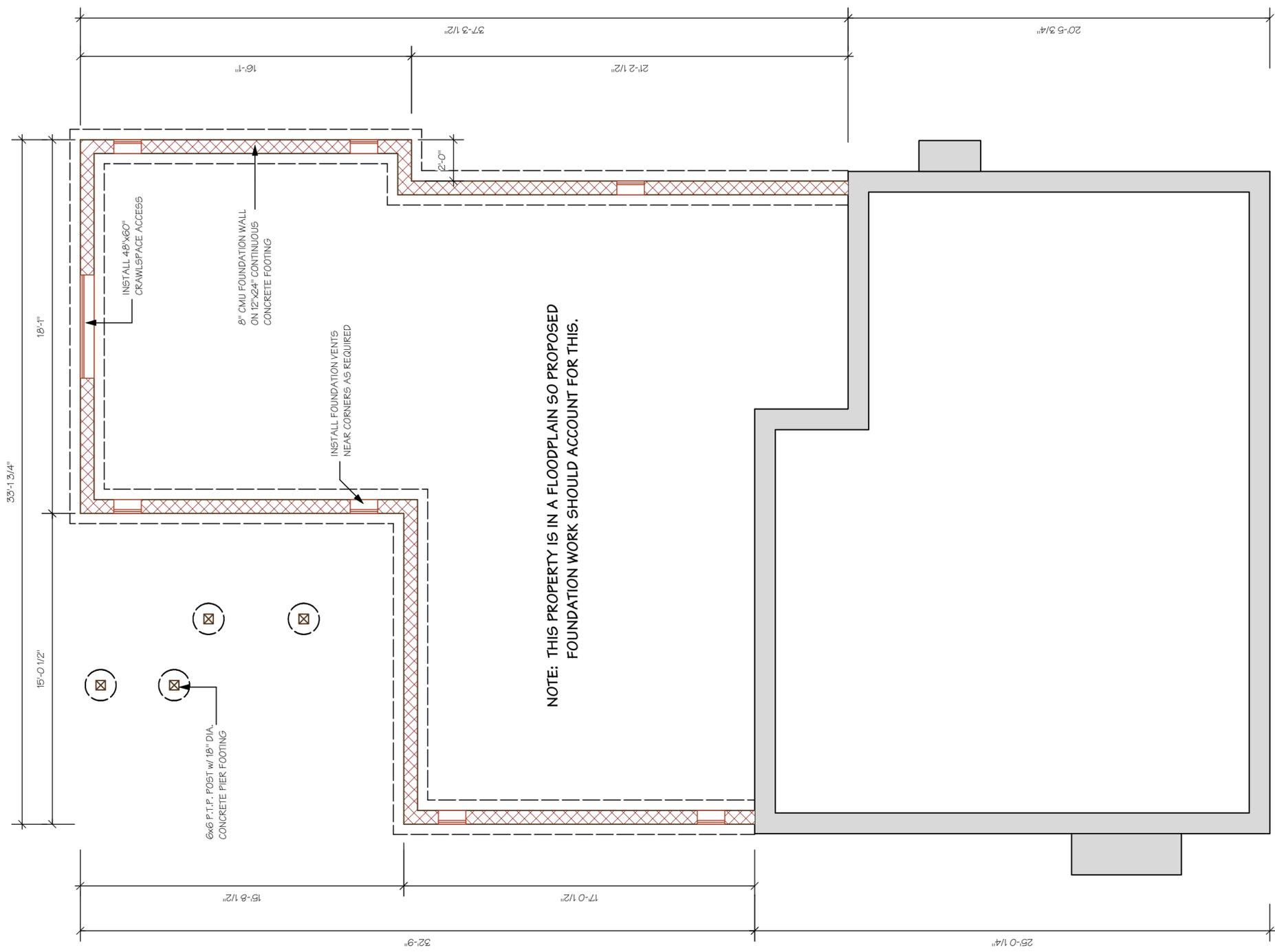
Design: HJ	Management: JW
Proj. Number: 1024524	Development: DV

**CASE**  
BECAUSE IT'S YOUR HOME

Bethesda  
4701 Sangamore Road  
701 Park Avenue  
Falls Church, VA 22046  
(p) 703.241.2980  
(f) 703.534.0207

Bethesda, MD 20816  
301.229.4600  
(f) 301.229.3185

THESE PLANS HAVE BEEN PREPARED BY CASE DESIGN/REMODELING, INC. SOLELY FOR ITS USE AND SHOULD NOT BE RELIED UPON BY ANY OTHER PARTIES.



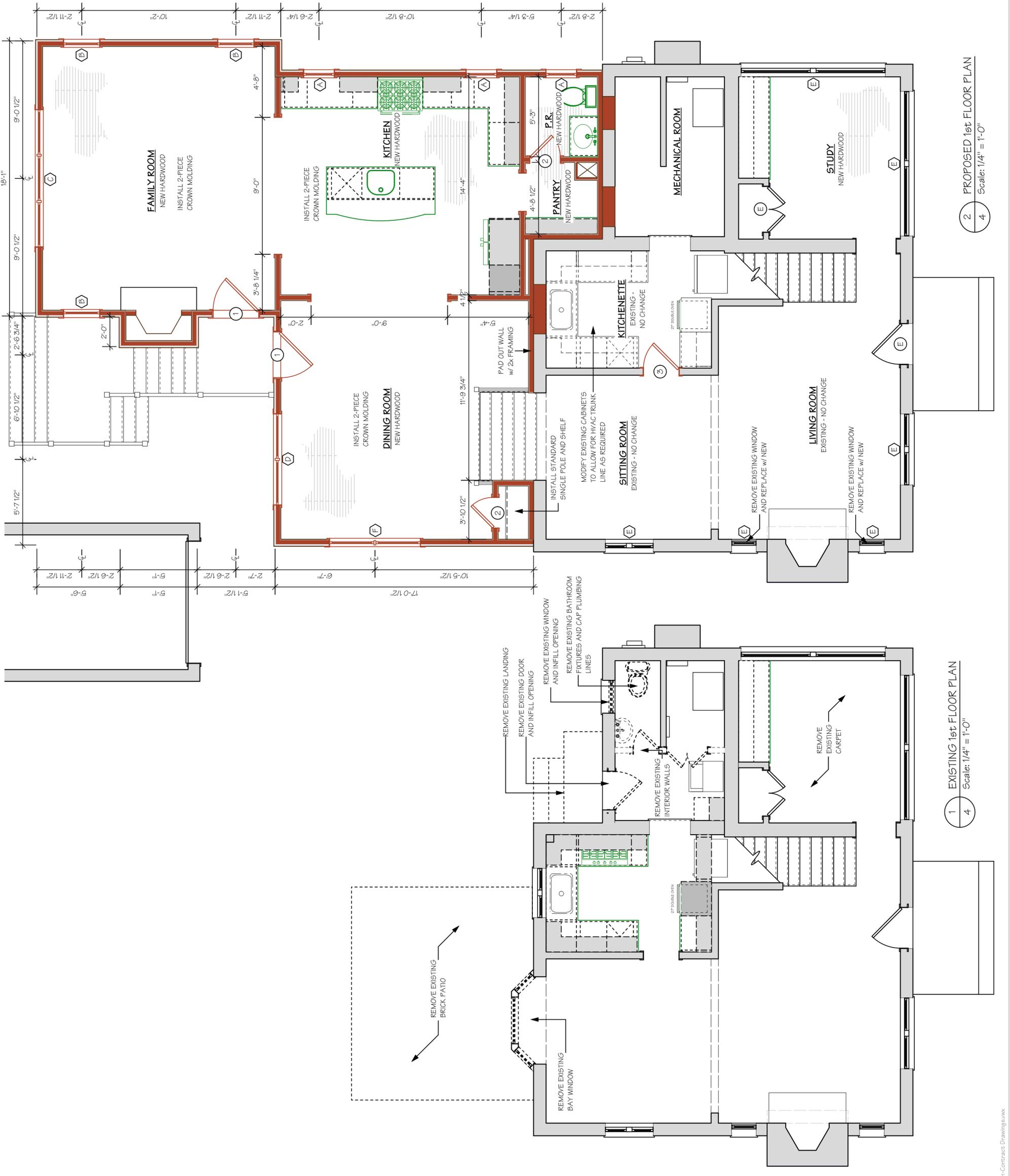
1 PROPOSED FOUNDATION PLAN  
3 Scale: 1/4" = 1'-0"

Maglaughlin Residence  
 Proposed Addition Project  
 6415 15th Street Alexandria, VA 22307

Proj. Number: 1824524	Design: HJ
Development: DV	Management: JM

BECAUSE IT'S YOUR HOME  
**CASE**  
 Falls Church  
 4701 Sangamore Road  
 Bethesda, MD 20816  
 (P) 301.229.4600  
 (F) 301.229.3185  
 Falls Church, VA 22046  
 701 Park Avenue  
 (P) 703.534.0207  
 (F) 703.534.0207

THESE PLANS HAVE BEEN PREPARED BY CASE DESIGN/REMODELING, INC. SOLELY FOR ITS USE AND SHOULD NOT BE RELIED UPON BY ANY OTHER PARTIES





