



**APPLICATION ACCEPTED:** January 6, 2015  
**PLANNING COMMISSION:** May 20, 2015  
**BOARD OF SUPERVISORS:** June 2, 2015 @ 3:30 PM

## County of Fairfax, Virginia

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May 7, 2015

**CRD**

**STAFF REPORT**

**PCA 76-M-007-02**

**MASON DISTRICT**

**APPLICANT:** Fairfax County School Board

**ZONING:** C-3 (Office);  
CRD (Commercial Revitalization -  
Bailey's Crossroads);  
HC (Highway Corridor Overlay); and  
SC (Sign Control Overlay)

**PARCEL:** 51-3 ((1)) 30 and 31;  
51-3 ((11)) 188A; and  
51-3 ((13)) 5, 10, and 11

**ACREAGE:** 3.41 acres

**FAR:** 0.71

**OPEN SPACE:** 45%

**PLAN MAP:** Office

**PROPOSAL:** Amend the proffers associated with RZ 76-M-007 to permit an addition to an existing school for a gymnasium; an outdoor play area; a school bus drop-off and pick-up loop; and associated sidewalks and crosswalks.

Joe Gorney

## STAFF RECOMMENDATIONS:

Staff recommends approval of PCA 76-M-007-02 subject to the execution of proffers consistent with those contained in Appendix 1.

Staff recommends approval of the modifications listed below, in favor of the alternatives as shown on the proposed Generalized Development Plan and as conditioned:

- Modification of the front yard setback from 20 feet to 11 feet, pursuant to Par. 1A of Sect. 9-622 of the Zoning Ordinance, in favor of the alternatives as shown on the proposed GDP and as conditioned;
- Modification of the transitional screening requirement along a portion of the western property line adjacent to Lot 12A, pursuant to Par. 14 of Sect. 13-305 of the Zoning Ordinance, in favor of the alternatives as shown on the proposed GDP and as conditioned; and
- Modification of the location of the barrier, pursuant to Par. 14 of Sect. 13-305 of the Zoning Ordinance, in favor of the location as shown on the proposed GDP and as conditioned.

It should be noted that it is not the intent of staff to recommend that the Board, in adopting any conditions proffered by the owner, relieve the applicant/owner from compliance with the provisions of any applicable ordinances, regulations, or adopted standards.

It should be further noted that the content of this report reflects the analysis and recommendation of staff; it does not reflect the position of the Board of Supervisors.

The approval of this proffered condition amendment does not interfere with, abrogate, or annul any easement, covenants, or other agreements between parties as they may apply to the property subject to this application.

For information, contact the Zoning Evaluation Division, Department of Planning and Zoning, 12055 Government Center Parkway, Suite 801, Fairfax, Virginia 22035-5505, (703) 324-1290.

*O:\jgomey\PCA-76-M-007-02\STAFF-REPORT-PCA-76-M-007-02-050715.docx*



Americans with Disabilities Act (ADA): Reasonable accommodation is available upon 48 hours advance notice. For additional information on ADA call (703) 324-1334 or TTY 711 (Virginia Relay Center).

# Proffered Condition Amendment

PCA 76-M-007-02

Applicant:  
Accepted:  
Proposed:

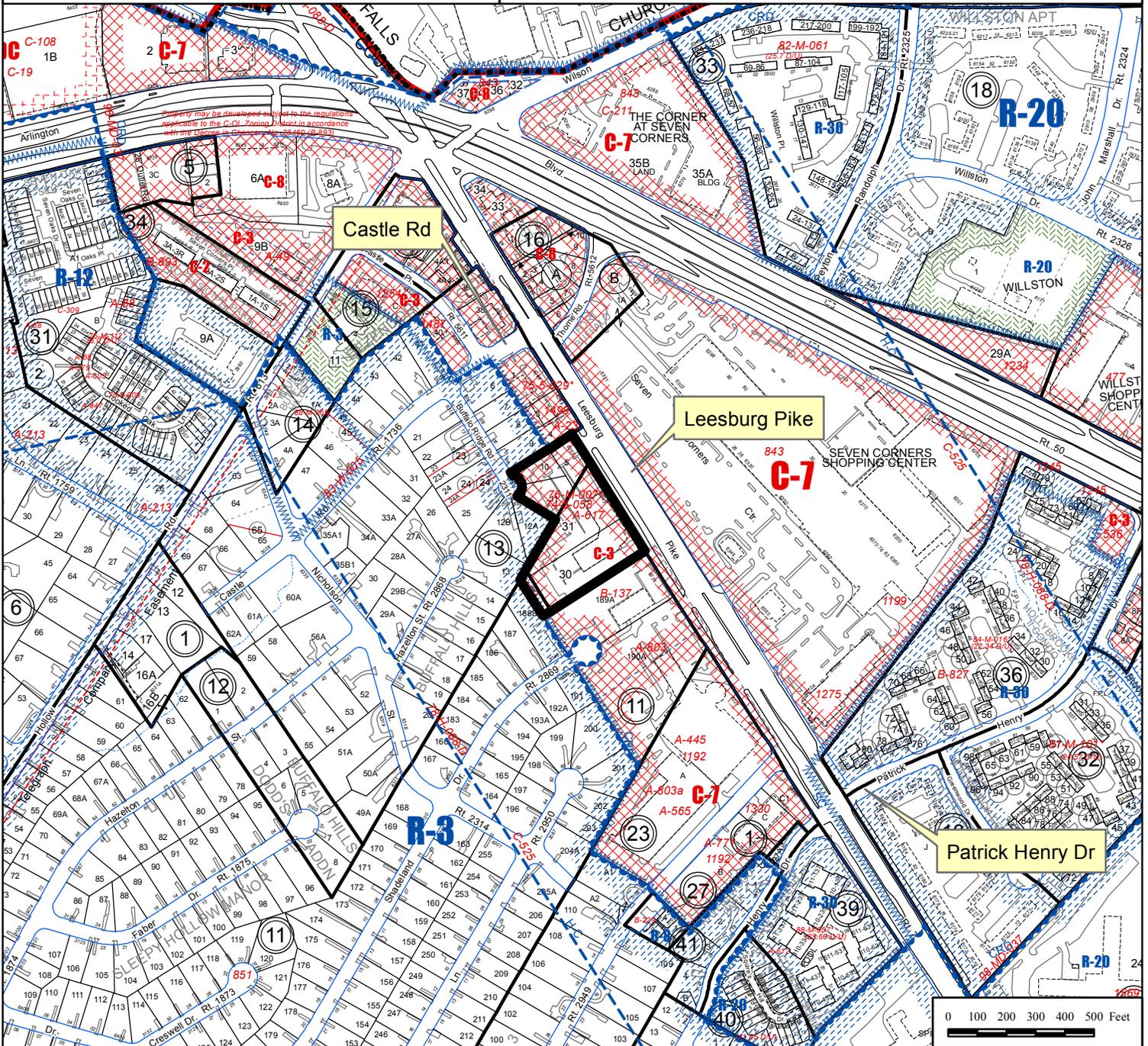
FAIRFAX COUNTY SCHOOL BOARD  
01/06/2015  
AMEND PROFFERS AND CONDITIONS ASSOCIATED WITH RZ 76-M-007

Area:  
Zoning Dist Sect:  
Located:

3.41 AC OF LAND; DISTRICT - MASON  
SOUTHWEST SIDE OF LEESBURGPIKE APPROXIMATELY 1,200 FEET  
SOUTHEAST OF ITS INTERSECTION WITH ARLINGTON BOULEVARD

Zoning:  
Overlay Dist:  
Map Ref Num:

C-3  
CRD SC HC  
051-3- /01/ /0030 /01/ /0031 /11/ /0188A /13/  
/0005 /13/ /0010 /13/ /0011



# BAILEY'S UPPER ELEMENTARY SCHOOL FOR THE ARTS AND SCIENCES

## GENERALIZED DEVELOPMENT PLAN

PCA 76-M-007-02

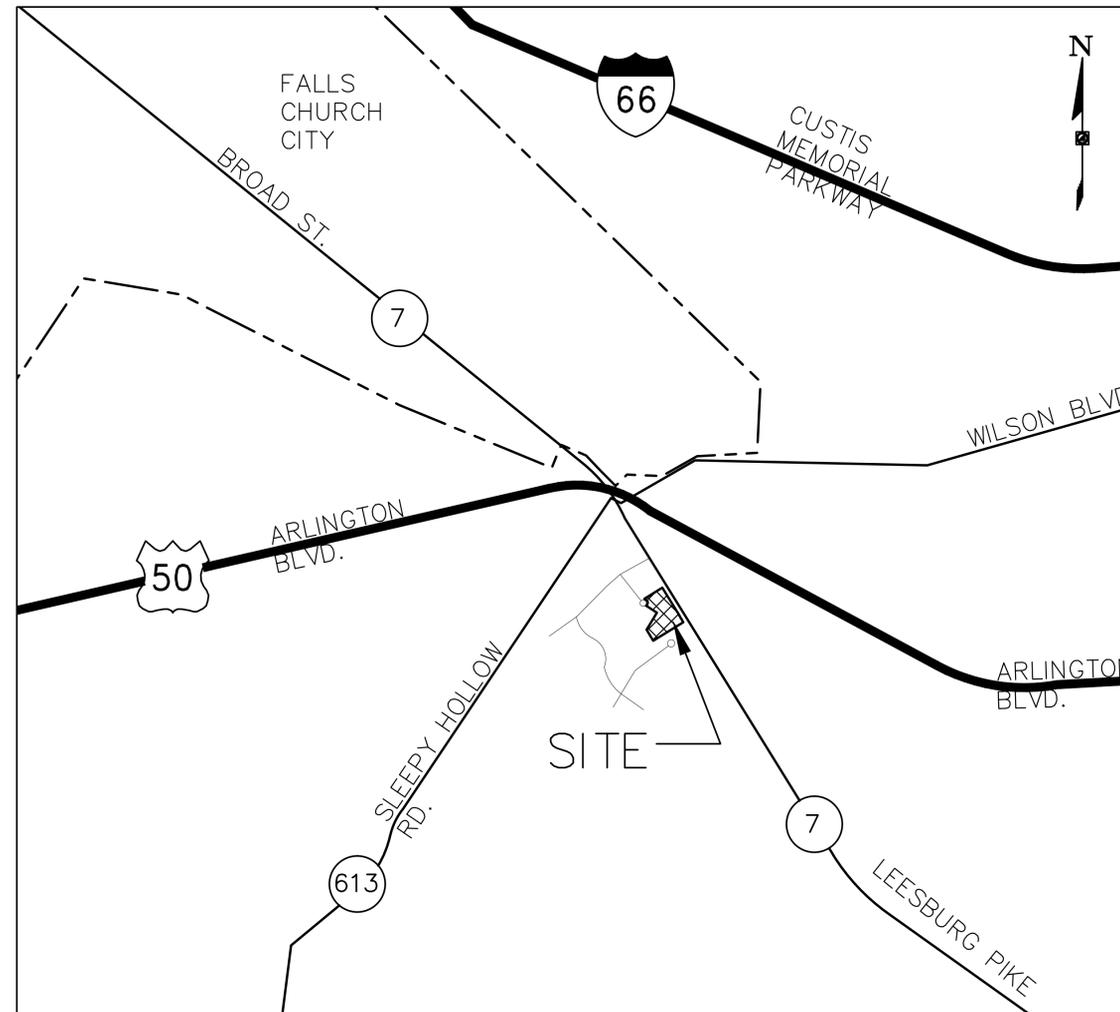
MASON DISTRICT

FAIRFAX COUNTY, VIRGINIA

DECEMBER 3 2014

VICINITY MAP

SCALE: 1"=2000'



**OWNER/APPLICANT**  
FAIRFAX COUNTY SCHOOL BOARD  
8115 GATEHOUSE ROAD  
SUITE 5400  
FALLS CHURCH, VA 22042  
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ADTEK ENGINEERS  
9990 FAIRFAX BOULEVARD  
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FAIRFAX, VA 22030  
PHONE: 703.691.4040 FAX: 703.691.4056  
WWW.ADTEKENGINEERS.COM

**ARCHITECT**  
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625 NORTH WASHINGTON STREET  
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ALEXANDRIA, VA 22314  
PHONE: 703.519.6152 FAX: 703.519.7127  
WWW.COOPERCARRY.COM

**ADTEK**  
CIVIL STRUCTURAL SPECIALTY ENGINEERING  
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Phone: 703-691-4040 Fax: 703-691-4056  
www.ADTEKengineers.com

NO.	DATE	DESCRIPTION	ISSUE
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4	04/30/15	REVISED	
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2	03/26/15	REVISED	
1	12/22/14	REVISED	



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- SHEET INDEX**  
SHEET NUMBER - TITLE
- 1 - COVER SHEET
  - 2 - NOTES AND TABULATIONS
  - 3 - GENERALIZED DEVELOPMENT PLAN
  - 3A - DETAILS
  - 4 - LANDSCAPE PLAN
  - 5 - EXISTING CONDITIONS
  - 6 - EXISTING VEGETATION MAP
  - 7 - BMP CALCULATIONS
  - 8 - SWM CALCULATIONS
  - 9 - GYM BUILDING ELEVATIONS

<b>BAILEY'S UPPER ELEMENTARY SCHOOL FOR THE ARTS AND SCIENCES</b>			
PCA 76-M-007-02			
MASON DISTRICT, FAIRFAX COUNTY, VA			
<b>COVER SHEET</b>			
SCALE: NO SCALE	DATE: 12/3/2014	PROJECT NUMBER: 14010002	SHEET NUMBER: 1
DRAWN: KG/JC	CHECKED: JS	PROJECT NUMBER: 14010002	DRAWING NUMBER: 1

**GENERAL NOTES:**

- THE PROPERTY DELINEATED ON THIS GENERALIZED DEVELOPMENT PLAN (GDP) IS IDENTIFIED ON THE FAIRFAX COUNTY TAX MAP AS PARCELS 051-3-((11))-30, 31, 051-3-((11))-188A, 051-3-((13))-5, 10, AND 11. THE PROPERTY CONTAINS A TOTAL OF 3.4108 ACRES AND IS ZONED TO THE C-3 DISTRICT, BAILEYS CROSSROADS/SEVEN CORNERS COMMERCIAL REVITALIZATION DISTRICT (CRD), SIGN CONTROL (SC) AND HIGHWAY CORRIDOR (H-C) DISTRICTS.
- THE FAIRFAX COUNTY SCHOOL BOARD PROPOSES TO MODIFY THE APPROVED GDP TO PROVIDE A GYMNASIUM, OUTDOOR PLAY AREA AND SPORT COURT. IN ADDITION, THE EXISTING PARKING LOT IS PROPOSED TO BE MODIFIED TO PROVIDE A BUS LANE FOR PICK-UP/DROP-OFF OF STUDENTS.
- BOUNDARY AND TOPOGRAPHIC INFORMATION IS BASED ON A FIELD SURVEY BY B.W. SMITH & ASSOC., DATED 2/2014. THE TOPOGRAPHY SHOWN HEREON IS AT A CONTOUR INTERVAL OF TWO FEET.
- THE PROPERTY SHOWN ON THIS GDP IS IN THE MASON MAGISTERIAL DISTRICT, LOWER POTOMAC SANITARY SEWER SHED AND THE CAMERON RUN AND FOUR MILE RUN WATERSHEDS.
- TO THE BEST OF OUR KNOWLEDGE, THE PROPOSED DEVELOPMENT IS IN CONFORMANCE WITH THE FAIRFAX COUNTY COMPREHENSIVE PLAN AND WILL CONFORM TO THE PROVISIONS OF ALL APPLICABLE ORDINANCES, REGULATIONS AND ADOPTED STANDARDS AND CONDITIONS AS PREVIOUSLY APPROVED, MODIFIED OR WAIVED IN CONJUNCTION WITH THE APPROVAL OF PCA 76-M-007, WITH THE EXCEPTION OF THE FOLLOWING WAIVERS AND/OR MODIFICATIONS:
  - THE APPLICANT REQUESTS BOARD OF SUPERVISORS' APPROVAL OF A MODIFICATION OF THE MINIMUM REQUIRED FRONT YARD SETBACK IN A COMMERCIAL REVITALIZATION DISTRICT ("CRD") DISTRICT FROM THE EXISTING 15 FEET TO 11 FEET FOR THE PROPOSED GYMNASIUM BUILDING PURSUANT TO PAR. 1A OF SECT. 9-622 OF THE ZONING ORDINANCE TO ALLOW THE ROOF OVERHANG OF THE NEW PREFABRICATED GYMNASIUM BUILDING TO EXTEND AN ADDITIONAL FOUR (4) FOOT INTO THE FRONT YARD. A REDUCTION IN THE MINIMUM FRONT YARD REQUIREMENT FROM 20 FEET TO 15 FEET WAS APPROVED FOR THE EXISTING BUILDING IN CONJUNCTION WITH PCA 76-M-007. THE PROPOSED GYMNASIUM ADDITION WILL BE LOCATED 15 FEET FROM THE PROPERTY LINE TO MATCH THE EXISTING BUILDING. THE PROPOSED ROOF OVERHANG FOR THE GYMNASIUM IS APPROXIMATELY 27 FEET ABOVE FINISHED GROUND LEVEL AND WILL BE LOCATED A MINIMUM OF 11 FEET FROM ANY LOT LINE. THEREFORE, THE APPLICANT REQUESTS A MODIFICATION OF THE FRONT YARD SETBACK FROM 15 FEET TO 11 FEET PURSUANT TO PAR. 1A OF SECT. 9-622 OF THE ZONING ORDINANCE SO THE ROOF OVERHANG ONLY EXTENDS NINE (9) FEET INTO THE 20-FOOT FRONT YARD. THE BUILDING WILL REMAIN 15 FEET FROM THE PROPERTY LINE.
  - THE APPLICANT REQUESTS A MODIFICATION OF THE TRANSITIONAL SCREENING REQUIREMENT ALONG A PORTION OF THE WESTERN PROPERTY LINE AND A MODIFICATION OF THE LOCATION OF THE BARRIER REQUIREMENT TO THAT SHOWN ON THE GDP PURSUANT TO PAR. 14 OF SECT. 305 OF THE ZONING ORDINANCE. THE PROPOSED IMPROVEMENTS HAVE BEEN SPECIFICALLY DESIGNED TO MINIMIZE ADVERSE IMPACTS ON ADJACENT PROPERTIES.
- THE FAIRFAX COUNTY COUNTYWIDE TRAILS PLAN IDENTIFIES A MAJOR PAVED TRAIL ALONG LEESBURG PIKE, ROUTE 7. HOWEVER, THE COUNTYWIDE TRAILS PLAN DOES NOT SPECIFY THE SIDE OF THE ROAD FOR THE PLANNED TRAILS IN THE MASON DISTRICT.
- THE FAIRFAX COUNTY WATER AUTHORITY IS THE PUBLIC WATER SUPPLY AGENCY FOR THIS DEVELOPMENT. THE COUNTY OF FAIRFAX IS THE SANITARY SEWER SUPPLY AGENCY FOR THIS DEVELOPMENT.
- THERE ARE NO KNOWN EASEMENTS HAVING A WIDTH OF 25' OR MORE ON THE PROPERTY.
- TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE PROPOSED BUILDING ADDITION WILL NOT GENERATE, UTILIZE, STORE, TREAT OR DISPOSE OF ANY HAZARDOUS OR TOXIC SUBSTANCES AS SET FORTH IN TITLE 40, CODE OF FEDERAL REGULATIONS PARTS 116.4, 302.4 AND 305; ANY HAZARDOUS WASTE AS SET FORTH IN COMMONWEALTH OF VIRGINIA DEPARTMENT OF WASTE MANAGEMENT VR 672-10-1 - VIRGINIA HAZARDOUS WASTE MANAGEMENT REGULATIONS; AND/OR ANY PETROLEUM PRODUCTS AS DEFINED IN TITLE 40, CODE OF FEDERAL REGULATIONS PART 280. TO THE BEST OF OUR KNOWLEDGE AND BELIEF, THE SUBSTANCES THAT MAY BE UTILIZED, STORED AND DISPOSED OF IN CONJUNCTION WITH THE PROPOSED BUILDING ADDITION AND/OR THE MAINTENANCE OF THE BUILDING PROGRAM AND GROUNDS WILL BE IN ACCORDANCE WITH SAID REGULATIONS.
- THERE ARE NO KNOWN GRAVES OR PLACES OF BURIAL ON SITE.
- THE PROPOSED LIMITS OF CLEARING AND GRADING ARE AS SHOWN ON THIS GDP. THESE LIMITS ARE APPROXIMATE AND SUBJECT TO ADJUSTMENT AT THE TIME OF FINAL GRADING, ENGINEERING AND LOCATION OF PROPOSED UTILITIES. WHERE THE LIMITS OF CLEARING AND GRADING ARE SHOWN ADJACENT TO A PROPERTY LINE, IT SHOULD BE ASSUMED THAT THE LIMITS EXTEND TO THE PROPERTY LINE. INFORMATION CONCERNING PROPOSED LANDSCAPING AND SCREENING IS AS SHOWN ON SHEET 4. REFER TO SHEET 6 FOR INFORMATION CONCERNING EXISTING VEGETATION.
- PARKING WILL BE PROVIDED IN ACCORDANCE WITH THE PROVISIONS OF ARTICLE 11 OF THE ZONING ORDINANCE. THE APPLICANT RESERVES THE RIGHT TO INCREASE OR DECREASE THE NUMBER OF PARKING SPACES AS REPRESENTED IN THE TABULATION SO LONG AS THE RESULTING NUMBER OF SPACES SATISFIES THE MINIMUM NUMBER PRESCRIBED BY THE APPLICABLE PROVISIONS IN THE ZONING ORDINANCE AND/OR THE AMOUNT OF OPEN SPACE AND THE MINIMUM DISTANCES TO THE PERIPHERAL LOT LINES ARE NOT DIMINISHED.
- THE PROPERTY IS LOCATED WITHIN THE SEVEN CORNERS COMMUNITY BUSINESS CENTER (CBC) IN THE BAILEYS PLANNING DISTRICT OF THE COMPREHENSIVE PLAN. THE SEVEN CORNERS CBC IS THE SUBJECT OF AN ONGOING SPECIAL STUDY AND PLAN AMENDMENT. ON DECEMBER 4, 2013, THE PLANNING COMMISSION APPROVED APPLICATION 2232-M13-14 TO PERMIT THE RETROFIT OF THE EXISTING BUILDING FOR USE AS A PUBLIC ELEMENTARY SCHOOL.
- IT IS UNDERSTOOD THAT ADDITIONAL SITE FEATURES SUCH AS BENCHES, WALKWAYS, FLAGPOLES, TRELLISES, WATER FOUNTAINS OR FEATURES, SIGNS, WALLS, FENCES, LIGHT STANDARDS AND/OR UTILITY MAINTENANCE STRUCTURES NOT REPRESENTED ON THIS GDP MAY BE PROVIDED AS LONG AS THE RESULTANT QUALITY VEGETATION LOCATED ALONG THE WESTERN PROPERTY LINE, THAT REPRESENTED ON THIS GDP. IT IS ALSO UNDERSTOOD THAT MOBILE AND LAND-BASED TELECOMMUNICATION FACILITIES MAY BE PROVIDED ON SITE IN ACCORDANCE WITH THE PROVISIONS SET FORTH IN SECT. 2-514 OF THE ZONING ORDINANCE. ALL SIGNS WILL BE PROVIDED IN ACCORDANCE WITH THE PROVISIONS SET FORTH IN ARTICLE 12 OF THE ZONING ORDINANCE.
- THE APPROXIMATE DIMENSIONS OF ALL EXISTING AND PROPOSED STRUCTURES ARE AS SHOWN ON THE GDP. THE TOTAL GROSS FLOOR AREA AND THE BUILDING HEIGHT PRESENTED IN THE SITE TABULATIONS SHOWN ON SHEET 3 ARE TO BE CONSIDERED MAXIMUMS. THE DIMENSIONS TO THE PERIPHERAL LOT LINES AS REPRESENTED ON THE GDP ARE TO BE CONSIDERED MINIMUMS WITH THE UNDERSTANDING THAT ALL DIMENSIONS SHOWN ON THE GDP ARE SUBJECT TO MINOR MODIFICATIONS PURSUANT TO PAR. 5 OF SECT. 18-204 OF THE ZONING ORDINANCE. THE ANGLE OF BULK PLANE IS AS SHOWN BELOW.
- THE PROPOSED TRAFFIC CIRCULATION IS AS SHOWN ON THE PLAN.
- OPEN SPACE AREAS ARE AS SHOWN ON THE GDP. COMMUNITY FACILITIES AND/OR PUBLIC FACILITIES INCLUDE THE PROPOSED PLAY AREA AND SPORT COURT AS SHOWN ON THE GDP.
- NO MAJOR SANITARY SEWER IMPROVEMENTS ARE PROPOSED WITH THIS PLAN.
- ALL STORMWATER MANAGEMENT AND BEST MANAGEMENT PRACTICES REQUIREMENTS FOR THE PROPERTY ARE PROVIDED ON SHEETS 7 & 8.
- THE SCENIC ASSETS OR NATURAL FEATURES DESERVING OF PROTECTION ON THE PROPERTY CONSIST OF THE EXISTING QUALITY VEGETATION LOCATED ALONG THE WESTERN PROPERTY LINE. THE EXISTING QUALITY VEGETATION WILL REMAIN UNDISTURBED AS APPROVED BY UFM EXCEPT FOR TREES REMOVED DUE TO BUS LOOP THAT WILL BE REPLACED WITH SUPPLEMENTAL PLANTINGS. INVASIVE SPECIES CONTROL ACTIVITIES ARE WARRANTED ONSITE.
- THE ADJACENT PROPERTIES WILL BE PROTECTED FROM ANY ADVERSE EFFECTS BY THE PROPOSED DEVELOPMENT USING TRANSITIONAL SCREENING AND BARRIERS AS SHOWN HEREON.
- THERE ARE NO SPECIAL AMENITIES PROPOSED WITH THIS DEVELOPMENT.
- THERE ARE NO PUBLIC IMPROVEMENTS WITH THIS GDP TO THE EXISTING ROADWAYS OTHER THAN SIDEWALK RAMPS AND CROSSWALKS ACROSS BOTH SCHOOL ENTRANCES, SUBJECT TO VDOT APPROVAL. ALL OTHER IMPROVEMENTS TO THE SITE ARE SHOWN ON THE PLAN.
- NO FLOODPLAINS (AS DESIGNATED BY THE FEDERAL EMERGENCY AGENCY, UNITED STATES GEOLOGICAL SURVEY OR FAIRFAX COUNTY), RESOURCE PROTECTION AREAS OR ENVIRONMENTAL QUALITY CORRIDORS ARE LOCATED ON THE SITE. THE ENTIRE SITE IS A RESOURCE MANAGEMENT AREA.

NO.	DATE	DESCRIPTION	ISSUE
5	05/06/15	REVISED	
4	04/30/15	REVISED	
3	04/20/15	REVISED	
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1	12/22/14	REVISED	

**SITE TABULATIONS:**

EXISTING ZONING:	C-3, SC, CRD, HC
EXISTING USE:	ELEMENTARY SCHOOL
LAND AREA:	3.41 ACRES ±
PREVIOUSLY APPROVED GROSS FLOOR AREA:	99,350 S.F.
PROPOSED ADDITIONAL FLOOR AREA:	6,200 S.F.
PROPOSED TOTAL GROSS FLOOR AREA:	105,550 S.F.
EXISTING FLOOR AREA RATIO:	0.67
PROPOSED FLOOR AREA RATIO:	0.71
OPEN SPACE REQUIRED:	51 AC. (15%)
OPEN SPACE PROVIDED:	1.53 AC. ± (45%)
PARKING SPACES REQUIRED:	*64 SPACES * (MINIMUM 1 SPACE PER STAFF PLUS 4 VISITORS) ESTIMATED STAFF: 60 VISITORS: 4 REQUIRED PARKING: 64 SPACES
PARKING SPACES PROVIDED:	135 SPACES
LOADING SPACES REQUIRED:	2 SPACES
LOADING SPACES PROVIDED:	2 SPACES
MAXIMUM BUILDING HEIGHT ALLOWED:	90 FEET
EXISTING BUILDING HEIGHT:	60 FEET
PROPOSED BUILDING HEIGHT (GYM ADDITION):	MAX. 30 FEET

**MINIMUM STORMWATER INFORMATION FOR REZONING, SPECIAL EXCEPTION, SPECIAL PERMIT AND DEVELOPMENT PLAN APPLICATIONS**

The following information is required to be shown or provided in all zoning applications, or a waiver request of the submission requirement with justification shall be attached. Note: Waivers will be acted upon separately. Failure to adequately address the required submission information may result in a delay in processing this application.

This information is required under the following Zoning Ordinance paragraphs:

Special Permits (8-011 2J & 2L)	Special Exceptions (9-011 2J & 2L)
Cluster Subdivision (9-615 1G & 1N)	Commercial Revitalization Districts (9-622 2A (12)&(14))
Development Plans PRC District (16-302 2 & 4L)	PRC Plan (16-303 1E & 10)
FDP P Districts (except PRC) 916-502 1F & 1Q)	Amendments (18-202 10F & 10I)

- Plat is at a minimum scale of 1"=50' (unless it is depicted on one sheet with a minimum scale of 1"=100).
- A graphic depicting the stormwater management facility(ies) and limits of clearing and grading accommodate the stormwater management facility(ies), storm drainage pipe systems and outlet protection, pond spillways, access roads, site outfalls, energy dissipation devices, and stream stabilization measures as shown on Sheet 1.
- Provide:
 

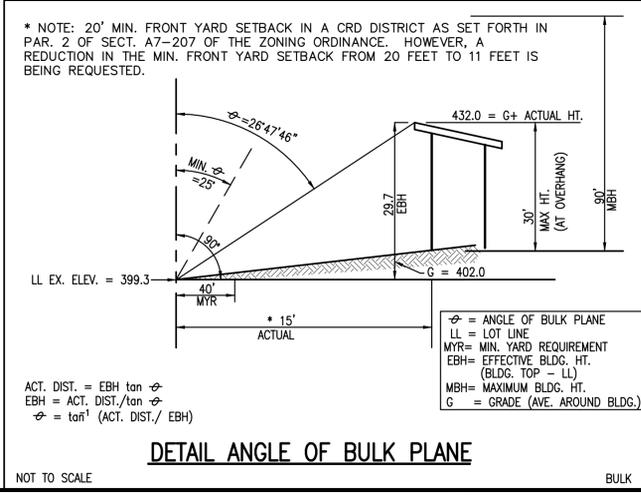
Facility Name/ Type & No.	On-Site area served (acres)	Off-Site area served (acres)	Drainage area (acres)	Footprint area (sf.)	Storage Volume (cf.)	If pond, dam height (ft.)
<i>(e.g. dry pond, inlet, trench, underground vault, etc.)</i>						
Filtering #1	0.16	N/A	--	--	--	--
Filtering #2	0.44	N/A	--	--	--	--
Ex. SWM #1	1.61	N/A	--	Ex. Catch Pipe	--	N/A
Totals						N/A
- Onsite drainage channels, outfalls and pipe systems are shown on Sheet 1.
- Maintenance accesses (road) to stormwater management facility(ies) are shown on Sheet 1.
- Landscaping and tree preservation shown in and near the stormwater management facility is shown on Sheet.
- A "stormwater management narrative" which contains a description of how detention and best management practices requirements will be met is provided on Sheet 1 & 2.
- A description of the existing conditions of each numbered site outfall extended downstream from the site to a point which is at least 100 times the site area or which has a drainage area of at least one square mile (640 acres) is provided on Sheet 2.
- A description of how the outfall requirements, including contributing drainage areas of the Public Facilities Manual will be satisfied is provided on Sheet 2.
- Existing topography with maximum contour intervals of two (2) feet and a note as to whether it is an air survey or field run is provided on Sheets.
- A submission waiver is requester for N/A.
- Stormwater management is not required because N/A.



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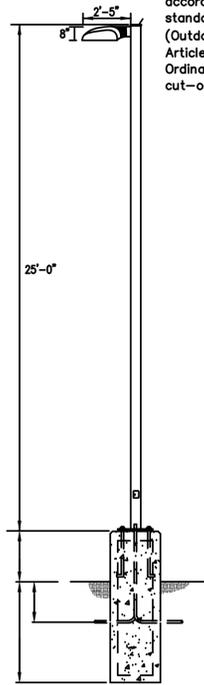
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 MASON DISTRICT, FAIRFAX COUNTY, VA  
 PCA 76-M-007-02  
**NOTES AND TABULATIONS**

SCALE: NO SCALE  
 DRAWN: KG/JC  
 CHECKED: Bf  
 DATE: 12/3/2014  
 PROJECT NUMBER: 14010002  
 SHEET 2  
 DRAWING NUMBER: 2





**OUTDOOR LIGHTING STATEMENT:**  
All proposed parking lot/site lighting to be provided in accordance with the performance standards contained in Part 9 (Outdoor Lighting Standards) of Article 14 of the Zoning Ordinance. All lighting will be full cut-off luminaries.

