



County of Fairfax, Virginia

To protect and enrich the quality of life for the people, neighborhoods and diverse communities of Fairfax County

November 19, 2014

Elizabeth D. Baker
Walsh, Colucci, Lubeley & Walsh, P.C.
2200 Clarendon Boulevard, 13th Floor
Arlington, VA 22201

RECEIVED
Department of Planning & Zoning

JUL 02 2015

Zoning Evaluation Division

RE: Rezoning Application RZ 2013-PR-009

Dear Ms. Baker:

Enclosed you will find a copy of an Ordinance adopted by the Board of Supervisors at a regular meeting held on November 18, 2014, granting Rezoning Application RZ 2013-PR-009 in the name of the Tysons Westpark, L.C. The Board's action rezones certain property in the Providence District from the C-7, HC and SC Districts to the PTC, HC and SC Districts to permit mixed use development with an overall floor area ratio (FAR) up to 6.37 to approve the conceptual plans, and to approve waiver # 826-WPFM-002-1 to permit the location of underground storm water management facilities in a residential development. The subject property is located in the the S.E. quadrant of the intersection of Leesburg Pike and Westpark Drive on approximately 5.37 acres of land, [Tax Map 29-3 ((15)) 8], subject to the proffers dated October 23, 2014.

Please note that on October 23, 2014, the Planning Commission approved Final Development Plan Application FDP 2013-PR-009.

The Board also:

- Waived Section 2-505 of the Zoning Ordinance to permit structures and vegetation on a corner lot as shown on the Conceptual Development Plan/Final Development Plan (CDP/FDP)
- Waived Paragraph 7 of Section 6-505 of the Zoning Ordinance requiring the designation of specific outdoor dining areas on the CDP to that as contained in the proffers

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- Waived Paragraph 1 of Section 6-506 to allow a district size of less than 10 acres for an application
- Modified Paragraph 3E of Section 10-104 to permit a maximum fence height of eight feet around outdoor recreational courts/fields shown on an FDP
- Modified Section 11-201 and 11-203 of the Zoning Ordinance to permit a reduction in the required number of loading spaces to that shown on the CDP/FDP.
- Modified Paragraph 12 of Section 11-102 and Paragraph 1 of Section 6509 of the Zoning Ordinance to allow for tandem spaces and valet spaces controlled by building management to count towards required parking specified in the Zoning Ordinance
- Modified Paragraph 4 of Section 11-202 of the Zoning Ordinance requiring a minimum distance of 40 feet of a loading space in proximity to drive aisles, to that shown on the CDP/FDP
- Waived Section 11-302 of the Zoning Ordinance to allow a private street to exceed 600 feet in length as shown on the CDP.
- Waived the service drive requirement along Leesburg Pike
- Modified Section 17-201 of the Zoning Ordinance to permit the streetscape and on-road bike lane system shown on the CDP/FDP in place of any trails and bike trails shown for the subject property on the Comprehensive Plan
- Waived Paragraph 3 of Section 17-201 of the Zoning Ordinance to provide any additional interparcel connections to adjacent parcels beyond that shown on the CDP/FDP and as proffered
- Waived Paragraph 4 of Section 17-201 of the Zoning Ordinance requiring any further dedication, construction, or widening of existing roads beyond that which is indicated on the CDP/FDP and proffers.
- Waived Paragraph 7 of Section 17-201 of the Zoning Ordinance to permit the applicant to establish parking control signs and parking meters along private streets within and adjacent to the development
- Modified Section 12-0508 of the PFM to allow for tree preservation target deviations as justified by PFM 12-0508.3A(1) and 3A(3)

- Modified Section 12-0510 of the PFM to permit trees located in rights-of-way and easements to count toward the 10-year tree canopy requirement subject to the proffered replacement provisions
- Approved a waiver to allow the use of underground stormwater management and best management practices in a residential development (826-WPFM-002-1) subject to the conditions dated August 26, 2014, contained in Attachment A of Appendix 11 of the staff report

Sincerely,



Catherine A. Chianese
Clerk to the Board of Supervisors

Cc: Chairman Sharon Bulova
Supervisor Linda Smyth, Providence District
Tim Shirocky, Acting Director, Real Estate Division, Dept. of Tax Administration
Barbara Berlin, Director, Zoning Evaluation Division, DPZ
Diane Johnson-Quinn, Deputy Zoning Administrator, Dept. of Planning and Zoning
Thomas Conry, Dept. Manager – GIS - Mapping/Overlay
Michael Davis, Section Chief, Transportation Planning Division
Donald Stephens, Transportation Planning Division
Department of Highways-VDOT
Sandy Stallman, Park Planning Branch Manager, FCPA
Charlene Fuhrman-Schulz, Development Officer, DHCD/Design Development Division
Jill Cooper, Executive Director, Planning Commission
Ajay Rawat, Coordinator, Facilities Planning, Fairfax County Public Schools
Karyn Moreland, Chief Capital Projects Sections, Dept. of Transportation

At a regular meeting of the Board of Supervisors of Fairfax County, Virginia, held in the Board Auditorium in the Government Center at Fairfax, Virginia, on the 18th day of November, 2014, the following ordinance was adopted:

**AN ORDINANCE AMENDING THE ZONING ORDINANCE
PROPOSAL NUMBER RZ 2013-PR-009**

WHEREAS, Tysons Westpark L.C., filed in the proper form an application requesting the zoning of a certain parcel of land herein after described, from the C-7, HC and SC Districts to the PTC, HC and SC Districts, and

WHEREAS, at a duly called public hearing the Planning Commission considered the application and the propriety of amending the Zoning Ordinance in accordance therewith, and thereafter did submit to this Board its recommendation, and

WHEREAS, this Board has today held a duly called public hearing and after due consideration of the reports, recommendation, testimony and facts pertinent to the proposed amendment, the Board is of the opinion that the Ordinance should be amended,

NOW, THEREFORE, BE IT ORDAINED, that that certain parcel of land situated in the Providence District, and more particularly described as follows (see attached legal description):

Be, and hereby is, zoned to the PTC, HC and SC Districts, and said property is subject to the use regulations of said PTC, HC and SC Districts, and further restricted by the conditions proffered and accepted pursuant to Va. Code Ann., 15.2-2303(a), which conditions are in addition to the Zoning Ordinance regulations applicable to said parcel, and

BE IT FURTHER ENACTED, that the boundaries of the Zoning Map heretofore adopted as a part of the Zoning Ordinance be, and they hereby are, amended in accordance with this enactment, and that said zoning map shall annotate and incorporate by reference the additional conditions governing said parcel.

GIVEN under my hand this 18th day of November, 2014.



Catherine A. Chianese
Clerk to the Board of Supervisors

Tysons Westpark, LC
RZ 2013-PR-009
Table of Contents
October 23, 2014

GENERAL	1
1. Conceptual Development Plan.	1
2. Minor Modifications.	1
3. Declarations/Owners Associations.	1
PROPOSED DEVELOPMENT	2
4. Existing and Interim Development.	2
5. Proposed Development.	2
6. Final Development Plans.	3
7. Development Phasing.	4
8. Fire Marshal Evaluation.	5
ARCHITECTURAL AND URBAN DESIGN	5
9. Activated Streetscapes and Ground Floor Elements.	5
10. Architecture.	8
11. Building Height.	9
12. Telecommunications Equipment.	9
BUILDING PRACTICES	9
13. Residential Building Certifications.	9
14. Non-Residential Building Certifications.	12
15. Energy Sustainability.	14
16. Noise Attenuation.	14
17. Notification of Exterior Noise Levels.	16
18. Bird-Friendly Design Elements.	16
SITE DESIGN AND AMENITIES	16
19. Conceptual Landscape Plan.	16
20. Streetscaping.	17
21. Interim Conditions and Standards.	21
TRANSPORTATION IMPROVEMENTS	22
22. Grid of Streets.	22
23. Westpark Drive.	24
24. Park Avenue.	24
25. Madison Street.	25
26. Traffic Signals.	26
27. Tysons Grid of Streets Transportation Fund.	27
28. Tysons-wide Transportation Fund.	27
29. Route 7 Improvement.	27
BICYCLE FACILITIES, BUS SHELTERS AND PEDESTRIAN IMPROVEMENTS	28
30. Bicycle Circulation.	28
31. Bicycle Parking.	28

32.	Bus Shelters.....	28
33.	Marked Crosswalks.....	28
34.	Initial Pedestrian Connection.....	28
PARKING		28
35.	Zoning Ordinance Requirements.....	28
36.	Phasing of Parking.....	29
37.	Commercial Off-Street Parking.....	29
38.	Parking Spaces along Private Street.....	29
39.	Parking Stipulations.....	29
40.	Future Parking Revisions.....	30
TRANSPORTATION DEMAND MANAGEMENT		30
41.	Tysons Transportation Management Association.....	30
42.	Transportation Demand Management.....	30
43.	Transportation Demand Management for Retail/Service/Hotel Uses.....	40
44.	Intelligent Transportation Systems.....	41
AFFORDABLE/WORKFORCE HOUSING.....		41
45.	Affordable Dwelling Units.....	41
46.	Workforce Dwelling Units.....	41
47.	Non-Residential Contribution for Workforce Housing.....	42
PARKS AND RECREATIONAL FACILITIES		42
48.	Publicly Accessible Parks.....	42
49.	Private Park Space.....	44
50.	Amenities and Facilities for Residents.....	44
51.	Athletic Field Contribution.....	44
PUBLIC FACILITIES.....		45
52.	Public Facility- Library Space.....	45
53.	Public School Contribution.....	46
STORMWATER MANAGEMENT		46
54.	Stormwater Management.....	46
55.	Tree Replacement.....	48
MISCELLANEOUS.....		48
56.	Tree Preservation and Planting Fund Contribution.....	48
57.	Metrorail Tax District Buyout for Certain Residential Uses.....	48
58.	Condemnation Procedures.....	49
59.	Zoning Administrator Consideration.....	49
60.	Adjustment in Contribution Amounts.....	50
61.	Advanced Density Credit.....	50
62.	Severability.....	50
63.	Successors and Assigns.....	50
64.	Counterparts.....	50

PROFFERS

Tysons Westpark, LC

RZ 2013-PR-009

October 23, 2014

Pursuant to Section 15.2-2303(A) of the Code of Virginia, 1950, as amended, and Section 18-204 of the Zoning Ordinance of Fairfax County 1978, as amended (hereinafter referred to as the "Zoning Ordinance"), the property owner and Applicant, for itself and its successors and/or assigns (hereinafter referred to as the "Applicant"), hereby proffer that the development of the parcels under consideration and shown on the Fairfax County tax maps as Tax Map 29-3 ((15)) 8 (the "Property") shall be in accordance with the following conditions if, and only if, Rezoning application 2013-PR-009 (this "Rezoning") is granted.

GENERAL

1. Conceptual Development Plan. The Property shall be developed in substantial conformance with certain elements of the Westpark Plaza Conceptual Development Plan ("CDP") dated April 4, 2013 as revised through October 1, 2014, prepared by Walter L. Phillips, Inc., MTF Architecture, Inc. and LandDesign, Inc. The proffered elements of the CDP are limited to the grid of streets, general location of the points of access, the general location of the buildings and build-to-lines, the maximum gross floor area ("GFA"), the mix of uses, minimum and maximum building heights, the general quality and character of the streetscape, the amount and general location of urban park land, and only a future amendment to such elements shall require a subsequent Conceptual Development Plan Amendment ("CDPA") or Proffered Condition Amendment ("PCA"). Other elements of the CDP may be adjusted or modified with approval of future Final Development Plans ("FDPs") in accordance with the provisions set forth in Section 16-402 of the Zoning Ordinance.
2. Minor Modifications. Minor modifications to the proffered elements of the CDP may be permitted when necessitated by sound engineering or that may become necessary as part of FDP approval or final site design or engineering, pursuant to Section 16-403(4) of the Zoning Ordinance.
3. Declarations/Owners Associations. The Applicant shall cause the recordation of one or more declarations creating an umbrella owners' association ("UOA") and as necessary, condominium owners' associations ("COA") or declarations of covenants and agreements dealing with the governance of maintenance and operation of the Property or other governance documents which will legally bind the Property, (collectively referred to as the "Governance Documents"). Such Governance Documents shall be prepared, be legally effective and recorded prior to the issuance of the first Non-Residential Use Permit ("Non-RUP") or Residential Use Permit ("RUP") for new construction on the Property. The respective Governance Documents (including budgets provided in any offering or sale materials) shall specify the various proffer and maintenance obligations

set forth in these Proffers, including the maintenance of certain streets, associated sidewalks and streetscapes, and site amenities such as, but not limited to, the publicly accessible park areas as well as funding, implementation and monitoring of the TDM program. Purchasers shall be advised in writing of these obligations, and other restrictions, prior to entering into a contract of sale, whether purchasing residential or commercial property.

PROPOSED DEVELOPMENT

4. Existing and Interim Development.

- A. The Property is developed with the existing Westpark Hotel which contains approximately the 158,921 square feet of gross floor area ("GFA") and surface parking lots (collectively, the "Existing Development"). The Existing Development is shown on Sheet P.201 and may remain in operation in its current form. The Applicant may make minor modifications to the Existing Development (which may require site plan approvals and building permits) and make interior and exterior improvements to, the Existing Development shown on Sheet P.201 without the need for a CDPA or FDP.
- B. Any use permitted in the PTC District may also be permitted as an interim use in the existing building subject to the Use Limitations in Section 6-505 of the Zoning Ordinance, as may be modified or waived.
- C. Commercial off-street parking may be provided on an interim basis in the existing parking areas on the Property without approval of an FDP as described in Proffer 37.

5. Proposed Development.

- A. The maximum gross floor area ("GFA") permitted on the Property is 1,489,500 square feet (the "Proposed Development"). The primary uses on the Property shall be residential and hotel. Retail/Service uses shall be ancillary uses. The GFA of the various uses within each building shall not be less than the minimum GFA or greater than the maximum GFA identified for each building in the development tabulations on Sheet P.102 of the CDP (the "Development Tabulations").
- B. Retail/Service use as identified in the Development Tabulations may include any non-residential use permitted by-right, by special exception or by special permit in the PTC District, as limited by Section 6-505 "use limitations," or uses accessory to the primary uses. Such Retail/Service uses shall be located as generally shown on Sheets A.102 and A.103 of the CDP as may be refined and adjusted with the FDP for each building as further described in Proffer 6 and shall be designed with entry doors on the ground floor to activate the streetscape.
- C. Uses allowed by special exception or special permit in the PTC District may be authorized through a separate special exception or special permit process without the need for a PCA or CDPA, as determined by the Zoning Administrator.

6. Final Development Plans. FDPs approved for individual building sites on the Property shall establish the maximum GFA and the minimum and maximum number of residential units for each building within the limits established by these Proffers and the CDP. The specific GFA and/or number of residential units for each building shall be established at final site plan. If the GFA or number of units approved with the FDP is less than the maximum shown on the CDP, the excess GFA may be utilized in another building or building(s) on the Property, provided: 1) the excess GFA or units can be accommodated within the maximum building height(s) for the building shown on the CDP; 2) the minimum building height for the building providing the excess GFA or dwelling units as shown on the CDP is maintained; and 3) FDP(s) or FDPA(s) for the building(s) transferring and utilizing the excess GFA are approved. In addition, the following information shall be provided with each FDP.
- A. Tabulation. A tabulation indicating the development status of all property subject to this Rezoning to include a listing of all proposed buildings, along with the GFA uses, and parking approved on the CDP, FDP and site plan as may be applicable. The tabulation shall identify the reassignment of any excess GFA (as compared with what was originally shown on the applicable CDP) and shall be updated with each subsequent FDP and site plan approved for the Property.
 - B. Tree Canopy Calculations. A tabulation indicating the tree canopy calculations of all property subject to this rezoning to be updated with each subsequent FDP, FDPA and site plan approved for the Property.
 - C. TDM Supplement. A copy of the previous TDM Annual Report, if available, to determine progress toward attaining TDM goals and any planned modifications to the TDM program.
 - D. Functional Drawings/Sight Distance. Functional drawings to include the proposed right-of-way lines associated with public streets, vehicular sight distance lines at all intersections within, and adjacent to, the FDP area overlaid on the Landscape Plan; and details with respect to utilities and/or vegetation conflicts with building entrances and/or intersections as presented on the CDP.
 - E. Utilities. Approximate location of existing and proposed utilities to serve the area of the FDP overlaid on the Landscape Plan including the location of the any electrical vaults, stormwater management facilities and associated maintenance access points.
 - F. Proposed Uses. A list of proposed uses and demonstration of how such uses meet the applicable "Use Limitations" of Section 6-505 of the Zoning Ordinance.
 - G. Architectural Elements. Specific information on architectural elements, build-to lines and building heights as provided in Proffers 10 and 11.
 - H. Build-to-Lines. Refinement of the build-to-lines based on proposed uses, location of possible outdoor dining areas, and identification of awnings and canopies that extend beyond the building zone

- I. Streetscape. A graphic depiction of, and any adjustments to, the activated streetscape elements as provided in Proffer 9 and refinement of, and adjustments to, streetscape elements as provided in Proffer 20.
 - J. Garage Treatments. Proposed parking garage façade treatments as provided in Proffer 10.
 - K. Landscaping. Detailed landscape plans as provided in Proffer 19.
 - L. Streetscape Furnishings. Submission of a "Streetscape Furnishing and Materials Plan" as provided in Proffer 20.
 - M. Interim Conditions. Identification of specific proposed interim conditions within the FDP area and outside the FDP area.
 - N. Phasing. Identification of specific proposed phased improvements in accordance with Proffer 7.
 - O. Parks and Recreation. For on-site parks and active recreation facilities, depiction of special amenity features as provided in Proffer 48.
 - P. Provisions for Bicycles and Buses. Bicycle parking, storage and bicycle lane dimensions as provided in Proffers 30 and 31, and location and design of bus shelter(s), if any.
 - Q. Parking Spaces. Refinement of the number of parking spaces as provided in Proffer 35.
 - R. Stormwater Management. Identification of specific stormwater management facilities as provided in Proffer 54 and calculations of an FDP's implementation of the Comprehensive Plan goals for the project stormwater boundary and rainfall depth retained or reused onsite for the project stormwater boundary as shown on the CDP, accounting for previously approved FDP's on the Property.
 - S. Fencing. Identification of proposed fencing, screening or barriers serving active recreational uses on roofs and adjacent to streets that exceed seven (7) feet in height.
7. Development Phasing. The Proposed Development includes three (3) buildings, which are identified on the CDP as Buildings D1, D2 and D3. Building D1 shall be constructed first. Development of Buildings D2 and D3 may proceed in any order provided that each such building provides the phasing conditions depicted on the Sheets L.013 and L.013A (the "Phasing Sheets") and that all proffers that apply to such building are addressed with the redevelopment of that building. Where a proffer establishes an obligation that applies to a building, reference to "Applicant" in such proffer shall mean the party undertaking the development of such building.

The Applicant shall construct the grid of streets and provide pedestrian improvements, public parks, and public facilities on the Property in conjunction with the redevelopment of each individual building in accordance with the Phasing Sheets as further described in these Proffers. In addition, interim improvements as outlined in Proffer 21 and as may be determined at time of FDP approval shall be provided commensurate with the construction of each building. Adjustments to the phasing may be approved with FDP approvals without the requirement for a PCA or CDPA, provided the adjustments do not materially adversely affect the other phases.

For purposes of these Proffers "construct" shall mean that: i) a committed road improvement is substantially complete and is available for use by the public for travel whether or not the improvement has been accepted for maintenance by the state, and ii) a committed publicly accessible park space improvement is substantially complete and open to use by the public for use whether or not the improvement has been accepted by Fairfax County (the "County") or the Fairfax County Park Authority ("FCPA").

8. Fire Marshal Evaluation. The Applicant has coordinated the layouts depicted on the CDP with the Fire Marshal. Further changes to the CDP and future FDPs shall be permitted without the requirement for a PCA, CDPA and/or FDPA in response to the review of site plans by the Fire Marshal, including adjustments to the streetscape and perimeter building areas as necessary to allow for required emergency vehicle access, provided such modifications are made in consultation with the Department of Planning and Zoning ("DPZ"), the Fairfax County Department of Transportation ("FCDOT") and the Office of Community Revitalization ("OCR") and are in substantial conformance with the intent of the CDP, future FDPs and these Proffers.

ARCHITECTURAL AND URBAN DESIGN

9. Activated Streetscapes and Ground Floor Elements. Activated streetscapes shall be provided by designing and constructing streetscapes and exterior facades of ground floor areas adjacent to streets as generally described below. The provision of the referenced streetscape elements are subject to approval by VDOT and permission by the various entities controlling existing utility easements. Modifications and further refinements may be permitted with the approval of FDPs.
 - A. Route 7 shall be designed with:
 - (i) a generally continuous open landscape amenity panel adjacent to Route 7 a minimum of eight (8) feet in width, with street trees and areas for bike racks;
 - (ii) a minimum ten (10) foot wide clear pedestrian sidewalk;
 - (iii) a building zone a minimum of fifteen (15) feet wide, with a second row of street trees located in alternating raised planters and tree grates;
 - (iv) retention of the existing street lights adjacent to the curb;

- (v) the ground floors of Buildings D1 and D3 having a minimum floor to floor height of 15 feet to accommodate service commercial, retail, office and/or residential amenity uses where such uses are shown on the CDP;
- (vi) where Building D3 fronts Route 7 near Westpark Drive, display windows shall activate the streetscape;
- (vii) commercial entries and/or commercial lobbies with recessed and/or welcoming entries incorporating awnings or canopies as appropriate;
- (viii) functioning entry doors into such applicable uses with a maximum separation of 100 feet or greater if shown on an approved FDP or as may be permitted by the Zoning Administrator;
- (ix) a minimum of 50% transparent glazing of the street wall up to a height of 12 feet above the adjacent sidewalk with building entrance openings and display windows considered to meet a portion of the transparency guidelines;
- (x) the above grade garage between Buildings D1 and D3 shall incorporate amenity uses visible through transparent glazing above the ground level Retail/Service uses;
- (xi) a public elevator and park identification signage between Buildings D1 and D3 providing pedestrians access to the upper level public park; and
- (xii) a landscaped/hardscaped plaza (Dittmar Gateway Plaza) at the corner of Route 7 and Westpark Drive as conceptually shown on Sheets L.002 and L.004 of the CDP. A substantial portion of this plaza area is located within VDOT controlled excess right-of-way and its use and design is subject to approval from VDOT.

B. Westpark Drive between Route 7 and Park Avenue shall be designed with:

- (i) a generally continuous open landscape amenity panel adjacent to Westpark Drive a minimum of eight (8) feet in width, including street trees and medium sized deciduous and evergreen shrubs to provide separation from the travel lanes;
- (ii) a minimum eight (8) foot wide clear pedestrian sidewalk;
- (iii) a variable width building zone (minimum four (4) feet in width) that will provide additional hardscape adjacent to ground floor retail/service tenants and landscaped areas adjacent to residential uses;
- (iv) service commercial, retail, office and/or residential amenity uses at the corner of Westpark Drive and Park Avenue with a minimum of 40% transparent glazing up to a height of 12 feet above the adjacent sidewalk

and building entrance openings be considered to meet a portion of the transparency guidelines;

- (v) a public stairway and park identification signage between Buildings D2 and D3 directing pedestrians to the upper level public park; and
- (vi) if any individual residential units have direct access to the streetscape, they shall utilize design features to provide interior privacy (such as by having a ground floor elevation above the sidewalk grade).

Notwithstanding that an underground electric vault is shown extending into the proposed right-of way on Sheets P.301 and P.303 of the CDP, no part of an electric vault shall be located within the proposed right-of way.

C. Park Avenue from Westpark Drive to Madison Street shall be designed with:

- (i) a minimum eight (8) foot wide landscape amenity panel;
- (ii) a minimum eight (8) foot wide clear pedestrian sidewalk;
- (iii) a variable width building zone (all a minimum four (4) feet in width) adjacent to buildings (not park spaces) that provides additional hardscape adjacent to ground floor retail/service/office tenants and hardscape/landscaped areas adjacent to residential uses;
- (iv) the ground floor of Building D2 shall have a minimum floor to floor height of 15 feet and a minimum 40% transparent glazing of the street wall up to a height of 12 feet above the adjacent sidewalk with building entrance openings considered to meet a portion of the transparency requirements with a portion of the transparency to include a two story atrium providing a visual connection between the Park Avenue sidewalk and the Neighborhood Park (as generally depicted on the CDP); and
- (v) a landscaped/hardscaped plaza (Civic Square) at the corner of Park Avenue and Madison Street as conceptually shown on Sheets L.002 and L.004 of the CDP.

D. Madison Street shall be designed with:

- (i) a minimum six (6) foot wide landscape amenity panel;
- (ii) a minimum six (6) foot wide clear pedestrian sidewalk;
- (iii) a variable width building zone (all a minimum four (4) feet in width) adjacent to buildings (not park spaces) that will provide additional hardscape adjacent to ground floor residential lobby/amenity uses and landscaped areas adjacent to residential uses;

- (iv) residential lobby/amenity uses as shown on the CDP with a minimum of 40% of the lobby/amenity façades constructed with transparent glazing up to a height of 12 feet above the adjacent sidewalk with building entrance openings considered to meet a portion of the transparency requirements;
 - (v) residential facades to include a percentage of transparent glazed facades typical of windows required for dwelling units;
 - (vi) if any individual residential units have direct access to the streetscape, they shall utilize design features to provide interior privacy (such as by having a ground floor elevation above the sidewalk grade);
 - (vii) loading/trash/service areas located within the parking structure thereby eliminating public views of such areas from streets; and
 - (viii) screening of the above grade parking structures with a combination of architectural systems designed to limit or block views into the garage spaces, changes in topography and/or extensive landscaping, with details provided at FDP.
- E. Prior to the issuance of the first RUP or Non-RUP for the Property, the Applicant shall designate an employee to manage the loading operations for Buildings D1, D2 and D3 for the purpose of minimizing loading conflicts with pedestrian and vehicular movements and keeping the loading/trash/service areas clean and well maintained at all times.