# Maglaughlin Residence

Proposed Addition Project  
6415 15th Street Alexandria, VA 22307

Drawing Log

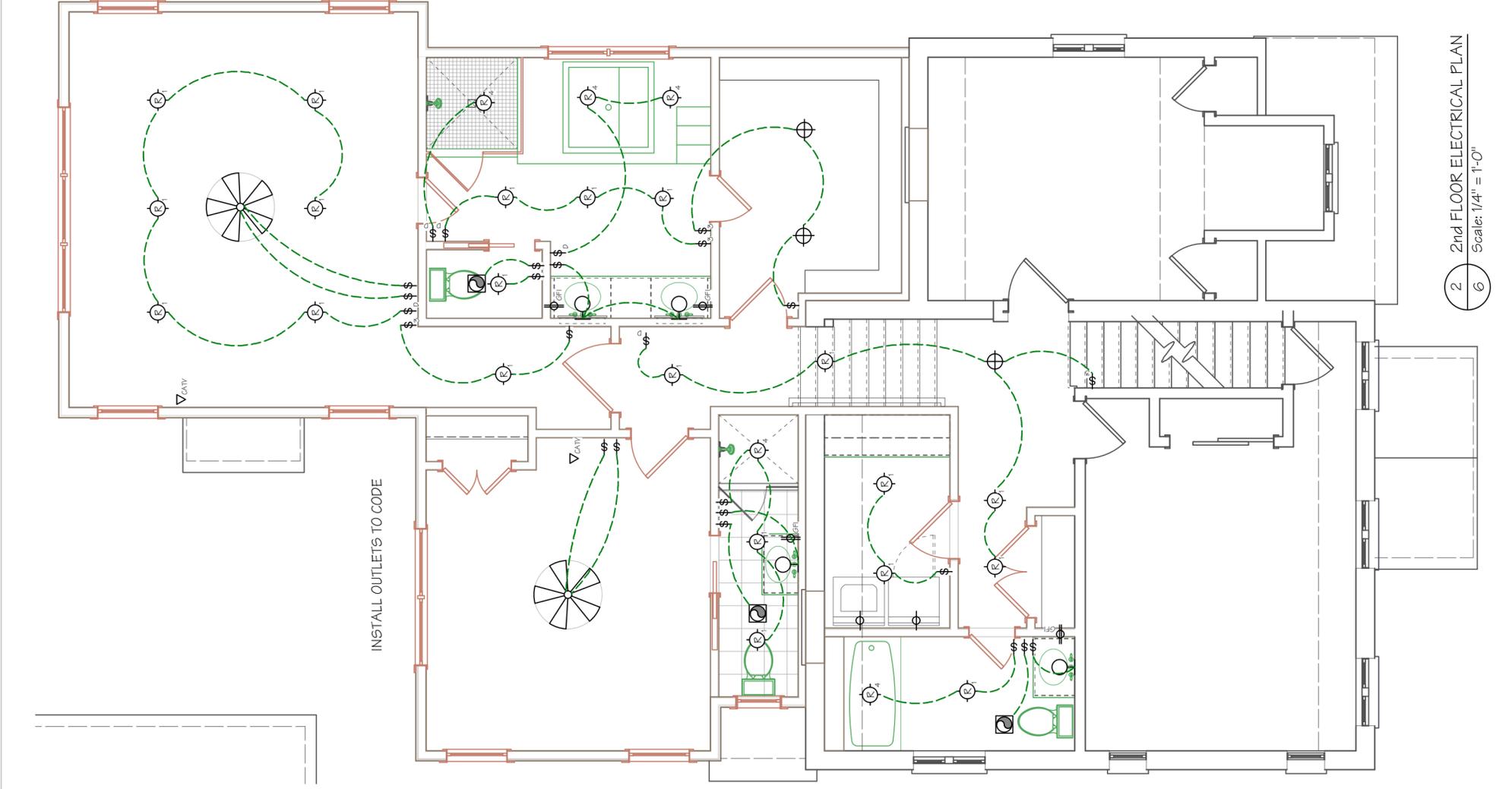
9/20/13 - Measure  
7/31/14 - Subwalk  
9/26/14 - Contract

Scale: 1/4" = 1'-0"  
Sheet: 06  
Date: 9/25/14

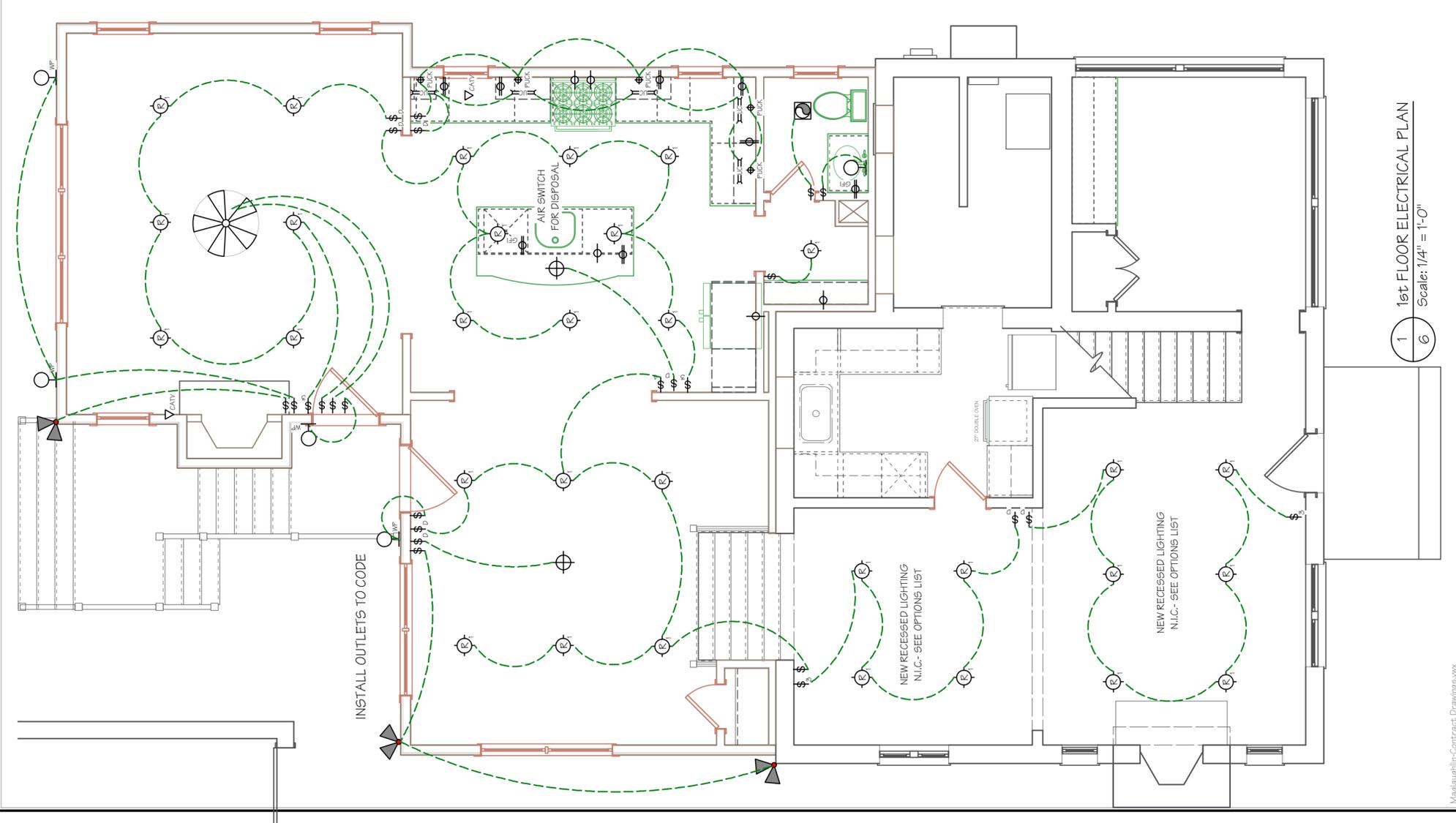
Proposed Electrical Plans  
06  
15

THESE PLANS HAVE BEEN PREPARED BY CASE DESIGN/ENGINEERING, INC. SOLELY FOR ITS USE AND SHOULD NOT BE RELIED UPON BY ANY OTHER PARTIES

- ### LEGEND - ELECTRICAL
- RECESSED LIGHTING**
- 6 3/4" RECESSED W/ WHITE STEP BAFFLE LIGHTTOLIER
  - "LITECASTER" OR SIM. I.C. BOX REQUIRED IN INSULATION.
  - 1022/1076 WH
  - 5" RECESSED W/ WHITE STEP BAFFLE LIGHTTOLIER
  - "LITECASTER" OR SIM. I.C. BOX REQUIRED IN INSULATION.
  - 1022/1076 WH
  - 6 3/4" RECESSED W/ LOW SLOPE WHITE STEP BAFFLE LIGHTTOLIER "LITECASTER" OR SIM. I.C. BOX REQUIRED IN INSULATION.
  - 1001CN151 WH (5/12 - 7/12 CEILING PITCH)
  - 6 3/4" RECESSED W/ WET LOCATION TRIM AND WHITE LEXAN DIFFUSER
  - (DROPPED) LIGHTTOLIER 1022/1076 LX
- LIGHTING**
- Existing Wall Surface (to remain) (B.O.)
  - Existing (to remain) (B.O.)
  - Flood
  - Fan Puck / under cabinet
  - OUTLETS
  - Existing Standard Switched (to remain)
  - WP
  - Exterior
  - Quad
  - Junction Box
  - Dedicated Circuit
- SWITCHES**
- Existing Single Pole 3 way (to remain)
  - 4 way Dimmer
  - FAN
  - FAN
- COMMUNICATION**
- CATV
  - Telephone Jack
  - Cable/tv
- MISCELLANEOUS**
- Exhaust Fan
  - Fan/Light
  - Heat
  - Existing Thermostat
  - New Thermostat
  - Baseboard
- SAFETY**
- Smoke Detector
- GENERAL NOTE**
- ALL WORK TO CONFORM TO THE NEC AND ALL LOCAL APPLICABLE CODES. EXACT DEVICE LOCATIONS SUBJECT TO JOB CONDITIONS. ALL SURFACE MOUNTED ELECTRICAL FIXTURES TO BE PROVIDED BY OWNER & INSTALLED BY CASE. METER LOCATION TO BE DETERMINED BY LOCAL UTILITY COMPANY.



1 1st FLOOR ELECTRICAL PLAN  
Scale: 1/4" = 1'-0"



2 2nd FLOOR ELECTRICAL PLAN  
Scale: 1/4" = 1'-0"

Front Elevation

Sheet: 07  
15

Scale: 1/4" = 1'-0"