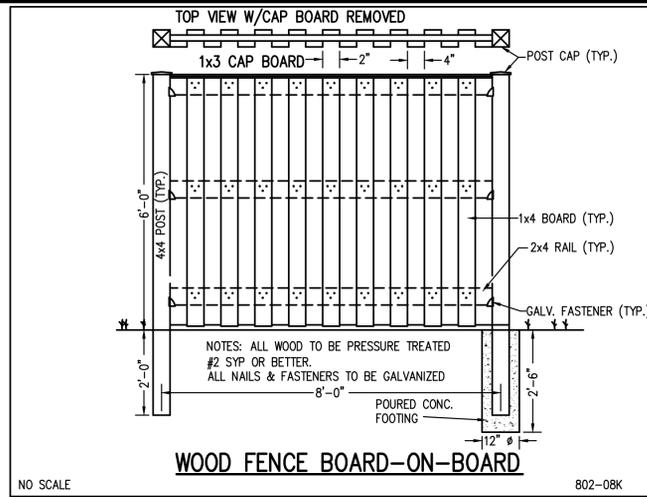


**TYPICAL SITE LIGHTING**  
NOT TO SCALE

CONTRACTOR SHALL TRIM BACK TREE LIMBS THAT OBSTRUCT LIGHTING



**WOOD FENCE BOARD-ON-BOARD**



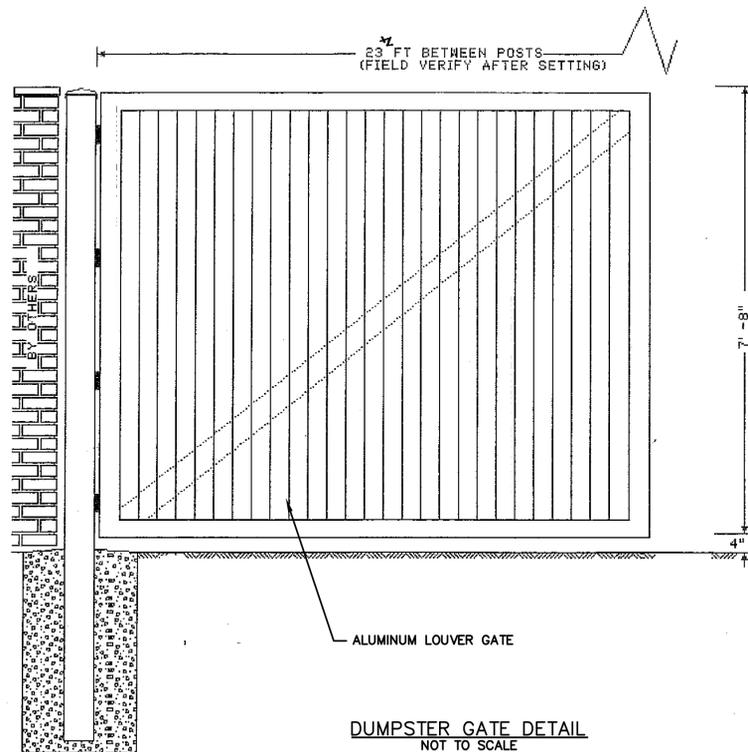
NO SCALE

802-08K



**ORNAMENTAL IRON FENCE**

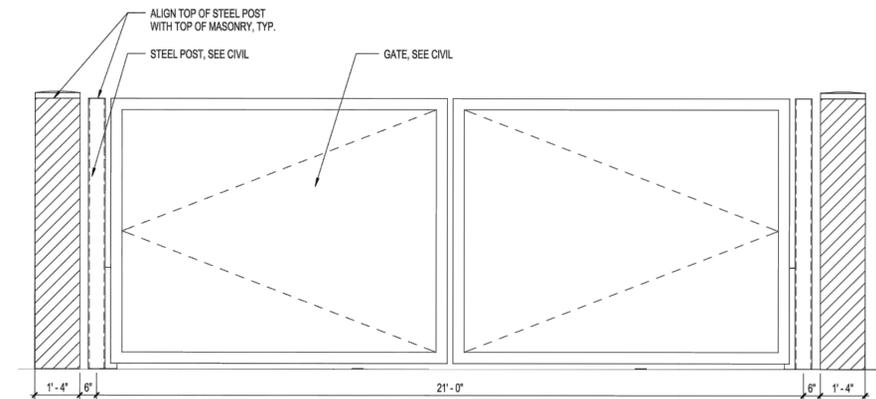
**NOTE:**  
THE INFORMATION PRESENTED IN THIS SHEET IS INTENDED TO REFLECT THE GENERAL CHARACTER OF THE PROPOSED SITE DETAILS. FINAL PRODUCT SELECTION MAY VARY BUT WILL BE CONSISTENT WITH THE QUALITY OF DESIGN REPRESENTED HEREON. ALL DIMENSIONS LABELED ON ALL DETAILS ARE +/- AND SUBJECT TO CHANGE DUE TO FINAL ENGINEERING.



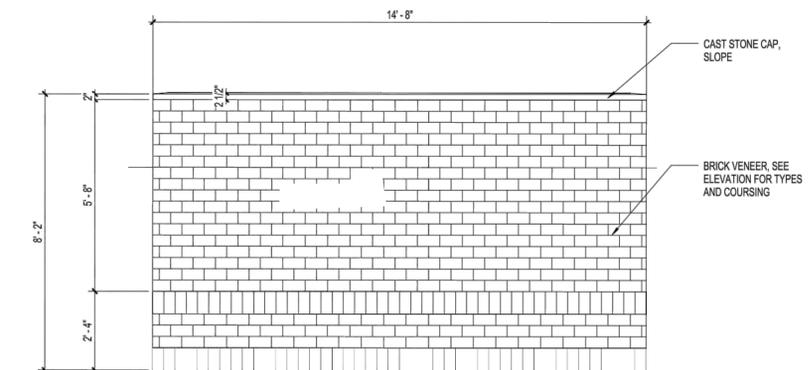
**DUMPSTER GATE DETAIL**  
NOT TO SCALE



**ORNAMENTAL METAL GATE DUMPSTER ENCLOSURE**



**4 DUMPSTER ENCLOSURE ELEVATION - FRONT**  
SCALE: 1/2" = 1'-0"



**5 DUMPSTER ENCLOSURE ELEVATION, TYP.**  
SCALE: 1/2" = 1'-0"

**ADTEK**  
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9990 Fairfax Boulevard, Suite 300  
Fairfax, Virginia 22030  
Phone: 703-691-4040 Fax: 703-691-4056  
www.ADTEKengineers.com

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PCA 76-M-007-02  
MASON DISTRICT, FAIRFAX COUNTY, VA  
DETAILS

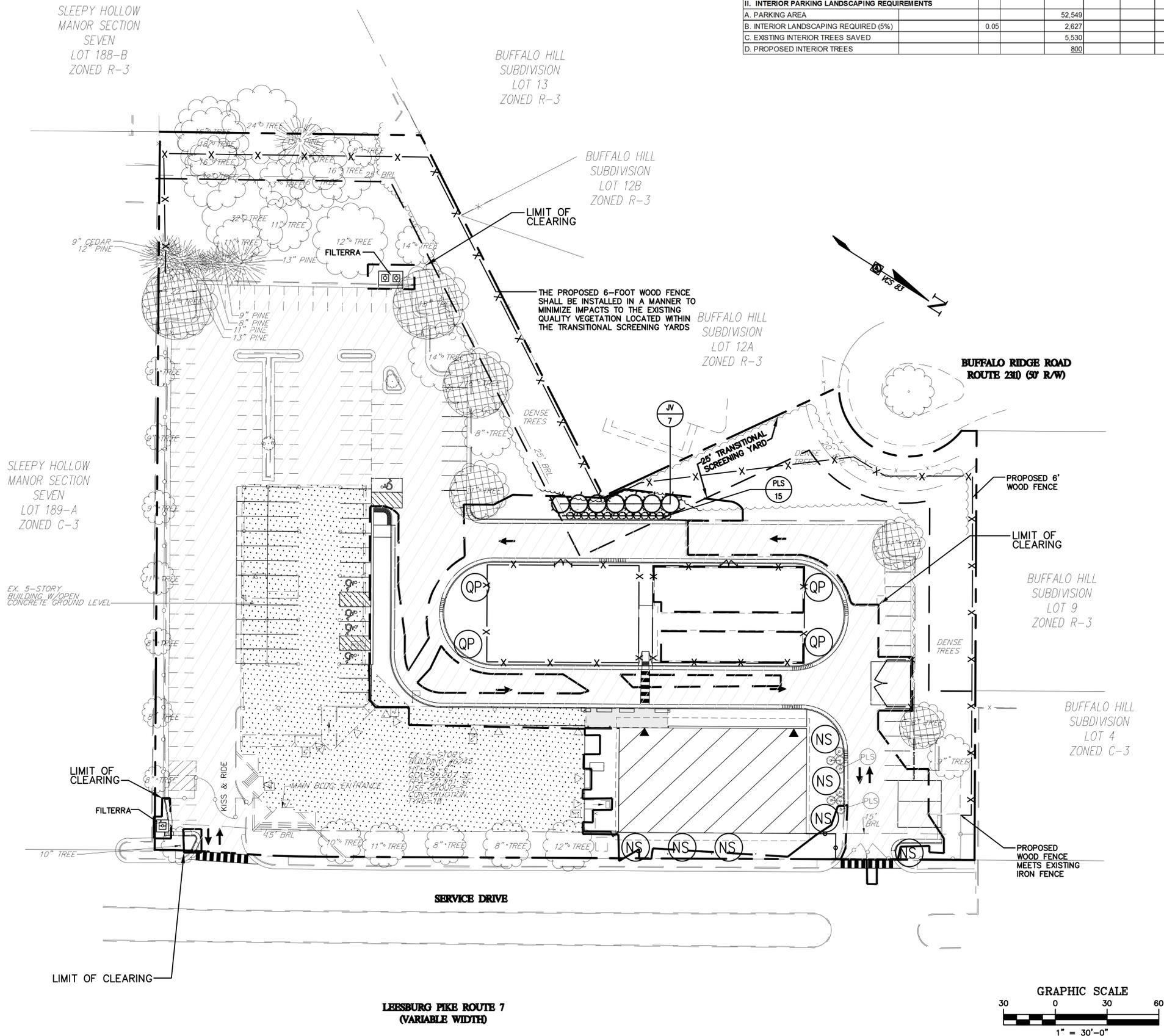
SCALE: 1" = 30'  
DRAWN: KG/JC  
CHECKED: JS  
DATE: 12/3/2014  
PROJECT NUMBER: 14010002  
SHEET 3A  
DRAWING NUMBER: 3A

THIS PLAN IS FOR LANDSCAPING PURPOSES ONLY

Key	Botanical Name	Common Name	Quan.	Size	Stock Type	10-YR. Tree Cover S.F.	Tree Total Sub-Total S.F.	TYPE	USE
<b>Large Deciduous</b>									
NS	<i>Nyssa sylvatica</i>	Black Gum	7	2"-2.5" cal.	B&B	175	1225	LD	GENERAL
QP	<i>Quercus phellos</i>	Willow Oak	4	2" cal.	B&B	200	800	LD	INTERIOR PK. LOT
<b>Medium Evergreens</b>									
JV	<i>Juniperus Virginia</i>	Eastern Red Cedar	7	2" cal.	B&B	100	700	ME-II	SCREEN
<b>TOTAL</b>			<b>18</b>				<b>2025</b>		
<b>Shrubs</b>									
PLS	<i>Prunus laurocerasus 'Schipkaensis'</i>	Schip laurel	23	30" ht.	5 gal. cont.				SCREEN
<b>II. INTERIOR PARKING LANDSCAPING REQUIREMENTS</b>									
<b>A. PARKING AREA</b>							52,549		
<b>B. INTERIOR LANDSCAPING REQUIRED (5%)</b>						0.05	2,627		
<b>C. EXISTING INTERIOR TREES SAVED</b>							5,530		
<b>D. PROPOSED INTERIOR TREES</b>							800		

I. Has the Tree Preservation Target minimum been met?			
<b>IV. TRANSITIONAL SCREENING REQUIREMENTS - Screening Yard Width - 25 FT.</b>			
<b>North Property Line -</b>		<b>150</b>	<b>Feet</b>
A. SCREENING REQUIRED (SF) ZO 13-303 A-1		2,813	=150x25x0.75
B. SCREENING PROVIDED (SF)			
C. Existing Tree Canopy		3,180	
D. Proposed Canopy		0	
E. TOTAL SCREENING CANOPY PROVIDED		3,180	
F.		<b>3,180</b>	<b>&gt; A.</b> <b>2,813</b>
<b>Detailed Calculations:</b>		<b>Required</b>	<b>Provided</b>
Total Evergreens		16	0
Large Evergreens		7	0
Medium Evergreens		10	0
Large Deciduous		3	0
Shrubs		45	0
<b>West Property Line -</b>			
A. SCREENING REQUIRED (SF) ZO 13-303 A-1		11,981	=639x25x0.75
B. SCREENING PROVIDED (SF)			
C. Existing Tree Canopy		12,700	
D. Proposed Canopy		1,000	
E. TOTAL SCREENING CANOPY PROVIDED		13,700	
F.		<b>13,700</b>	<b>&gt; A.</b> <b>11,981</b>
<b>Detailed Calculations:</b>		<b>Required</b>	<b>Provided</b>
Total Evergreens		70	0
Large Evergreens		28	0

**ADTEK**  
 CIVIL STRUCTURAL SPECIALTY ENGINEERS  
 9990 Fairfax Boulevard, Suite 300  
 Fairfax, Virginia 22030  
 Phone: 703-691-4040 Fax: 703-691-4056  
 www.ADTEKengineers.com



**TRANSITIONAL SCREENING AND BARRIER SUMMARY**

**NORTHERN BOUNDARY**  
 NO TRANSITIONAL SCREENING OR BARRIER IS REQUIRED ADJACENT TO TAX MAP 51-3 ((13)) PARCEL 4. ADJACENT USE IS LOW RISE OFFICE, ZONED C-3 DISTRICT.

**EASTERN BOUNDARY**  
 NO TRANSITIONAL SCREENING OR BARRIER IS REQUIRED. ADJACENT USES ARE COMMERCIAL/SHOPPING CENTER.

**SOUTHERN BOUNDARY**  
 NO TRANSITIONAL SCREENING OR BARRIER IS REQUIRED. ADJACENT USES ARE COMMERCIAL OFFICE.

**WESTERN BOUNDARY**  
 TRANSITIONAL SCREENING TYPE 1 AND A TYPE D, E, OR F BARRIER IS REQUIRED. ADJACENT USE IS SINGLE FAMILY RESIDENTIAL, ZONED R-3. A MODIFICATION OF THE TRANSITIONAL SCREENING TYPE 1 IS REQUESTED IN FAVOR OF THE EXISTING VEGETATION AND PROPOSED LANDSCAPING AS WELL AS A REDUCTION IN THE 25' SCREENING YARD AT THE CORNER OF PROPERTY LOT 12A TO ALLOW DEVELOPMENT OF THE PROPERTY FOR THE BUS LOOP AND PLAY AREAS ALL OF WHICH ARE MINIMUM REQUIREMENTS AND SIZES TO HELP REDUCE THE IMPACT TO THE EXISTING VEGETATION ALONG THE WESTERN BOUNDARY. A MODIFICATION OF THE TRANSITIONAL SCREENING IS REQUESTED IN THIS AREA TO ALLOW THE PROPOSED LANDSCAPING AND SIX (6) FOOT HIGH WOOD FENCE AS SHOWN ON THE GDP. A MODIFICATION OF THE LOCATION OF THE BARRIER IS REQUESTED IN FAVOR OF THE PROPOSED SIX (6) FOOT HIGH WOOD FENCE SHOWN ON THE GDP.

**LEGEND**

- PROPOSED BUILDING EXPANSION
- EXISTING BUILDING
- APPROXIMATE LIMITS OF CLEARING AND GRADING
- INTERIOR PARKING LOT AREA
- INTERIOR PARKING LOT AREA POST DEVELOPMENT TREE CANOPY CREDIT
- CATEGORY III (2"-2.5" CAL.) DECIDUOUS (OVERSTORY) TREE FOR GENERAL USE
- CATEGORY IV (2" CAL.) DECIDUOUS (OVERSTORY) TREE FOR INTERIOR PARKING LOT LANDSCAPING CREDIT
- SHRUB

NO.	DATE	DESCRIPTION	ISSUE
5	05/06/15	REVISED	
4	04/20/15	REVISED	
3	04/20/15	REVISED	
2	03/26/15	REVISED	
1	12/22/14	REVISED	



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**BAILEY'S UPPER ELEMENTARY SCHOOL FOR THE ARTS AND SCIENCES**  
 PCA 76-M-007-02  
 MASON DISTRICT, FAIRFAX COUNTY, VA  
**LANDSCAPE PLAN**

SCALE: 1" = 30'  
 DRAWN BY: KG/JC  
 CHECKED BY: JS  
 DATE: 12/3/2014  
 PROJECT NUMBER: 14010002  
 SHEET 4  
 DRAWING NUMBER: 4

I:\Pro\14010002\_BAILEYS\_UPPER\DWG\BAILEYS\_GDP-PCA-C-4\_PROFFER\_LANDSCAPE.dwg PLOTTED May 06, 2015

SLEEPY HOLLOW  
MANOR SECTION  
SEVEN  
LOT 188-B  
ZONED R-3

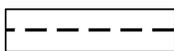
BUFFALO HILL  
SUBDIVISION  
LOT 13  
ZONED R-3

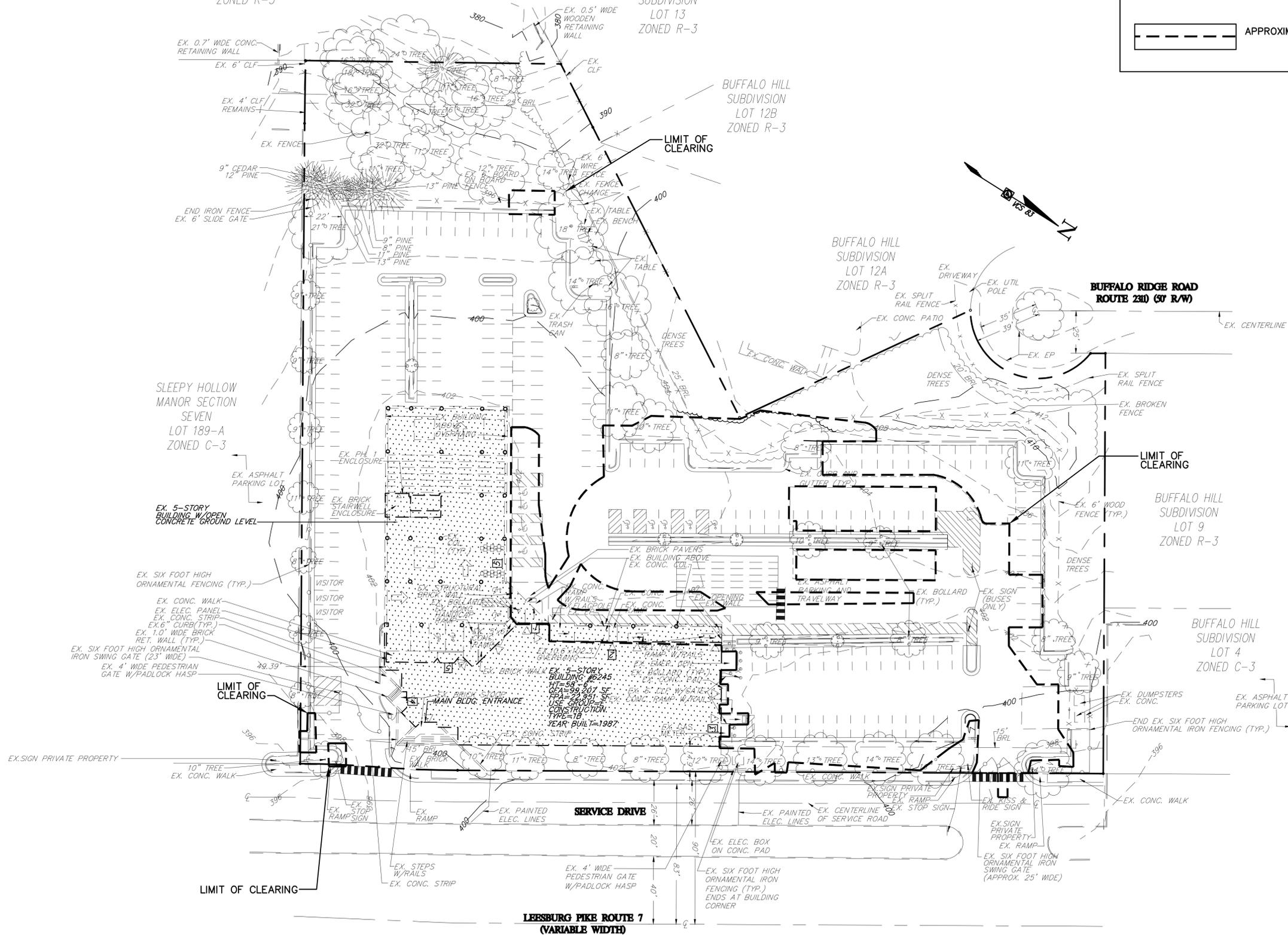
BUFFALO HILL  
SUBDIVISION  
LOT 12B  
ZONED R-3

BUFFALO HILL  
SUBDIVISION  
LOT 12A  
ZONED R-3

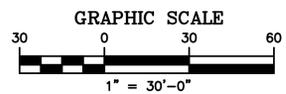
BUFFALO RIDGE ROAD  
ROUTE 230 (50' R/W)

LEGEND

-  EXISTING BUILDING
-  APPROXIMATE LIMITS OF CLEARING AND GRADING



**EXISTING BUILDING STRUCTURE**  
 TYPE: 5-STORY BRICK BUILDING  
 HEIGHT: 58'-6"  
 DATE OF CONSTRUCTION: 1987  
 FINAL STATUS: EXISTING ELEMENTARY SCHOOL



NO.	DATE	ISSUE	DESCRIPTION
5	05/06/15	REVISED	
4	04/30/15	REVISED	
3	04/20/15	REVISED	
2	03/26/15	REVISED	
1	12/22/14	REVISED	



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<b>BAILEY'S UPPER ELEMENTARY SCHOOL FOR THE ARTS AND SCIENCES</b>		PROJECT NUMBER: 14010002		SHEET 5	
MASON DISTRICT, FAIRFAX COUNTY, VA		DATE: 12/3/2014		DRAWING NUMBER: 5	
<b>EXISTING CONDITIONS</b>		CHECKED BY: JS		PROJECT NUMBER: 14010002	
SCALE: 1" = 30'		DATE: 12/3/2014	PROJECT NUMBER: 14010002	CHECKED BY: JS	DRAWING NUMBER: 5
DRAWN BY: KG/JC					

C:\Pro\14010002\BAILEY'S UPPER\DWG\BAILEY'S GDP-PCA-C-3 PROFFER EX VEG.dwg PLOTTED May 06, 2015

SLEEPY HOLLOW  
MANOR SECTION  
SEVEN  
LOT 188-B  
ZONED R-3

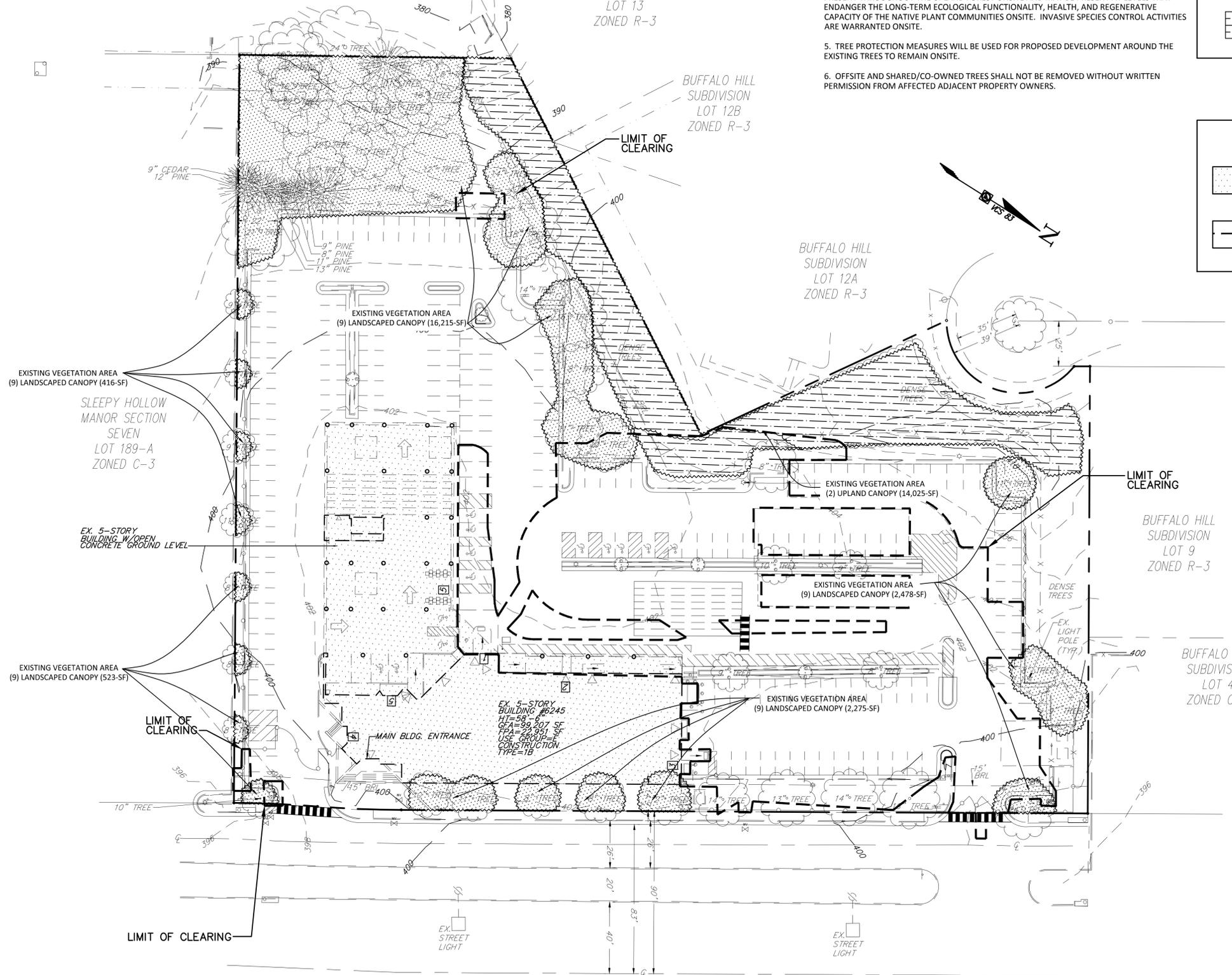
BUFFALO HILL  
SUBDIVISION  
LOT 13  
ZONED R-3

BUFFALO HILL  
SUBDIVISION  
LOT 12B  
ZONED R-3

BUFFALO HILL  
SUBDIVISION  
LOT 12A  
ZONED R-3

BUFFALO HILL  
SUBDIVISION  
LOT 9  
ZONED R-3

BUFFALO HILL  
SUBDIVISION  
LOT 4  
ZONED C-3



NOTES:

- EXISTING CONDITIONS SURVEY PROVIDED BY ADTEK ENGINEERS, 2014.
- LANDSCAPED TREES OBSERVED ONSITE INCLUDED LINDEN, AMERICAN SYCAMORE, RED MAPLE, AND CHERRY AND APPEARED TO BE GENERALLY IN GOOD/FAIR CONDITION.
- THE UPLAND FOREST CANOPY CONSISTS MOSTLY OF BLACK LOCUST, VIRGINIA PINE, WHITE OAK, BLACK CHERRY, EASTERN REDCEDAR, MULBERRY, HICKORY, AND MIMOSA AND APPEARED TO BE GENERALLY IN FAIR CONDITION. INVASIVE SPECIES WERE OBSERVED WITHIN THE (2) UPLAND FOREST CANOPY ONSITE.
- INVASIVE SPECIES OBSERVED ONSITE INCLUDED ENGLISH IVY, BAMBOO, JAPANESE HONEYSUCKLE AND MIMOSA. ENGLISH IVY AND JAPANESE HONEYSUCKLE APPEARED TO BE PRESENT THROUGHOUT THE UPLAND FOREST ONSITE AND MAY BE PRESENT AT LEVELS THAT ENDANGER THE LONG-TERM ECOLOGICAL FUNCTIONALITY, HEALTH, AND REGENERATIVE CAPACITY OF THE NATIVE PLANT COMMUNITIES ONSITE. INVASIVE SPECIES CONTROL ACTIVITIES ARE WARRANTED ONSITE.
- TREE PROTECTION MEASURES WILL BE USED FOR PROPOSED DEVELOPMENT AROUND THE EXISTING TREES TO REMAIN ONSITE.
- OFFSITE AND SHARED/CO-OWNED TREES SHALL NOT BE REMOVED WITHOUT WRITTEN PERMISSION FROM AFFECTED ADJACENT PROPERTY OWNERS.

LEGEND

- TREELINE
- EXISTING (COVER TYPE 9) LANDSCAPED TREE CANOPY (21,907-SF)
- EXISTING (COVER TYPE 2) UPLAND CANOPY (14,025-SF) EARLY SUCCESSIONAL FOREST

LEGEND

- EXISTING BUILDING
- APPROXIMATE LIMITS OF CLEARING AND GRADING

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www.ADTEKengineers.com

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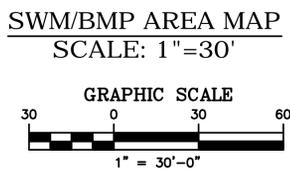
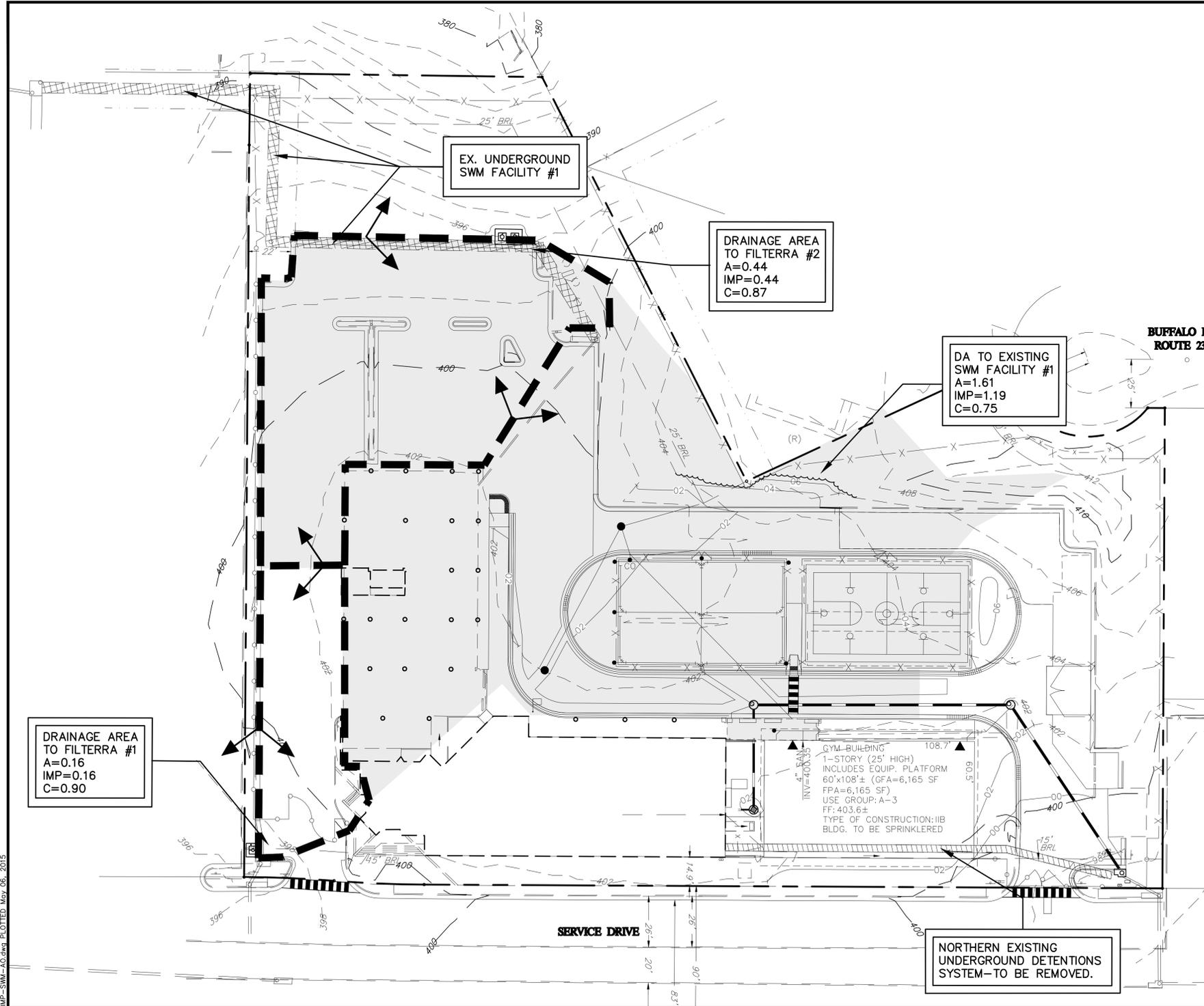
COMMONWEALTH OF VIRGINIA  
CASHLEY R. STAFFORD  
Lic. No. 043700  
PROFESSIONAL ENGINEER

THIS DRAWING SHALL BE USED FOR THE PROJECT INDICATED IN THE TITLE BLOCK ONLY AND ONLY IF IT IS STAMPED WITH AN ORIGINAL BLACK STAMP AND SIGNED IN BLUE.

