



County of Fairfax, Virginia

To protect and enrich the quality of life for the people, neighborhoods and diverse communities of Fairfax County

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Department of Planning & Z

JUN 02 2015

Zoning Evaluation Division

May 13, 2015

Lori R. Greenlief
McGuireWoods LLP
1750 Tysons Boulevard, Suite 1800
Tysons Corner, VA 22102

RE: Rezoning Application RZ 2013-PR-014

Dear Ms. Greenlief:

Enclosed you will find a copy of an Ordinance adopted by the Board of Supervisors at a regular meeting held on May 12, 2015, granting Rezoning Application RZ 2013-PR-014 in the name of Ausable, LLC. The Board's action rezones certain property in the Providence District from the R-1 District to the R-5 District to permit residential development with a total density of 3.76 dwellings units per acre (du/ac). The subject property is located on the S. side of Arlington Boulevard, approximately 1,000 feet W. of its intersection with Barkley Drive, on approximately 3.72 acres of land, [Tax Map 48-4 ((1)) 44], subject to the proffers dated April 20, 2015.

The Board also:

- Modified the minimum district size pursuant to Sect. 9-610 of the Zoning Ordinance to permit a district size of 3.72 acres
- Modified Section 17-201 (3A) of the Zoning Ordinance to construct a service drive across the site and Detail TS-3 of the Public Facilities Manual (PFM) to construct a sidewalk along the service drive to permit the service drive and sidewalk as shown on the GDP
- Modified Section 17-201(2) of the Zoning Ordinance to construct a trail along Arlington Boulevard to permit the sidewalk as shown on the GDP

Office of the Clerk to the Board of Supervisors

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- Waived Section 17-201(4) of the Zoning Ordinance to construct a third lane along Arlington Boulevard
- Waived Section 7-0101.1 of the PFM to provide interparcel access
- Waived Section 9-610 of the Zoning Ordinance for the minimum lot width for a corner lot for Lots 3 and 11
- Directed the Director of the Department of Public Works and Environmental Services to immediately accept and process the subdivision and building plans associated with Rezoning Application RZ 2013-PR-014. This expedited processing is at the applicants risk and does not relieve the applicant from compliance with all applicable ordinances and regulations

Sincerely,



Catherine A. Chianese
Clerk to the Board of Supervisors

Cc: Chairman Sharon Bulova
Supervisor Linda Smyth, Providence District
Tim Shirocky, Acting Director, Real Estate Division, Dept. of Tax Administration
Barbara Berlin, Director, Zoning Evaluation Division, DPZ
Diane Johnson-Quinn, Deputy Zoning Administrator, Dept. of Planning and Zoning
Thomas Conry, Dept. Manager – GIS - Mapping/Overlay
Michael Davis, Section Chief, Transportation Planning Division
Donald Stephens, Transportation Planning Division
Department of Highways-VDOT
Sandy Stallman, Park Planning Branch Manager, FCPA
Charlene Fuhrman-Schulz, Development Officer, DHCD/Design Development Division
Jill Cooper, Executive Director, Planning Commission
Ajay Rawat, Coordinator, Facilities Planning, Fairfax County Public Schools
Karyn Moreland, Chief Capital Projects Sections, Dept. of Transportation

At a regular meeting of the Board of Supervisors of Fairfax County, Virginia, held in the Board Auditorium in the Government Center at Fairfax, Virginia, on the 12th day of May, 2015, the following ordinance was adopted:

**AN ORDINANCE AMENDING THE ZONING ORDINANCE
PROPOSAL NUMBER RZ 2013-PR-014**

WHEREAS, Ausable LLC, filed in the proper form an application requesting the zoning of a certain parcel of land herein after described, from the R-1 District to the R-5 District

WHEREAS, at a duly called public hearing the Planning Commission considered the application and the propriety of amending the Zoning Ordinance in accordance therewith, and thereafter did submit to this Board its recommendation, and

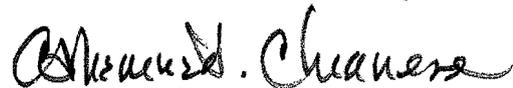
WHEREAS, this Board has today held a duly called public hearing and after due consideration of the reports, recommendation, testimony and facts pertinent to the proposed amendment, the Board is of the opinion that the Ordinance should be amended,

NOW, THEREFORE, BE IT ORDAINED, that that certain parcel of land situated in the Providence District, and more particularly described as follows (see attached legal description):

Be, and hereby is, zoned to the R-5 District, and said property is subject to the use regulations of said R-5 District, and further restricted by the conditions proffered and accepted pursuant to Va. Code Ann., 15.2-2303(a), which conditions are in addition to the Zoning Ordinance regulations applicable to said parcel, and

BE IT FURTHER ENACTED, that the boundaries of the Zoning Map heretofore adopted as a part of the Zoning Ordinance be, and they hereby are, amended in accordance with this enactment, and that said zoning map shall annotate and incorporate by reference the additional conditions governing said parcel.

GIVEN under my hand this 12th day of May, 2015.



Catherine A. Chianese
Clerk to the Board of Supervisors

APR 27 2015

Zoning Evaluation Division

Proffers

Ausable, LLC

RZ 2013-PR-014

December 10, 2014

February 18, 2015

March 23, 2015

April 7, 2015

April 13, 2015

April 15, 2015

April 20, 2015

Pursuant to Section 15.2-2303(A), Code of Virginia, 1950 as amended, the undersigned Owners and Applicant, in this rezoning proffer that the development of the parcel under consideration and shown on the Fairfax County Tax Map as Tax Map Reference 48-4((1))44 (hereinafter referred to as the "Property") will be in accordance with the following conditions (the "Proffered Conditions"), if and only if, said rezoning request for the R-5 Zoning District is granted. In the event said rezoning request is denied, these Proffered Conditions shall be null and void. The Owners and the Applicant, for themselves, their successors and assigns hereby agree that these Proffered Conditions shall be binding on the future development of the Property unless modified, waived or rescinded in the future by the Board of Supervisors of Fairfax County, Virginia, in accordance with applicable County and State statutory procedures. The Proffered Conditions are:

I. GENERAL

1. Substantial Conformance. Subject to the provisions of Section 18-204 of the Fairfax County Zoning Ordinance (hereinafter referred to as the "Zoning Ordinance"), development of the Property shall be in substantial conformance with the Generalized Development Plan (GDP), prepared by Land Design Consultants consisting of eleven sheets, dated July 2013, some revised through March 23, 2015.
2. Maximum Lot Yield. The development shall consist of a maximum of 14 single family detached units equating to a density of 3.76 dwelling units per acre, inclusive of all open space and density credits.
3. Minor Modifications. Pursuant to Paragraph 5 of Section 18-204 of the Zoning Ordinance, minor modifications to the GDP may be permitted as determined by the Zoning Administrator. The Applicant reserves the right to make minor adjustments to the internal lots or house locations at the time of site plan submission provided that the amount of open space, tree save, limits of clearing and grading, or distances to peripheral lot lines as shown on the GDP are maintained, and provided that the adjustments are deemed in substantial conformance with the GDP by Fairfax County.

4. Establishment of HOA. Prior to record plat approval, the Applicant shall provide the Department of Public Works and Environmental Services (DPWES) with documentation that the Applicant has established a Homeowners Association (HOA) in accordance with Sect. 2-700 of the Zoning Ordinance. The purpose of the HOA shall be, among other things, establishing the necessary residential covenants governing the use and operation of common open space and other facilities of the approved development, maintenance of the SWM/BMP facilities and noise barriers, and to provide a mechanism for ensuring the ability to complete the maintenance obligations and other provisions noted in these proffer conditions, including an estimated budget for such common maintenance items.
5. Disclosure. Prior to entering into a contract of sale, prospective purchasers shall be notified in writing by the Applicant of the maintenance responsibility for the private roadways, walkways, stormwater management facilities, noise barriers, common area landscaping and any other open space amenities and shall acknowledge receipt of this information in writing. Additionally, through the same means, the prospective purchasers shall be informed about the fact that the lots have a minimum required rear yard of 25 feet and the ability to add any building additions or decks on the rear of the dwelling may be affected by this required setback. The initial deeds of conveyance and HOA governing documents shall expressly contain these disclosures.
6. Signs. No temporary signs (including "popsicle" style paper or cardboard signs), which are prohibited by Article 12 of the Zoning Ordinance and Chapter 7 of Title 33.1, and Chapter 8 of Title 46.2 of the Code of Virginia, shall be placed on or offsite by the Applicant or at the Applicant's direction. The Applicant shall direct its agents and employees involved with the Property to adhere to this proffer.
7. Architectural Design. The exterior architectural design of the units shall be in substantial conformance with the quality of the elevations shown on the GDP. Specifically, the exterior facades shall include the use of varied roof lines, paneled or board and batten shutters, window headers, and windowed garage doors, consistent with that shown on the GDP. The primary material of the exterior facades, exclusive of trim, gutters, downspouts, and windows, shall be brick, stone, Hardie Plank, Hardie Panel, Hardie Board or other cementitious material. No vinyl or wood siding shall be used on the building facades. Units shall vary in color in muted tones of blue, green, brown, beige or other muted earthtones. The facades of the dwellings on Lots 1, 3, 11, and 14 facing Arlington Boulevard shall be constructed of materials that are of a proportional quality to those used on the front façade, including similar decorative elements and window treatments. The architectural elevations may be refined as a result of final design and engineering provided the quality of the buildings remains in substantial conformance with those shown on the GDP and the materials as stated in this proffer.
8. Construction Hours. Outdoor construction of the Proposed Development shall take place only during the hours between 7:00 a.m. and 7:00 p.m. Monday through Friday and between the hours of 7:00 a.m. and 6:00 p.m. on Saturday. There will be no outdoor construction on New Year's Day, Martin Luther King Jr. Day, Presidents' Day, Memorial

Day, the Fourth of July, Labor Day, Thanksgiving and Christmas Day. The permitted hours of construction shall be posted on-site in both English and Spanish.

II. TRANSPORTATION

9. Service Drive. The Applicant shall construct a service drive across a portion of the frontage as shown on the GDP. The service drive includes curb and gutter on the south side and curb on the north side, a 5-foot wide sidewalk along the south side with a 3-foot buffer from back of curb to sidewalk and a 1-foot buffer between the sidewalk and the revised property line as well as a branch-type turnaround, as shown on the GDP, subject to approval by the Virginia Department of Transportation (VDOT). The 5-foot wide sidewalk shall connect with the service drive sidewalk to the west and to internal sidewalks. Until the service drive is accepted by VDOT into the state maintenance system, the Applicant shall maintain the service drive and sidewalk. Once accepted into the system for state maintenance, a sign shall be erected at the connection of the service drive to the development's private street delineating where the state maintenance ends. If approved by VDOT, the Applicant shall also install no parking signs along the service drive.
10. Improvements at Arlington Boulevard (Rt. 50) and Service Drive. The Applicant shall construct improvements as shown on the GDP, including the relocation of the mast arm traffic signal pole, guardrail relocation, stop signs and stop bars on the service drive, traffic control boxes, traffic signal loops and median adjustment for the pedestrian crosswalk. The final design and location of these improvements shall, to the extent possible, accommodate the future third lane construction on Arlington Boulevard (Rt. 50) and are subject to approval by VDOT.
11. Pedestrian Signal. With relocation of the signal pole, the Applicant shall install a pedestrian signal for crossing Arlington Boulevard (Rt. 50). The Applicant shall also install VDOT standard high visibility markings, ADA compliant ramps, and refuge areas for this crossing, as shown on the GDP, subject to VDOT approval.
12. Bus Shelter. The Applicant shall install a bus shelter on the north side of Route 50, in the westbound direction, with a 5 foot wide sidewalk as shown on the GDP, subject to approval by VDOT. The design of the bus pad and shelter shall meet Fairfax County's Bus Stop Guidelines.
13. VDOT Approval. All proffered public roadway improvements shall be subject to VDOT approval.
14. Right-of-Way Dedication along Arlington Boulevard. At the time of site plan approval, or upon demand by Fairfax County or VDOT, whichever occurs first, the Applicant shall dedicate, at no cost to Fairfax County and in fee simple, without encumbrances except for that certain easement to Virginia Electric Power Company recorded in the Fairfax County Land Records at Deed Book 447, Page 83 and any overhead utility lines or utility poles located in this easement (herein referred to as "the VEPCO easement") to the Board of

Supervisors, right-of-way along the site frontage of Arlington Boulevard 104 feet from the centerline and any associated ancillary easements, as shown on the GDP. Density credit is reserved consistent with the provisions of the Fairfax County Zoning Ordinance for all eligible dedications described herein or as may be required by Fairfax County or VDOT.

15. Public Access Easement. At the time of plat recordation, the Applicant shall cause to be recorded among the land records a public access easement running to the benefit of Fairfax County, in a form acceptable to the County Attorney, over the private road and sidewalks as generally shown on the GDP, subject to approval by DPWES.
16. Private Streets. The on-site private street shall be constructed in conformance with the Public Facilities Manual (PFM) and shall be constructed of materials and depth of pavement consistent with the PFM, subject to any design modifications as to pavement and easement width and use of curb, that are approved by the Director of DPWES. The Homeowners' Association shall be responsible for the maintenance of the on-site private street. All prospective purchasers shall be advised of this maintenance obligation prior to entering into a contract of sale and said obligation will be disclosed in the HOA documents.
17. Use of Garages, Driveways and Common Area Parking Spaces
 - A. Any conversion of garages or use of garages that precludes the parking of vehicles within the garage is prohibited. A covenant setting forth this restriction shall be recorded among the land records of Fairfax County in a form approved by the County Attorney prior to the sale of any lots and shall run to the benefit of the HOA and the Board of Supervisors. This restriction shall also be disclosed in the HOA documents. Prospective purchasers shall be advised of this use restriction, in writing, prior to entering into a contract of sale.
 - B. No parking of recreational vehicles (RVs), boats or trailers shall be permitted on the private streets or shared driveways. This restriction shall be included in the homeowner's association documents prepared for the Application Property.
 - C. In order to encourage the efficient use of garage space, an exhibit depicting the most efficient use of the garage space shall be included in the sales documents and as part of the homeowners association documents. The exhibit shall delineate, with dimensions, the parking of two SUV/mini-van size vehicles along with how storage areas can be accommodated within the garage.
 - D. Owners shall be advised of the above use restrictions which shall be included in the initial lease/sales documents.
 - E. All driveways shall be a minimum of twenty feet (20') in length as measured outward from the face of the garage door to the face of curb.

III. ENVIRONMENTAL

18. Noise. Noise attenuation measures shall be incorporated into the development so as to achieve an interior noise level of no greater than DNL 45 dBA and an exterior noise level for outdoor areas, including decks, within lots at or below DNL 65 dBA. The applicant shall provide a refined acoustical analysis at the time of site plan submission which includes final grading and design and which incorporates the potential impact of a third eastbound lane on Arlington Boulevard (Rt. 50). Any acoustical analysis and noise attenuation measures shall be subject to the review and approval of the Environmental and Development Review Branch of the Department of Planning and Zoning (DPZ) and DPWES at the time of site plan. For dwelling units anticipated by the study to be affected by highway noise levels projected to be between 65 and 70 dBA Ldn, those dwellings shall be constructed to meet the following building material standards:

- Exterior walls should have a laboratory sound transmission class (STC) rating of at least 39. Doors and glazing shall have a laboratory STC rating of at least 28 unless glazing constitutes more than 20% of any façade exposed to noise levels of 65 to 70 dBA Ldn.
- If glazing constitutes more than 20% of an exposed façade, then the glazing shall have a STC rating of up to 39 as dictated by the percent of glass.
- All surfaces should be sealed and caulked in accordance with methods approved by the American Society for Testing and Materials (ASTM) to minimize sound transmission.
- In order to achieve a maximum exterior noise level of 65 dBA Ldn, a six foot high acoustic barrier, solid with no gaps and flush to the ground (to be constructed of low maintenance, durable materials such as brick, masonry or synthetic board material and shall contain vertical elements such as brick piers as shown on Attachment 1) shall be provided in the location shown on the GDP. In addition, the same acoustic barrier shall extend along the rear lot lines of Lots 1 and 2 and Lots 12 through 14. The HOA shall be responsible for the maintenance of the acoustic barrier.

The Applicant reserves the right to pursue methods other than those above for mitigating highway noise impacts that can be demonstrated prior to the filing of a building permit, through an independent noise study as reviewed and approved by DPWES and the DPZ, provided that these methods will be effective in reducing interior noise levels to approximately 45 dBA Ldn, and exterior noise within outdoor recreation areas to approximately 65 dBA Ldn.