Date: 9/25/14

Drawing Log

9.20.13 - Measure  
7.31.14 - Subwalk  
9.26.14 - Contract

6415 15th Street Alexandria, VA 22307

# Maglaughlin Residence

Proposed Addition Project

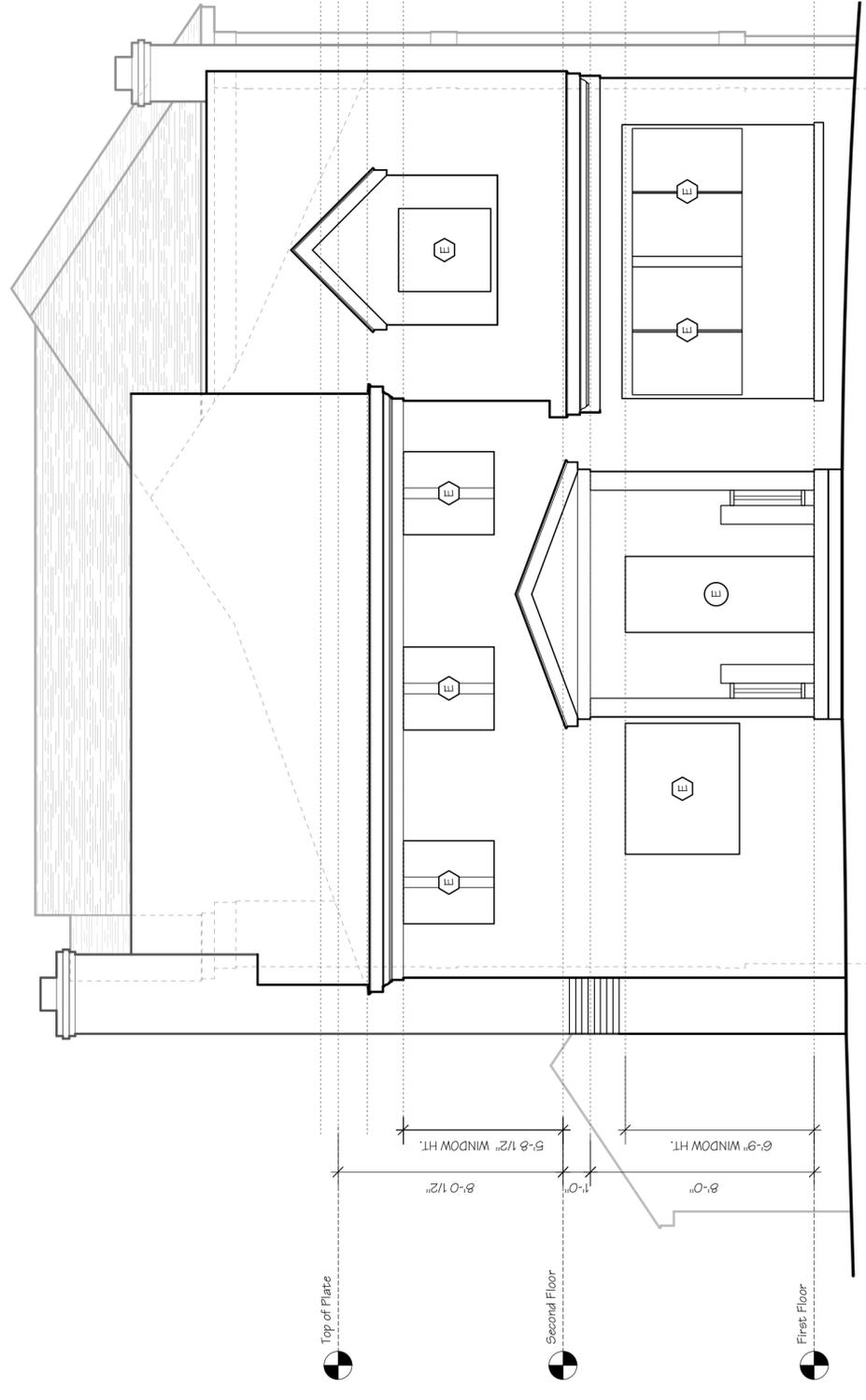
Proj. Number: 1824524	Design: HJ
Development: DV	Management: JM

BECAUSE IT'S YOUR HOME



Bethesda  
 4701 Sangamore Road  
 Falls Church, VA 22046  
 (703) 534-0207  
 (703) 534-0207  
 Bethesda, MD 20816  
 301.229.4600  
 (301) 229.3185

THESE PLANS HAVE BEEN PREPARED BY CASE DESIGN/REMODELING, INC. SOLELY FOR ITS USE AND SHOULD NOT BE RELIED UPON BY ANY OTHER PARTIES.



1 PROPOSED FRONT ELEVATION  
Scale: 1/4" = 1'-0"

- EXTERIOR TRIM:**
- 5/4x6 PVC WINDOW & DOOR CASING
  - 5/4x6 PVC CORNER BOARDS
  - 5/4x10 PVC SKIRT BOARD
  - 5/4x8 BAND BOARD
  - 5/4x8 FRIEZE BOARD
  - WM-47 PVC GROWN AT FRIEZE
  - 5/4x6 PVC RAKE
  - 5/4x6 PVC FASCIA
  - 1x6 PVC RAKE SOFFIT
  - 1x4 PVC SOFFIT w/ 2" CONTINUOUS VENT

Right Side Elevation

08

15

Scale: 1/4" = 1'-0"  
Date: 9/25/14  
Of: 05  
Sheet: 15

Drawing Log

9.20.13 - Measure  
7.31.14 - Subwalk  
9.26.14 - Contract

6415 15th Street Alexandria, VA 22307

# Maglaughlin Residence

Proposed Addition Project

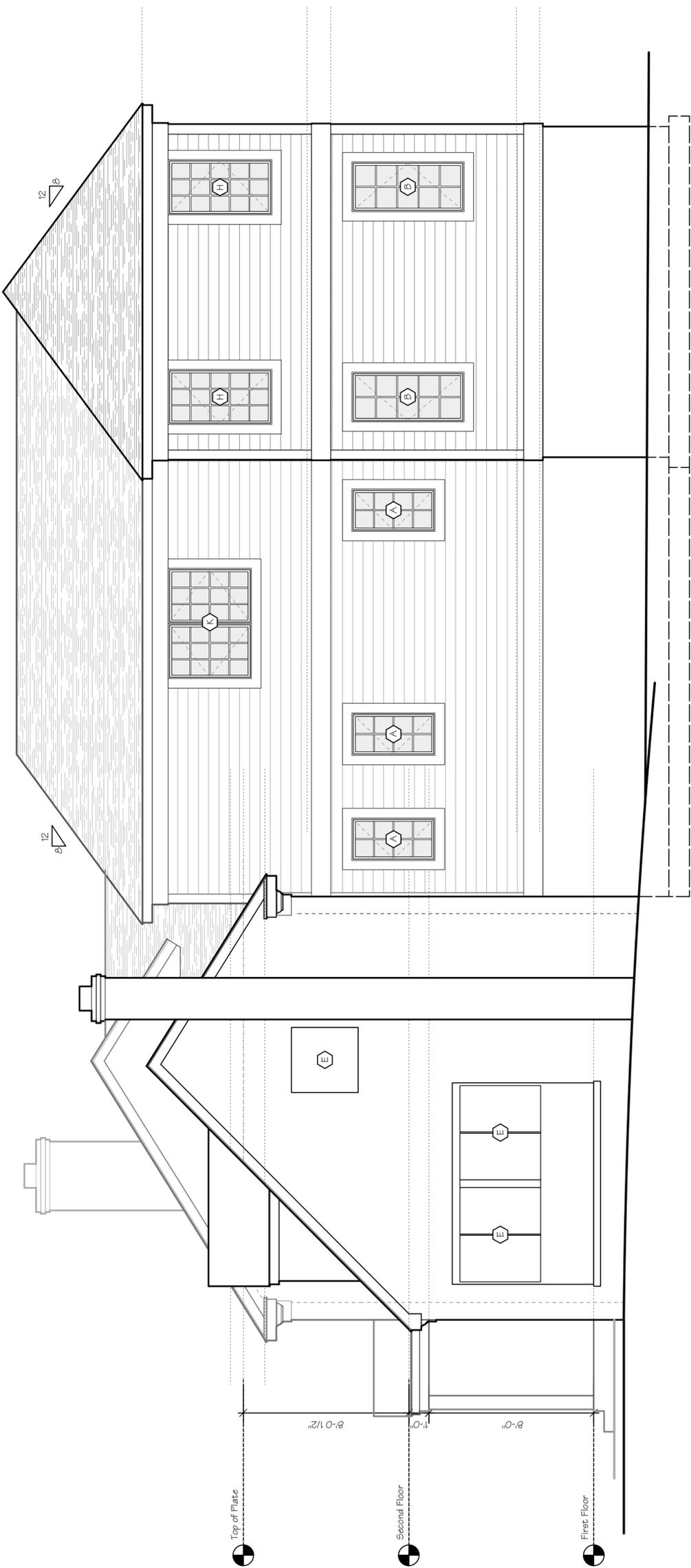
Design:	HJ
Management:	JW
Development:	DV
Proj. Number:	1824524

**CASE**  
BECAUSE IT'S YOUR HOME

Bethesda  
4701 Sangamore Road  
Falls Church, VA 22046  
(P) 703.534.0207  
(F) 301.229.3185

North Plaza, Suite 40  
Bethesda, MD 20816  
(P) 703.241.2980  
(F) 703.534.0207

THESE PLANS HAVE BEEN PREPARED BY CASE DESIGN/REMODELING, INC. SOLELY FOR ITS USE AND SHOULD NOT BE RELIED UPON BY ANY OTHER PARTIES.



1 PROPOSED LEFT ELEVATION  
Scale: 1/4" = 1'-0"

- EXTERIOR TRIM:**
- 5/4x6 PVC WINDOW & DOOR CASING
  - 5/4x6 PVC CORNER BOARDS
  - 5/4x10 PVC SKIRT BOARD
  - 5/4x8 BAND BOARD
  - 5/4x8 FRIEZE BOARD
  - WM-47 PVC CROWN AT FRIEZE
  - 5/4x6 PVC RAKE
  - 5/4x6 PVC FASCIA
  - 1/4 PVC RAKE SOFFIT
  - 1/4 PVC SOFFIT w/ 2" CONTINUOUS VENT