10. Architecture.

- A. The architectural treatment of all buildings within the Proposed Development shall create a sense of identity and place, and shall create human scale through the use of unifying elements such as materials, textures, color, window treatments, decorative details, lighting, and landscaping as generally illustrated on the CDP. Buildings shall be designed with high quality architecture and building materials that, at the time an individual FDP is approved, are typically used on the exterior residential, retail and hotel buildings of a high quality. FDPs shall include specific design information on building materials, architecture, and specific features designed to activate streetscapes. A minimum of 10 percent (10%) of all dwelling units shall be designed and constructed with some Universal Design features, as determined by the Applicant.
- B. Build-to-lines (“BTL”) have been established as depicted on the CDP, to create an urban, pedestrian-oriented environment where buildings are located close to the street and pedestrian/streetscape areas are located between the buildings and the streets. In general, building facades are intended to be configured in such a way as to provide a continuous street wall along this line, but modifications to either side of the BTL shall be permitted provided such are in general conformance with the CDP and are shown on an approved FDP. Awnings and other architectural canopies attached to the building frontage that project out from the BTLs shall not

extend beyond the building zone, except as may be shown on an approved FDP. At the time of FDP approval, the Applicant shall identify possible locations along the street level for expanded areas for outdoor dining adjacent to cafes and restaurants and shall provide appropriate building zones for such uses, such that these outdoor dining areas do not encroach into the sidewalk.

- C. New above grade parking structures shall either (1) incorporate Retail/Service uses, residential dwellings or associated amenity spaces, hotel uses, offices or public uses, among other uses at the ground level as depicted on the CDP; or (2) be architecturally treated; or (3) utilize landscaping/green screening or decorative material to screen the garage areas from street view. Alternate garage façade treatments may be permitted with FDP approval.

- 11. Building Height. Building heights, as measured from the average grade, shall not be less than the minimum heights or greater than the maximum heights identified for each building in the Development Tabulations. Building heights provided in the Development Tabulations include rooftop structures that are typically excluded from the maximum height regulations as set forth in Sect. 2-506 of the Zoning Ordinance, such as penthouses and architectural design elements. Buildings D1 and D2 shall each incorporate an architectural feature adjacent to the Civic Square which will be the tallest element of each building, as well as two additional tower elements, one lower than the other, in order to provide height variation as generally shown on Sheet A.101. Building heights shall be refined with each FDP and the final heights shall be determined at the time of site plan approval. All building penthouses and rooftop structures shall be integrated into the architecture of the building, and the height and extent of any rooftop penthouse or architectural feature shall be provided on the FDP.

- 12. Telecommunications Equipment. Telecommunications equipment may be placed on the proposed residential and hotel buildings' rooftops. Any such facilities must comply with the applicable requirements of the Zoning Ordinance and be screened and/or setback sufficiently from the perimeter of the roof and penthouse such that they are not visible from the surrounding streets at street level. Other screening measures may be used such as including the facilities as part of the architecture of the buildings, utilizing compatible colors, or employing telecommunication screening material and flush mounted antennas.

BUILDING PRACTICES

- 13. Residential Building Certifications.

- A. The Applicant shall include, as part of the building plan submission(s) for residential Buildings D1 and D2, a list of specific credits within the most current version of the U.S. Green Building Council's Leadership in Energy and Environmental Design New Construction (LEED-NC) rating system or LEED for Homes rating system at the time of the project's registration, or other LEED rating system determined to be applicable by the U.S. Green Building Council (USGBC), or its equivalent (as determined by the Applicant and the County), that the Applicant anticipates attaining. All references herein to LEED-NC include

both LEED-NC or its equivalent as determined by the Applicant and the County and all references to USGBC include the applicable equivalent agency.

Except as otherwise provided below in Paragraph E as an alternative, a LEED or equivalent-accredited professional (the "LEED-AP") who is also a professional engineer or architect shall provide certification statements at the time of building plan review confirming that the items on the list will meet at least the minimum number of credits necessary to attain LEED-NC certification of the building

- B. Prior to site plan approval, the Applicant shall designate the Chief of the Environment and Development Review Branch ("EDRB") of DPZ as a team member in the USGBC's LEED Online system, if available for the rating system selected. This team member will have privileges to review the project status and monitor the progress of all documents submitted by the project team, but will not be assigned responsibility for any LEED credits and will not be provided with the authority to modify any documentation or paperwork.
- C. Prior to the building plan approval for the building to be constructed, the Applicant shall post a "green building escrow" in the form of cash or a letter(s) of credit from a financial institution acceptable to the Department of Public Works and Environmental Services ("DPWES") as defined in the Fairfax County Public Facilities Manual ("PFM"), in the amount of \$2.00/square foot of GFA, as shown on the approved site plan. This green building escrow shall be in addition to and separate from other bond requirements and will be released upon demonstration of attainment of LEED certification, by the USGBC, under the project's registered version of the LEED-NC or LEED for Homes rating system or other LEED rating system determined, by the USGBC, to be applicable to each building. The provision to the EDRB of documentation from the USGBC that each building has attained LEED-NC certification will be sufficient to satisfy this commitment.
- D. At the time LEED certification is demonstrated to EDRB, the escrowed funds and/or letter(s) of credit shall be released to the Applicant.

If prior to bond extension, reduction or final bond release for the applicable building site, whichever occurs first, the Applicant provides to EDRB documentation demonstrating that LEED certification for the applicable building has not been attained but that the building has been determined by the USGBC to fall within three (3) points of attainment of LEED certification, 50% of the green building escrow will be released to the Applicant; the other 50% will be released to the County and will be posted to a fund within the County budget supporting implementation of county environmental initiatives. If the certification is still in progress at the time of application for bond extension or reduction, which given the construction timelines associated with the Proposed Development there is the potential for multiple bond extensions or reductions prior to the Proposed Development's completion, the time frame for the provision of the documentation described above shall be automatically extended to the time of the next bond

extension or reduction. However, the documentation must be provided prior to the final bond release for the applicable building site.

If prior to bond extension, reduction or final bond release for the applicable building site, whichever occurs first, the Applicant fails to provide documentation to EDRB demonstrating either attainment of LEED certification or that the building has fallen short of LEED certification by three (3) points or less, the entirety of the escrow for that building will be released to the County and will be posted to a fund within the County budget supporting implementation of County environmental initiatives. If the certification is still in progress at the time of application for bond extension or reduction, which given the construction timelines associated with the Proposed Development there is the potential for multiple bond extensions or reductions prior to the Proposed Development's completion, the time frame for the provision of the documentation described above shall be automatically extended to the time of the next bond extension or reduction. However, the documentation must be provided prior to the final bond release for the applicable building site.

- E. As an alternative to the actions outlined in the Paragraphs A, C and D above, the Applicant may choose at its sole discretion to pursue a certification level higher than LEED certification, in which case the LEED-AP will provide certification statements at the time of building plan review confirming that the items on the list of specific credits will meet at least the minimum number of credits necessary to attain LEED Silver certification.

Prior to building plan approval for the building to be constructed, the Applicant shall submit documentation, to the Environment and Development Review Branch of DPZ, regarding the USGBC's preliminary review of design-oriented credits in the LEED program. This documentation will demonstrate that the building is anticipated to attain a sufficient number of design-related credits that, along with the anticipated construction-related credits, will be sufficient to attain LEED-NC Silver certification. Under this alternative, the Applicant is not required to provide a "green building escrow" unless the Applicant fails to provide the above referenced documentation that the building is anticipated to attain LEED-NC Silver certification.

Prior to final bond release of each building site, the Applicant shall submit documentation to EDRB, confirming the status of LEED certification.

- F. As an alternative to the actions outlined in the Paragraphs A, C, D and E above, if applicable and if the project meets the eligibility criteria for the rating system, the Applicant may select, subject to EDRB approval, an alternate residential rating system such as Earth Craft or the 2012 National Green Building Standard (NGBS) using the ENERGY STAR® Qualified Homes path for energy performance that may be implemented without an escrow. If one of the alternate residential rating systems listed herein is selected, as an alternative to the previous paragraphs; the Applicant shall note the selected system and provide a completed checklist of the

anticipated options to be pursued for the specified rating system at the time of site plan and building plan review. The Applicant shall demonstrate attainment of the selected certification from a rater recognized through the selected process prior to bond extension, reduction or final bond release of each building site, whichever occurs first. If the certification is still in progress at the time of application for bond extension or reduction, which given the construction timelines associated with the Proposed Development there is the potential for multiple bond extensions or reductions prior to the Proposed Development's completion, the time frame for the provision of the documentation described above shall be automatically extended to the time of the next bond extension or reduction. However, the documentation must be provided prior to the final bond release for the applicable building site.

14. Non-Residential Building Certifications.

- A. The Applicant shall include, as part of the building plan submission for Building D3, a list of specific credits within the most current version of the U.S. Green Building Council's Leadership in Energy and Environmental Design Core and Shell (LEED-CS) rating system at the time of the project's registration, or other LEED rating system determined to be applicable by USGBC, or its equivalent (as determined jointly by the Applicant and Fairfax County), that the Applicant anticipates attaining. All references herein to LEED-CS include both LEED-CS or its equivalent as determined by the Applicant and the County and all references to USGBC include the applicable equivalent agency.

Except as otherwise provided below in Paragraph E as an alternative, a LEED or equivalent-accredited professional (the "LEED-AP") who is also a professional engineer or architect shall provide certification statements at the time of building plan review confirming that the items on the list will meet at least the minimum number of credits necessary to attain LEED-CS Silver certification of the building.

- B. The Applicant shall designate the Chief of EDRB as a team member in the USGBC's LEED Online system. This team member will have privileges to review the project status and monitor the progress of all documents submitted by the project team, but will not be assigned responsibility for any LEED credits and will not be provided with the authority to modify any documentation or paperwork.

Prior to the building plan approval for Building D3, the Applicant shall post a "green building escrow" in the form of cash or a letter(s) of credit from a financial institution acceptable to DPWES as defined in the PFM, in the amount of \$2.00/square foot of GFA, as shown on the approved site plan. This green building escrow shall be in addition to and separate from other bond requirements and will be released upon demonstration of attainment of LEED-CS Silver certification, by the USGBC, under the project's registered version of the LEED-CS rating system or other LEED rating system determined, by the USGBC, to be

applicable to Building D3. The provision to the EDRB of documentation from the USGBC that Building D3 has attained LEED-CS Silver certification will be sufficient to satisfy this commitment.

- C. At the time LEED Silver certification is demonstrated to the EDRB, the escrowed funds and/or letter(s) of credit shall be released to the Applicant.

If, prior to bond extension, reduction or final bond release for the Building D3 site plan, whichever occurs first, the Applicant provides to EDRB documentation demonstrating that LEED certification for the building has not been attained but that the building has been determined by the USGBC to fall within three (3) points of attainment of LEED Silver certification, 50% of the green building escrow will be released to the Applicant; the other 50% will be released to the County and will be posted to a fund within the County budget supporting implementation of county environmental initiatives. If the certification is still in progress at the time of application for bond extension or reduction, which given the construction timelines associated with the Proposed Development there is the potential for multiple bond extensions or reductions prior to the Proposed Development's completion, the time frame for the provision of the documentation described above shall be automatically extended to the time of the next bond extension or reduction. However, the documentation must be provided prior to the final bond release for Building D3 site plan.

If prior to bond extension, release or final bond release for the Building D3 site plan, whichever occurs first, the Applicant fails to provide documentation to EDRB demonstrating attainment of LEED Silver certification or demonstrating that the building has fallen short of LEED Silver certification by three (3) points or less, the entirety of the escrow for the building will be released to the County and will be posted to a fund within the County budget supporting implementation of County environmental initiatives. If the certification is still in progress at the time of application for bond extension or reduction, which given the construction timelines associated with the Proposed Development there is the potential for multiple bond extensions or reductions prior to the Proposed Development's completion, the time frame for the provision of the documentation described above shall be automatically extended to the time of the next bond extension or reduction. However, the documentation must be provided prior to the final bond release for Building D3 site plan.

- D. As an alternative to the actions outlined in the Paragraphs A, C and D above, the Applicant may choose at its sole discretion to pursue a certification higher than LEED Silver certification, in which case the LEED-AP will provide certification statements at the time of building plan review confirming that the items on the list of specific credits will meet at least the minimum number of credits necessary to attain LEED Gold certification.

Prior to building plan approval for Building D3, the Applicant shall submit documentation, to EDRB demonstrating that LEED Gold precertification under

the Core and Shell program has been attained for the building. This documentation will demonstrate that the building is anticipated to attain a sufficient number of design-related credits that, along with the anticipated construction-related credits, will be sufficient to attain LEED-CS Gold certification. Under this alternative, the Applicant is not required to provide a "green building escrow" unless the Applicant fails to provide the above referenced documentation that the building is anticipated to attain LEED-CS Gold certification.

However, if the Applicant is unable to provide the precertification documentation prior to the building permit approval but does anticipate receiving the documentation prior to the attainment of the certification, the Applicant may, prior to the issuance of the building permit, post an escrow identical to the one described in paragraph C above. This escrow will be released upon submission of the documentation to EDRB from the USGBC demonstrating that the building is anticipated to attain a sufficient number of credits to attain LEED Gold certification.

15. Energy Sustainability. To promote efficient, renewable and sustainable energy practices, the Applicant shall provide the following:
 - A. Electric Vehicle Charging Infrastructure. A minimum of four (4) electric vehicle recharging stations to serve eight (8) parking spaces shall be provided in the parking garage. Conduit and the necessary electrical power to facilitate additional future recharging stations in the garage shall also be provided.
 - B. Shared Energy. For any site plan that includes more than one building, provide an assessment of the potential, within the area subject to the site plan, of shared energy systems, including but not limited to combined heat and power (CHP) (co-generation), micro-CHP, distributed energy resources, and district heating and/or cooling, and, if a shared energy strategy will not be pursued, provide a narrative discussion regarding the reason(s) for this outcome. At a minimum, the Applicant shall ensure that a utility sleeve through the foundations of the proposed buildings, are sized to accommodate a pipe/facility, a maximum of 12 inches in diameter, allowing potential future energy sharing or alternate energy sources.
 - C. Energy and Water Data. To the extent there are master electric, gas and water meters for entire buildings, upon request by the County the Applicant shall provide to the County aggregated non-proprietary energy and water consumption data, as practicable, for each building and the entire Property.
16. Noise Attenuation. The Applicant has submitted a Preliminary Phase II Noise Analysis of the Property prepared by Phoenix Noise & Vibration, LLC dated October 22, 2013 (the "Preliminary Noise Analysis"). The analysis indicates that projected traffic noise will be greater than a day-night averaged noise level ("Ldn") of 65 decibels ("dBA") for some dwelling units exposed to Route 7 and Westpark Drive but that no dwelling units or

hotel units on the Property will be impacted by transportation generated noise greater than 75 dBA.

- A. At the time of building plan application for the full shell building permit for each residential or hotel building, the Applicant shall submit an acoustical study prepared by a qualified acoustical consultant (the "Refined Noise Study") addressing indoor noise levels and proposing noise attenuation measures designed to reduce interior DNL to no more than 45 dBA for the residential components of Buildings D1 and D2 and for the guest room components of Building D3. The Refined Noise Study shall be prepared in accordance with County specified acoustical study guidelines. The Applicant shall submit the Refined Noise Study to DPWES, for information only, and to the Chief of EDRB for approval. In addition, the Applicant shall notify the Chief of EDRB by letter that such submission has been made. The Applicant shall not obtain full-shell building permit until the Chief of EDRB has approved the applicable Refined Noise Study. Failure by the Chief of EDRB to review and respond to the Applicant within 60 days of receipt of a Refined Noise Study shall be deemed approval of such study.
- B. Based on the findings of the Refined Noise Studies, the Applicant shall provide the following noise attenuation measures, unless otherwise modified by the findings of the Refined Noise Studies.
- (i) In order to reduce interior noise to a level of approximately 45 dBA Ldn, dwelling units and hotel guest rooms anticipated by the Refined Noise Studies to be impacted by noise having levels projected to be between 65 and 70 dBA Ldn, shall be constructed with the following acoustical measures:
- a. Exterior walls should have a laboratory sound transmission class (STC) rating of at least 39.
 - b. Doors and glazing shall have a laboratory STC rating of at least 28 unless glazing constitutes more than 20% of any façade exposed to noise levels of 65 to 70 dBA Ldn. If glazing constitutes more than 20% of an exposed façade, then the glazing shall have a STC rating of up to 39 as dictated by the percent of glass.
 - c. All surfaces should be sealed and caulked in accordance with methods approved by the American Society for Testing and Materials (ASTM) to minimize sound transmission.
- (ii) In order to reduce interior noise to a level of approximately 45 dBA Ldn, dwelling units and hotel guest rooms anticipated by the Preliminary Noise Analysis to be impacted by noise having levels projected to be between 70 dBA Ldn and 75 dBA Ldn shall employ the following acoustical measures:

- a. Exterior walls shall have a laboratory sound transmission class (STC) rating of at least 45.
 - b. Doors and glazing shall have a laboratory STC rating of at least 37 unless glazing constitutes more than 20% of any façade. If glazing constitutes more than 20% of an exposed façade, then the glazing shall have a STC rating of up to 45 as dictated by the percent of glass.
 - c. All surfaces shall be sealed and caulked in accordance with methods approved by the American Society for Testing and Materials (ASTM) to minimize sound transmission.
17. Notification of Exterior Noise Levels. The Applicant shall notify potential tenants or purchasers of individual residential units with balconies, either in the lease or sales contract, that exterior noise levels may exceed 65 dBA, which is the policy established by the County for outdoor recreation in residential areas impacted by high noise levels.
18. Bird-Friendly Design Elements. In an effort to reduce bird injury and death due to in-flight collisions with buildings, the Applicant shall include one or more bird friendly design elements, as determined by the Applicant, in the design plans of each building on the Property. The bird friendly design elements may include, but not be limited to, the use of color, texture, opacity, fritting, frosting, patterns, louvers, screens, interior window treatments, or ultraviolet materials that are visible to birds, the angling of outside lights, curbing of excessive or unnecessary night-time illumination in commercial buildings, reduction of bird attracting vegetation, the use of decoys, and breaking of glass swaths. Nothing herein shall require the Applicant to obtain a bird-friendly LEED credit. Upon the issuance of a building permit for each building, the provisions of this Proffer shall be deemed satisfied as to such building.

SITE DESIGN AND AMENITIES

19. Conceptual Landscape Plan. The CDP includes a conceptual landscape plan for the Property consisting of an overall plan and details regarding streetscapes, plazas, publicly accessible park areas, courtyards and private amenity areas. As part of subsequent FDP approvals, more detailed landscape plans for each building phase shall be provided in general conformance with the concepts included on Sheets L.003 through L.004 with adjustments permitted so long as the quality of the landscaping remains consistent with that shown on the CDP.

As part of the site plan submission for each building phase, the Applicant shall submit to the Urban Forestry Management Division of the DPWES ("UFMD") for review and approval a detailed landscape plan that is in substantial conformance with the quantity and quality of plantings and materials landscaping shown on the approved FDP, and shall include, among other things, irrigation information, design details for tree wells and other similar planting areas on structures and along streets. These details shall include the composition of planting materials, methods for providing suspended pavement over tree

root zones to prevent soil compaction, and methods for ensuring the viability of plantings on structures. Adjustments to the type and location of plantings shall be permitted to avoid conflicts with utilities and other site engineering considerations.

20. Streetscaping. Streetscaping shall be installed throughout the Property as conceptually illustrated on Sheets L.010 and L.011. Streetscape elements shall include: a landscape amenity panel located immediately behind the face of curb; a clear pedestrian sidewalk adjacent to the landscape amenity panel; and a building zone between the pedestrian sidewalk and the face of the building that is designed to allow access to the building and/or additional landscaping adjacent to residential uses and also storefront browsing, outdoor display, outdoor dining, and similar uses adjacent to Retail/Service uses. Streetscaping elements may be adjusted at the time of FDP approval provided the quality of the streetscape and minimum clear sidewalks are consistent with that shown on the CDP.

A. Street Trees. Tree planting sites are set forth on the CDP, subject to revisions as may be approved on the FDP, at site plan review by the UFMD or necessitated by providing bus stop shelters, clear zone requirements, etc. The Applicant shall retain the services of a certified arborist or Registered Consulting Arborist to monitor the design and inspect the planting of the street trees and shall notify UFMD in writing or by electronic mail no later than three business days prior to tree pit construction to allow for County inspection. Where minimum planting widths of 8 feet are not provided, structural cell technology, or other measures acceptable to UFMD, shall be used to satisfy the following specifications for all planting sites:

- (i) A minimum of 4 feet open surface width and 16 square feet open surface area for Category III and Category IV trees, with the tree located in the center of the open area, or as an option a grated covering of the open surface area as may be approved with the FDP;
- (ii) A minimum rooting area of 8 feet wide (may be achieved with techniques to provide un-compacted soil below hardscape areas within the pedestrian realm), with no barrier to root growth within four feet of the base of the tree;
- (iii) A minimum soil depth of four (4) feet as measured to the shallow most point of the tree pit as more specifically depicted in the tree planting details found on Sheets L.014 through L.016 of the CDP;
- (iv) Soil volume for Category III and Category IV trees (as defined in Table 12.19 of the PFM) shall be 700 cubic feet per tree for single trees, but may be reduced to a minimum of 400 cubic feet where necessary, such as where paving above rooting zones is necessary to accommodate pedestrian traffic or where utility locations preclude greater soil volume. For two trees planted in a contiguous planting area, a total soil volume of at least 600 cubic feet per tree shall be provided. For three or more trees planted

in a contiguous area, the soil volume shall equal at least 500 cubic feet per tree. A contiguous area shall be any area that provides root access and soil conditions favorable for root growth throughout the entire area.

- (v) Soil specifications in planting sites shall be provided in the planting notes to be included in all site plan submissions;
 - (vi) All shade trees shall be a minimum of 3 to 3.5 inches in caliper at the time of planting; all flowering trees shall be a minimum of 2 inch caliper at the time of planting; and all new evergreen trees shall be a minimum of eight (8) feet in height at the time of planting; and,
 - (vii) Street trees planted within existing utility easements that are removed to facilitate repairs of utilities in these easements shall be replaced.
- B. Non-Invasive Plant Materials. Invasive species, as defined by the PFM, shall not be used within the streetscape and landscaped open space areas.
- C. Utility Locations. Utilities, including, but not limited to water, sanitary sewer and storm sewer utility lines, shall be installed within the street network to the maximum extent feasible as determined by DPWES or shall be placed in locations that do not conflict with the landscaped open space areas and streetscape elements shown on the CDP and/or subsequent FDP as determined by DPWES. If there is no other option, utilities may be placed within open space or streetscape areas provided that the long-term health of trees and other plantings is ensured by the provision of sufficient soil volume as shown on the CDP, as determined by the UFMD. A conceptual utility plan shall be overlaid on the landscape plan submitted in the FDP. Adjustments to the type and location of plantings and the use of raised planters shall be permitted to avoid conflicts with utilities and other site engineering considerations. If at the time of site plan approval, street trees shown on the FDP are in conflict with new proposed utilities and alternative locations for the street trees satisfactory to UFMD cannot be accommodated, the Applicant shall modify the location of utilities to ensure that the trees shown on the FDP can be provided.

Maintenance access points to SWM Facilities and electric vaults beneath the streetscape shall be located outside of the clear pedestrian walkway zone of the streetscape to the extent feasible. If the access points must be located in the walkway zone, they shall be designed as a lift out panel with the same paving materials as the walkway (subject to ADA requirements), be flush with the walkway, and meet ADA accessibility requirements. These maintenance points shall be shown on each FDP.

- D. Sight Distance Considerations. Sight distance requirements shall be provided with the landscape plan submitted with each FDP, so as to identify and avoid conflicts with street tree locations. If at the time of site plan approval, street tree locations approved on the FDP are determined to conflict with sight distance

requirements, the Applicant shall make efforts to gain approval of said trees by UFMD by making minor adjustments to their locations or by removing their lower branches. In the event VDOT does not approve the tree locations even after the changes anticipated above, the Applicant shall be permitted to relocate the affected street tree and any associated stormwater management facilities without the need for confirmation from DPZ, subject to approval by UFMD. If the deleted street tree(s) result in a tree canopy below 10% on the Property, the street tree(s) must be accommodated in another location on the Property, as approved by DPZ in consultation with UFMD.

- E. Streetscape Furnishings, Materials and Lighting. Unified and high quality streetscape materials shall be provided and may include, but not be limited to, unit pavers, seat walls, tree space edging, lighting, traffic signal poles, benches, trash receptacles and other hardscape elements. A Streetscape Furnishing and Materials Plan shall be provided as part of all FDPs. These plans shall include general product information and approximate locations of furnishings and materials to be located in the streetscape between the building face and the curb, and in other public realm open spaces. Materials, furnishings, and lighting, excluding the existing street light fixtures along Route 7 to remain, shall be compatible with those already identified in the Tysons Corner Urban Design Guidelines ("UDG") dated January 24, 2012, as may be amended and or modified and shall be coordinated with any streetscape design efforts put forth by the Tysons Partnership, but shall not be subject to approval by Tysons Partnership.

All new streetscape lighting shall be energy efficient and shall meet the UDG, unless alternatives are approved by OCR, DPZ and DPWES. Street lighting shall be consistent with that provided with the redevelopment on adjacent property subject to rezoning application RZ 2010-PR-022. All on-site, outdoor and parking garage lighting shall not exceed that permitted under the Outdoor Lighting Standards of Section 14-900 of the Zoning Ordinance. All parking lot and building mounted security lighting shall utilize full cut-off fixtures. Recessed lighting shall be directionally shielded to mitigate the impact on the adjacent properties.

- F. Signage and Wayfinding. Signage for the Property shall be provided in accordance with the requirements of Article 12 of the Zoning Ordinance. Alternatively, the Applicant may seek approval of a Comprehensive Sign Plan ("CSP"). The placement of all signage on existing/planned public streets shall be coordinated with VDOT for review and approval. Wayfinding signage and elements may be provided as a part of a larger CSP for the Tysons area. Such wayfinding signage shall be coordinated with the Tysons Partnership so to facilitate a consistent wayfinding and signage system throughout the district, but shall not be subject to approval by Tysons Partnership. Wayfinding shall provide direction to locations of prominent attractions, parks, cultural arts destinations, and other public amenities.