19. Resource Protection Area and Environmental Quality Corridor Restoration Plan. All areas of the EQC shall be restored in accordance with notes on sheets 6 and 7 of the GDP. This restoration plan shall be reviewed and approved by Urban Forestry Management Division (UFMD) and Fairfax County Park Authority (FCPA). A component of the restoration plan shall be an Invasive Species Management Plan which shall also be reviewed and approved by UFMD, Natural Resource Management and Protection (NRMP) and FCPA. The invasive species management plan, developed by a

VA certified pesticide applicator, shall include but not be limited to the following information:

- Identify targeted undesirable and invasive plant species to be suppressed and managed.
 - Targeted area of undesirable and invasive plant management plan shall be clearly identified on the landscape or tree preservation plan.
 - Removal of undesirable and invasive plant species shall be conducted in accordance with the notes on Sheet 8 of the GDP which differentiates two different areas: one where mechanical means may be utilized and the other where hand tools or other hand methods shall be utilized. The specific type of removal method shall be specified on the invasive species management plan.
 - Identify potential impacts of recommended method(s) on surrounding trees and vegetation not targeted for suppression/management and identify how these trees and vegetation will be protected (for example, if mechanical equipment is proposed in save area, what will be the impacts to trees identified for preservation and how will these impacts be reduced).
 - Identify how targeted species will be disposed.
 - If chemical control is recommended, treatments shall be performed by or under direct supervision of a Virginia Certified Pesticide Applicator or Registered Technician and under the general supervision of Project Arborist). Monitoring and treatment visits shall extend two years from the first treatment.
 - Provide information regarding timing of treatments, (hand removal, mechanical equipment or chemical treatments) when will treatments begin and end during a season and proposed frequency of treatments per season. All invasive species should be removed following the guidelines of: Miller, James H.; Manning, Steven T.; Enloe, Stephen F. 2010. A management guide for invasive plants in southern forests. Gen. Tech. Rep. SRS-131. Asheville, NC: U.S. Department of Agriculture Forest Service, Southern Research Station. 120 p.
 - Provide monthly monitoring reports during removal time period to UFMD staff.
 - The duration of management program shall be until the earlier to occur of (i) Bond release or (ii) release of Conservation Deposit, provided however that program may end sooner if targeted plant(s) appear to be eliminated based on documentation provided by Project Arborist and an inspection by UFMD and FCPA staff.
20. Removal of Existing Fill. At the time that a subdivision plan is submitted for review for the development of the project, the Applicant shall also submit a grading plan to remove the existing, unapproved fill located on Parcel B and within the floodplain for approval by DPWES. After DPWES approves the grading plan and prior to the issuance of the first building permit for this project, the Applicant shall remove the existing, unapproved fill located on Parcel B and within the floodplain and complete all actions, including ensuring stabilization of the graded area, in accordance with the approved grading plan.
21. Park Authority Dedication. Prior to bond release, the Applicant shall dedicate Parcel B, as shown on the GDP, to the Fairfax County Park Authority in fee simple with no monetary encumbrances. Prior to dedication of Parcel B, the Applicant shall remove

waste and debris, perform the restoration work as shown on the GDP and described in Proffer 19 above, remove existing fill, install any improvements or landscaping enhancements in accordance with the GDP, and cause to be dedicated any additional right-of-way from Parcel B necessary for improvements along the Rt. 50 frontage as requested by VDOT. The Applicant shall reserve any density credit associated with this dedication. If FCPA declines to accept Parcel B as described in this proffer, then Parcel B shall be conveyed to HOA, shall be designated as open space on the final site plan, shall be maintained by the HOA and shall not be utilized to support or be a part of future land use applications on adjacent property.

22. Energy Conservation. In support of energy conservation and green building techniques; the Applicant, in consultation with the Environment and Development Review Branch (EDRB) of Department of Planning and Zoning (DPZ), shall seek certification for this development from one of the following programs that offers third party review of "green building" or energy efficient measures. The Applicant shall have sole discretion to choose the program that will be utilized.
- A. Certification in accordance with the Earth Craft House Program as demonstrated through documentation provided to DPWES and EDRB prior to the issuance of a RUP; or
 - B. Certification in accordance with the National Green Building Standard (NGBS) using the ENERGY STAR® Qualified Homes path for energy performance, as demonstrated through documentation submitted to DPWES and EDRB from a home energy rater certified through Home Innovation Research Labs that demonstrates that the dwelling unit has attained the certification prior to the issuance of the RUP for each dwelling; or
 - C. Certification in accordance with the National Association of Home Builders (NAHB) National Green Building Program, Bronze level, as demonstrated through submission of a copy of the "Green Certificate" issued by NAHB in accordance with its "Green Certificate Program" prior to the issuance of the RUP for each dwelling.
23. Landscaping. At the time of subdivision plan or site plan review, as required, the Applicant shall submit to DPWES a landscape plan showing landscaping consistent with the quality, quantity and general location shown on the Landscape Plan on the GDP and as required by Proffer 24. This plan shall be subject to review and approval of Urban Forestry Management (UFMD), DPWES. At the time of planting, the minimum caliper for deciduous trees shall be three (3) inches and the minimum height for evergreen trees shall be six (6) feet. Actual types and species of vegetation shall be determined pursuant to more detailed landscape plans submitted at the time of submission of the subdivision plans for review and approval by the UFMD at the time of subdivision plan approval. However, all plant material installed on the Property shall be non-invasive. Such landscape plans shall provide tree coverage and species diversity consistent with the PFM criteria, as determined by the Urban Forester. The Applicant reserves the right to make

minor modifications to such landscaping to reasonably accommodate utilities and other design considerations, provided such relocated landscaping shall retain a generally equivalent number of plantings as shown on the approved GDP.

24. Supplemental Landscaping and Screening. In addition to the landscaping and tree preservation generally described on the GDP, along the common boundary with the Chesterfield Mews community, the landscape plan approved as part of the subdivision review process shall further incorporate the supplemental landscaping and tree preservation concepts described in Attachment 1 to these proffered conditions. The approved landscape plan shall further provide for the reasonable removal of existing bamboo and other non-contributing undergrowth along this common property line. All plantings and required horticultural work shall be performed in accordance with standard and accepted horticultural practices. Any off site plantings, or associated offsite removal of invasive species, shall be further subject to the Applicant obtaining the appropriate permission from the off-site owner(s). The Applicant shall have no responsibility for the maintenance or survivability of any off site plantings beyond the warranty offered by the installing landscape company. In addition to this supplemental landscaping, as also generally described in Attachment 1, the existing fence along the common property line with Chesterfield Mews shall be replaced with a new continuous six foot high, synthetic, dark brown colored board fence with no gates or openings extending from the NW corner of Lot 1 to the SE corner of Lot 12.

25. Limits of Clearing and Grading. The Applicant shall conform strictly to the limits of clearing and grading as shown on the GDP, subject to allowances specified in Proffer 28 and for the installation of utilities, trails or excavation of existing material required to restore the topography to the condition reflected in the Board adopted floodplain study as determined necessary by the Director of DPWES, as described herein. If it is determined by the Director that such an excavation is required, the optional expanded limits of clearing and grading shall be utilized. In addition, if it is determined necessary to install utilities and/or trails in areas protected by the limits of clearing and grading as shown on the GDP, they shall be located in the least disruptive manner necessary as determined by the UFMD, DPWES. A replanting plan shall be developed and implemented, subject to approval by the UFMD and FCPA for all disturbances in accordance with all applicable requirements. Any trees impacted within the limits of clearing and grading as specified above shall be replaced on the site as determined by UFMD and the Chesapeake Bay Preservation Ordinance. Notwithstanding the Tree Preservation Target Statement and Calculation shown on Sheet 4 of the GDP, the Applicant reserves the right to request a deviation of the tree preservation target to be reviewed and approved by UFMD at the time of site plan review. Such deviation shall be the minimum necessary to accommodate the excavation of material as described above.

26. Tree Preservation. The applicant shall submit a Tree Preservation Plan and Narrative as part of the first and all subsequent site plan submissions. The preservation plan and narrative shall be prepared by a Certified Arborist or a Registered Consulting Arborist, and shall be subject to the review and approval of the Urban Forest Management Division, DPWES.

The tree preservation plan shall include a tree inventory that identifies the location, species, critical root zone, size, crown spread and condition analysis percentage rating for all individual trees to be preserved, as well as all on and off-site trees, living or dead with trunks 10 inches in diameter and greater (measured at 4 ½ -feet from the base of the trunk or as otherwise allowed in the latest edition of the Guide for Plant Appraisal published by the International Society of Arboriculture) located within 25 feet to either side of the proposed limits of clearing and grading. The tree preservation plan shall provide for the preservation of those areas shown for tree preservation, those areas outside of the limits of clearing and grading shown on the GDP and those additional areas in which trees can be preserved as a result of final engineering. The tree preservation plan and narrative shall include all items specified in PFM 12-0507 and 12-0509. Specific tree preservation activities that will maximize the survivability of any tree identified to be preserved, such as: crown pruning, root pruning, mulching, fertilization, and others as necessary, determined by the certified arborist shall be included in the plan.

27. Tree Preservation Walk-Through. The Applicant shall retain the services of a certified arborist or Registered Consulting Arborist, and shall have the limits of clearing and grading marked with a continuous line of flagging prior to the walk-through meeting. During the tree-preservation walk-through meeting, the Applicant's certified arborist or landscape architect or designated representative shall walk the limits of clearing and grading with an UFMD, DPWES, representative to determine where adjustments to the clearing limits can be made to increase the area of tree preservation, increasing the survivability of trees at the edge of the limits of clearing and grading, and such adjustment shall be implemented. Trees that are identified as dead or dying may be removed as part of the clearing operation. Any tree that is so designated shall be removed using a chain saw and such removal shall be accomplished in a manner that avoids damage to surrounding trees and associated understory vegetation. If a stump must be removed, this shall be done using a stump-grinding machine in a manner causing as little disturbance as possible to adjacent trees and associated understory vegetation and soil conditions. The Applicant shall notify the Providence District Supervisor no less than ten (10) days in advance of the Tree Preservation Walk-Through meeting. The Chesterfield Mews Homeowners Association shall be notified by United States Mail no later than five (5) days in advance of the Tree Preservation Walk-Through meeting inviting them to the meeting to discuss the limits of clearing and grading. The Providence District Supervisor shall be notified of the name and contact information of the Applicant's representatives responsible for the site monitoring at the Tree Preservation Walk-Through.
28. Tree Preservation Fencing. All trees shown to be preserved on the tree preservation plan shall be protected by tree protection fence. Tree protection fencing in the form of four (4) foot high, fourteen (14) gauge welded wire attached to six (6) foot steel posts driven eighteen (18) inches into the ground and placed no further than ten (10) feet apart or, super silt fence to the extent that required trenching for super silt fence is done per the root pruning guidelines contained in these proffers. Fencing shall be erected at the limits of clearing and grading as shown on the demolition, and phase I & II erosion and sediment control sheets.

The Applicant shall install tree preservation fencing on the limits of clearing and grading line as depicted on the GDP. It is noted that the Applicant may conduct work between the tree preservation fencing and the western and southern lot lines in order to remove any existing nursery stock and gravel currently in that area resulting from the operation of the nursery on the Application Property. Any work conducted in this area shall be coordinated with UFMD. Methods of removal that are the least disruptive as possible shall be utilized for this work in order to protect offsite trees and may include limited use of a Bobcat. This work, the removal of the existing fence and the installation of a new board on board fence along the western and southern lot lines, as shown on the GDP, shall be the only disturbance permitted within this area. Once the proposed houses are constructed, all grading is complete, and the site is stabilized, the Applicant may remove the tree preservation fencing and re-sod this area.

All tree protection fencing shall be installed after the tree preservation walk-through meeting but prior to any clearing and grading activities, including the demolition of any existing structures. The installation of all tree protection fencing shall be performed under the supervision of a certified arborist, and accomplished in a manner that does not harm existing vegetation that is to be preserved. Ten (10) days prior to the commencement of any clearing, grading or demolition activities, but subsequent to the installation of the tree protection devices, the UFMD, DPWES, and the Providence District Supervisor shall be notified and given the opportunity to inspect the site to ensure that all tree protection devices have been correctly installed. If it is determined that the fencing has not been installed correctly, no grading or construction activities shall occur until the fencing is installed correctly, as determined by the UFMD, DPWES. At the discretion and the direction of the Providence District Supervisor, a representative of the Chesterfield Mews Homeowners Association shall be notified by United States Mail no later than five (5) days in advance of any clearing, grading or demolition activities. In this letter, any member of the Association shall be invited to be in attendance when the UFMD, DPWES and the Providence District Supervisor inspect the site to ensure that all tree protection devices have been correctly installed.

29. Tree Appraisal. The Applicant shall retain a professional arborist with experience in plant appraisal, to determine the replacement value of all trees 10 inches in diameter or greater located on the Application Property that are shown to be saved on the Tree Preservation Plan. These trees and their value shall be identified on the Tree Preservation Plan at the time of the first submission of the respective site plan(s). The replacement value shall take into consideration the age, size and condition of these trees and shall be determined by the so-called "Trunk Formula Method" contained in the latest edition of the Guide for Plan Appraisal published by the International Society of Arboriculture, subject to review and approval by UFMD.

At the time of the respective site plan approvals, the Applicant shall post a cash bond or a letter of credit payable to the County of Fairfax to ensure preservation and/or replacement of the trees for which a tree value has been determined in accordance with the paragraph above (the "Bonded Trees") that die or are dying due to unauthorized construction activities. The letter of credit or cash deposit shall be equal to 50% of the replacement value of the Bonded Trees. At any time prior to final bond release for the

improvements on the Application Property constructed adjacent to the respective tree save areas, should any Bonded Trees die, be removed, or are determined to be dying by the project arborist and/or UFMD due to unauthorized construction activities, the Applicant shall replace such trees at its expense. The replacement of the trees shall be determined by the Fairfax County Public Facilities Manual and by UFMD. In addition to this replacement obligation, the Applicant shall also make a payment equal to the value of any Bonded Tree that is dead or dying or improperly removed due to unauthorized construction activity. This payment shall be determined based on the Trunk Formula Method and paid to a fund established by the County for furtherance of tree preservation objectives. Upon release of the bond for the improvements on the Application Property constructed adjacent to the respective tree save areas, any amount remaining in the tree bonds required by this proffer shall be returned/released to the Applicant.

30. Root Pruning. The Applicant shall root prune, as needed to comply with the tree preservation requirements of these development conditions. Root pruning shall be clearly identified, labeled, and detailed on the erosion and sediment control sheets of the site plan submission. Root pruning shall be accomplished in a manner that protects affected and adjacent vegetation to be preserved, and may include, but not be limited to the following:

- Root pruning shall be done with a trencher or vibratory plow to a minimum depth of 18 inches.
- Root pruning shall take place prior to any clearing and grading, or demolition of structures and in conjunction with the installation of all super silt fence being used as tree protection fence.
- Root pruning shall be conducted with the supervision of a certified arborist.
- An UFMD, DPWES, representative shall be informed when all root pruning and tree protection fence installation is complete.
- Along the southern lot line, where the limits of clearing and grading are 5 feet from the southern lot line, root pruning shall occur 7 feet from the southern lot line. Along the southern and western lot lines where the limits of clearing and grading are 10 feet from the respective lot lines, root pruning shall occur 12 feet from the respective lot lines.

31. Site Monitoring. During any clearing or tree/vegetation/structure removal on the Applicant Property, a representative of the Applicant shall be present to monitor the process and ensure that the activities are conducted as conditioned and as approved by the UFMD. The Applicant shall retain the services of a certified arborist or Registered Consulting Arborist to monitor all construction and demolition work and tree preservation efforts in order to ensure conformance with all tree preservation development conditions, and UFMD approvals. The monitoring schedule shall be described and detailed in the Landscaping and Tree Preservation Plan, and reviewed and approved by the UFMD, DPWES and FCPA.

32. Stormwater Management Facilities and Best Management Practices. Unless modified, stormwater management shall be provided as generally depicted on the GDP and as

approved by DPWES. The requirements for maintaining non-County maintained SWM improvements shall be in a standard maintenance agreement between the County and the Applicant who is the land owner, its successor and assigns. This agreement shall be recorded in the County land records and run with the land. Should any deficiencies in the existing SWM or BMP facilities/improvements be identified by the Stormwater Management Maintenance Division during regular inspections, or when investigating a drainage complaint, then maintenance shall be performed in reasonable fashion and time in accordance with the recorded maintenance agreement. Should future County policy permit all or part of the SWM facilities on the Property to be eligible for County Maintenance, then the Applicant or the successor homeowner's association may request County maintenance for eligible facilities. After establishing the HOA pursuant to these proffers, the Applicant shall provide the HOA with written materials describing proper maintenance of the approved SWM and BMPs in accordance with the PFM and County guidelines.

33. Wells/Septic. Prior to land disturbance on the subject property, the Applicant shall coordinate with the Health Department regarding the closure and abandonment of the existing wells and septic tanks on the subject property. The Applicant shall obtain a letter from the Health Department stating the aforementioned wells and septic tanks were closed and abandoned in accordance with local and State regulations.
34. Phase I Environmental Site Assessment. The applicant shall complete a Phase I environmental site assessment of the Property if deemed necessary by DPWES. If deemed necessary by the Phase I environmental site assessment, the Applicant shall complete a Phase II environmental investigation. The Applicant shall provide copies of the Phase I environmental site assessment and Phase II environmental investigation to DPWES prior to final site plan approval. If contamination is found in ground water, surface water or soil on the Property, the Applicant shall take such corrective action as required by and in accordance with all applicable Federal, State and County requirements and as otherwise reasonably necessary for protection of human health in the redevelopment of the Property.
35. Geotechnical Study. Prior to site plan approval and in accordance with the provisions of the Public Facilities Manual, the Applicant shall submit a geotechnical study of the Property to DPWES for the review and approval. If needed to alleviate potential structural, grading and construction problems to the Property and the adjacent properties, the Applicant shall incorporate into its site plan and/or building design appropriate engineering practices as recommended by DPWES.