6415 15th Street Alexandria, VA 22307

Proposed Addition Project

# Maglaughlin Residence

Scale:	1/4" = 1'-0"
Sheet:	09
Date:	9/25/14

Drawing Log

9.20.13 - Measure
7.31.14 - Subwalk
9.26.14 - Contract

Proj. Number:	1824524
Design:	HJ
Development:	DV
Management:	JW

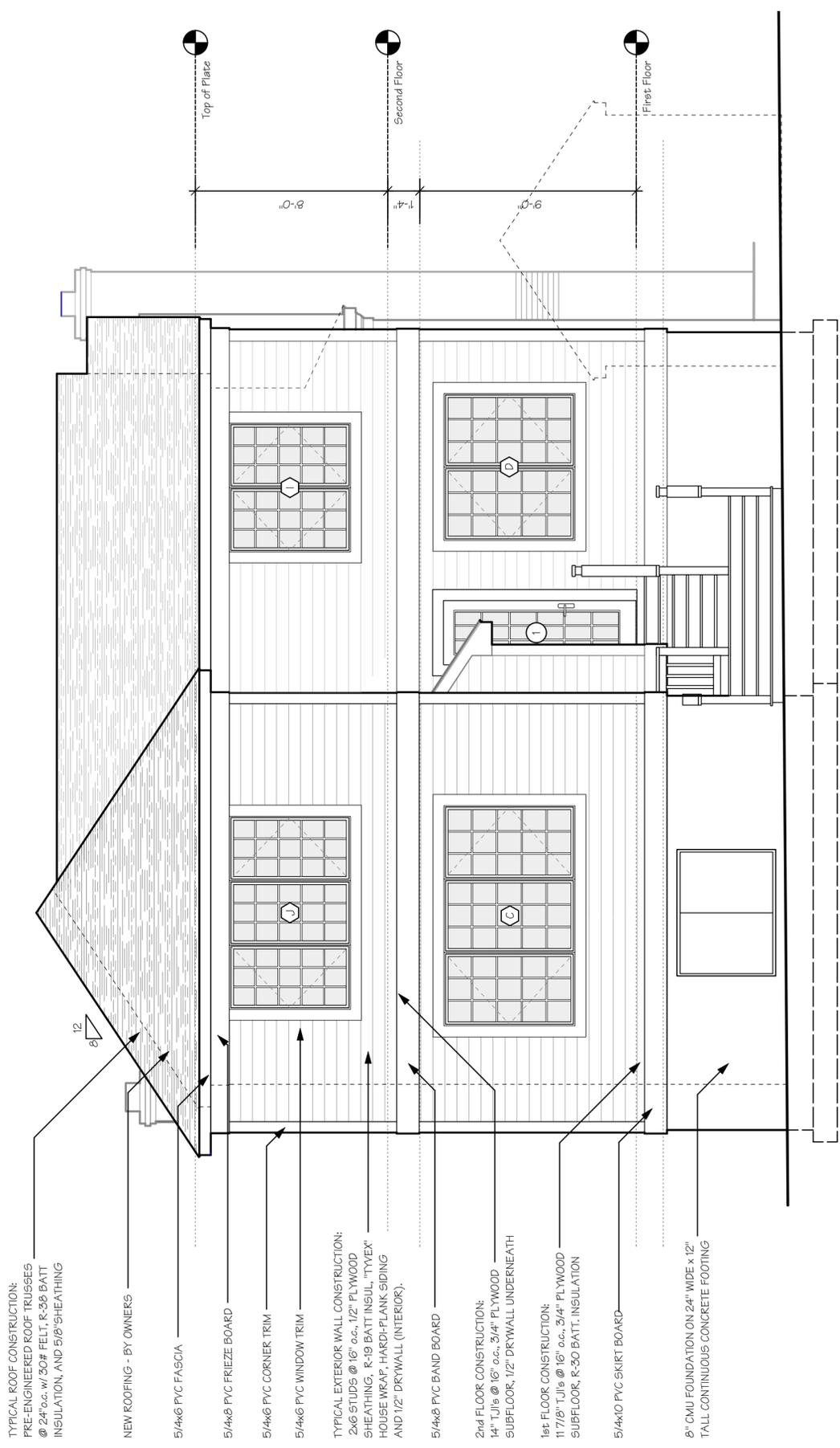
**CASE**  
BECAUSE IT'S YOUR HOME

Bethesda  
4701 Sangamore Road  
Falls Church, VA 22046  
(703) 534-0207

Bethesda, MD 20816  
North Plaza, Suite 40  
Falls Church, VA 22046  
(703) 534-0207

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- EXTERIOR TRIM:**
- 5/4x6 PVC WINDOW & DOOR CASING
  - 5/4x6 PVC CORNER BOARDS
  - 5/4x10 PVC SKIRT BOARD
  - 5/4x8 BAND BOARD
  - 5/4x8 FRIEZE BOARD
  - WM-47 PVC CROWN AT FRIEZE
  - 5/4x8 PVC RAKE
  - 5/4x8 PVC FASO/A
  - 1x6 PVC RAKE SOFFIT
  - 1x4 PVC SOFFIT w/ 2" CONTINUOUS VENT



1 PROPOSED REAR ELEVATION  
Scale: 1/4" = 1'-0"

Scale:	1/4" = 1'-0"
Sheet:	10
Date:	9/25/14
9.20.13 - Measure	06
7.31.14 - Subwalk	15
9.26.14 - Contract	

Drawing Log
-------------

# Maglaughlin Residence

## Proposed Addition Project

6415 15th Street Alexandria, VA 22307

Proj. Number:	1824524
Design:	HJ
Development:	DV
Management:	JW

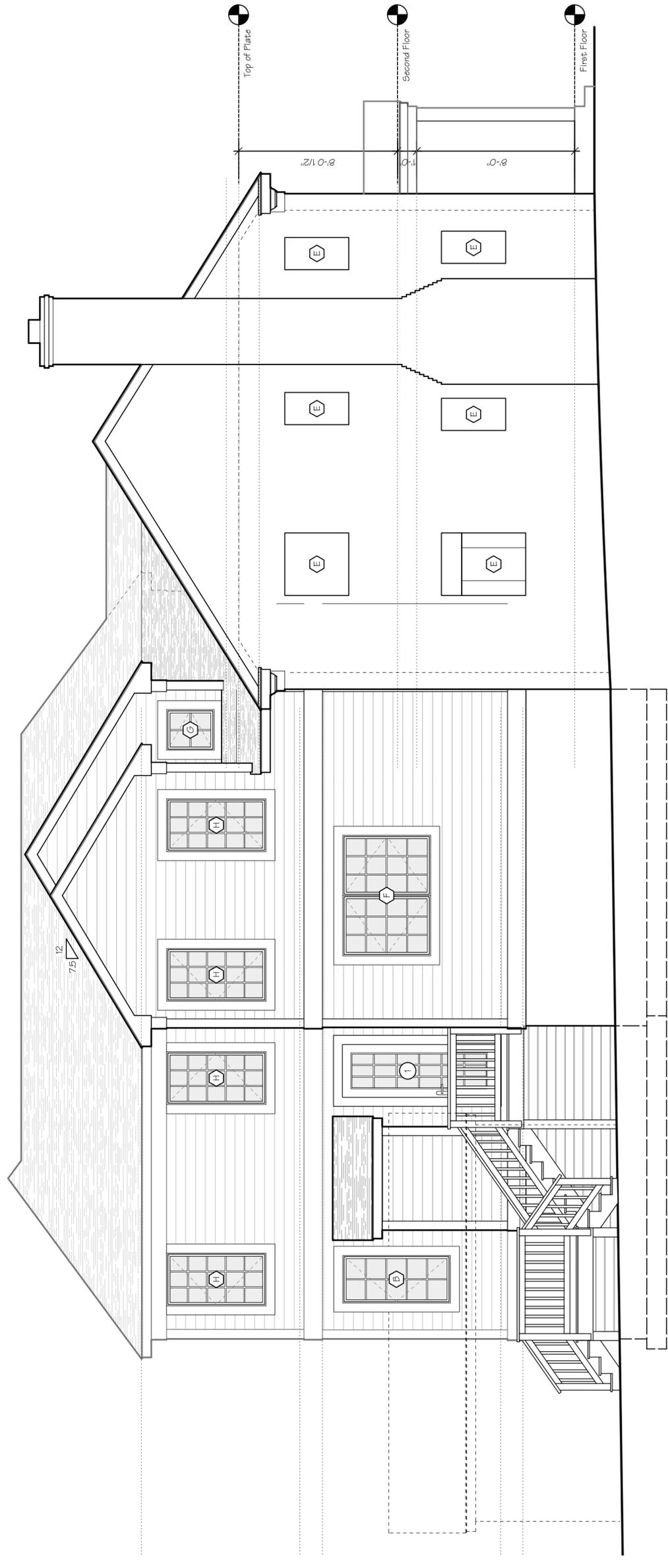
BECAUSE IT'S YOUR HOME



Bethesda  
 4701 Sangamore Road  
 Falls Church, VA 22046  
 (703) 534-0207

Bethesda  
 North Plaza, Suite 40  
 North Falls, MD 20816  
 (301) 229-3395

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1 PROPOSED LEFT ELEVATION  
Scale: 1/4" = 1'-0"

- EXTERIOR TRIM:**
- 5/4x8 PVC WINDOW & DOOR CASING
  - 5/4x8 PVC CORNER BOARDS
  - 5/4x10 PVC SKIRT BOARD
  - 5/4x8 BAND BOARD
  - 5/4x8 FRIEZE BOARD
  - WM-47 PVC CROWN AT FRIEZE
  - 5/4x8 PVC RAKE
  - 5/4x8 PVC FASCIA
  - 1x6 PVC RAKE SOFFIT
  - 1x4 PVC SOFFIT w/ 2" CONTINUOUS VENT

1.



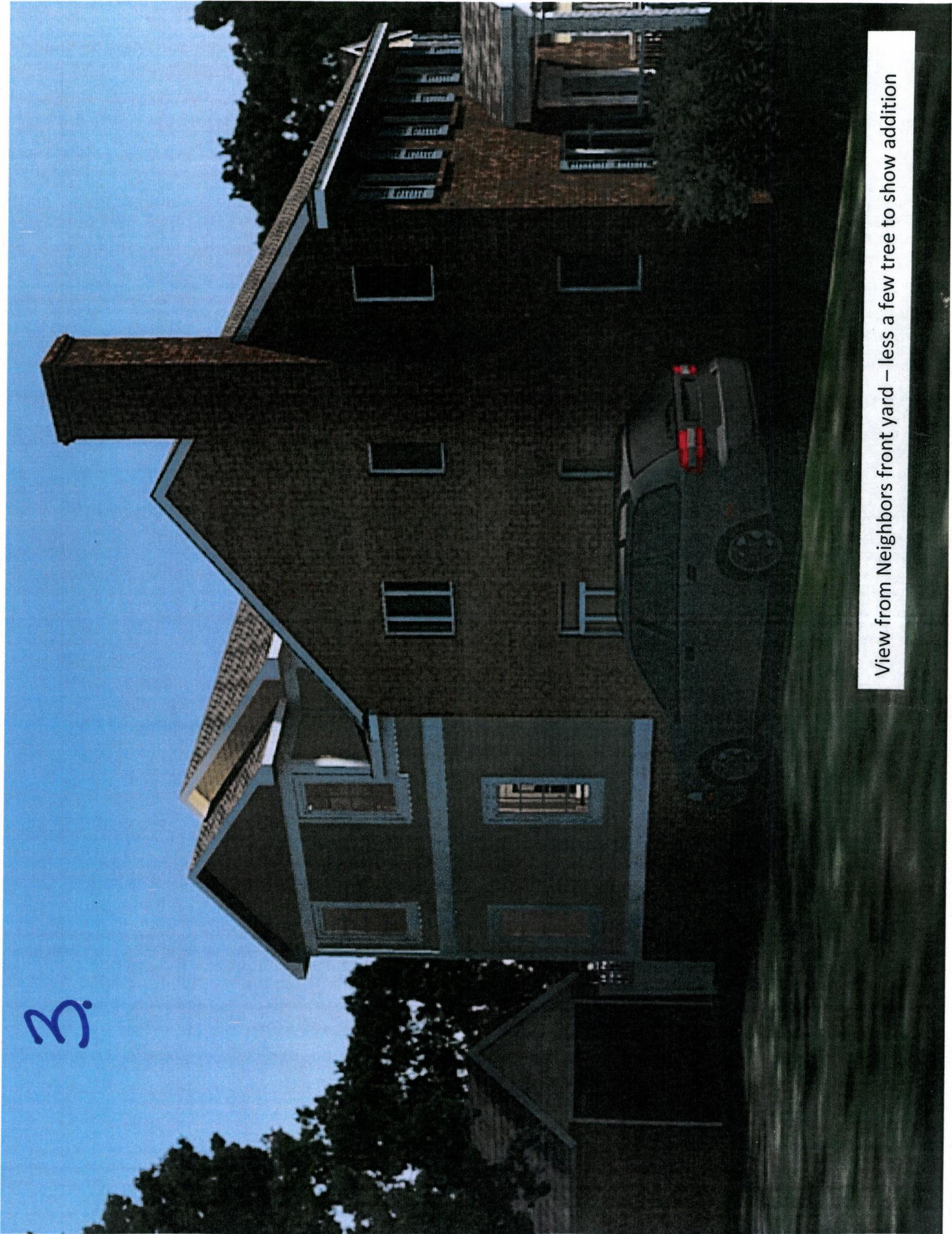
View from Front Yard – Street – trees are approx. locations



2.