G. Maintenance. The Applicant or UOA shall maintain and replace in-kind all pedestrian realm elements on the Property and in the right-of-way immediately adjacent to Property (including street trees currently maintained by the County). The pedestrian realm includes all areas between the back of curb and the back of the building zone whether located within the public right-of-way or on private land with public access easements. The Applicant shall enter into the appropriate agreement, in a form approved by the Office of the County Attorney, with the County (or other public entity, as needed) to permit the Applicant to perform such maintenance. An alternative maintenance agreement, such as a Business Improvement District, may be entered into upon written agreement of both the County and the Applicant without the requirement for a PCA. Maintenance commitments shall commence coincidental with the Applicant's streetscape installation and shall include, but not be limited to:

- (i) All plantings including trees, shrubs, perennials, and annuals;
- (ii) All associated irrigation elements;
- (iii) All hard surfaces;
- (iv) All streetscape furnishings including benches, bike racks, trash and recycling receptacles and non-standard structures;
- (v) All lighting fixtures, poles and brackets;
- (vi) All non-VDOT standard sign posts, traffic signal poles, pedestrian signal poles, mast arms, signal heads and control boxes;
- (vii) Snow removal;
- (viii) Leaf removal;
- (ix) Trash, recycling and litter removal;
- (x) Decorative retaining walls;
- (xi) Special drainage features, such as Low Impact Design facilities; and
- (xii) All urban park amenities including horticultural care, maintenance of all water features, irrigation, lighting, furnishings, paving, and art.

Phasing of streetscaping is provided within the context of individual building phases as depicted on the Phasing Exhibits. As determined at the time of FDP approval, where the final streetscape design cannot be fully implemented during certain phases of development, the Applicant shall provide interim streetscape improvements as described in Proffer 21.

21. Interim Conditions and Standards. Due to the time anticipated for the build-out of the Proposed Development, phased redevelopment may result in various interim conditions on the Property. Many of the anticipated interim conditions are identified on the CDP. At the time of FDP submission, the Applicant shall identify the specific proposed interim conditions within the FDP area and outside the FDP area and shall ensure such conditions provide reasonable pedestrian connections, vehicular circulation, temporary streetscaping and landscaping, public park treatments, and screening/treatment of exposed/partially complete above grade parking structures.
- A. If interim improvements not located on the Property are contemplated with any FDP, such FDP shall specify how and when such improvements are to be constructed.
 - B. Interim conditions shall generally comply with the following general standards provided that the improvements are acceptable to the County, VDOT, and all other utility companies as may be appropriate:
 - (i) Construction of interim sidewalks a minimum of a five (5) feet in width and installation of interim street lights along the interim sidewalks, as needed to ensure a safe, convenient pedestrian path to the Metro Station
 - (ii) Installation of street trees, with a minimum size of 2 inch caliper, approximately every 50 feet, to the extent feasible as determined by UFM based on existing conditions and utility easements. Interim street tree planting shall not be required to meet the minimum planting width/area standard for permanent street trees.
 - (iii) Provision of interim designs for publicly accessible open spaces will include interim landscaping, pedestrian pathways, seating, signage, lighting and recreational facilities as determined at FDP. Signage will inform the public that the park space is temporary. The Applicant shall work with the FCPA to permit and coordinate activities and events within the interim publicly accessible park areas.
 - (iv) Provision of peripheral and interior parking lot landscaping in accordance with Article 13-203 of the Zoning Ordinance for interim surface parking lots, unless waived or modified at the time of site plan approval.
 - (v) Application of a screening system (which may be removable) where above grade garage structures that will be interior when later phases are complete and exposed at phase lines. This screening system shall be applied to all levels above grade and shall be composed of an architecturally designed system that may reflect basic architectural lines of the permanent facades, and that shall partially obscure the garage view from outside the garage until the next phase is constructed. The use of temporary art works as a part of the screening system shall also be considered as part of the interim screening system. The specific screening system to be utilized for each

building shall be determined at the time of FDP approval and graphically depicted on the FDP. Alternate temporary garage screening may be approved with FDP approval.

- (vi) Grading and seeding of areas on the Property where existing improvements are removed to accommodate a portion of the Proposed Development, and are not scheduled to commence construction within 24 months.
 - (vii) Where appropriate, provision of attractive temporary construction fencing, which may include public art, signage or wayfinding elements. Signage shall be in keeping with Article 12 of the Zoning Ordinance or alternatively in accordance with an approved Comprehensive Sign Plan.
- C. Interim improvements shall be substantially complete and in place within 12 months of the issuance of the first RUP or Non-RUP for the applicable building, unless: 1) a site plan for the permanent building to be constructed in the area of the interim improvements has been approved and bonded; or 2) seasonal/weather related conditions have delayed the completion of the interim improvements. In the case of a seasonal/weather related delay, the interim improvements shall be completed as soon as possible.

TRANSPORTATION IMPROVEMENTS

22. Grid of Streets. The Applicant shall construct and place into operation a new grid of streets throughout the Property including portions of streets identified on the CDP as Park Avenue and, Madison Street, and shall make improvements to existing Westpark Drive. For the purposes of these proffers, Route 7 and Park Avenue shall be considered to run east to west and Westpark Drive and, Madison Street Station Place shall be considered to run north to south. The functional classification of the streets is provided below:

Street	Classification
Route 7 (Leesburg Pike)	Low Speed Boulevard
Westpark Drive	Avenue
Park Avenue	Collector
Madison Street	Local

- A. Public Streets and Right-of-Way. The Applicant shall dedicate right-of-way along the Property's frontage for Route 7, Westpark Drive, Park Avenue and Madison Street (the "Public Streets"), as shown on Sheet P.301 or to such standard as may be approved on the FDP. All improvements proposed to Public Streets herein shall be subject to VDOT approval and be designed to be in general conformance with the standards included in Attachment D (*Transportation Design Standards for Tysons Corner Urban Center*) of the Memorandum of Agreement approved by the Board of Supervisors on September 13, 2011, as may be amended (the "Design Standards"), subject to modifications/waivers as may be granted.

The Applicant shall work diligently with VDOT, Dominion Power and the County during the FDP and site plan approval processes to determine if the area of the landscape amenity panel/sidewalk can be accepted by VDOT as a part of the public streets and whether the proposed underlying utilities and facilities in the right-of-way are acceptable to the utility companies. The Applicant shall dedicate and convey in fee simple right-of-way including the area of the landscape amenity panel/sidewalk to the Board of Supervisors at the time of site plan approval, with the following exceptions:

- (i) If at the time of site plan approval it is determined that stormwater management facilities, electric vaults or other similar facilities proposed to be located beneath the landscape amenity panel/sidewalk prevent VDOT and/or the County from accepting the landscape amenity panel/sidewalk within the right-of-way, the Applicant shall provide dedication measuring 18 inches from the proposed face of curb line and shall grant a public sidewalk and utility easement in a form acceptable to the Office of the County Attorney, over the area of the amenity panel/sidewalk. This easement shall allow for the installation of signage necessary for safety and operation of the street as well as parking regulation equipment by VDOT and/or the County. In addition, the Applicant shall provide easements within the amenity panel for bus pads and shelters as determined at the time of FDP or site plan.
- (ii) If at the time of site plan approval it is unclear whether stormwater management facilities, electric vaults or other similar facilities proposed to be located beneath the landscape amenity panel/sidewalk will be acceptable to VDOT and/or the County, the Applicant shall provide dedication measuring 18 inches from the proposed face of curb line at the time of site plan approval and shall reserve for potential future dedication the landscape amenity panel and sidewalk areas. A temporary public access easement in a form acceptable to the County Attorney shall be recorded over the reserved landscape amenity panel/sidewalk areas until such time as such areas are dedicated. Conveyance of the amenity panel/sidewalk areas to the Board of Supervisors shall occur following construction of the street and streetscape improvements and final street acceptance inspection by the County and/or VDOT subject to the stipulations in these Proffers.
- (iii) Should it be determined following final street acceptance inspection that the landscape amenity panel and sidewalk areas are not acceptable to VDOT and/or the County to be included in the right-of-way, the reservation of potential future dedication of the landscape amenity panel and sidewalk areas shall be released and a public sidewalk and utility easement, in a form acceptable to the County Attorney, shall be granted in its place. This easement shall allow for the installation of signage necessary for safety and operation of the street as well as parking regulation equipment by VDOT and/or the County. In addition, the

Applicant shall provide easements within any privately-owned amenity panel/sidewalk area for bus shelters identified on the CDP or any subsequent FDP, as determined at the time of site plan.

- B. Definition of Construct. For purposes of this Proffer "construct" shall mean that the committed road improvement is open to use by the public for travel whether or not the improvement has been accepted for maintenance by the state.
 - C. Naming. The Applicant reserves the right to provide different names for the streets than those shown on the CDP.
 - D. Street Closures. The Applicant may temporarily close part or all of any streets to accommodate construction activity on the Property provided safe and adequate pedestrian and vehicular access is maintained.
 - E. Parking Lanes. The Applicant shall provide on-street parking throughout the limits of the Property as generally located on the CDP with full build-out of the Property. If requested by the County and/or VDOT, the Applicant shall install signs restricting parking subject to VDOT approval.
23. Westpark Drive. The Applicant shall construct improvements along the Property's Westpark Drive frontage to accommodate a half section of six lanes of traffic (three lanes in each direction) with a dedicated bike lane. The curb lane shall be 13 feet in width (including the gutter pan) and shall act as a combination right turn lane and Circulator lane as shown in the typical section on Sheet P.302 of the CDP. The final design of the improvements to Westpark Drive as generally described above shall be further refined in conjunction with the submission of any FDP and all site plans for those portions of the Property fronting Westpark Drive and construction shall be provided concurrent with the development of buildings with frontage on Westpark Drive as shown on the Phasing Sheets.
24. Park Avenue The Applicant shall construct Park Avenue through the Property connecting Westpark Drive with Madison Street as follows:
- A. If not previously constructed or designed by others, then in conjunction with the submission of the site plan for Building D2, the Applicant shall submit a site plan or Public Improvement Plan (the "Road Plan"), for the ultimate improvement of Park Avenue generally from Westpark Drive to Madison Street. The Road Plan shall be coordinated with the applicant in adjacent rezoning application RZ 2010-PR-022, or its successors and assigns (collectively "the RZ 2010-PR-022 Property"). In conjunction with the RZ 2010-PR-022 Property, the Applicant shall be responsible for the construction of Park Avenue between Westpark Drive and Madison Street ("Park Avenue West"). Park Avenue West shall be constructed as generally reflected on Sheet P.301 of the CDP, the typical section presented on CDP Sheet P.302, and as shown the Phasing Sheets. The final design of the improvements to Park Avenue West as generally described above and its connection with Westpark Drive shall be determined in conjunction with the

submission of the site plan for the Building D2 and the Applicant's construction of Park Avenue West shall be completed, except where modified by FDP, prior to the issuance of the first RUP or Non-RUP for Building D2.

- B. If Park Avenue West is to be constructed by the RZ-2011-PR-022 Property prior to the Applicant's obligation to construct as stated above, then upon written demand by the County, the Applicant shall dedicate and convey right-of-way and ancillary easements necessary to facilitate such construction by the RZ-2011-PR-022 Property at no cost, provided: (a) sufficient interim access to/from the existing on-site uses is constructed and maintained at all times; and (b) such improvements to the Property are coordinated with the Applicant prior to site plan approval for the improvement of Park Avenue West. In addition, should the ultimate improvements to Park Avenue West be constructed by the RZ-2011-PR-022 Property, the Applicant shall demonstrate that it has provided fifty percent (50%) of the cost of designing and constructing Park Avenue West to the RZ-2011-PR-022 Property prior to the issuance of the building permit associated with Building D2. The specific streetscape improvements along the Building D2 frontage shall be constructed by the Applicant with the development of Building D2.

25. Madison Street.

- A. Madison Street between Park Avenue and Route 7 shall be designed with an ultimate section measuring 38 feet from face of curb to face of curb to accommodate two lanes of traffic (one lane in each direction) with parallel parking along both sides of the street, as may be approved by VDOT and FCDOT. The Applicant shall construct Madison Street along its Property frontage in an interim section as shown on Sheet P.303 of the CDP with two travel lanes and no parking lanes. Such interim section shall be constructed prior to issuance of the first RUP or Non-RUP for Building D1. It is anticipated that additional pavement to complete the ultimate section will be provided by others with the development of the adjacent RZ-2011-PR-022 Property. The final design of the improvements to Madison Street, as generally described above, shall be further refined in conjunction with the submission of any FDP and all site plans for those portions of the Property fronting Madison Street. .
- B. If an improvement to the section of Madison Street between Park Avenue and Route 7 is to be constructed by the RZ-2011-PR-022 Property prior to the Applicant's obligation to construct as stated above, then the Applicant upon written demand by the County, shall dedicate and convey right-of-way and ancillary easements necessary to facilitate such construction by the RZ-2011-PR-022 Property provided: (a) sufficient interim access to/from the existing uses is constructed and maintained at all times; and (b) such improvements to the Property are coordinated with the Applicant prior to site plan approval for the improvement of this section of Madison Street. In addition, should the ultimate improvements to Madison Street be constructed by the RZ-2011-PR-022 Property prior to the Applicant constructing the interim section described in paragraph A

above, the Applicant shall demonstrate that it has provided its share of the cost of designing and constructing Madison Street along the Property's frontage to the RZ-2011-PR-022 Property prior to building permit issuance for the Building D1. The specific streetscape improvements along the Madison Street frontage, shall be constructed by the Applicant with the development of the Building D1.

26. Traffic Signals.

- A. The Applicant shall conduct a warrant study for the intersection of Westpark Drive/Park Avenue within twelve (12) months after the issuance of the initial RUP or Non-RUP for any of Buildings D1, D2 and D3 constructed concurrently with, or after, the construction of the Westpark Drive/Park Avenue intersection in its ultimate configuration as shown on Sheet P.301 of the CDP.
- B. The Applicant shall conduct a warrant study for the intersection of Park Avenue/Madison Street within twelve (12) months after the issuance of the initial RUP or Non-RUP for any new building constructed on the Property concurrent with, or after, the construction of the Park Avenue/Madison Street intersection in its ultimate configuration as shown on Sheet P.301 of the CDP.
- C. If a signal is deemed warranted at either of these intersections by VDOT after having reviewed the warrant study and approving the same for installation, then such traffic signals, including pedestrian enhancements as may be required by VDOT, shall be designed, equipped and installed by the Applicant, utilizing any escrowed contributions for the signal received by the County, no later than five (5) years after approval of the warrant.
- D. For any signal warranted by VDOT, the Applicant shall provide VDOT with the requisite traffic signal plans for review and approval. All right-of-way associated with signal equipment (poles, equipment boxes, etc.) on the Property not already dedicated shall be reserved for dedication in fee simple to the Board of Supervisors in accordance with Proffer 22.
- E. If the County, upon request of the Applicant or on its own initiative, determines that such signal installations as proffered will be detrimental to traffic operations, the Zoning Administrator may (1) agree to a later date for completion of the traffic signal installation(s) or (2) permit the Applicant to proceed without the signal installations.
- F. If a signal at either of the identified intersections is not warranted within twenty-four (24) months after the issuance of the initial RUP or Non-RUP for the last new building to be constructed on the Property, then the Applicant's obligation to construct such signal is deemed null and void and the Applicant shall instead escrow money towards the cost of future signalization of either applicable intersection(s) by others based on the Applicant's pro-rata traffic share. The escrow amount to be provided by the Applicant for each intersection is as follows:
 - (i) Westpark Drive/Park Avenue: \$37,500.00

(ii) Park Avenue /Madison Street: \$25,000.00

G. If a signal at the Greensboro Drive/Madison Street intersection is not warranted within twenty-four (24) months after the issuance of the initial RUP or Non-RUP for the last new building to be constructed on the Property, based on warrant studies conducted by others, the Applicant shall escrow \$5,000.00 towards the cost of future signalization by others of the Greensboro Drive/Madison Street intersection.

27. Tyson's Grid of Streets Transportation Fund. The Applicant shall make a contribution to the County's Tyson's Grid of Streets Transportation Fund for each residential unit and each square foot of new non-residential space constructed on the Property in keeping with the rates and applicable rate adjustments set forth in the *Guidelines for the Tyson's Grid of Streets Transportation Fund* endorsed by the Board of Supervisors on January 8, 2013 (the "Grid Guidelines"). This contribution is not subject to further adjustment outlined in Proffer 60 and shall not apply to any public-use facilities constructed on the Property. The contribution associated with each building shall be paid on or before the issuance of each initial RUP or Non-RUP for the subject building based on the actual GFA of non-residential space and/or the actual number of residential units in the building.

The Applicant shall receive and deduct such credits against the contributions as approved by the County in keeping with the Grid Guidelines.

28. Tyson's-wide Transportation Fund. The Applicant shall make a contribution to the County's Tyson's-wide Transportation Fund for each residential unit and each square foot of new non-residential space constructed on the Property in keeping with the rates and applicable rate adjustments set forth the *Guidelines for the Tyson's-wide Transportation Fund* endorsed by the Board of Supervisors on January 8, 2013 (the "Tyson's-wide Guidelines"). This contribution is not subject to further adjustment outlined in Proffer 60 and shall not apply to any public-use facilities constructed on the Property. The contribution associated with each building shall be paid on or before the issuance of each initial RUP or Non-RUP for the subject building based on the actual GFA of non-residential space and/or the actual number of residential units in the building.

The Applicant shall receive and deduct such credits against the contributions as approved by the County in keeping with the Tyson's-wide Guidelines.

29. Route 7 Improvement. The Applicant shall provide a contribution toward the construction of improvements to Route 7 to accommodate a future State Street crossing, or other access improvement, equal to \$0.07 for each square foot of building constructed on the Property. Said contribution to Fairfax County shall be made upon site plan approval for each of the three buildings and shall be based on the site plan approved GFA for each building.

BICYCLE FACILITIES, BUS SHELTERS AND PEDESTRIAN IMPROVEMENTS

30. Bicycle Circulation. In combination with the street and streetscape improvements identified in these Proffers, the Applicant shall provide on-street bicycle lanes and associated signage along the Property's frontage with Westpark Drive and along Park Avenue as shown on the CDP and as may be adjusted with approval of FDPs. Such striping shall be subject to approval by VDOT.
31. Bicycle Parking. The Applicant shall provide bicycle racks and bike storage areas throughout the Property, the specific locations of which shall be determined at the time of FDP approval and finalized with site plan approval. The bike racks shall be inverted U-style racks or other design compatible with the UDG and approved by Fairfax County Department of Transportation ("FCDOT"). The total number of bike parking/storage spaces shall be consistent with the Fairfax County Policy and Guidelines for Bicycle Parking. Signage shall be posted on the exterior side of buildings closest to entrances to bike parking/storage space to indicate bike parking/storage.
32. Bus Shelters. Bus shelter locations shall be evaluated for feasibility at the time of site plan approval in consultation with FCDOT. Identified bus shelter locations shall be primarily located within the landscape amenity panel of the streetscape, and may necessitate adjustments to street tree locations and other street furnishings to that shown on the CDP. An alternate location for the bus shelter outside the landscape amenity panel may be approved at FDP, if determined appropriate. Should a bus shelter location be determined appropriate at the time of site plan approval, the Applicant shall install said shelter.
33. Marked Crosswalks. The Applicant shall install marked pedestrian crosswalks at all signalized intersections adjoining the Property, subject to VDOT approval.
34. Initial Pedestrian Connection. In addition to the streetscapes being provided with the Proposed Development, the Applicant shall stripe a pedestrian pathway from the Westpark Hotel to the sidewalk along Route 7 to facilitate pedestrian connectivity to the adjacent Greensboro Metro Station as depicted on Sheet L.012. In addition, the Applicant shall stripe a pedestrian crosswalk across the current SAIC Street/future Madison Street intersection with Route 7. These pathway/crosswalks shall be provided within six (6) months of the approval of this Rezoning.

PARKING

35. Zoning Ordinance Requirements. Parking on the Property shall be provided in accordance with the parking requirements for the PTC District set forth in Section 6-509 and Article 11 of the Zoning Ordinance, and as shown on the CDP. All of the Property located shall be parked at the rates established in Section 6-509 for land located between 1/8 and 1/4 mile from a metro station. The exact number of spaces to be provided shall be refined with approval of FDPs and determined at the time of site plan approval based on the specific uses, number of residential units and bedroom mix. If changes in the mix of uses or bedroom mix result in parking greater than that anticipated on the CDP, the

additional parking spaces shall be accommodated within the proposed parking structures, without increasing the height or mass of the parking structures.

36. Phasing of Parking. Parking shall be provided in phases concurrent with development of the Property. Parking spaces in excess of the maximum parking rates set forth in the Zoning Ordinance may be provided in the early phases of development of the Property, provided that at the complete build-out of the Property, the maximum parking rates are not exceeded.

The existing Westpark Hotel which will remain for an interim period of time, may continue to park at the parking rates applicable in the non-PTC zoning districts, or may elect to reduce the number of off-street parking spaces to a number between the rates for non-PTC zoned properties and the applicable minimum rates specified for the PTC District.

37. Commercial Off-Street Parking. The Applicant may provide commercial off-street parking on an interim basis in existing surface lots on the Property without approval of an FDP. The area of potential commercial off-street parking is depicted on Sheet P.201 of the CDP. The existing parking lots shall not be required to meet PFM requirements for peripheral and interior parking lot landscaping subject to approval of a modification/waiver by DPWES; however existing peripheral and interior parking lot landscaping shall remain. At the time of site plan approval for commercial off-street parking in existing surface lots, the Applicant shall provide an operational traffic analysis ("Operational Analysis") of points of access to the parking site to VDOT and FCDOT. Such Operational Analyses shall be limited to an assessment of those driveways and/or turn lanes serving the particular parking site. Any establishment of such facilities shall provide for an ADA compliant ramp and pedestrian access from the parking lot to the existing sidewalk along Route 7 and striped pedestrian paths within the parking lot. Other interim improvements as set forth in Proffer 21 shall not be required for interim commercial off-street parking.
38. Parking Spaces along Private Street. The Applicant reserves the right to restrict the use of spaces along the drive aisle/private street adjacent to Civic Square (Park 1), through appropriate signage or such other means as the Applicant determines, that otherwise are not required to satisfy the parking requirements for use as temporary or short term parking, "car share" parking and/or similar uses.
39. Parking Stipulations.
- A. The Applicant shall be permitted to install and maintain parking controls and fencing on its existing surface parking lots, without the requirement for a FDP, in order to control Metro-related parking by the general public.
 - B. The Applicant shall provide controlled access to the new parking garages and shall ensure that the control equipment is capable of counting vehicles entering and exiting the garage.

- C. The sale or lease rates of parking spaces shall be “unbundled” from the purchase price or lease rate of the individual dwelling units; meaning a unit’s purchase price or lease rate shall be exclusive of parking costs.

40. Future Parking Revisions.

- A. Zoning Ordinance Revisions. The Applicant reserves the right to provide parking at revised rates as may be permitted by a future amendment to the Zoning Ordinance. Optional use of revised rates shall not require a CDPA or PCA, provided there is no increase in the size or height of above-grade parking structures.
- B. Increases. The Applicant reserves the right to seek a special exception for an increase in parking for the Property; such special exception application shall not require a CDPA or PCA, provided there is no increase in the size or height of above-grade parking structures.

TRANSPORTATION DEMAND MANAGEMENT

41. Tysons Transportation Management Association. The Applicant shall contribute to the County funds for the establishment of a future transportation management association (the “TMA”) as outlined below, which may be established for the Tysons Corner Urban Center and which all other Tysons property owners will also be required to contribute to:

- A. The Applicant shall make a one-time contribution to the establishment of this future TMA based on a participation rate of \$0.05 per gross square foot of new residential uses to be constructed on the Property.
- B. The contribution shall be paid on a building by building basis at the time of site plan approval for the each new residential building constructed on the Property, but in any event no later than ten (10) years from the date of rezoning approval.
- C. If subsequent to the approval of this Rezoning, FCDOT approves the TMA as the administrator of TDM programs for the Tysons Corner Urban Center, then the Applicant may, in its sole discretion, join or otherwise become associated with such entity and transfer some functions of this TDM Program to the TMA. Further, if determined by FCDOT that a proactive, private TDM program is no longer necessary, the TDM structure in this proffer may be rendered null and void in whole or in part without the need for a PCA.

42. Transportation Demand Management. The Applicant shall fund, implement and administer a transportation demand management program for the Property as described in this Proffer (the “TDM Program”). It is intended that the first new building to be constructed on the Property will initiate implementation of what will become a Property-wide TDM program that later buildings to-be-constructed on the Property will join.

- A. Implementation Plan. The proffered elements of the TDM Program as set forth below are more fully described in the *Westpark Plaza Transportation Demand*

Management Plan prepared by Wells + Associates, Inc. dated July 31, 2014 (the "TDM Plan"). It is the intent of this Proffer that the TDM Plan adapt over time to respond to the changing transportation related circumstances of the Property, the surrounding community and the region, as well as to technological and/or other improvements, all with the objective of meeting the trip reduction goals as set forth herein. Accordingly, modifications, revisions, and supplements to the TDM Plan as may be approved by the FCDOT can be made without the need for a PCA provided that the TDM Plan continues to reflect the proffered elements of the TDM Program as set forth below.