**BAILEY'S UPPER ELEMENTARY SCHOOL FOR THE ARTS AND SCIENCES**  
PCA 76-M-007-02  
MASON DISTRICT, FAIRFAX COUNTY, VA  
EXISTING VEGETATION MAP

SCALE: 1" = 30'  
DRAWN: KG/JC  
CHECKED: JS  
DATE: 12/3/2014  
PROJECT NUMBER: 14010002  
SHEET 6  
DRAWING NUMBER: 6

Avinash M. Sareen  
Certified Arborist  
Certification # MA-4727A



**BMP NARRATIVE:**  
THIS SCHOOL SITE IS COMPRISED OF GRASS, ASPHALT PARKING LOT, CONCRETE SIDEWALKS, EXISTING BUILDING, GYMNASIUM BUILDING, MULCH PLAYGROUND AND POROUS CONCRETE PLAY AREAS. PREVIOUSLY APPROVED SITE PLAN 6494-SP-001-5 (COMPLETED JUNE 20, 1991) CONSTRUCTED NO WATER QUALITY (BMP) FACILITIES FOR THIS SITE. THIS PLAN IS GRANDFATHERED UNDER TECHNICAL CRITERIA #5 PER THE APPROVED DEPARTMENT OF ENVIRONMENTAL QUALITY (DEQ) 2009 CONSTRUCTION GENERAL PERMIT #VAR10E126 APPROVED ON 2009. THERE IS LESS THAN A 20 PERCENT INCREASE IN IMPERVIOUS AREA AND THEREFORE QUALIFIES FOR THE REDEVELOPMENT CRITERIA IN PFM SECTION 06041.2B. WATER QUALITY FOR THIS SITE WILL BE PROVIDED BY TWO FILTERRAS (PRE-MANUFACTURED CONCRETE ENCLOSED BIORETENTION FILTERS) SEE COMPUTATIONS BELOW.

**BMP Facility Design Calculations**  
Occoquan Method

Plan Name:	Upper Bailey School
Project Number:	1401.0002
Date:	7/21/2014
Engineer:	J.Canchan

**I. Water Quality Narrative**  
The pre-development impervious area is 2.30 acres (100,188 square feet) and the post-development impervious area is 2.27 acres (98,881 square feet). The allowable increase in impervious area for redevelopment is 100,188 square feet X 0.20 = 20,037 square feet which is more than the actual increase in impervious area that equals 1307 square feet and therefore the redevelopment criteria set forth in PFM Section 06041.2B. Phosphorus removal will be achieved through an on-site Filterra

**II. Watershed Information**

**Part 1: List all Subareas and "C" Factors used in the BMP Computations**

Subarea Designation and Description (1)	"C" (2)	Acres (3)
Filterra #1	0.90	0.16
Filterra #2	0.90	0.44
On-Site Untreated	0.66	2.81

**Part 2: Compute the Weighted Average "C" Factor for the Site**

(A) Area of the site (A) **3.41 acres**

(B)

Subarea Designation (1)	"C" (2)	Acres (3)	Product (4)
Filterra #1	0.90	x 0.16	= 0.14
Filterra #2	0.90	x 0.44	= 0.40
On-Site Untreated	0.66	x 2.81	= 1.85
<b>Weighted average "C" factor</b>			<b>0.70</b>

**Part 3: Compute the Total Phosphorus Removal for the Site**

Subarea Designation (1)	BMP Type (2)	Removal Eff. (%) (3)	Area Ratio (4)	"C" Ratio (5)	Product (6)
Filterra #1	Filter	55	x 0.05	x 1.28	= 3.31
Filterra #2	Filter	55	x 0.13	x 1.28	= 9.10
<b>(a) Total =</b>					<b>12.40</b>

**Part 4: Determine Compliance with Phosphorus Requirement**

(A) Select Requirement (a) **8.78%**

Water Supply Overlay District (Occoquan Watershed) =	50%	(Fairfax County and Prince William County)
Chesapeake Bay Preservation Area (New Development) =	40%	(Fairfax County)
Chesapeake Bay Preservation Area (Redevelopment) =	50%	(Prince William County)
Chesapeake Bay Preservation Area (1-0.9x("I" pre/"I" post)x 100=	lpre 2.3 ac %lpre=(2.3/10.52)*100= 67.5%	
	lpost 2.27 ac %lpost=(2.27/10.52)*100= 66.6%	
<b>(B) If line 3 (a) 12.40% &gt;= 8.78%</b>		

**Phosphorus removal requirement is satisfied**

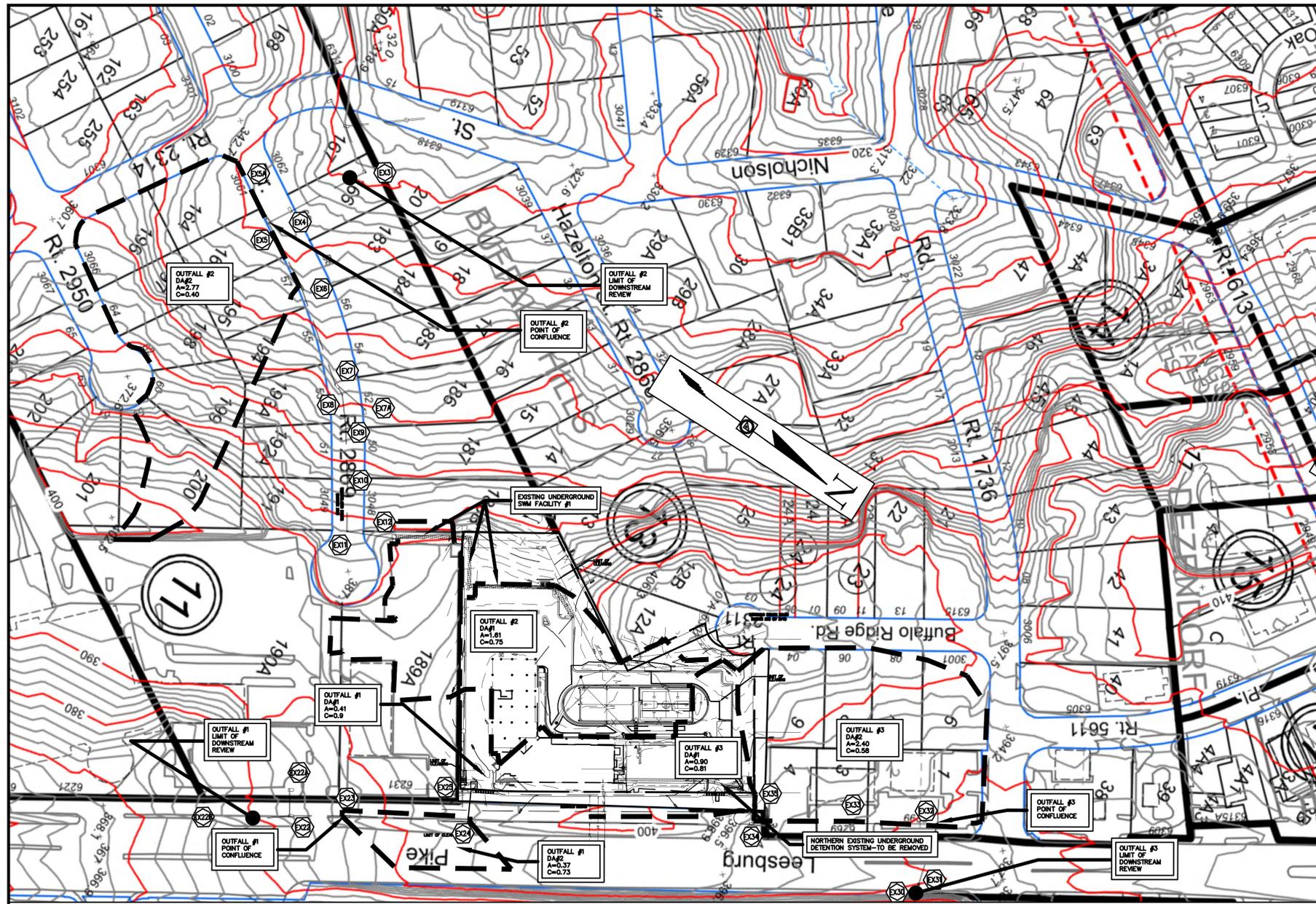
**NOTE:**  
THE INFORMATION SHOWN ON THIS GDP IS CONSISTENT WITH MINOR SITE PLAN 6494-MSP-002 PREVIOUSLY SUBMITTED TO DPWES CONCURRENT WITH THIS PCA APPLICATION. REVISION TO THIS GDP MAY BE PERMITTED AS A RESULT OF DPWES REVIEW PURSUANT TO PARAGRAPH 5 OF SECTION 16-204 OF THE ZONING ORDINANCE.

**NOTE:** PHOSPHORUS REMOVAL COMPUTATIONS SUBJECT TO CHANGE WITH FINAL SITE PLAN SUBMISSION.

NO.	DATE	DESCRIPTION	ISSUE
5	05/06/15	REVISED	
4	04/20/15	REVISED	
3	04/20/15	REVISED	
2	03/26/15	REVISED	
1	12/22/14	REVISED	



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**ADEQUATE OUTFALL DRAINAGE MAP**  
SCALE: 1" = 100'

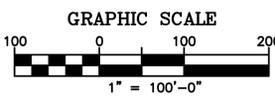
**NOTE:**  
THE INFORMATION SHOWN ON THIS GDP IS CONSISTENT WITH MINOR SITE PLAN 6494-MSP-002 PREVIOUSLY SUBMITTED TO DPWS CONCURRENT WITH THIS PCA APPLICATION. REVISION TO THIS GDP MAY BE PERMITTED AS A RESULT OF DPWS REVIEW PURSUANT TO PARAGRAPH 5 OF SECTION 16-204 OF THE ZONING ORDINANCE.

**SWM NARRATIVE:**  
UPPER BAILEYS SCHOOL IS LOCATED IN SEVEN CORNERS IN THE MASON DISTRICT. THE SITE IS COMPRISED OF FIVE PARCELS TOTALING 3.41 ACRES WITHIN THE CAMERON RUN AND FOUR MILE RUN WATERSHEDS. THIS PROJECT CONSISTS OF A 1-STORY GYMNASIUM BUILDING ADDITION, MULCH AND POROUS CONCRETE PLAY AREAS. PREVIOUSLY APPROVED SITE PLAN 6494-SP-001-5 (COMPLETED JUNE 20, 1991) CONSTRUCTED TWO UNDERGROUND DETENTION SYSTEMS FOR WATER QUANTITY CONTROL (SWM), ONE IN THE SOUTH OF THE SITE AND THE SECOND IN THE NORTH OF THE SITE (THE EXISTING DETENTION SYSTEM IN THE SOUTH OF THE SITE WILL REMAIN-EXISTING UNDERGROUND SWM FACILITY #1) AND NO FACILITIES FOR WATER QUALITY CONTROL (BMP). THIS PROJECT WILL ELIMINATE THE NORTHERN EXISTING UNDERGROUND DETENTION SYSTEM AND THE SOUTHERN EXISTING UNDERGROUND DETENTION SYSTEM WILL REMAIN. THE DRAINAGE AREA REMAINS THE SAME TO THIS SOUTHERN SWM FACILITY AND THE C-FACTOR IS LOWER DUE TO THE MULCH PLAY GROUND AND POROUS CONCRETE PLAY AREA AND THEREFORE THE HYDROLOGIC CHARACTERISTICS ARE THE SAME AND THE 2 AND 10 YEARS DISCHARGES FROM THE FACILITY ARE UNCHANGED. THE EXISTING SWM FACILITY #1 SATISFIES THE REQUIREMENT FOR WATER QUANTITY CONTROL FOR THE WHOLE SITE. SEE COMPUTATIONS THIS SHEET.

**STORM COMPUTATIONS**

THE STORM COMPUTATIONS SHOW THAT THE SYSTEM IS ADEQUATE FOR CAPACITY AND/OR HGL FOR THE 10-YEAR FLOW (CALCULATED USING HYDROFLOW STORM SEWERS SOFTWARE FOR AUTOCAD 2014-CALCULATES LOSSES FOR FRICTION, EXPANSION, CONTRACTION AND BENDS BASED ON THE ENERGY EQUATION).

Upstream Structure	Downstream Structure	DrainageArea (ac)	TotalArea (ac)	RunoffCoeff (C)	IncrCxA	TotalCXA	Tc (min)	ISys (in/hr)	IncrQ (cfs)	TotalRunoff (cfs)	InvertUp (ft)	InvertDn (ft)	LineLength (ft)	LineSlope (%)	LineSize (in)	CapacityFull (cfs)	VelAve (ft/s)	HGLDn (ft)	HGLUp (ft)	GndRimElevDn (ft)	GndRimElevUp (ft)	CoverDn (ft)	CoverUp (ft)
<b>OUTFALL 1</b>																							
EX25	EX24	0.41	0.41	0.9	0.37	0.37	5	7.27	2.68	2.68	392.66	390.6	51	4.01	15	12.93	3.6	391.43	393.32	394.76	396.28	2.91	2.37
EX24	EX23	0.32	0.73	0.66	0.21	0.58	5	7.27	1.54	4.22	390.6	380.85	204	4.79	15	14.13	4.34	381.91	391.43	386.84	394.76	4.74	2.91
EX23	EX22	0.88	1.61	0.77	0.68	1.26	5	7.27	4.93	9.14	380.75	376.85	91	4.3	15	13.39	9.72	377.61	381.91	381.69	386.84	3.59	4.84
EX22A	EX22	0.2	0.2	0.9	0.18	0.18	5	7.27	1.31	1.31	378.61	376.99	42	3.86	15	12.68	4.97	377.26	378.61	381.69	383.26	3.45	3.4
EX22	EX22B	0.17	1.98	0.9	0.15	1.59	5	7.27	1.11	11.57	373.57	371.2	58	4	18	20.99	9.65	371.99	374.87	380	381.69	7.3	6.82
<b>OUTFALL 2</b>																							
EX12	EX11	2.29	2.29	0.11	0.25	0.25	10	5.92	1.49	1.49	381.5	378.99	77	3.25	15	11.64	4.96	379.29	381.98	383.54	389.22	3.3	6.47
EX11	EX10	0	2.29	0	0	0.25	10	5.92	0	1.49	377.19	369.98	86	8.4	15	18.71	6.26	370.22	377.67	373.18	383.54	1.95	5.1
EX10	EX9	0	2.29	0	0	0.25	10	5.92	0	1.49	367.96	358.43	84	11.29	15	21.7	6.77	358.65	368.44	362.98	373.18	3.3	3.97
EX9	EX8	0	2.29	0	0	0.25	10	5.92	0	1.49	358.04	354.54	50	7	15	17.08	5.98	354.79	358.52	358.04	362.98	2.25	3.69
EX8	EX7	0	2.29	0	0	0.25	10	5.92	0	1.49	353.79	352.71	20	5.49	15	15.13	4.39	353.06	354.27	356.2	358.04	2.24	3
EX7A	EX7	0.38	0.38	0.45	0.17	0.17	10	5.92	1.01	1.01	356.54	352.75	63	6.06	15	15.9	3.68	353.06	356.94	356.2	360.69	2.2	2.9
EX7A	EX6	0.82	3.49	0.45	0.37	0.79	10	5.92	2.18	4.69	352.18	337.74	168	8.6	15	18.94	5.85	338.44	353.06	342.48	342.48	3.49	2.77
EX6	EX5	0.89	4.38	0.45	0.4	1.19	10	5.92	2.37	7.06	337.38	334.23	116	2.72	15	10.65	7.81	334.97	338.44	338.09	342.48	2.61	3.85
EX5A	EX5	2.16	2.16	0.45	0.97	0.97	10	5.92	5.75	5.75	339.09	334.09	100	5	15	14.44	6.24	334.9	340.06	338.09	343	2.75	2.66
EX5	EX4	2.77	9.31	0.45	1.25	3.41	10	5.92	7.38	20.19	333.43	332.06	41	3.36	18	19.25	11.69	333.44	334.9	338.07	338.09	4.51	3.16
EX4	EX3	0.63	9.94	0.45	0.28	3.69	10	5.92	1.68	21.87	331.96	325.07	135	5.1	18	23.71	13.82	326.21	333.44	328.82	338.07	2.25	4.61
<b>OUTFALL 3</b>																							
EX35	EX34	0.9	0.9	0.81	0.73	0.73	5	7.27	5.3	5.3	392.83	391.9	45	2.05	15	9.24	5.21	392.9	393.76	395.32	396.75	2.17	2.67
EX34	EX33	0.45	1.35	0.75	0.34	1.07	5	7.27	2.45	7.75	391.8	387.77	162	2.49	15	10.19	6.68	388.91	392.9	391.58	395.32	2.56	2.27
EX33	EX32	0.26	1.61	0.85	0.22	1.29	5	7.27	1.61	9.36	387.73	382.35	137	3.93	18	20.81	5.87	383.74	388.91	389.36	391.58	5.51	2.35
EX32	EX31	3.33	4.94	0.58	1.93	3.22	5	7.27	14.04	23.4	382.26	376.85	102	5.33	18	24.24	14.45	378.04	383.74	380.71	389.36	2.36	5.6
EX31	EX30	0	4.94	0	0	3.22	5	7.27	0	23.4	371.83	370.09	17	10.44	18	33.92	16.99	371.01	373.31	372.88	380.71	1.29	7.38



**OUTFALL NARRATIVE:**  
**OUTFALL #1:** THIS OUTFALL IS LOCATED AT THE EASTERN BOUNDARY CORNER AND CONTAINS SITE DRAINAGE FROM A PORTION A THE PARKING LOT, ACCESS ROAD, AND SERVICE ROAD. EVENTUALLY THIS DRAINAGE FALLS INTO A STORM SEWER SYSTEM ON LEESBURG PIKE (ROUTE 7) CONTINUING EAST.  
**PFM REQUIREMENT:** PER PFM SECTION 6-0203.2A, THE ADEQUACY OF DOWNSTREAM REVIEW MUST BE 150 FEET FROM A RECEIVING PIPE OR CHANNEL THAT IS JOINED BY ANOTHER DRAINAGE AREA THAT IS AT LEAST 90% OF THE SIZE OF THE FIRST DRAINAGE AREA.  
**OUTFALL #1 (DA 1)** IS 0.41 ACRES WITH A C-FACTOR OF 0.90. **OUTFALL #1 (DA 2)** IS APPROXIMATE 0.37 ACRES WITH A C-FACTOR OF 0.73. THE PRE-DEVELOPMENT AND POST-DEVELOPMENT DRAINAGE AREAS AND C-FACTORS REMAIN THE SAME (A=0.41, C=0.90) THE POINT OF CONFLUENCE IS LOCATED AT THE EX STR. # 23. THE LIMIT OF DOWNSTREAM REVIEW WILL FALL ON AN EXISTING 18" RCP BETWEEN EXISTING STRUCTURES #22-#22B LOCATED ON LEESBURG PIKE. THE 10-YEAR RUNOFF AT THE LIMIT OF DOWNSTREAM REVIEW IS 11.57 CFS, THE CAPACITY OF THE EXISTING 18" RCP IS 20.99 CFS (CALCULATED USING HYDROFLOW STORM SEWERS SOFTWARE FOR AUTOCAD 2014 - CALCULATES LOSSES FOR FRICTION, EXPANSION, CONTRACTION, AND BENDS BASED ON THE ENERGY EQUATION). THEREFORE THE EXISTING STORM SYSTEM IS ADEQUATE FOR THE 10-YEAR STORM AND IT IS IN THE ENGINEERS OPINION THAT THIS OUTFALL IS ADEQUATE PER PFM SECTION 6-0203.2D.  
**OUTFALL #2:** THIS OUTFALL IS LOCATED AT THE SOUTHERN BOUNDARY CORNER AND CONTAINS SITE DRAINAGE FROM A PORTION A THE PARKING LOT, EXISTING ROOF, MULCH PLAYGROUNDS AND HARD SURFACE SPORT COURT AREA. THIS DRAINAGE IS COLLECTED IN AN EXISTING 66" DIAMETER UNDERGROUND DETENTION SYSTEM (EXISTING UNDERGROUND SWM FACILITY #1) THAT DISCHARGES INTO AN EXISTING STORM SYSTEM IN SHADELAND DRIVE (ROUTE 2869).  
**PFM REQUIREMENT:** PER PFM SECTION 6-0203.2A, THE ADEQUACY OF DOWNSTREAM REVIEW MUST BE 150 FEET FROM A RECEIVING PIPE OR CHANNEL THAT IS JOINED BY ANOTHER DRAINAGE AREA THAT IS AT LEAST 90% OF THE SIZE OF THE FIRST DRAINAGE AREA.  
**OUTFALL #2 (DA 1)** IS 1.61 ACRES WITH A C-FACTOR OF 0.75. **OUTFALL #2 (DA 2)** IS APPROXIMATE 2.77 ACRES WITH A C-FACTOR OF 0.40. THE PRE-DEVELOPMENT AND POST-DEVELOPMENT DRAINAGE AREAS AND C-FACTORS REMAIN THE SAME (A=1.61, C=0.75) THE POINT OF CONFLUENCE IS LOCATED AT THE EX STR. # 5. THE LIMIT OF DOWNSTREAM REVIEW WILL FALL IN AN EXISTING 18" RCP BETWEEN EXISTING STRUCTURES #4-#3 LOCATED ON SHADELAND DRIVE. THE 10-YEAR RUNOFF AT THE LIMIT OF DOWNSTREAM REVIEW IS 21.87 CFS, THE CAPACITY OF THE EXISTING 18" RCP IS 23.71 CFS (CALCULATED USING HYDROFLOW STORM SEWERS SOFTWARE FOR AUTOCAD 2014 - CALCULATES LOSSES FOR FRICTION, EXPANSION, CONTRACTION, AND BENDS BASED ON THE ENERGY EQUATION). THEREFORE THE EXISTING STORM SYSTEM IS ADEQUATE FOR THE 10-YEAR STORM AND IT IS IN THE ENGINEERS OPINION THAT THIS OUTFALL IS ADEQUATE PER PFM SECTION 6-0203.2D.  
**OUTFALL #3:** THIS OUTFALL IS LOCATED AT THE NORTHERN BOUNDARY CORNER AND CONTAINS SITE DRAINAGE FROM A PORTION A THE PARKING LOT, SERVICE ROAD, EXISTING ROOF, AND GYMNASIUM ROOF. EVENTUALLY THIS DRAINAGE FALLS INTO A STORM SEWER SYSTEM ON LEESBURG PIKE (ROUTE 7) CONTINUING NORTH.  
**PFM REQUIREMENT:** PER PFM SECTION 6-0203.2A, THE ADEQUACY OF DOWNSTREAM REVIEW MUST BE 150 FEET FROM A RECEIVING PIPE OR CHANNEL THAT IS JOINED BY ANOTHER DRAINAGE AREA THAT IS AT LEAST 90% OF THE SIZE OF THE FIRST DRAINAGE AREA.  
**OUTFALL #3 (DA 1)** IS 0.90 ACRES WITH A C-FACTOR OF 0.81. **OUTFALL #3 (DA 2)** IS APPROXIMATE 2.40 ACRES WITH A C-FACTOR OF 0.58. THE PRE-DEVELOPMENT AND POST-DEVELOPMENT DRAINAGE AREAS AND C-FACTORS REMAIN THE SAME (A=0.90, C=0.81). THE POINT OF CONFLUENCE IS LOCATED AT THE EX STR. # 32. THE LIMIT OF DOWNSTREAM REVIEW WILL FALL ON AN EXISTING 18" RCP BETWEEN EXISTING STRUCTURES #31-#30 LOCATED ON LEESBURG PIKE. THE 10-YEAR RUNOFF AT THE LIMIT OF DOWNSTREAM REVIEW IS 23.40 CFS, THE CAPACITY OF THE EXISTING 18" RCP IS 33.92 CFS (CALCULATED USING HYDROFLOW STORM SEWERS SOFTWARE FOR AUTOCAD 2014 - CALCULATES LOSSES FOR FRICTION, EXPANSION, CONTRACTION, AND BENDS BASED ON THE ENERGY EQUATION). THEREFORE THE EXISTING STORM SYSTEM IS ADEQUATE FOR THE 10-YEAR STORM AND IT IS IN THE ENGINEERS OPINION THAT THIS OUTFALL IS ADEQUATE PER PFM SECTION 6-0203.2D.

**Stormwater Management Computations**

Project:	Baileys Upper School
Project Number:	1401.0002
Engineer:	J. Carahan
Date:	7/21/2014

**Predevelopment Site Conditions (Whole Site):**

Total Area:	3.41 acres
Impervious Area:	2.3 acres
Pervious Area:	1.11 acres
C-Factor:	0.70
I <sub>2</sub>	5.45 inches/hour
I <sub>10</sub>	7.27 inches/hour
Q <sub>2</sub>	13.01 cfs
Q <sub>10</sub>	17.35 cfs

**Post-Development Conditions (Whole Site):**

Total Area:	3.41 acres
Impervious Area:	2.27 acres
Pervious Area:	1.14 acres
C-Factor:	0.70
I <sub>2</sub>	5.45 inches/hour
I <sub>10</sub>	7.27 inches/hour
Q <sub>2</sub>	13.01 cfs
Q <sub>10</sub>	17.35 cfs

**Post-Development Site Conditions (Drainage Area to Existing SWM Facility #1):**

Area to SWM Facility:	1.61 acres
Impervious Area:	1.19 acres
Pervious Area:	0.42 acres
C-Factor:	0.75
I <sub>2</sub>	5.45 inches/hour
I <sub>10</sub>	7.27 inches/hour
Q <sub>2</sub>	6.58 cfs
Q <sub>10</sub>	8.78 cfs

**Post-Development Site Conditions (Whole Site): Area Draining Off Undetained**

Area:	1.8 acres
Impervious Area:	1.08 acres
Pervious Area:	0.72 acres
C-Factor:	0.66
I <sub>2</sub>	5.45 inches/hour
I <sub>10</sub>	7.27 inches/hour
Q <sub>2</sub>	6.47 cfs
Q <sub>10</sub>	8.64 cfs

**Total Allowed Release From Detention Facility:**

Allowed Release = Predevelopment - On-Site Undetained + Off-Site Undetained	
Q <sub>2</sub>	6.53 cfs
Q <sub>10</sub>	8.72 cfs

**Actual Release From Detention Facility:**

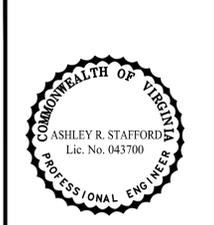
Actual Release <= Allowed Release	
Q <sub>2</sub>	1.26 cfs <= 6.53 cfs
Q <sub>10</sub>	1.50 cfs <= 8.72 cfs

Actual Release <= Allowed Release

**ADTEK**  
ONE STRUCTURAL SPECIALTY ENGINEERING  
9990 Fairfax Boulevard, Suite 300  
Fairfax, Virginia 22030  
Phone: 703-691-4040 Fax: 703-691-4056  
www.ADTEKengineers.com

NO.	DATE	DESCRIPTION	ISSUE
5	05/06/15	REVISED	
4	04/20/15	REVISED	
3	04/20/15	REVISED	
2	03/26/15	REVISED	
1	12/22/14	REVISED	

NO.	DATE	DESCRIPTION	ISSUE
5	05/06/15	REVISED	
4	04/20/15	REVISED	
3	04/20/15	REVISED	
2	03/26/15	REVISED	
1	12/22/14	REVISED	



THIS DRAWING SHALL BE USED FOR THE PROJECT INDICATED IN THE TITLE BLOCK ONLY AND ONLY IF IT IS STAMPED WITH AN ORIGINAL BLACK STAMP AND SIGNED IN BLUE.

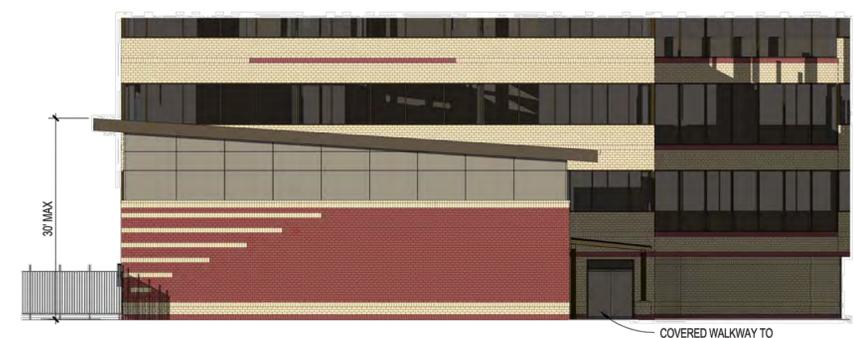
**BAILEY'S UPPER ELEMENTARY SCHOOL FOR THE ARTS AND SCIENCES**  
PCA 76-M-007-02  
MASON DISTRICT, FAIRFAX COUNTY, VA

**SWM CALCULATIONS**

DATE: 12/3/2014  
PROJECT NUMBER: 14010002  
SHEET 8  
DRAWING NUMBER: 8  
SCALE: AS NOTED  
DRAWN BY: KG/JC  
CHECKED BY: JS  
DATE: 12/3/2014  
PROJECT NUMBER: 14010002  
SHEET 8  
DRAWING NUMBER: 8



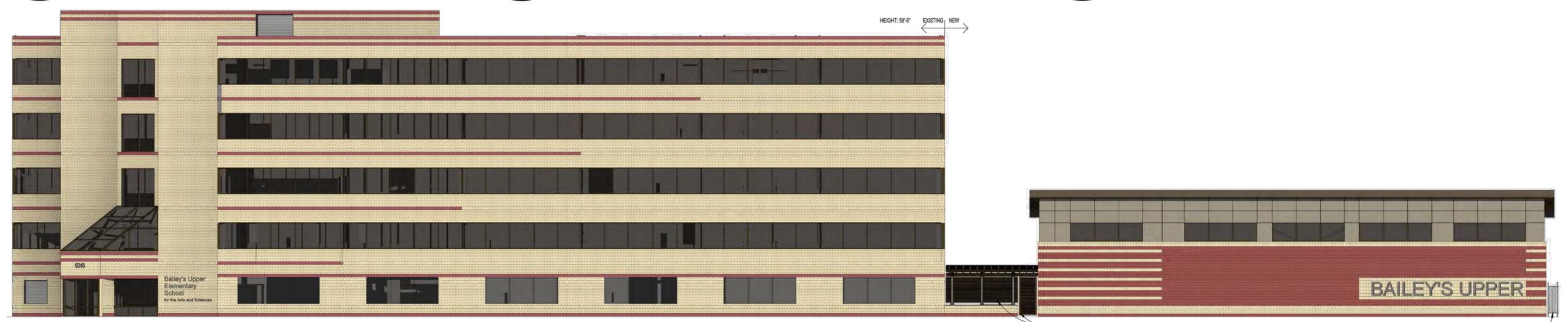
**3 SOUTH ELEVATION**  
 A401 SCALE: 1" = 10'-0"



**4 NORTH ELEVATION**  
 A401 SCALE: 1" = 10'-0"



**5 VIEW FROM ROUTE 7 LOOKING SOUTH**  
 A401 SCALE:



**1 EAST ELEVATION - LEESBURG PIKE**  
 A401 SCALE: 1" = 10'-0"

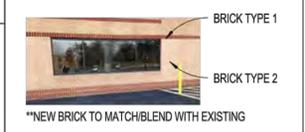


**2 WEST ELEVATION**  
 A401 SCALE: 1" = 10'-0"

**MATERIALS LEGEND**

- BRICK TYPE 1
- BRICK TYPE 2
- METAL PANEL 1

1. CONTINUOUS BRICK VENEER SOLDIER COURSE
2. CONTINUOUS BRICK VENEER ROWLOCK COURSE
3. METAL PANEL WITH 1/2" REVEAL
4. ALUMINUM STOREFRONT WINDOW
5. PRE-FINISHED ROOF, GUTTER, FASCIA & SOFFIT (PROVIDED BY METAL BUILDING MANUFACTURER)
6. STEEL SCREEN WALL & GATE
7. RAIN BARREL (BY OTHERS) WITH DIVERTER VALVE
8. AESS CANOPY & STRUCTURE: (ROOF PROVIDED BY METAL BUILDING MANUFACTURER TO MATCH MAIN BUILDING ROOF)
9. PRE-FINISHED METAL DOWNSPOUT; SEE PLUMBING FOR BOOT CONNECTION AND CIVIL FOR CONNECTION TO STORMWATER
10. MASONRY COLUMN BASE
11. PRECAST CONCRETE CAP
12. SNOW GUARD



NOTE: THE ELEVATIONS AND MATERIALS PRESENTED ON THIS SHEET ARE PRELIMINARY. THEY ARE PRESENTED TO ILLUSTRATE THE GENERAL CHARACTER OF THE PROPOSED GYM BUILDING. THE BUILDING ELEVATIONS WILL BE REFINED AND ARE SUBJECT TO MODIFICATION WITH FINAL ARCHITECTURAL AND ENGINEERING DESIGN.

NO.	DATE	REVISION	DESCRIPTION
5	05/06/15	REVISED	
4	04/30/15	REVISED	
3	04/20/15	REVISED	
2	03/26/15	REVISED	
1	12/22/14	REVISED	



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**BAILEY'S UPPER ELEMENTARY SCHOOL FOR THE ARTS AND SCIENCES**  
 MASON DISTRICT, FAIRFAX COUNTY, VA  
 GYM BUILDING ELEVATIONS

PROJECT: 14010002  
 SHEET: 9  
 DATE: 12/3/2014  
 CHECKED BY: JS  
 DRAWN BY: KG/JC

PROJECT NO: 20130392 | DATE: 03/24/15

BUILDING ELEVATIONS  
 BAILEY'S UPPER ELEMENTARY SCHOOL: PHASE 2  
 6245 LEESBURG PIKE  
 FALLS CHURCH, VA 22044  
**COOPER CARRY**

**A GLOSSARY OF TERMS FREQUENTLY  
USED IN STAFF REPORTS WILL BE  
FOUND AT THE BACK OF THIS REPORT**

**APPLICATION DESCRIPTION**

The applicant, Fairfax County School Board, requests approval of an amendment to a rezoning (RZ 76-M-007), previously approved for office uses, to permit an addition to the school (gymnasium), an outdoor play area, a bus drop-off and pick-up loop, and associated modifications to the proffers, site design, and building setbacks in the Commercial Revitalization Overlay District (CRD), with an overall Floor Area Ratio (FAR) of 0.71. The public school use in the existing building was approved with application 2232-M13-14. The gymnasium expansion would increase the size of the elementary school from 99,350 square feet (0.67 FAR) to 105,550 square feet (0.71 FAR), which would be an increase of 6,200 square feet. The project site consists of 3.41 acres, located at 6245 Leesburg Pike, within the C-3 (Office); the CRD (Commercial Revitalization Overlay - Bailey's Crossroads); HC (Highway Corridor Overlay); and SC (Sign Control Overlay) Districts.