View from Front Yard

3.



View from Neighbors front yard – less a few tree to show addition

4.



View from Neighbors front yard – less a few tree to show addition



View from Rear Yard

15.

6.



View from rear with Garage removed **Only** to show addition -

Garage is proposed to remain

**SPECIAL EXCEPTION AFFIDAVIT**

DATE: March 9 2015  
 (enter date affidavit is notarized)

I, David J. Vogt, do hereby state that I am an  
 (enter name of applicant or authorized agent)

127603

(check one)             applicant  
                               applicant's authorized agent listed in Par. 1(a) below

in Application No.(s): SE-2014 -MV-071  
 (enter County-assigned application number(s), e.g. SE 88-V-001)

and that, to the best of my knowledge and belief, the following information is true:

1(a). The following constitutes a listing of the names and addresses of all **APPLICANTS, TITLE OWNERS, CONTRACT PURCHASERS, and LESSEES** of the land described in the application,\* and, if any of the foregoing is a **TRUSTEE,\*\*** each **BENEFICIARY** of such trust, and all **ATTORNEYS** and **REAL ESTATE BROKERS**, and all **AGENTS** who have acted on behalf of any of the foregoing with respect to the application:

**(NOTE:** All relationships to the application listed above in **BOLD** print are to be disclosed. Multiple relationships may be listed together, e.g., **Attorney/Agent, Contract Purchaser/Lessee, Applicant/Title Owner**, etc. For a multiparcel application, list the Tax Map Number(s) of the parcel(s) for each owner(s) in the Relationship column.)

<b>NAME</b> (enter first name, middle initial, and last name)	<b>ADDRESS</b> (enter number, street, city, state, and zip code)	<b>RELATIONSHIP(S)</b> (enter applicable relationships listed in <b>BOLD</b> above)
- Barry Dean Maglaughlin	6415 15th Street Alexandria VA 22307	Applicant Title Owner
- Catherine Cleveland Powell	6415 15th Street Alexandria VA 22307	Applicant Co-Title Owner
- Case Design Remodeling Inc. Agent - David Vogt	4701 Sangamore Road Suite N-40 Bethesda MD 20816	Agent
	701 Park Ave Falls Church VA 22046	
- Alterra Survey, Inc. Agent - Rodney Root	11350 Random Hills Road Suite 430 fairfax VA 22030	Agent

(check if applicable)             There are more relationships to be listed and Par. 1(a) is continued on a "Special Exception Attachment to Par. 1(a)" form.

\* In the case of a condominium, the title owner, contract purchaser, or lessee of 10% or more of the units in the condominium.

\*\* List as follows: Name of trustee, Trustee for (name of trust, if applicable), for the benefit of: (state name of each beneficiary).

SPECIAL EXCEPTION AFFIDAVIT

DATE: March 9 2015  
(enter date affidavit is notarized)

127603

for Application No. (s): SE-2014 -MV-071  
(enter County-assigned application number(s))

1(b). The following constitutes a listing\*\*\* of the **SHAREHOLDERS** of all corporations disclosed in this affidavit who own 10% or more of any class of stock issued by said corporation, and where such corporation has 10 or less shareholders, a listing of all of the shareholders:

**(NOTE: Include SOLE PROPRIETORSHIPS, LIMITED LIABILITY COMPANIES, and REAL ESTATE INVESTMENT TRUSTS herein.)**

CORPORATION INFORMATION

**NAME & ADDRESS OF CORPORATION:** (enter complete name and number, street, city, state, and zip code)  
Case Design Remodeling Inc. Case Design Remodeling Inc.  
4701 Sangamore Road Suite N-40 701 Oark Ave.  
Bethesda MD 20816 Falls Church VA 22046

**DESCRIPTION OF CORPORATION:** (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

**NAMES OF SHAREHOLDERS:** (enter first name, middle initial and last name)

Frederic F Case Chief Executive Officer Owner

(check if applicable)  There is more corporation information and Par. 1(b) is continued on a "Special Exception Affidavit Attachment 1(b)" form.

\*\*\* All listings which include partnerships, corporations, or trusts, to include the names of beneficiaries, must be broken down successively until: (a) only individual persons are listed or (b) the listing for a corporation having more than 10 shareholders has no shareholder owning 10% or more of any class of stock. *In the case of an APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\* of the land that is a partnership, corporation, or trust, such successive breakdown must include a listing and further breakdown of all of its partners, of its shareholders as required above, and of beneficiaries of any trusts. Such successive breakdown must also include breakdowns of any partnership, corporation, or trust owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\* of the land. Limited liability companies and real estate investment trusts and their equivalents are treated as corporations, with members being deemed the equivalent of shareholders; managing members shall also be listed.* Use footnote numbers to designate partnerships or corporations, which have further listings on an attachment page, and reference the same footnote numbers on the attachment page.

Special Exception Attachment to Par. 1(b)

DATE: MARCH 9 2015  
(enter date affidavit is notarized)

127603

for Application No. (s): SE-2014-MV-071  
(enter County-assigned application number (s))

**NAME & ADDRESS OF CORPORATION:** (enter complete name, number, street, city, state, and zip code)

Alterra Surveys, Inc.  
11350 Random Hills Rd #430  
Fairfax, VA 22030

**DESCRIPTION OF CORPORATION:** (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

**NAMES OF THE SHAREHOLDERS:** (enter first name, middle initial, and last name)

Patrick A. Eckert  
Rodney L. Root

**NAME & ADDRESS OF CORPORATION:** (enter complete name, number, street, city, state, and zip code)

**DESCRIPTION OF CORPORATION:** (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

**NAMES OF THE SHAREHOLDERS:** (enter first name, middle initial, and last name)

(check if applicable)  There is more corporation information and Par. 1(b) is continued further on a "Special Exception Attachment to Par. 1(b)" form.

SPECIAL EXCEPTION AFFIDAVIT

DATE: March 9 2015  
(enter date affidavit is notarized)

127603

for Application No. (s): SE-2014 -MV-071  
(enter County-assigned application number(s))

1(c). The following constitutes a listing\*\*\* of all of the PARTNERS, both GENERAL and LIMITED, in any partnership disclosed in this affidavit:

PARTNERSHIP INFORMATION

PARTNERSHIP NAME & ADDRESS: (enter complete name, and number, street, city, state, and zip code)

(check if applicable) [ ] The above-listed partnership has no limited partners.

NAMES AND TITLE OF THE PARTNERS (enter first name, middle initial, last name, and title, e.g. **General Partner, Limited Partner, or General and Limited Partner**)

(check if applicable) [ ] There is more partnership information and Par. 1(c) is continued on a "Special Exception Affidavit Attachment to Par. 1(c)" form.

\*\*\* All listings which include partnerships, corporations, or trusts, to include the names of beneficiaries, must be broken down successively until: (a) only individual persons are listed or (b) the listing for a corporation having more than 10 shareholders has no shareholder owning 10% or more of any class of stock. *In the case of an APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\* of the land that is a partnership, corporation, or trust, such successive breakdown must include a listing and further breakdown of all of its partners, of its shareholders as required above, and of beneficiaries of any trusts. Such successive breakdown must also include breakdowns of any partnership, corporation, or trust owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\* of the land. Limited liability companies and real estate investment trusts and their equivalents are treated as corporations, with members being deemed the equivalent of shareholders; managing members shall also be listed.* Use footnote numbers to designate partnerships or corporations, which have further listings on an attachment page, and reference the same footnote numbers on the attachment page.

SPECIAL EXCEPTION AFFIDAVIT

DATE: March 9 2015  
(enter date affidavit is notarized)

127603

for Application No. (s): SE-2014 -MV-071  
(enter County-assigned application number(s))

1(d). One of the following boxes **must** be checked:

In addition to the names listed in Paragraphs 1(a), 1(b), and 1(c) above, the following is a listing of any and all other individuals who own in the aggregate (directly and as a shareholder, partner, and beneficiary of a trust) 10% or more of the **APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\*** of the land:

Other than the names listed in Paragraphs 1(a), 1(b), and 1(c) above, no individual owns in the aggregate (directly and as a shareholder, partner, and beneficiary of a trust) 10% or more of the **APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\*** of the land.

2. That no member of the Fairfax County Board of Supervisors, Planning Commission, or any member of his or her immediate household owns or has any financial interest in the subject land either individually, by ownership of stock in a corporation owning such land, or through an interest in a partnership owning such land.

**EXCEPT AS FOLLOWS:** (NOTE: If answer is none, enter "NONE" on the line below.)

None

(check if applicable)  There are more interests to be listed and Par. 2 is continued on a "Special Exception Attachment to Par. 2" form.

Application No.(s): SE-2014 -MV-071  
(county-assigned application number(s), to be entered by County Staff)

**SPECIAL EXCEPTION AFFIDAVIT**

DATE: March 9 2015  
(enter date affidavit is notarized)

127603

3. That within the twelve-month period prior to the public hearing of this application, no member of the Fairfax County Board of Supervisors, Planning Commission, or any member of his or her immediate household, either directly or by way of partnership in which any of them is a partner, employee, agent, or attorney, or through a partner of any of them, or through a corporation in which any of them is an officer, director, employee, agent, or attorney or holds 10% or more of the outstanding bonds or shares of stock of a particular class, has, or has had any business or financial relationship, other than any ordinary depositor or customer relationship with or by a retail establishment, public utility, or bank, including any gift or donation having a value of more than \$100, singularly or in the aggregate, with any of those listed in Par. 1 above.

**EXCEPT AS FOLLOWS:** (NOTE: If answer is none, enter "NONE" on line below.)

None

**NOTE:** Business or financial relationships of the type described in this paragraph that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings. See Par. 4 below.)

(check if applicable) [ ] There are more disclosures to be listed and Par. 3 is continued on a "Special Exception Attachment to Par. 3" form.