- B. Responsible Party. The Applicant, or any successor other than the UOA or its equivalent, shall remain obligated under this Proffer until such time as three consecutive post Stabilization trip counts reveal that the applicable vehicle trip reduction goals are being met (the "Applicant Control Period"). At the end of the Applicant Control Period, the UOA or equivalent shall become obligated under this Proffer and Applicant, or any successor other than the UOA or equivalent, shall have no further obligation with respect to this Proffer.
- C. Definitions. For purposes of this Proffer, "Stabilization" shall be deemed to occur one-year following issuance of the last initial RUP or Non-RUP for the final new office or residential building to be constructed on the Property. "Pre-stabilization" shall be deemed to occur any time prior to Stabilization.
- D. Trip Reduction Objective. The objective of this TDM Program shall be to reduce the vehicle trips generated by new residents and new office tenants of the Property, during weekday peak hours, by meeting the percentage vehicle trip reductions set forth below. These trip reduction percentages shall be multiplied by the total number of vehicle trips that would be expected to be generated by the uses developed on the Property as determined by the application of the Institute of Traffic Engineers, 8th Edition, *Trip Generation* rates and/or equations (the "ITE Trip Generation"), and the number of trips determined by the product of such equation shall be referred to herein as the "Maximum Trips After Reduction". For purposes of this calculation, the maximum number of dwelling units or gross floor area proposed to be constructed in each new residential or new office building on the Property as determined at the time of site plan approval for each building shall be applied to the calculation described in the preceding sentence. The target reductions shall be as follows:

<u>Development Levels</u>	<u>Percentage Vehicle Trip Reduction</u>
Up to 65 million GSF	35%
65 million GSF	40%
84 million GSF	45%
90 million GSF	48%
96 million GSF	50%
105 million GSF	53%
113 million GSF	55%

The trip reduction goals outlined above are predicated on the achievement of specific development levels within the Tysons Corner Urban Center as anticipated in the Comprehensive Plan. Development levels in Tysons Corner shall be assessed in consultation with the County prior to undertaking trip measurements in order to determine the appropriate vehicle trip reduction goal. The assessed development levels shall be based on the RUP or Non-RUP issued within the Tysons Corner Urban Center.

If through an amendment to the Comprehensive Plan, the Board of Supervisors should subsequently adopt a goal for trip reductions that is lower than that committed to in this Proffer, then the provisions of this Proffer shall be adjusted accordingly without requiring a PCA.

- E. TDM Program Components – Property-Wide. The TDM Program shall include, but not necessarily be limited to, the following Property-wide components, each of which is more fully described in the TDM Plan.
- (i) Property-wide TDM Program Management.
 - (ii) TDM Program Branding.
 - (iii) Transportation Program Web Site.
 - (iv) Promotion of Real-time Transit Information.
 - (v) Site-based Transportation Access Guides.
 - (vi) Customized Commute Profiles.
 - (vii) Bicycle Accommodations.
 - (viii) Vehicle Parking Management.
- F. TDM Program Components – New Residential. The TDM Program shall include, but not necessarily be limited to, the following residential components, each of which is more fully described in the Implementation Plan.
- (i) Residential Transportation Coordinator(s).
 - (ii) Business Center.
 - (iii) Metrorail SmarTrip cards and Try Transit campaign for new residents.
 - (iv) Live/work/play marketing to new tenants.
- G. Process of Implementation. The TDM Program shall be implemented as follows, provided that modifications, revisions, and supplements to the implementation

process as set forth herein as may be approved by the FCDOT can be made without the need for a PCA.

- (i) TDM Program Manager. The Applicant shall appoint and continuously employ, or cause to be employed, a TDM Program Manager (TPM) for the Property. If not previously appointed, the TPM shall be appointed by the Applicant no later than sixty (60) days after the issuance of the first building permit for the first residential building to be constructed on the Property. During the initial stages of development, the TPM duties may be part of other duties associated with the appointee. The Applicant shall notify FCDOT in writing within 10 days of the appointment of the TPM. Thereafter the Applicant shall do the same within ten (10) days of any change in such appointment. Following the termination of the Applicant Control Period, the UOA shall be responsible for employment of the TPM.
- (ii) TDM Work Plan, Annual Report and TDM Budget. The TPM shall prepare and submit to FCDOT an initial TDM Work Plan ("TDMWP") and TDM Budget no later than 180 days after issuance of the first building permit for the first residential building on the Property. The TDMWP shall include, at a minimum:
 - a. Details as to the start-up components of the TDM program that will be put into action effective with the first residential building on the Property;
 - b. The budget needed to implement the program;
 - c. A summary of the currently existing/approved development levels in the Tysons Corner Urban Center in consultation with the County (based on RUPS and Non-RUPs issued) in order to determine the appropriate vehicle trip reduction goals.
 - d. A determination of the applicable Maximum Trips After Reduction for the Property in accordance with Paragraph D above;
 - e. Provision of the specific details associated with the monitoring and reporting requirements; and
 - f. Submission of the results of any Person Surveys and Vehicular Traffic Counts conducted on the Property.

The TDMWP and Budget shall be reviewed by FCDOT. If FCDOT has not responded with any comments within sixty (60) days after submission then the TDMWP and Budget shall be deemed approved and the TDM program shall be implemented. If FCDOT responds with comments on the TDMWP and Budget, then the TPM will meet with FCDOT staff within fifteen (15) days of receipt of the County's comments. Thereafter, but no later than thirty (30) days after the meeting, the TPM shall submit

such revisions to the TDMWP and Budget as discussed and agreed to with FCDOT and begin implementation of the approved program.

Each calendar year thereafter, but no later than February 1, the TPM shall submit a report which summarizes the results of the previous year's TDM Program, incorporates any new construction on the Property, proposes modifications or enhancements to program elements, and establishes a budget to cover the costs of implementation of the program for the succeeding year (the "Annual Report"). The Annual Report and TDM Budget shall be submitted to FCDOT and reviewed in the same manner as outlined above for the TDMWP and TDM Budget. The expected annual amounts of the Budget are further described in Section 3.0 of the Implementation Plan.

- (iii) Coordination with RZ 2010-PR-022. At such time as the adjacent parcels identified as Fairfax County Tax Map 29-3 ((15)) 4D1, 4E1, 4F1, 4G, 7A1, 7B1, 7C1, and 7E1 subject to approval of RZ 2010-PR-022 (the "adjacent property") implements a TDM Program, the Applicant shall coordinate its TDM programmatic efforts with the adjacent property, as appropriate, under one Administrative Group ("AG"). The AG will appoint a single TDM Program Manager ("Joint TPM") who will be responsible for submitting a collective Annual Report for both properties. The Joint TPM may or may not be the same individual designated as the Applicants' TDM Program Manager in accordance in Paragraph G(i) and whose duties are described elsewhere in this Proffer. The Joint TPM shall serve as the FCDOT point of contact for both developments and the Applicant shall notify FCDOT of the appointment of the Joint TPM in accordance with the timing requirements outlined in Paragraph G(i).

The collective Annual Report shall contain those elements described in Paragraph G(ii) for each individual development and, additionally, shall include a description of the internal trip reductions achieved between the two properties under the AG. Each applicant shall be responsible for preparing its individual TDM Budget, as described in Paragraph G(ii), and each TDM Budget shall be included with the collective Annual Report submitted by the Joint TPM.

Notwithstanding the above, the Applicant is in no way responsible for the implementation and success of the TDM Program associated with the adjacent property and any remedial measures and/or penalties associated with the adjacent property are not the responsibility of this Applicant.

- H. TDM Account. If not previously established, the Applicant, through the TPM, shall establish a separate interest bearing account with a bank or other financial institution qualified to do business in Virginia as approved by the County (the "TDM Account") within 30 days after approval of the Annual Report and TDM Budget. All interest earned on the principal shall remain in the TDM Account and

shall be used by the TPM for TDM purposes. The TDM Account shall be funded solely by the Applicant, through the TPM, until the end of the Applicant Control Period. At the end of the Applicant Control Period, a line item for the TDM Account shall be included in the UOA, or its equivalent, budget. The governing documents that establish and control the development shall provide that the TDM Account shall not be eliminated as a line item in the governing budget and that funds in the TDM Account shall not be utilized for purposes other than to fund TDM strategies/programs and/or specific infrastructure needs as may be approved in consultation with FCDOT.

Funding of the TDM Account shall be in accordance with the budget for the TDM Program elements to be implemented in a given year. In no event shall the TDM Budget for the Property overall be required to exceed \$81,375 (this amount shall be adjusted annually as specified in Proffer 60). The TPM shall provide written documentation to FCDOT demonstrating the establishment of the TDM Account within ten (10) days of its establishment. The TDM Account shall be replenished annually thereafter following the establishment of each year's TDM Budget. The TDM Account shall be managed by the TPM.

- I. TDM Remedy Fund. At the same time the TPM creates and funds the TDM Account, the TPM shall establish a separate interest bearing account (referred to as the "TDM Remedy Fund) with a bank or other financial institution qualified to do business in Virginia. Funding of the TDM Remedy Fund shall be made one time on a building by building basis at the rate of \$0.30 per gross square foot of new residential uses on the Property. Funding shall be provided by the building owners prior to the issuance of the first initial RUP for each applicable residential building. This amount shall be adjusted annually in accordance with Proffer 60. Funds from the TDM Remedy Fund shall be drawn upon only for purposes of immediate need for TDM funding and may be drawn on prior to any TDM Budget adjustments as may be required.
- J. TDM Incentive Fund. The "TDM Incentive Fund" is an account into which the Applicant, through the TPM, shall deposit contributions to fund a multimodal incentive program for initial purchasers/lessees within the Westpark Plaza development. Such contributions shall be made one time on a building by building basis at the rate of \$0.02 per gross square foot of residential uses to be constructed on the Property at the time of issuance of the first initial RUP for each building.
- K. TDM Penalty Fund. The "TDM Penalty Fund" is an account in to which the Applicant shall, through the TPM, deposit penalty payments as may be required to be paid pursuant to the this Proffer for non-attainment of trip reduction goals. The County may withdraw funds from the TDM Penalty Fund for the implementation of additional TDM program elements/incentives and/or congestion management in Tysons Corner. To secure the Applicant's obligations to make payments into the TDM Penalty Fund, the Applicant shall provide the County with a letter of credit or a cash escrow as further described below.

Prior to the issuance of the first RUP for each residential building on the Property, the Applicant (or its successor owner or developer, but not the UOA) shall:

- (i) Establish the TDM Penalty Fund, if not previously established by the TPM, and
- (ii) Deliver to the County a clean, irrevocable letter of credit issued by a banking institution approved by the County or escrow cash in an interest-bearing account with an escrow agent acceptable to DPWES to secure the Applicant's obligations to make payments into the TDM Penalty Fund (the "Letter(s) of Credit or Cash Escrow(s)"). The Letter(s) of Credit or Cash Escrow(s) shall initially be issued in an amount equal to \$0.05 for each gross square foot of residential GFA shown on the approved site plan for each residential building on the Property. Until the Letter of Credit or Cash Escrow for each residential building shall have been posted, the figures in the preceding sentence shall escalate annually from the first day of the calendar month following the date on which the first RUP for the first residential building within the Property has been issued and shall change on each anniversary of said date as specified in Proffer 60. The Letter(s) of Credit or Cash Escrow(s) shall name the County as the beneficiary and shall permit partial draws or a full draw. The foregoing stated amount(s) of the Letter(s) of Credit or Cash Escrow(s) shall be reduced by the sum of any and all previous draws under the Letter(s) of Credit or Cash Escrow(s) and payments by the Applicant (or the TPM) into the TDM Penalty Fund.

- L. Monitoring. The TPM shall verify that the proffered trip reduction goals are being met through the completion of Person Surveys, Vehicular Traffic Counts of new residential uses and/or other such methods as may be reviewed and approved by FCDOT. The results of such Person Surveys and Vehicular Traffic Counts shall be provided to FCDOT as part of the annual reporting process. Person Surveys shall be conducted and Vehicular Traffic Counts collected for the Property one year following issuance of the final initial RUP for the first new residential to be constructed on the Property. Person Surveys shall be conducted every three (3) years and Vehicular Traffic Counts shall be collected annually until the results of three consecutive annual traffic counts show that the applicable Maximum Trips After Reduction for the Property are not exceeded. At such time as three consecutive traffic counts show that the applicable Maximum Trips After Reduction for the Property has not been exceeded, the Applicant Control Period associated with the Property shall terminate. At such time and notwithstanding the provisions below, Person Surveys and Vehicular Traffic Counts shall thereafter be provided every five (5) years. Notwithstanding the aforementioned, at any time prior to or after Stabilization, FCDOT may suspend such Person Surveys and/or Vehicular Traffic Counts if conditions warrant.

M. Remedies and Penalties

(i) Pre-Stabilization. If the TDM program monitoring reveals that the Maximum Trips After Reduction for the Property is exceeded, then the Applicant shall meet and coordinate with FCDOT to address, develop and implement such remedial measures as may be identified in the TDM Plan and Annual Report.

a. Such remedial measures shall be funded by the Remedy Fund, as may be necessary, and based on the expenditure program that follows:

Maximum Trips Exceeded	Remedy Expenditure
Up to 1%	No Remedy needed
1.1% to 3%	1% of Remedy fund
3.1% to 6%	2% of Remedy Fund
6.1% to 10%	4% of Remedy Fund
Over 10%	8% of Remedy Fund

b. If the results of the Vehicular Traffic Counts conducted during Pre-Stabilization show that the trip reduction goals have been met site-wide for three (3) consecutive years in accordance with the goals outlined on the table below, then a portion of the Remedy Fund as outlined in the same table below shall be released back to the building owner(s) through the TPM. The amount released will be relative to the amount contributed by those buildings constructed and occupied at the time of Vehicular Traffic Counts. Any funds remaining in the Remedy Fund after such release will be carried over to the next consecutive three (3) year period.

Up to 65,000,000 Square Feet of GFA in Tysons		65-84,000,000 Square Feet of GFA in Tysons		84-90,000,000 Square Feet of GFA in Tysons	
Meet or Exceed Trip Goal for 3 years by:	Cumulative % Remedy Fund Returned	Meet or Exceed Trip Goal for 3 years by:	Cumulative % Remedy Fund Returned	Meet or Exceed Trip Goal for 3 years by:	Cumulative % Remedy Fund Returned
0% - 4.9%	30%	0.0% - 4.9%	50%	0.0% - 4.9%	65%
5% - 10%	50%	5% - 10%	65%	5% - 8%	80%
10.1% - 15%	65%	10.1% - 13%	80%	8.1% - 10%	90%
15.1% - 18%	80%	13.1% - 15%	90%	>10%	100%
18.1 - 20%	90%	>15%	100%		
>20%	100%				
90-96,000,000 Square Feet of GFA in Tysons		96-113,000,000 Square Feet of GFA in Tysons		113,000,000+ Square Feet of GFA in Tysons	
Meet or Exceed Trip Goal for 3 years by:	Cumulative % Remedy Fund Returned	Meet or Exceed Trip Goal for 3 years by:	Cumulative % Remedy Fund Returned	Meet or Exceed Trip Goal for 3 years by:	Cumulative % Remedy Fund Returned
0.0% - 4.9%	80%	0.0% - 4.9%	90%	> 0.0%	100%
5% - 8%	90%	5%	100%		
>8%	100%				

c. There is no requirement to replenish the TDM Remedy Fund at any time. Any cash left in the Remedy Fund will be released to the TPM for final distribution to the owners once three consecutive annual Vehicular Traffic Counts conducted after Stabilization show that the trip reduction goals have been met.

(ii) Following Stabilization.

a. *Remedies.* If the TDM program monitoring reveals that the Maximum Trips After Reduction for the Property is exceeded, then the TPM shall meet and coordinate with FCDOT to address, develop and implement such remedial measures as may be identified in the Implementation Plan and Annual Report and funded by the Remedy Fund as may be necessary commensurate

with the extent of deviation from the Maximum Trips After Reduction goal and as set forth in accordance with the expenditure schedule outlined above.

- b. If the results of the Vehicular Traffic Counts conducted upon Stabilization show that the trip reduction goals have been met site-wide for three (3) consecutive years in accordance with the goals outlined in the table above, then any remaining Remedy Funds shall be released back to the building owners through the TPM.
- c. *Penalties.* If despite the implementation of remedial efforts, the applicable Maximum Trips After Reduction (based on the development levels then existing) are still exceeded after three (3) consecutive years, then, in addition to addressing further remedial measures as set forth in this Proffer, the TPM shall be assessed a penalty according to the following:

Exceeded Trip Goals	Penalty
Less than 1%	No Penalty Due
3.1% to 6%	10% of Penalty Fund
6.1% to 10%	15% of Penalty Fund
Over 10%	20% of Penalty Fund

Penalties may be incurred in subsequent Stabilization years during the Applicant Control Period when the applicable Maximum Trips After Reduction for the Property continue to be exceeded and provided there are funds still available in the TDM Penalty Fund.

- (iii) The Applicant shall make the payments required by this Proffer into the TDM Penalty Fund upon written demand by the County, and the County shall be authorized to withdraw the amounts on deposit in the TDM Penalty Fund. If the Applicant fails to make the required penalty payment to TDM Penalty Fund within thirty (30) days after written demand, the County shall have the ability to withdraw the penalty amount directly from the Letter(s) of Credit or Cash Escrow(s).
- (iv) The maximum amount of penalties associated with the Property, and the maximum amount the Applicant shall ever be required to pay pursuant to the penalty provisions of this Proffer, including prior to and after Stabilization, shall not in the aggregate exceed the amount of the Letter(s) of Credit or Cash Escrow(s) determined and computed pursuant to the provisions above. There is no requirement to replenish the TDM Penalty Fund at any time. Upon the end of the Applicant Control Period, the Letter(s) of Credit and/or any cash left in the Cash Escrow(s) shall be released to the Applicant.

- N. Additional Trip Counts. If an Annual Report indicates that a change has occurred that is significant enough to reasonably call into question whether the applicable vehicle trip reduction goals are continuing to be met, then FCDOT may require the Applicant (or UOA after termination of the Applicant Control Period) to conduct additional Trip Counts (pursuant to the methodology set forth in the Implementation Plan) within 90 days to determine whether in fact such objectives are being met. If any such Trip Counts demonstrate that the applicable vehicle trip reduction goals are not being met, then the Applicant or UOA shall meet with FCDOT to review the TDM strategies in place and to develop modifications to the TDM Plan to address the surplus of trips.
- O. Review of Trip Reduction Goals. At any time concurrent with remedial actions and/or the payment of penalties as outlined in this Proffer, the Applicant may request that FCDOT review the vehicle trip reduction goals established for the Property and set a revised lower goal for the Property consistent with the results of such surveys and traffic counts provided for by this Proffer. In the event a revised lower goal is established for the Property, the Maximum Trips After Reduction shall be revised accordingly for the subsequent review period.
- P. Continuing Implementation. At the termination of the Applicant Control Period, the UOA shall bear sole responsibility for continuing implementation of the TDM Program and compliance with this Proffer. The UOA shall continue to administer the TDM Program in the ordinary course in accordance with this Proffer including submission of Annual Reports.
- Q. Notice to Owners. All owners of the Property shall be advised of the TDM Program set forth in this Proffer. UOA members shall be informed of their funding obligations pursuant to the requirements of this Proffer prior to the purchase of units and the requirements of the TDM Program, including the annual contribution to the TDM Program (as provided herein), shall be included in all initial purchase documents and within the UOA documents.
- R. Enforcement. If the TPM fails to timely submit a report to FCDOT as required by this Proffer, the TPM shall have sixty (60) days within which to cure such violation. If after such sixty (60) day period the TPM has not submitted the delinquent report, then the Applicant shall be subject to a penalty of \$100 per day not to exceed \$36,500 for any one incident. Such penalties shall be payable to the County to be used for transit, transportation, or congestion management improvements within the vicinity of the Property.
43. Transportation Demand Management for Retail/Service/Hotel Uses. As provided in this Proffer, certain components of the TDM Plan are applicable to and will benefit the proposed retail/hotel uses on the Property. Therefore, the Applicant shall provide an additional TDM program that is tailored to specifically serve the Retail/Service/Hotel Uses (the "Retail/Service/Hotel TDM Program"). In no event will monitoring or penalties be assessed against the Retail/Service/Hotel Uses, which may be established on the Property.

44. Intelligent Transportation Systems. To optimize safe and efficient travel in Tysons, the Applicant shall incorporate and maintain a system (or utilize a third party source) that provides pertinent traffic and transit information that allows users to make informed travel decisions. This information shall be provided at initial occupancy of each building. The delivery of this information shall be made convenient for building occupants and visitors, such as via computer, cell phone, monitors, or similar technology. Such devices may provide, but not be limited to, information on the following:
- A. Traffic conditions, road hazards, construction work zones, and road detours.
 - B. Arrival times and delays on Metrorail, Tysons Circulator, and area bus routes.
 - C. Bus stops pre-wired for real-time arrival/departures information.

The Applicant shall work with FCDOT and/or the Tysons Partnership to identify sources and facilitate electronic transmittal of data. Furthermore, the Applicant shall participate in efforts to implement any future dynamic traffic management program for the Tysons area.

AFFORDABLE/WORKFORCE HOUSING

45. Affordable Dwelling Units. If required by the provisions of Part 8 of Article 2 of the Zoning Ordinance, Affordable Dwelling Units ("ADUs") shall be provided pursuant to said regulations unless modified by the ADU Advisory Board.
46. Workforce Dwelling Units. In addition to any ADUs that may be required pursuant to these Proffers, the Applicant shall also provide for-sale and/or rental housing units on the Property in accordance with the Board of Supervisors' Tysons Corner Urban Center Workforce Dwelling Unit Administrative Policy Guidelines dated June 22, 2010. Workforce Dwelling Units ("WDUs") shall be provided such that the total number of ADUs, if any, plus the total number of WDUs results in not less than twenty percent (20%) of the total residential units constructed as part of the Proposed Development. For all dwelling units constructed on the Property, the 20% applies to the total number of dwelling units to be constructed in that portion of the proposed development. If ADUs are provided in the development, both the ADUs and the ADU bonus units shall be deducted from the total number of dwelling units on which the WDU calculation is based.

The WDUs generated by each residential building on the Property shall be provided within said building. A minimum of ten percent (10%) of the dwelling units designated as ADUs and WDUs shall be designed and constructed with Universal Design features, as determined by the Applicant. The WDUs shall have a bedroom mix similar to that provided in the market rate units. Additionally, in the event that parking spaces are made available for lease to individual market rate dwelling units, at least one (1) parking space shall be made available for lease by each ADU and/or WDU in the development.

Notwithstanding the foregoing, the Applicant reserves the right to enter into a separate binding written agreement with the appropriate County agency as to the terms and conditions of the administration of the WDUs following approval of this Application. Such an agreement shall be on terms mutually acceptable to both the Applicant and the County and may occur after the approval of this Application. Neither the Board of Supervisors nor the County shall be obligated to execute such an agreement. If such an agreement is executed by all applicable parties, then the WDUs shall be administered solely in accordance with such an agreement and the provisions of this Proffer as it applies to WDUs shall become null and void. Such an agreement and any modifications thereto shall be recorded in the land records of the County.

47. Non-Residential Contribution for Workforce Housing. For the new hotel building to be constructed on the Property, the Applicant shall select, within their sole discretion, one of the following two options for contributing toward the provision of affordable and/or workforce housing within Tysons Corner. This contribution shall be made to the Board of Supervisors to be deposited in a specific fund to be used solely for this purpose within Tysons Corner and shall be payable at the time of issuance of the Non-RUPs for the new hotel building constructed on the Property. The options shall consist of either (i) a one-time contribution of \$3.00 for each square foot of GFA of new hotel use excluding any ground level retail/services uses and public uses, or (ii) an annual contribution of \$0.25 for each square foot of GFA of new hotel excluding any ground level retail/services uses and public uses continuing for a total of sixteen (16) years.

PARKS AND RECREATIONAL FACILITIES

48. Publicly Accessible Parks. The Applicant shall provide a variety of park space on the Property that will be open and accessible to the public as depicted on the CDP. For areas that are not specifically dedicated to the Board of Supervisors for park purposes, the Applicant shall retain the area(s) in fee simple, record public access easement(s) ensuring that the park space is open to the public for periods of time consistent with urban parks, and provide for perpetual private maintenance. The Applicant shall also work with the FCPA to plan and coordinate activities and events within the publicly accessible park areas. A wayfinding and signage system shall be developed in coordination with FCPA at the time of site plan approval and installed by the Applicant to ensure the public can easily identify and access all publicly accessible park spaces, with particular emphasis placed on the area identified as Neighborhood Park.

The variety and quantity of recreational facilities and amenities provided in the publicly accessible parks shall generally follow the Public Urban Park Programming list found on Sheet L.002. This shall serve as a guide, but the recreational facilities and amenities to be provided shall be subject to refinement and adjustment at the time of FDP and site plan, provided they result in a similar variety and level of physical activity.

The construction of the publicly accessible parks shall occur in phases as generally shown on the Phasing Sheets and described below, with adjustments permitted with FDP approval. The following publicly accessed parks shall be provided as identified on Sheet L.002 of the CDP:

- A. Civic Square (Park 1) – This street level park of approximately 14,892 square feet is located at the corner of Park Avenue and Madison Street. As shown on Sheet L.004' of the CDP, this urban plaza is in close proximity to other planned public parks and thus the Applicant shall coordinate the design of the Civic Square shall with the design of the Magnetic Park proposed with RZ 2010-PR-022. The Civic Square shall provide a multi-purpose lawn panel, enhanced hardscaping, landscaping, outdoor seating, sculptural lighting and space for outdoor exhibits and events. More specific details shall be determined at time of FDP approval for Buildings D1 and D2. Construction of interim improvements to Civic Plaza shall occur with the construction of Building D1, and the ultimate plaza improvements shall be provided concurrent with the development of Building D2.
- B. Neighborhood Park (Park 2) – This approximate 77,455 square foot park shall include a variety of active recreational uses including a multi-purpose lawn, a running/walking loop trail, multi-purpose sport courts, bocce courts, chess tables, and children's playground. The park also provides landscaping, pergola and shade structures, benches and moveable furniture. At the Applicant's discretion, a light well allowing daylight to penetrate the hotel drop-off area beneath the park may be provided. If provided, such light well shall include fencing and landscaping for safety considerations and a sculptural element and/or artistic lighting to create a visual focal point, the details of which shall be determined at FDP.

Primary public access to Park 2 shall be provided via: 1) a well-marked public stairway on Westpark Drive; 2) sidewalks through the Civic Square; and 3) a well-marked public elevator along Route 7. Public access easements shall be recorded over the stairwell from Westpark Drive, the access from Civic Square and the public elevator to permit public access to the park during the hours the Neighborhood Park is open. To provide a visual connection to the park from Park Avenue, Building D2 shall be designed with a predominately glass façade along a limited portion of the ground floor so that pedestrians can "see through" to activity in the park as generally shown in the perspective views on Sheet A.206 of the CDP. The design details depicted on Sheet L.004 may be adjusted at time of FDP approval for Buildings D1, D2 and D3. Partial construction of Park 2 shall occur with the construction of Building D1, with the ultimate improvements completed concurrently with the construction of Buildings D2 and D3. Access easements for public use shall not be recorded on the Neighborhood Park until the ultimate improvements are completed with the construction of Buildings D2 and D3.