IV. CONTRIBUTIONS

36. Housing Trust Fund. At the time of the first building permit issuance, the Applicant shall contribute a sum equal to one-half of one percent (0.5%) of the projected sales price for each dwelling unit on the Property to the Fairfax County Housing Trust Fund, as determined by the Department of Housing and Community Development in consultation with the Applicant to assist the County in its goal to provide affordable dwellings. The

projected sales price shall be based upon the aggregate sales price of all of the units, as if those units were sold at the time of the issuance of the first building permit and is estimated through comparable sales of similar type units.

37. Recreation Contribution. At the issuance of the first RUP, the Applicant shall contribute the sum of \$38,399 to the Board of Supervisors for use at off-site recreational facilities on the south side of Route 50 intended to serve the future residents, as determined by the Providence District Supervisor in coordination with FCPA.
38. Providence District Tree Fund. At the issuance of the first RUP, the Applicant shall contribute \$2,000 to the Providence District Tree Fund.
39. Nottoway Nights. At the issuance of the first RUP, the Applicant shall contribute \$1,000 to the Nottoway Nights Concert Series.
40. Public Schools. A contribution of \$54,125 (5 students X \$10,825) shall be made to the Board of Supervisors for transfer to Fairfax County Public Schools (FCPS) and designated for capital improvements at the public schools serving the development. The contribution shall be made at the time of, or prior to, issuance of the first RUP. Following approval of this Application and prior to the Applicant's payment of the amount set forth in this Proffer, if Fairfax County should increase or decrease the ratio of students per unit or the amount of the contribution per student, the Applicant shall increase or decrease the amount of the contribution for that phase of development to reflect the then-current contribution. In addition, notification shall be given to FCPS when construction is anticipated to commence to assist FCPS by allowing for the timely projection of future students as a part of the Capital Improvement Program.
41. Escalation. All monetary contributions required by these proffers, with the exception of Proffer 36 relating to the Housing Trust Fund and Proffer 40 relating to the public school contribution, shall escalate on a yearly basis from the base year of 2015, and change effective each January 1 thereafter, based on the Consumer Price Index as published by the Bureau of Labor Statistics, the U.S. Department of Labor for the Washington-Baltimore, MD-VA-DC-WV Consolidated Metropolitan Statistical Area (the "CPI"), as permitted by Virginia State Code Section 15.2-2303.3.

Successors and Assigns

These proffers shall bind and inure to the benefit of the Applicant and his/her successors and assigns.

Counterparts

These proffers may be executed in one or more counterparts, each of which when so executed and delivered shall be deemed an original document and all of which taken together shall constitute but one and the same instrument.

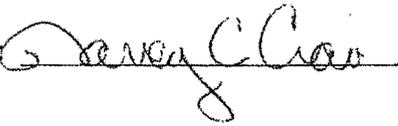
TITLE OWNERS AND APPLICANTS SIGNATURES TO FOLLOW ON THE NEXT PAGE:

Paul Craven, a/k/a C. Paul Craven, a/k/a Clifton Paul Craven, a/k/a
Paul C. Craven,

By: Paul Craven

Name _____
Paul Craven, a/k/a C. Paul Craven, a/k/a Clifton
Paul Craven, a/k/a Paul C. Craven, co-owner of 48-
4((1))44 together with Nancy Craven, a/k/a Nancy
C. Craven

Nancy Craven, a/k/a/ Nancy C. Craven

By: 

Name _____
Nancy Craven, a/k/a/ Nancy C. Craven, co-owner
of 48-4((1))44 together with Paul Craven, a/k/a C.
Paul Craven, a/k/a Clifton Paul Craven, a/k/a Paul
C. Craven

Ausable, LLC
BY: Michael B. Hummel, Manager
Contract Purchaser of 48-4((1))44

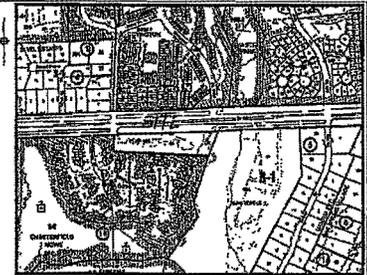
Name: 
Michael B. Hummel

NOTES

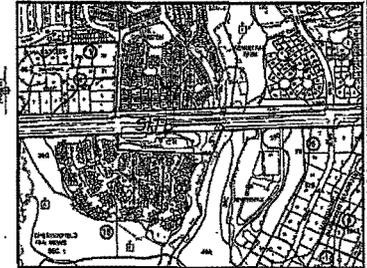
1. THE PROPERTY DELINEATED ON THIS PLAN IS LOCATED ON FAIRFAX COUNTY CADASTRAL MAP No. 48-4 (11) PARCEL 41 AND CURRENTLY ZONED R-1.
2. THE PROPERTY SHOWN HEREON IS CURRENTLY IN THE NAME OF PAUL AND NANCY CRAVEN BY DEED RECORDED IN DEED BOOK 3444, PAGE 150 AMONG THE LAND RECORDS OF FAIRFAX COUNTY, VIRGINIA. THE APPLICANT IS AUSAIBLE, LLC.
3. THE BOUNDARY SHOWN HEREON IS BASED ON A FIELD SURVEY BY LAND DESIGN CONSULTANTS, INC.
4. THE TOPOGRAPHY SHOWN HEREON IS BASED ON A FIELD SURVEY BY LAND DESIGN CONSULTANTS, INC. THE CONTOUR INTERVAL IS TWO (2) FEET.
5. THE PROPERTY SHOWN HEREON LIES WITHIN A ZONE M1, AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN, AND M2E, AN AREA DETERMINED TO BE SUBJECT TO INUNDATION BY THE 1% ANNUAL CHANCE FLOOD EVENT, AS DELINEATED ON FLOOD INSURANCE RATE MAP, COMMUNITY PANEL NO. 500922024E, DATED SEPTEMBER 17, 2010.
6. ALL CONSTRUCTION SHALL CONFORM TO THE PROVISIONS OF ALL APPLICABLE ORDINANCES, REGULATIONS AND ADOPTED STANDARDS OF FAIRFAX COUNTY AND VIOT EXCEPT AS REQUESTED HEREIN. THE APPLICANT RESERVES THE RIGHT TO APPLY FOR ANY FUTURE MODIFICATIONS OF FPM DESIGN CRITERIA AT THE TIME OF SITE PREPARATION PROVIDED THE MODIFICATIONS ARE IN SUBSTANTIAL CONFORMANCE WITH THE G.D.P.
7. EROSION AND SEDIMENT CONTROLS SHALL BE INSTALLED PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION AS PER REQUIREMENTS OF THE STATE OF VIRGINIA AND THE CODE OF FAIRFAX COUNTY.
8. LAND DESIGN CONSULTANTS, INC. IS NOT AWARE OF ANY UTILITY EASEMENTS WHICH EXIST ON THE SUBJECT PROPERTY WITH A WIDTH OF 25 FEET OR MORE.
9. ALL UTILITIES INSTALLED AS PART OF THIS PROJECT SHALL BE PLACED UNDERGROUND. THE UTILITY LOCATIONS SHOWN HEREON ARE FOR ILLUSTRATIVE PURPOSES ONLY AND ARE SUBJECT TO CHANGE WITH FINAL ENGINEERING. LIMITS OF CLEARING AND GRADING SHALL BE IN GENERAL CONFORMANCE WITH THESE SHOWN HEREON. THE APPLICANT CONTEMPLATES AN OPTIONAL EXPANDED LIMIT OF CLEARING AND GRADING WITHIN THE LIMITS OF THE FLOOD PLAN, RPA AND EDC. THIS OPTIONAL LIMIT WILL PRESERVE THE APPLICANT THE ABILITY TO REMOVE PORTIONS OF THE EXISTING MATERIAL AS DIRECTED BY S.D.L.C. IF THEY DETERMINE THAT ITS REMOVAL IS REQUIRED DURING THE ADVISORY OF THE ASSOCIATED MAJOR PLAN.
10. AIR QUALITY PERMITS SHALL BE OBTAINED, IF REQUIRED, AND PROVIDED PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION.
11. THE SITE WILL BE SERVED BY PUBLIC WATER AND SANITARY SEWER. SANITARY SEWER SERVICE SHALL BE PROVIDED BY INDIVIDUAL LATERAL CONNECTIONS.
12. A RESOURCE PROTECTION AREA (RPA) IS LOCATED ON THE SUBJECT PROPERTY AND IS BASED UPON AN APPROVED RPA DELINEATION (16A-RPA-00-2) PREPARED BY METLAND STUDIOS AND SOLUTIONS, INC. A RESOURCE MANAGEMENT AREA (RMA) IS LOCATED ON THE SUBJECT PROPERTY. AN ENVIRONMENTAL QUALITY CONSIDERATION STUDY ON SITE FOR A DELINEATION BY METLAND STUDIOS AND SOLUTIONS, INC.
13. THE COMPREHENSIVE PLAN RECOMMENDS DEVELOPMENT OF THE PROPERTY AS RESIDENTIAL AT A DENSITY OF 3-4 DWELLING UNITS PER ACRE. THE PROPOSED DENSITY OF 3.76 DW/ACRE MEETS THE INTENT OF THE COMPREHENSIVE PLAN. THE SITE DESIGN, DENSITY, ALLOWING USES AND PROPOSED PRESERVATION AND PLANTINGS WILL DRAINAGE THIS PROPERTY AND WILL MEET THE APPLICABLE CRITERIA.
14. IN ACCORDANCE WITH THE FAIRFAX COUNTY TRAILS PLAN, A MINOR PAVED TRAIL IS REQUIRED ALONG THE SOUTHERN PORTION OF ARLINGTON BOULEVARD. THE APPLICANT RESPECTFULLY REQUESTS A WAIVER OF THIS REQUIREMENT.
15. LDC IS NOT AWARE OF ANY BURIAL SITES LOCATED ON THE SUBJECT PROPERTY.
16. ARLINGTON BOULEVARD IS SHOWN ON THE VIOT 1 YEAR PLAN TO BE WIDENED OR IMPROVED. ARLINGTON BOULEVARD IS SHOWN ON THE COUNTY'S COMPREHENSIVE PLAN AND COUNTYWIDE TRANSPORTATION MAP TO BE WIDENED TO SIX LANES. THE APPLICANT RESPECTFULLY REQUESTS A WAIVER OF THE COMPREHENSIVE PLAN REQUIRED CONSTRUCTION OF IMPROVEMENTS.
17. LDC DOES NOT BELIEVE ANY HAZARDOUS OR TOXIC SUBSTANCES HAVE BEEN GENERATED, UTILIZED, STORED, TREATED, AND/OR DISPOSED OF OR HAVE BEEN OBSERVED ON THE SUBJECT PROPERTY.
18. DEVELOPMENT OF THIS PROJECT SHALL COMMENCE AT SUCH TIME AS APPROPRIATE COUNTY APPROVALS HAVE BEEN OBTAINED AND SUBJECT TO THE DISCRETION OF OWNER/DEVELOPER.
19. A GEOLOGICAL REPORT SHALL BE SUBMITTED FOR REVIEW BY FAIRFAX COUNTY WITH THE FINAL SITE PLAN, IF REQUIRED.
20. THE SUBJECT PROPERTY WILL MEET SWAMPY REQUIREMENTS THROUGH USE OF AN INFILTRATION TRENCH WITH STORMTECH CHAMBERS OR SIMILAR. PLEASE SEE SHEETS 10 AND 11 FOR ADDITIONAL INFORMATION.
21. ALL DIMENSIONS ARE APPROXIMATE AND TYPICAL HOUSE FOOTPRINTS AND ELEVATIONS SHOWN ON THESE LOTS MAY BE MODIFIED PROVIDED THAT MODIFICATIONS ARE IN SUBSTANTIAL CONFORMANCE WITH THE GCP AND THE MINIMUM YARDS ARE PROVIDED.
22. THE APPLICATION HAS BEEN DESIGNED WITH THE PRIMARY FOCUS OF CREATING A DEVELOPMENT THAT IS SIMILAR TO ADJACENT DEVELOPMENTS AND WILL PROVIDE ADVERSE EFFECTS TO ADJACENT PROPERTY OWNERS. THE APPLICANT WILL BE PRESERVING NATURAL FEATURES ON SITE AS SHOWN ON THE G.D.P.
23. ADDITIONAL TREE PLANTINGS AND PRESERVATION, AS SHOWN ON THE G.D.P., WILL PROVIDE ADEQUATE MEASURES OF SCREENING AND PRESERVATION OF NATURAL FEATURES.
24. MINOR ADJUSTMENTS TO THE LOT LINES AND UTILITY LOCATIONS SHALL BE PERMITTED IN ACCORDANCE WITH THE FINAL GRADING AND UTILITY LAYOUT AND SHALL BE IN SUBSTANTIAL CONFORMANCE WITH THAT PROVIDED HEREIN.
25. EXISTING STRUCTURE CONSTRUCTED IN P.A.B. THE APPROXIMATE HEIGHT OF THE EXISTING STRUCTURE IS 15 FEET. ALL EXISTING STRUCTURES WILL BE REMOVED.
26. THE PRIVATE STREETS SHOWN ON THE PROPERTY SHALL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS OF THE PUBLIC FACILITIES MANUAL AND WILL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION AND IS SUBJECT TO PAVE LANE REQUIREMENTS.
27. THE EXISTING VEGETATION MAP AND TREE COVER CALCULATIONS WERE PREPARED BY JENAR AND ASSOCIATES, DATED NOVEMBER, 2013.
28. THE APPLICANT WILL COMPLETE IMPROVEMENTS AT THE INTERSECTION OF ARLINGTON BOULEVARD, CONINGTON STREET AND THE SERVICE DRIVE AS SHOWN ON THE DRAFT PREPARED BY GOROVYSLADE ON SHEET 2.
29. THE APPLICANT WILL CONVEY PARCEL B TO THE FAIRFAX COUNTY PARK AUTHORITY IN CONNECTION WITH THE SITE PLAN AND WILL RESERVE DENSITY AND OPEN SPACE CREDIT FOR THIS DEDICATION. THE APPLICANT WILL NOT CONSTRUCT ANY TRAILS ON THIS PARCEL.
30. PRIVATE STREETS ARE PERMITTED FOR THE R-4 DISTRICT PER 10-2-2(7)(C).