4. That the information contained in this affidavit is complete, that all partnerships, corporations, and trusts owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\* of the land have been listed and broken down, and that prior to each and every public hearing on this matter, I will reexamine this affidavit and provide any changed or supplemental information, including business or financial relationships of the type described in Paragraph 3 above, that arise on or after the date of this application.

WITNESS the following signature:

(check one) [ ] Applicant [x] Applicant's Authorized Agent

DAVID J. VOGT  
(type or print first name, middle initial, last name, and & title of signee)

Subscribed and sworn to before me this 9 day of March 20 15, in the State/Comm. of Maryland, County/City of Montgomery.

  
Notary Public  
Jan Shant

My commission expires: 10-31-2018





**Group: 95-V -072**

**SE 95-V -072**

**APPLICANT:** STEVE VALENTINE  
**STATUS:** APPLICATION APPROVED  
**STATUS/DECISION DTE:** 07/22/1996  
**R- 3**  
**ZONING DISTRICT:**  
**DESCRIPTION:** USES IN A FLOODPLAIN  
**LOCATION:** 6412 WOOD HAVEN ROAD, ALEXANDRIA, VA  
**TAX MAP #S:**  
0834 02360032 0834 02360031

**SEA 95-V -072**

**APPLICANT:** BRUCE M MACHANIC  
**STATUS:** APPLICATION APPROVED  
**STATUS/DECISION DTE:** 11/19/2001  
**R- 3**  
**ZONING DISTRICT:**  
**DESCRIPTION:** AMEND SE 95-V-072 PREVIOUSLY APPROVED FOR USES IN A FLOODPLAIN TO PERMIT INCREASE IN LAND AREA AND BUILDING ADDITION  
**LOCATION:** FAIRFAX COUNTY  
**TAX MAP #S:**  
0834 02360032A 0834 02360032 0834 02360031

**Group: 98-V -048**

**SE 98-V -048**

**APPLICANT:** AUDET, ROBERT D.  
**STATUS:** APPLICATION APPROVED  
**STATUS/DECISION DTE:** 03/22/1999  
**R- 3**  
**ZONING DISTRICT:**  
**DESCRIPTION:** USES IN A FLOODPLAIN  
**LOCATION:** 6400 WOOD HAVEN ROAD  
**TAX MAP #S:**  
0834 02360018 0834 02360017A 0834 02360017

**Group: 2005-MV-024**

**SE 2005-MV-024**

**APPLICANT:** PROSPECT DEVELOPMENT CO., INC.  
**STATUS:** APPLICATION APPROVED  
**STATUS/DECISION DTE:** 03/13/2006  
**R- 3**  
**ZONING DISTRICT:**  
**DESCRIPTION:** USES IN A FLOODPLAIN  
**LOCATION:** 6414 BOULEVARD VIEW  
**TAX MAP #S:**  
0834 02430027

**Group:**

**APPLICANT:** JOHN B. LOGRANDE  
**STATUS:** RECEIVED  
**STATUS/DECISION DTE:** 06/22/2005  
**R- 3**  
**ZONING DISTRICT:**

**DESCRIPTION:** TO AMEND SE 78-V-115 PREVIOUSLY APPROVED FOR USES IN AFLOODPLAIN TO PERMIT BUILDING ADDITION  
**LOCATION:** 1212 I STREET  
**TAX MAP #S:**  
0932 08380030

**Group: 01-V -033**

**SE 01-V -033**

**APPLICANT:** F & M TRUST COMPANY  
**STATUS:** APPLICATION APPROVED  
**STATUS/DECISION DTE:** 03/01/2002  
R- 3  
**ZONING DISTRICT:**  
**DESCRIPTION:** USES IN FLOODPLAIN  
**LOCATION:** 1208 I STREET, ALEXANDRIA, VA 22307  
**TAX MAP #S:**  
0932 08440040 0932 08440039

**Group: 78-V -115**

**SEA 78-V -115**

**APPLICANT:** JOHN B. LOGRANDE  
**STATUS:** APPLICATION APPROVED  
**STATUS/DECISION DTE:** 01/09/2006  
R- 3  
**ZONING DISTRICT:**  
**DESCRIPTION:** TO AMEND SE 78-V-115 PREVIOUSLY APPROVED FOR USES IN AFLOODPLAIN TO PERMIT BUILDING ADDITION AND MODIFICATIONS TO DEVELOPMENT CONDITIONS  
**LOCATION:** 1212 I STREET  
**TAX MAP #S:**  
0932 08380030

**Group: 85-V -105**

**SE 85-V -105**

**APPLICANT:** CREECH, RON H.  
**STATUS:** APPLICATION APPROVED  
**STATUS/DECISION DTE:** 02/10/1986  
R- 3  
**ZONING DISTRICT:**  
**DESCRIPTION:** SINGLE FAMILY DWELLING WITH DETACHED GARAGE IN FLOODPLAIN  
**LOCATION:** 6424 ELEVENTH STREET  
**TAX MAP #S:**  
0932 08370027 0932 08370026 0932 08370025

**Group: 91-V -002**

**SE 91-V -002**

**APPLICANT:** PATON, JOHN & SHARON  
**STATUS:** APPLICATION APPROVED  
**STATUS/DECISION DTE:** 08/05/1991  
R- 3  
**ZONING DISTRICT:**  
**DESCRIPTION:** USE IN A FLOODPLAIN - FILL AND CONSTRUCTION OF SINGLEFAMILY DWELLING  
**LOCATION:** 6417 ELEVENTH STREET  
**TAX MAP #S:**  
0932 08380014 0932 08380013 0932 08380012

**Group: 94-V -039**

**SE 94-V -039**

**APPLICANT:** STEVE VALENTINE  
**STATUS:** APPLICATION APPROVED  
**STATUS/DECISION DTE:** 12/12/1994  
R- 3  
**ZONING DISTRICT:**  
**DESCRIPTION:** FILL IN A FLOODPLAIN FOR RESIDENTIAL DEVELOPMENT 6422 WOOD HAVEN RD. RUP ISS'D 11/18/96;  
NO ACTION ON 6420.  
**LOCATION:** 6420 & 6422 WOOD HAVEN ROAD, ALEXANDRIA, VA  
**TAX MAP #S:**  
0932 08370024 0932 08370023 0932 08370022  
0932 08370021 0932 08370020

**Group: 97-V -018**

**SE 97-V -018**

**APPLICANT:** ROBERT A TIMMONS  
**STATUS:** APPLICATION APPROVED  
**STATUS/DECISION DTE:** 09/08/1997  
R- 3  
**ZONING DISTRICT:**  
**DESCRIPTION:** USES IN A FLOODPLAIN  
**LOCATION:** 6425 TENTH STREET -- FORMERLY 1210A I STREET  
**TAX MAP #S:**  
0932 08440003 0932 08440002 0932 08440001

**Group: 2003-MV-042**

**SE 2003-MV-042**

**APPLICANT:** H. BRADFORD GLASSMAN AND FAIRFAX CO. BD. OF SUPERVISORS  
**STATUS:** APPLICATION APPROVED  
**STATUS/DECISION DTE:** 03/15/2004  
R- 3  
**ZONING DISTRICT:**  
**DESCRIPTION:** USES IN A FLOODPLAIN  
**LOCATION:** 6428 POTOMAC AVENUE  
**TAX MAP #S:**  
0932 08270031

**Group: 2004-MV-009**

**SE 2004-MV-009**

**APPLICANT:** JOHN F. KELLY & FAIRFAX COUNTY BOARD OF SUPERVISORS  
**STATUS:** APPLICATION APPROVED  
**STATUS/DECISION DTE:** 07/12/2004  
R- 3  
**ZONING DISTRICT:**  
**DESCRIPTION:** FOR USES IN A FLOODPLAIN TO PERMIT REPLACEMENT OF AN EXISTING DWELLING  
**LOCATION:** 6423 THIRTEENTH STREET  
**TAX MAP #S:**  
0932 08270001

## Group: 2004-MV-010

### SE 2004-MV-010

**APPLICANT:** JERRY L. WINCHESTER AND FAIRFAX COUNTY BOARD OF SUPERVISORS  
**STATUS:** APPLICATION APPROVED  
**STATUS/DECISION** 06/21/2004  
**DTE:** R- 3  
**ZONING DISTRICT:**  
**DESCRIPTION:** USES IN A FLOODPLAIN  
**LOCATION:** 6430 FOURTEENTH STREET  
**TAX MAP #S:**  
0932 08100031

### SEA 2004-MV-010

**APPLICANT:** JERRY L. WINCHESTER  
**STATUS:** APPLICATION APPROVED  
**STATUS/DECISION** 02/28/2005  
**DTE:** R- 3  
**ZONING DISTRICT:**  
**DESCRIPTION:** AMEND SE 2004-MV-010 PREVIOUSLY APPROVED FOR USES IN THE FLOODPLAIN TO PERMIT REDUCTION OF YARD REQUIREMENTS FOR THE RECONSTRUCTION OF CERTAIN SINGLE FAMILY DETACHED DWELLINGS THAT ARE DESTROYED BY CASUALTY  
**LOCATION:** 6430 FOURTEENTH STREET  
**TAX MAP #S:**  
0932 08100031

## Group: 2004-MV-029

### SE 2004-MV-029

**APPLICANT:** LINDA K REMICK AND BOARD OF SUPERVISORS  
**STATUS:** APPLICATION APPROVED  
**STATUS/DECISION** 12/06/2004  
**DTE:** R- 3  
**ZONING DISTRICT:**  
**DESCRIPTION:** USE IN A FLOODPLAIN  
**LOCATION:** 6418 13TH STREET  
**TAX MAP #S:**  
0932 08260021

## Group: 2011-MV-012

### SE 2011-MV-012

**APPLICANT:** REDPATH DEVELOPMENT LLC  
**STATUS:** APPLICATION APPROVED  
**STATUS/DECISION** 05/01/2012  
**DTE:** R- 3  
**ZONING DISTRICT:**  
**DESCRIPTION:** USES IN A FLOODPLAIN  
**LOCATION:** 6415 13TH STREET  
**TAX MAP #S:**  
0932 08270013

**Group: 2014-MV-019**

**SE 2014-MV-019**

**APPLICANT:** QIN H. ZHENG  
**STATUS:** DEFERRED INDEFINITELY  
**STATUS/DECISION** 12/04/2014  
**DTE:** R- 3  
**ZONING DISTRICT:**  
**DESCRIPTION:** FILL IN FLOODPLAIN  
**LOCATION:** 6430 WOOD HAVEN ROAD, ALEXANDRIA, VA 22307  
**TAX MAP #S:**  
0932 08370028A

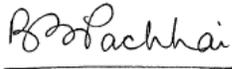


## County of Fairfax, Virginia

**MEMORANDUM**

DATE: December 22, 2014

TO: Carmen Bishop, Staff Coordinator  
Zoning Evaluation Division  
Department of Planning and Zoning

FROM: Bel Pachhai, PE, CFM, Senior Engineer III   
Site Development and Inspections Division  
Department of Public Works and Environmental Services

SUBJECT: SE 2014-MV-071: 9792-ZONA-002-1; Mount Vernon District

We have reviewed the subject application and offer the following stormwater management comments.