- C. Dittmar Gateway Park (Park 3) – This street level gateway plaza, approximately 10,320 square feet in size, is located at the intersection of Route 7 and Westpark Drive. With a combination of unique hardscape paving berms, sculptural lighting, and landscaping this park will provide multiple seating opportunities and opportunities for event/performance space. The design details may be adjusted at time of FDP approval for Buildings D3 and construction of this park shall occur with the construction of Building D3. A substantial portion of this plaza area is

located within VDOT controlled excess right-of-way and its use and design is subject to approval from VDOT.

49. Private Park Space. In addition to the publically accessible parks described in the proffer above, the Applicant shall provide private park space as described on Sheet L.002. Specific details and amenities to be provided in this private park space shall be determined at time of FDP for the Building D1 and construction shall be concurrent with the development of Building D1.
50. Amenities and Facilities for Residents. The Applicant shall provide on-site recreational facilities for the future residents of the Property. Pursuant to Paragraph 2 of Section 6-110 and Paragraph 2 of Section 16-404 of the Zoning Ordinance regarding developed recreational facilities, the Applicant shall expend a minimum of \$1700.00 per market-rate and workforce residential unit on such recreation facilities. Prior to final bond release for the Property, the balance of any funds not expended on-site, as determined by DPWES shall be contributed to the Board of Supervisors for the provision of recreation facilities serving Tysons Corner.

The specific facilities and amenities to be provided for each individual residential building or shared between the two buildings shall be determined at the time of FDP approval and provided concurrent with construction of the individual residential buildings. Amenities to be provided may include, but not be limited to:

- A. Private exterior recreational areas to be provided on the upper level of the parking podiums and/or the roof level (which may be the same as the private park spaces in Proffer 49), to include, but not be limited to lounge areas, specialty landscaping, lawn areas, hardscape areas, passive recreation areas, and swimming pools;
- B. Clubroom(s), game room(s) and informal spaces for community gatherings;
- C. Media/entertainment center(s) and business center(s); and
- D. Fitness center(s) with exercise equipment such as stationary bikes, treadmills, weight machines, free weights, etc. and/or sports courts.
51. Athletic Field Contribution. To address the Comprehensive Plan's recommendations regarding the provision of athletic fields in Tysons, the Applicant shall contribute to the acquisition and development of athletic fields serving the Tysons area in accordance with one of the following options.
- A. The Applicant may enter into a private agreement with the applicant in adjacent rezoning application RZ 2010-PR-022 to provide a rectangular athletic field on property identified among the Fairfax County 2014 tax assessment records as 39-2 ((1)) 13D and 13E (collectively, the "Athletic Field Site"). Prior to the issuance of RUP or Non-RUP for the first new building to be constructed on the Property, the Applicant shall demonstrate that it has entered into an agreement with the RZ 2010-PR-022 Property.

B. The Applicant may establish an interest-bearing account referred to herein as the "Athletic Field Fund" and deposit:

(i) a fixed sum for one or more buildings on or before June 30, 2015. The fixed contribution for each building as set forth below shall not be subject to adjustment pursuant to Proffer 60:

a. Building D1 - \$930,000.00

b. Building D2 - \$1,058,000.00

c. Building D3 - \$218,000.00

The above contribution amounts are based on the mid-point of the GFA range for each building as shown in the Development Tabulations. If at the time of issuance of the first RUP or Non-RUP for any building for which a discounted payment was made in 2015, it is determined that the actual GFA of such building exceeds the mid-point GFA for the building, then the Applicants shall make an additional contribution to the Board of Supervisors equal to \$2.38 per square foot of excess GFA. Such additional per square foot contribution shall be subject to adjustment pursuant to Proffer 60.

(ii) the sum of \$2.38 for each square foot of GFA for which a contribution is not made prior to June 30, 2015. The contribution shall be based on the actual GFA constructed and shall be due at the issuance of the first RUP or Non-RUP for the applicable building. This contribution shall be subject to adjustment as described in Proffer 60.

(iii) Upon thirty (30) day written notice from Fairfax County, the Applicant shall release the funds in the Athletic Field Fund, including any accrued interest, to Fairfax County or its designee for use in the acquisition, design and construction of athletic fields serving the Tysons area.

PUBLIC FACILITIES

52. Public Facility- Library Space. The Applicant shall provide a contribution to the Board of Supervisors (the "Public Facility Contribution") for the design and construction, by others, of a new Fairfax County Community Library (the "New Library") to be located within a building on adjacent property subject to RZ 2010-PR-022. The Applicant shall establish an interest-bearing account referred to herein as the "Public Facility Fund" in to which the Public Facility Contribution(s) shall be deposited. The fixed contribution for each building, subject to adjustment pursuant to Proffer 60 is:

A. Building D1 - \$940,000.00

B. Building D2 - \$1,050,000.00

C. Building D3 - \$244,000.00

The Public Facility Contribution associated with each building shall be due at the issuance of the first RUP or Non-RUP for the applicable building. However, in the event the New Library is designed, approved and a building permit issued for its construction prior to the Applicant's obligation to fully contribute funds as set forth in this Proffer and at least one of Buildings D1, D2 or D3 has been constructed, the Applicant shall deposit the remaining Public Facility Contribution due into the Public Facility Fund upon twelve (12) months written notice from the County.

Upon thirty (30) day written notice from Fairfax County, the Applicant shall release the funds in the Public Facility Fund, including any accrued interest, to Fairfax County or its designee for design and construction of the New Library (or other public facility as noted below).

Should it be determined by Fairfax County that this contribution is not needed for a New Library on the adjacent property as noted above, the Public Facility Contribution may be dedicated to a library located elsewhere in Tysons or to other public facilities serving the Tysons area as determined by the Board of Supervisors.

53. Public School Contribution. Per the Residential Development Criteria Implementation Motion adopted by the Board of Supervisors on September 9, 2002, and revised July, 2006, the Applicant shall contribute \$10,488.00 per expected student (based on a ratio of 0.110 students per residential unit) to the Fairfax County School Board to be utilized for capital improvements to schools that any students generated by the Property will attend. Such contribution shall be made prior to the issuance of the first RUP for each residential building and shall be based on the actual number of dwelling units built in each building.

If, prior to site plan approval for the respective residential buildings, Fairfax County should modify, on a county-wide basis, the expected ratio of students per subject multi-family unit or the amount of the contribution per student, the amount of the contribution shall be modified for that building to reflect the then current ratio and/or contribution. This contribution is not subject to the provisions of Proffer 60. If the County should decrease the ratio or contribution amount, the amount of the contribution shall be decreased to reflect the current ratio and/or contribution.

STORMWATER MANAGEMENT

54. Stormwater Management.

- A. Stormwater Management ("SWM") measures for the Property shall be designed to protect receiving waters downstream of Tysons by reducing runoff from impervious surfaces using a progressive approach. This progressive approach shall, to the maximum extent practicable, subject to the determination of the DPWES, retain on-site and/or reuse the first inch of rainfall. Proposed SWM and Best Management Practice ("BMP") facilities shall follow a tiered approach as identified by the County which may include infiltration facilities (where

applicable), rainwater harvesting/detention vaults, runoff reducing and other innovative BMPs.

Plans submitted subsequent to this rezoning shall identify the use of certain Low Impact Development ("LID") techniques that will aid in runoff volume reduction and promote reuse throughout the site. As a part of the LID techniques proposed, the Applicant may provide a variety of innovative solutions, possibly including green roofs (intensive and/or extensive), bio-retention facilities (traditional and urban), soil amendments, dry swales, pervious hardscapes/streetscapes, rainwater harvesting, infiltration and other innovative measures.

Additionally, the SWM facilities shall be designed to match not just the pre-developed (existing) peak release rates, but also strive to preserve and/or improve the pre-developed (existing) runoff volumes and reduce pollutant runoff as contemplated within the stormwater management-related credits of the project's registered version of the USGBC's applicable LEED rating system. The above noted SWM Facilities shall be designed, to the maximum extent practicable, to meet the requirements of the stormwater management-related credits of the project's registered version of the USBGC's applicable LEED rating system for ultimate development as shown on the CDP.

- B. At the time of each FDP, the Applicant shall demonstrate that progress is being made toward implementation of the ultimate stormwater management design shown on the CDP. With each FDP, the Applicant shall: 1) provide calculations for that phase showing the proposed runoff volume reductions; and 2) work cooperatively with DPWES and DPZ to ensure that stormwater management measures sufficient to meet the requirements of Paragraph A will be provided and that the first inch of rainfall within the project stormwater boundary will be retained or reused to the maximum extent practicable. Supporting information shall be included, as part of each FDP submission, that is of sufficient detail, subject to DPWES's determination in coordination with EDRB, to demonstrate the viability of the proposed stormwater management strategy for the area subject to the FDP. This information shall include the following:
- (i) For any BMP involving infiltration of water into the ground, soil testing information documenting that the soil will be able to support the proposed infiltration measure(s).
 - (ii) For any measure involving storage and reuse of stormwater runoff, documentation supporting assumed levels of water usage.
- C. The requirements of Paragraph B may be met on an individual building basis (to include a reasonable boundary defined by the Applicant, which may consist of proposed building and parking garages as well as other areas within the Property where ultimate build-out is achieved) or be based upon the total area of the Property. It is further understood that interim or temporary SWM and BMP

measures may be used during any interim phase of the Proposed Development to satisfy the requirements of these proffers or applicable PFM requirements.

Each FDP shall include the location and preliminary design of the SWM facilities including underground vaults. Access points to underground vaults shall be located outside of the landscape amenity panel and sidewalk zone of the streetscape.

- D. With each subsequent site plan, the Applicant shall provide refined calculations illustrating conformance with the proposed volume reductions shown on the FDP. The specific SWM facilities shall be determined at the time of site plan, and as may be approved by the DPWES. While it is anticipated that compliance with the goal of retaining and/or reusing the first inch of rainfall and meeting the requirements of the aforementioned LEED credits will be confirmed at site plan by utilizing the proposed retention credits identified by the County as part of its stormwater spreadsheet, the Applicant reserves the right to utilize any combination of LID measures (existing and future) to meet this goal, subject to the review and approval of DPWES. Similarly, if all other County suggested stormwater alternatives have been attempted, the Applicant reserves the right to over detain the runoff from a one-inch rainfall to a release rate that mimics that of a "good" forested condition.

Where it is the Applicant's intent to use a rainwater harvesting system ("RWHS") for stormwater credit, variations in reuse water demand may create fluctuations in draw down of the RWHS tank(s). If storage time will exceed 10 days, due to seasonal variation in demand, the Applicant shall have the right to drain remaining water in cistern off site during non-rainfall periods.

55. Tree Replacement. As shown on the CDP, the Applicant is requesting a modification of PFM Section 12-0505.6B to allow for trees located above any proposed percolation trench or bio-retention area to count toward the 10-year tree canopy requirement. In the event that any of the said trees may need to be removed for maintenance or repair of those facilities, the Applicant shall replace removed trees as determined by the UFMD to sustain the 10-year canopy UFMD to sustain the 10-year canopy.

MISCELLANEOUS

56. Tree Preservation and Planting Fund Contribution. At the time of site plan approval for the first building on the Property, the Applicant shall make a one time contribution of \$2,980.00 to the Fairfax County Tree Preservation and Planting Fund.
57. Metrorail Tax District Buyout for Certain Residential Uses. At least sixty days prior to registration with the Common Interest Community Board of any residential condominium documents that would change the use of all or any portion of the Property that either i) is zoned to permit multi-family residential use but is not yet used for that purpose or ii) from use as a multi-family residential real property that is primarily leased or rented to residential tenants or other occupants by an owner who is engaged in such a business, in

either case therefore taxable for purposes of the now existing Phase I Dulles Rail Transportation Improvement District (the "Phase I District") to a use that is not subject to the Phase I District tax, the Applicant shall provide a written notice to the Director of the Real Estate Division of the Fairfax County Department of Tax Administration advising that the Applicant intends to register such condominium documents for that portion of the Property. Prior to registering the condominium documents, the Applicant shall pay to Fairfax County a sum equal to the then-present value of Phase I District taxes estimated by the County to be lost as a result of that change in use.

58. Condemnation Procedures. Should the development of the Property in accordance with these Proffers require the acquisition of property, rights-of-way and/or easements from parcels that are not part of the Property (collectively referred to as "Off-Site Parcels"), the Applicant shall use its good faith efforts and offer a reasonable fair market value for said property, right-of-way and/or easements. In the event the Applicant is not able to acquire the property, rights-of way and/or easements from Off-Site Parcels necessary to fulfill the obligations described herein, the Applicant shall demonstrate its efforts in writing and submit a written request to Fairfax County to acquire the property, rights-of way and easements by means of its condemnation powers.

In conjunction with any such request, the Applicant shall forward to the appropriate County agency: (a) plat, plans and profiles showing the necessary property, rights-of way and/or easements to be acquired; (b) an appraisal, prepared by a MAI (Member of the Appraisal Institute) independent appraiser approved by the County, of the value of the property, rights-of way and/or easements to be acquired and of all damages, if any, to the residue of the Off-Site Parcels; (c) a sixty (60) year title search certificate of Off-Site Parcels from which the property, rights-of way and/or easement is to be acquired; and (d) cash in an amount equal to appraised value of the property, rights-of-way and easements and of all damages to the residue of the Off-Site Parcels; and (e) a copy of written offers and counteroffers and evidence of owners refusal of such offers and counteroffers. In the event the Owner of the Off-Site Parcels are awarded more than the appraised value of the Off-Site Parcels and of the damages to the residue in a condemnation suit, the Applicant shall pay the amount of the award in excess of cash amount to the County within fifteen (15) calendar days of said award. It is understood that the Applicant, upon demand, shall pay all other costs incurred by the County in acquiring the easements to the County.

Prior to and during any potential condemnation proceedings, the Applicant, its successors and assigns, shall be permitted, at its own risk, to submit, process and receive approval of the Site Plan and related subdivision plat(s), easement plats, development permits, building plan approvals and building permits for other portions of the Property.

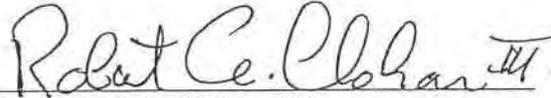
59. Zoning Administrator Consideration. Notwithstanding the foregoing, upon demonstration by the Applicant that, despite diligent efforts or due to factors beyond the Applicant's control, the required transportation improvements proffered have been delayed (due to, but not limited to an inability to secure necessary permission for utility relocations and/or VDOT approval for traffic signals, etc.) beyond the timeframes specified, the Zoning Administrator may agree to a later date for completion of these transportation improvement(s).

60. Adjustment in Contribution Amounts. All monetary contributions specified in these proffers shall adjust on a yearly basis from the base year of 2016 and change effective each January 1 thereafter, based on changes in the Consumer Price Index for all urban consumers (not seasonally adjusted) ("CPI-U"), both as permitted by Virginia State Code Section 15.2-2303.3, except for contributions to the Tysons Grid of Streets Transportation Fund, the Tysons-wide Transportation Fund, and public schools, which are subject to separate annual adjustments by the Board of Supervisors.
61. Advanced Density Credit. Advanced density credit is reserved consistent with the provisions of the Zoning Ordinance for all eligible dedications described herein or as may be required by the County or VDOT.
62. Severability. Pursuant to Section 18-204 of the Zoning Ordinance, any portion of the Property may be the subject of a proffered condition amendment ("PCA"), Special Exception ("SE"), Special Permit ("SP"), or Final Development Plan Amendment ("FDPA") without joinder and/or consent of the owners of the other portions of the Property, provided that such PCA, SE, SP or FDPA does not materially adversely affect the other phases. Previously approved zoning applications applicable to the balance of the Property that is not the subject of such a PCA, SE, SP or FDPA shall otherwise remain in full force and effect.
63. Successors and Assigns. These Proffers will bind and inure to the benefit of the Applicant and their successors and assigns. Each reference to "Applicant" in this proffer statement shall include within its meaning and shall be binding upon Applicant's successor(s) in interest and/or the owners from time to time of any portion of the Property during the period of their ownership. Once portions of the Property are sold or otherwise transferred, the associated proffers become the obligation of the purchaser or other transferee and shall no longer be binding on the seller or other transferee. With respect to any portion of the Property subject to a COA, the COA shall have liability for performance of any applicable proffers, but not the individual condominium owners.
64. Counterparts. These Proffers may be executed in one or more counterparts, each of which when so executed and delivered shall be deemed an original, and all of which taken together shall constitute but one and the same instrument.

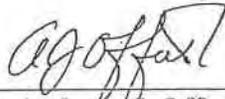
[SIGNATURES BEGIN ON NEXT PAGE]

APPLICANT/TITLE OWNER OF
TAX MAP 29-3 ((15)) 8

TYSONS WESTPARK, L.C.

Handwritten signature of Robert A. Clohan, III in cursive script.

By: Robert A. Clohan, III
Its: Manager

Handwritten signature of Anthony J. Offutt in cursive script.

By: Anthony J. Offutt
Its: Manager

[SIGNATURES END]

WESTPARK PLAZA

RZ 2013-PR-009

CONCEPTUAL DEVELOPMENT PLAN

PROVIDENCE DISTRICT
FAIRFAX COUNTY, VIRGINIA

APPLICANT

TYSONS WESTPARK, LC
8921 OLD COURTHOUSE RD
SUITE 300
VIENNA, VA 22182
703-368-6800
CHRIS BRIGHAM

APPLICANT'S REPRESENTATIVE

WALSH, COLUCCI, LUBELEY & WALSH, P.C.
2200 CLARENDON BLVD.
13th FLOOR
ARLINGTON, VA 22201
703-528-4700
ELIZABETH BAKER

ARCHITECT

MTFA ARCHITECTURE, INC
3200 LEE HIGHWAY
ARLINGTON, VA 22207
703-524-8616
MICHAEL FOSTER

CIVIL ENGINEER

WALTER L. PHILLIPS, INC.
207 PARK AVENUE
FALLS CHURCH, VA 22046
703-632-6168
AARON VINSON

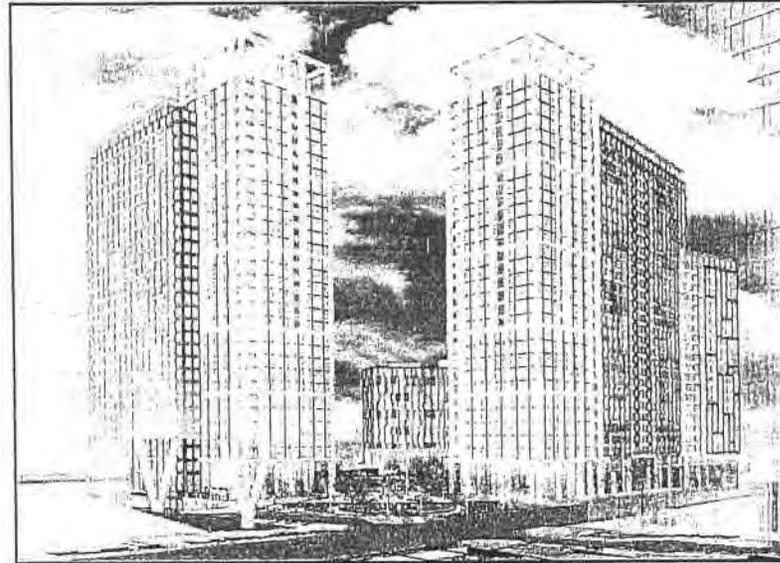
LANDSCAPE ARCHITECT

LANDDESIGN INC.
200 SOUTH PEYTON STREET
ALEXANDRIA, VA 22134
703-549-7784
STEPHANIE PANKIEWICZ

TRANSPORTATION

WELLS & ASSOCIATES
1420 SPRING HILL ROAD
MCLEAN, VA 22102
703-917-8620
ROBIN ANTONUCCI

APRIL 4, 2013
REV. JULY 15, 2013
REV. NOVEMBER 1, 2013
REV. MARCH 31, 2014
REV. JULY 3, 2014
REV. AUGUST 14, 2014
REV. OCTOBER 1, 2014



CONCEPTUAL DEVELOPMENT RENDERING

TAX MAP NO. 29-8 ((1.6)) - 0008



OVERALL SHEET INDEX

CIVIL SHEETS

P.101	COVER SHEET
P.102	NOTES AND TABULATIONS
P.103	REGIONAL CONTEXT PLAN
P.104	LOCAL CONTEXT PLAN
P.201	EXISTING CONDITIONS PLAN
P.202	EXISTING VEGETATION PLAN
P.301	CONCEPTUAL DEVELOPMENT PLAN
P.302	TRAFFIC CIRCULATION PLAN
P.303	CONCEPTUAL GRADING AND UTILITY PLAN
P.501	PRELIMINARY OUTFALL ANALYSIS
P.502	STORMWATER MANAGEMENT PLAN
P.503	STORMWATER MANAGEMENT NARRATIVES AND COMPUTATIONS
P.504	SWM CHECKLIST, CONFORMANCE SPREAD SHEET & DETAILS
P.505	PRELIMINARY BMP CALCULATIONS
P.506	PRELIMINARY BMP COMPUTATIONS AND DETENTION ROUTING HYDROGRAPH
P.601	PRELIMINARY FIRE ACCESS PLAN
P.602	LOADING CIRCULATION PLAN - ENTERING MOVEMENTS
P.603	LOADING CIRCULATION PLAN - EXITING MOVEMENTS
P.604	SUPPLEMENTAL TRANSPORTATION PLAN

ARCHITECTURAL SHEETS

A.101	SITE PLAN
A.102	FLOOR PLANS
A.103	FLOOR PLANS
A.201	SECTIONS
A.202	SECTIONS
A.203	SECTIONS
A.204	NORTH ELEVATION - WESTPARK DRIVE
A.205	SOUTH ELEVATION - MADISON STREET
A.206	EAST ELEVATION - PARK AVENUE
A.207	WEST ELEVATION - LEEBURG PIKE, ROUTE 7
A.208	ENLARGED ELEVATIONS
A.401	MASSING STUDY
A.402	ILLUSTRATIVE PERSPECTIVE
A.403	ILLUSTRATIVE PERSPECTIVE
A.404	ILLUSTRATIVE PERSPECTIVE
A.405	ILLUSTRATIVE PERSPECTIVE
A.406	ILLUSTRATIVE PERSPECTIVE
A.410	ARCHITECTURAL PRECEDENTS
A.411	GARAGE ACCESS ILLUSTRATIONS
A.501	SUN AND SHADE STUDIES

LANDSCAPE ARCHITECTURAL SHEETS

L.001	PEDESTRIAN HIERARCHY
L.002	URBAN PARK PLAN
L.003	OVERALL TREE PLAN
L.003A	TREE COVER CALCULATIONS
L.004	OVERALL PLAN
L.005	PERSPECTIVES
L.006	PERSPECTIVES
L.007	PERSPECTIVES
L.008	PERSPECTIVES
L.009	ILLUSTRATIVE PLAN - URBAN PARK CHARACTER IMAGES
L.010	STREETSCAPE PLAN ENLARGEMENT
L.011	SECTIONS
L.012	PHASING PLAN
L.013	PHASING PLAN
L.013A	PHASING PLAN
L.014	STREET TREE DETAILS
L.015	STREET TREE DETAILS
L.016	TREE DETAILS