WAIVERS/MODIFICATIONS REQUESTED:

1. IN ACCORDANCE WITH THE FAIRFAX COUNTY ZONING ORDINANCE AND PUBLIC FACILITIES MANUAL, THE APPLICANT HEREBY RESPECTFULLY REQUESTS THE FOLLOWING WAIVERS AND/OR MODIFICATIONS:
 1. A WAIVER OF THE MINIMUM DISTRICT SIZE CONTAINED IN SECTION 3-606 OF THE FAIRFAX COUNTY ZONING ORDINANCE DUE TO A CURRENT SITE AREA OF 3.7 ACRES. THE MINIMUM DISTRICT SIZE IN THE R-4 DISTRICT IS 4 ACRES.
 2. A MODIFICATION OF THE SERVICE DRIVE REQUIREMENT ALONG ARLINGTON BOULEVARD (ROUTE 80), AS STATED IN SECTION 17-201 (3.5) OF THE ZONING ORDINANCE AND SECTION 7-201 OF THE PUBLIC FACILITIES MANUAL. THE APPLICANT WILL BE CONSTRUCTING A PORTION OF THIS SERVICE DRIVE AS SHOWN.
 3. A MODIFICATION OF THE SIDEWALK REQUIREMENT ALONG THE SERVICE DRIVE, AS STATED IN SECTION 17-201 (2) OF THE ZONING ORDINANCE AND DETAIL 7-03 OF THE PUBLIC FACILITIES MANUAL. THE APPLICANT WILL CONSTRUCT A PORTION OF THIS SIDEWALK ADJACENT TO THE SERVICE DRIVE AS SHOWN ON SHEET 2.
 4. A WAIVER OF THE TRAIL REQUIREMENT ALONG ARLINGTON BOULEVARD, IN ACCORDANCE WITH SECTION 17-201 (3) OF THE ZONING ORDINANCE, SECTION 8-201 OF THE PUBLIC FACILITIES MANUAL AND THE COUNTYWIDE TRAILS PLAN IN LIEU OF THE SIDEWALKS PROPOSED ON SITE. THE APPLICANT RESPECTFULLY REQUESTS THIS WAIVER DUE TO EXISTING SITE CONSTRAINTS AND ADJACENT DEVELOPMENT PATTERNS. SPECIFICALLY, THE ADJACENT PROPERTIES ARE CURRENTLY DEVELOPED AND FUTURE DEVELOPMENT MAY BE UNLIKELY. ALSO, AN ADJACENT TRAIL CONNECTION DOES NOT CURRENTLY EXIST. THEREFORE, THIS PROPOSED TRAIL WILL HAVE LIMITED USEFULNESS AND WILL BE UNNECESSARY IN LIGHT OF THE PROPOSED SIDEWALK. ADDITIONALLY, DUE TO THE EXISTING STEEP TOPOGRAPHY, FLOODPLAIN, RPA, AND EXISTING FEATURE TREE STAND, A CONNECTION WILL BE DIFFICULT TO MAKE TO THE PROPOSED TRAIL. IF THE ADJACENT EDW TRAIL SITE IS REDEVELOPED, IN ORDER TO MAKE THIS CONNECTION A NUMBER OF TREES WILL NEED TO BE RETAINED IN ORDER TO CONSTRUCT SAID TRAIL, IN ACCORDANCE WITH FAIRFAX COUNTY REQUIREMENTS.
2. A WAIVER OF THE CONSTRUCTION ALONG ARLINGTON BOULEVARD (ROUTE 80) (SECTION 17-201(4) OF THE ZONING ORDINANCE) AS SET FORTH BY THE COMPREHENSIVE PLAN. THE APPLICANT RESPECTFULLY REQUESTS THE WAIVER DUE TO THE FOLLOWING: THE AREA DESIGNATED AS A THIRD LANE CURRENTLY OPERATES AS A RIGHT TURN LANE AND PROVIDES NO ADDITIONAL CAPACITY AT THIS TIME. SECOND, LDC CONTACTED THE VIRGINIA DEPARTMENT OF TRANSPORTATION (VDOT) AND INDICATED THAT DESIGN PLANS TO CONSTRUCT A THIRD LANE ALONG THIS PORTION OF ARLINGTON BLVD. DO NOT CURRENTLY EXIST. THIRD, THE FRONTAGE OF THE SUBJECT PROPERTY IS NOT CONCORDANT WITH THE PROPERTY TO THE EAST AND THIS AND ANY IMPROVEMENTS ALONG THE FRONTAGE WILL NOT CONFLICT TO THE EXISTING TURN LANE IN FRONT OF KISA TEMPLE.
3. THE APPLICANT RESPECTFULLY REQUESTS PERMISSION TO ENDOUGH INTO THE RESOURCE PROTECTION AREA AS SHOWN ON SHEETS 2, 3, 4 & 6. A SEPARATE RPA EXCEPTION FOR CHAPTER 16-6-2(2) OF THE COUNTY CODE AND WATER QUALITY IMPACT ANALYSIS PER CHAPTER 16-4-1 OF THE COUNTY CODE WILL BE PROVIDED IN CONNECTION WITH THIS RESUBMIT WHICH WILL PROVIDE JUSTIFICATION FOR THIS REQUEST.
4. THE APPLICANT RESPECTFULLY REQUESTS PERMISSION TO ENDOUGH INTO THE MAJOR FLOODPLAIN AS SHOWN ON SHEETS 2, 3 & 4 PER SECTION 2-201(7) OF THE ZONING ORDINANCE. A SEPARATE LETTER OF PERMISSION WILL BE SUBMITTED IN CONNECTION WITH THE SITE PLAN.
5. THE APPLICANT RESPECTFULLY REQUESTS A WAIVER OF SECTION 1-4-01 OF THE ZONING ORDINANCE FOR THE MINIMUM LOT WIDTH FOR A CORNER LOT FOR LOTS 3 AND 8 FROM A MINIMUM OF 10' TO 64'.



VICINITY MAP
SCALE: 1" = 800'



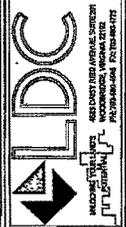
SOILS MAP
SCALE: 1" = 800'

SOIL INFORMATION

SOIL #	SOIL NAME	PROBLEM CLASS	FOUNDATION SUPPORT	DRAINAGE	EROSION POTENTIAL
29	COEGLUS SILT LOAM	II	POOR	POOR	LOW
95	URBAN LAND	IVe	N/A	N/A	N/A
107	URBAN LAND-HEATHEN COMPLEX	IVe	GOOD	FAIR	HIGH

TABULATIONS

SITE AREA = 16,944 SF OR 3.7772 ACRES
 EXISTING ZONING = R-1
 PROPOSED ZONING = R-5
 PROPOSED USE = SINGLE FAMILY DETACHED
 MINIMUM DISTRICT SIZE = 4 ACRES (SEE HAYNER NO. 1 THIS SHEET)
 MAXIMUM BUILDING HEIGHT REAR = 35 FEET
 MAXIMUM BUILDING HEIGHT PROVIDED = 35 FEET
 MINIMUM LOT SIZE REQUIRED = 15,000 SF
 MINIMUM LOT SIZE PROVIDED = 16,000 SF
 MINIMUM YARDS:
 REAR: CONTROLLED BY A 6% ANGLE OF BULK PLANE, BUT NOT LESS THAN 8 FEET
 CONTROLLED BY A 4% ANGLE OF BULK PLANE, BUT NOT LESS THAN 10 FEET
 CONTROLLED BY A 3% ANGLE OF BULK PLANE, BUT NOT LESS THAN 20 FEET
 PROVIDED:
 FRONT = 25 FEET
 SIDE = 8 FEET
 REAR = 25 FEET
 MIN. LOT WIDTH = 50' INT./44' CORNER (SEE HAYNER REQUEST NO. 3 THIS SHEET)
 OPEN SPACE REQUIRED: 40,486 SF (25%)
 PARKING:
 REQUIRED (2.7 SPACES/UNIT) = 30 SPACES
 PROVIDED (2 SPACES/UNIT) = 34 SPACES
 ON-STREET PARKING = 0 SPACES
 TOTAL = 34 SPACES
 DENSITY:
 PERMITTED (3 UNITS) = 5.00 DW/AC
 PROPOSED (4 UNITS) = 3.76 DW/AC
SHEET INDEX
 1. COVER SHEET
 2. GENERALIZED DEVELOPMENT PLAN
 3. TRANSPORTATION PLAN
 4. LANDSCAPE PLAN/TREE PRESERVATION PLAN
 5. TREE INVENTORY
 6. INVASIVE SPECIES MANAGEMENT PLAN
 7. R.P.A./R.M.A. RESTORATION PLAN
 8. EXISTING VEGETATION MAP
 9. B-I STORAGE MANAGEMENT INFORMATION
 10. ELEVATIONS



COVER SHEET

CRAVEN PROPERTY

NO.	DATE	DESCRIPTION	APPROVED BY
1	11/15/2013	PRELIMINARY APPROVAL	[Signature]
2	11/15/2013	REVISIONS	[Signature]
3	11/15/2013	REVISIONS	[Signature]
4	11/15/2013	REVISIONS	[Signature]
5	11/15/2013	REVISIONS	[Signature]
6	11/15/2013	REVISIONS	[Signature]
7	11/15/2013	REVISIONS	[Signature]
8	11/15/2013	REVISIONS	[Signature]
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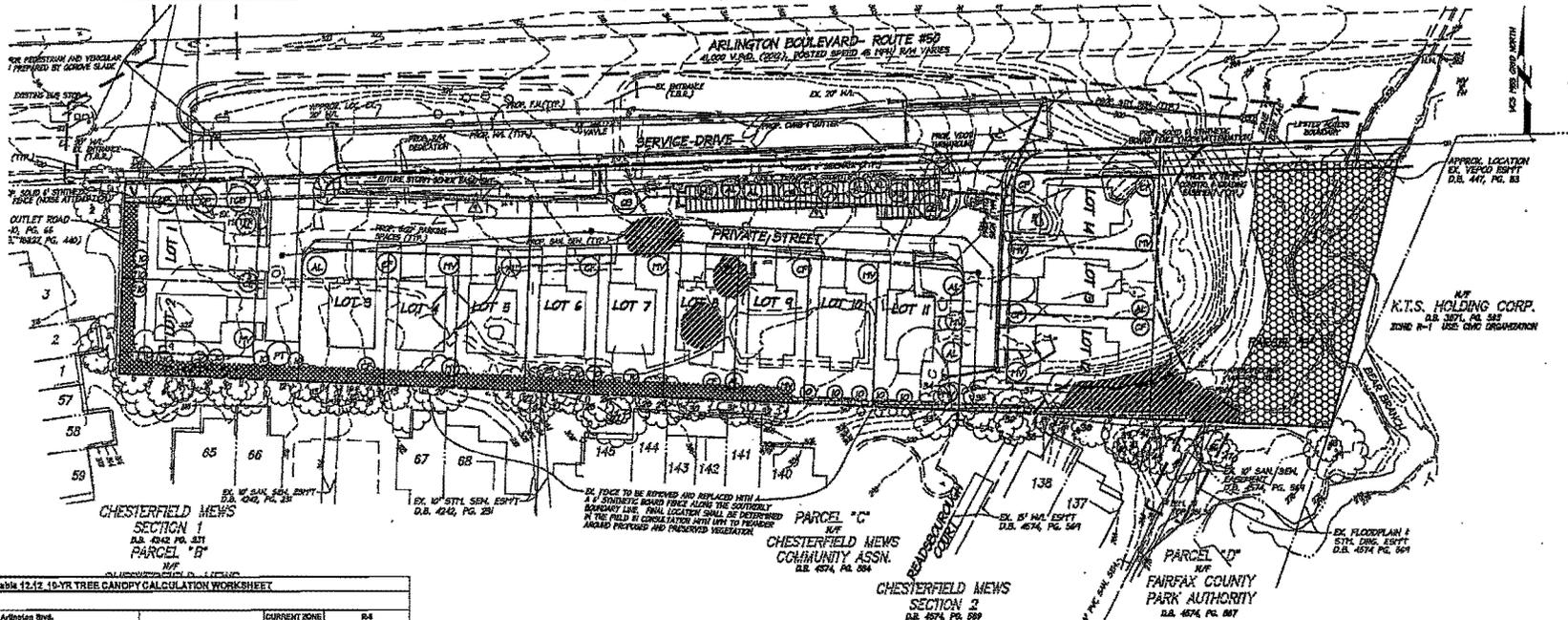


SHEET 1 of 12
 DATE: MAY 2013
 DRAWN: [Name] CHECK: [Name]
 FILE NUMBER: 2013-04-23

	Tree Canopy to be preserved	15,780 sq. ft.
	Tree Canopy to be removed	1,054 sq. ft.
	Total	16,834 sq. ft.

AREA A - LIMITS OF CLEARING, GRADING AND EXCAVATION FROM PROPERTY LINE
AREA B - LIMITS OF CLEARING, GRADING AND EXCAVATION FROM PROPERTY LINE
 THE PROPOSED ROOT PRESERVATION IN AREA B SHALL BE CONDUCTED 7' OFF THE PROPERTY LINE AND THE SEWER CONSTRUCTION COMPLETED VIA TRENCH BOXES ADJACENT TO LOT D.

NOTE: A ROOT BARRIER SHALL BE PROVIDED BETWEEN TREE PLANTING AREA AND STRUCTURE TO MINIMIZE SOIL COVER IS LESS THAN 4" OR AS DIRECTED BY URBAN FORESTER.

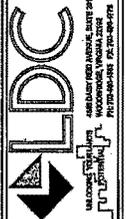


CHESTERFIELD MEWS SECTION 1
 D.B. 4242 PG. 231
 PARCEL "D"

PARCEL "C"
 K/T CHESTERFIELD MEWS COMMUNITY ASSN.
 D.B. 4274 PG. 284

CHESTERFIELD MEWS SECTION 2
 D.B. 4274 PG. 289

PARCEL "D"
 FAIRFAX COUNTY PARK AUTHORITY
 D.B. 4274 PG. 287



LANDSCAPE AND TREE PRESERVATION PLAN

GRAVEN PROPERTY

PROVIDENCE DISTRICT
 FAIRFAX COUNTY, VIRGINIA

Project:	9828 Arlington Blvd.	CURRENT ZONE:	R4
TAX MAP #:	91-3-(171)-23	SITE AREA (SQ. FT.):	16194

10-YR Tree Canopy Calculation Worksheet			
A. Tree Preservation Target and Statement			
A	Pre-development area of existing tree canopy (from Existing Vegetation Map)	28328	
B	Percentage of gross site area covered by existing tree canopy	28328 SF	19%
C	Percentage of 10-year canopy required by site area (Table 42.12)	29389 SF	20%
D	Percentage of the 10-year canopy requirement that should be met through tree preservation	5,192 SF	14%
E	Required percentage of canopy requirement that will be met through tree preservation	15,196 SF	49%
F	Net 10-year Tree Preservation Target (minimum lower case)	10559 SF	15%
G			
H	If 50% of the F, this is required to be provided on the site plus that stated one or more of the justifications listed in 516-007.3 along with a landscape that provides a like-quality equivalent of why the Tree Preservation target cannot be met.		50A
I	If 50% requires a variance, it shall be prepared in accordance with 516-007.4.		50A
TOTALS			

B. Tree Canopy Replacement			
B1	Net 10-year Tree Preservation Target	10559	15%
B2	Net 10-year Tree Preservation Target	10559	15%
B3	Net 10-year Tree Preservation Target	10559	15%
B4	Net 10-year Tree Preservation Target	10559	15%
B5	Net 10-year Tree Preservation Target	10559	15%
B6	Net 10-year Tree Preservation Target	10559	15%
B7	Net 10-year Tree Preservation Target	10559	15%
B8	Net 10-year Tree Preservation Target	10559	15%
B9	Net 10-year Tree Preservation Target	10559	15%
B10	Net 10-year Tree Preservation Target	10559	15%
B11	Net 10-year Tree Preservation Target	10559	15%
B12	Net 10-year Tree Preservation Target	10559	15%
B13	Net 10-year Tree Preservation Target	10559	15%
B14	Net 10-year Tree Preservation Target	10559	15%
B15	Net 10-year Tree Preservation Target	10559	15%
B16	Net 10-year Tree Preservation Target	10559	15%
B17	Net 10-year Tree Preservation Target	10559	15%
B18	Net 10-year Tree Preservation Target	10559	15%
B19	Net 10-year Tree Preservation Target	10559	15%
B20	Net 10-year Tree Preservation Target	10559	15%
B21	Net 10-year Tree Preservation Target	10559	15%
B22	Net 10-year Tree Preservation Target	10559	15%
B23	Net 10-year Tree Preservation Target	10559	15%
B24	Net 10-year Tree Preservation Target	10559	15%
B25	Net 10-year Tree Preservation Target	10559	15%
B26	Net 10-year Tree Preservation Target	10559	15%
B27	Net 10-year Tree Preservation Target	10559	15%
B28	Net 10-year Tree Preservation Target	10559	15%
B29	Net 10-year Tree Preservation Target	10559	15%
B30	Net 10-year Tree Preservation Target	10559	15%
B31	Net 10-year Tree Preservation Target	10559	15%
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B41	Net 10-year Tree Preservation Target	10559	15%
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B49	Net 10-year Tree Preservation Target	10559	15%
B50	Net 10-year Tree Preservation Target	10559	15%
B51	Net 10-year Tree Preservation Target	10559	15%
B52	Net 10-year Tree Preservation Target	10559	15%
B53	Net 10-year Tree Preservation Target	10559	15%
B54	Net 10-year Tree Preservation Target	10559	15%
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B56	Net 10-year Tree Preservation Target	10559	15%
B57	Net 10-year Tree Preservation Target	10559	15%
B58	Net 10-year Tree Preservation Target	10559	15%
B59	Net 10-year Tree Preservation Target	10559	15%
B60	Net 10-year Tree Preservation Target	10559	15%
B61	Net 10-year Tree Preservation Target	10559	15%
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B68	Net 10-year Tree Preservation Target	10559	15%
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B70	Net 10-year Tree Preservation Target	10559	15%
B71	Net 10-year Tree Preservation Target	10559	15%
B72	Net 10-year Tree Preservation Target	10559	15%
B73	Net 10-year Tree Preservation Target	10559	15%
B74	Net 10-year Tree Preservation Target	10559	15%
B75	Net 10-year Tree Preservation Target	10559	15%
B76	Net 10-year Tree Preservation Target	10559	15%
B77	Net 10-year Tree Preservation Target	10559	15%
B78	Net 10-year Tree Preservation Target	10559	15%
B79	Net 10-year Tree Preservation Target	10559	15%
B80	Net 10-year Tree Preservation Target	10559	15%
B81	Net 10-year Tree Preservation Target	10559	15%
B82	Net 10-year Tree Preservation Target	10559	15%
B83	Net 10-year Tree Preservation Target	10559	15%
B84	Net 10-year Tree Preservation Target	10559	15%
B85	Net 10-year Tree Preservation Target	10559	15%
B86	Net 10-year Tree Preservation Target	10559	15%
B87	Net 10-year Tree Preservation Target	10559	15%
B88	Net 10-year Tree Preservation Target	10559	15%
B89	Net 10-year Tree Preservation Target	10559	15%
B90	Net 10-year Tree Preservation Target	10559	15%
B91	Net 10-year Tree Preservation Target	10559	15%
B92	Net 10-year Tree Preservation Target	10559	15%
B93	Net 10-year Tree Preservation Target	10559	15%
B94	Net 10-year Tree Preservation Target	10559	15%
B95	Net 10-year Tree Preservation Target	10559	15%
B96	Net 10-year Tree Preservation Target	10559	15%
B97	Net 10-year Tree Preservation Target	10559	15%
B98	Net 10-year Tree Preservation Target	10559	15%
B99	Net 10-year Tree Preservation Target	10559	15%
B100	Net 10-year Tree Preservation Target	10559	15%