Chesapeake Bay Preservation Ordinance (CBPO)

The whole property is in the Resource Protection Areas (RPA). Since the total addition proposed with this application is 980 sq. ft., a RPA walk through minor addition permit is required if there was no any addition in the past.

Floodplain

The proposed addition is located in a regulated floodplain. Special Exception approval through the board is required if the cost of addition is more than 50% of the cost of existing structures or the GFA of proposed addition is more than 100% of the existing GFA at grade.

cc: Don Demetrius, Chief, Watershed Projects Evaluation Branch, SPD, DPWES  
Fred Rose, Chief, Watershed Planning & Assessment Branch, SPD, DPWES  
Bijan Sistani, Chief, South Branch, SDID, DPWES  
Zoning Application File



# County of Fairfax, Virginia

## MEMORANDUM

**DATE:** December 23, 2014  
Amended March 12, 2015

**TO:** Carmen Bishop, Staff Coordinator  
Zoning Evaluation Division, DPZ

**FROM:** Jay Banks, Urban Forester II  
Forest Conservation Branch, DPWES

**SUBJECT:** New Alexandria, Block 10, Lots Pt 11, 12, 13, SE 2014-MV-071

The comments below are based on a review of the Special Exception SE 2014-MV-071 application. The application is stamped "Received, Department of Planning and Zoning, November 4, 2014"; a Statement of Justification stamped, "Received, Department of Planning and Zoning, Jun 5, 2014; and Special exception Plat stamped, "Received, Department of Planning and Zoning, November 10, 2014. A site visit was conducted on December 16, 2014 as part of the review for this application.

1. **Comment:** Two holly trees exist within the footprint of the proposed addition and will be removed.

**Recommendation:** Replace the two holly trees with two 6-7 foot American holly trees or two other Category II evergreen or deciduous trees.

2. **Comment:** There are several large mature trees on site and they should be protected from construction impacts.

**Recommendation:** The Special Exception should be conditioned to confine the proposed addition construction activities so as not to exceed the proposed limits of work area. Such as "The proposed Limits of the Work Area shall be strictly adhered to. No work activities, stock piles, construction materials or other construction related materials shall be allowed outside the Limits of Work Area as depicted on the Special Exception Plat, Dated 10/23/2014".

3. **Comment:** The property line to the south may need additional plant material for screening. Due to overhead utilities in this area the use of smaller maturing evergreen trees should be considered for planting.

**Recommendation:** At a minimum two Category I evergreen trees, such as Nellie Stevens' holly (*Ilex x Nellie Stevens*) or American arborvitae (*Thuja occidentalis*)

Department of Public Works and Environmental Services  
Urban Forest Management Division

12055 Government Center Parkway, Suite 518  
Fairfax, Virginia 22035-5503  
Phone 703-324-1770, TTY: 711, Fax: 703-653-9550  
[www.fairfaxcounty.gov/dpwes](http://www.fairfaxcounty.gov/dpwes)



‘Nigra’), with a height of 8 feet at time of planting, should be planted along the southern property boundary.

If you have any questions, please feel free to contact me directly at 730-324-1770.

JB/

UFMDID #: 198320

cc: DPZ File



## GLOSSARY

This Glossary is provided to assist the public in understanding the staff evaluation and analysis of development proposals. It should not be construed as representing legal definitions. Refer to the Fairfax County Zoning Ordinance, Comprehensive Plan or Public Facilities Manual for additional information.

**ABANDONMENT:** Refers to road or street abandonment, an action taken by the Board of Supervisors, usually through the public hearing process, to abolish the public's right-of-passage over a road or road right-of way. Upon abandonment, the right-of-way automatically reverts to the underlying fee owners. If the fee to the owner is unknown, Virginia law presumes that fee to the roadbed rests with the adjacent property owners if there is no evidence to the contrary.

**ACCESSORY DWELLING UNIT (OR APARTMENT):** A secondary dwelling unit established in conjunction with and clearly subordinate to a single family detached dwelling unit. An accessory dwelling unit may be allowed if a special permit is granted by the Board of Zoning Appeals (BZA). Refer to Sect. 8-918 of the Zoning Ordinance.

**AFFORDABLE DWELLING UNIT (ADU) DEVELOPMENT:** Residential development to assist in the provision of affordable housing for persons of low and moderate income in accordance with the affordable dwelling unit program and in accordance with Zoning Ordinance regulations. Residential development which provides affordable dwelling units may result in a density bonus (see below) permitting the construction of additional housing units. See Part 8 of Article 2 of the Zoning Ordinance.

**AGRICULTURAL AND FORESTAL DISTRICTS:** A land use classification created under Chapter 114 or 115 of the Fairfax County Code for the purpose of qualifying landowners who wish to retain their property for agricultural or forestal use for use/value taxation pursuant to Chapter 58 of the Fairfax County Code.

**BARRIER:** A wall, fence, earthen berm, or plant materials which may be used to provide a physical separation between land uses. Refer to Article 13 of the Zoning Ordinance for specific barrier requirements.

**BEST MANAGEMENT PRACTICES (BMPs):** Stormwater management techniques or land use practices that are determined to be the most effective, practicable means of preventing and/or reducing the amount of pollution generated by nonpoint sources in order to improve water quality.

**BUFFER:** Graduated mix of land uses, building heights or intensities designed to mitigate potential conflicts between different types or intensities of land uses; may also provide for a transition between uses. A landscaped buffer may be an area of open, undeveloped land and may include a combination of fences, walls, berms, open space and/or landscape plantings. A buffer is not necessarily coincident with transitional screening.

**CHESAPEAKE BAY PRESERVATION ORDINANCE:** Regulations which the State has mandated must be adopted to protect the Chesapeake Bay and its tributaries. These regulations must be incorporated into the comprehensive plans, zoning ordinances and subdivision ordinances of the affected localities. Refer to Chesapeake Bay Preservation Act, Va. Code Section 10.1-2100 et seq and VR 173-02-01, Chesapeake Bay Preservation Area Designation and Management Regulations.

**CLUSTER DEVELOPMENT:** Residential development in which the lots are clustered on a portion of a site so that significant environmental/historical/cultural resources may be preserved or recreational amenities provided. While smaller lot sizes are permitted in a cluster subdivision to preserve open space, the overall density cannot exceed that permitted by the applicable zoning district. See Sect. 2-421 and Sect. 9-615 of the Zoning Ordinance.

**COUNTY 2232 REVIEW PROCESS:** A public hearing process pursuant to Sect. 15.2-2232 (Formerly Sect. 15.1-456) of the Virginia Code which is used to determine if a proposed public facility not shown on the adopted Comprehensive Plan is in substantial accord with the plan. Specifically, this process is used to determine if the general or approximate location, character and extent of a proposed facility is in substantial accord with the Plan.

**dBA:** The momentary magnitude of sound weighted to approximate the sensitivity of the human ear to certain frequencies; the dBA value describes a sound at a given instant, a maximum sound level or a steady state value. See also Ldn.

**DENSITY:** Number of dwelling units (du) divided by the gross acreage (ac) of a site being developed in residential use; or, the number of dwelling units per acre (du/ac) except in the PRC District when density refers to the number of persons per acre.

**DENSITY BONUS:** An increase in the density otherwise allowed in a given zoning district which may be granted under specific provisions of the Zoning Ordinance when a developer provides excess open space, recreation facilities, or affordable dwelling units (ADUs), etc.

**DEVELOPMENT CONDITIONS:** Terms or conditions imposed on a development by the Board of Supervisors (BOS) or the Board of Zoning Appeals (BZA) in connection with approval of a special exception, special permit or variance application or rezoning application in a "P" district. Conditions may be imposed to mitigate adverse impacts associated with a development as well as secure compliance with the Zoning Ordinance and/or conformance with the Comprehensive Plan. For example, development conditions may regulate hours of operation, number of employees, height of buildings, and intensity of development.

**DEVELOPMENT PLAN:** A graphic representation which depicts the nature and character of the development proposed for a specific land area: information such as topography, location and size of proposed structures, location of streets trails, utilities, and storm drainage are generally included on a development plan. A development plan is a submission requirement for rezoning to the PRC District. A **GENERALIZED DEVELOPMENT PLAN (GDP)** is a submission requirement for a rezoning application for all conventional zoning districts other than a P District. A development plan submitted in connection with a special exception (SE) or special permit (SP) is generally referred to as an SE or SP plat. A **CONCEPTUAL DEVELOPMENT PLAN (CDP)** is a submission requirement when filing a rezoning application for a P District other than the PRC District; a CDP characterizes in a general way the planned development of the site. A **FINAL DEVELOPMENT PLAN (FDP)** is a submission requirement following the approval of a conceptual development plan and rezoning application for a P District other than the PRC District; an FDP further details the planned development of the site. See Article 16 of the Zoning Ordinance.

**EASEMENT:** A right to or interest in property owned by another for a specific and limited purpose. Examples: access easement, utility easement, construction easement, etc. Easements may be for public or private purposes.

**ENVIRONMENTAL QUALITY CORRIDORS (EQCs):** An open space system designed to link and preserve natural resource areas, provide passive recreation and protect wildlife habitat. The system includes stream valleys, steep slopes and wetlands. For a complete definition of EQCs, refer to the Environmental section of the Policy Plan for Fairfax County contained in Vol. 1 of the Comprehensive Plan.

**ERODIBLE SOILS:** Soils that wash away easily, especially under conditions where stormwater runoff is inadequately controlled. Silt and sediment are washed into nearby streams, thereby degrading water quality.

**FLOODPLAIN:** Those land areas in and adjacent to streams and watercourses subject to periodic flooding; usually associated with environmental quality corridors. The 100 year floodplain drains 70 acres or more of land and has a one percent chance of flood occurrence in any given year.

**FLOOR AREA RATIO (FAR):** An expression of the amount of development intensity (typically, non-residential uses) on a specific parcel of land. FAR is determined by dividing the total square footage of gross floor area of buildings on a site by the total square footage of the site itself.

**FUNCTIONAL CLASSIFICATION:** A system for classifying roads in terms of the character of service that individual facilities are providing or are intended to provide, ranging from travel mobility to land access. Roadway system functional classification elements include Freeways or Expressways which are limited access highways, Other Principal (or Major) Arterials, Minor Arterials, Collector Streets, and Local Streets. Principal arterials are designed to accommodate travel; access to adjacent properties is discouraged. Minor arterials are designed to serve both through traffic and local trips. Collector roads and streets link local streets and properties with the arterial network. Local streets provide access to adjacent properties.