NOTES

- OWNER/APPLICANT:
TYSON WESTPARK LC
C/O WILSON COMPANY
5221 OLD DOBSONVILLE ROAD
SUITE 100
DUBLIN, VA 22029
- THE PROPERTY SHOWN ON THIS PLAN IS IDENTIFIED ON THE FAIRFAX COUNTY TAX MAP AS 029-2-10-006. THE PROPERTY IS APPROXIMATELY 23,830 SQ. FT. OR 0.5460 AC.
- THE SITE IS CURRENTLY ZONED C-7, HC, SC AND IS PROPOSED TO BE REZONED TO PTC, NC, SC DISTRICT THROUGH THIS APPLICATION.
- THE SUBJECT PROPERTY LIES WITHIN THE NORTH SUB-DISTRICT OF THE TYSON CORRIDOR 7 DISTRICT OF THE TYSON CORNER URBAN CENTER PLAN. THE PROPOSED DEVELOPMENT IS IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE COMPREHENSIVE PLAN AS DESCRIBED IN THE APPLICATION NARRATIVE.
- THE PROPOSED DEVELOPMENT WILL MEET THE PARKING REQUIREMENTS OF ARTICLE 8 AND 11 OF THE ZONING ORDINANCE. PARKING SHALL BE PROVIDED AT GRADE AND THROUGH A PROPOSED PARKING GARAGE.
- THE BOUNDARY AND TOPOGRAPHICAL INFORMATION IS FROM FIELD SURVEY BY WALTER L. PHILLIPS, INC. CONTAINING METERS IN TWO (2) FEET.
- TO THE BEST OF OUR KNOWLEDGE THE PROPOSED DEVELOPMENT WILL NOT POSE ANY ADVERSE IMPACTS ON ADJACENT PROPERTIES.
- IT IS ANTICIPATED THAT DEVELOPMENT OF THIS PROJECT WILL OCCUR IN PHASES, BASED ON MARKET DEMAND.
- TO THE BEST OF OUR KNOWLEDGE, THERE ARE NOT NOR WILL THERE BE ANY HAZARDOUS OR TOXIC SUBSTANCES LOCATED ON THIS PROPERTY.
- A GRAPHIC DEPICTION OF THE ANGLE BEAM PLANE FOR THE PROPOSED DEVELOPMENT SITE IS NOT REQUIRED AS THIS DEVELOPMENT IS NOT LOCATED NEAR THE PERIPHERY OF THE TYSON URBAN CENTER AS DESCRIBED IN SECTION 18-102 OF THE ZONING ORDINANCE.
- ALL NECESSARY PUBLIC UTILITIES, INCLUDING PUBLIC WATER AND SEWER, ARE READILY ACCESSIBLE TO THE SITE OR WILL BE EXTENDED OR IMPROVED BY THE APPLICANT OR UTILITY COMPANY AS MAY BE APPROPRIATE FOR THE PROPOSED DEVELOPMENT.
- SITE IDENTIFYING FEATURES AND PLANNING/DESIGN REPRESENTATIONS BETWEEN AN CONCEPTUAL AND AS-BUILT ARE INTRODUCED TO REFLECT THE PROPOSED DEVELOPMENT AS SHOWN BY THE PROPOSED DEVELOPMENT. FINAL PROJECT SELECTION MAY VARY AT THE TIME OF SITE PLAN, BUT WILL BE CONSISTENT WITH THE QUALITY OF THE DESIGN REPRESENTED HEREON. ADDITIONAL SITE IDENTIFYING FEATURES SUCH AS DRIVEWAYS, PATIERS, BENCHES, OTHER BUILDING AREAS, WALKWAYS, WHEELCHAIR RAMP, FOUNTAIN OF SPECIAL FEATURES, PUBLIC ART, SIGN, WALLS, LIGHTS, UTILITY MANHOLES, STRUCTURES, AND SIMILAR FEATURES NOT REPRESENTED HEREON MAY BE PROVIDED AS LONG AS THE RESULTANT DEVELOPMENT IS IN SUBSTANTIAL CONFORMANCE WITH THAT REPRESENTED ON THE DRAWINGS.
- THERE ARE NO REQUIRED PROTECTION AREA OR ENVIRONMENTAL QUALITY CORRIDORS ON THE PROPERTY.
- THE FEDERAL EMERGENCY MANAGEMENT AGENCY'S FLOOD INSURANCE RATE MAP FOR FAIRFAX COUNTY, VIRGINIA, COMMUNITY-FLOOD HAZARD ZONING, EFFECTIVE DATE SEPTEMBER 13, 2010, DESIGNATES THE PROPERTY AS BEING IN ZONE X, AN AREA DETERMINED TO BE OUTSIDE THE SUB-NEAR FLOODPLAIN.
- TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO GRAVES LOCATED ON THE SITE.
- PROPOSED SIGNAGE WILL BE IN ACCORDANCE WITH THE ZONING ORDINANCE.
- TO THE BEST OF OUR KNOWLEDGE, ALL EXISTING UTILITY FACILITIES ARE SHOWN, INCLUDING THOSE HAVING A WIDTH OF 24 FEET OR MORE ON THE PROPERTY.
- THERE ARE NO SCENIC ASSETS OR NATURAL FEATURES ON THIS PROPERTY DEMAND OF PROTECTION AND/OR PRESERVATION.
- TRANSITIONAL SIGNAGING IS NOT REQUIRED AS SET FORTH IN ARTICLE 8-810C OF THE ZONING ORDINANCE.
- THE PROPOSED APPLICATION CONFORMS TO THE PROVISIONS OF ALL APPLICABLE ORDINANCES, REGULATIONS, AND ADOPTED STANDARDS, EXCEPT AS NOTED UNDER THE WAIVERS/ADAPTATIONS LISTED ON THIS SHEET AND P.504.
- APPLICANT INTENDS TO REMOVE THE EXISTING STRUCTURE, CONSTRUCTED IN 1978, AT TIME OF DEVELOPMENT.
- THIS PLAN IS CONCEPTUAL AND IS INTRODUCED TO BE USED IN CONNECTION WITH THE LAND USE APPROVAL PROCESS ONLY. IT IS NOT AN ENGINEERING CONSTRUCTION DRAWING AND UNDER NO CIRCUMSTANCES SHALL BE REQUIRED AND ARE FORWARDED PURSUANT TO ZONING ORDINANCE SECTION 18-104(A) AS PART OF THE FINAL DESIGN AND SITE PLAN APPROVAL PROCESS. HOWEVER, THE FINAL CONSTRUCTION DRAWINGS SHALL BE IN SUBSTANTIAL CONFORMANCE WITH THIS PLAN.
- PROPOSED ROADWAY IMPROVEMENTS (INCLUDING CURBS, MEDIAN ETC.) WILL REQUIRE EDITIONS FROM THE ROAD ACCESS MANAGEMENT DESIGN STANDARDS AND TRANSPORTATION DESIGN STANDARDS FOR TYSON CORRIDOR URBAN CENTER, AS MAY BE DETERMINED DURING SITE PLAN REVIEW. (SEE WALKWAY SHEET P.504)
- ARCHITECTURAL DESIGN AND LANDSCAPE FEATURES SHOWN ARE SUBJECT TO MODIFICATIONS THE SIGHT LOCATION, SHAPE AND SIZE OF THE PROPOSED BUILDING, WALKWAYS AND PARKING STRUCTURE SHOWN ON THE DRAWING ARE SUBJECT TO ADJUSTMENT AND REFINEMENT WITH FINAL ENGINEERING AND ARCHITECTURAL DESIGN.
- DEVELOPMENT OF A PORTION OF THE APPLICATION AREA IS PROPOSED FOR THE WINDSCAPE AND ROAD FRONTAGE IMPROVEMENTS OF THE LESLIE PARK WESTPARK DRIVE, PARK AVENUE, AND MADISON STREET. APPLICANT RESERVES THE RIGHT TO UTILIZE AREA OF DEVELOPMENT IN THE CALCULATION OF PROPOSED DENSITY AND FAR AS PART OF THE ZONING ORDINANCE.
- PERMITTED USES IDENTIFIED UNDER SECTION 8-502 OF THE ZONING ORDINANCE MAY BE PROVIDED WITHOUT REQUIRING AN AMENDMENT TO THE COP.
- ACCESSORY USES AS IDENTIFIED UNDER ARTICLE 8 OF THE ZONING ORDINANCE MAY BE PROVIDED WITHOUT REQUIRING AN AMENDMENT TO THE COP. THESE USES MAY INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
-ACCESSORY STRUCTURES
-BUS STOPS
-FENCES
-SCREENS, CANOPIES, AWNINGS, EAVES AND OTHER SIMILAR FEATURES
-OPEN FIRE BALCONIES, FIRE ESCAPES, UNCOVERED STAIRS AND ESCAPES
-AIR CONDITIONERS, EXHAUST FANS AND OTHER MECHANICAL EQUIPMENT
-RAY MACHINES, SIGNS AND ORNAMENTS
-BILLBOARDS
-SCREENED PATIOS WITH OVER 140 FEET NET AREA ABOVE THE FINISHED GRADE
-DECORATIVE WALLS FOR LANDSCAPING NOT OVER 3 FEET IN HEIGHT ABOVE THE FINISHED GRADE
-OUTDOOR CAFE SEATING AREAS (WITHIN BUILDING ZONE)
- PARKING MAY BE ACCOMMODATED THROUGH THE USE OF TANDEN AND/OR VALET PARKING.
- ALL PUBLICLY-ACCESSIBLE PARK SPACE AND RECREATIONAL FACILITIES ARE SHOWN ON THIS PLAN.

ZONING ORDINANCE WAIVERS / MODIFICATIONS REQUESTED

- ZONING ORDINANCE ARTICLE 2 - GENERAL REGULATIONS**
- WAIVER OF SECTION 2-100 REQUIRING THAT NO STRUCTURE OR PLANTING OF ANY SUCH NATURE AND DIMENSION AS TO OBSTRUCT RIGHT OF WAY FROM A POST, COLUMN OR TRUNK OF A TREE, WHICH IS NOT GREATER THAN ONE (1) FOOT IN CROSS SECTION OR DIAMETER.
- ZONING ORDINANCE ARTICLE 8 - PLANNING/DEVELOPMENT DISTRICT REGULATIONS**
- WAIVER OF ZONING ORDINANCE SECTION 8-502.7 REGARDING THE OBSERVATION OF SPECIFIC OUTDOOR DINING AREAS ON THE COP, RATHER, OUTDOOR DINING MAY BE PROVIDED BY ANY AREA WHERE THE USE INCLUDES DINING ACTIVITY AND WILL BE INDICATED AT THE TIME OF FOP.
 - WAIVER OF SECTION 8-504(1) REQUIRING A MINIMUM DISTANCE OF 10 FEET.
- ZONING ORDINANCE ARTICLE 10 - ACCESSORY USES, ADDITIONAL SERVICE USES, AND OCCUPANCIES**
- WAIVER OF MAXIMUM FENCE HEIGHT AROUND OUTDOOR RECREATION AREAS AS PERMITTED BY SECTION 10-104.3C TO PERMIT A MAXIMUM FENCE HEIGHT OF 8 FEET.
- ZONING ORDINANCE ARTICLE 11 - PARKING AND LOADING**
- MODIFICATION OF SECTION 11-102(4) AND SECTION 8-509(1) TO ALLOW FOR TANDEN SPACES AND VALET SPACES CONTROLLED BY BUILDING MANAGEMENT, FOR RESIDENTIAL HOTEL AND OFFICE USES, SUCH STAGED SPACES BY ACCORDANCE WITH SECTION 11-101(1) AND 11-108(1) MAY COURT TOWARD REQUIRED PARKING SPECIFIED IN THE ZONING ORDINANCE, AND SHALL BE PROVIDED IN ACCORDANCE WITH THE PARKING PLAN SUBMITTED WITH THE FOP.
 - MODIFICATION OF SECTION 11-202(4) REQUIRING MINIMUM DISTANCE OF 40 FEET OF A LOADING SPACE IN PROXIMITY TO DRIVE ALLEYS, TO BE AS DEMONSTRATED ON THE COP.
 - WAIVER OF SECTION 11-202.3 TO ALLOW PRIVATE STREETS GREATER THAN 600 FEET IN LENGTH.
 - MODIFICATION OF SECTION 11-201 AND SECTION 11-202 TO REDUCE THE REQUIRED NUMBER OF LOADING SPACES BELOW ORDINANCE REQUIREMENTS TO THE NUMBER SHOWN ON THE COP.
- ZONING ORDINANCE ARTICLE 13 - LANDSCAPE**
- MODIFICATION OF THE TYSON CORNER URBAN CENTER STRATEGIC DESIGN IN FAVOR OF THAT SHOWN ON THE COP.
 - WAIVER OF THE TREE PRESERVATION TARGET FOR ZONING ORDINANCE SECTION 13-100. THE MODIFICATION IS PERMITTED BASED ON TWO (2) ALLOWABLE DEVIATIONS IN THE FAIRFAX COUNTY PUBLIC FACILITIES MANUAL. THE FIRST IS 13-100(2)(A), WHICH STATES "MEETING THE TREE PRESERVATION TARGET WOULD PRECLUDE THE DEVELOPMENT OF USES OR SERVICES OTHERWISE ALLOWED BY THE ZONING ORDINANCE." THE SECOND IS 13-100(2)(C), WHICH STATES "CONSTRUCTION ACTIVITIES COULD BE REASONABLY EXPECTED TO IMPACT EXISTING TREES ON FORESTED AREAS USED TO MEET THE TREE PRESERVATION TARGET" TO THE EXTENT THEY WOULD NOT CAUSE BURDEN IN A HEALTHY AND STRUCTURALLY SOUND MANNER FOR A MINIMUM OF 10-YEARS IN ACCORDANCE WITH THE POST-DEVELOPMENT STANDARDS FOR TREES AND FORESTED AREAS PROVIDED IN 13-100.
 - MODIFICATION OF SECTION 13-102.2 FOR LANDSCAPE DESIGN OVER PARKING STRUCTURES TO SATISFY TREE COVER AND OTHER REQUIREMENTS THROUGH THE USE OF INNOVATIVE PLANNING DESIGN AND TECHNOLOGY.
- ZONING ORDINANCE ARTICLE 17 - SITE PLAN**
- WAIVER OF SECTION 17-201-(3)(B) REQUIRING ADDITIONAL INTER-PARCEL ACCESS TO ADJOINING PARCELS (OTHER THAN THOSE SHOWN ON THE COP).
 - WAIVER OF SECTION 17-201(7) REQUIRING NO PARKING SIGNS ALONG TRAVEL WAYS (EXCEPT PUBLIC STREETS) AT 15M INTERVAL, SO AS NOT TO CREATE VISUAL NOISE CLUSTERS, HEAVY AND METHOD OF PARKING CONTROL, SIGNAGE TO BE DETERMINED AT FINAL SITE PLAN WITH APPROVAL OF THE DIRECTOR OF DPFC.
 - WAIVER AND/OR MODIFICATION OF SECTION 17-201 ALL TRAILS AND BIKE TRAILS IN FAVOR OF THE STRATEGIC AND ON ROAD BIKE TRAIL SYSTEM SHOWN ON THE COP. THE COUNTY TRAILS MAP DEPICTS A MAJOR PAVED TRAIL ALONG BOTH LESLIE PARK AND WESTPARK DRIVE. A MODIFICATION OF THE TRAIL REQUIREMENT IS REQUESTED IN FAVOR OF THE TYSON CORNER STRATEGIC DESIGN REQUIREMENTS.
 - IN ACCORDANCE WITH SECTION 17-201, WAIVER OF SERVICE ROAD ALONG ROUTE 7.
 - THE APPLICANT REQUESTS A DETERMINATION OF ZONING ORDINANCE SECTION 17-201 PARAGRAPH (4) REQUIRING ANY FURTHER OBSERVATION AND CONSTRUCTION OF WINDING FOR EXISTING ROADS BEYOND THAT WHICH IS INDICATED ON THE COP. OBSERVATION AND IMPROVEMENTS SHOWN ON THE COP SHALL BE DESIGNED TO MEET ALL COMPREHENSIVE PLAN PLANNING REQUIREMENTS.
 - IN ACCORDANCE WITH ZONING ORDINANCE SECTION 17-201 (7), THE APPLICANT RESERVES THE RIGHT TO ESTABLISH PARKING CONTROL, SIGNS, AND PARKING METERS ALONG PRIVATE STREETS WITHIN AND ADJACENT TO THE DEVELOPMENT.

LAND USE MIX AND FAR

Use	GFA	Percentage of Total	FAR
Residential	10,000	40.0%	1.0
Office	10,000	40.0%	1.0
Retail/Service/Residential	10,000	40.0%	1.0
TOTAL	24,000	100.0%	3.0

PFM WAIVERS REQUESTED

- PFM SECTION 2 - NORMAL REGULATION**
- WAIVER OF THE COMPREHENSIVE PLAN POLICY AND OBJECTIVES OF THE ENVIRONMENTAL STEWARDSHIP GUIDELINE FOR SUSTAINABLE MANAGEMENT, AND THE ACKNOWLEDGMENT THAT SUCH GOALS WILL REQUIRE A PROGRESSIVE APPROACH AND INNOVATIVE DESIGN TECHNOLOGY FOR THE DEVELOPMENT OF LAND IN THE TYSON CORNER URBAN CENTER, THE FOLLOWING DEVIATIONS FROM THE STRICT ADHERENCE TO THE PUBLIC FACILITIES MANUAL (PFM) WILL BE NECESSARY IN ORDER TO IMPLEMENT SUCH OBJECTIVES.
 - WAIVER OF PFM SECTION 8-033.4A TO ALLOW STORMWATER MANAGEMENT FACILITIES (BPM AND BMP) FACILITIES TO BE PROVIDED WITH UNCOVERED SYSTEMS WITHIN THE PROPOSED RESIDENTIAL DEVELOPMENT.
 - DEVIATION/MODIFICATION OF PFM SECTION 8-1306.2 TO ALLOW FOR ANY DETENTION FACILITY LOCATED WITHIN A BUILDING OR GARAGE STRUCTURE TO BE COVERED BY BUILDING CODE REQUIREMENTS FOR ACCESS AND MAINTENANCE. THIS INCLUDES A WAIVER OF THE REQUIRED COVER FOR SUCH AREAS.
 - DEVIATION/MODIFICATION OF PFM SECTION 8-1307.2C TO SET THE MINIMUM HORIZONTAL DISTANCES FROM THE BUILDING FOUNDATIONS BE REDUCED TO ZERO (0) FEET IN ORDER TO FACILITATE INSTALLATION OF 80-REDUCTION IN AN URBAN ENVIRONMENT SET FORTH IN THE TYSON CORNER DESIGN GUIDELINES.
 - DEVIATION/MODIFICATION OF PFM SECTION 8-1307.2D TO ALLOW FOR THE MAXIMUM DRAINAGE AREAS TO 80-REDUCTION FILTERS UTILIZED FOR RETENTION OF THE FIRST 1" OF RAINOFF BE ELIMINATED IN ORDER TO ACCOMMODATE ROOFTOP RAINOFF PAVED TO PROPOSED STRUCTURES.
- PFM SECTION 7 - STREET PARKING & IMPROVEMENTS**
- MODIFICATION OF PFM SECTION 7-080 TO ALLOW TANDEN/VALET PARKING SPACES, CONTROLLED BY BUILDING MANAGEMENT, AND THAT SUCH SPACES SHALL COURT TOWARD REQUIRED PARKING.
- PFM SECTION 12 - TREE CONSERVATION**
- MODIFICATION OF SECTION 12-008 TREE PRESERVATION TARGET, AS ALLOWED BY DEVIATIONS DESCRIBED IN SECTION 13-100(2)(A) THROUGH SECTION 13-100(2)(C) AND AS DESCRIBED IN REQUEST LETTER ATTACHED TO THE COP.
 - MODIFICATION OF SECTION 12-010 TO PERMIT TREES LOCATED IN EXISTING RIGHTS-OF-WAY AND PROPOSED RIGHTS-OF-WAY DESIGN TO COURT TOWARD THE 10-YEAR CANOPY REQUIREMENTS.
 - MODIFICATION OF SECTION 12-010(4)(E) TO PERMIT REDUCTION OF THE MINIMUM PLANTING AREA FROM 100 SQ FEET, TO A MINIMUM OF 40 (4) FEET IN ORDER FOR TREES TO SATISFY THE TREE COVER REQUIREMENT. REFER TO LANDSCAPE PLANS HEREIN FOR SHAPING OF THE PROPOSED PLANTING AREAS.
 - MODIFICATION OF SECTION 12-011-4 TO PERMIT TREES WITH LESS THAN 10% PERCENT TREE CANOPY COVERAGE.

WORK FORCE HOUSING NOTE

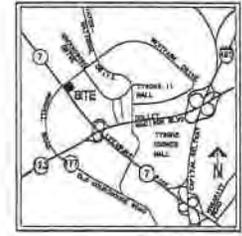
1. SIZE OF THE TOTAL OF ALL THE DWELLING UNITS SHALL BE WORK FORCE HOUSING UNITS AND SHALL MEET THE REQUIREMENTS AS OUTLINED IN THE TYSON CORNER COMPREHENSIVE PLAN. 340 UNITS SHALL BE LOCATED ON-SITE AS DETERMINED IN THE PROFFER.

DEVELOPMENT TABULATIONS

Building	Height [1]		Stories [2]	Use [3]	GFA By Use		Building GFA	Dwelling Units	TDUs [4]	Required Parking % of % mode [5] [6]	Loading [7]		
	Min	Max			Res	Off							
D1	24'	33'	20-21	Residential Retail/Service	441,000 11,800	452,800 12,800	452,800	828,000	910-910	91-910	436-433	2	
D2	28'	33'	20-21	Residential Retail/Service/Residential	611,800 8,000	619,800 8,000	619,800	619,800	171-850	114-134	571-850	1281-001	2
D3	14'	20'	10-14	Hotel (10-300 rooms) Retail/Service	149,000 0	149,000 2,000	149,000	149,000	102,000	162,000	0	18-20	2
TOTAL				Hotel Residential Retail/Service/Residential Retail/Service	1,161,200 1,041,800 8,000 11,800	1,188,300 1,058,800 8,000 12,800	1,188,300	1,489,300	1,041,1,300	316-240	1,041-1,300	1,728-1,347	8

- BUILDING HEIGHT IS MEASURED FROM AVERAGE GRADE AND INCLUDES MECHANICAL PODHOUSES AND ARCHITECTURAL ELEMENTS SIX FEET.
- THE NUMBER OF STORIES SHOWN REPRESENT STORIES ABOVE THE PODIUM. THE NUMBER OF STORIES ARE CONCEPTUAL AND MAY BE ADJUSTED AT FOP AND FINAL SITE PLAN PROVIDED THE MINIMUM AND MAXIMUM BUILDING HEIGHTS ARE MAINTAINED.
- THE RETAIL/SERVICE CATEGORY INCLUDES ANY NON-RESIDENTIAL USE PERMITTED IN THE PFC DISTRICT. RETAIL/SERVICE/RESIDENTIAL CATEGORY INCLUDES ANY NON-RESIDENTIAL USE PERMITTED IN THE PFC DISTRICT AND/OR RESIDENTIAL USE. GFA ASSOCIATED WITH RESIDENTIAL USES INCLUDES BOTH DWELLING UNITS AND ASSOCIATED AMENITY/SERVICE SPACES.
- THIRTY PERCENT (30%) OF ALL DWELLING UNITS WILL BE WORKFORCE DWELLING UNITS (WOU). THE ACTUAL NUMBER OF WOU WILL BE DETERMINED AT FINAL SITE PLAN BASED ON THE TOTAL NUMBER OF DWELLING UNITS PROVIDED.
- THE MINIMUM REQUIRED AND MAXIMUM PERMITTED PARKING SPACES FOR EACH USE WERE CALCULATED IN ACCORDANCE WITH SECTION 8-309 OF THE ZONING ORDINANCE, WHICH IS ILLUSTRATED IN THE CHART ON THE LEFT FOR THE PRIMARY USES ON THE COP. ALL BUILDING ARE PARKED USING THE RATIO FOR LAND LOCATED BETWEEN 1/2 AND 1/4 MILE FROM A METRO STATION. RESIDENTIAL PARKING REQUIREMENTS WERE CALCULATED ASSUMING (A) AN AVERAGE MIX OF 60% 1-BEDROOM UNITS, 20% 2-BEDROOM UNITS, AND 20% 3-BEDROOM UNITS. AT THE TIME OF FINAL SITE PLAN, PARKING WILL BE PROVIDED BASED ON THE SPECIFIC GFA, USES, NUMBER OF UNITS, MIX OF BEDROOM TYPES AND THE MINIMUM AND MAXIMUM VALUES SET FORTH IN SECTION 8-309 OF THE ZONING ORDINANCE.
- PARKING PROVIDED IN ESTIMATED. THE APPLICANTS RESERVE THE RIGHT TO PROVIDE MORE OR LESS PARKING WITHIN EACH BUILDING AT THE TIME OF FOP APPROVAL PROVIDED THE MAXIMUM PARKING RATES SET FORTH IN SECTION 8-309 ARE NOT EXCEEDED AT THE BUILD-OUT OF THE OVERALL DEVELOPMENT.
- ADDITIONAL LOADING MAY BE PROVIDED AS IDENTIFIED AT THE TIME OF FOP AND/OR FINAL SITE PLAN.

VICINITY MAP SCALE: 1"=2000'



SOILS MAP SCALE: 1"=500'



NOTES AND TABULATIONS
WESTPARK PLAZA
CONCEPTUAL DEVELOPMENT PLAN
 PROVIDENCE DISTRICT
 FAIRFAX COUNTY, VIRGINIA

WALTER L. PHILLIPS
 ENGINEER - Surveying • Planning
 Landscape Architecture • Architects
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 FALLS CHURCH, VIRGINIA 22046
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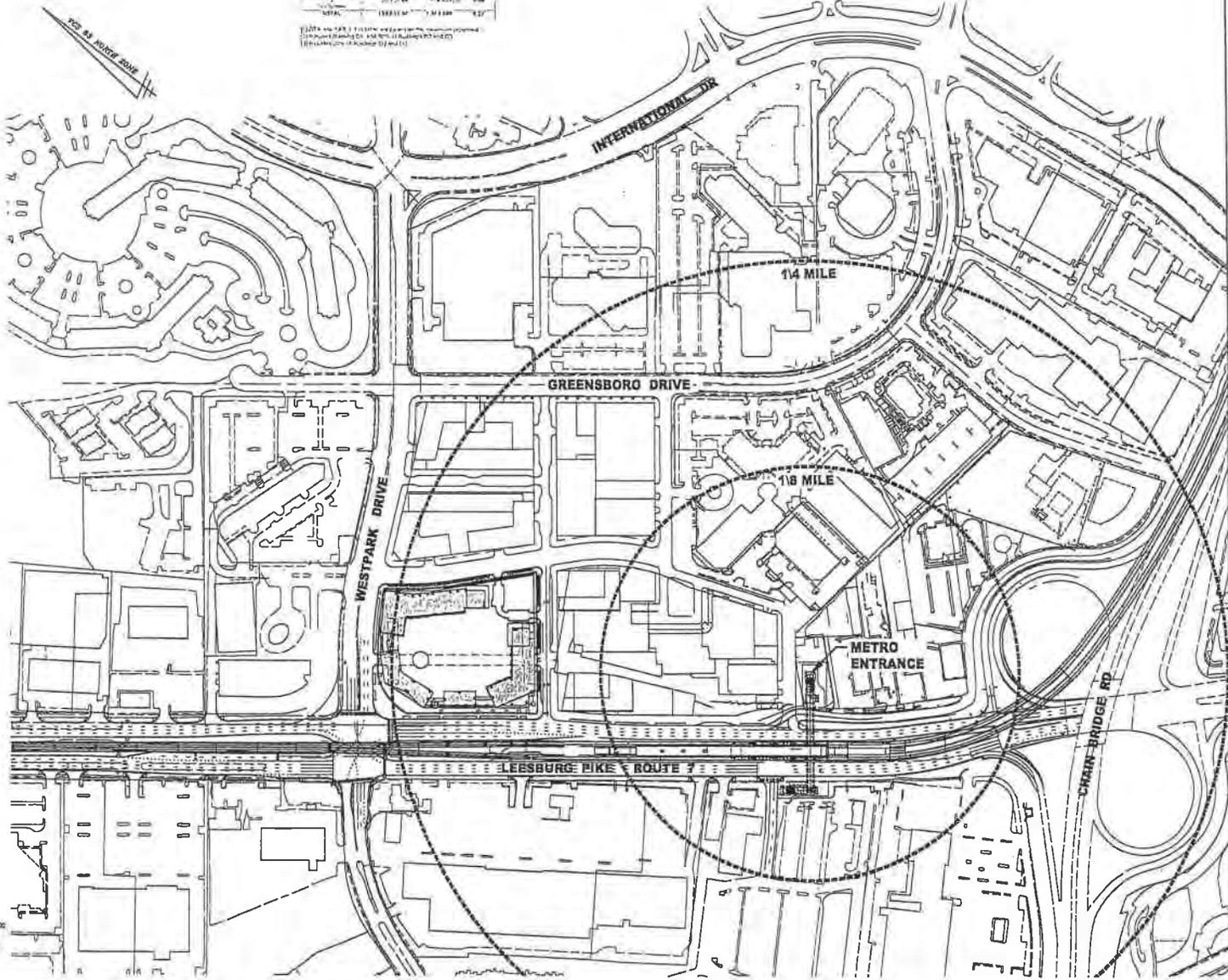
NO.	DESCRIPTION	REVISION APPROVED BY		DATE
		DATE	APPROVED	



(FENSITY TIME AND TAX)

Activity Item	Quantity	Unit	Rate	Total
Site Plan	1	Sheet	1,000.00	1,000.00
Site Plan	1	Sheet	1,000.00	1,000.00
Site Plan	1	Sheet	1,000.00	1,000.00
TOTAL	3	Sheet	3,000.00	3,000.00

(1) THIS PLAN IS A PRELIMINARY PLAN AND IS NOT TO BE USED FOR CONSTRUCTION.
 (2) THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS.
 (3) THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY INSURANCE.