**Aerial View of the Project Site Looking North**



**Modifications and Deviation:**

The applicant requests approval of the modifications listed below, in favor of the alternatives as shown on the proposed plat and as conditioned:

- Modification of the front yard setback from 20 feet to 11 feet, pursuant to Par. 1A of Sect. 9-622 of the Zoning Ordinance, in favor of the alternatives as shown on the proposed GDP and as conditioned;
- Modification of the transitional screening requirement along a portion of the western property line adjacent to Lot 12A, pursuant to Par. 14 of Sect. 13-305 of the Zoning Ordinance, in favor of the alternatives as shown on the proposed GDP and as conditioned; and
- Modification of the location of the barrier, pursuant to Par. 14 of Sect. 13-305 of the Zoning Ordinance, in favor of the location as shown on the proposed GDP and as conditioned.

A reduced copy of the Generalized Development Plan (GDP) is included at the front of this report. Copies of the applicant's draft proffers, the affidavit, and the statement of justification are included in Appendices 1, 2 and 3, respectively. The most recently approved proffers and GDP (PCA 76-M-007) are included in Appendices 4 and 5, respectively. A Planning Commission action, which found that the proposal to retrofit an existing office building for an elementary school use satisfied the criteria of location, character, and extent of the Code of Virginia and was substantially in accord with the provisions of the Comprehensive Plan, is included in Appendix 6. Agency analyses are included in Appendices 7 through 13. The applicable Comprehensive Plan text is included in Appendix 14 and the applicable Zoning Ordinance standards are included in Appendix 15.

**LOCATION AND CHARACTER****Site Description:**

The 3.41-acre project site contains six parcels located on the southwest side of Leesburg Pike, on a service drive, approximately 1,200 feet southeast of its intersection with Arlington Boulevard (Route 50). The site is currently developed with the Bailey's Upper Elementary School (Upper ES) for the Arts and Sciences. The elementary school is a five-story, L-shaped building with an approved maximum gross floor area (GFA) of 99,350 square feet and a Floor Area Ratio (FAR) of 0.67. School enrollment is approximately 600 students with capacity for 700 students. The school has approximately 60 employees. Existing pavement, including surface and under-building parking areas, and two interior rooms, are used as play areas.

Parking is provided through a surface lot and under-building parking located under the southern half of the building. Access to the site from the service drive

is provided from two separate entrances: the southern entrance is used primarily for the private drop-off and pick-up of children (kiss-and-ride operations); and the northern entrance is used primarily for bus access.

A summary of the surrounding land use, zoning, and Comprehensive Plan recommendations is provided in the following table:

<b>SURROUNDING AREA DESCRIPTION</b>			
<b>Direction</b>	<b>Use</b>	<b>Zoning</b>	<b>Comprehensive Plan Recommendation</b>
<b>North</b>	Single-Family detached house; low to medium density office	R-3; C-3	Residential (2-3 du/ac); Office
<b>East</b>	Leesburg Pike; Seven Corners Shopping Center	C-7	Retail and Other Commercial Uses
<b>South</b>	Low to medium-density office	C-3	Office
<b>West</b>	Single-Family detached houses	R-3	Residential (2-3 du/ac)

## **BACKGROUND**

The Bailey's Upper ES is an extension of the Bailey's ES for the Arts and Sciences. These schools are managed as one school with two campuses. The elementary school is located at 6111 Knollwood Drive in Falls Church, approximately 1.5 miles from the Upper ES, and houses Grades Kindergarten through 2. The Upper ES houses Grades 3 through 5. Together, these schools form a magnet school focusing on the sciences, the arts, and technology. The Upper ES has an enrollment of approximately 600 students and a capacity of approximately 700. Approximately 12 buses serve the school each day. School operations started in the Fall of 2014 and provided enrollment relief for the Bailey's Elementary School for the Arts & Sciences, which was well over capacity at that time.

The school occupies a former office building, which was originally constructed in 1987. The office building had been vacant from September 2012. On December 4, 2013, the Planning Commission determined through a 2232 Planning Determination that a proposal to retrofit the office building for an elementary school use was substantially in accord with the provisions of the Comprehensive Plan. The applicant subsequently developed a plan to renovate the building as an urban vertical-design school. The interior renovation was accomplished in early to mid-2014 and included new interior and exterior finishes, energy efficient windows, roofing, HVAC, electrical service and distribution, fire alarm and other life safety systems, and a full-size cafeteria. However, no traditional gymnasium is available on the site. Instead, the school relies on interior fitness and activity rooms and outdoor paved areas (both within the surface parking lot and the under-building parking, located under the southern wing of the building) to provide for fitness

activities. The changes proposed as part of the current application were anticipated during the previous 2232 Planning Determination, in which the applicant stated their intention to retrofit the outdoor spaces at a later date through a proffered condition amendment. The current application would fulfill this intent.

A summary of previous land use approvals is provided in the following table:

File Number	Approval Date	Description
RZ 76-M-007	February 23, 1976	RZ approved to amend the zoning map from R-12.5 (One-Family Residential: 12,500 square feet) and C-O (Commercial Office) to C-O for the development of 99,350 gross square feet of office uses at an FAR of 0.592.
RZ 1998-MD-037	October 12, 1998	Five Commercial Revitalization Districts established by the Board of Supervisors, including the Bailey's Cross Roads/Seven Corners CRD. These districts were intended to improve the overall appearance, quality, and economic vitality of the revitalization areas.
PCA 76-M-007	June 16, 2003	PCA approved to amend RZ 76-M-007, previously approved for office, to permit additional office space and to reduce parking (enclose half of the under-building parking).
Interpretation	October 1, 2013	The Zoning Evaluation Division determined that the proposed public school use would be in substantial conformance with the proffers and GDP associated with PCA 76-M-007, subject to final approval by DPWES of the interior modifications and compliance with all County codes, ordinances, and regulations.
2232-M13-14	December 4, 2013	The Planning Commission found that the proposal to retrofit an existing office building for an elementary school use satisfied the criteria of location, character, and extent as specified in Section 15.2-2232 of the Code of Virginia and was substantially in accord with the provisions of the Comprehensive Plan.

## COMPREHENSIVE PLAN PROVISIONS

**Plan Area:** I  
**Planning District:** Bailey's  
**Planning Sector:** Seven Corners Community Business Center, Sub-Unit C-2  
**Plan Map:** Office

Excerpts from Fairfax County Comprehensive Plan, 2013 Edition, Area I, Baileys Planning District, Amended through 3-3-2015, Seven Corners Community Business Center (CBC):

*Sub-Unit C-2: "This area is planned for office use at the existing intensity with parking facilities situated to preclude visual impact and minimize noise impact on adjacent residences. The screening provided along Buffalo Ridge Road should be sufficient to maintain the residential character of this street."*

The Seven Corners Community Business Center Plan Amendment (PA 2013-I-B2) is currently under review, which is studying the roadway network and land use policies in the Seven Corners area. PA 2013-I-B2 is scheduled for public hearing before the Planning Commission on May 7, 2015 and before the Board of Supervisors on June 23, 2015. The applicant has filed this application to further refine the school use, which was previously determined to be in substantial accord with the Comprehensive Plan for the site. The draft Seven Corners Plan Amendment shows the school as a recommended use for the site.

A complete listing of current and relevant Comprehensive Plan text is included in Appendix 14.

## ANALYSIS

<b>Generalized Development Plan:</b>	(copy at front of staff report)
<b>Title:</b>	Bailey's Upper Elementary School for the Arts and Sciences
<b>Prepared by:</b>	Adtek Engineers
<b>Date:</b>	May 6, 2015
<b>Number of Pages:</b>	10

### Proposal:

The applicant proposes an addition to an existing elementary school for a gymnasium of approximately 6,200 square feet; an outdoor play area (including a playground and sport court); and a bus loop for the drop-off and pick-up of children. These facilities would be constructed in the northwestern portion of the site, which currently contains excess surface parking. Approximately half of the current parking would be eliminated, with an adequate number remaining (135 spaces) to meet the requirements of the Zoning Ordinance. The gymnasium would be constructed as a stand-alone structure to the northwest of the existing building and would be connected to the existing building through an extension of an existing covered walkway. The addition would include a vestibule, sport court, offices, storage, and restrooms. The proposed outdoor play area would be constructed to the west of the gymnasium addition. The bus loop would be constructed around the play area. The proposal includes the possible future use of identified open spaces along the western property line as outdoor learning spaces, to include features such as raised gardens, mulched paths, benches, picnic tables, and shade structures. The hours of operation would remain unchanged: generally 7:00 a.m. to 4:00 p.m., Monday through Friday, and other times as needed during the evenings and on weekends to support the use of the school and its facilities for school and/or community events and programs.



### Existing Site Conditions:

The existing school is a five-story, L-shaped building with an approved maximum gross floor area (GFA) of 99,350 square feet and a Floor Area Ratio (FAR) of 0.67. The southern wing of the building features under-building parking, which is used for kiss-and-ride operations, outdoor play, and parking. Existing pavement, including under-building parking areas and two interior rooms, are used as play areas. Transitional screening and a 6-foot tall wooden fence is provided adjacent to residential properties, generally along or near the western lot lines. Ornamental iron fencing with vertical bars is provided adjacent to commercial properties.

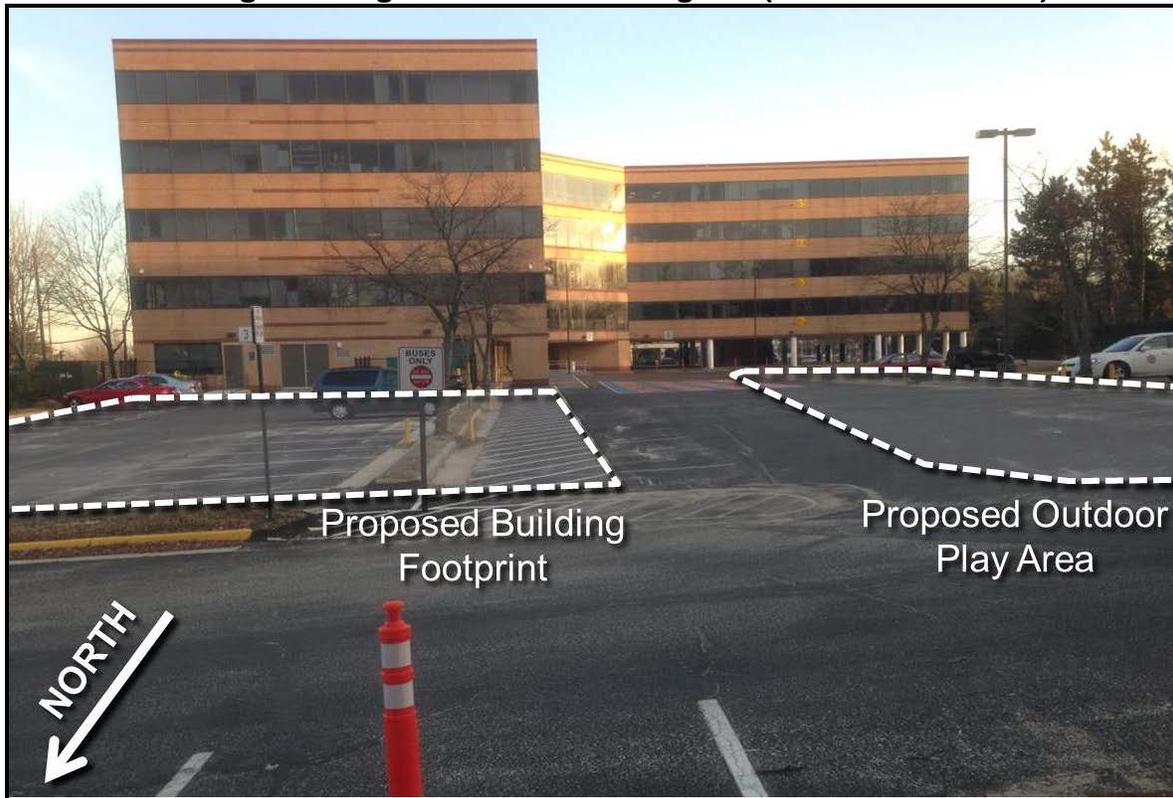
### Access and Parking:

Parking is provided through a surface lot and through under-building parking located under the southern wing of the building. Access to the site from a service drive along Leesburg Pike is provided from two separate entrances: the southern entrance is used primarily for the private drop-off and pick-up of children (kiss-and-ride operations); and the northern entrance is used primarily for bus access. The site currently contains approximately 280 parking spaces. The proposal would result in the conversion of approximately half of those spaces for the outdoor play area and bus loop, with 135 spaces remaining, which is 71 spaces above the number required.

### **Existing Building (view to south)**



### Existing Building & Northern Parking Lot (view to southeast)



### Land Use Analysis (Appendix 7)

The site is recommended for Office use by the Land Use Map of the Comprehensive Plan. Comprehensive Plan text recognizes that community-serving institutional uses may be considered in any portion of the Seven Corners Community Business Center if a similar scale and character as other uses planned for the sub-unit. Additionally, the Comprehensive Plan notes that the screening provided along Buffalo Ridge Road should be sufficient to maintain the residential character of this street.

Plan text recommendations, which anticipate office uses at existing intensities, is reflective of the building's former use on this site. On December 4, 2013, the Planning Commission approved application 2232-M13-14, which determined that the retrofit of the existing office building for a public elementary school use is substantially in accord with the provisions of the Comprehensive Plan under "alternative land uses." Although not constructed concurrently with the internal renovation of the school, the proposed gymnasium, outdoor play area, and bus loop are ancillary uses integral to the school's educational mission, and were anticipated in the approval of 2232-M13-14. Additionally, the existing 25-foot wide transitional buffer and barrier would be maintained or enhanced along Buffalo Ridge Road to provide a transition to the surrounding residential uses. Given these factors, Staff concludes that the proposal conforms to the intent of the Comprehensive Plan.

Staff notes that the Seven Corners Community Business Center Plan Amendment (PA 2013-I-B2), currently undergoing public review, includes new land use recommendations that encourage a mixed-use village concept for the area to the southeast of the project site. In that area, the greatest building heights would be located along Leesburg Pike with tapers in height to create a transition to the adjacent single-family neighborhoods. The road network anticipated as part of the plan amendment would likely result in the closure of the service drive fronting Leesburg Pike. While the northern bus entrance would likely remain open following the reconfiguration of Leesburg Pike, the southern kiss-and-ride access would likely be closed, due to its proximity to a planned intersection. However, under those circumstances, an interparcel connection along the school's southeastern property boundary is anticipated to provide access to a new signalized intersection further south on Leesburg Pike. The proposed proffers would accommodate an interparcel connection along the southeastern property boundary.

Additionally, staff notes that the applicant has identified open spaces along the western property line as possible future outdoor learning areas. To ensure that these spaces could be used for such facilities and activities without the need for a future PCA, the proposed proffers provide a description of typical features that may be included in outdoor learning areas, including gardens, mulched pads, rain gardens, benches, shade structures, and natural surface trails.

Staff concludes that the land use issues associated with the application have been adequately addressed.

### **Transportation Analyses (Appendices 8 (FCDOT) & 9 (VDOT))**

FCDOT and VDOT staff evaluated the proposal and made several recommendations regarding pedestrian and vehicular facilities.

FCDOT anticipates future improvements to pedestrian and vehicular facilities in the Seven Corners area, commensurate with the recommendations of Plan Amendment PA 2013-I-B2, which is currently undergoing public review. FCDOT recommends appropriate proffer commitments for improvements along the school frontage related to the proposed use, including striped crosswalks across the driveway entrances. Additionally, in conjunction with the proposed reconfiguration of the transportation facilities within the Leesburg Pike right-of-way, as discussed above in the Land Use Analysis section, FCDOT staff noted that the service drive fronting Leesburg Pike might be eliminated, the southern kiss-and-ride closed, (due to its proximity to a planned intersection), and the southern access point relocated to the southeastern property boundary. In the event that the southern kiss-and-ride entrance is relocated, FCDOT recommends an interparcel access to ensure that stacking is contained on-site and within the

new local roadway network without impacting the main travel lanes of Leesburg Pike.

The applicant noted that the proposal does not create any new impacts to the public road network and that the school can continue to safely operate by using the existing access points. Additionally, the changes to the frontage of Leesburg Pike have not yet been formalized and those proposed would occur almost entirely within the existing public right-of-way. As such, the applicant feels that significant frontage improvements would be premature. However, the applicant recognizes that the sidewalk across the property frontage and within the public right-of-way does not include striped crosswalks across the driveway entrances or standard curb ramps. The applicant proposes a proffer to accommodate these pedestrian improvements along the property frontage. The proposed proffer would require the construction of standard curb ramps and crosswalks within 18 months following the approval of a minor site plan, public improvement plan, or site plan for the crosswalks and curb ramps. This plan would be separate from the minor site plan currently under review and would be required to be filed before the issuance of a Non-RUP for the current minor site plan.

Additionally, the applicant proposes a proffer that would accommodate a future interparcel connection along the southeastern boundary; require the use of the interparcel connection for vehicular access; and require a pedestrian connection to the adjacent parcel. The applicant also proposes modifications to the site circulation, so that the new interparcel access is used for kiss-and-ride operations.

Staff recommends that the proffers be revised to ensure that the applicant constructs an interparcel connection on their property once interparcel access is available from the adjacent property; removes the existing drop-off/pick-up access to Leesburg Pike; and modifies the site circulation.

Staff continues to work with the applicant to clarify the proffers regarding interparcel access; pedestrian connections; and the closure of the existing kiss-and-ride entrance.

Virginia Department of Transportation staff recommended that the applicant complete the following:

- Relocate the proposed trees along the Leesburg Pike service drive so that they are not within entrance sight lines;
- Provide access to Buffalo Ridge Road to give buses access to a traffic signal on Leesburg Pike; and
- Relocate the gate at the northern entrance further from Leesburg Pike to permit buses to exit Leesburg Pike, park, and open/close the gate, without obstructing any travel lanes along the roadway.

The applicant responded by adjusting the location of all trees so that they remain outside of entrance sight lines; noting that bus access is proposed to remain unchanged, with access to Leesburg Pike only; and noting that gates are unlocked and open prior to the arrival of buses, precluding the need for drivers to leave the busses to open or close the gates.

Staff concludes that the transportation issues associated with the application have been adequately addressed.

### **Community Revitalization Analysis (Appendix 10)**

Office of Community Revitalization (OCR) staff reviewed the application and noted that the Bailey's Upper ES gymnasium project has progressed in its design and is expected to provide a complementary addition to the main school building along Leesburg Pike.

OCR recommended that the applicant complete the following:

- Provide further details on the gymnasium building materials and finishes and clarify whether the brick types being proposed for the gymnasium will match or blend with the brick used in the existing school building;
- Consider moving the bottom edge of the gymnasium windows and metal paneling lower in order to match the bottom edge of the existing building's second floor window line and provide window line symmetry between the two buildings;
- Depict and label a potential future interparcel connection between the school property and commercial property adjacent to the southeastern boundary. This would ensure that the school site maintains access to a stop light on Leesburg Pike in the event that the service drive is eliminated due to added transit lanes along the corridor. The Seven Corners Transportation Plan indicates a need to provide a connection. Furthermore, the proposed Comprehensive Plan Amendment for the Seven Corners Community Business Center (CBC) recommends future interparcel connectivity between the school and the adjacent property;
- Provide a color rendering that depicts the design, materials, and general color palette of items within the Details sheet and include any new proposed ornamental iron fencing on the Details Sheet and verify it will match the existing ornamental iron fencing on the site; and
- Consider striping pedestrian crosswalks along both entrances to enhance pedestrian circulation, awareness, and safety in the area.

Additionally, staff noted that the existing streetscape along Leesburg Pike is not consistent with the future Leesburg Pike Streetscape Urban Design concept and streetscape design guidelines outlined in the Comprehensive Plan due to the presence of a service drive. The service drive is to remain as an interim condition until Leesburg Pike is redesigned in the future.

In response to staff recommendations, the applicant has committed to bricks and mortar that will match those of the existing building to the extent feasible. In regards to the windows, the applicant noted that the top half of the proposed windows already match the top edge of the existing second floor windows. However, larger windows would be required in the gymnasium if the bottom edge of the windows were also to match, and would result in increased costs and possible conflicts with the gymnasium activities.

Additionally, staff is working with the applicant to clarify the proffers regarding the provision of a possible interparcel connection to the southeast without the need for a PCA, in the event that the Leesburg Pike frontage is reconfigured and the southern access closed, and complete crosswalks in the adjacent right-of-way across the two entrances. The applicant has provided color renderings of the Details Sheet. Finally, the applicant noted that they would work with the appropriate County and State agencies regarding a reconfiguration of the Leesburg Pike frontage and changes to their access points as necessary in the future.

Staff concludes that the revitalization issues associated with the application have been adequately addressed.

### **Forestry Analysis (Appendix 11)**

The property is developed as an urban vertical-design school with transitional screening and barriers around the periphery of the site. Staff noted several gaps in the landscaping, the presence of invasive plants, and various dead or dying trees.

In order to enhance the landscape areas and ensure compatibility with the surrounding uses, UFMD staff recommended that the applicant complete the following:

- Provide 10-year canopy calculations and depict where 10-year canopy credit is being taken;
- Provide a Tree Preservation Target and depict those areas on the GDP;
- Depict all trees that are dead, diseased, or in poor health. Remove and replace these trees;
- Provide supplemental landscaping in areas where vegetation is sparse;
- Commit to an invasive species management plan detailing how invasive and undesirable vegetation will be removed and managed;
- Commit to the installation of fencing in a manner that minimizes impacts to existing trees;
- Revise the GDP to reflect the existing forested cover type in the southern portion of the property;

Staff had additional recommendations regarding transitional screening; barriers; the requested modifications; the use of ornamental groupings of shrubs and perennials; tree selection; the limits of clearing and grading; root pruning; site monitoring; the use of native species; and several other related items.

In response to staff recommendations, the applicant proposes a proffer regarding landscaping that address the use of native species; invasive species management; transitional screening; and existing vegetation. These issues would be addressed as part of a minor site plan for the school, currently under review.

Staff continues to work with the applicant to clarify the proffers regarding landscaping and tree preservation. Staff concludes that the forestry issues associated with the application have been adequately addressed.

### **Stormwater Management Analysis (Appendix 12)**

Site Development and Inspections Division staff of DPWES reviewed the application and noted/recommended the following:

- During the development, the natural drainage divide shall be honored and stormwater outfall must not have an adverse impact on adjacent or downstream properties;
- In regards to stormwater quantity, the post-development release rate is less than that the pre-development condition. However, the applicant should depict which facility will remain and which will be removed by the plan;
- The applicant proposes two “Filterra” systems for stormwater quality control. Currently, the site has no stormwater quality controls. Detailed engineering calculations for the sizing of Best Management Practices (BMPs) will be reviewed at the site plan stage; and
- An outfall narrative has been provided. However, a description of the adequacy and stability of the outfall is not a part of the statement. The applicant should describe the existing conditions of each site outfall extended downstream from the site.

In response to staff comments, the applicant noted that the drainage divide will be honored and that the GDP has been updated to reflect that the proposed development will not have an adverse impact on adjacent or downstream properties. Additionally, the GDP has been updated to indicate the location of the existing underground detention facilities and to identify which are to remain and which are to be removed. Water quality computations have been revised and an outfall analysis updated for each outfall. The applicant proposes a proffer stating that stormwater management and Best Management Practices (BMPs) shall be provided as generally depicted on the GDP.

Staff concludes that stormwater management requirements have been adequately addressed.

### **Environmental Analysis (Appendix 13)**

Environment and Development Review Branch staff of DPZ reviewed the application. Staff noted that the subject site is located in the Cameron Run Watershed and that the site is largely impervious. The stormwater narrative indicates that the site currently contains no stormwater quality facilities. However, two “Filterra” water quality devices are proposed to meet water quality and water quantity requirements. Staff encouraged the applicant to add vegetation wherever possible to enhance the site and to enhance stormwater management.

Additionally, given that the site is located in the Bailey's CBC and in support of the County's Green Building policy, staff recommended that the applicant demonstrate how the gymnasium will be constructed to support the County's Green Building policy.

In response to staff comments and recommendations, the applicant has committed to a dedicated area on the property for the collection and storage of recycled materials; high efficiency mechanical systems; LED lighting; lighting occupancy sensors; hands free/low water consumption plumbing fixtures; a water bottle filling station; low emissivity glazing (windows); and low Volatile Organic Compound (VOC) emitting materials.

Staff concludes that the environmental issues associated with the application have been adequately addressed.

### **Sanitary Sewer, Parks, Water, and Fire & Rescue Analyses**

Staff of the Wastewater Planning & Monitoring Division of DPWES found that the proposed application would not have an adverse impact on the sanitary sewer system.

Park Authority staff determined that the application bears no adverse impact on the land, resources, facilities, or service levels of the Park Authority.

Fairfax County Water Authority noted that adequate domestic water service is available at the site from existing 10-inch and 12-inch water mains located on-site. Depending upon the configuration of any proposed on-site water mains, additional water main extensions may be necessary to satisfy fire flow requirements and accommodate water quality concerns.

Fire and Rescue staff noted that construction of structures and buildings shall require full compliance with fire protection and access requirements listed in the

Statewide Building Code, the Fairfax County Public Facilities Manual and the Statewide Fire Prevention Code as amended by Fairfax County including all fire lane markings.

## ZONING ANALYSIS

### Lot Size Requirements, Bulk Standards, and Parking

Standard	Required	Previously Approved	Proposed
<b>Minimum Lot Area</b>	20,000 sq. ft. min.	3.41 acres	3.41 acres
<b>Minimum Lot Width</b>	100 feet	approx. 471 feet	approx. 471 feet
<b>Maximum FAR</b>	1.00	0.67	0.71
<b>Open Space</b>	15%		45%
<b>Parking Spaces</b>	64 (minimum)		135
<b>Loading Spaces</b>	2 (minimum)		2
<b>Maximum Building Height</b>	90 feet	58 ft. - 6 in.	30 feet maximum (addition)
<b>Front Yard</b>	20 feet minimum; 25° Angle of Bulk Plane (ABP) = 14 feet	15 feet	11 feet (Leesburg Pike) <sup>1</sup>
<b>Rear Yard</b>	25 feet minimum; 20° ABP = 11 feet	165 feet (Buffalo Ridge Rd.)	165 feet (Buffalo Ridge Rd.)
<b>Transitional Screening</b> - North (R-3; C-3) - West (R-3)	Type 1 (adjacent to R-3) Type 1	Type 1 Type 1	modification requested <sup>2</sup> modification requested <sup>2</sup>
<b>Barrier</b> - North (R-3; C-3) - West (R-3)	Type D, E, or F (adj. to R-3) Type D, E, or F	Type F Type F	modification requested <sup>2</sup> modification requested <sup>2</sup>

1. The applicant has requested a modification of the minimum front yard requirements of the CRD, pursuant to Par. 1.D. of Sect. 9-622 of the Zoning Ordinance; see the following discussion.
2. The applicant has requested a modification of the transitional screening and barrier requirements, pursuant to Par. 1.D. of Sect. 9-622 of the Zoning Ordinance; see the following discussion.

### Overlay District Requirements

#### Baileys Crossroads/Seven Corners Community Revitalization District (CRD) (Part 2, Sect. A7-200)

The zoning provisions for the Baileys Crossroads/Seven Corners CRD state that the minimum front yard in commercial districts shall be 20 feet; and that the transitional screening and barrier requirements of Part 3 of Article 13 shall apply to expansions or enlargements of existing developments.

However, pursuant to Par. 2 of Sect. A7-207 of the Zoning Ordinance, modifications of the minimum yard requirements may be approved by the Board in accordance with the provisions of Sect. 9-622. Additionally, transitional

screening and barriers may be waived or modified by the Director in certain circumstances in accordance with Sect. 13-305 of the Zoning Ordinance. The applicant requests modifications to the minimum front yard and transitional screening and barrier requirements, which are discussed more fully under "Modifications."

#### Sign Control Overlay District (SC) (Sect. 7-500)

Sign Control Overlay Districts are established in furtherance of Sect. 12-101 by restricting freestanding signs in the intensely developed commercial and industrial areas of the County where there is an increased need to reduce visual clutter, sight distance obstructions and interference with traffic control signals and mechanisms, and where the speed of traffic does not warrant the freestanding signs otherwise permitted by the provisions of Article 12.

The applicant would be required to conform to the provisions of Article 12 of the Zoning Ordinance. No free-standing signs are proposed.

#### Highway Corridor Overlay District (HC) (Sect. 7-600)

Certain automobile oriented, fast service, or quick turn-over uses are regulated by the Highway Corridor Overlay District, including drive-in financial institutions; fast food restaurants; quick-service food stores; service stations; and service station/mini-marts. Public uses are not subject to these additional regulations.

## **MODIFICATIONS**

The applicant requests the following modifications:

#### Minimum Front Yard

- Modification of the front yard setback from 20 feet to 11 feet, pursuant to Par. 1A of Sect. 9-622 of the Zoning Ordinance, in favor of the alternatives as shown on the proposed GDP and as conditioned;

*The zoning provisions for the Baileys Crossroads/Seven Corners CRD state that the minimum front yard in commercial districts shall be 20 feet. However, pursuant to Par. 2 of Sect. A7-207 of the Zoning Ordinance, modifications of the minimum yard requirements may be approved by the Board in accordance with the provisions of Sect. 9-622.*

The applicant requests a modification to the minimum front yard to 11 feet. While the gymnasium would be constructed 15 feet from the right-of-way line, in line and consistent with the existing school, an eave would extend into the setback by four feet, decreasing the setback to 11 feet. The eave provides architectural

interest, helps shades the windows, and helps protect the building from the elements. Given the shape and size of the site and the functional requirements of the school, shifting the footprint of the building and/or reducing its size might result in adverse impacts to transitional screening and the functionality of the building, the bus loop, and/or the outdoor play area. To mitigate the impacts of the reduction in the setback, the applicant has committed to the planting of additional canopy trees along the property frontage and enhanced architectural treatment of the building, as shown on the GDP. Staff supports the modification of the front yard setback from 20 feet to 11 feet, in favor of the alternatives as shown on the proposed GDP and as conditioned.

#### Transitional Screening and Barriers

- Modification of the transitional screening requirement along a portion of the western property line adjacent to Lot 12A, pursuant to Par. 14 of Sect. 13-305 of the Zoning Ordinance, in favor of the alternatives as shown on the proposed GDP and as conditioned; and
- Modification of the location of the barrier, pursuant to Par. 14 of Sect. 13-305 of the Zoning Ordinance, in favor of the location as shown on the proposed GDP and as conditioned.

*Transitional screening and barriers may be waived or modified by the Director in certain circumstances in accordance with Sect. 13-305 of the Zoning Ordinance. The Director may attach conditions to any modification which would assure that the results of the modification would be in accordance with the purpose and intent of the Zoning Ordinance. Transitional screening and barriers may be waived or modified for any public use when such use has been specifically designed to minimize adverse impact on adjacent properties. Additionally, barriers are generally located between the required transitional screening and the use or activity in connection with which they are required.*

The applicant proposes six-foot tall wooden fencing adjacent to neighboring residential parcels and proposes to retain ornamental iron fencing with vertical bars adjacent to adjoining commercial uses. The applicant also proposes a reduction in the transitional screening to a distance of approximately 13 feet along a portion of the western property line adjacent to Lot 12A, an adjoining residential parcel. The reduction is necessary to accommodate a bus loop around the central outdoor play area and in consideration of an irregularly shaped property. To mitigate the impacts of the reduction of the transitional screening width, additional canopy trees and shrubs are proposed in the area.

Wooden fencing would be constructed as annotated on the GDP. In certain areas the fencing would be constructed on the property lines and in others the fencing would be constructed approximately twelve feet from the property lines, dependent on site factors and the distance to the adjacent residences. Plantings would be provided on both sides of the fence, where applicable, as part of the

transitional screening to allow a transition to the barrier for both adjoining residential properties and the school.

Staff supports the modification of the transitional screening and barriers as proposed.

## **CONCLUSIONS AND RECOMMENDATIONS**

### **Staff Conclusions**

The applicant proposes the construction of a gymnasium, an outdoor play area, and a bus drop-off and pick-up loop in furtherance of the school's educational mission and in an effort to enhance operational efficiencies and safety. The proposed addition has been designed to be compatible with the architecture of the existing building. Additionally, the applicant has committed to pedestrian improvements and landscaping enhancements, in consideration of an irregularly shaped lot and the adjacency of several residential parcels. The proposed changes to the site were anticipated in the previous 2232 application, which determined that the proposal to retrofit an existing office building for an elementary school use was substantially in accord with the provisions of the Comprehensive Plan.