**GEOTECHNICAL REVIEW:** An engineering study of the geology and soils of a site which is submitted to determine the suitability of a site for development and recommends construction techniques designed to overcome development on problem soils, e.g., marine clay soils.

**HYDROCARBON RUNOFF:** Petroleum products, such as motor oil, gasoline or transmission fluid deposited by motor vehicles which are carried into the local storm sewer system with the stormwater runoff, and ultimately, into receiving streams; a major source of non-point source pollution. An oil-grit separator is a common hydrocarbon runoff reduction method.

**IMPERVIOUS SURFACE:** Any land area covered by buildings or paved with a hard surface such that water cannot seep through the surface into the ground.

**INFILL:** Development on vacant or underutilized sites within an area which is already mostly developed in an established development pattern or neighborhood.

**INTENSITY:** The magnitude of development usually measured in such terms as density, floor area ratio, building height, percentage of impervious surface, traffic generation, etc. Intensity is also based on a comparison of the development proposal against environmental constraints or other conditions which determine the carrying capacity of a specific land area to accommodate development without adverse impacts.

**Ldn:** Day night average sound level. It is the twenty-four hour average sound level expressed in A-weighted decibels; the measurement assigns a "penalty" to night time noise to account for night time sensitivity. Ldn represents the total noise environment which varies over time and correlates with the effects of noise on the public health, safety and welfare.

**LEVEL OF SERVICE (LOS):** An estimate of the effectiveness of a roadway to carry traffic, usually under anticipated peak traffic conditions. Level of Service efficiency is generally characterized by the letters A through F, with LOS-A describing free flow traffic conditions and LOS-F describing jammed or grid-lock conditions.

**MARINE CLAY SOILS:** Soils that occur in widespread areas of the County generally east of Interstate 95. Because of the abundance of shrink-swell clays in these soils, they tend to be highly unstable. Many areas of slope failure are evident on natural slopes. Construction on these soils may initiate or accelerate slope movement or slope failure. The shrink-swell soils can cause movement in structures, even in areas of flat topography, from dry to wet seasons resulting in cracked foundations, etc. Also known as slippage soils.

**OPEN SPACE:** That portion of a site which generally is not covered by buildings, streets, or parking areas. Open space is intended to provide light and air; open space may function as a buffer between land uses or for scenic, environmental, or recreational purposes.

**OPEN SPACE EASEMENT:** An easement usually granted to the Board of Supervisors which preserves a tract of land in open space for some public benefit in perpetuity or for a specified period of time. Open space easements may be accepted by the Board of Supervisors, upon request of the land owner, after evaluation under criteria established by the Board. See Open Space Land Act, Code of Virginia, Sections 10.1-1700, et seq.

**P DISTRICT:** A "P" district refers to land that is planned and/or developed as a Planned Development Housing (PDH) District, a Planned Development Commercial (PDC) District or a Planned Residential Community (PRC) District. The PDH, PDC and PRC Zoning Districts are established to encourage innovative and creative design for land development; to provide ample and efficient use of open space; to promote a balance in the mix of land uses, housing types, and intensity of development; and to allow maximum flexibility in order to achieve excellence in physical, social and economic planning and development of a site. Refer to Articles 6 and 16 of the Zoning Ordinance.

**PROFFER:** A written condition, which, when offered voluntarily by a property owner and accepted by the Board of Supervisors in a rezoning action, becomes a legally binding condition which is in addition to the zoning district regulations applicable to a specific property. Proffers are submitted and signed by an owner prior to the Board of Supervisors public hearing on a rezoning application and run with the land. Once accepted by the Board, proffers may be modified only by a proffered condition amendment (PCA) application or other zoning action of the Board and the hearing process required for a rezoning application applies. See Sect. 15.2-2303 (formerly 15.1-491) of the Code of Virginia.

**PUBLIC FACILITIES MANUAL (PFM):** A technical text approved by the Board of Supervisors containing guidelines and standards which govern the design and construction of site improvements incorporating applicable Federal, State and County Codes, specific standards of the Virginia Department of Transportation and the County's Department of Public Works and Environmental Services.

**RESOURCE MANAGEMENT AREA (RMA):** That component of the Chesapeake Bay Preservation Area comprised of lands that, if improperly used or developed, have a potential for causing significant water quality degradation or for diminishing the functional value of the Resource Protection Area. See Fairfax County Code, Ch. 118, Chesapeake Bay Preservation Ordinance.

**RESOURCE PROTECTION AREA (RPA):** That component of the Chesapeake Bay Preservation Area comprised of lands at or near the shoreline or water's edge that have an intrinsic water quality value due to the ecological and biological processes they perform or are sensitive to impacts which may result in significant degradation of the quality of state waters. In their natural condition, these lands provide for the removal, reduction or assimilation of sediments from runoff entering the Bay and its tributaries, and minimize the adverse effects of human activities on state waters and aquatic resources. New development is generally discouraged in an RPA. See Fairfax County Code, Ch. 118, Chesapeake Bay Preservation Ordinance.

**SITE PLAN:** A detailed engineering plan, to scale, depicting the development of a parcel of land and containing all information required by Article 17 of the Zoning Ordinance. Generally, submission of a site plan to DPWES for review and approval is required for all residential, commercial and industrial development except for development of single family detached dwellings. The site plan is required to assure that development complies with the Zoning Ordinance.

**SPECIAL EXCEPTION (SE) / SPECIAL PERMIT (SP):** Uses, which by their nature, can have an undue impact upon or can be incompatible with other land uses and therefore need a site specific review. After review, such uses may be allowed to locate within given designated zoning districts if appropriate and only under special controls, limitations, and regulations. A special exception is subject to public hearings by the Planning Commission and Board of Supervisors with approval by the Board of Supervisors; a special permit requires a public hearing and approval by the Board of Zoning Appeals. Unlike proffers which are voluntary, the Board of Supervisors or BZA may impose reasonable conditions to assure, for example, compatibility and safety. See Article 8, Special Permits and Article 9, Special Exceptions, of the Zoning Ordinance.

**STORMWATER MANAGEMENT:** Engineering practices that are incorporated into the design of a development in order to mitigate or abate adverse water quantity and water quality impacts resulting from development. Stormwater management systems are designed to slow down or retain runoff to re-create, as nearly as possible, the pre-development flow conditions.

**SUBDIVISION PLAT:** The engineering plan for a subdivision of land submitted to DPWES for review and approved pursuant to Chapter 101 of the County Code.

**TRANSPORTATION DEMAND MANAGEMENT (TDM):** Actions taken to reduce single occupant vehicle automobile trips or actions taken to manage or reduce overall transportation demand in a particular area.

**TRANSPORTATION SYSTEM MANAGEMENT (TSM) PROGRAMS:** This term is used to describe a full spectrum of actions that may be applied to improve the overall efficiency of the transportation network. TSM programs usually consist of low-cost alternatives to major capital expenditures, and may include parking management measures, ridesharing programs, flexible or staggered work hours, transit promotion or operational improvements to the existing roadway system. TSM includes Transportation Demand Management (TDM) measures as well as H.O.V. use and other strategies associated with the operation of the street and transit systems.

**URBAN DESIGN:** An aspect of urban or suburban planning that focuses on creating a desirable environment in which to live, work and play. A well-designed urban or suburban environment demonstrates the four generally accepted principles of design: clearly identifiable function for the area; easily understood order; distinctive identity; and visual appeal.

**VACATION:** Refers to vacation of street or road as an action taken by the Board of Supervisors in order to abolish the public's right-of-passage over a road or road right-of-way dedicated by a plat of subdivision. Upon vacation, title to the road right-of-way transfers by operation of law to the owner(s) of the adjacent properties within the subdivision from whence the road/road right-of-way originated.

**VARIANCE:** An application to the Board of Zoning Appeals which seeks relief from a specific zoning regulation such as lot width, building height, or minimum yard requirements, among others. A variance may only be granted by the Board of Zoning Appeals through the public hearing process and upon a finding by the BZA that the variance application meets the required Standards for a Variance set forth in Sect. 18-404 of the Zoning Ordinance.

**WETLANDS:** Land characterized by wetness for a portion of the growing season. Wetlands are generally delineated on the basis of physical characteristics such as soil properties indicative of wetness, the presence of vegetation with an affinity for water, and the presence or evidence of surface wetness or soil saturation. Wetland environments provide water quality improvement benefits and are ecologically valuable. Development activity in wetlands is subject to permitting processes administered by the U.S. Army Corps of Engineers

**TIDAL WETLANDS:** Vegetated and nonvegetated wetlands as defined in Chapter 116 Wetlands Ordinance of the Fairfax County Code: includes tidal shores and tidally influenced embayments, creeks, and tributaries to the Occoquan and Potomac Rivers. Development activity in tidal wetlands may require approval from the Fairfax County Wetlands Board.

#### Abbreviations Commonly Used in Staff Reports

A&F	Agricultural & Forestal District	PDH	Planned Development Housing
ADU	Affordable Dwelling Unit	PFM	Public Facilities Manual
ARB	Architectural Review Board	PRC	Planned Residential Community
BMP	Best Management Practices	RC	Residential-Conservation
BOS	Board of Supervisors	RE	Residential Estate
BZA	Board of Zoning Appeals	RMA	Resource Management Area
COG	Council of Governments	RPA	Resource Protection Area
CBC	Community Business Center	RUP	Residential Use Permit
CDP	Conceptual Development Plan	RZ	Rezoning
CRD	Commercial Revitalization District	SE	Special Exception
DOT	Department of Transportation	SEA	Special Exception Amendment
DP	Development Plan	SP	Special Permit
DPWES	Department of Public Works and Environmental Services	TDM	Transportation Demand Management
DPZ	Department of Planning and Zoning	TMA	Transportation Management Association
DU/AC	Dwelling Units Per Acre	TSA	Transit Station Area
EQC	Environmental Quality Corridor	TSM	Transportation System Management
FAR	Floor Area Ratio	UP & DD	Utilities Planning and Design Division, DPWES
FDP	Final Development Plan	VC	Variance
GDP	Generalized Development Plan	VDOT	Virginia Dept. of Transportation
GFA	Gross Floor Area	VPD	Vehicles Per Day
HC	Highway Corridor Overlay District	VPH	Vehicles per Hour
HCD	Housing and Community Development	WMATA	Washington Metropolitan Area Transit Authority
LOS	Level of Service	WS	Water Supply Protection Overlay District
Non-RUP	Non-Residential Use Permit	ZAD	Zoning Administration Division, DPZ
OSDS	Office of Site Development Services, DPWES	ZED	Zoning Evaluation Division, DPZ
PCA	Proffered Condition Amendment	ZPRB	Zoning Permit Review Branch
PD	Planning Division		
PDC	Planned Development Commercial		