C. Tree Canopy Replacement			
C1	Total existing canopy area preserved through this plan (B1-B10)	11622	
C2	Total existing canopy area preserved through this plan (B11-B20)	0	
C3	Total existing canopy area preserved through this plan (B21-B30)	0	
C4	Total existing canopy area preserved through this plan (B31-B40)	0	
C5	Total existing canopy area preserved through this plan (B41-B50)	0	
C6	Total existing canopy area preserved through this plan (B51-B60)	0	
C7	Total existing canopy area preserved through this plan (B61-B70)	0	
C8	Total existing canopy area preserved through this plan (B71-B80)	0	
C9	Total existing canopy area preserved through this plan (B81-B90)	0	
C10	Total existing canopy area preserved through this plan (B91-B100)	0	
C11	Total existing canopy area preserved through this plan (B101-B110)	0	
C12	Total existing canopy area preserved through this plan (B111-B120)	0	
C13	Total existing canopy area preserved through this plan (B121-B130)	0	
C14	Total existing canopy area preserved through this plan (B131-B140)	0	
C15	Total existing canopy area preserved through this plan (B141-B150)	0	
C16	Total existing canopy area preserved through this plan (B151-B160)	0	
C17	Total existing canopy area preserved through this plan (B161-B170)	0	
C18	Total existing canopy area preserved through this plan (B171-B180)	0	
C19	Total existing canopy area preserved through this plan (B181-B190)	0	
C20	Total existing canopy area preserved through this plan (B191-B200)	0	
C21	Total existing canopy area preserved through this plan (B201-B210)	0	
C22	Total existing canopy area preserved through this plan (B211-B220)	0	
C23	Total existing canopy area preserved through this plan (B221-B230)	0	
C24	Total existing canopy area preserved through this plan (B231-B240)	0	
C25	Total existing canopy area preserved through this plan (B241-B250)	0	
C26	Total existing canopy area preserved through this plan (B251-B260)	0	
C27	Total existing canopy area preserved through this plan (B261-B270)	0	
C28	Total existing canopy area preserved through this plan (B271-B280)	0	
C29	Total existing canopy area preserved through this plan (B281-B290)	0	
C30	Total existing canopy area preserved through this plan (B291-B300)	0	
C31	Total existing canopy area preserved through this plan (B301-B310)	0	
C32	Total existing canopy area preserved through this plan (B311-B320)	0	
C33	Total existing canopy area preserved through this plan (B321-B330)	0	
C34	Total existing canopy area preserved through this plan (B331-B340)	0	
C35	Total existing canopy area preserved through this plan (B341-B350)	0	
C36	Total existing canopy area preserved through this plan (B351-B360)	0	
C37	Total existing canopy area preserved through this plan (B361-B370)	0	
C38	Total existing canopy area preserved through this plan (B371-B380)	0	
C39	Total existing canopy area preserved through this plan (B381-B390)	0	
C40	Total existing canopy area preserved through this plan (B391-B400)	0	
C41	Total existing canopy area preserved through this plan (B401-B410)	0	
C42	Total existing canopy area preserved through this plan (B411-B420)	0	
C43	Total existing canopy area preserved through this plan (B421-B430)	0	
C44	Total existing canopy area preserved through this plan (B431-B440)	0	
C45	Total existing canopy area preserved through this plan (B441-B450)	0	
C46	Total existing canopy area preserved through this plan (B451-B460)	0	
C47	Total existing canopy area preserved through this plan (B461-B470)	0	
C48	Total existing canopy area preserved through this plan (B471-B480)	0	
C49	Total existing canopy area preserved through this plan (B481-B490)	0	
C50	Total existing canopy area preserved through this plan (B491-B500)	0	
C51	Total existing canopy area preserved through this plan (B501-B510)	0	
C52	Total existing canopy area preserved through this plan (B511-B520)	0	
C53	Total existing canopy area preserved through this plan (B521-B530)	0	
C54	Total existing canopy area preserved through this plan (B531-B540)	0	
C55	Total existing canopy area preserved through this plan (B541-B550)	0	
C56	Total existing canopy area preserved through this plan (B551-B560)	0	
C57	Total existing canopy area preserved through this plan (B561-B570)	0	
C58	Total existing canopy area preserved through this plan (B571-B580)	0	
C59	Total existing canopy area preserved through this plan (B581-B590)	0	
C60	Total existing canopy area preserved through this plan (B591-B600)	0	
C61	Total existing canopy area preserved through this plan (B601-B610)	0	
C62	Total existing canopy area preserved through this plan (B611-B620)	0	
C63	Total existing canopy area preserved through this plan (B621-B630)	0	
C64	Total existing canopy area preserved through this plan (B631-B640)	0	
C65	Total existing canopy area preserved through this plan (B641-B650)	0	
C66	Total existing canopy area preserved through this plan (B651-B660)	0	
C67	Total existing canopy area preserved through this plan (B661-B670)	0	
C68	Total existing canopy area preserved through this plan (B671-B680)	0	
C69	Total existing canopy area preserved through this plan (B681-B690)	0	
C70	Total existing canopy area preserved through this plan (B691-B700)	0	
C71	Total existing canopy area preserved through this plan (B701-B710)	0	
C72	Total existing canopy area preserved through this plan (B711-B720)	0	
C73	Total existing canopy area preserved through this plan (B721-B730)	0	
C74	Total existing canopy area preserved through this plan (B731-B740)	0	
C75	Total existing canopy area preserved through this plan (B741-B750)	0	
C76	Total existing canopy area preserved through this plan (B751-B760)	0	
C77	Total existing canopy area preserved through this plan (B761-B770)	0	
C78	Total existing canopy area preserved through this plan (B771-B780)	0	
C79	Total existing canopy area preserved through this plan (B781-B790)	0	
C80	Total existing canopy area preserved through this plan (B791-B800)	0	
C81	Total existing canopy area preserved through this plan (B801-B810)	0	
C82	Total existing canopy area preserved through this plan (B811-B820)	0	
C83	Total existing canopy area preserved through this plan (B821-B830)	0	
C84	Total existing canopy area preserved through this plan (B831-B840)	0	
C85	Total existing canopy area preserved through this plan (B841-B850)	0	
C86	Total existing canopy area preserved through this plan (B851-B860)	0	
C87	Total existing canopy area preserved through this plan (B861-B870)	0	
C88	Total existing canopy area preserved through this plan (B871-B880)	0	
C89	Total existing canopy area preserved through this plan (B881-B890)	0	
C90	Total existing canopy area preserved through this plan (B891-B900)	0	
C91	Total existing canopy area preserved through this plan (B901-B910)	0	
C92	Total existing canopy area preserved through this plan (B911-B920)	0	
C93	Total existing canopy area preserved through this plan (B921-B930)	0	
C94	Total existing canopy area preserved through this plan (B931-B940)	0	
C95	Total existing canopy area preserved through this plan (B941-B950)	0	
C96	Total existing canopy area preserved through this plan (B951-B960)	0	
C97	Total existing canopy area preserved through this plan (B961-B970)	0	
C98	Total existing canopy area preserved through this plan (B971-B980)	0	
C99	Total existing canopy area preserved through this plan (B981-B990)	0	
C100	Total existing canopy area preserved through this plan (B991-B1000)	0	

D. Tree Planting			
D1	Area of canopy to be met through tree planting (B1-B10)	27068	
D2	Area of canopy to be met through tree planting (B11-B20)	0	
D3	Area of canopy to be met through tree planting (B21-B30)	0	
D4	Area of canopy to be met through tree planting (B31-B40)	0	
D5	Area of canopy to be met through tree planting (B41-B50)	0	
D6	Area of canopy to be met through tree planting (B51-B60)	0	
D7	Area of canopy to be met through tree planting (B61-B70)	0	
D8	Area of canopy to be met through tree planting (B71-B80)	0	
D9	Area of canopy to be met through tree planting (B81-B90)	0	
D10	Area of canopy to be met through tree planting (B91-B100)	0	
D11	Area of canopy to be met through tree planting (B101-B110)	0	
D12	Area of canopy to be met through tree planting (B111-B120)	0	
D13	Area of canopy to be met through tree planting (B121-B130)	0	
D14	Area of canopy to be met through tree planting (B131-B140)	0	
D15	Area of canopy to be met through tree planting (B141-B150)	0	



INVASIVE SPECIES MANAGEMENT PLAN

GRAVEN PROPERTY

PREPARED BY: K.T.S. HOLDING CORP. ENGINEER: GUYTON

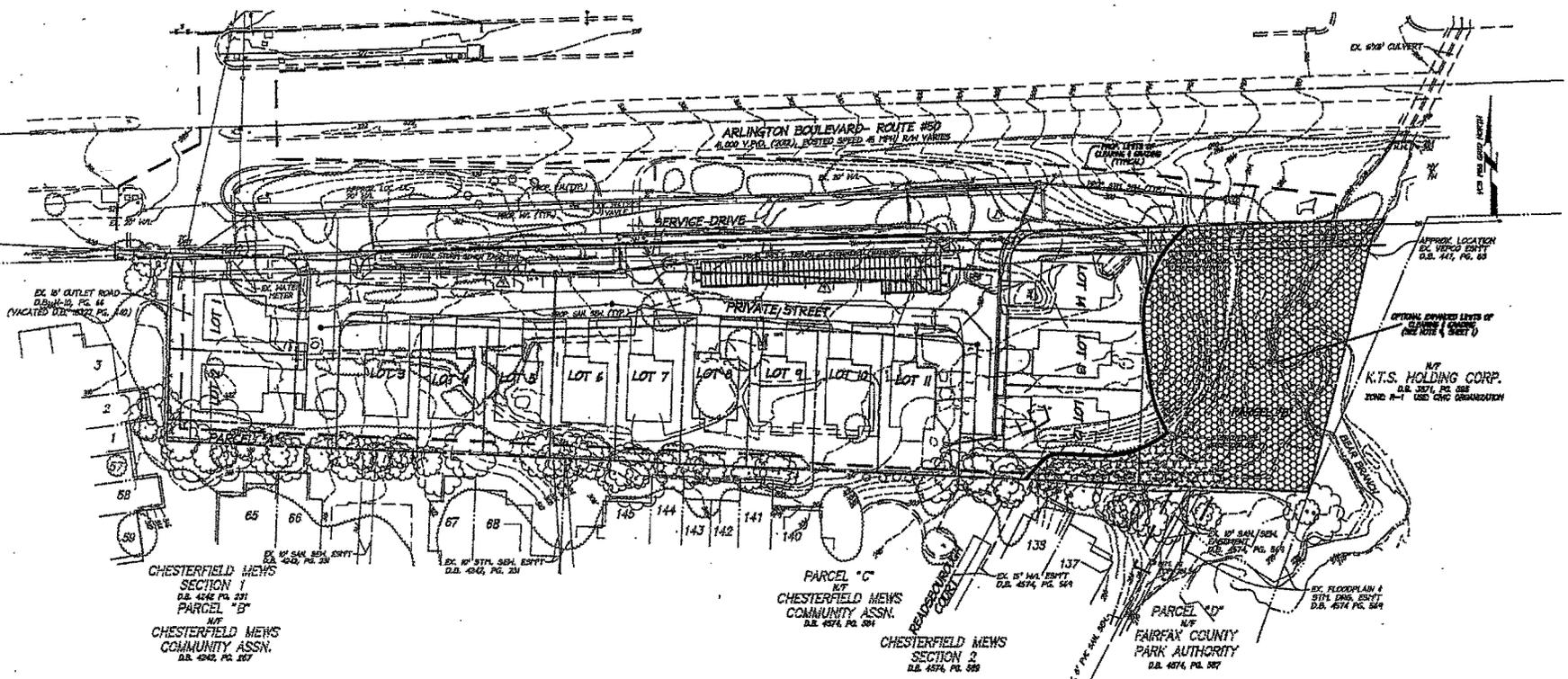
DATE	APPROVED DATE
DESIGNER	APPROVED BY
CHECKER	
DRAWN	
SCALE	

I HEREBY CERTIFY THAT THESE DRAWINGS WERE PREPARED BY ME OR UNDER MY CLOSE PERSONAL SUPERVISION AND THAT I AM A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF VIRGINIA.



SCALE: 1" = 40'

SHEET 6 OF 12
DATE: JULY 2013
DRAFT: YES
CHECK: CITY
FILE NUMBER: 0525-1-3 38



INVASIVE SPECIES MANAGEMENT NOTES

- The method of control will be finalized in consultation with the UPFD at the time of site plan submission. The methods will vary throughout the site. In the eastern area of the RPA the slope fill slopes currently containing few trees to be preserved, mechanical means may be used to remove the existing vegetation and prepare the site for re-vegetation. From the toe of the slope to the street, only hand tools and herbicides will be used to manage the undesirable vegetation. This necessary because the soils within the fill slope areas are very poor and might not support re-vegetation without significant treatment and because the density of undesirable vegetation is greater. Then can be successfully controlled with hand methods.
- Where mechanical means are allowed, a small clear or control may be used to push, pull, chop, or otherwise remove the vegetation within the area.
- Where only hand methods are allowed, hand tools such as chain saws, hand axes, axes, machetes and other similar tools will be used to hand cut vegetation to be removed.
- The use of hand tools in the indicated area will prevent damage to the trees and desirable vegetation to be preserved.
- There are no trees noted within the fill slope area to be preserved. The quality in this area is extremely poor due to the heavy the ground. This area will be re-vegetated using landscape stock. A plan for the re-vegetation of this area will be submitted to the UPFD for review during the site plan approval process.
- All undesirable vegetation removed from the area will be disposed of off-site according to local jurisdictional requirements in an approved land fill or other recycling facility.
- Chemical controls will be utilized as necessary to treat existing vegetation within the entire area. The first treatment will be made based on inspection by the qualified specialist. Herbicide for re-growth of undesirable vegetation will occur at least three weeks each growing season associated with the development. Treatments will be made on temporary vegetation in each year.
- In general, treatment of the undesirable vegetation will begin during Phase I (EIS approval and initial clearing and grading) and in conjunction with other low preservation activities. Mechanical clearing will occur only during phase I (EIS approval and will require the use of additional EIS measures to protect the forest plan and streams from erosion and runoff. Hand methods will be used during both Phase I (EIS approval and continue as necessary for the duration of the project and accepted by UPFD.
- The cleared area along the fill slope will be planted using 200 nursery stock. The resulting area will be supplemented with nursery stock to restore the RPA to a suitable condition. A planting plan for the area will be submitted to UPFD during the site plan approval process.
- Herbicide for re-growth of weeds and invasives will be made specifically four times during each growing season over which the project continues or for a period of ten years from the date of the first treatment whichever is less. In addition, the monthly-maintenance provided for each the Tree Preservation Plan will address undesirable vegetation as necessary for its management and control.
- The undesirable vegetation management will continue from initial clearing and grading until final release or release of the Corporation depend or prior to release if the undesirable vegetation appears to have been eliminated based on documentation provided by the Project Architect and as inspection by UPFD Staff.
- The plan to be prepared within a copy of treatment area and this map shall be prepared by a Virginia certified pesticide applicator as part of the site/development plan submission for approval by the County and RCPMA.
- All herbicides shall be applied by a Virginia certified pesticide applicator and all applications shall be done in accordance with all applicable regulations.
- The plan shall be prepared utilizing the following references: James H. Parving, Section 1, 2006, A Hierarchical Guide for Invasive Plants in Southern Forestry, Soil, Tech. Rep. 356-20, Johnston, VA U.S. Dept. of Agriculture Forest Service, Southern Research Station.