A Comprehensive Plan amendment is currently under review, which would revise the roadway network and land use policies in the Seven Corners area, to include the elimination of the Leesburg Pike service drive and a reconfiguration of the roadway. In anticipation of the possible future changes, staff is working with the applicant to ensure that, once interparcel access is available to the southeast, that site circulation is modified; the interparcel access is used for kiss-and-ride operations; and the current kiss-and-ride entrance is closed. Staff is also working with the applicant to provide crosswalks and curb ramps across the existing driveway entrances and address urban forestry requirements, including 10-year canopy calculations; tree preservation; invasive species management; fencing installation; tree selection; root pruning; and site monitoring.

Staff concludes that the proposed use would be in harmony with the Comprehensive Plan. Staff continues to work with the applicant to clarify transportation and forestry commitments.

### **Recommendations**

Staff recommends approval of PCA 76-M-007-02.

Staff recommends approval of the modifications, as listed below:

- Modification of the front yard setback from 20 feet to 11 feet, pursuant to Par. 1A of Sect. 9-622 of the Zoning Ordinance, in favor of the alternatives as shown on the proposed GDP and as conditioned;
- Modification of the transitional screening requirement along a portion of the western property line adjacent to Lot 12A, pursuant to Par. 14 of Sect. 13-305 of the Zoning Ordinance, in favor of the alternatives as shown on the proposed GDP and as conditioned; and
- Modification of the location of the barrier, pursuant to Par. 14 of Sect. 13-305 of the Zoning Ordinance, in favor of the location as shown on the proposed GDP and as conditioned.

It should be noted that it is not the intent of staff to recommend that the Board, in adopting any conditions proffered by the owner, relieve the applicant/owner from compliance with the provisions of any applicable ordinances, regulations, or adopted standards. The approval of this application does not interfere with, abrogate, or annul any easements, covenants, or other agreements between parties, as they may apply to the property subject to this application.

It should be further noted that the content of this report reflects the analysis and recommendations of staff; it does not reflect the position of the Board of Supervisors.

## **APPENDICES**

1. Proposed Proffers
2. Affidavit
3. Statement of Justification
4. PCA 76-M-007 – Previously Approved Proffers
5. PCA 76-M-007 – Previously Approved GDP
6. 2232 Planning Determination
7. Land Use Analysis – DPZ/PD
8. Transportation Analysis – FCDOT
9. Transportation Analysis - VDOT
10. Community Revitalization Analysis - OCR
11. Forestry Analysis – DPWES/UFMD
12. Stormwater Management Analysis – DPWES/SDID
13. Environmental Analysis – DPZ/PD
14. Comprehensive Plan Excerpts
15. Applicable Zoning Ordinance Standards
16. Glossary of Terms

FAIRFAX COUNTY SCHOOL BOARD  
(BAILEY'S UPPER ELEMENTARY SCHOOL)  
PCA 76-M-007-02  
PROFFER STATEMENT  
MARCH 26, 2015  
APRIL 20, 2015  
APRIL 30, 2015  
May 7, 2015

Pursuant to Section 15.2-2303(A) of the Code of Virginia, as amended, and subject to the Fairfax County Board of Supervisors' (the "Board") approval of this application PCA 76-M-007-02, the Fairfax County School Board (the "Applicant") for itself and its successors and assigns, hereby proffers that development of the property identified as Fairfax County Tax Map Parcels 51-3-((1))-30, -31; 51-3-((11))-188A; 51-3-((13))-5, -10 and -11 (the "Property"), containing approximately 3.41 acres, shall be in accordance with the following proffered conditions (the "Proffers"), which, if approved, shall replace and supersede all previous proffers approved for the Property. In the event this application is denied, these Proffers shall immediately be null and void and the previous proffers shall remain in full force and effect.

1. **Permitted Uses.** Use of the Property shall be limited to public uses up to a maximum floor area ratio of 0.71.
2. **Substantial Conformity.** The proposed gymnasium, outdoor play area and sport court shall be developed in substantial conformance with the Generalized Development Plan ("GDP") dated December 3, 2014, and revised through May 6, 2015, prepared by ADTEK, consisting of ten (10) sheets. Pursuant to Paragraph 5 of Section 18-204 of the Zoning Ordinance, minor modifications from the approved GDP may be permitted as determined by the Zoning Administrator.
3. **Phasing.** The proposed gymnasium, outdoor play area, sport court and bus lane and other related site improvements are subject to Minor Site Plan 6494-MSP-002-2-1 (the "Minor Site Plan") which is pending review and approval by the Department of Public Works and Environmental Services ("DPWES"). The Applicant shall submit a separate site plan, minor site plan or public improvement plan (collectively, "Future Site Plan") to DPWES for the proposed pedestrian improvements referenced in Proffer 9 below before the first non-RUP is issued for the Minor Site Plan. The Applicant shall diligently pursue approval of the Future Site Plan after its initial submission.
4. **Gymnasium.** The architecture for the proposed gymnasium shall be in substantial conformance with the elevations shown on Sheet 9 of the GDP.
5. **Landscaping.** A Landscaping Plan shall be submitted in conjunction with the Minor Site Plan pursuant to Article 13 of the Zoning Ordinance for review and approval by the Urban Forest Management Division ("UFMD") of DPWES.

- A. Native Species Landscaping. All landscaping provided shall be native to the middle Atlantic region to the extent feasible and non-invasive as determined by UFMD.
  - B. Invasive Species Management Plan. An invasive species management plan shall be submitted as part of the Minor Site Plan detailing how the invasive and undesirable vegetation will be removed and managed.
  - C. Transitional Screening. Transitional screening shall be provided along the northern and western property lines as required by Article 13 of the Zoning Ordinance, with the exception of a minor portion of the Property located along the western property line between the proposed bus lane and the adjacent single family lot identified as Tax Map Parcel 51-3-((13))-12A ("Parcel 12A"). The Applicant shall provide landscaping adjacent to Parcel 12A as shown on the GDP subject to the review and approval of UFMD.
  - D. Existing Vegetation. Existing trees that are dead and/or diseased and in poor condition shall be removed and replaced with Category II and/or III evergreens in order to meet the intent of the transitional screening and peripheral parking lot landscape requirements subject to the review and approval of UFMD.
6. **Stormwater Management and Best Management Practices (BMPs)**. Stormwater management and BMPs shall be provided as generally depicted on the GDP which include an existing underground detention facility and two (2) proposed Low Impact Development ("LID") facilities such as, but not limited to, a tree box filterra system as may be approved by DPWES. Adequate outfall shall be demonstrated in accordance with the Public Facilities Manual ("PFM") as determined by DPWES.
7. **Green Building Design**. The Applicant shall incorporate the following green building technology and strategies during the final building design for the gymnasium.
- A. The Applicant shall provide an area for separation, collection and storage of glass, paper, metal, plastic and cardboard generated from the students and employees. There shall be a dedicated area on the Property for the storage of such recycled materials.
  - B. The Applicant shall incorporate, environmentally sustainable attributes into the proposed gymnasium which shall include, but are not necessarily limited to, elements such as high efficiency mechanical systems and LED lighting, lighting occupancy sensors, hands free/low consumption plumbing fixtures, bottle filling station, low emissivity glazing (windows), and low volatile organic compounds ("VOC") emitting materials.
8. **Outdoor Educational Areas**. The Applicant reserves the right to provide outdoor educational areas which may include, but not be limited to, gardens,

mulch pads, rain gardens, benches, shade structures, natural surface trails or other similar educational facilities in the areas identified as "possible future outdoor learning area" on the GDP. However, such outdoor educational facilities shall not result in any material adverse impacts to the transitional screening areas shown on the GDP.

9. **Pedestrian Improvements.** The Applicant shall provide standard curb ramps and crosswalks at the two (2) existing entrances to the school from the existing service drive along Leesburg Pike, subject to the approval of VDOT. These improvements shall be the subject of a Future Site Plan. Such Future Site Plan shall be filed before the first non-RUP is issued for the Minor Site Plan. The Applicant shall diligently pursue approval of such Future Site Plan after its initial submission to DPWES. The standard curb ramps and crosswalks shall be constructed within 18 months of approval of such Future Site Plan by DPWES. Notwithstanding the above, upon demonstration that, despite diligent efforts or due to factors beyond the Applicant's control, the pedestrian improvements have been delayed beyond the timeframe specified, the Zoning Administrator may agree to a later date for completion of such improvements.
  
10. **Possible Future Interparcel Access by Others.** In the event the existing service drive fronting on Leesburg Pike is removed and an interparcel vehicular access is constructed by others on adjacent Tax Map Parcel 51-3-((11))-189A ("Parcel 189A") along the southeastern portion of the Property as generally shown on the GDP which provides direct access to Leesburg Pike, the Applicant shall modify the circulation on the Property to utilize the interparcel vehicular access as the entrance for parent drop-off/pick-up. In addition, at such time as a sidewalk is constructed by others on Parcel 189A that provides a direct pedestrian connection to the Property, the Applicant shall provide a sidewalk on the Property to connect to the sidewalk located on Parcel 189A.

[SIGNATURE ON FOLLOWING PAGE]

FAIRFAX COUNTY SCHOOL BOARD

*Applicant and Title Owner of*

*Tax Map Parcels 51-3-((1))-30, -31;*

*51-3-((11))-188A; 51-3-((13))-5, -10 and -11*

By: \_\_\_\_\_

Name: \_\_\_\_\_

Title: \_\_\_\_\_

**REZONING AFFIDAVIT**

DATE: April 17, 2015  
 (enter date affidavit is notarized)

I, Jeffrey K. Platenberg, do hereby state that I am an  
 (enter name of applicant or authorized agent)

128060a

(check one)             applicant  
                            applicant's authorized agent listed in Par. 1(a) below

in Application No.(s): PCA 76-M-007-02  
 (enter County-assigned application number(s), e.g. RZ 88-V-001)

and that, to the best of my knowledge and belief, the following information is true:

1(a). The following constitutes a listing of the names and addresses of all **APPLICANTS, TITLE OWNERS, CONTRACT PURCHASERS, and LESSEES** of the land described in the application,\* and, if any of the foregoing is a **TRUSTEE,\*\*** each **BENEFICIARY** of such trust, and all **ATTORNEYS and REAL ESTATE BROKERS**, and all **AGENTS** who have acted on behalf of any of the foregoing with respect to the application:

**(NOTE:** All relationships to the application listed above in **BOLD** print must be disclosed. Multiple relationships may be listed together, e.g., **Attorney/Agent, Contract Purchaser/Lessee, Applicant/Title Owner**, etc. For a multiparcel application, list the Tax Map Number(s) of the parcel(s) for each owner(s) in the Relationship column.)

<b>NAME</b> (enter first name, middle initial, and last name)	<b>ADDRESS</b> (enter number, street, city, state, and zip code)	<b>RELATIONSHIP(S)</b> (enter applicable relationships listed in <b>BOLD</b> above)
Fairfax County School Board, a body corporate(1) Agents: Jeffrey K. Platenberg \ Karen K. Garza Kevin M. Sneed Brady B. Rauch \ Eric C. Brunner	8115 Gatehouse Road Falls Church, VA 22042	Applicant and Title Owner, Parcels 51-3-((1))-30, 31; 51-3-((11))-188A 51-3-((13))-5, 10, 11
Hunton & Williams LLP(2)	1751 Pinnacle Drive, Suite 1700 McLean, VA 22102	Attorneys/Agents for Applicant
John C. McGranahan, Jr. Francis A. McDermott	1751 Pinnacle Drive, Suite 1700 McLean, VA 22102	Attorneys/Agents for Applicant

(check if applicable)             There are more relationships to be listed and Par. 1(a) is continued on a "Rezoning Attachment to Par. 1(a)" form.

\* In the case of a condominium, the title owner, contract purchaser, or lessee of 10% or more of the units in the condominium.  
 \*\* List as follows: Name of trustee, Trustee for (name of trust, if applicable), for the benefit of: (state name of each beneficiary).

**Rezoning Attachment to Par. 1(a)**

DATE: April 17, 2015  
(enter date affidavit is notarized)

128060a

for Application No. (s): PCA 76-M-007-02  
(enter County-assigned application number (s))

**(NOTE:** All relationships to the application are to be disclosed. Multiple relationships may be listed together, e.g., **Attorney/Agent, Contract Purchaser/Lessee, Applicant/Title Owner**, etc. For a multiparcel application, list the Tax Map Number(s) of the parcel(s) for each owner(s) in the Relationship column.

<b>NAME</b> (enter first name, middle initial, and last name)	<b>ADDRESS</b> (enter number, street, city, state, and zip code)	<b>RELATIONSHIP(S)</b> (enter applicable relationships listed in <b>BOLD</b> above)
-Susan K. Yantis -Elaine O'Flaherty Cox	1751 Pinnacle Drive, Suite 1700 McLean, VA 22102	Planners/Agents for Applicant
. Jeannie A. Mathews	1751 Pinnacle Drive, Suite 1700 McLean, VA 22102	Paralegal/Agent for Applicant
-Adtek Engineers, Inc.(3) Agent: Ashley R. Stafford -Christopher Heiser (nmi)	9900 Fairfax Boulevard, Suite 300 Fairfax, VA 22030	Engineers/Agents for Applicant
.Cooper Carry, Inc.(4) Agents: .Lauren P. Ford .Johnathan C. Jackson .Mia V. Sensabaugh	625 North Washington Street, Suite 200 Alexandria, VA 22314	Architects/Agents for Applicant

(check if applicable)  There are more relationships to be listed and Par. 1(a) is continued further on a "Rezoning Attachment to Par. 1(a)" form.

REZONING AFFIDAVIT

DATE: April 17, 2015
(enter date affidavit is notarized)

128060a

for Application No. (s): PCA 76-M-007-02
(enter County-assigned application number(s))

1(b). The following constitutes a listing\*\*\* of the SHAREHOLDERS of all corporations disclosed in this affidavit who own 10% or more of any class of stock issued by said corporation, and where such corporation has 10 or less shareholders, a listing of all of the shareholders, and if the corporation is an owner of the subject land, all of the OFFICERS and DIRECTORS of such corporation:

(NOTE: Include SOLE PROPRIETORSHIPS, LIMITED LIABILITY COMPANIES, and REAL ESTATE INVESTMENT TRUSTS herein.)

CORPORATION INFORMATION

NAME & ADDRESS OF CORPORATION: (enter complete name, number, street, city, state, and zip code)

(1) Fairfax County School Board, a body corporate
8115 Gatehouse Road
Falls Church, VA 22042

DESCRIPTION OF CORPORATION: (check one statement)

- [X] There are 10 or less shareholders, and all of the shareholders are listed below.
[ ] There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
[ ] There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF SHAREHOLDERS: (enter first name, middle initial, and last name)

Fairfax County School Board is a body corporate with no shareholders.

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. President, Vice President, Secretary, Treasurer, etc.)

MEMBERS:

Tamara J. Derenak Kaufax
Sandra S. Evans
Ilryong Moon
Patricia S. Reed

Kathy L. Smith
Daniel G. Storck
Jane K. Strauss
Ryan L. McElveen

Patricia M. Hynes
Elizabeth L. Schultz
Megan O. McLaughlin
Theodore J. "Ted" Velkoff

ASST. SUPERINTENDENT:
Jeffrey K. Platenberg

DIVISION SUPERINTENDENT:
Karen K. Garza

(check if applicable) [X] There is more corporation information and Par. 1(b) is continued on a "Rezoning Attachment 1(b)" form.

\*\*\* All listings which include partnerships, corporations, or trusts, to include the names of beneficiaries, must be broken down successively until: (a) only individual persons are listed or (b) the listing for a corporation having more than 10 shareholders has no shareholder owning 10% or more of any class of stock. In the case of an APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\* of the land that is a partnership, corporation, or trust, such successive breakdown must include a listing and further breakdown of all of its partners, of its shareholders as required above, and of beneficiaries of any trusts. Such successive breakdown must also include breakdowns of any partnership, corporation, or trust owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\* of the land. Limited liability companies and real estate investment trusts and their equivalents are treated as corporations, with members being deemed the equivalent of shareholders; managing members shall also be listed. Use footnote numbers to designate partnerships or corporations, which have further listings on an attachment page, and reference the same footnote numbers on the attachment page.

**Rezoning Attachment to Par. 1(b)**

DATE: April 17, 2015  
(enter date affidavit is notarized)

128060a

for Application No. (s): PCA 76-M-007-02  
(enter County-assigned application number (s))

**NAME & ADDRESS OF CORPORATION:** (enter complete name, number, street, city, state, and zip code)

(3) Adtek Engineers Inc.  
8899 Fairfax Boulevard, Suite 300  
Fairfax, VA 22030

**DESCRIPTION OF CORPORATION:** (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

**NAMES OF THE SHAREHOLDERS:** (enter first name, middle initial, and last name)

Mahendra N. Shah	John Frankhouser
Lisa J. Kuruvilla	Jeffrey M. Klaiman
Shawn P. Benjaminson	

**NAMES OF OFFICERS & DIRECTORS:** (enter first name, middle initial, last name, and title, e.g.

**President, Vice-President, Secretary, Treasurer, etc.)**

**NAME & ADDRESS OF CORPORATION:** (enter complete name, number, street, city, state, and zip code)

(4) Cooper Carry, Inc.  
625 North Washington Street, Suite 200  
Alexandria, VA 22314

**DESCRIPTION OF CORPORATION:** (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

**NAMES OF THE SHAREHOLDERS:** (enter first name, middle initial, and last name)

Kevin R. Cantley

**NAMES OF OFFICERS & DIRECTORS:** (enter first name, middle initial, last name, and title, e.g.

**President, Vice-President, Secretary, Treasurer, etc.)**

(check if applicable)  There is more corporation information and Par. 1(b) is continued further on a "Rezoning Attachment to Par. 1(b)" form.

REZONING AFFIDAVIT

DATE: April 17, 2015
(enter date affidavit is notarized)

128060a

for Application No. (s): PCA 76-M-007-02
(enter County-assigned application number(s))

1(c). The following constitutes a listing\*\*\* of all of the PARTNERS, both GENERAL and LIMITED, in any partnership disclosed in this affidavit:

PARTNERSHIP INFORMATION

PARTNERSHIP NAME & ADDRESS: (enter complete name, number, street, city, state and zip code)

(2) Hunton & Williams LLP
1751 Pinnacle Drive, Suite 1700
McLean, VA 22102

(check if applicable) [x] The above-listed partnership has no limited partners.

NAMES AND TITLE OF THE PARTNERS (enter first name, middle initial, last name, and title, e.g. General Partner, Limited Partner, or General and Limited Partner)

- Robert A. Acosta-Lewis, Andrew J. Blanchard, Matthew J. Calvert
Lawrence C. Adams, Matthew P. Boshier, Daniel M. Campbell
Syed S. Ahmad, James W. Bowen, Thomas H. Cantrill
Michael F. Albers, Lawrence J. Bracken, II, Curtis G. Carlson
Kenneth J. Alcott, James P. Bradley, Jean Gordon Carter
Fernando C. Alonso, Sheldon T. Bradshaw, Charles D. Case
Walter J. Andrews, David F. Brandley, Jr., J. C. Chenault, V
Chinawat Assavapokee (nmi), Benjamin P. Browder, Whittington W. Clement
L. Scott Austin, A. Todd Brown, Sr., Herve' Cogels (nmi)
Ian Phillip Band, Tyler P. Brown, Cassandra C. Collins
John J. Beardsworth, Jr., F. William Brownell, S. Gregory Cope
Ryan A. Becker, Kevin J. Buckley, Ashley Cummings (nmi)
Steven H. Becker, Kristy A. Niehaus Bulleit, Alexandra B. Cunningham
Stephen John Bennett, Joseph B. Buonanno, Samuel A. Danon
Melinda R. Beres, Nadia S. Burgard, John J. Delionado
Lucas Bergkamp (nmi), Eric R. Burner, Stephen P. Demm
Lon A. Berk, M. Brett Burns, Dee Ann Dorsey
Mark B. Bierbower, P. Scott Burton, Edward L. Douma
Stephen R. Blacklocks, Ellis M. Butler, Colleen P. Doyle
Jeffry M. Blair, Ferdinand A. Calice, Alison M. Dreizen

(check if applicable) [x] There is more partnership information and Par. 1(c) is continued on a "Rezoning Attachment to Par. 1(c)" form.

\*\*\* All listings which include partnerships, corporations, or trusts, to include the names of beneficiaries, must be broken down successively until: (a) only individual persons are listed or (b) the listing for a corporation having more than 10 shareholders has no shareholder owning 10% or more of any class of stock. In the case of an APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\* of the land that is a partnership, corporation, or trust, such successive breakdown must include a listing and further breakdown of all of its partners, of its shareholders as required above, and of beneficiaries of any trusts. Such successive breakdown must also include breakdowns of any partnership, corporation, or trust owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\* of the land. Limited liability companies and real estate investment trusts and their equivalents are treated as corporations, with members being deemed the equivalent of shareholders; managing members shall also be listed. Use footnote numbers to designate partnerships or corporations, which have further listings on an attachment page, and reference the same footnote numbers on the attachment page.

**Rezoning Attachment to Par. 1(c)**

DATE: April 17, 2015  
(enter date affidavit is notarized)

128060 a

for Application No. (s): PCA 76-M-007-02  
(enter County-assigned application number (s))

**PARTNERSHIP NAME & ADDRESS:** (enter complete name & number, street, city, state & zip code)

(2) Hunton & Williams LLP (Continued)  
1751 Pinnacle Drive, Suite 1700  
McLean, VA 22102

(check if applicable)  The above-listed partnership has no limited partners.

**NAMES AND TITLES OF THE PARTNERS:** (enter first name, middle initial, last name, and title, e.g.,  
**General Partner, Limited Partner, or General and Limited Partner**)

- |                             |                           |                              |
|-----------------------------|---------------------------|------------------------------|
| Sean P. Ducharme            | John T. Gerhart, Jr.      | Timothy L. Jacobs            |
| Deidre G. Duncan            | Andrew G. Geyer           | Lori Elliott Jarvis          |
| Roger Dyer (nmi)            | Jeffrey W. Giese          | Matthew D. Jenkins           |
| Frederick R. Eames          | Neil K. Gilman            | Harry M. Johnson, III        |
| Heather Archer Eastep       | C. Christopher Giragosian | Karolyn E. ("Kerry") Johnson |
| Maya M. Eckstein            | Douglas S. Granger        | Robert M. Johnson            |
| W. Jeffery Edwards          | Laurie A. Grasso          | James A. Jones, III          |
| John C. Eichman             | J. William Gray, Jr.      | Kevin W. Jones               |
| Tara L. Elgie               | Christopher C. Green      | Laura Ellen Jones            |
| Emmett N. Ellis             | Robert J. Grey, Jr.       | Dan J. Jordanger             |
| Edward W. Elmore, Jr.       | Greta T. Griffith         | Roland Juarez (nmi)          |
| Frank E. Emory, Jr.         | Brett L. Gross            | Thomas R. Julin              |
| Juan C. Enjamio             | Bradley W. Grout          | Andrew Kamensky (nmi)        |
| John D. Epps                | Steven M. Haas            | G. Roth Kehoe, II            |
| Phillip J. Eskenazi         | Brian L. Hager            | David A. Kelly               |
| Joseph P. Esposito          | Robert J. Hahn            | Douglas W. Kenyon            |
| Kelly L. Faglioni           | Jarrett L. Hale           | Michael C. Kerrigan          |
| Susan S. Failla             | Leslie S. Hansen          | Ryan T. Ketchum              |
| Eric H. Feiler              | Eric J. Hanson            | Scott H. Kimpel              |
| Kevin C. Felz               | Ronald M. Hanson          | Robert A. King               |
| Lindsay H. Ferguson         | Jason W. Harbour          | Edward B. Koehler            |
| Edward F. Fernandes         | Jeffrey L. Harvey         | John T. Konther              |
| Norman W. Fichthorn         | John D. Hawkins           | Torsten M. Kracht            |
| Andrea Bear Field           | Rudene Mercer Haynes      | Christopher G. Kulp          |
| Kevin J. Finto              | Timothy J. Heaphy         | David Craig Landin           |
| Melanie Fitzgerald (nmi)    | Mark S. Hedberg           | Gregory F. Lang              |
| Michael F. Fitzpatrick, Jr. | Gregory G. Hesse          | Kurt G. Larkin               |
| Robert N. Flowers           | David A. Higbee           | Andrew W. Lawrence           |
| Aaron M. Flynn              | Stuart Hills (nmi)        | Daniel M. LeBey              |
| William M. Flynn            | Thomas Y. Hiner           | Corey A. Lee                 |
| David S. Freed              | D. Bruce Hoffman          | Bradley T. Lennie            |
| Lauren E. Freeman           | Robert E. Hogfoss         | L. Steven Leshin             |
| Steven C. Friend            | John R. Holzgraefe        | Brent A. Lewis               |
| Edward J. Fuhr              | Cecelia Philipps Horner   | Catherine D. Little          |
| Charles A. Gall             | George C. Howell, III     | David C. Lonergan            |
| Daniel C. Garner            | Kevin F. Hull             | Nash E. Long, III            |
| Douglas M. Garrou           | Jamie Zysk Isani          | Kirk A. Lovric               |
| Richard D. Gary             | Judith H. Itkin           | David S. Lowman, Jr.         |
| Kevin M. Georgerian         | Makram B. Jaber           | Kimberly C. MacLeod          |

(check if applicable)  There is more partnership information and Par. 1(c) is continued further on a "Rezoning Attachment to Par. 1(c)" form.

**Rezoning Attachment to Par. 1(c)**

DATE: April 17, 2015  
(enter date affidavit is notarized)

128060a

for Application No. (s): PCA 76-M-007-02  
(enter County-assigned application number (s))

**PARTNERSHIP NAME & ADDRESS:** (enter complete name & number, street, city, state & zip code)

(2) Hunton & Williams LLP (Continued)  
1751 Pinnacle Drive, Suite 1700  
McLean, VA 22102

(check if applicable)  The above-listed partnership has no limited partners.

**NAMES AND TITLES OF THE PARTNERS:** (enter first name, middle initial, last name, and title, e.g., **General Partner, Limited Partner, or General and Limited Partner**)

- |                               |                                  |                             |
|-------------------------------|----------------------------------|-----------------------------|
| Michael J. Madden, Jr.        | Eric J. Nedell                   | Patrick L. Robson           |
| Tyler Maddry (nmi)            | Michael Nedzbala (nmi)           | Robert M. Rolfe             |
| Manuel E. Maisog              | William L. Newton                | Ronald D. Rosener           |
| Rori H. Malech                | Lonnice D. Nunley, III           | Trevor K. Ross              |
| Christopher Mangin, Jr. (nmi) | Michael A. Oakes                 | Brent A. Rosser             |
| Alan J. Marcuis               | Peter K. O'Brien                 | William L. S. Rowe          |
| Brian R. Marek                | John T. O'Connor                 | Marguerite R. ("Rita") Ruby |
| Fernando Margarit (nmi)       | Leslie A. Okinaka                | D. Alan Rudlin              |
| Laura C. Marshall             | John D. O'Neill, Jr.             | Mary Nash K. Rusher         |
| Jeffrey N. Martin             | Michael A. O'Shea                | D. Kyle Sampson             |
| John S. Martin                | Brian V. Otero                   | Stephen M. Sayers           |
| J. Michael Martinez de Andino | Raj Pande (nmi)                  | Arthur E. Schmalz           |
| Walfrido J. Martinez          | Randall S. Parks                 | Gregory J. Schmitt          |
| Laurie Uustal Mathews         | Peter S. Partee, Sr.             | John R. Schneider           |
| John Gary Maynard, III        | J. Steven Patterson              | Howard E. Schreiber         |
| William H. McBride            | William S. Patterson             | Jeffrey P. Schroeder        |
| Michael C. McCann             | Djordje Petkoski (nmi)           | Carl F. Schwartz            |
| T. Allen McConnell            | \ Ryan P. Phair                  | \ Matthew A. Scoville       |
| Alexander G. McGeoch          | \ James M. Pinna                 | P. Watson Seaman            |
| John C. McGranahan, Jr.       | Eric R. Pogue                    | James S. SeEVERS, Jr.       |
| Gustavo J. Membiela           | Robert Dean Pope                 | Douglass P. Selby           |
| Uriel A. Mendieta             | Laurence H. Posorske             | Joel R. Sharp               |
| Mark W. Menezes               | Kurtis A. Powell                 | Michael R. Shebelskie       |
| Gary C. Messplay              | Lewis F. Powell, III             | Ryan A. Shores              |
| Peter J. Mignone              | Robert T. Quackenboss            | George P. Sibley, III       |
| Patrick E. Mitchell           | Dionne C. Rainey                 | Donald F. Simone            |
| Jack A. Molenkamp             | Katherine E. Ramsey              | Aaron P. Simpson            |
| T. Justin Moore, III          | John Jay Range                   | Jo Anne E. Sirgado          |
| Thurston R. Moore             | Robert S. Rausch                 | Laurence E. Skinner         |
| Robert J. Morrow              | Belynda B. Reck                  | Caryl Greenberg Smith       |
| Ann Marie Mortimer            | Baker R. Rector                  | John R. ("J. R.") Smith     |
| Jay B. Mower                  | Shawn Patrick Regan              | Yisun Song (nmi)            |
| Michael J. Mueller            | Sona Rewari (nmi)                | Lisa J. Sotto               |
| Eric J. Murdock               | Thomas A. Rice                   | Joseph C. Stanko, Jr.       |
| Ted J. Murphy                 | Michael P. Richman               | Todd M. Stenerson           |
| Thomas P. Murphy              | Jennings G. ("J. G.") Ritter, II | John J. Stenger             |
| David A. Mustone              | Kathy E. B. Robb                 | Gregory N. Stillman         |
| James P. Naughton             | Daryl B. Robertson               | Yeongyo Anna Suh            |
| Wim Nauwelaerts (nmi)         | Gregory B. Robertson             | Brian J. Tanenbaum          |

(check if applicable)  There is more partnership information and Par. 1(c) is continued further on a "Rezoning Attachment to Par. 1(c)" form.

**Rezoning Attachment to Par. 1(c)**

DATE: April 17, 2015  
(enter date affidavit is notarized)

128060a

for Application No. (s): PCA 76-M-007-02  
(enter County-assigned application number (s))

**PARTNERSHIP NAME & ADDRESS:** (enter complete name & number, street, city, state & zip code)

(2) Hunton & Williams LLP (Continued)  
1751 Pinnacle Drive, Suite 1700  
McLean, VA 22102

(check if applicable)  The above-listed partnership has no limited partners.

**NAMES AND TITLES OF THE PARTNERS:** (enter first name, middle initial, last name, and title, e.g., **General Partner, Limited Partner, or General and Limited Partner**)

Andrew J. Tapscott  
Robert M. Tata  
W. Lake Taylor, Jr.  
Wendell L. Taylor  
Andrew S. V. Thomas  
John Charles Thomas  
Gary E. Thompson  
Paul M. Tiao  
B. Cary Tolley, III  
John R. R. Tormey  
Bridget C. Treacy  
Andrew J. Turner  
Julie I. Ungerman  
Daniel E. Uyesato  
Mark C. Van Deusen  
Emily Burkhardt Vicente  
Daniel G. Vivarelli, Jr.  
Mark R. Vowell  
Amanda L. Wait  
Linda L. Walsh  
William L. Wehrum  
Peter G. Weinstock  
Malcolm C. Weiss  
Kevin J. White  
Amy McDaniel Williams  
Mitchell G. Williams  
Holly H. Williamson  
Susan F. Wiltsie  
Allison D. Wood  
David C. Wright  
Richard L. Wyatt, Jr.  
David R. Yates  
Manida Zimmerman (nmi)

**FORMER PARTNERS:**

· Charles E. G. Ashton  
· James N. Christman  
· John A. Decker  
· Charles E. Greef  
· Paul C. Huck, Jr.  
· Donald P. Irwin  
· Michael G. Keeley  
· Ronald L. Rubin  
· Rita A. Sheffey  
· Fradyn Suarez (nmi)  
· Jeffrey M. Sullivan  
· Lee B. Zeugin

(check if applicable)  There is more partnership information and Par. 1(c) is continued further on a "Rezoning Attachment to Par. 1(c)" form.

REZONING AFFIDAVIT

DATE: April 17, 2015  
(enter date affidavit is notarized)

120860 a

for Application No. (s): PCA 76-M-007-02  
(enter County-assigned application number(s))

1(d). One of the following boxes **must** be checked:

In addition to the names listed in Paragraphs 1(a), 1(b), and 1(c) above, the following is a listing of any and all other individuals who own in the aggregate (directly and as a shareholder, partner, and beneficiary of a trust) 10% or more of the **APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\*** of the land:

Other than the names listed in Paragraphs 1(a), 1(b), and 1(c) above, no individual owns in the aggregate (directly and as a shareholder, partner, and beneficiary of a trust) 10% or more of the **APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\*** of the land.

2. That no member of the Fairfax County Board of Supervisors, Planning Commission, or any member of his or her immediate household owns or has any financial interest in the subject land either individually, by ownership of stock in a corporation owning such land, or through an interest in a partnership owning such land.

**EXCEPT AS FOLLOWS:** (**NOTE:** If answer is none, enter "NONE" on the line below.)

NONE.

(check if applicable)  There are more interests to be listed and Par. 2 is continued on a "Rezoning Attachment to Par. 2" form.

REZONING AFFIDAVIT

DATE: April 17, 2015  
(enter date affidavit is notarized)

128060a

for Application No. (s): PCA 76-M-007-02  
(enter County-assigned application number(s))

3. That within the twelve-month period prior to the public hearing of this application, no member of the Fairfax County Board of Supervisors, Planning Commission, or any member of his or her immediate household, either directly or by way of partnership in which any of them is a partner, employee, agent, or attorney, or through a partner of any of them, or through a corporation in which any of them is an officer, director, employee, agent, or attorney or holds 10% or more of the outstanding bonds or shares of stock of a particular class, has, or has had any business or financial relationship, other than any ordinary depositor or customer relationship with or by a retail establishment, public utility, or bank, including any gift or donation having a value of more than \$100, singularly or in the aggregate, with any of those listed in Par. 1 above.