REGIONAL CONTEXT PLAN

WESTPARK PLAZA

CONCEPTUAL DEVELOPMENT PLAN
 PROVIDENCE DISTRICT

FAIRFAX COUNTY, VIRGINIA



WALTER L. PHILLIPS
 ENGINEERS • SURVEYORS • PLANNERS
 LANDSCAPE ARCHITECTS • ARCHAEOLOGISTS
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 FALLS CHURCH, VIRGINIA 22046
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NO.	DESCRIPTION	DATE (DD)	APPROVAL	DATE

February 19, 2013

Mr. Michael Knapp, Director (UP317)
Parks Conservation Branch, DPW-125
Department of Public Works and Environmental Services
Land Development Services, Urban Forest Management Division
2903 Government Center Parkway, Suite 318
Falls Church, VA 22043

Re: Westpark Plaza
Tree Preservation Target Derivation Request

Dear Mr. Knapp,

This letter is to request a derivation to the Tree Preservation Target requirements for the above referenced site. The subject property is located at 6401 Westpark Drive on the corner of Westpark Drive and Leeburg Pike (Rte. 7).

According to the existing Vegetation Map, prepared by Walter L. Phillips, Inc. the property (5,230 acres) is currently covered by approximately 1,360 acres of (18.3% wooded/land cover). The conceptual development plan proposes to clear approximately 1,100 acres for proposed parking and commercial improvements for the Commercial Plan. The 15-year tree canopy goal, (79% LULU annual tree cover) is required on the site. This can be satisfied by the preservation, tree planting as a combination of both. According to these criteria, the site has a preservation target of 1,100 acres (20.8% of 5,230 acres). Since the tree preservation is dependent on the preservation target, a tree preservation target derivation is hereby requested.

The derivation is based on the following verifiable derivation conditions as outlined in the Fairfax County Public Facilities Manual (PFM), they are as follows:

- (1) 12-450L.3A(1) - where meeting the Tree Preservation Target would preclude the development of uses or densities otherwise allowed by the Zoning Ordinance; and
- (2) 12-450L.3A(2) - where mitigation activities could be reasonably expected to impact existing uses or densities that would not meet the Tree Preservation Target to the extent there would not likely prevent the healthy and productive stand of trees of a minimum of 10 years in accordance with the tree development standards for uses and densities areas provided in PFM 12-460C and 12-460D.

The existing vegetation in shown here has been planted with the development of the subject site. This site will be most of an existing business. The re-development will include major changes of the utility infrastructure, the street grid, both in width and depth, as well as a variety of other improvements such as building types and uses, active and passive recreation and other transportation improvements. Significant portions of the existing vegetation on the site have been planted with the previous development of the property. Addressing in some way of these existing areas would severely impact development potential as envisioned by the Comprehensive Zoning Ordinance and would result in unnecessary and unnecessary hardship to the developer. The field observations, some of the existing trees and shrubs proposed as to be preserved are in fair condition, including health and/or structural conditions that would be hazardous to life or property, including utility systems, and/or would be otherwise hazardous to life or property, including utility systems, and/or would be otherwise hazardous to life or property. The Section 12-460C, 3rd paragraph and the tree preservation standards for structural integrity and health shall not be applied to any canopy cover criteria and shall be subject to removal.

In addition, proposed grading and construction improvements (roads, structures, utility infrastructure, etc.) will significantly impact existing trees and shrubs that should be removed. Proposed construction will result in direct physical damage to trees and shrubs and other ground conditions that would result in the permanent loss of trees and shrubs. For PFM Section 12-460C.3B, trees determined to be dead, declining, hazardous or a maintenance issue due to impact from other activities or construction changes resulting from construction shall be subject to removal.

The basis for this derivation is contained in a report of the site engineering necessary within the vicinity of the Transit Center Urban Forest Management. The Tree Preservation Target mitigation requirements cannot be fulfilled with full verifiability. Therefore, a derivation from PFM 12-450L about the tree preservation requirements will be hereby accepted with the granting of the 10-year tree canopy requirement that shall be placed with the subdivisions. Please refer to the project information sheet.

Thank you for your attention and cooperation in this matter. Please contact me at 703-337-6163 if you should have any questions regarding this matter.

Sincerely,

Walter L. Phillips

John L. Cavallaro, RLA, ASLA
Landscape Architect/ISA Certified Arborist MA-4728A

(773-251)
(773-251)

TABLE 12.3

TABLE 12.3 TREE PRESERVATION TARGET CALCULATIONS AND STATEMENT

A. PRE-DEVELOPMENT AREA OF EXISTING TREE CANOPY FROM DEMO	46,020 SF
B. PERCENTAGE OF GROSS SITE AREA COVERED BY EXISTING TREE CANOPY	30%
C. PERCENTAGE OF 10-YEAR TREE CANOPY REQUIRED FOR SITE (TARGET = 20.8%)	10%
D. PERCENTAGE OF 10-YEAR TREE CANOPY REQUIREMENT THAT WOULD BE MET THROUGH TREE PRESERVATION (0 = 20)	30% = 4,602 SF
E. PROPOSED PERCENTAGE OF CANOPY REQUIREMENT THAT WILL BE MET THROUGH TREE PRESERVATION (0 = 20%)	0%
F. HAS THE TREE PRESERVATION TARGET MINIMUM BEEN MET?	NO

NUMBER OF TREE PRESERVATION TARGET REQUIRED, SEE SHEET P-102

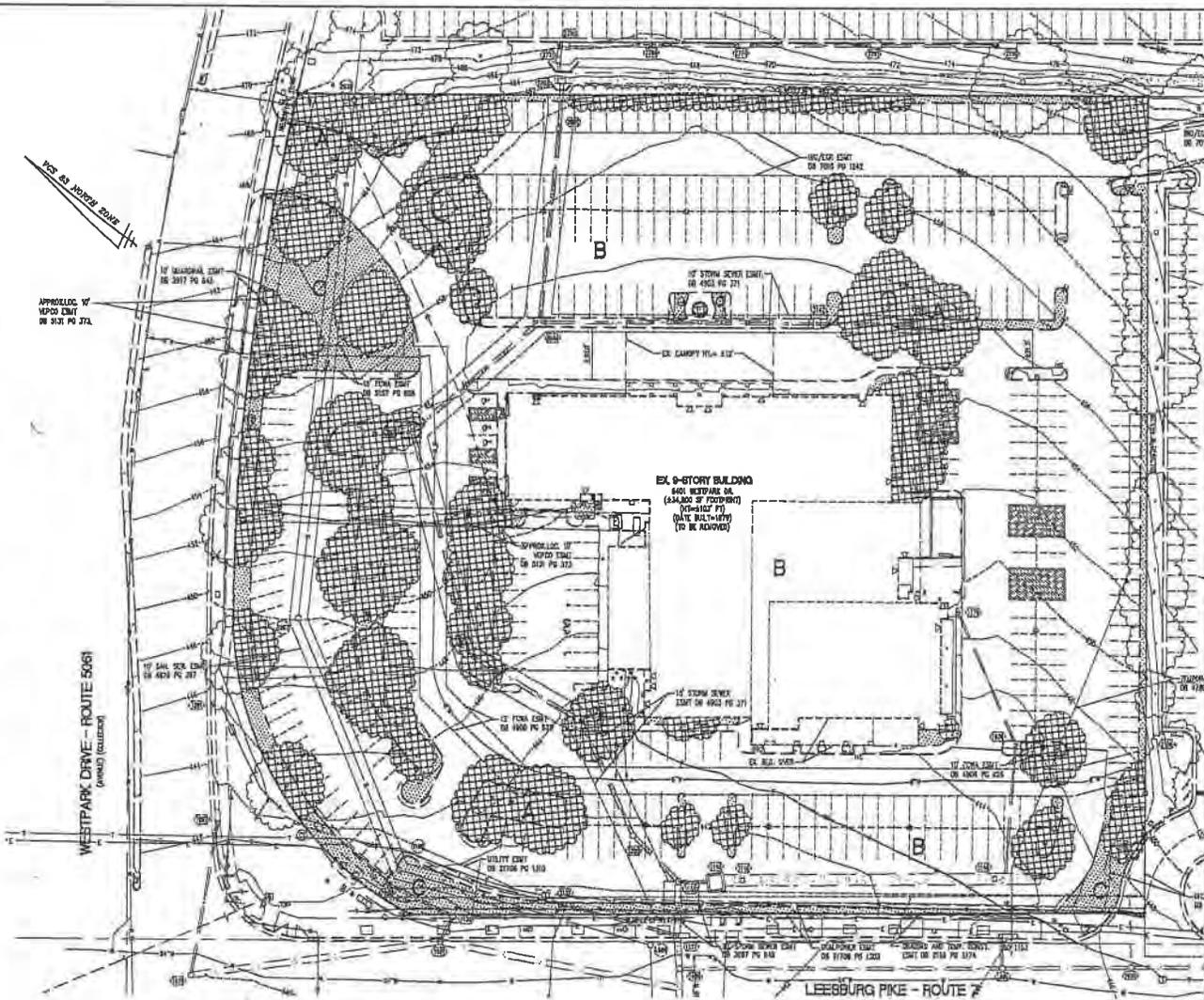
EXISTING VEGETATION MAP INFORMATION

KEY	COVER TYPE	PRIMARY SPECIES	SUCCESSIONAL STAGE	CONDITION	ACREAGE
A	LANDSCAPED TREE CANOPY	FW OAK, RED MAPLE, WHITE PINE, HONEYLOCUST	N/A	FAIR	46,020 SF 1,0563 AC
B	DEVELOPED LAWN	RESIDUAL PAVING, AREAS, BULBS, ETC.	N/A	N/A	178,000 SF 4,023 AC
C	MAINTAINED GRASSLANDS	LANDSCAPED AREAS	N/A	N/A	11,200 SF 0.255 AC

TOTAL SITE AREA: 233,220 SF
5,230 AC

CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	ARC/CHORD	CHORD	CHORD BEARING
1	100.00'	200.00'	63.43°	1.4142	141.42'	202.51°
2	100.00'	200.00'	126.87°	1.4142	141.42'	202.51°



EXISTING VEGETATION PLAN
WESTPARK PLAZA
 CONCEPTUAL DEVELOPMENT PLAN
 PROVIDENCE DISTRICT
 FAIRFAX COUNTY, VIRGINIA

ENGINEER: WALTER L. PHILLIPS
 PROJECT: WESTPARK PLAZA
 DATE: 02/19/13

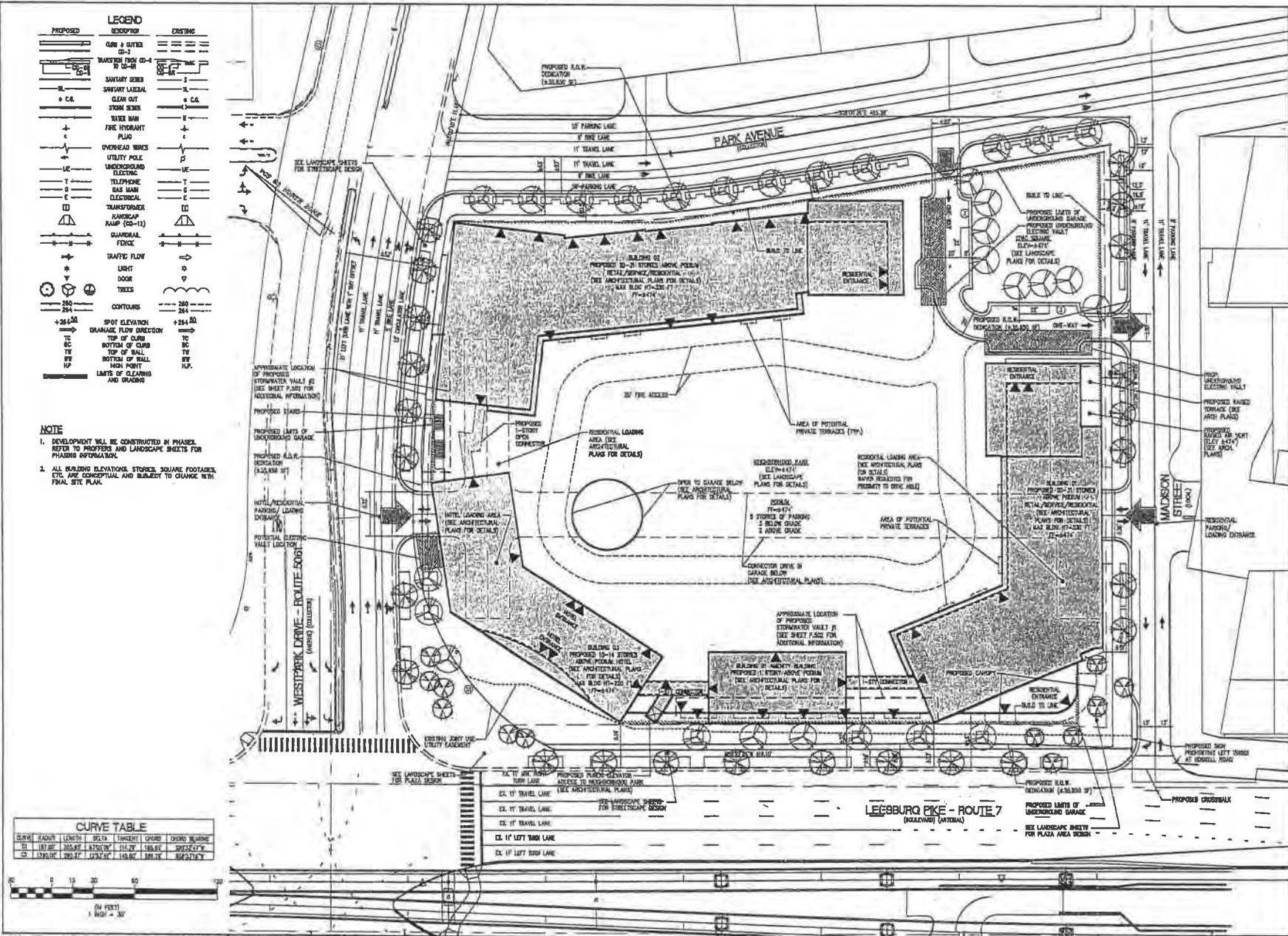
NO.	REVISION/DESCRIPTION	DATE	BY	APPROVED BY

WALTER L. PHILLIPS
 L.L.C. REGISTERED PROFESSIONAL ENGINEER
 10000 WOODBURN AVENUE, SUITE 100
 FALLS CHURCH, VA 22043
 TEL: 703-337-6163 FAX: 703-337-6164
 WWW.WLPINC.COM



NO.	DESCRIPTION	DATE	BY	APPROVED	DATE

CONCEPTUAL DEVELOPMENT PLAN
WESTPARK PLAZA
 CONCEPTUAL DEVELOPMENT PLAN
 PROVIDENCE DISTRICT
 FAIRFAX COUNTY, VIRGINIA



LEGEND

PROPOSED	DESCRIPTION	EXISTING
[Symbol]	CURB & GUTTER (2'-2)	[Symbol]
[Symbol]	TRANSITION FROM CD-4 TO CD-R1	[Symbol]
[Symbol]	SEWERY LATERAL	[Symbol]
[Symbol]	GLOW OUT	[Symbol]
[Symbol]	STORM SEWER	[Symbol]
[Symbol]	RIVER BANK	[Symbol]
[Symbol]	FIRE HYDRANT	[Symbol]
[Symbol]	PLUG	[Symbol]
[Symbol]	OVERHEAD WIRES	[Symbol]
[Symbol]	UTILITY POLE	[Symbol]
[Symbol]	UNDERGROUND ELECTRIC	[Symbol]
[Symbol]	TELEPHONE	[Symbol]
[Symbol]	GAS MAIN	[Symbol]
[Symbol]	ELECTRICAL	[Symbol]
[Symbol]	TRANSFORMER	[Symbol]
[Symbol]	RAMP (CD-11)	[Symbol]
[Symbol]	GUARDRAIL	[Symbol]
[Symbol]	TRAFFIC FLOW	[Symbol]
[Symbol]	LIGHT	[Symbol]
[Symbol]	DOOR	[Symbol]
[Symbol]	TREES	[Symbol]
[Symbol]	CONTOURS	[Symbol]
[Symbol]	SPOT ELEVATION	[Symbol]
[Symbol]	DRAINAGE FLOW DIRECTION	[Symbol]
[Symbol]	TOP OF CURB	[Symbol]
[Symbol]	BOTTOM OF CURB	[Symbol]
[Symbol]	TOP OF WALL	[Symbol]
[Symbol]	BOTTOM OF WALL	[Symbol]
[Symbol]	NO. POINT	[Symbol]
[Symbol]	LIMITS OF CLEARING AND GRADING	[Symbol]

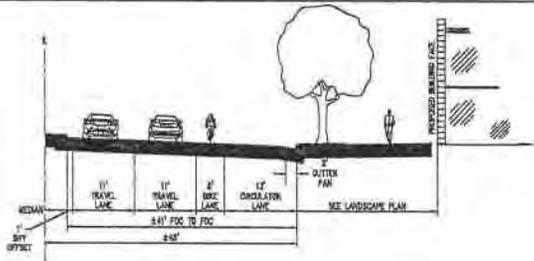
NOTE

- DEVELOPMENT WILL BE CONSTRUCTED IN PHASES. REFER TO PROFILES AND LANDSCAPE SHEETS FOR PHASING INFORMATION.
- ALL BUILDING ELEVATIONS, STORES, SQUARE FOOTAGES, ETC. ARE CONCEPTUAL AND SUBJECT TO CHANGE WITH FINAL SITE PLAN.

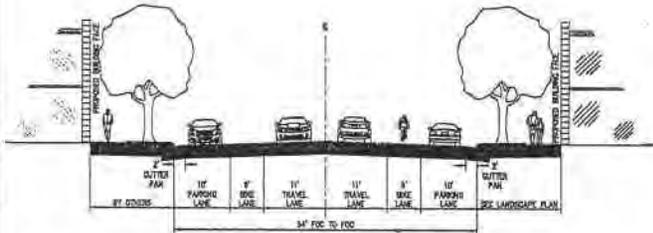
CURVE TABLE

CURVE RADIUS	LENGTH	DETAILED	CHORD	CHORD BEARING
CD 100.00'	200.00'	114.72'	141.83'	330.00° 00' 00"
CD 150.00'	300.00'	172.07'	210.00'	330.00° 00' 00"

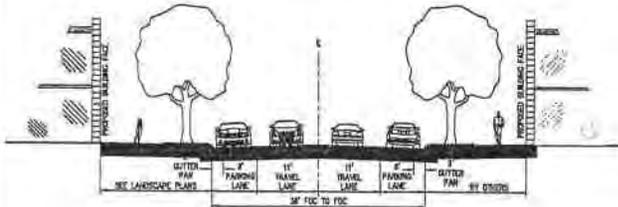
(IN FEET)
 1" HIGH = 30'



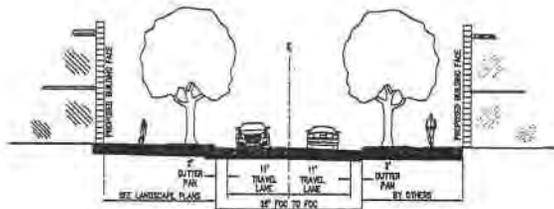
**WESTPARK DRIVE WIDENING
AVENUE (PUBLIC)**
SCALE: 1" = 10'



**PARK AVENUE
COLLECTOR (PUBLIC)**
SCALE: 1" = 10'

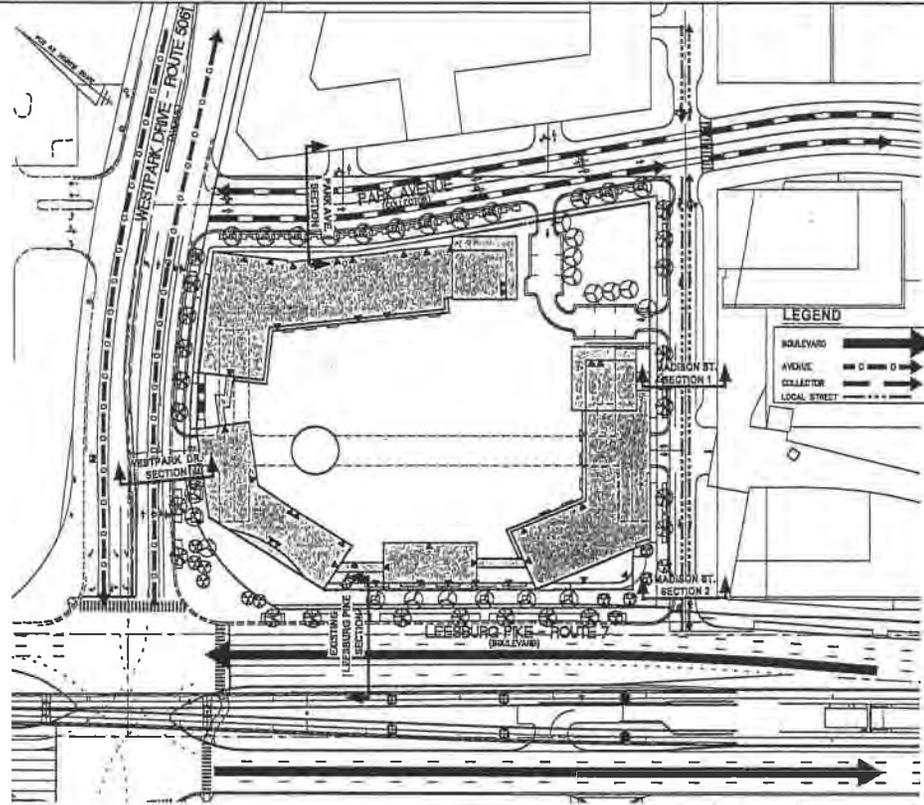


**MADISON STREET
LOCAL (PUBLIC) - SECTION 1**
SCALE: 1" = 10'

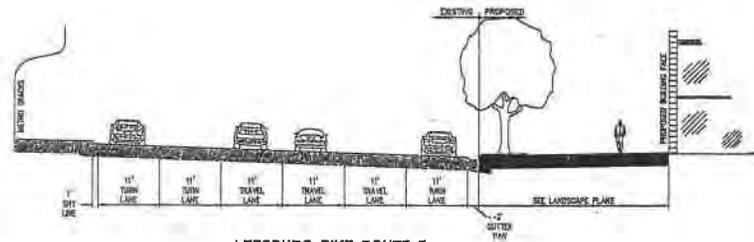


**MADISON STREET
LOCAL (PUBLIC) - SECTION 2**
SCALE: 1" = 10'

NOTE: ALL OR PART OF PUBLIC STREET CONSTRUCTION MAY BE PERFORMED BY OTHERS.