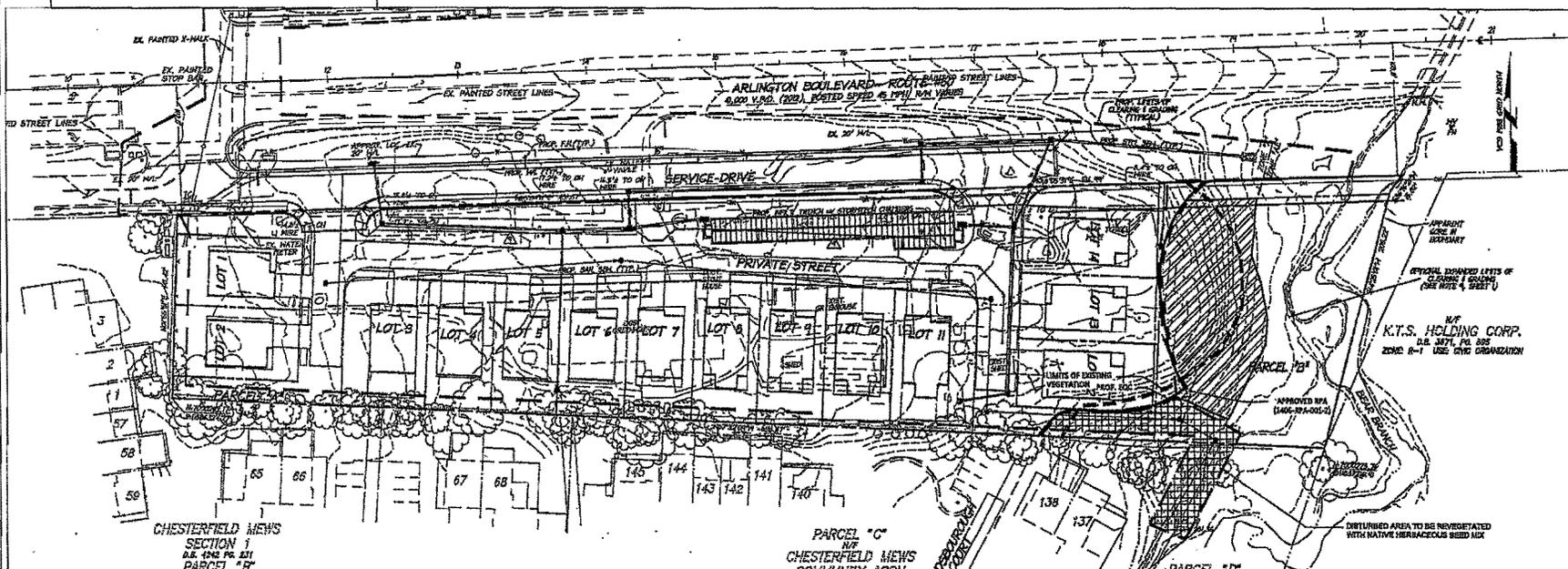
LEGEND

- [Symbol] AREA OF RPA WHERE MECHANICAL MEANS FOR CONTROLLING UNDESIRABLE VEGETATION IS ACCEPTABLE.
- [Symbol] AREA OF RPA THAT WILL USE HAND TOOLS AND HAND METHODS FOR CONTROL OF UNDESIRABLE VEGETATION.



LEGEND

- LIMITS OF CLEARING AND GRADING
- EGC BOUNDARY
- PROPOSED RESEEDING AREA (NOTE 1)
- PROPOSED PLANTING AREA (NOTE 2)



RPA Restoration Calculations (Per PFM 11-0616.4)

Proposed Disturbance of EGC Area (sq. ft.) **15,600**

Species (Common name)	Quantity	Planting Size	Type	Specifying	10 Year Canopy Coverage (sq. ft.)	10 Year Growth Rate	Multiplier	Total Restocking Credit	Comments
CP1 Common yellow rindow oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP2 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP3 Texas live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP4 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP5 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP6 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP7 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP8 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP9 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP10 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP11 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP12 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP13 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP14 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP15 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP16 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP17 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP18 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP19 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP20 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP21 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP22 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP23 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP24 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP25 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP26 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP27 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP28 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP29 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP30 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP31 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP32 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP33 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP34 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP35 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP36 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP37 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP38 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP39 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP40 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP41 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP42 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP43 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP44 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP45 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP46 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP47 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP48 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP49 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP50 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem

NOTES:

- All areas of the EGC that will be disturbed by this project will be restored and stabilized using a seed mix of native grasses and wildflowers.
- This area to be planted per the Planting Schedule on this sheet.
- The areas to be mechanically cleared within the RPA and EGC Slope area shall be cleared entirely of all plant material, brush, debris, and trash and grubbed to a depth of six to twelve inches in order to leave a surface entirely free of any protruding stumps, roots, rhizomes, trash or debris. The area shall be compacted to the least extent necessary to stabilize the site. In order to accomplish this, only tracked equipment shall be used for working the area. The surface layer shall be made to meet the following standards to a minimum depth of six inches either by amending the existing soils or by the addition of top soil meeting the following specifications:
 - A. Imported Topsoil:
 - 1. Loamy, friable soil, containing a minimum of 2.0 percent by dry weight organic matter, free from weeds, refuse, roots, heavy or stiff clay, stones larger than 25 mm (1 in.), nodules, spherules, clumps, lumps, and other deleterious substances suitable for the germination of seeds and the support of vegetative growth. The pH value shall be between 5.5 and 6.5.
 - 2. Soil Texture: loam or silt with the following particle size distribution:

Approximate Particle Distribution Imported Topsoil	Less than 10%
Gravel	0-5%
Coarse to medium sand	5-20%
Fine sand	5-20%
Very fine sand	0-20%
Silt	15-25%
Clay	15-25%

RIPARIAN SEED MIX (ERNMX-178)

Species (Common name)	Quantity	Planting Size	Type	Specifying	10 Year Canopy Coverage (sq. ft.)	10 Year Growth Rate	Multiplier	Total Restocking Credit	Comments
CP1 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP2 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP3 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP4 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP5 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP6 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP7 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP8 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP9 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP10 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP11 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP12 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP13 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP14 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP15 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP16 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP17 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP18 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP19 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP20 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP21 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP22 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP23 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP24 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP25 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP26 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP27 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP28 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP29 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP30 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP31 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP32 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP33 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP34 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP35 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP36 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP37 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP38 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP39 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP40 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem

NOTES:

- All areas of the EGC that will be disturbed by this project will be restored and stabilized using a seed mix of native grasses and wildflowers.
- This area to be planted per the Planting Schedule on this sheet.
- The areas to be mechanically cleared within the RPA and EGC Slope area shall be cleared entirely of all plant material, brush, debris, and trash and grubbed to a depth of six to twelve inches in order to leave a surface entirely free of any protruding stumps, roots, rhizomes, trash or debris. The area shall be compacted to the least extent necessary to stabilize the site. In order to accomplish this, only tracked equipment shall be used for working the area. The surface layer shall be made to meet the following standards to a minimum depth of six inches either by amending the existing soils or by the additional of top soil meeting the following specifications:
 - A. Imported Topsoil:
 - 1. Loamy, friable soil, containing a minimum of 2.0 percent by dry weight organic matter, free from weeds, refuse, roots, heavy or stiff clay, stones larger than 25 mm (1 in.), nodules, spherules, clumps, lumps, and other deleterious substances suitable for the germination of seeds and the support of vegetative growth. The pH value shall be between 5.5 and 6.5.
 - 2. Soil Texture: loam or silt with the following particle size distribution:

Approximate Particle Distribution Imported Topsoil	Less than 10%
Gravel	0-5%
Coarse to medium sand	5-20%
Fine sand	5-20%
Very fine sand	0-20%
Silt	15-25%
Clay	15-25%

RIPARIAN SEED MIX (ERNMX-178)

Species (Common name)	Quantity	Planting Size	Type	Specifying	10 Year Canopy Coverage (sq. ft.)	10 Year Growth Rate	Multiplier	Total Restocking Credit	Comments
CP1 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP2 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP3 Live oak	100	10" x 10" Cal	DBL	As Shown	200	2400	1	2400	100% Full, single stem
CP									

OUTFALL NARRATIVE

THE SUBJECT PROPERTY IS LOCATED WITHIN THE ACCOTING CREEK WATERSHED AND IS LOCATED ADJACENT TO SAID BRANCH, A TRIBUTARY TO SAID WATERSHED. THE SUBJECT PROPERTY MAINTAINS TWO STORY DRAINAGE OUTFALLS, THERE ARE EXISTING FLOODPLAIN AND FEMA AREAS ON THE SUBJECT PROPERTY. THE FLOODPLAIN IS SHOWN PER INFORMATION OF RECORD AND IS A BOARD APPROVED FLOODPLAIN BASED ON THE FEMA FIRM AND LOGS ELEVATIONS. AN RPA DELINEATION HAS BEEN APPROVED FOR THE SUBJECT PROPERTY (146-RPA-001).

THE SUBJECT PROPERTY SHALL PROVIDE AN INFILTRATION TRENCH TO ADDRESS THE INCREASE IN RIFLOFF WHICH WILL OCCUR AS A RESULT OF THE DEVELOPMENT OF THE SUBJECT PROPERTY (SEE VRRM SPREADSHEET & SHM COMPUTATIONS, SHEETS 10-1). THE POST-DEVELOPMENT RUNOFF FROM THE SUBJECT PROPERTY IS CONVEYED OVERLAND AND THROUGH A CLOSED STORM SEWER SYSTEM. THIS RUNOFF IS DISCHARGED NEAR THE BANK OF BEAR BRANCH INTO A PROPOSED STILING BASIN. THE STILING BASIN WILL MITIGATE ANY EXCESS VELOCITY FROM THE CLOSED SYSTEM PRIOR TO ENTERING THE THROAT OF THE CREEK. THE LAYOUT OF THE SITE HAS BEEN DESIGNED TO MINIMIZE THE IMPACTS TO DOWNSTREAM PROPERTIES. THE INTENT SHALL BE TO MAINTAIN THE EXISTING DRAINAGE PATTERNS AND TO NOT HAVE A NEGATIVE IMPACT ON ADJACENT PROPERTIES.

OUTFALL #1 DISCHARGES FROM THE SUBJECT PROPERTY AS CONCENTRATED FLOW VIA AN EXISTING NATURAL CHANNEL AND DISCHARGES INTO AN EXISTING FLOODPLAIN AND STORM DRAINAGE EASEMENT WITH A TOTAL AREA OF 1.06 ACRES. BEAR BRANCH IS DESCRIBED AS A MAJOR FLOOD PLAN AND THE ONE HUNDRED YEAR WATER SURFACE ELEVATION SHALL BE ENGINEERED BY A FLOOD PLAN AND STORM DRAINAGE EASEMENT. THE EXISTING CHANNEL HAS EXPERIENCED FERRATE EROSION ALONG THE OUTSIDE OF THE CHANNELS AND MAINTAINS APPROPRIATE CAPACITY TO CONVEY THE TWO YEAR STORM IN ACCORDANCE WITH ALL APPLICABLE REQUIREMENTS. THE OUTFALL IS ADEQUATE DUE TO THE PRESENCE OF THE BOARD ADOPTED MAJOR FLOODPLAIN STUDY AND FEMA TWIN 100 TIMES THE SITE AREA DRAINING THROUGH THE POINT WHERE THIS SITE OUTFALL CONVEYS WITH BEAR BRANCH, IN ACCORDANCE WITH FAIRFAX COUNTY CODE SECTIONS 24-4-4(1)(A) & 24-4-4(1)(B). THE DEVELOPMENT OF THE SUBJECT PROPERTY WILL NOT ADVERSELY IMPACT DOWNSTREAM PROPERTIES.

OUTFALL #2 CONVEYS 2.70 ACRES OF DEVELOPMENT AREA DRAINAGE FROM THE SUBJECT PROPERTY IN THE POST-DEVELOPMENT CONDITION (0.15 ACRES OF RPA/DCO/FLOODPLAIN AREA ARE EXCLUDED FROM THE DEVELOPMENT AREA). AS A RESULT OF THE PROPOSED INFILTRATION TRENCH, DETENTION OF THE ONE, TWO AND TEN YEAR STORM EVENT WILL BE PROVIDED. REQUIREMENTS FOR CHANNEL & FLOOD PROTECTION HAVE BEEN MET AS OUTLINED IN FAIRFAX COUNTY CODE SECTION 24-4-4(1)(A) & (1)(B) FOR THE OUTFALL. STORAGE OF THE APPROPRIATE 1-YEAR, 2-YEAR, & 10-YEAR 24 HOUR STORM VOLUMES WILL BE PROVIDED IN THE PROPOSED INFILTRATION TRENCH AND THE DISCHARGE FROM THE SITE DURING THE 1-YR STORM SHALL BE REDUCED BY THE REQUIRED PROPORTIONAL IMPROVEMENT AMOUNT OUTLINED IN CODE SECTIONS 24-4-4(1)(A) & (1)(B). ADEQUATE OUTFALL REQUIREMENTS FOR THIS OUTFALL HAVE BEEN DEMONSTRATED BY THE EXISTENCE OF A MAJOR FLOODPLAIN WHICH IS A POINT WHERE THE TOTAL DRAINAGE AREA EXCEEDS 100 TIMES THE SITE AREA PER CODE SECTIONS 24-4-4(1)(A) & 24-4-4(1)(B). THE EXISTING FLOODPLAIN CHANNEL HAS BEEN INVESTIGATED AND FOUND TO HAVE A DEFINED BED AND BANKS CHANNEL. THIS OUTFALL IS ADEQUATE IN ACCORDANCE WITH FAIRFAX COUNTY CODE AS DESCRIBED ABOVE.

OUTFALL #3 WILL CONTINUE TO DISCHARGE WATER IN A NON-CONCENTRATED/SHEET FLOW MANNER TOWARD THE SOUTH ONTO DOWNSTREAM PROPERTIES AS ALLOWED IN FPM SECTION 4-002.0.A. THE POST DEVELOPED DISCHARGE TO THE OUTFALL IS LESS THAN THE PRE-DEVELOPED DISCHARGE AS REQUIRED FOR FPM SECTION 4-002.0.A. THE EXTENT OF REVIEW FOR OUTFALL #3 IS THE LIMITS OF CLEARING FOR THE PROJECT DUE TO THE OUTFALL BEING A NON-CONCENTRATED/SHEET FLOW OUTFALL. THE OUTFALL IS ADEQUATE FOR FPM SECTION 4-002.0.A.

OUTFALL #4 CONTINUES DOWNSTREAM TO AN EXISTING CLOSED STORM SEWER SYSTEM WITHIN CHESTERFIELD TENS AND THEN INTO THE BEAR BRANCH FLOODPLAIN AT WHICH POINT THE TOTAL DRAINAGE AREA IS IN EXCESS OF 100 TIMES THE SITE AREA.

IT IS THE ENGINEER'S OPINION BASED ON THE INFORMATION PROVIDED HEREON AND ON THE REQUIREMENTS SET FORTH IN THE PUBLIC FACILITIES MANUAL, ALL OUTFALLS ARE ADEQUATE.

DRAINAGE DIVERSION STATEMENT

THE PROJECT IS LOCATED WITHIN THE ACCOTING CREEK WATERSHED. FLOOD CHANNELS IN THE NATURAL DRAINAGE DIVIDES ARE PROPOSED AS A PART OF THIS PROJECT. THE CHANNELS ARE INTENDED TO ASSIST IN COLLECTING STORMWATER DISCHARGE IN ORDER TO MEET DETENTION, BMP & ADEQUATE OUTFALL REQUIREMENTS AS OUTLINED IN THE FPM. DETENTION RELEASE RATE COMPUTATIONS SHALL BE PROVIDED ON THE SUBDIVISION PLAN THAT DEMONSTRATE THAT THE POST DEVELOPED FLOW FROM THE PROPERTY IS LESS THAN THE PREDEVELOPED AND NO ADVERSE IMPACTS WILL BE EXPERIENCED BY ANY DOWNSTREAM PROPERTIES. NO CHANGES ARE PROPOSED TO ANY MAJOR DRAINAGE DIVIDES. THESE FLOOD DIVERSIONS WITHIN AN INDIVIDUAL MAJOR WATERSHED AREA ARE ALLOWED PER FPM SECTION 4-002.0.A (SEE THE OUTFALL ANALYSIS ON THIS SHEET).

STORMWATER MANAGEMENT NARRATIVE

THE STORMWATER MANAGEMENT REQUIREMENTS FOR THE SUBJECT PROPERTY SHALL BE SATISFIED VIA THE CONSTRUCTION OF AN INFILTRATION TRENCH. THIS FACILITY SHALL BE DESIGNED IN ACCORDANCE WITH THE PUBLIC FACILITIES MANUAL, DCR SPECIFICATIONS AND THE VIRGINIA STORMWATER MANAGEMENT HANDBOOK AND WILL PROVIDE STORAGE WITH A STONE AND CHAMBER SYSTEM.

FOR SHM DETENTION AND WATER QUALITY PURPOSES THE RPA/DCO/FLOODPLAIN AREA OF THE SITE HAS BEEN SUBTRACTED TO PROVIDE A "DEVELOPMENT AREA" OF 2.57 ACRES. ALL SHM DETENTION AND WATER QUALITY COMPUTATIONS HAVE BEEN MADE USING THE DEVELOPMENT AREA OF 2.57 AC.

THE INFILTRATION TRENCH HAS BEEN DESIGNED TO PROVIDE WATER QUALITY/BMP TREATMENT AND TO PROVIDE DETENTION FOR THE 1, 2 & 10 YEAR STORM EVENTS. CHANNEL AND FLOOD PROTECTION REQUIREMENTS WILL BE MET BY THE APPLICATION OF FAIRFAX COUNTY CODE SECTIONS 24-4-4(1)(A) & (1)(B) WHICH WILL REQUIRE REDUCTIONS IN RUNOFF FROM THE DEVELOPMENT AREA DURING THE 1-YR STORM (SEE OUTFALL ANALYSIS, THIS SHEET). THE FINAL DESIGN OF THE INFILTRATION TRENCH IS SUBJECT TO FINAL ENGINEERING AND SOILS TESTING. ALL MAINTENANCE SHALL BE CONDUCTED IN ACCORDANCE WITH THE REQUIREMENTS AND OUTLINED IN THE FPM, DCR SPECIFICATION AND THE VIRGINIA STORMWATER MANAGEMENT HANDBOOK.