**EXCEPT AS FOLLOWS:** (NOTE: If answer is none, enter "NONE" on line below.)

- ✓ Jane K. Strauss, School Board Member, has contributed in excess of \$100 to Supervisor Foust.
- ✓ Theodore J. "Ted" Velkoff, School Board Member, has contributed in excess of \$100 to Supervisor Foust.
- ✓ Francis A. McDermott of Hunton & Williams LLP, Attorneys for Applicant, has contributed in excess of \$100 to Supervisor Cook.

**(NOTE: Business or financial relationships of the type described in this paragraph that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings. See Par. 4 below.)**

(check if applicable) [ ] There are more disclosures to be listed and Par. 3 is continued on a "Rezoning Attachment to Par. 3" form.

4. That the information contained in this affidavit is complete, that all partnerships, corporations, and trusts owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\* of the land have been listed and broken down, and that prior to each and every public hearing on this matter, I will reexamine this affidavit and provide any changed or supplemental information, including business or financial relationships of the type described in Paragraph 3 above, that arise on or after the date of this application.

WITNESS the following signature:

(check one)

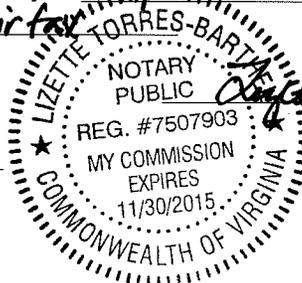
[ ] Applicant

[✓] Applicant's Authorized Agent

Jeffrey K. Platenberg, Asst. Superintendent/Agent for Applicant  
(type or print first name, middle initial, last name, and title of signee)

Subscribed and sworn to before me this 17<sup>th</sup> day of April, 2015, in the State/Comm. of Virginia, County/City of Fairfax

My commission expires: 11-30-2015



Lizette Torres-Bartlett  
Notary Public

March 26, 2015

**STATEMENT OF JUSTIFICATION  
PCA 76-M-007-02**

**BAILEY'S UPPER ELEMENTARY SCHOOL FOR THE ARTS AND SCIENCES**

The Fairfax County School Board (the "Applicant") seeks to amend the existing proffers and Generalized Development Plan ("GDP") related to Proffered Condition Amendment ("PCA") 76-M-007 approved by the Board of Supervisors on June 16, 2003. The Applicant recently retrofitted the office building located on the south side of Leesburg Pike (Route 7), across from the Seven Corners Shopping Center, for use as a public elementary school. The new Bailey's Upper Elementary School for the Arts and Sciences (the "Bailey's Upper School") opened for the 2014-2015 school year. The Bailey's Upper School is located at 6245 Leesburg Pike and is identified as Fairfax County Tax Map Parcels 51-3-((1))-30 and -31, 51-3-((11))-188A, and 51-3-((13))-5, -10 and -11 (collectively, the "Property").

The Property consists of approximately 3.41 acres and is zoned to the C-3 (Office) District, Bailey's Crossroads/Seven Corners Commercial Revitalization District (CRD), and the HC (Highway Corridor) and SC (Sign Control) Overlay Districts. The Property was rezoned to the C-3 District by the Board of Supervisors own motion on February 23, 1976, subject to proffers. The Board of Supervisors approved the prior PCA application on June 16, 2003 to amend the proffers to enclose the parking structure beneath the building for additional office space. On October 1, 2013, a Proffer Interpretation was approved for the Property that determined the proposed public school use would be in substantial conformance with the proffers and the GDP, subject to final approval by DPWES of the interior modifications and compliance with County codes, ordinances and regulations. On December 4, 2013, the Planning Commission approved application 2232-M13-14 which determined that the retrofit of the existing office building for public elementary school use is substantially in accord with the provisions of the adopted Comprehensive Plan.

To provide essential relief to the overcrowding conditions at Bailey's Elementary School for the Arts and Sciences ("Bailey's ES"), the Applicant initially modified only the interior of the existing building for use as a new elementary school. Bailey's ES is located approximately 1.5 miles from the Property. Bailey's ES is in its 20<sup>th</sup> year as a magnet school, which integrates arts and technology in all curricular areas. The Bailey's Upper School is an extension of the magnet school and currently serves grades 3-5 of the existing Bailey's ES community. The capacity for the new school is approximately 700 students and 60 employees, consisting of teachers and administrative staff. Hours of operation are 7:00 a.m. to 4.00 p.m., Monday through Friday, and as needed in evenings and on weekends to support use of the school and its facilities for school and/or community sponsored events and programs.

Vehicular access to the school is provided from two existing entrances on the service drive fronting Leesburg Pike. The Property adjoins the Buffalo Hills and Sleepy Hollow Manor communities to the north and west, which are zoned to the R-3 District. Office uses, zoned to the C-3 District, are located to the north and south of the Property.

The purpose of this PCA 76-M-007-02 ("PCA-2") application is to permit an addition to the school for a gymnasium. Other on-site proposed improvements include an outdoor play area, sport court and a designated school bus drop-off and pick-up area. Currently, Fairfax County Public Schools ("FCPS") utilizes the areas of the existing pavement for play areas during the normal school day, as well as two more indoor areas for student use during recess. New sidewalks will be provided along the front of the school adjacent to the bus lane and gymnasium, with a pedestrian crosswalk from the gymnasium to the proposed outdoor play area and sport court.

The existing school is a five (5) story, L-shaped building with an approved maximum gross floor area of 99,350 square feet at a floor area ratio ("FAR") of 0.67. The gymnasium is proposed to consist of a gross floor area of approximately 6,200 square feet and is to be located adjacent to the existing school along Leesburg Pike. With the proposed gymnasium addition, the total gross floor area of the school will be approximately 105,550 square feet which results in a 0.71 FAR. Approximately 45% or 1.53 acres of the Property will remain in open space. All of the students arrive to the school by bus or parent drop-off/pick-up. Bus access is provided from the northern entrance fronting on the service drive along Route 7. The school bus drop-off and pick-up is currently located in the area of the parking lot in front of the main entrance to the building. Access to the kiss and ride lane is from the southern entrance on the service drive with parent drop off/pick-up located in the ground level parking underneath the building near the main entrance to the building.

In addition to the proposed on-site recreational facilities, the Applicant seeks to modify the existing parking lot to construct a standard school bus lane with a drop-off/pick-up area at the entrance to the building located on the western portion of the Property. There are approximately 280 existing parking spaces located on the Property, which consist of a combination of surface parking spaces and ground level parking underneath a portion of the building. The existing number of parking spaces will be reduced to approximately 135 spaces in order to accommodate the proposed recreational facilities and improve on-site circulation. The number of parking spaces required for the school is 132 spaces. The kiss and ride lane will be maintained in its current location.

The renovation of the school incorporated sustainable building features including automatic temperature control systems, high efficiency lighting, motion sensor lights, LED lighting and lighting occupancy sensors, bottle filling stations, hands free/low consumption plumbing fixtures, and low volatile organic compounds (VOC) materials. With the gymnasium addition, low-impact development (LID) measures to consist of two proposed (2) Filterra stormwater filtration systems will also be provided on the Property in order to enhance water quality. The overall amount of impervious surface on the Property will also be reduced with the replacement of a portion of the existing surface parking with the proposed outdoor (mulched) play area.

The Property is located in Sub-Unit C-2 within Land Unit C of the Seven Corners Community Business Center (CBC) of the Comprehensive Plan and is planned for office use. As noted previously, the Planning Commission approved application 2232-M13-14 which determined that the retrofit of the existing office building for elementary school use is substantially in accord with the provisions of the adopted Comprehensive Plan.

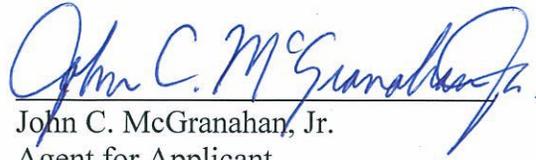
The Applicant requests the following waivers and modifications:

1. The Applicant requests Board of Supervisors approval of a modification of the minimum required front yard setback in a Commercial Revitalization District ("CRD") District from the existing 15 feet to 14 feet for the proposed gymnasium building pursuant to Par. 1A of Sect. 9-622 of the Zoning Ordinance to allow the roof overhang of the new prefabricated gymnasium building to extend an additional one (1) foot into the front yard. A reduction in the minimum front yard requirement from 20 feet to 15 feet was approved for the existing building in conjunction with PCA 76-M-007. The proposed gymnasium addition will be located 15 feet from the property line to match the existing building. Pursuant to Par. 1A of Sect. 2-412 of the Zoning Ordinance, cornices, canopies, awnings, eaves or other such similar features, all of which are at least ten (10) feet above finished ground level, may extend three (3) feet into any minimum required yard but not closer than two (2) feet to any lot line. The proposed roof overhang for the gymnasium is approximately 27 feet above finished ground level and will be located a minimum of 11 feet from any lot line. Therefore, the applicant requests a modification of the front yard setback from 15 feet to 14 feet pursuant to Par. 1A of Sect. 9-622 of the Zoning Ordinance so the roof overhang only extends three (3) feet into the 14-foot front yard. The building will remain 15 feet from the property line.
2. The Applicant requests a modification of the transitional screening requirement along a portion of the western property line adjacent to Tax Map Parcel 51-3 ((13)) 12A ("Parcel 12A") and a modification of the location of the barrier requirement to that shown on the GDP along portions of the western and northern property lines pursuant to Par. 14 of Sect. 305 of the Zoning Ordinance. A 25-foot wide transitional screening yard and a Type D, E or F barrier (6-foot high wood fence) is required along the northern and western property lines adjacent to existing residences in Buffalo Ridge and Sleepy Hollow which was implemented in conjunction with the development of the previously approved office building use.

It is anticipated that the existing vegetation that was provided with the previously approved office building to satisfy Article 13 of the Zoning Ordinance will be maintained adjacent to existing residences, with the exception of a minor encroachment in the required transitional screening yard between the proposed bus lane and the corner property line adjacent to the residence on Parcel 12A where the transitional screening yard is 13-foot wide. Due to the configuration of the Property and the minimum requirements for the bus lane and outdoor play area and sport court, the Applicant is requesting a modification of the transitional screening in favor of providing a row of five (5) trees adjacent to the proposed bus lane in order to minimize adverse impacts to the existing residence. The existing six (6) foot high wood fence, which is in disrepair, will be replaced with a new six (6) foot high wood fence in its current location.

The request for a modification of the location of the barrier requirement (6-foot high wood fence) is requested to permit the new 6-foot high wood fence to be located along portions of the northern and southern property lines as shown on the GDP instead of at the inside edge of the transitional screening area. The location of the fence along the property line is to further enhance outdoor educational opportunities for the students.

Respectfully submitted,

  
John C. McGranahan, Jr.  
Agent for Applicant

**PROFFERS  
6245 LEESBURG PIKE, L.L.C.  
PCA 76-M-007**

**April 10, 2003  
Revised May 16, 2003**

Pursuant to Section 15.2-2303(A) of the Code of Virginia, 1950, as amended, the applicant, 6245 Leesburg Pike, L.L.C, (hereinafter the "Applicant") proffers that the development of the parcels under consideration and shown on the Fairfax County Tax Maps as Tax Map Reference 51-3 ((13)) 5, 10, and 11 and 51-3 ((1)) 30 and 31 (hereinafter the "Property") will be in accordance with the following proffered conditions if, and only if, said Proffer Condition Amendment request is granted. In the event said application request is denied, these proffers shall be null and void. The Applicant, for itself, its successors and assigns, agrees that these proffers shall be binding on the future development of the Property unless modified, waived, or rescinded in the future by the Board of Supervisors of Fairfax County, Virginia. These proffered conditions, if accepted, supersede all proffers existing on the Property.

1. Development of the Property will be in substantial conformance with the plan entitled "7 Corners Office Building...Proffer Condition Amendment Plan," prepared by Harold A. Logan Associates P.C., consisting of two sheets, dated November 7, 2002 with revisions through May 9, 2003 (the "Plan"). Pursuant to Section 18-204 of the Fairfax County Zoning Ordinance, minor modifications to the Plan may be permitted.
2. Architectural facing of the penthouse will be architecturally consistent with or the same as the building itself.

[SIGNATURE PAGE ATTACHED]

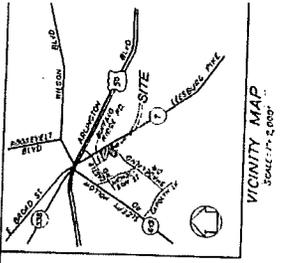
6245 LEESBURG PIKE, L.L.C.

By: ATLANTIC REALTY COMPANIES, INC.,  
its Manager

A handwritten signature in black ink, appearing to read 'D. Ross', written over a horizontal line.

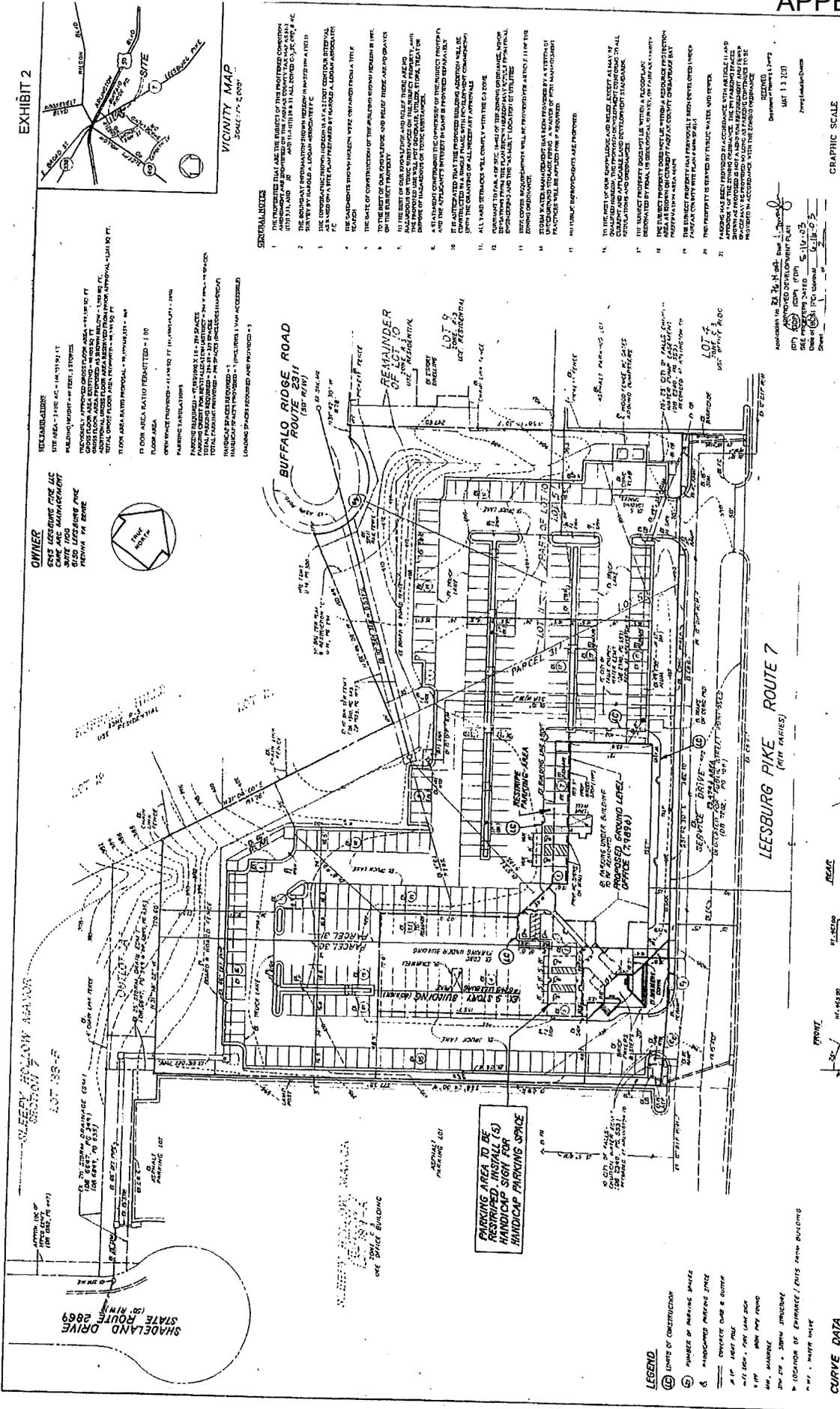
David A. Ross, President

EXHIBIT 2



**REQUIREMENTS**  
 SITE AREA - 1.100 AC. ± (46,331 SQ. FT.)  
 BUILDING FOOTPRINT - 100,000 SQ. FT. ±  
 TOTAL GARAGE SPACE - 100,000 SQ. FT. ±  
 TOTAL GARAGE FLOOR AREA - 100,000 SQ. FT. ±  
 TOTAL GROSS FLOOR AREA - 100,000 SQ. FT. ±  
 TOTAL GROSS FLOOR AREA (EXCLUDING GARAGE) - 100,000 SQ. FT. ±  
 TOTAL GROSS FLOOR AREA (INCLUDING GARAGE) - 100,000 SQ. FT. ±  
 FLOOR AREA RATIO PERMITTED - 1.00  
 FLOOR AREA - 100,000 SQ. FT. ±  
 OPEN SPACE PROVIDED - 11,000 SQ. FT. (MINIMUM) ±  
 PARKING SPACES - 100,000 ±  
 TOTAL PARKING SPACES - 100,000 ±  
 TOTAL PARKING SPACES (INCLUDING HANDICAP) - 100,000 ±  
 HANDICAP SPACES PERMITTED - 100,000 ±  
 LOADING DOCKS REQUIRED AND PROVIDED - 3

**OWNER**  
 THE LEESBURG PIKE LLC  
 1000 LEESBURG PIKE  
 SUITE 100  
 LEESBURG, VA 22076



**GENERAL NOTES**

1. THE SUBJECT OF THIS PROPOSED CONSTRUCTION IS SHOWN ON THE PLANS AND IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THE SUBDIVISION MAP ACT AND THE ZONING ORDINANCE OF THE CITY OF LEESBURG, VIRGINIA.
2. THE PROPOSED CONSTRUCTION IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THE SUBDIVISION MAP ACT AND THE ZONING ORDINANCE OF THE CITY OF LEESBURG, VIRGINIA.
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25. THE PROPOSED CONSTRUCTION IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE PROVISIONS OF THE SUBDIVISION MAP ACT AND THE ZONING ORDINANCE OF THE CITY OF LEESBURG, VIRGINIA.

GRAPHIC SCALE  
 1 inch = 20 feet

APPROVED BY: [Signature]  
 DATE: 11/13/2022  
 SEE PROVISIONS OF THE SUBDIVISION MAP ACT AND THE ZONING ORDINANCE OF THE CITY OF LEESBURG, VIRGINIA.



**7 CORNERS OFFICE BUILDING**  
 MASON DISTRICT  
 PROFFER CONDITION AMENDMENT PLAN  
 HAROLD A. LOGAN - ASSOCIATES P.C.

SCALE: 1" = 20'  
 DATE: 11/13/2022  
 DRAWN BY: [Name]  
 CHECKED BY: [Name]  
 APPROVED BY: [Signature]  
 SHEET 1 OF 2  
 P. 253

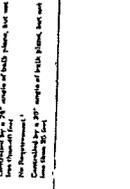
**BULK PLANE PROFILE**  
 SCALE: 1" = 20' H, 1" = 100' V



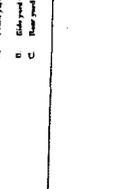
**LEGEND**

- ① LIMITS OF CONSTRUCTION
- ② NUMBER OF PARKING SPACES
- ③ HANDICAP PARKING SPACES
- ④ CONCRETE CURB & GUTTER
- ⑤ 1" = 1" SLOPE
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**RESTRICTION SIGN**  
 TO BE INSTALLED AT THE ENTRANCE TO THE RESTRICTED AREA.



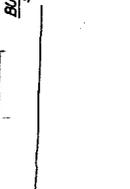
**RESTRICTION SIGN**  
 TO BE INSTALLED AT THE ENTRANCE TO THE RESTRICTED AREA.



**RESTRICTION SIGN**  
 TO BE INSTALLED AT THE ENTRANCE TO THE RESTRICTED AREA.



**RESTRICTION SIGN**  
 TO BE INSTALLED AT THE ENTRANCE TO THE RESTRICTED AREA.



**RESTRICTION SIGN**  
 TO BE INSTALLED AT THE ENTRANCE TO THE RESTRICTED AREA.



**RESTRICTION SIGN**  
 TO BE INSTALLED AT THE ENTRANCE TO THE RESTRICTED AREA.





**FAIRFAX COUNTY PLANNING COMMISSION  
MEETING AGENDA  
Wednesday, December 4, 2013**

Posted: 10/25/13  
Revised: 12/5/13

**KEY**  
P/H – Public Hearing  
D/O – Decision Only

Listed below are items scheduled for public hearing and/or decision by the Planning Commission on this date. For more information on an application, including the staff report, return to this page approximately two weeks prior to the meeting date and click on the application number. You can also contact the Department of Planning and Zoning staff at 703-324-1290.

**COMMITTEE MEETINGS**

**The Environment Committee met in the Board Conference Room of the Fairfax County Government Center  
at 7:00 p.m.**

**CONSENT AGENDA ITEMS & FEATURE SHOWN ITEMS**

**FS-V13-89 – Verizon Wireless, 7400 Lockport Place-CONCUR  
FS-M13-13 – New Cingular/AT&T Mobility, 6362 Lincolnia Road-CONCUR**

**ITEMS SCHEDULED FOR DECISION ONLY**

None at this time

**ITEMS SCHEDULED FOR PUBLIC HEARING**

Application	Applicant	Staff	PC Action
<u>SEA 2009-LE-028</u> (Lee)	<b>CLAUDE A. AND BETTY J. WHEELER</b> – Appl. under Sect. 3-304 of the Zoning Ordinance to amend SE 2009-LE-028 previously approved for a child care center and private school of general education to permit a place of worship, child care center and private school of general education, deletion of land area and associated modifications to site design and development conditions. Located at 6318 May Blvd., Alexandria, 22310, on approx. 4.36 ac. of land zoned R-3. Tax Map 82-3 ((1)) 38; 82-3 ((11)) 45 and 46.	N. Rogers	<b>P/H TO 2/3/14</b> (from 11/6/13)
<u>RZ/FDP 2013-PR-007</u> (Providence)	<b>EYA DEVELOPMENT, LLC</b> – Appls. to rezone from I-5 to PDH-30 to permit residential development with an overall density of 22.11 du/ac, approval of the conceptual and final development plans, waiver of open space requirements, waiver of minimum district size and waiver #561-WPFM-005-1 to permit the location of underground storm water management facilities in a residential area. Located in the N.E. quadrant of the intersection of Eskridge Rd. and Merrifield Town Center on approx. 1.07 ac. of land. Comp. Plan Rec: Mixed Use. Tax Map 49-3 ((1)) 87, 88, and 89B.	M. Lynskey	<b>P/H TBD JAN 2014</b> (from 11/6/13) (from 10/17/13) (from 9/18/13) (from 10/3/13)
<u>2232-M13-14</u> (Mason)	<b>FAIRFAX COUNTY SCHOOL BOARD</b> – Appl. under provisions of Virginia Code Sects. 15.2-2204 and 15.2-2232, as amended, to consider the proposal by the Fairfax County School Board to retrofit the existing building for an elementary school at 6245 Leesburg Pike, Falls Church, VA 22044. Tax Map 51-3 ((1)) 30, 31; 51-3 ((11)) 188A; 51-3 ((13)) 5, 10, 11. Area I. Copies of the application and a more specific description of the facility may be obtained from the Department of Planning and Zoning, 7th floor, Herrity Building, 12055 Government Center Parkway, Fairfax, Virginia, 22035.	L. O'Donnell	<b>APPROVED</b> (from 1/8/14)

-continued on next page-



# County of Fairfax, Virginia

## MEMORANDUM

DATE April 27, 2015

**TO:** Barbara Berlin, Director  
Zoning Evaluation Division, DPZ

**FROM:** Pamela G. Nee, Chief *PGN*  
Environment and Development Review Branch, DPZ

**SUBJECT:** **Land Use Analysis:** PCA 76-M-007-02  
Fairfax County School Board – Baileys Upper Elementary School

The memorandum, prepared by Bernard Suchicital, includes citations from the Comprehensive Plan that provide guidance for the evaluation of the proffered condition amendment as revised through April 20, 2015. The extent to which the application conforms to the applicable guidance contained in the Comprehensive Plan is noted. Possible solutions to remedy identified issues are suggested. Other solutions may be acceptable, provided that they achieve the desired degree of mitigation and are also compatible with Plan policies.

### DESCRIPTION OF THE APPLICATION

This Proffered Condition Amendment (PCA) application consists of six parcels, identified as Tax Map Parcels: 51-3 ((1)) 31, 32; 51-3 ((11)) 188A; 51-3 ((13)) 5, 10, and 11. These parcels make up the approximately 3.41-acre subject property, and is located southwest of Leesburg Pike (Route 7), approximately 1,200 feet southeast of its intersection with Arlington Boulevard (Route 50). The application seeks approval of an amendment to PCA 76-M-007 to permit an addition to the school for a gymnasium. Other on-site improvements include a 4,644 square foot outdoor play area, a hard surface sport court, a designated school bus drop-off and pick-up area, and associated crosswalks and sidewalk. The proposed 6,200 square foot gymnasium is to be sited north of the existing Baileys Upper Elementary School, fronting onto Leesburg Pike, and will be a maximum of 30 feet in height. The addition is intended to serve Baileys Upper Elementary School, with an approximate capacity of 700 students and 60 teachers and staff.

### LOCATION AND CHARACTER OF THE AREA

The subject property is located in Area I, Seven Corners Community Business Center, Baileys Planning District. The property is zoned C-3 Office District. Properties to the north and south are

Department of Planning and Zoning  
Planning Division  
12055 Government Center Parkway, Suite 730  
Fairfax, Virginia 22035-5509  
Phone 703-324-1380  
Fax 703-324-3056  
[www.fairfaxcounty.gov/dpz/](http://www.fairfaxcounty.gov/dpz/)



developed with office use, and zoned C-3. State Route 7 – Leesburg Pike – fronts the property to the east, with parcels developed with a retail shopping center, and zoned C-7 Regional Retail Commercial District. Properties to the west are comprised of a single-family detached neighborhood, and zoned R-3 Residential.

## **COMPREHENSIVE PLAN CITATIONS**

Fairfax County Comprehensive Plan, 2013 Edition, Area I, Baileys Planning District, as amended through March 3, 2015, Seven Corners Community Planning District, Land Unit Recommendations, page 126:

### “Sub-unit C-2:

Sub-unit C-2 fronts on Leesburg Pike, north of its intersection with Patrick Henry Drive, and is directly across the Seven Corners Shopping Center. It is developed with a variety of larger office and retail uses. The most dominant use is the free-standing department store located on Parcels 51-3 ((11)) 190A and 51-3 ((23)) A on Leesburg Pike, west of Juniper Lane. This portion of the sub-unit is planned for retail use at its current intensity. Any revitalization activities in this sub-unit should include parking lot landscaping and streetscape improvements.

The northern portion of the sub-unit includes Parcels 51-3 ((1)) 30 and 31 and 51-3 ((13)) 5, 10 and 11. This area is planned for office use at the existing intensity with parking facilities situated to preclude visual impact and minimize noise impact on adjacent residences. The screening provided along Buffalo Ridge Road should be sufficient to maintain the residential character of this street. Parcels 51-3 ((23)) B, C, and C1, to the south, are also planned and developed for office use at the existing intensity. These parcels serve as a transition from the CBC to the surrounding neighborhoods and are designated as gateway locations.”

Fairfax County Comprehensive Plan, 2011 Edition, Area I Volume, Baileys Planning District, as amended through March 3, 2015, Seven Corners Community Business Center, pages 112-113:

### “Land Use Guidelines:

Achievement of the vision of Seven Corners on which the land use concept is based will be a long-term process. Because of this, additional guidance beyond that specified in the Land Unit Recommendations section is also essential. In reviewing development proposals within the CBC, several situations may arise that the land unit recommendations may not adequately address: parcel consolidation, infill development, affordable housing, and other land uses that could be compatible alternatives to those specified in the land unit recommendations. The following guidelines apply in these situations:

- Parcel Consolidation – For all development proposals involving increased intensity/density, parcel consolidation is encouraged as a way to achieve the planning objectives for the CBC.

Parcel consolidations should be logical and of sufficient size to allow projects to function in a well-designed and efficient manner, allow for inter-parcel access, and provide a visual and physical linkage to adjacent commercial properties. In general, any unconsolidated parcels should be able to develop in conformance with the Plan or should represent stable development.

- Existing Uses and Buildings – In some instances, existing development may not be consistent with the long-term vision for Seven Corners which anticipates the eventual redevelopment of these properties. This Plan is not intended to interfere with the continuation of existing land uses or buildings which is the decision of the business or building owner. However, new uses and the replacement or expansion of existing buildings should not inhibit achieving the long-term recommendations of the Plan. To facilitate this, improvements to the open space or pedestrian systems that are defined in the Plan are encouraged or, if not feasible due to an existing building's location on the site, alternative streetscape and other design improvements which may help implement the Plan's intent may be considered. Additionally, retention of neighborhood- and community-serving uses as redevelopment occurs should be encouraged by permitting the incorporation of an existing use into the new development, such as incorporating a community retail or service business into a new office building.
- Transitions Between Uses – Emphasis should be placed on encouraging transitions between commercial and low density residential uses as a tapering or step-down from higher intensity use to lower intensity use. Multifamily residential developments may also function as transitional uses.
- Alternative Land Uses – When an alternative land use, as mentioned below, can be demonstrated to be compatible with the surrounding development and when the Plan's transportation needs, pedestrian orientation, and other urban design aspects called for in the Plan are adequately addressed, such uses may be considered. Residential uses may be considered when a viable, quality living environment can be created which provides recreational facilities and other amenities for residents, and where its scale is similar to the proposed nonresidential use... Also, flexibility should be applied to ensure that a viable mix of local-serving or support retail and service uses will result by allowing these uses to be provided within office and residential buildings.”

Fairfax County Comprehensive Plan, 2011 Edition, Area I Volume, Baileys Planning District, as amended through March 3, 2015, Seven Corners Community Business Center, pages 113-117:

“Building Orientation and Character:

The visual appearance of an area, and the character that this appearance communicates, relies on the streetscape as a setting and buildings or building complexes to establish focal points. In Seven Corners, guidance for building orientation and character is intended to enhance the area by improving the visual quality of the area and by fostering a clearly recognizable “sense of place” for

the CBC. In particular, the following guidelines should be considered in the development review process:

- Buildings should be set back 15-30 feet from the curb if no off-street parking is provided in front of the building.
- Structured parking should not be located at the front of the building but at the back or side. Surface parking may be located at the front of buildings but should have interior landscaping as well as landscaping between the parking area and the sidewalk. Such parking should be attractively integrated with major pedestrian networks and accessible from side streets or exterior passageways between buildings. On-street parking should not be permitted on arterial and collector streets, or on service drives but allowed on local or pedestrian oriented streets. A particular emphasis should be placed on providing shared parking, particularly for mixed-use developments.
- Attractive and safe pedestrian linkages between buildings and parking areas should be provided and open spaces and pedestrian amenities should be directly accessible to the pedestrian network with pedestrian connections to adjacent blocks encouraged. Also, landscaped design features, such as seating areas and ornamental plantings, should be incorporated into parking lots, plazas, and streetside areas to complement architectural features and carry the Seven Corners streetscape design theme into private areas.
- A variety of building heights, façade articulation, and roof forms, as well as incorporating the upper story of buildings having over three stories within the roof structure, should be encouraged.
- Development and redevelopment should create a positive spatial relationship between the buildings and street while providing adequate buffers to residential properties to the rear.
- Building façades should establish a pedestrian scale relationship to the street or adjacent parking areas with architectural design features, such as variations of window or building details, texture, pattern, and color of materials. Public space furniture and entry accent features are encouraged as are arcades, awnings, or other building features that distinguish ground floor retail uses.
- Curb cuts should be minimized through consolidation of street access and provision of inter-parcel access.
- Building-mounted signs or monument-styled signs incorporated within a planting strip should be encouraged. Pole-mounted signs should be discouraged.
- Points of entry indicate entrance to an area and convey the first visual images to visitors. Parcels in such gateway areas should be particularly sensitive to landscaping and signage to emphasize this gateway function.”

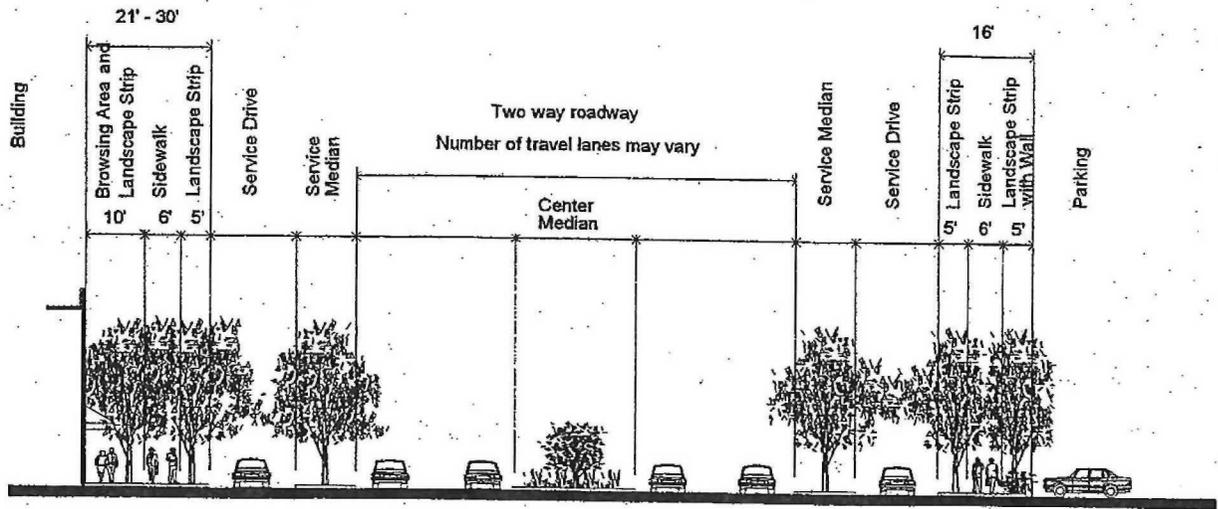
Fairfax County Comprehensive Plan, 2011 Edition, Area I Volume, Baileys Planning District, as amended through March 3, 2015, Seven Corners Community Business Center, pages 117-118:

“Leesburg Pike and Arlington Boulevard Streetscape Design Guidelines:

For the areas fronting on Leesburg Pike or Arlington Boulevard, plant materials, design details, lighting, and street furniture should be consistent with or similar to the above guidance for materials and features. A typical cross-section would include the following (see Figure 24).

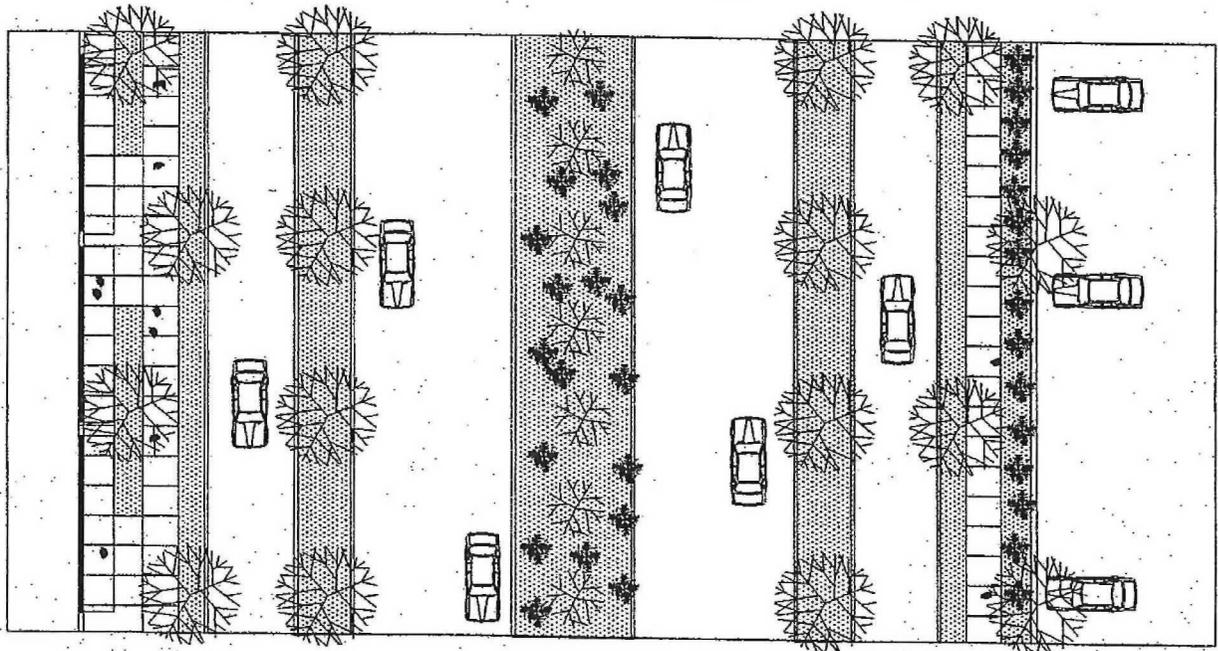
- If a center median is provided, it should be planted where possible with a single row of shade trees approximately 30 feet on center, or ornamental trees 20 feet on center supplemented with ornamental plantings and tree groupings at points of entry to the CBC; if a service median is required, it should be planted with a single row of shade trees approximately 30 feet on center;
- The pedestrian area extends from the street curb to the building line or parking area. This area should be 16 feet at a minimum and include a curbside planting strip five feet wide (four feet may be appropriate when limited by existing conditions) planted with a row of shade trees spaced approximately 40 to 50 feet on center, a sidewalk six feet in width, and a secondary planting strip with a second row of shade trees similarly spaced. This secondary strip should be a minimum of five feet wide if adjacent to a parking area. If adjacent to a building line, this strip should be 10 feet wide and may include a paved browsing strip approximately five feet wide adjacent to a building housing a retail use. Trees in the two parallel planting strips should offset thus creating a canopy over the sidewalk with an effective tree spacing of approximately 20 to 35 feet. Additional landscaping should be provided in this pedestrian area including low parking lot walls or hedges and interior parking lot landscaping when parking areas front on the street.”

Figure 24 – Streetscape Guidelines for Leesburg Pike and Arlington Boulevard



Streetscape -- LEESBURG PIKE AND ARLINGTON BOULEVARD

(with Medians & Service Drives) Scale: 1" = 30'



COMPREHENSIVE PLAN MAP: Office Use

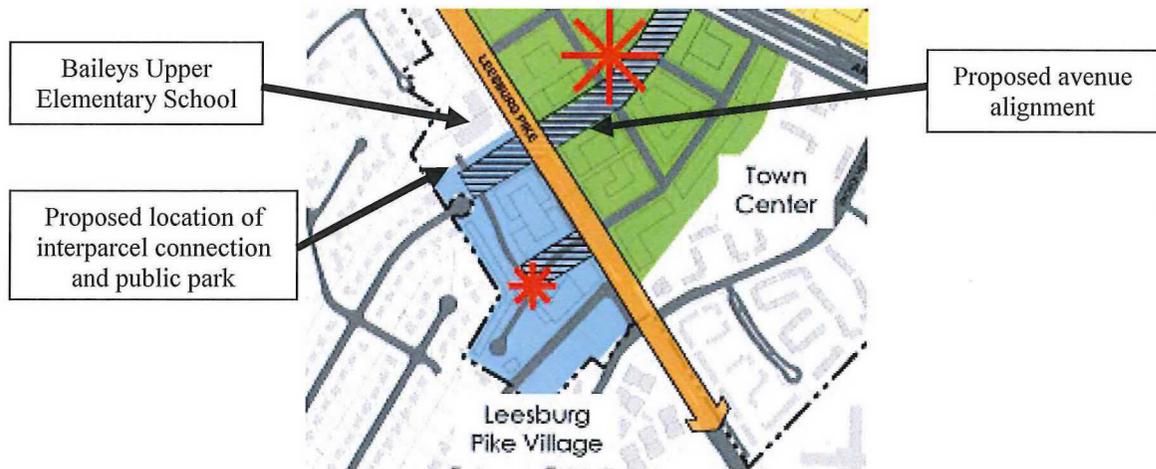
## LAND USE ANALYSIS

The application seeks approval of an amendment to PCA 76-M-007 to permit an addition to the school for a gymnasium. Other on-site improvements include a 4,644 square foot outdoor play area, a hard surface sport court, a designated school bus drop-off and pick-up area, and associated crosswalks and sidewalk. The proposed 6,200 square foot gymnasium is to be sited north of, and adjacent to the existing Baileys Upper Elementary School, fronting onto Leesburg Pike, and will be a maximum of 30 feet in height. The applicant has worked with staff to present a façade fronting onto Leesburg Pike that is more visually stimulating, inviting, and better acknowledges the school's presence. This includes design elements similar to the main school through a continuation of the lines from the main school building on all sides of the proposed gym building, with the identification of "Baileys Upper" on the elevation facing Leesburg Pike.

The applicant seeks to increase the Floor Area Ratio (FAR) of the site from 0.67 to 0.71 to allow for the construction of the gymnasium. Plan text recommends office use at its existing intensity that is reflective of the building's former use on this site. On December 4, 2013, the Planning Commission approved application 2232-M13-14 which determined that the retrofit of the existing office building for public elementary school use is substantially in accord with the provisions of the Comprehensive Plan under "alternative land uses." The proposed gymnasium is ancillary to the existing school and was included in the approval of 2232-M13-14.

The Seven Corners Community Business Center Plan Amendment (PA) 2013-I-B2 is scheduled for public hearing before the Board of Supervisors on June 23, 2015. According to the proposed PA 2013-I-B2, the neighboring properties east of Baileys Upper Elementary School on Leesburg Pike are planned to be redeveloped as a mixed use urban village center. This village center will be organized around a new internal street grid with a maximum of 539,000 square feet of residential, retail, and office uses. In addition to other conditions identified in this Plan Amendment, redevelopment of this parcel assemblage is contingent upon providing a park adjacent to Baileys Upper Elementary School. To facilitate greater connectivity and promote public health through walking, pedestrian and vehicular interparcel connections should be provided to the school property. The proposed proffers for PCA 76-M-007-02 will allow for the future implementation of the aforementioned pedestrian and vehicular interparcel connections. See graphic below for additional detail:

Figure 28 – Framework Plan Map from PA 2013-I-B2



The property is located within the Seven Corners Community Business Center, and thus conformance with streetscape and urban design guidelines is expected. These guidelines have wide-ranging objectives which include creating a pedestrian friendly environment, creating high quality, attractive development, protection of adjacent residential neighborhoods through landscape buffers, and allowing for public pedestrian access between employment and residential destinations. In addition, the guidelines have specific recommendations on building design and arrangement, design compatibility, landscaping, pedestrian connections, vehicular circulation, parking, buffers, lighting, and signage.

The Comprehensive Plan provides an option for alternative land uses if the application can be demonstrated to be compatible with the surrounding development and when the Plan's transportation needs, pedestrian orientation, and other urban design aspects called for in the Plan are adequately addressed. The applicant is not proposing any modifications to the current landscaping, and is retaining the existing service road that fronts Leesburg Pike.

The applicant's proposed design for the new building utilizes high-quality materials and finishes. It is staff's opinion that the modern design adequately addresses the urban design guidelines in the Comprehensive Plan that calls for high quality architectural design. The applicant has agreed to a development condition that utilizes this rendering and other similar drawings as a reference point and commits the applicant to a final design that is generally consistent with the quality of materials and overall aesthetics depicted in this image.

The Planning Division staff finds that the proposed use is in general conformance with the land use recommendations of the Comprehensive Plan.

PGN: BSS



# County of Fairfax, Virginia

## MEMORANDUM

DATE: April 20, 2015

TO: Barbara Berlin, Director  
Zoning Evaluation Division, DPZ

FROM: Michael A. Davis, Acting Chief  
Site Analysis Section, DOT *JEA for MAD*

FILE: 3-4 (PCA 76-M-007)

SUBJECT: Transportation Impact

REFERENCE: PCA 76-M-007-2; Fairfax County School Board  
Tax Map: 51-3 ((01)) 30, 31; 51-3 ((11)) 188A; 51-3 ((13)) 5, 10, 11

This department has reviewed the revised plat and the draft proffer dated April 20, 2015. We have the following comments.

The applicant has not provided written responses to FCDOT and VDOT comments. Written responses are part of the review process and should be provided to staff to address staff's concerns.

The draft proffers do not address staff's concerns regarding:

- Pedestrian improvements on the applicant's Leesburg Pike frontage
- An interparcel access along the southeast property boundary of the subject property
- The permanent closure of the kiss and ride gate when an interparcel access in the back of the site is constructed to prevent traffic from spilling onto Route 7 or the service drive.

Staff continues to work with the applicant to ensure these concerns are appropriately addressed in the proffers.

MAD/AY  
cc: Joe Gorney



## COMMONWEALTH of VIRGINIA

## DEPARTMENT OF TRANSPORTATION

CHARLES A. KILPATRICK, P.E.  
COMMISSIONER

4975 Alliance Drive  
Fairfax, VA 22030  
April 3, 2015

**To:** Ms. Barbara Berlin  
Director, Zoning Evaluation Division

**From:** Kevin Nelson  
Virginia Department of Transportation – Land Development Section

**Subject:** PCA 1976-M-007-02 Fairfax County School Board (Bailey's Upper Elementary)  
Tax Map # 51-3((01))0030 & 31, ((11))0188A & ((13))0005, 10 & 11

All submittals subsequent to the first submittal shall provide a response letter to the previous VDOT comments. Submittals without comment response letters are considered incomplete and will be returned without review.

I have reviewed the above plan submitted on March 26, 2015, and received on March 30, 2015. The following comments are offered:

1. *The proposed trees located along the Rt. 7 service drive should not be located within the entrance sight lines. Any existing or proposed trees within entrance sight lines will need to be moved.*
3. *Access should be provided to Buffalo Ridge Road to give buses access to a traffic signal on Rt. 7.*
4. *The gate on the Rt. 7 service drive needs to be moved further from the street to permit vehicles to completely exit the public street prior to reaching the gate when it is closed. The gate is not properly located to permit a vehicle to exit the road and park to unlock the gate. The gate must be moved so vehicles do not obstruct the road when the gate is locked and unlocked.*

If you have any questions, please call me.

cc: Ms. Angela Rodeheaver

fairfaxrezoning1976-M-007-02pca2FxCoSchoolBdBaileysUpperElem4-3-15BB

We Keep Virginia Moving



# County of Fairfax, Virginia

To protect and enrich the quality of life for the people, neighborhoods and diverse communities of Fairfax County

**DATE:** April 7, 2015

**TO:** Barbara Berlin, Director,  
Zoning Evaluation Division  
Department of Planning and Zoning (DPZ)

**FROM:** *Barbara Byron*  
Barbara Byron, Director  
Office of Community Revitalization (OCR)

**SUBJECT:** **OCR Staffing Comments**  
Fairfax County School Board  
PCA 76-M-007-02

The Office of Community Revitalization (OCR) has reviewed the above referenced revised Generalized Development Plan (GDP)/Proffered Condition Amendment (PCA) date stamped as "Received by the Department of Planning and Zoning on March 26, 2015".

From OCR's perspective, the Bailey's Upper Elementary School gymnasium project has progressed in its design and will provide a complementary addition to the main school building along Leesburg Pike.

The OCR provides the following recommendations:

1. The applicant should provide further details on the gymnasium building materials and finishes beyond "Brick 1," "Brick 2" and "Metal Panel" to assist with understanding of the proposal (see sheet 9). The applicant should also clarify if the brick types being proposed for the gymnasium will exactly match, or blend, with the brick used in the existing school building.
2. The applicant should consider moving the bottom edge of the gymnasium windows and metal paneling lower in order to match the bottom edge of the existing building's second floor window line (see sheet 9). This slight alteration will provide window line symmetry between the two buildings.
3. The applicant should depict and label on the GDP a potential future interparcel connection between the school property and commercial property immediately adjacent to the

Office of Community Revitalization  
12055 Government Center Parkway, Suite 1048  
Fairfax, VA 22035  
703-324-9300, TTY 711  
www.fcrevit.org



southeastern boundary (see sheet 3). This would ensure that the school site maintains access to a stop light on Leesburg Pike in the event that the service drive is eliminated due to added transit lanes along the corridor. The Seven Corners Transportation Plan indicates a need to provide a connection; furthermore, the proposed Comprehensive Plan Amendment for Seven Corners Community Business Center (CBC) released on April 3, 2015 recommends future interparcel connectivity between the school and the adjacent property.

(See <http://www.fairfaxcounty.gov/dpz/comprehensiveplan/amendments/2013-i-b2.pdf>)

4. The applicant should provide, for review, a color rendering that depicts the design, materials, and general color palette of items within the Details sheet. The applicant should provide further details beyond “Brick Veneer,” “Aluminum Louver Gate” and “Cast Stone Cap” to assist with understanding of the proposal (see sheet 3A). The applicant should also include any new proposed ornamental iron fencing on the Details sheet and verify it will match the existing ornamental iron fencing on the site.
5. In general, the existing streetscape along Leesburg Pike does not comply with the future Leesburg Pike Streetscape Urban Design concept and streetscape design guidelines outlined in the Comprehensive Plan.
6. The applicant should consider striping pedestrian crosswalks along the south (Kiss and Ride) entrance and north (bus) entrance to enhance pedestrian circulation, awareness and safety.

cc: Joseph Gorney, Staff Coordinator, DPZ  
OCR File



## MEMORANDUM

**DATE:** April 16, 2015

**TO:** Joe Gorney, Senior Staff Coordinator  
Zoning Evaluation Division, DPZ

**FROM:** Nicholas Drunasky, Urban Forester II  
Forest Conservation Branch, UFMD

**SUBJECT:** Bailey's Upper Elementary School for the Arts & Sciences  
PCA 76-M-007-02

The site is located within the Bailey's Seven Corners Community Business Center of the Baileys Planning District. The site also falls within the Seven Corners Commercial Revitalization District. An existing five story office building and parking lot exist, which covers most of the site, which is currently being used as Bailey's Upper Elementary School. Existing vegetation present consists of landscape trees (red maple, little leaf linden, London plane) planted within and surrounding the parking lot along with Austrian pines and red cedars planted within the transitional screening areas. In addition to the landscape trees, early successional tree species (black locust, black cherry, mulberry, tulip poplar, Virginia pine, eastern red cedar, mimosa and pin oak) have also established themselves around the western side of the site within transitional screening area. The site also contains non-native plant species that are known to be invasive such as Japanese honeysuckle, English ivy, and bamboo.

This review is based upon the Proffered Condition Amendment and Generalized Development Plan application PCA 76-M-007-02 stamped as "Received by the Department of Planning & Zoning Planning Division March 26, 2015." A site visit was performed on March 9, 2015 as part of the review for this application.

- 1. Comment:** Previously approved development conditions/proffers along with the GDP from RZ 76-M-007 have not been included as part of this application making it unclear if the proposed changes will be in accordance with the exiting rezoning.

**Recommendation:** With the next submission, the applicant should provide a copy of the previously approved landscape plan from the GDP referenced rezoning application along with development conditions/proffers and additional Urban Forestry comments may follow.

- 2. Comment:** Preliminary 10-year canopy calculations have not been provided; making it is unclear how the tree canopy requirements (10%) will be met for the site.

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Department of Public Works and Environmental Services  
Urban Forest Management Division

12055 Government Center Parkway, Suite 518  
Fairfax, Virginia 22035-5503  
Phone 703-324-1770, TTY: 711, Fax: 703-653-9550  
[www.fairfaxcounty.gov/dpwes](http://www.fairfaxcounty.gov/dpwes)



**Recommendation:** The applicant should provide 10-year canopy calculations contained with table 12.10 from the PFM to demonstrate how 10-year canopy requirements will be met for the site in accordance with PFM 12-0501.1D.

- 3. Comment:** It is unclear what areas of existing vegetation will be used to meet the 10-year canopy cover requirement for the site. Please keep in mind that all trees used to meet the 10-year canopy cover requirement for the site must be at least four feet from any restrictive barriers and meet the pre-development standards for structural integrity and health.

**Recommendation:** The applicant should depict with a key and symbol all areas where 10-year canopy credit is being afforded on the landscape plan.

- 4. Comment:** It is unclear how the Tree Preservation Target will be met for the site since no calculations have been provided.

**Recommendation:** Information included in the EVM should be utilized to provide a Tree Preservation Target in accordance with PFM 12-0501.1C. The Tree Preservation Target Calculations and Statement should be provided as shown in table 12.3.

- 5. Comment:** It appears that several existing trees (both landscape and early successional forest) have not been depicted within either of the two cover types identified on the EVM, which is unclear.

**Recommendation:** All existing vegetation should be clearly depicted with a key and symbol on the EVM and used to determine the Tree Preservation Target for the site.

- 6. Comment:** The existing forest area on the southern corner of the property has been identified on the EVM as "Landscape Tree Canopy," but only a portion of it appears to be planted landscaping, while the majority of the area appears to be forest grown trees where the understory has been cleared and turf has been planted.

**Recommendation:** The EVM should be revised for the forested area in the southern corner of the property to reflect the actual thin forested cover type that exists with no understory.

- 7. Comment:** It appears that the applicant has made a request to modify the width of a portion of the transitional screening in the area adjacent to the corner of lot 12A from the Type I (25 foot wide) to provide a 13 foot width in the narrowest area and supplement the area proposed to be cleared all the way to the property line with five deciduous trees. Providing a bus lane, five deciduous trees, and a six foot tall board on board fence within a dramatically reduced transitional screening area that is very close to an existing house by no means meets the intent of the transitional screening ordinance. The justification used

for this modification of the transitional screening area states paragraph 14 of section 305 of the zoning ordinance, which states that the site must be "Specifically designed to minimize adverse impacts on adjacent properties," which has not been incorporated into this design.

**Recommendations:**

- a. The applicant should provide a staggered row of category II evergreens such as eastern redcedars along with 18-24 inch tall shrubs to help supplement this area of transitional screening.
  - b. As discussed during the meeting held on March 11, 2015, the barrier should be increased in height to seven feet in this area to help decrease impacts from the reduced transitional screening width to the offsite property.
  - c. The statement of justification should be revised along with being added to the PCA plat using site specific justifications for why this modification is necessary and how the site has been designed to specifically minimize adverse impacts on the adjacent residential property in accordance with ZO 13-305.4.
- 8. Comment:** The transitional screening matrix has been provided with this submission which claims 75% canopy coverage has been met. However, it appears that the site contains many trees within the transitional screening area that are either dead or diseased and do not meet the intent of the transitional screening requirement (eg. area adjacent to lot 188-B, which is a mowed yard area with sparse overstory and no understory). In addition, it appears that the applicant is attempting to modify the transitional screening area to use the existing vegetation, which does not meet the intent of the zoning ordinance.

**Recommendations:**

- a. Existing trees that are dead and/or are diseased and in poor condition (primarily Austrian pines), should be shown to be removed and replaced with category II and III evergreens in order to meet the intent of the transitional screening ordinance.
  - b. In addition, areas where vegetation is sparse such as adjacent to lot 188, supplemental landscaping should be provided.
- 9. Comment:** The existing six foot tall board on board fence (Type D, E, or F barrier) located on the inside of the transitional screening yard is proposed to be removed and replaced with a new six foot tall board on board fence at the property line. However, barriers are generally located on the inside of the transitional screening area so that landscaping helps break up the barrier from the offsite properties. In addition, relocating the barrier to the outside of the screening, directly adjacent to the offsite properties will likely cause negative impacts to many trees located offsite and within the transitional screening yards.

**Recommendation:** In order for the six foot tall board on board fence to be located as proposed, a note should be added to the PCA plat that states how the proposed fence will

be installed in a manner that minimizes impacts to the many on and offsite trees within and surrounding the transitional screening yards.

- 10. Comment:** It is unclear why the small rectangle shown as limits of clearing and grading located immediately adjacent to the 18 inch London plane tree shown to be counted towards meeting the interior parking lot landscape requirement is necessary. It will likely cause negative impacts to this tree, which will not allow it to be afforded any canopy credit towards the overall site or towards the interior parking lot landscape requirement.

**Recommendation:** The small rectangular limits of clearing and grading located next to the 18 inch London plane tree should be adjusted outside of the critical root zone of that tree or it should not be counted towards meeting the 10-year canopy requirement for the site or toward the interior parking lot landscape requirement.

- 11. Comment:** It appears that several of the peripheral parking lot trees along the southern side of the property are in poor condition and do not meet the intent of meeting this peripheral parking lot landscape requirement or the intent of what was depicted on the existing landscape plan for the GDP (RZ 76-M-007).

**Recommendation:** The applicant should depict trees in poor condition being used as peripheral parking lot landscaping on the southern side of the property to be removed and replaced with category III trees with species such as a blackgum, silver linden, or Kentucky coffeetree.

- 12. Comment:** It appears that four of the existing red maples that are being used to meet the streetscape requirement of the Comprehensive Plan for the Baileys Crossroads/Seven Corners Community Business Center are proposed for removal to allow for grading for the gymnasium. They are proposed to be replaced with three, 3 inch caliper blackgums, which may be difficult to find in nursery industry and will be more difficult to establish than a 2-2.5 inch caliper tree. In addition, the Comprehensive Plan calls for ornamental plantings, which have not been proposed.

**Recommendation:** It is recommended that the size of blackgums proposed be 2-2.5 inch caliper in place of the 3 inch caliper ones proposed, along with providing ornamental groupings of shrubs and perennials in this area as well.

- 13. Comment:** Given the nature of tree cover on this site several development conditions will be instrumental in assuring adequate tree preservation throughout the development process.

**Recommendation:** UFMD feels that the following development condition language is necessary to ensure effective tree preservation and landscaping:

Invasive Species Management Plan: "An invasive species management plan shall be submitted as part of the first and all subsequent site plan submissions detailing how the

invasive and undesirable vegetation will be removed and managed. The detailed invasive species management plan shall include the following information:

- Identify targeted undesirable and invasive plant species to be suppressed and managed.
- Identify targeted area of undesirable and invasive plant management plan, which shall be clearly identified on the landscape or tree preservation plan.
- Recommended government and industry method(s) of management, i.e. hand removal, mechanical equipment, chemical control, other. Identify potential impacts of recommended method(s) on surrounding trees and vegetation not targeted for suppression/management and identify how these trees and vegetation will be protected (for example, if mechanical equipment is proposed in save area, what will be the impacts to trees identified for preservation and how will these impacts be reduced).
- Identify how targeted species will be disposed.
- If chemical control is recommended, treatments shall be performed by or under direct supervision of a Virginia Certified Pesticide Applicator or Registered Technician and under the general supervision of Project Arborist).
- Provide information regarding timing of treatments, (hand removal, mechanical equipment or chemical treatments) when will treatments begin and end during a season and proposed frequency of treatments per season.
- Identify potential areas of reforestation and provide recommendation
- Monthly monitoring reports provided to UFMD and SDID staff.
- Duration of management program; until Bond release or release of Conservation Deposit or prior to release if targeted plant(s) appear to be eliminated based on documentation provided by Project Arborist and an inspection by UFMD staff.”

Tree Preservation: “The applicant shall submit a Tree Preservation Plan and Narrative as part of the first and all subsequent site plan submissions. The preservation plan and narrative shall be prepared by a Certified Arborist or a Registered Consulting Arborist, and shall be subject to the review and approval of UFMD.

The tree preservation plan shall include a tree inventory that identifies the location, species, critical root zone, size, crown spread and condition analysis percentage rating for all individual trees located within the tree save area living or dead with trunks 10 inches in diameter and greater (measured at 4 ½ -feet from the base of the trunk or as otherwise allowed in the latest edition of the Guide for Plant Appraisal published by the International Society of Arboriculture) and 25 feet outside of the proposed limits of clearing, in the undisturbed area and within 10 feet of the proposed limits of clearing in the area to be disturbed. All trees inventoried shall be tagged in the field so they can be easily identified. If permission is not allowed from the offsite property owner to tag trees, it shall be noted on the tree preservation plan by providing written documentation between the applicant and the offsite property owner. The tree preservation plan shall provide for the preservation of those areas shown for tree preservation, those areas outside of the limits of disturbance shown on the RZ/FDP and those additional areas in which trees can be preserved as a result of final engineering. The tree preservation plan and narrative shall include all items specified in

PFM 12-0507 and 12-0509. Specific tree preservation activities that will maximize the survivability of any tree identified to be preserved, such as: crown pruning, root pruning, mulching, fertilization, compost tea, Cambistat, radial mulching, notes and details for asphalt removal around trees, and others as necessary, shall be included in the plan.”

Tree Preservation Walk-Through. “The Applicant shall retain the services of a Certified Arborist or Registered Consulting Arborist, and shall have the limits of clearing and grading marked with a continuous line of flagging prior to the walk-through meeting. During the tree-preservation walk-through meeting, the Applicant’s Certified Arborist or Registered Consulting Arborist shall walk the limits of clearing and grading with an UFM, representative to determine where adjustments to the clearing limits can be made to increase the area of tree preservation and/or to increase the survivability of trees at the edge of the limits of clearing and grading, and such adjustment shall be implemented. Trees that are identified as dead or dying may be removed as part of the clearing operation. Any tree that is so designated shall be removed using a chain saw and such removal shall be accomplished in a manner that avoids damage to surrounding trees and associated understory vegetation. If a stump must be removed, this shall be done using a stump-grinding machine in a manner causing as little disturbance as possible to adjacent trees and associated understory vegetation and soil conditions.”

Limits of Clearing and Grading: “The Applicant shall conform strictly to the limits of clearing and grading as shown on the SE Plat, subject to allowances specified in these proffered conditions and for the installation of utilities and/or trails as determined necessary by the Director of DPWES, as described herein. If it is determined necessary to install utilities and/or trails in areas protected by the limits of clearing and grading as shown on the SE Plat, they shall be located in the least disruptive manner necessary as determined by the UFMD, DPWES. A replanting plan shall be developed and implemented, subject to approval by the UFMD, DPWES, for any areas protected by the limits of clearing and grading that must be disturbed for such trails or utilities.”

Tree Preservation Fencing: “All trees shown to be preserved on the tree preservation plan shall be protected by tree protection fence. Tree protection fencing in the form of four (4) foot high, fourteen (14) gauge welded wire attached to six (6) foot steel posts driven eighteen (18) inches into the ground and placed no further than ten (10) feet apart or, super silt fence to the extent that required trenching for super silt fence does not sever or wound compression roots which can lead to structural failure and/or uprooting of trees shall be erected at the limits of clearing and grading as shown on the demolition, and phase I & II erosion and sediment control sheets, as may be modified by the “Root Pruning” condition below.

All tree protection fencing shall be installed after the tree preservation walk-through meeting but prior to any clearing and grading activities, including the demolition of any existing structures. Three (3) days prior to the commencement of any clearing, grading or demolition activities, but subsequent to the installation of the tree protection devices, the UFMD, DPWES, shall be notified and given the opportunity to inspect the site to ensure that all tree protection devices have been correctly installed. If it is determined that the fencing has not been installed correctly, no grading or construction activities shall occur until the fencing is installed correctly, as determined by the UFMD, DPWES.”

Root Pruning: "The Applicant shall root prune, as needed to comply with the tree preservation requirements of these development conditions. All treatments shall be clearly identified, labeled, and detailed on the erosion and sediment control sheets of the site plan submission. The details for these treatments shall be reviewed and approved by the UFMD, DPWES, accomplished in a manner that protects affected and adjacent vegetation to be preserved, and may include, but not be limited to the following:

- Root pruning shall be done with a trencher or vibratory plow to a depth of 18 - 24 inches.
- Root pruning shall take place prior to any clearing and grading, or demolition of structures.
- Root pruning shall be conducted with the supervision of a Certified Arborist or Registered Consulting Arborist.
- An UFMD, DPWES, representative shall be informed when all root pruning and tree protection fence installation is complete."

Site Monitoring: "During any clearing or tree/vegetation on the Applicant Property, a representative of the Applicant shall be present to monitor the process and ensure that the activities are conducted as conditioned and as approved by the UFMD. The Applicant shall retain the services of a Certified Arborist or Registered Consulting Arborist to monitor all construction and demolition work and tree preservation efforts in order to ensure conformance with all tree preservation development conditions, and UFMD approvals. The monitoring schedule shall be described and detailed in the Landscaping and Tree Preservation Plan, and reviewed and approved by the UFMD."

Landscape Pre-Inspection Meeting: "Prior to installation of plants to meet requirements of the approved landscape plan, the Contractor/Developer shall coordinate a pre-installation meeting on site with the landscape contractor and a representative of the County Urban Forest Management Division (UFMD). Any proposed changes to the location of planting, size of trees/shrubs, and any proposed plant substitutions for species specified on the approved plan shall be reviewed at this time and must be approved prior to planting. The installation of plants not specified on the approved plan, and not previously approved by UFMD, may require submission of a revision to the landscape plan or removal and replacement with approved material.

Field location of planting material, when required by the approved plan, shall be reviewed at the pre-installation meeting. The Landscape Contractor shall stake proposed individual planting locations in consultation with the Contractor/Developer prior to the pre-installation meeting, for review by UFMD staff. Stakes shall be adjusted, as needed, during the course of the meeting as determined by UFMD staff based on discussion with the Contractor/Developer and the Landscape Contractor."

Native Species Landscaping: "All landscaping provided shall be native to the middle Atlantic region to the extent feasible and non-invasive as determined by UFMD. In addition, the quality and quantity of landscaping provided shall be in substantial conformance with the RZ/FDP."

Bailey's Upper Elementary School, PCA 76-M-007-02

April 16, 2015

Page 8 of 8

If you have any further questions, please feel free to contact me at 703-324-1770,

NJD/

UFMDID #: 199100

cc: DPZ File

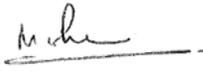




**MEMORANDUM**

**DATE:** March 9, 2015

**TO:** Joe Gorney, Senior Staff Coordinator  
Zoning Evaluation Division  
Department of Planning and Zoning

**FROM:** Mohan Bastakoti, P.E., Senior Engineer III   
South Branch  
Site Development and Inspections Division  
Department of Public Works and Environmental Services

**SUBJECT:** PCA 76-M-007-02(Bailey's Upper Elementary School) \_6494-ZONA-004-1; Mason District

We have reviewed the subject application and offer the following stormwater management comments.

Chesapeake Bay Preservation Ordinance (CBPO)

There are no Resource Protection Areas on the site.

Floodplain

There are no regulated floodplains on the site.

Downstream Drainage Complaints

There are no current downstream drainage complaints on file.