THE SITE CURRENTLY HAS TWO EXISTING BUILDINGS, PAVED SURFACES AND SOME TREES.

THE FACILITY SHALL BE MAINTAINED BY THE HOMEOWNERS ASSOCIATION AND THE MAINTENANCE SHALL BE PERFORMED IN ACCORDANCE WITH THE APPLICABLE REQUIREMENTS.

STORMWATER MANAGEMENT CHECKLIST

MINIMUM STORMWATER INFORMATION FOR REZONING, SPECIAL EXEMPTION, SPECIAL PERMIT AND DEVELOPMENT PLAN APPLICATIONS

The following information is required to be shown as provided in all zoning applications, or a waiver (in lieu of the information requirement with justification shall be attached. Note: Waivers will be acted upon separately). Failure to adequately address the required information may result in a delay in processing the application.

This information is required under the following zoning Ordinance paragraphs:
 Special Permits (P-11 § 2.3) Special Exemptions (P-11 § 2.3 & 3)
 Cluster Subdivisions (P-11 § 4.1) Commercial Re-development (P-11 § 4.2) & (P-11 § 4.3)
 Development Plan (P-11 § 4.2) & (P-11 § 4.3) PFD Plan (P-11 § 5.5 & 1.2)
 PFD P (P-11 § 5.5) (P-11 § 1.2) & (P-11 § 1.3) Amendments (P-11 § 2.2 § 1.2)

- 1. Plan in a minimum scale of 1"=40' (unless it is depicted on one sheet with a minimum scale of 1"=70')
- 2. A graphic depicting the stormwater management facilities and limits of clearing and grading accordance with the stormwater management facility (ies), storm drainage pipe systems and outlet protection, post application, access roads, site utility, energy developer details, and stormwater management as shown on Sheet 10-1.

Facility Name	On-site area (sq. ft.)	Off-site area (sq. ft.)	Drainage Area (sq. ft.)	Volume (cu. ft.)	Flow (cfs)	Flow (ft³/s)	Flow (ft³/min)
INFILTRATION TRENCH	1,100.00	1,100.00	1,100.00	1,100.00	1,100.00	1,100.00	1,100.00
Stone Chamber	1,100.00	1,100.00	1,100.00	1,100.00	1,100.00	1,100.00	1,100.00
Total	2,200.00	2,200.00	2,200.00	2,200.00	2,200.00	2,200.00	2,200.00

- 3. Outlet drainage channels, outfalls and pipe systems are shown on Sheet 10-1. Post application and outlet pipe systems are shown on Sheet 10-2.
- 4. Maintenance access (road) to stormwater management facility(ies) is shown on Sheet 10-1. Type of maintenance access road noted on the plan is ASPHALT, GRAVEL, GRAVEL/POSSIBLE, PAVED, etc.
- 5. Landscaping and tree preservation shown on and near the stormwater management facility to protect the facility.
- 6. A stormwater management manual which contains a description of their operation and level management positions requirements will be submitted on Sheet 10-1.
- 7. A description of the existing conditions of each chamber or outlet extended downstream from the intake to a point which is at least 100' from the site area or which has a drainage area of at least one acre (1.00 acre) is provided on Sheet 10-1.
- 8. A description of how the facility meets requirements, including contributing drainage areas of the Public Facilities Manual and the standards provided on Sheet 10-1.
- 9. Existing topography with maximum contour intervals of one (1) foot and a note as to whether it is an overlay or not is provided on Sheet 10-1.
- 10. A site plan is required for all projects.
- 11. Stormwater management is not required for all projects.



DRAINAGE AREA MAP
SCALE: 1" = 40'

EXTENT OF REVIEW FOR SHEET FLEM OUTFALL #1 SEE THIS SHEET FOR "OUTFALL NARRATIVE"

STORMWATER MANAGEMENT INFORMATION

TYPE OF FACILITY = INFILTRATION TRENCH WITH CHAMBER STORMWATER MANAGEMENT SYSTEM
 FACILITY MAINTENANCE = HOMEOWNERS ASSOCIATION
 INFILTRATION TRENCH IS APPROXIMATE 30-YEAR VOLUME = 6,791 CF.
 APPROPRIATE PROPOSED VOLUME = 16,571 CF.
 APPROPRIATE SURFACE AREA = 4,065 SF.
 APPROPRIATE DRAINAGE TO TEN AND HYDROLOGIC SOIL GROUPS 1" & 2" = 1.8 ACRES
 APPROPRIATE INFILTRATION TRENCH WIDTH = 2.5 FT.

PRE-DEVELOPMENT SUBJECT PROPERTY

1 YEAR:
 1. RAINFALL DPTH (P) FOR FAIRFAX COUNTY = 2.7 IN (1 YR)
 2. SOILS DRAINING TO OUTFALL ARE HYDROLOGIC SOIL GROUP 1" & 2" (SEE THIS SHEET FOR SOILS MAP)
 3. ADJUSTED RCM FOR EXISTING CONDITION FOR SOIL GROUPS 1" & 2" = 0.6
 4. TOTAL DEVELOPMENT AREA OF SITE TO OUTFALL #1 = 1.85 ACRES
 5. S = ((2000P) - 10) / ((2000P) + 10) = ((2000 * 2.7) - 10) / ((2000 * 2.7) + 10) = 0.92
 6. RAINFALL VOLUME = AREA * RAINFALL * S = 1.85 AC * (2.7 IN) * 0.92 = 4.63 CF

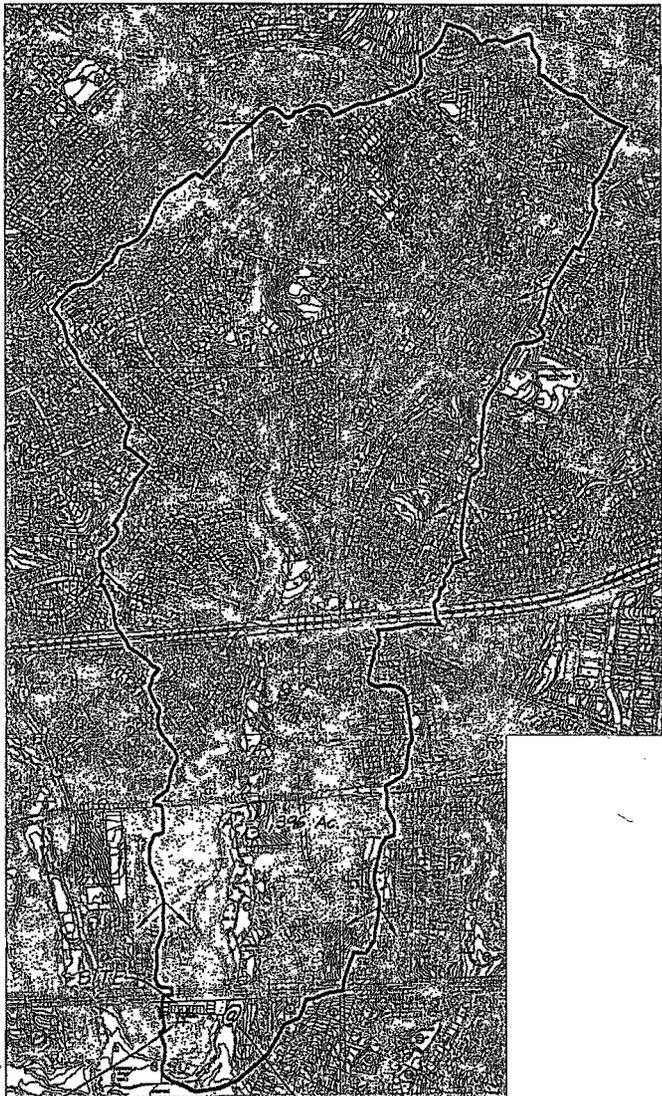
POST-DEVELOPMENT SUBJECT PROPERTY

1 YEAR:
 1. RAINFALL DPTH (P) FOR FAIRFAX COUNTY = 2.7 IN (1 YR)
 2. SOILS DRAINING TO OUTFALL ARE HYDROLOGIC SOIL GROUP 1" & 2" (SEE THIS SHEET FOR SOILS MAP)
 3. ADJUSTED RCM FOR SITE FOR SOIL GROUPS 1" & 2" = 0.6
 4. TOTAL DEVELOPMENT AREA OF SITE TO OUTFALL #1 = 2.70 ACRES
 5. S = ((2000P) - 10) / ((2000P) + 10) = ((2000 * 2.7) - 10) / ((2000 * 2.7) + 10) = 0.92
 6. RAINFALL VOLUME = AREA * RAINFALL * S = 2.70 AC * (2.7 IN) * 0.92 = 6.63 CF

10 YEAR RAINFALL VOLUME COMPUTATION FOR ITM

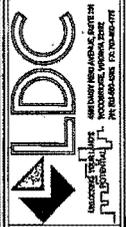
PER CHAPTER 5 - VIRGINIA SHM HANDBOOK VOLUME II
 1. 10 YEAR RAINFALL DPTH (P) FOR FAIRFAX COUNTY = 5.3 IN
 2. SOILS DRAINING TO TEN AND HYDROLOGIC SOIL GROUPS 1" & 2" (SEE THIS SHEET FOR SOILS MAP)
 3. ADJUSTED RCM FOR DEVELOPMENT FROM ITM = 0.6 PER VRRM SPREADSHEET
 4. TOTAL CONTROLLED DRAINAGE AREA TO ITM = 1.85 ACRES
 5. S = ((2000P) - 10) / ((2000P) + 10) = ((2000 * 5.3) - 10) / ((2000 * 5.3) + 10) = 0.92
 6. RAINFALL VOLUME = AREA * RAINFALL * S = 1.85 AC * (5.3 IN) * 0.92 = 9.03 CF

REDUCTION REQUIRED FOR CHANNEL PROTECTION PER CODE SECTION 24-4-4(1)(A) & (1)(B)
 R1 = (1 - 0.0001) * (1.85) = 1.85
 R2 = (1 - 0.0001) * (2.70) = 2.70
 VOLUME IS MORE THAN VOLUME (A)AN (CF) REQUIRED FOR INFILTRATION TRENCH WATER QUALITY TREATMENT (SEE VRRM SPREADSHEET); THEREFORE, STORAGE WILL BE PROVIDED FOR THE WATER QUALITY TREATMENT VOLUME.



DRAINAGE AREA MAP
SCALE: 1" = 40'

EXTENT OF REVIEW FOR SHEET FLEM OUTFALL #1 SEE THIS SHEET FOR "OUTFALL NARRATIVE"



STORMWATER MANAGEMENT INFORMATION

GRAVEN PROPERTY
 PREPARED BY: [Signature]
 CHECKED BY: [Signature]
 DATE: [Date]

NO.	DATE	REVISION	APPROVED BY
1	07/11/2013	ISSUED FOR PERMIT	[Signature]
2	07/11/2013	REVISION	[Signature]
3	07/11/2013	REVISION	[Signature]
4	07/11/2013	REVISION	[Signature]
5	07/11/2013	REVISION	[Signature]
6	07/11/2013	REVISION	[Signature]
7	07/11/2013	REVISION	[Signature]
8	07/11/2013	REVISION	[Signature]
9	07/11/2013	REVISION	[Signature]
10	07/11/2013	REVISION	[Signature]



1. I HEREBY CERTIFY THAT OTHER THAN THE REVISIONS CHECKED HEREON NO OTHER CHANGES HAVE BEEN MADE.
 SHEET 10 of 12
 DATE: JULY 2013
 DRAWN BY: [Signature]
 CHECKED BY: [Signature]
 FILE NUMBER: [Number]
 PLOT NUMBER: [Number]

SEE SHEETS 10-11 FOR DRAINAGE AREA MAPS & SHM COMPUTATIONS

Virginia Runoff Reduction Method New Development Worksheet - v2.0 - June 2014
To be used w/ DRAFT 2013 BMP Standards and Specifications

Site Data

Project Name: Craven Property
Date: November 24, 2014
Site Area (SQ FT):
Lot Area (SQ FT):
Impervious Area (SQ FT):
Impervious Cover (%):

Post-Development Project & Land Cover Information

Category	A. Impervious	B. Sealed	C. Sealed	D. Sealed	Total
Impervious Area (SQ FT)	43	0.00	0.00	0.00	43
Sealed Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Impervious Cover (%)	0.00	0.00	0.00	0.00	0.00
Impervious Area (SQ FT)	0.41	0.00	0.00	0.00	0.41
Impervious Cover (%)	0.90	0.00	0.00	0.00	0.90

Category	A. Impervious	B. Sealed	C. Sealed	D. Sealed	Total
Impervious Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Sealed Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Impervious Cover (%)	0.00	0.00	0.00	0.00	0.00
Impervious Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Impervious Cover (%)	0.00	0.00	0.00	0.00	0.00

Category	A. Impervious	B. Sealed	C. Sealed	D. Sealed	Total
Impervious Area (SQ FT)	0.02	0.00	0.04	0.00	0.06
Sealed Area (SQ FT)	0.15	0.00	0.23	0.00	0.38
Impervious Cover (%)	0.05	0.00	0.08	0.00	0.13

Category	A. Impervious	B. Sealed	C. Sealed	D. Sealed	Total
Impervious Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Sealed Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Impervious Cover (%)	0.00	0.00	0.00	0.00	0.00
Impervious Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Impervious Cover (%)	0.00	0.00	0.00	0.00	0.00

Category	A. Impervious	B. Sealed	C. Sealed	D. Sealed	Total
Impervious Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Sealed Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Impervious Cover (%)	0.00	0.00	0.00	0.00	0.00
Impervious Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Impervious Cover (%)	0.00	0.00	0.00	0.00	0.00

Category	A. Impervious	B. Sealed	C. Sealed	D. Sealed	Total
Impervious Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Sealed Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Impervious Cover (%)	0.00	0.00	0.00	0.00	0.00
Impervious Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Impervious Cover (%)	0.00	0.00	0.00	0.00	0.00

Category	A. Impervious	B. Sealed	C. Sealed	D. Sealed	Total
Impervious Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Sealed Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Impervious Cover (%)	0.00	0.00	0.00	0.00	0.00
Impervious Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Impervious Cover (%)	0.00	0.00	0.00	0.00	0.00

Category	A. Impervious	B. Sealed	C. Sealed	D. Sealed	Total
Impervious Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Sealed Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Impervious Cover (%)	0.00	0.00	0.00	0.00	0.00
Impervious Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Impervious Cover (%)	0.00	0.00	0.00	0.00	0.00

Category	A. Impervious	B. Sealed	C. Sealed	D. Sealed	Total
Impervious Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Sealed Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Impervious Cover (%)	0.00	0.00	0.00	0.00	0.00
Impervious Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Impervious Cover (%)	0.00	0.00	0.00	0.00	0.00

Drainage Area A

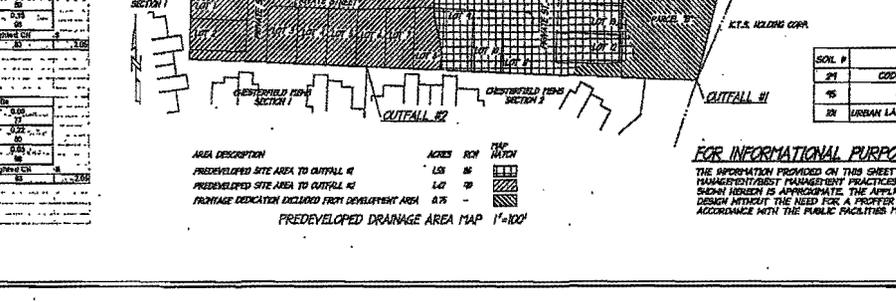
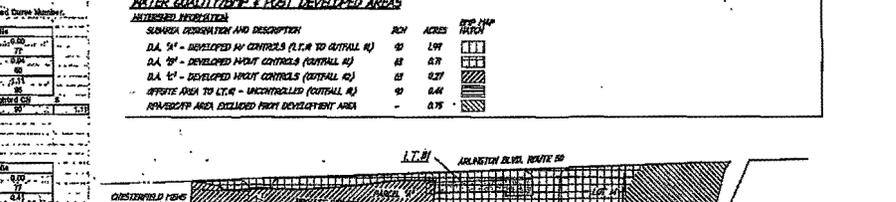
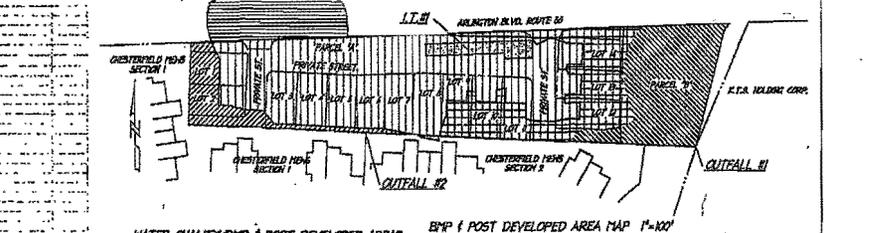
Category	A. Impervious	B. Sealed	C. Sealed	D. Sealed	Total
Impervious Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Sealed Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Impervious Cover (%)	0.00	0.00	0.00	0.00	0.00
Impervious Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Impervious Cover (%)	0.00	0.00	0.00	0.00	0.00