Drainage Diversion

During the development, the natural drainage divide shall be honored. If natural drainage divides cannot be honored, a drainage diversion justification narrative must be provided. The increase and decrease in discharge rates, volumes, and durations of concentrated and non-concentrated Stormwater runoff leaving a development site due to the diverted flow shall not have an adverse impact (e.g., soil erosion; sedimentation; yard, dwelling, building, or private structure flooding; duration of ponding water; inadequate overland relief) on adjacent or downstream properties. (PFM 6-0202.2A)

Stormwater Detention

Stormwater detention for this site is currently provided by two existing underground facilities. According to the applicant, one of the facilities will be removed and other will remain. The computations provided on the plan shows that the post development release rate from the site due to 2-yr and 10-yr storm event is less than that at pre-development condition. This satisfies the PFM requirement.

Location and the graphics of the existing detention facility should be shown on the plan. It should be clearly labelled that which facility will remain and which will be removed by this plan. The details of the routing, hydrologic and hydraulic computations will be reviewed during site plan review.

#### Water Quality Control

According to the applicant, the stormwater quality control for this site is provided by the proposed two Filterrras. For this redevelopment which is not currently served by any BMPs, the required reduction in phosphorus loads will be computed based on the following formula: 6-0401.2B (79-03-PFM)

$$[1 - 0.9("I"_{pre} / "I"_{post})] \times 100 = \% \text{ P removal}$$

Where:

"I"pre is the pre-development percent impervious area

"I"post is the post-development percent impervious area

The applicant should add the computations on the PCA plan Sheet#7 and BMP requirements should be satisfied using Occoquan method computations.

Detailed engineering calculations for sizing of BMPs will be reviewed with Site Plan.

#### Downstream Drainage System

An outfall narrative has been provided, however, the description of the adequacy and stability of the outfall is not a part of the statement. The minimum Stormwater information for rezoning, special exception, special permit, and development plan applications require a description of the existing conditions of each site outfall extended downstream from the site to a point which is at least 100 times the site area or which has a drainage area of at least one square mile (640 acres), whichever comes first. (ZO 9-011.J (2) (C)).

cc: Don Demetrius, Chief, Watershed Evaluation Branch, SPD, DPWES  
Fred Rose, Chief, Watershed Planning & Assessment Branch, SPD, DPWES  
Bijan Sistani, Chief, South Branch, SDID, DPWES  
Zoning Application File



# County of Fairfax, Virginia

## MEMORANDUM

DATE: April 21, 2015

**TO:** Barbara Berlin, Director  
Zoning Evaluation Division, DPZ

**FROM:** Pamela G. Nee, Chief *PSH*  
Environment and Development Review Branch, DPZ

**SUBJECT:** Environmental Assessment: PCA 76-M-007-02  
Baileys Upper School

This memorandum, prepared by Mary Ann Welton, includes citations from the Comprehensive Plan that provide guidance for the evaluation of the subject application, Proffered Condition Amendment (PCA) 76-M-007-02, revised through March 26, 2015 and proffers revised through April 20, 2015. The extent to which the application conforms to the applicable guidance contained in the Comprehensive Plan is noted. Possible solutions to remedy identified issues are suggested.

### COMPREHENSIVE PLAN CITATIONS:

Fairfax County Comprehensive Plan, 2013 Edition, Policy Plan, Environment, as amended through July 1, 2014, pages 7-9, the Plan states:

**“Objective 2: Prevent and reduce pollution of surface and groundwater resources. Protect and restore the ecological integrity of streams in Fairfax County.**

- Policy a. Maintain a best management practices (BMP) program for Fairfax County and ensure that new development and redevelopment complies with the County’s best management practice (BMP) requirements. . . .
- Policy k. For new development and redevelopment, apply better site design and low impact development (LID) techniques such as those described below, and pursue commitments to reduce stormwater runoff volumes and peak flows, to increase groundwater recharge, and to increase preservation of undisturbed areas. In order to minimize the impacts that new development

and redevelopment projects may have on the county's streams, some or all of the following practices should be considered where not in conflict with land use compatibility objectives:

- Minimize the amount of impervious surface created. . . .

Development proposals should implement best management practices to reduce runoff pollution and other impacts. Preferred practices include: those which recharge groundwater when such recharge will not degrade groundwater quality; those which preserve as much undisturbed open space as possible; and, those which contribute to ecological diversity by the creation of wetlands or other habitat enhancing BMPs, consistent with State guidelines and regulations.”

Fairfax County Comprehensive Plan, 2013 Edition, Policy Plan, Environment, as amended through July 1, 2013, page 10, the Plan states:

**“Objective 3: Protect the Potomac Estuary and the Chesapeake Bay from the avoidable impacts of land use activities in Fairfax County.**

Policy a. Ensure that new development and redevelopment complies with the County's Chesapeake Bay Preservation Ordinance. . . .”

The Fairfax County Comprehensive Plan, Policy Plan, 2013 Edition, Environment section as amended through July 1, 2013, page 18, the Plan states:

**“Objective 10: Conserve and restore tree cover on developed and developing sites. Provide tree cover on sites where it is absent prior to development.**

Policy a: Protect or restore the maximum amount of tree cover on developed and developing sites consistent with planned land use and good silvicultural practices.”

Fairfax County Comprehensive Plan, 2011 Edition, Policy Plan, Environment, as amended through July 27, 2010, on pages 19-21 states:

**“Objective 13: Design and construct buildings and associated landscapes to use energy and water resources efficiently and to minimize short- and long-term negative impacts on the environment and building occupants.**

Policy a. Consistent with other Policy Plan objectives, encourage the application of energy conservation, water conservation and other green building practices in the design and construction of new development and redevelopment projects. These practices can include, but are not limited to:

- Environmentally-sensitive siting and construction of development;
- Application of low impact development practices, including minimization of impervious cover (See Policy k under Objective 2 of this section of the *Policy Plan*);
- Optimization of energy performance of structures/energy-efficient design;
- Use of renewable energy resources;
- Use of energy efficient appliances, heating/cooling systems, lighting and/or other products;
- Application of water conservation techniques such as water efficient landscaping and innovative wastewater technologies that can serve to reduce the use of potable water and/or reduce stormwater runoff volumes;
- Reuse of existing building materials for redevelopment projects;
- Recycling/salvage of non-hazardous construction, demolition, and land clearing debris;
- Use of recycled and rapidly renewable building materials;
- Use of building materials and products that originate from nearby sources;
- Reduction of potential indoor air quality problems through measures such as increased ventilation, indoor air testing and use of low-emitting adhesives, sealants, paints/coatings, carpeting and other building materials;
- Reuse, preservation and conservation of existing buildings, including historic structures;
- Retrofitting of other green building practices within existing structures to be preserved, conserved and reused;
- Energy and water usage data collection and performance monitoring;
- Solid waste and recycling management practices; and
- Natural lighting for occupants.

Encourage commitments to implementation of green building practices through certification under established green building rating systems (e.g., the U.S. Green Building Council's Leadership in Energy and Environmental Design (LEED<sup>®</sup>) program or other comparable programs with third party certification). Encourage commitments to the attainment of the ENERGY STAR<sup>®</sup> rating where applicable and to ENERGY STAR qualification for homes. Encourage the inclusion of professionals with green building accreditation on development teams. Encourage commitments to the provision of information to owners of buildings with green building/energy efficiency measures that identifies both the benefits of these measures and their associated maintenance needs. . . .”

## ENVIRONMENTAL ANALYSIS

This section characterizes the environmental concerns raised by an evaluation of this site and the proposed land use. Solutions are suggested to remedy the concerns that have been identified by staff. There may be other acceptable solutions.

**Stormwater Management:** The 3.4 acre subject property falls within the Cameron Run watershed and it is located on the southwest side of Leesburg Pike approximately ½ mile south of the Leesburg Pike intersection with Arlington Boulevard. This school is a converted office building and it is currently operating. This application proposes to add a gymnasium and to implement several other modifications. The site is almost entirely covered with impervious surface at the present time. The stormwater narrative indicates that the existing building was constructed in 1991, and the narrative also states that the site is “grandfathered” from the Stormwater Management Ordinance. Two filterra and one underground facility are shown on the development plan to accommodate water quality control requirements for this site. The adequacy of stormwater management/best management practice (SWM/BMP) facilities and outfall will be subject to review and approval by the Department of Public Works and Environmental Services (DPWES).

**Tree Restoration:** The applicant is encouraged to work with the Urban Forestry Management Division of DPWES to find additional opportunities to augment the landscaping for this school site.

**Green Building:** The Policy Plan incorporates guidance in support of the application of energy conservation, water conservation and other green building practices in the design and construction of new development and redevelopment projects. The applicant is encouraged to demonstrate support of the County’s Green Building Policy in the construction of the new gymnasium. The applicant has provided a general commitment which includes “elements such as high efficiency mechanical systems and lighting, water efficient fixtures, low emissivity glazing (windows), and low volatile organic compounds (“VOC”) emitting materials.”

The applicant should demonstrate a level of achievement of green building practices which exceeds what would be required under the current Virginia Statewide Uniform Building Code. Furthermore, the applicant is encouraged to define the specific commitments and describe when those commitments will be demonstrated in order to avoid the need for possible future compliance interpretations.

PGN: MAW

## **COMPREHENSIVE PLAN PROVISIONS**

### **FAIRFAX COUNTY COMPREHENSIVE PLAN, 2013 Edition, Area I, Baileys Planning District, Amended through 3-3-2015, Seven Corners Community Business Center (CBC)**

#### **LOCATION AND CHARACTER**

“The Seven Corners CBC is a gateway to Fairfax County from both Arlington County and the City of Falls Church. The CBC (see Figure 23) surrounds the intersection of three of the region's major commuter routes: Arlington Boulevard (Route 50), Leesburg Pike (Route 7), and Wilson Boulevard/Sleepy Hollow Drive. The coming together of these major routes forms the multi-cornered intersection from which the CBC gets its name. The CBC is dominated by the Seven Corners Shopping Center, the First Virginia Bank Plaza, a number of community-serving shopping centers such as the Willston Shopping Center, Willston II, and The Corner at Seven Corners; individual department stores; and office buildings. The CBC also contains a variety of residential uses including higher density apartment complexes and townhouse neighborhoods. Surrounding the CBC are stable residential communities of a variety of densities, and a number of retail, automobile sales and service, and office uses located in the City of Falls Church which, with Arlington County, form the northern and eastern boundaries of the CBC.” (Page 108)

#### **DEVELOPMENT AND PLANNING HISTORY**

"In 1998, the Board designated the Seven Corners CBC as a special study area for the purpose of considering changes to the Comprehensive Plan. This would enable amending the Plan to encourage and support community revitalization efforts. This special study evaluates these previous efforts and projects the development potential for the Seven Corners CBC based on an analysis of future planned infrastructure and environmental constraints. Also in 1998, the Board designated the area comprising the Seven Corners CBC as part of the Baileys Crossroads/Seven Corners Commercial Revitalization District (CRD). This designation is a special category within the county's Zoning Ordinance intended to encourage revitalization activities by providing greater flexibility in ordinance requirements." (Page 110)

#### **CONCEPT FOR FUTURE DEVELOPMENT: A VISION FOR SEVEN CORNERS**

“The Comprehensive Plan recommends Seven Corners as one of several areas designated as Community Business Centers. This designation implies the retention, redevelopment, and revitalization of community-serving retail uses within the CBC. The Plan envisions, in addition to community-serving retail uses, a mixture of neighborhood-serving retail, office, residential, and recreational/cultural uses developed with a pedestrian scale and character. This combination of compatible land uses developed with an emphasis on enhanced appearance and accessibility will strengthen the area's ability to contribute to the quality of life of its residents and those of nearby neighborhoods.

Planning objectives for achieving this vision are:

Objective 1 Improve the appearance and function of the CBC through coordination of land uses accompanied by the application of urban design guidelines for building design and orientation, streetscape improvements, unified signage, consolidation of curb cuts and other access improvements, landscaping treatment and pedestrian-oriented amenities such as walkways, trees and benches;

Objective 2 Retain neighborhood-serving retail uses and improve the economic vitality of these uses through commercial revitalization in the CBC;

Objective 3 Provide transitions from more-to less-intensive uses, with buffering and screening between commercial and residential uses to reduce the negative effects of commercial activities on adjacent residential areas and to prevent commercial encroachment into established and stable neighborhoods; and

Objective 4 Foster future transportation improvements that positively affect planned redevelopment or revitalization activities, and encourage the design of such activities to accommodate these improvements.” (Pages 110-111)

Land Use Guidelines; Alternative Land Uses: “... the Plan is flexible to accommodate future opportunities for institutional, cultural, recreational, and governmental uses which could enrich community life, improve the provision of public services, and/or enhance the area’s business competitiveness. Generally, a community-serving institutional use may be considered in any portion of the CBC if of a similar scale and character as other uses planned for the sub-unit in which such use is to be located.” (Page 113)

#### URBAN DESIGN:

“The urban design concept for Seven Corners is to facilitate revitalization of the CBC by enhancing its traditional function while creating new opportunities for redevelopment and for reinvesting in existing businesses. The concept is to foster a commercial area serving the nearby Arlington, Falls Church, and Fairfax County communities that is clearly differentiated and buffered from adjacent residential neighborhoods while fostering a pedestrian-oriented, more urban form of development that is visually attractive, favorably remembered, and sought out by both individuals and businesses.” (Page 114)

“The urban design concept is supported by two elements: guidance for building orientation and character as well as recommendations for streetscape design. Building orientation and character guidance focuses on the scale of buildings including height and mass, setbacks, architectural form, distinctive roofline features or corner/entry treatments, and placement on the site. Streetscape design includes a network of CBC-wide streetscape improvements that clearly distinguish the extent of the CBC and provide for relocated or underground utilities, street trees and other landscaping, decoratively paved sidewalks, street furniture, lighting, and coordinated signage. Building scale and placement coupled with streetscape design blend to form the urban design character of the area.” (Page 114)

Sub-Unit C-2: “This area is planned for office use at the existing intensity with parking facilities situated to preclude visual impact and minimize noise impact on adjacent residences. The screening provided along Buffalo Ridge Road should be sufficient to maintain the residential character of this street.” (Page 126)

**ZONING ORDINANCE EXCERPTS****9-622 Provisions for Modifications/Waivers/Increases and Uses in a Commercial Revitalization District**

1. In a Commercial Revitalization District, the Board may approve, either in conjunction with the approval of a rezoning or as a special exception, the following:
  - A. A modification or waiver of the minimum lot size, minimum yard and/or minimum open space requirements of the underlying zoning district regulations,
  - B. An increase in the amount of office use permitted, increase in the maximum permitted building height or increase in the maximum permitted FAR in accordance with the underlying zoning district regulations,
  - C. A use allowed by special exception in the underlying zoning district regulations, to include other applicable Category 6 special exception uses,
  - D. A modification or waiver of the provisions of a Commercial Revitalization District, as provided for in that district, and/or
  - E. The establishment of a vehicle transportation service establishment in the C-6, C-7, C-8 or C-9 Districts.

**A7-207 Bulk Regulations**

1. Maximum building height: As specified in the underlying zoning district regulations, except that for land zoned C-6 or C-8, a maximum height of fifty (50) feet shall be allowed by right. In addition, where an increase in the maximum building height is allowed in the underlying zoning district regulations by special exception, such may be approved by the Board in accordance with the provisions of Sect. 9-622.
2. Minimum yard requirements: As specified in the underlying zoning district regulations, except that the minimum front yard in commercial districts shall be 20 feet, unless the adopted comprehensive plan specifies a front yard requirement that is equal to or less than the minimum front yard requirement of the underlying zoning district, in which case, the minimum front yard shall be in accordance with the comprehensive plan, provided that any plantings, streetscape treatments or other amenities set forth in the adopted comprehensive plan are also provided in general accordance with the comprehensive plan. In addition, modifications or waivers of the minimum yard requirements as specified in this district, the adopted comprehensive plan or the underlying zoning district regulations may be approved by the Board in accordance with the provisions of Sect. 9-622.
3. Maximum floor area ratio: As specified in the underlying zoning district regulations, except that where an increase in the floor area ratio is allowed in the underlying zoning district regulations by special exception, such may be approved by the Board in accordance with the provisions of Sect. 9-622.

**GLOSSARY**

This Glossary is provided to assist the public in understanding the staff evaluation and analysis of development proposals. It should not be construed as representing legal definitions. Refer to the Fairfax County Zoning Ordinance, Comprehensive Plan, or Public Facilities Manual for additional information.

**ABANDONMENT:** Refers to road or street abandonment, an action taken by the Board of Supervisors, usually through the public hearing process, to abolish the public's right-of-passage over a road or road right-of way. Upon abandonment, the right-of-way automatically reverts to the underlying fee owners. If the fee to the owner is unknown, Virginia law presumes that fee to the roadbed rests with the adjacent property owners if there is no evidence to the contrary.

**ACCESSORY DWELLING UNIT (OR APARTMENT):** A secondary dwelling unit established in conjunction with and clearly subordinate to a single family detached dwelling unit. An accessory dwelling unit may be allowed if a special permit is granted by the Board of Zoning Appeals (BZA). Refer to Sect. 8-918 of the Zoning Ordinance.

**AFFORDABLE DWELLING UNIT (ADU) DEVELOPMENT:** Residential development to assist in the provision of affordable housing for persons of low and moderate income in accordance with the affordable dwelling unit program and in accordance with Zoning Ordinance regulations. Residential development which provides affordable dwelling units may result in a density bonus (see below) permitting the construction of additional housing units. See Part 8 of Article 2 of the Zoning Ordinance.

**AGRICULTURAL AND FORESTAL DISTRICTS:** A land use classification created under Chapter 114 or 115 of the Fairfax County Code for the purpose of qualifying landowners who wish to retain their property for agricultural or forestal use for use/value taxation pursuant to Chapter 58 of the Fairfax County Code.

**BARRIER:** A wall, fence, earthen berm, or plant materials which may be used to provide a physical separation between land uses. Refer to Article 13 of the Zoning Ordinance for specific barrier requirements.

**BEST MANAGEMENT PRACTICES (BMPs):** Stormwater management techniques or land use practices that are determined to be the most effective, practicable means of preventing and/or reducing the amount of pollution generated by nonpoint sources in order to improve water quality.

**BUFFER:** Graduated mix of land uses, building heights or intensities designed to mitigate potential conflicts between different types or intensities of land uses; may also provide for a transition between uses. A landscaped buffer may be an area of open, undeveloped land and may include a combination of fences, walls, berms, open space and/or landscape plantings. A buffer is not necessarily coincident with transitional screening.

**CHESAPEAKE BAY PRESERVATION ORDINANCE:** Regulations which the State has mandated must be adopted to protect the Chesapeake Bay and its tributaries. These regulations must be incorporated into the comprehensive plans, zoning ordinances and subdivision ordinances of the affected localities. Refer to Chesapeake Bay Preservation Act, Va. Code Section 10.1-2100 et seq and VR 173-02-01, Chesapeake Bay Preservation Area Designation and Management Regulations.

**CLUSTER DEVELOPMENT:** Residential development in which the lots are clustered on a portion of a site so that significant environmental/historical/cultural resources may be preserved or recreational amenities provided. While smaller lot sizes are permitted in a cluster subdivision to preserve open space, the overall density cannot exceed that permitted by the applicable zoning district. See Sect. 2-421 and Sect. 9-615 of the Zoning Ordinance.

**COUNTY 2232 REVIEW PROCESS:** A public hearing process pursuant to Sect. 15.2-2232 (Formerly Sect. 15.1-456) of the Virginia Code which is used to determine if a proposed public facility not shown on the adopted Comprehensive Plan is in substantial accord with the plan. Specifically, this process is used to determine if the general or approximate location, character and extent of a proposed facility is in substantial accord with the Plan.

**dBa:** The momentary magnitude of sound weighted to approximate the sensitivity of the human ear to certain frequencies; the dBa value describes a sound at a given instant, a maximum sound level or a steady state value. See also Ldn.

**DENSITY:** Number of dwelling units (du) divided by the gross acreage (ac) of a site being developed in residential use; or, the number of dwelling units per acre (du/ac) except in the PRC District when density refers to the number of persons per acre.

**DENSITY BONUS:** An increase in the density otherwise allowed in a given zoning district which may be granted under specific provisions of the Zoning Ordinance when a developer provides excess open space, recreation facilities, or affordable dwelling units (ADUs), etc.

**DEVELOPMENT CONDITIONS:** Terms or conditions imposed on a development by the Board of Supervisors (BOS) or the Board of Zoning Appeals (BZA) in connection with approval of a special exception, special permit or variance application or rezoning application in a "P" district. Conditions may be imposed to mitigate adverse impacts associated with a development as well as secure compliance with the Zoning Ordinance and/or conformance with the Comprehensive Plan. For example, development conditions may regulate hours of operation, number of employees, height of buildings, and intensity of development.

**DEVELOPMENT PLAN:** A graphic representation which depicts the nature and character of the development proposed for a specific land area: information such as topography, location and size of proposed structures, location of streets trails, utilities, and storm drainage are generally included on a development plan. A development plan is a submission requirement for rezoning to the PRC District. A GENERALIZED DEVELOPMENT PLAN (GDP) is a submission requirement for a rezoning application for all conventional zoning districts other than a P District. A development plan submitted in connection with a special exception (SE) or special permit (SP) is generally referred to as an SE or SP plat. A CONCEPTUAL DEVELOPMENT PLAN (CDP) is a submission requirement when filing a rezoning application for a P District other than the PRC District; a CDP characterizes in a general way the planned development of the site. A FINAL DEVELOPMENT PLAN (FDP) is a submission requirement following the approval of a conceptual development plan and rezoning application for a P District other than the PRC District; an FDP further details the planned development of the site. See Article 16 of the Zoning Ordinance.

**EASEMENT:** A right to or interest in property owned by another for a specific and limited purpose. Examples: access easement, utility easement, construction easement, etc. Easements may be for public or private purposes.

**ENVIRONMENTAL QUALITY CORRIDORS (EQCs):** An open space system designed to link and preserve natural resource areas, provide passive recreation and protect wildlife habitat. The system includes stream valleys, steep slopes and wetlands. For a complete definition of EQCs, refer to the Environmental section of the Policy Plan for Fairfax County contained in Vol. 1 of the Comprehensive Plan.

**ERODIBLE SOILS:** Soils that wash away easily, especially under conditions where stormwater runoff is inadequately controlled. Silt and sediment are washed into nearby streams, thereby degrading water quality.

**FLOODPLAIN:** Those land areas in and adjacent to streams and watercourses subject to periodic flooding; usually associated with environmental quality corridors. The 100 year floodplain drains 70 acres or more of land and has a one percent chance of flood occurrence in any given year.

**FLOOR AREA RATIO (FAR):** An expression of the amount of development intensity (typically, non-residential uses) on a specific parcel of land. FAR is determined by dividing the total square footage of gross floor area of buildings on a site by the total square footage of the site itself.

**FUNCTIONAL CLASSIFICATION:** A system for classifying roads in terms of the character of service that individual facilities are providing or are intended to provide, ranging from travel mobility to land access. Roadway system functional classification elements include Freeways or Expressways which are limited access highways, Other Principal (or Major) Arterials, Minor Arterials, Collector Streets, and Local Streets. Principal arterials are designed to accommodate travel; access to adjacent properties is discouraged. Minor arterials are designed to serve both through traffic and local trips. Collector roads and streets link local streets and properties with the arterial network. Local streets provide access to adjacent properties.

**GEOTECHNICAL REVIEW:** An engineering study of the geology and soils of a site which is submitted to determine the suitability of a site for development and recommends construction techniques designed to overcome development on problem soils, e.g., marine clay soils.

**HYDROCARBON RUNOFF:** Petroleum products, such as motor oil, gasoline or transmission fluid deposited by motor vehicles which are carried into the local storm sewer system with the stormwater runoff, and ultimately, into receiving streams; a major source of non-point source pollution. An oil-grit separator is a common hydrocarbon runoff reduction method.

**IMPERVIOUS SURFACE:** Any land area covered by buildings or paved with a hard surface such that water cannot seep through the surface into the ground.

**INFILL:** Development on vacant or underutilized sites within an area which is already mostly developed in an established development pattern or neighborhood.

**INTENSITY:** The magnitude of development usually measured in such terms as density, floor area ratio, building height, percentage of impervious surface, traffic generation, etc. Intensity is also based on a comparison of the development proposal against environmental constraints or other conditions which determine the carrying capacity of a specific land area to accommodate development without adverse impacts.

**Ldn:** Day night average sound level. It is the twenty-four hour average sound level expressed in A-weighted decibels; the measurement assigns a "penalty" to night time noise to account for night time sensitivity. Ldn represents the total noise environment which varies over time and correlates with the effects of noise on the public health, safety and welfare.

**LEVEL OF SERVICE (LOS):** An estimate of the effectiveness of a roadway to carry traffic, usually under anticipated peak traffic conditions. Level of Service efficiency is generally characterized by the letters A through F, with LOS-A describing free flow traffic conditions and LOS-F describing jammed or grid-lock conditions.

**MARINE CLAY SOILS:** Soils that occur in widespread areas of the County generally east of Interstate 95. Because of the abundance of shrink-swell clays in these soils, they tend to be highly unstable. Many areas of slope failure are evident on natural slopes. Construction on these soils may initiate or accelerate slope movement or slope failure. The shrink-swell soils can cause movement in structures, even in areas of flat topography, from dry to wet seasons resulting in cracked foundations, etc. Also known as slippage soils.

**OPEN SPACE:** That portion of a site which generally is not covered by buildings, streets, or parking areas. Open space is intended to provide light and air; open space may function as a buffer between land uses or for scenic, environmental, or recreational purposes.

**OPEN SPACE EASEMENT:** An easement usually granted to the Board of Supervisors which preserves a tract of land in open space for some public benefit in perpetuity or for a specified period of time. Open space easements may be accepted by the Board of Supervisors, upon request of the land owner, after evaluation under criteria established by the Board. See Open Space Land Act, Code of Virginia, Sections 10.1-1700, et seq.

**P DISTRICT:** A "P" district refers to land that is planned and/or developed as a Planned Development Housing (PDH) District, a Planned Development Commercial (PDC) District or a Planned Residential Community (PRC) District. The PDH, PDC and PRC Zoning Districts are established to encourage innovative and creative design for land development; to provide ample and efficient use of open space; to promote a balance in the mix of land uses, housing types, and intensity of development; and to allow maximum flexibility in order to achieve excellence in physical, social and economic planning and development of a site. Refer to Articles 6 and 16 of the Zoning Ordinance.

**PROFFER:** A written condition, which, when offered voluntarily by a property owner and accepted by the Board of Supervisors in a rezoning action, becomes a legally binding condition which is in addition to the zoning district regulations applicable to a specific property. Proffers are submitted and signed by an owner prior to the Board of Supervisors public hearing on a rezoning application and run with the land. Once accepted by the Board, proffers may be modified only by a proffered condition amendment (PCA) application or other zoning action of the Board and the hearing process required for a rezoning application applies. See Sect. 15.2-2303 (formerly 15.1-491) of the Code of Virginia.

**PUBLIC FACILITIES MANUAL (PFM):** A technical text approved by the Board of Supervisors containing guidelines and standards which govern the design and construction of site improvements incorporating applicable Federal, State and County Codes, specific standards of the Virginia Department of Transportation and the County's Department of Public Works and Environmental Services.

**RESOURCE MANAGEMENT AREA (RMA):** That component of the Chesapeake Bay Preservation Area comprised of lands that, if improperly used or developed, have a potential for causing significant water quality degradation or for diminishing the functional value of the Resource Protection Area. See Fairfax County Code, Ch. 118, Chesapeake Bay Preservation Ordinance.

**RESOURCE PROTECTION AREA (RPA):** That component of the Chesapeake Bay Preservation Area comprised of lands at or near the shoreline or water's edge that have an intrinsic water quality value due to the ecological and biological processes they perform or are sensitive to impacts which may result in significant degradation of the quality of state waters. In their natural condition, these lands provide for the removal, reduction or assimilation of sediments from runoff entering the Bay and its tributaries, and minimize the adverse effects of human activities on state waters and aquatic resources. New development is generally discouraged in an RPA. See Fairfax County Code, Ch. 118, Chesapeake Bay Preservation Ordinance.

**SITE PLAN:** A detailed engineering plan, to scale, depicting the development of a parcel of land and containing all information required by Article 17 of the Zoning Ordinance. Generally, submission of a site plan to DPWES for review and approval is required for all residential, commercial and industrial development except for development of single family detached dwellings. The site plan is required to assure that development complies with the Zoning Ordinance.

**SPECIAL EXCEPTION (SE) / SPECIAL PERMIT (SP):** Uses, which by their nature, can have an undue impact upon

or can be incompatible with other land uses and therefore need a site specific review. After review, such uses may be allowed to locate within given designated zoning districts if appropriate and only under special controls, limitations, and regulations. A special exception is subject to public hearings by the Planning Commission and Board of Supervisors with approval by the Board of Supervisors; a special permit requires a public hearing and approval by the Board of Zoning Appeals. Unlike proffers which are voluntary, the Board of Supervisors or BZA may impose reasonable conditions to assure, for example, compatibility and safety. See Article 8, Special Permits and Article 9, Special Exceptions, of the Zoning Ordinance.

**STORMWATER MANAGEMENT:** Engineering practices that are incorporated into the design of a development in order to mitigate or abate adverse water quantity and water quality impacts resulting from development. Stormwater management systems are designed to slow down or retain runoff to re-create, as nearly as possible, the pre-development flow conditions.

**SUBDIVISION PLAT:** The engineering plan for a subdivision of land submitted to DPWES for review and approved pursuant to Chapter 101 of the County Code.

**TRANSPORTATION DEMAND MANAGEMENT (TDM):** Actions taken to reduce single occupant vehicle automobile trips or actions taken to manage or reduce overall transportation demand in a particular area.

**TRANSPORTATION SYSTEM MANAGEMENT (TSM) PROGRAMS:** This term is used to describe a full spectrum of actions that may be applied to improve the overall efficiency of the transportation network. TSM programs usually consist of low-cost alternatives to major capital expenditures, and may include parking management measures, ridesharing programs, flexible or staggered work hours, transit promotion or operational improvements to the existing roadway system. TSM includes Transportation Demand Management (TDM) measures as well as H.O.V. use and other strategies associated with the operation of the street and transit systems.

**URBAN DESIGN:** An aspect of urban or suburban planning that focuses on creating a desirable environment in which to live, work and play. A well-designed urban or suburban environment demonstrates the four generally accepted principles of design: clearly identifiable function for the area; easily understood order; distinctive identity; and visual appeal.

**VACATION:** Refers to vacation of street or road as an action taken by the Board of Supervisors in order to abolish the public's right-of-passage over a road or road right-of-way dedicated by a plat of subdivision. Upon vacation, title to the road right-of-way transfers by operation of law to the owner(s) of the adjacent properties within the subdivision from whence the road/road right-of-way originated.

**VARIANCE:** An application to the Board of Zoning Appeals which seeks relief from a specific zoning regulation such as lot width, building height, or minimum yard requirements, among others. A variance may only be granted by the Board of Zoning Appeals through the public hearing process and upon a finding by the BZA that the variance application meets the required Standards for a Variance set forth in Sect. 18-404 of the Zoning Ordinance.

**WETLANDS:** Land characterized by wetness for a portion of the growing season. Wetlands are generally delineated on the basis of physical characteristics such as soil properties indicative of wetness, the presence of vegetation with an affinity for water, and the presence or evidence of surface wetness or soil saturation. Wetland environments provide water quality improvement benefits and are ecologically valuable. Development activity in wetlands is subject to permitting processes administered by the U.S. Army Corps of Engineers

**TIDAL WETLANDS:** Vegetated and nonvegetated wetlands as defined in Chapter 116 Wetlands Ordinance of the Fairfax County Code: includes tidal shores and tidally influenced embayments, creeks, and tributaries to the Occoquan and Potomac Rivers. Development activity in tidal wetlands may require approval from the Fairfax County Wetlands Board.

**Abbreviations Commonly Used in Staff Reports**

A&F	Agricultural & Forestal District	PDH	Planned Development Housing
ADU	Affordable Dwelling Unit	PFM	Public Facilities Manual
ARB	Architectural Review Board	PRC	Planned Residential Community
BMP	Best Management Practices	RC	Residential-Conservation
BOS	Board of Supervisors	RE	Residential Estate
BZA	Board of Zoning Appeals	RMA	Resource Management Area
COG	Council of Governments	RPA	Resource Protection Area
CBC	Community Business Center	RUP	Residential Use Permit
CDP	Conceptual Development Plan	RZ	Rezoning
CRD	Commercial Revitalization District	SE	Special Exception
DOT	Department of Transportation	SEA	Special Exception Amendment
DP	Development Plan	SP	Special Permit
DPWES	Department of Public Works and Environmental Services	TDM	Transportation Demand Management
DPZ	Department of Planning and Zoning	TMA	Transportation Management Association
DU/AC	Dwelling Units Per Acre	TSA	Transit Station Area
EQC	Environmental Quality Corridor	TSM	Transportation System Management
FAR	Floor Area Ratio	UP & DD	Utilities Planning and Design Division, DPWES
FDP	Final Development Plan	VC	Variance
GDP	Generalized Development Plan	VDOT	Virginia Dept. of Transportation
GFA	Gross Floor Area	VPD	Vehicles Per Day
HC	Highway Corridor Overlay District	VPH	Vehicles per Hour
HCD	Housing and Community Development	WMATA	Washington Metropolitan Area Transit Authority
LOS	Level of Service	WS	Water Supply Protection Overlay District
Non-RUP	Non-Residential Use Permit	ZAD	Zoning Administration Division, DPZ
OSDS	Office of Site Development Services, DPWES	ZED	Zoning Evaluation Division, DPZ
PCA	Proffered Condition Amendment	ZPRB	Zoning Permit Review Branch
PD	Planning Division		
PDC	Planned Development Commercial		