Apply Runoff Reduction Practices to Reduce Treatment Volume & Post-Development Load in Drainage Area A

Practice	Unit	Description of Credit	Credit	Drainage Area (Acres)	Volume from Practice (CU)	Percent Reduction (%)	Remaining Volume (CU)	Phosphorus Load from Practice (LBS)	Phosphorus Load to Practice (LBS)	Phosphorus Load from Practice (LBS)	Phosphorus Load to Practice (LBS)
T.A. Infiltration #1 (PT #1)	Impervious area	20% runoff volume reduction	0.50	0.00	0	0	0	0.00	0.00	0.00	0.00
T.A. Infiltration #2 (PT #2)	Impervious area	20% runoff volume reduction	0.50	1.11	0	0	0	0.00	0.00	0.00	0.00
T.A. Infiltration #3 (PT #3)	Impervious area	20% runoff volume reduction	0.50	1.11	0	0	0	0.00	0.00	0.00	0.00

Category	A. Impervious	B. Sealed	C. Sealed	D. Sealed	Total
Impervious Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Sealed Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Impervious Cover (%)	0.00	0.00	0.00	0.00	0.00
Impervious Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Impervious Cover (%)	0.00	0.00	0.00	0.00	0.00

Category	A. Impervious	B. Sealed	C. Sealed	D. Sealed	Total
Impervious Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Sealed Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Impervious Cover (%)	0.00	0.00	0.00	0.00	0.00
Impervious Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Impervious Cover (%)	0.00	0.00	0.00	0.00	0.00



DETENTION RELEASE RATES - OUTFALL #1

Category	A. Impervious	B. Sealed	C. Sealed	D. Sealed	Total
Impervious Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Sealed Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Impervious Cover (%)	0.00	0.00	0.00	0.00	0.00
Impervious Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Impervious Cover (%)	0.00	0.00	0.00	0.00	0.00

Category	A. Impervious	B. Sealed	C. Sealed	D. Sealed	Total
Impervious Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Sealed Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Impervious Cover (%)	0.00	0.00	0.00	0.00	0.00
Impervious Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Impervious Cover (%)	0.00	0.00	0.00	0.00	0.00

Category	A. Impervious	B. Sealed	C. Sealed	D. Sealed	Total
Impervious Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Sealed Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Impervious Cover (%)	0.00	0.00	0.00	0.00	0.00
Impervious Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Impervious Cover (%)	0.00	0.00	0.00	0.00	0.00

Category	A. Impervious	B. Sealed	C. Sealed	D. Sealed	Total
Impervious Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Sealed Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Impervious Cover (%)	0.00	0.00	0.00	0.00	0.00
Impervious Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Impervious Cover (%)	0.00	0.00	0.00	0.00	0.00

Category	A. Impervious	B. Sealed	C. Sealed	D. Sealed	Total
Impervious Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Sealed Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Impervious Cover (%)	0.00	0.00	0.00	0.00	0.00
Impervious Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Impervious Cover (%)	0.00	0.00	0.00	0.00	0.00

Category	A. Impervious	B. Sealed	C. Sealed	D. Sealed	Total
Impervious Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Sealed Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Impervious Cover (%)	0.00	0.00	0.00	0.00	0.00
Impervious Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Impervious Cover (%)	0.00	0.00	0.00	0.00	0.00

Category	A. Impervious	B. Sealed	C. Sealed	D. Sealed	Total
Impervious Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Sealed Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Impervious Cover (%)	0.00	0.00	0.00	0.00	0.00
Impervious Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Impervious Cover (%)	0.00	0.00	0.00	0.00	0.00

Category	A. Impervious	B. Sealed	C. Sealed	D. Sealed	Total
Impervious Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Sealed Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Impervious Cover (%)	0.00	0.00	0.00	0.00	0.00
Impervious Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Impervious Cover (%)	0.00	0.00	0.00	0.00	0.00

Category	A. Impervious	B. Sealed	C. Sealed	D. Sealed	Total
Impervious Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Sealed Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Impervious Cover (%)	0.00	0.00	0.00	0.00	0.00
Impervious Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Impervious Cover (%)	0.00	0.00	0.00	0.00	0.00

Category	A. Impervious	B. Sealed	C. Sealed	D. Sealed	Total
Impervious Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Sealed Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Impervious Cover (%)	0.00	0.00	0.00	0.00	0.00
Impervious Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Impervious Cover (%)	0.00	0.00	0.00	0.00	0.00

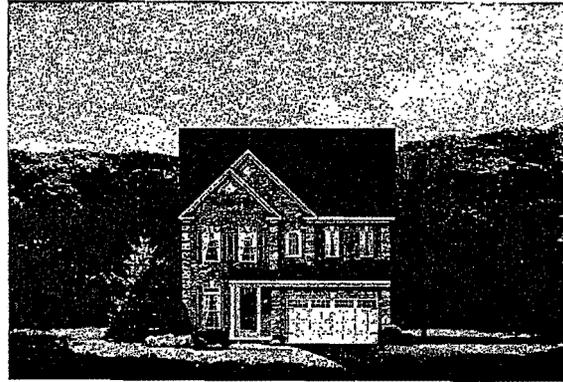
Category	A. Impervious	B. Sealed	C. Sealed	D. Sealed	Total
Impervious Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Sealed Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Impervious Cover (%)	0.00	0.00	0.00	0.00	0.00
Impervious Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Impervious Cover (%)	0.00	0.00	0.00	0.00	0.00

Category	A. Impervious	B. Sealed	C. Sealed	D. Sealed	Total
Impervious Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Sealed Area (SQ FT)	0.00	0.00	0.00	0.00	0.00
Impervious Cover (%)	0.00	0.00	0.00	0.00	0.00
Impervious Area (SQ FT)	0.00	0.00	0.0		

MCKINLEY ELEVATIONS



BRICK ELEVATION #1



BRICK ELEVATION #2



BRICK ELEVATION #3



STONE ELEVATION



CEMENTATIOUS SIDING ELEVATION



ELEVATIONS

CRAVEN PROPERTY

PROVIDENCE DISTRICT
FAYETTE COUNTY, VIRGINIA

DATE	BY	DESCRIPTION	APPROVED BY

I HEREBY CERTIFY THAT OTHER THAN THE REVISIONS SHOWN HEREON, NO OTHER CHANGES HAVE BEEN MADE.



SCALE
N/A

SHEET 12 of 12

DATE: JULY, 2013
DRAWN: [Name] CHECKED: [Name]
FILE NUMBER: [Number]



COUNTY OF FAIRFAX
Department of Planning and Zoning
Zoning Evaluation Division
 12055 Government Center Parkway, Suite 801
 Fairfax, VA 22035 (703) 324-1290, TTY 711
www.fairfaxcounty.gov/dpz/zoning/applications

*Applicant Name
Change Only*

APPLICATION No: RZ 2013-PR-014
 (Assigned by staff)

RECEIVED
 Department of Planning & Zoning
 DEC 12 2014
 Zoning Evaluation Division

APPLICATION FOR A REZONING
 (PLEASE TYPE or PRINT IN BLACK INK)

PETITION

TO: THE BOARD OF SUPERVISORS OF FAIRFAX COUNTY, VIRGINIA

I (We), Ausable, LLC, the applicant(s) petition you to adopt an ordinance amending the Zoning Map of Fairfax County, Virginia, by reclassifying from the R-1 District to the R-5 District the property described below and outlined in red on the Zoning Section Sheet(s) accompanying and made part of this application.

LEGAL DESCRIPTION:

Lee Blvd.			DB 03844	0150
Lot(s)	Block(s)	Subdivision	Deed Book	Page No.

TAX MAP DESCRIPTION:

48-4	1		44	3.72 acres
Map No.	Double Circle No.	Single Circle No.	Parcel(s)/Lot(s) No.	Total Acreage

POSTAL ADDRESS OF PROPERTY:

9023 Arlington Blvd., Fairfax VA 22031

ADVERTISING DISCRIPTION: (Example - North side of Lee Highway approx. 1000 feet west of its intersection with Newgate Blvd.)

On the south side of Arlington Blvd., approx. 1000 feet west of its intersection with Barkley Drive			
PRESENT USE:	Plant Nursery	PROPOSED USE:	SFD
MAGISTERIAL DISTRICT:	Providence	OVERLAY DISTRICT (S):	n/a

The name(s) and address(s) of owner(s) of record shall provided on the affidavit form attached and made part of this application. The undersigned has the power to authorize and does hereby authorize Fairfax County staff representative on official business to enter on the subject property as necessary to process the application.

Lori R. Greenlief
 Type or Print Name
 1750 Tysons Blvd. Ste 1800
 Mclean, VA 22102
 Address

L.R. Greenlief
 Signature of Applicant or Agent
 (Work) (703)712-5433 (Mobile)
 Telephone Number

Please provide name and telephone number of contact if different from above:

DO NOT WRITE BELOW THIS SPACE

Date application accepted: December 12, 2014 *Abraham... Leubert...* Fee Paid \$ _____



RZ 2013-PR-014

Zoning Application Closeout Summary Report

Printed: 5/20/2015

General Information

APPLICANT: AUSABLE, LLC
DECISION DATE: 05/12/2015
CRD: NO
HEARING BODY: BOS
SUPERVISOR DISTRICT:
ACTION: APPROVE
STAFF COORD: MICHAEL VAN ATTA
DECISION SUMMARY:
 ON MAY 12, 2015, THE BOARD UNANIMOUSLY APPROVED RZ 2013-PR-014 ON A MOTION BY SUPERVISOR SMYTH SUBJECT TO PROFFERS DATED APRIL 20, 2015.

Zoning Information

Existing Zoning		Proposed Zoning		Approved Zoning	
<u>DISTRICT</u>	<u>AREA</u>	<u>DISTRICT</u>	<u>AREA</u>	<u>DISTRICT</u>	<u>AREA</u>
R- 1	3.72 ACRES	R- 5	3.72 ACRES	R- 5	3.72 ACRES

Tax Map Numbers

048-4- /01/ /0044-

Approved Land Uses

Zoning District: R- 5

<u>LAND USE</u>	APPROVED RESIDENTIAL DEVELOPMENT		APPROVED NON-RESIDENTIAL DEVELOPMENT		
	<u>DWELLING</u> UNITS	<u>LAND AREA</u> ACRES	<u>NO. OF</u> <u>ADU'S</u>	<u>GFA</u>	<u>LAND AREA</u> ACRES
SFD	14	3.72 ACRES			
TOTAL	14	3.72 ACRES			

Approved Waivers/Modifications

WAIVE TRAIL REQUIREMENT
 WAIVE MINIMUM LOT AREA/WIDTH
 ...
 WAIVE SERVICE DRIVE REQUIREMENT
 WAIVE INTERPARCEL ACCESS
 WAIVE MINIMUM DISTRICT SIZE

Approved Supplemental Motions

CONCURRENT PROCESSING OF SITE/SUBDIVISION PLANS

Approved Proffers

PROFFER STATEMENT DATE: 04-20-2015

<u>PROFFER</u>	<u>DUE</u>	<u>TRIG #</u>	<u>TRIG EVENT</u>	<u>CONTRIB AMT</u>	<u>EXPIR. DTE</u>
NOISE ATTENUATION (STUDY / WALL)	01-01-0001	0	SITE PLAN	\$0	01-01-0001
RESOURCE PROTECTION AREA (RPA)	01-01-0001	0	N/A	\$0	01-01-0001
CONTRIBUTION / OTHER LAND USE	01-01-0001	1	RUP	\$0	01-01-0001
SIGNAGE	01-01-0001	0	N/A	\$0	01-01-0001
SERVICE DRIVE	01-01-0001	0	N/A	\$0	01-01-0001
PRIVATE STREET - STANDARDS	01-01-0001	0	N/A	\$0	01-01-0001
OTHER - TRANSPORTATION	01-01-0001	0	N/A	\$0	01-01-0001
ENERGY EFFICIENCY	01-01-0001	0	N/A	\$0	01-01-0001
OTHER - GENERAL	01-01-0001	0	N/A	\$0	01-01-0001
MINOR MODIFICATION	01-01-0001	0	N/A	\$0	01-01-0001
DEDICATION - HOA OPEN SPACE - RECREATION	01-01-0001	0	AT BONDING	\$0	01-01-0001
LANDSCAPING - ENVIRONMENT	01-01-0001	0	N/A	\$0	01-01-0001
LIMITS OF CLEARING AND GRADING	01-01-0001	0	N/A	\$0	01-01-0001
TREE PRESERVATION / SURVEY	01-01-0001	0	N/A	\$0	01-01-0001
DENSITY / DWELLING UNITS PER ACRE (DU/AC)	01-01-0001	0	N/A	\$0	01-01-0001
HOA NOTIFICATION / DISCLOSURE	01-01-0001	0	N/A	\$0	01-01-0001
CONSTRUCTION - HOURS / NOISE	01-01-0001	0	N/A	\$0	01-01-0001
HOA ESTABLISH	01-01-0001	0	N/A	\$0	01-01-0001
ARCHITECTURE / BUILDING MATERIALS / COLORS	01-01-0001	0	N/A	\$0	01-01-0001
RIGHT OF WAY - DEDICATION	01-01-0001	0	SITE PLAN	\$0	01-01-0001
REMOVE FILL	01-01-0001	0	SUBDIV PLAN	\$0	01-01-0001
WELLS	01-01-0001	0	N/A	\$0	01-01-0001
PROFFERED PLANS	01-01-0001	0	N/A	\$0	01-01-0001
PEDESTRIAN IMPROVEMENTS (CROSSWALKS /BRIDGES /SIGNALS)	01-01-0001	0	N/A	\$0	01-01-0001
BEST MANAGEMENT PRACTICES (BMP)	01-01-0001	0	N/A	\$0	01-01-0001
OFF-SITE CONTRIBUTION - RECREATION	01-01-0001	1	RUP	\$0	01-01-0001
OFF-SITE IMPROVEMENTS - TRANSPORTATION	01-01-0001	0	N/A	\$0	01-01-0001
ACCESS EASEMENTS - TRANSPORTATION	01-01-0001	0	N/A	\$0	01-01-0001
LANDSCAPE PLAN REQUIRED	01-01-0001	0	SUBDIV PLAN	\$0	01-01-0001
TREE PRESERVATION / SURVEY	01-01-0001	0	SITE PLAN	\$0	01-01-0001
GEOTECHNICAL REVIEW	01-01-0001	0	SITE PLAN	\$0	01-01-0001
HOUSING TRUST FUND	01-01-0001	1	BLDG PRMT APRV	\$0	01-01-0001
CONTRIBUTION - SCHOOLS	01-01-0001	1	RUP	\$0	01-01-0001
BUS STOP / SHELTER / MAINTENANCE	01-01-0001	0	N/A	\$0	01-01-0001
ENVIRONMENTAL ASSESSMENT / REMEDIATION	01-01-0001	0	N/A	\$0	01-01-0001



RECEIVED
Department of Planning & Zoning

AUG 01 2013

Zoning Evaluation Division

Metes and Bounds Description

The property of

Paul Craven

and

Nancy Craven

Deed Book 3844 Page 150

Providence Transportation District

Fairfax County, Virginia

Beginning at a point in the northern right of way line of Arlington Boulevard, Route # 50, variable width right of way, said point being the northeasterly corner of Parcel "B", Chesterfield Mews, Section 1, deed book 4242, page 231; thence departing Parcel "B" and running with Arlington Boulevard the following two (2) courses and distances, North 88°04'11" East, 431.87 feet to a point; thence North 88°05'31" East, 516.99 feet to the point, said point being an apparent gore to the northwest corner of the property of K.T.S. Holding Corp., deed book 3671, page 595; thence departing Arlington Boulevard and running with the apparent gore to the property of K.T.S. Holding Corp. the following two (2) courses and distances, South 36°16'21" West, 15.82 feet to a point; thence South 14°25'01" West, 205.22 feet to a point, said point being a corner to the property of K.T.S. Holding Corp., said point also being the northeasterly corner of Parcel "D", the property of the Fairfax County Park Authority; thence departing the property of K.T.S. Holding Corp., and running with Parcel "D", and continuing with Parcel "C", Chesterfield Mews, Section 2, deed book 4574, page 569 and further continuing with Parcel "B", Chesterfield Mews, Section 1, deed book 4242, page 231, the following two (2) courses and distances, North 87°32'09" West, 893.47 feet to a point; thence North 01°55'51" East, 141.42 feet to the point of beginning in the northerly right of way line of the aforementioned Arlington Boulevard, containing 161,944 square feet, or 3.71772 acres of land, more or less.

This metes and bounds description is for rezoning purposes only.