PLAN VIEW
SCALE: 1" = 40'



**LEESBURG PIKE ROUTE 7
BOULEVARD (PUBLIC)**
SCALE: 1" = 10'

TRAFFIC CIRCULATION PLAN
WESTPARK PLAZA
CONCEPTUAL DEVELOPMENT PLAN
PROVIDENCE DISTRICT
FAIRFAX COUNTY, VIRGINIA

Engineers • Surveyors • Planners
Architects • Architects

WALTER L. PHILLIPS

207 PARK AVENUE
FALLS CHURCH, VIRGINIA 22048
(703) 832-8193 Fax (703) 832-1581
www.WLPHILLIPS.com

SCALE: 1" = 40' (PLAN VIEW)
SCALE: 1" = 10' (CROSS SECTIONS)

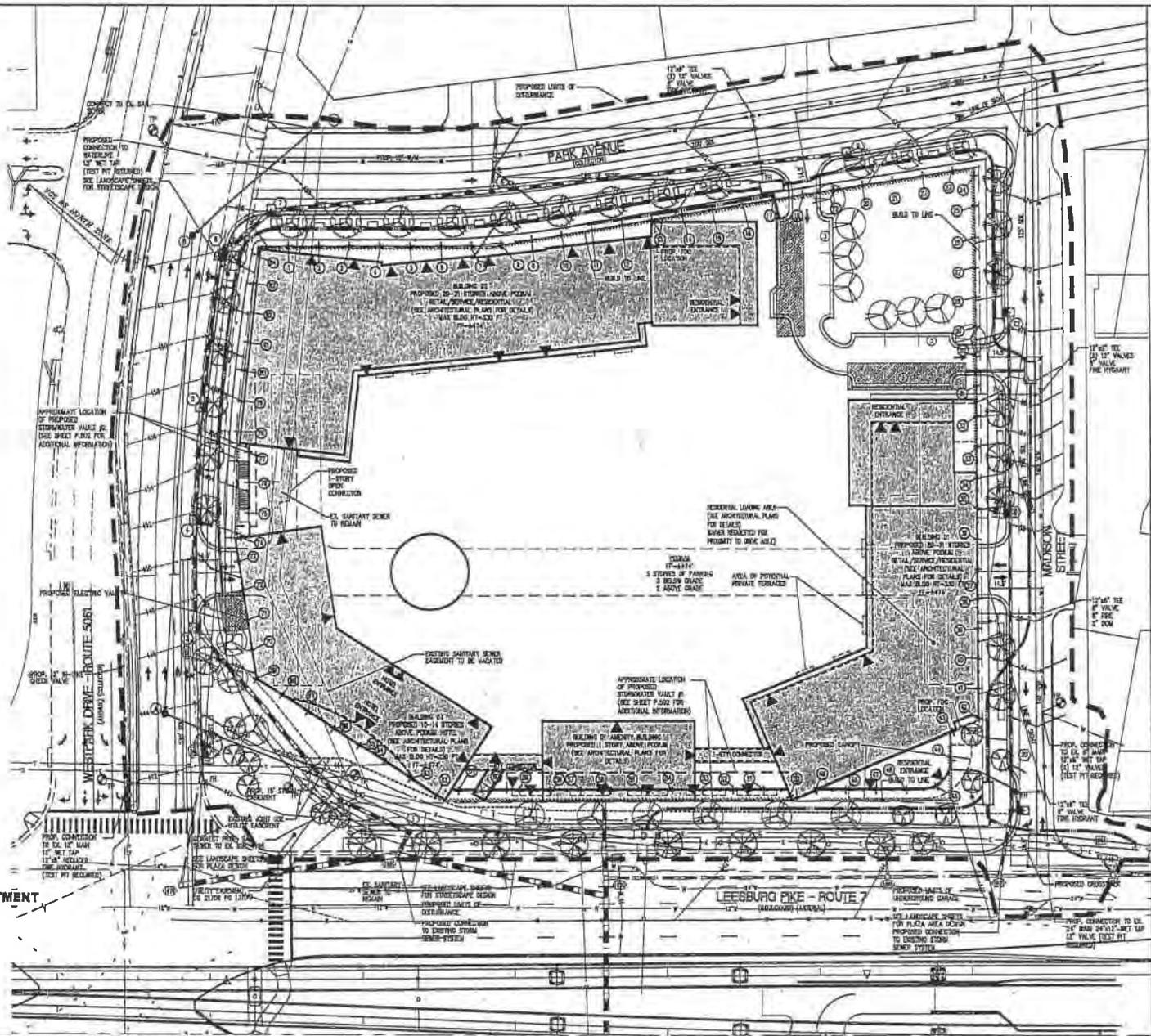
DATE: 10/1/14
BY: [Signature]
CHECKED: [Signature]

NO.	DESCRIPTION	DATE	BY	APPROVED	DATE

AVERAGE GRADE TABULATIONS

STATION	FINISHED GRADE	FOOTING HEIGHT ABOVE GRADE
1	487.50	5.50
2	488.00	6.00
3	488.50	6.50
4	489.00	7.00
5	489.50	7.50
6	490.00	8.00
7	490.50	8.50
8	491.00	9.00
9	491.50	9.50
10	492.00	10.00
11	492.50	10.50
12	493.00	11.00
13	493.50	11.50
14	494.00	12.00
15	494.50	12.50
16	495.00	13.00
17	495.50	13.50
18	496.00	14.00
19	496.50	14.50
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22	498.00	16.00
23	498.50	16.50
24	499.00	17.00
25	499.50	17.50
26	500.00	18.00
27	500.50	18.50
28	501.00	19.00
29	501.50	19.50
30	502.00	20.00
31	502.50	20.50
32	503.00	21.00
33	503.50	21.50
34	504.00	22.00
35	504.50	22.50
36	505.00	23.00
37	505.50	23.50
38	506.00	24.00
39	506.50	24.50
40	507.00	25.00
41	507.50	25.50
42	508.00	26.00
43	508.50	26.50
44	509.00	27.00
45	509.50	27.50
46	510.00	28.00
47	510.50	28.50
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83	528.50	46.50
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88	531.00	49.00
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90	532.00	50.00
91	532.50	50.50
92	533.00	51.00
93	533.50	51.50
94	534.00	52.00
95	534.50	52.50
96	535.00	53.00
97	535.50	53.50
98	536.00	54.00
99	536.50	54.50
100	537.00	55.00

NOTE
CONCEPTUAL AND SUBJECT TO ADJUSTMENT



CONCEPTUAL GRADING AND UTILITY PLAN
WESTPARK PLAZA
CONCEPTUAL DEVELOPMENT PLAN
PROVIDENCE DISTRICT
FAIRFAX COUNTY, VIRGINIA

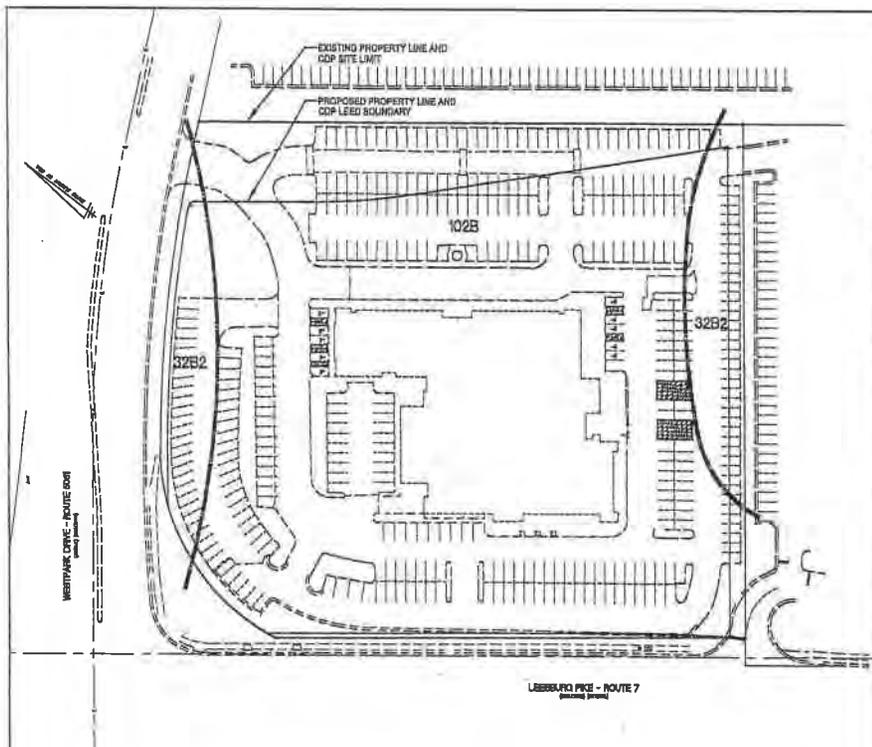
Engineers • Surveyors • Planners
Landscape Architects • Arborists

WALTER L. PHILLIPS

207 PARK AVENUE
FALLS CHURCH, VIRGINIA 22046
(703) 444-4444 Fax: (703) 444-1307
www.WLP-PC.com

SCALE: 1/8" = 1'-0"

DATE: 10/1/14
PROJECT: WESTPARK PLAZA
SHEET: 1001

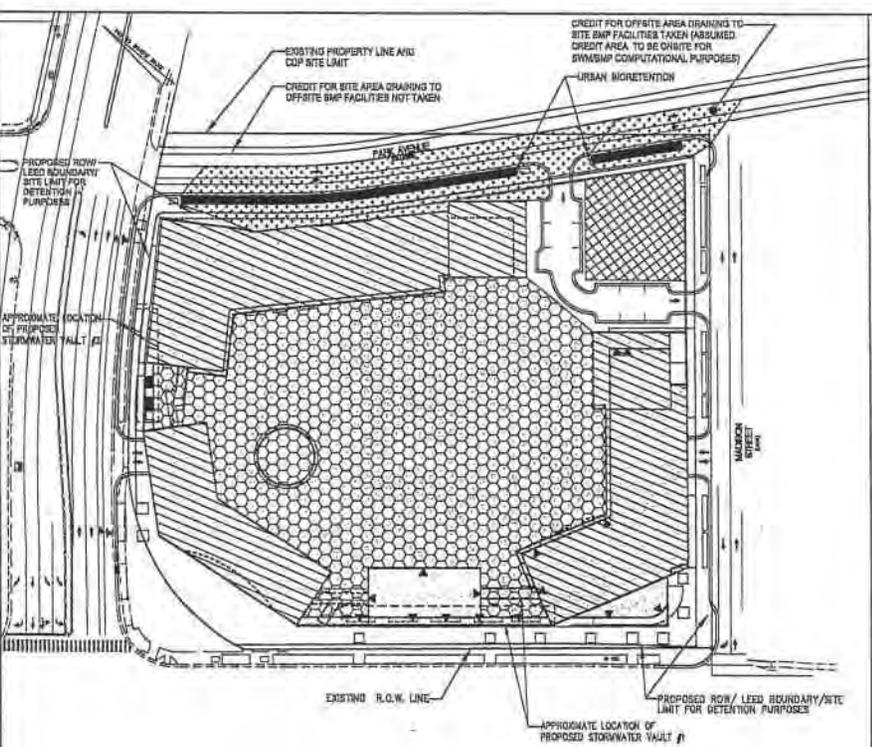


SOILS MAP
SCALE: 1" = 50'

SOIL ID NUMBER	SOIL SERIES NAME	FOUNDATION SUPPORT	SOIL DRAINAGE	EROSION POTENTIAL	PROBLEM CLASS
S1	DELAND LOAM	POOR	MARGINAL	MEDIUM	II
S2	WHEATON LOAM	GOOD	FAIR	HIGH	IV

AREAS BY SOIL TYPE
 32B2: TOTAL AREA = 27,708 SF.
 PERVIOUS AREA = 6,700 SF.
 102B: TOTAL AREA = 28,132 SF.
 PERVIOUS AREA = 21,480 SF.

NOTE: SOIL TYPES WERE DETERMINED IN A SOIL STUDY BY SOIL TECH INC.



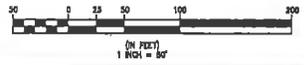
STORMWATER MANAGEMENT MAP
SCALE: 1" = 50'

NOTES

- MAINTENANCE ACCESS TO CISTERN / DETENTION VAULTS WITH GARAGE WILL BE PROVIDED FROM INSIDE BUILDING AS WELL AS VIA A MANHOLE OUTSIDE BUILDING.
- CISTERN / DETENTION VAULTS ARE LOCATED WITHIN BUILDINGS AND WILL MEET APPLICABLE BUILDING CODE REQUIREMENTS; THEREFORE OVERLAND RELIEF ANALYSIS IS NOT PROVIDED ON THIS PLAN.

LEGEND

- BUILDING ROOFS (LIMITED OR NO VEGETATED ROOF, RAINWATER HARVESTING)
- PLAZA ON GARAGE ROOF (LARGE VEGETATED ROOF, RAINWATER HARVESTING)
- PLAZA ON GARAGE ROOF (SMALL VEGETATED ROOF)
- DRAINAGE AREA TO UNDERGROUND RAINWATER HARVESTING CISTERN/DETENTION VAULT
- DRAINAGE AREAS TREATED BY URBAN BIoretention



WALTER L. PHILLIPS
 ARCHITECTS
 307 PARK AVENUE
 FALLS CHURCH, VIRGINIA 22046
 (703) 834-0143 Fax (703) 833-1591
 www.WLPHINC.com

DATE	APPROVED BY
DATE	DATE

STORMWATER MANAGEMENT PLAN
WESTPARK PLAZA
CONCEPTUAL DEVELOPMENT PLAN
 PROVIDENCE DISTRICT
 FAIRFAX COUNTY, VIRGINIA

STORMWATER / BEST MANAGEMENT NARRATIVE

The intent of this application is to demonstrate compliance with the requirements of the Stormwater Management Ordinance (SMO) and the Virginia Stormwater Management Manual (VSM) for the proposed development.

EXISTING CONDITIONS

The stormwater management for the existing site is currently provided by an existing stormwater management system consisting of a stormwater pond, a stormwater pipe, and a stormwater ditch. The stormwater pond is located on the east side of the site and is approximately 100 feet in diameter. The stormwater pipe is located on the north side of the site and is approximately 12 inches in diameter. The stormwater ditch is located on the south side of the site and is approximately 12 inches wide.

PROPOSED CONDITIONS

The stormwater management for the proposed development will be provided by a stormwater management system consisting of a stormwater pond, a stormwater pipe, and a stormwater ditch. The stormwater pond is located on the east side of the site and is approximately 100 feet in diameter. The stormwater pipe is located on the north side of the site and is approximately 12 inches in diameter. The stormwater ditch is located on the south side of the site and is approximately 12 inches wide.

Overall, the stormwater management system for the proposed development is designed to meet the requirements of the SMO and the VSM. The stormwater management system is designed to provide a level of protection that is equivalent to the level of protection provided by the existing stormwater management system.

The stormwater management system for the proposed development is designed to provide a level of protection that is equivalent to the level of protection provided by the existing stormwater management system. The stormwater management system is designed to provide a level of protection that is equivalent to the level of protection provided by the existing stormwater management system.

STANDARD PPM RAIN NARRATIVE

In accordance with the stormwater management ordinance, the stormwater management plan for the proposed development must include a stormwater management plan that is designed to provide a level of protection that is equivalent to the level of protection provided by the existing stormwater management system.

STANDARD PPM BMP NARRATIVE

The stormwater management plan for the proposed development must include a stormwater management plan that is designed to provide a level of protection that is equivalent to the level of protection provided by the existing stormwater management system. The stormwater management plan is designed to provide a level of protection that is equivalent to the level of protection provided by the existing stormwater management system.

COMPREHENSIVE PLAN NARRATIVE

The stormwater management plan for the proposed development must include a stormwater management plan that is designed to provide a level of protection that is equivalent to the level of protection provided by the existing stormwater management system. The stormwater management plan is designed to provide a level of protection that is equivalent to the level of protection provided by the existing stormwater management system.

COMPREHENSIVE PLAN NARRATIVE

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COMPREHENSIVE PLAN NARRATIVE

The stormwater management plan for the proposed development must include a stormwater management plan that is designed to provide a level of protection that is equivalent to the level of protection provided by the existing stormwater management system. The stormwater management plan is designed to provide a level of protection that is equivalent to the level of protection provided by the existing stormwater management system.

COMPREHENSIVE PLAN NARRATIVE

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COMPREHENSIVE PLAN NARRATIVE

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PEAK RUNOFF RATE COMPUTATIONS

Pre-Development:
Site Area (Ac) 4.68
Composite Site Runoff Coefficient 0.70 For Q1 comp.
73 For Q2 comp.
83 For Q3 comp.

Time of Concentration 10.18
C1 (cfs) 5.84
C2 (cfs) 7.02
C3 (cfs) 11.72

Post-Development:
Avg. Site Runoff Coefficient 0.88
1-Year 0.80
2-Year 0.81
10-Year 0.81

Time of Concentration 8 min.
Site Area (Ac) 4.68

C1 (cfs) Without detention or rainwater harvesting 12.53
C1 (cfs) Allowable determined by energy balance equation per dms PFM 2.62

C2 (cfs) Without detention or rainwater harvesting 17.04
C2 (cfs) Allowable per PFM or LEED 6.27

C3 (cfs) Without detention or rainwater harvesting 32.41
C3 (cfs) Allowable = existing C3 11.72

C4 (cfs) Without detention or rainwater harvesting 17.04
C4 (cfs) Allowable per PFM or LEED 6.27

C5 (cfs) Without detention or rainwater harvesting 32.41
C5 (cfs) Allowable = existing C5 11.72

C6 (cfs) Without detention or rainwater harvesting 17.04
C6 (cfs) Allowable per PFM or LEED 6.27

C7 (cfs) Without detention or rainwater harvesting 32.41
C7 (cfs) Allowable = existing C7 11.72

C8 (cfs) Without detention or rainwater harvesting 17.04
C8 (cfs) Allowable per PFM or LEED 6.27

C9 (cfs) Without detention or rainwater harvesting 32.41
C9 (cfs) Allowable = existing C9 11.72

C10 (cfs) Without detention or rainwater harvesting 17.04
C10 (cfs) Allowable per PFM or LEED 6.27

C11 (cfs) Without detention or rainwater harvesting 32.41
C11 (cfs) Allowable = existing C11 11.72

C12 (cfs) Without detention or rainwater harvesting 17.04
C12 (cfs) Allowable per PFM or LEED 6.27

C13 (cfs) Without detention or rainwater harvesting 32.41
C13 (cfs) Allowable = existing C13 11.72

C14 (cfs) Without detention or rainwater harvesting 17.04
C14 (cfs) Allowable per PFM or LEED 6.27

C15 (cfs) Without detention or rainwater harvesting 32.41
C15 (cfs) Allowable = existing C15 11.72

C16 (cfs) Without detention or rainwater harvesting 17.04
C16 (cfs) Allowable per PFM or LEED 6.27

C17 (cfs) Without detention or rainwater harvesting 32.41
C17 (cfs) Allowable = existing C17 11.72

C18 (cfs) Without detention or rainwater harvesting 17.04
C18 (cfs) Allowable per PFM or LEED 6.27

C19 (cfs) Without detention or rainwater harvesting 32.41
C19 (cfs) Allowable = existing C19 11.72

C20 (cfs) Without detention or rainwater harvesting 17.04
C20 (cfs) Allowable per PFM or LEED 6.27

C21 (cfs) Without detention or rainwater harvesting 32.41
C21 (cfs) Allowable = existing C21 11.72

C22 (cfs) Without detention or rainwater harvesting 17.04
C22 (cfs) Allowable per PFM or LEED 6.27

C23 (cfs) Without detention or rainwater harvesting 32.41
C23 (cfs) Allowable = existing C23 11.72

C24 (cfs) Without detention or rainwater harvesting 17.04
C24 (cfs) Allowable per PFM or LEED 6.27

C25 (cfs) Without detention or rainwater harvesting 32.41
C25 (cfs) Allowable = existing C25 11.72

C26 (cfs) Without detention or rainwater harvesting 17.04
C26 (cfs) Allowable per PFM or LEED 6.27

C27 (cfs) Without detention or rainwater harvesting 32.41
C27 (cfs) Allowable = existing C27 11.72

C28 (cfs) Without detention or rainwater harvesting 17.04
C28 (cfs) Allowable per PFM or LEED 6.27

C29 (cfs) Without detention or rainwater harvesting 32.41
C29 (cfs) Allowable = existing C29 11.72

C30 (cfs) Without detention or rainwater harvesting 17.04
C30 (cfs) Allowable per PFM or LEED 6.27

C31 (cfs) Without detention or rainwater harvesting 32.41
C31 (cfs) Allowable = existing C31 11.72

C32 (cfs) Without detention or rainwater harvesting 17.04
C32 (cfs) Allowable per PFM or LEED 6.27

C33 (cfs) Without detention or rainwater harvesting 32.41
C33 (cfs) Allowable = existing C33 11.72

LEED STORMWATER QUANTITY COMPUTATION

Use of 846 SWM map for LEED boundary.

Using Rational Peak Coefficient Method
NOTE: ANOTHER METHOD OF COMPUTING RUNOFF VOLUMES MAY BE USED DURING FINAL DESIGN AS APPROVED BY FAIRFAX COUNTY.

Project: WESTPARK PLAZA VMP 10/18/2013
Existing Conditions

Date: Drainage Area: 4.65 Acres
Runoff Curve Number: 95
S=1000CN-10 = 0.83
Time of Concentration: 1 Hours
Rainfall Type: None

Storm Number: 1 2 3
Frequency (Yrs): 1 2 10
24-H Rainfall (in): 2.7 3.2 5.2
Runoff (in): 2.18 2.69 4.62

TOTAL RUNOFF VOLUME (EXISTING CONDITIONS)
1 YR STORM: 4.65 AC X 2.18 IN X 1.488 = 15.829 CF
2 YR STORM: 4.65 AC X 2.69 IN X 1.488 = 18.685 CF

TOTAL RUNOFF VOLUME (PROPOSED CONDITIONS)
1 YR STORM: 4.65 AC X 1.85 IN X 1.488 = 12.685 CF
2 YR STORM: 4.65 AC X 2.08 IN X 1.488 = 12.685 CF

TOTAL RUNOFF VOLUME (ALLOWABLE RELEASE)
PER LEED, FOR SITES THAT HAVE GREATER THAN 50% IMPERVIOUS COVER IN THE EXISTING CONDITION, THE POST-DEVELOPED STORMWATER RUNOFF VOLUME FOR THE 2 YEAR STORM CANNOT EXCEED THE EXISTING CONDITIONS VOLUME LESS 20%.

2 YEAR STORM REQUIRED VOLUME REDUCTION:
34.260 CF LESS 78% OF 43.656 CF = 1.616 CF

TOTAL RUNOFF VOLUME (ALLOWABLE RELEASE)
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LEED QUALITY COMPUTATION

Notes:
1) See SWM/BMP map for 4.68 Ac. LEED boundary.
2) The applicable Comp. Plan goal is to provide water quality measure sufficient to attain the LEED water quality credit. This credit requires controlling the first inch of runoff to remove a minimum of 80% of the post-development average annual total suspended solids load.

COMPUTE THE WEIGHTED AVERAGE "C" FACTOR FOR THE LEED AREA

LEED AREA = 4.68 ACRES

BMP "C" FACTOR ACRES PRODUCT

RAINWATER HARVESTING 0.90 3.88 3.53
VEGETATED ROOF 0.90 0.12 0.11
URBAN BIODIVERSITY ** 0.84 0.08 0.07
UNCONTROLLED 0.87 0.78 0.68

TOTALS = 4.68 4.27

WEIGHTED "C" FACTOR = 4.07 / 4.68 = 0.87

COMPUTE THE TOTAL SUSPENDED SOLIDS (TSS) REMOVAL FOR THE LEED AREA

BMP REMOVAL EFF. (%) AREA RATIO "C" FACTOR PRODUCT

RAINWATER HARVESTING 89 3.88 0.90 0.80 78.8
VEGETATED ROOF 80 0.12 0.84 0.90 0.88 2.1
URBAN BIODIVERSITY ** 78 0.08 0.85 0.84 0.80 1.2

TOTAL TSS REMOVAL (%) = 82.9

* Used conservative assumptions for C factors for the uncontrolled areas.
** The 0.08 acres listed as controlled by urban biodiversity are located within the LEED boundary and actually treat a larger area of 0.47 acres.

*** TSS removal efficiencies obtained from EPA Virginia Stormwater Management Handbook, Ch. 4 and Appendix C. For the rainwater harvesting (RWH), the RWH efficiency used the 80% of the 1" design storm that is treated based on a rainwater harvesting continuous detention model.

DRAINAGE AREA SUMMARY

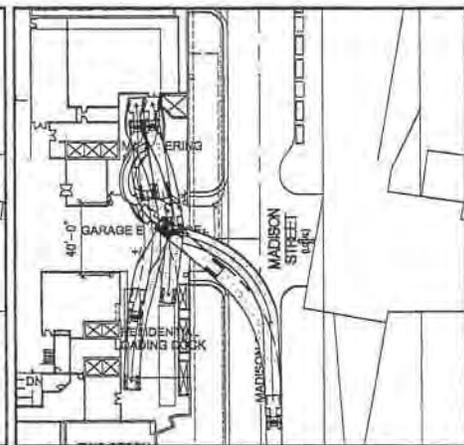
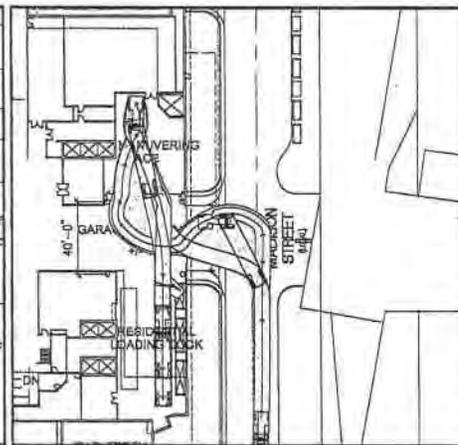
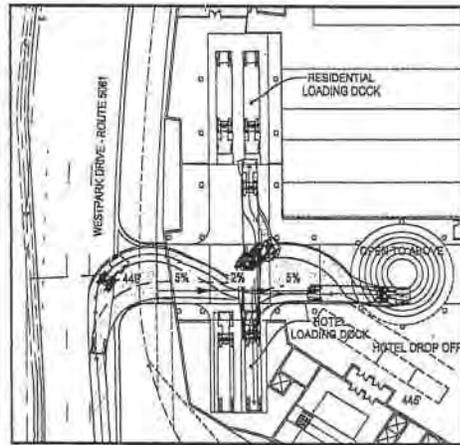
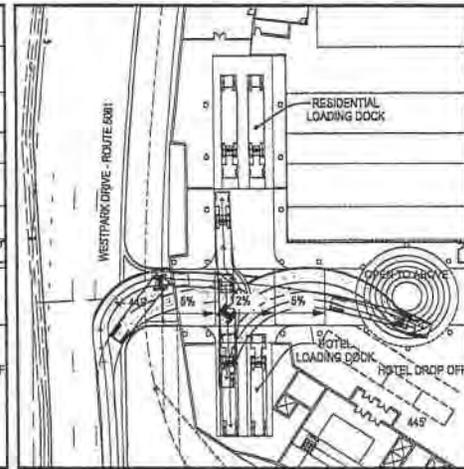
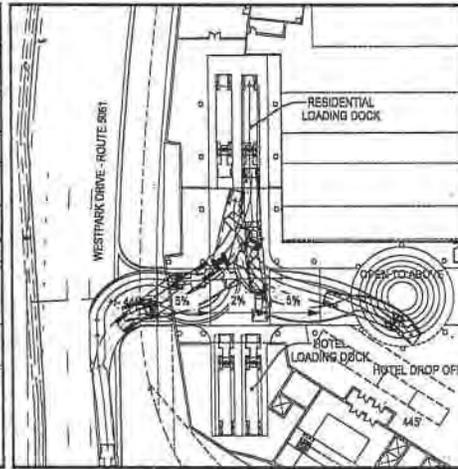
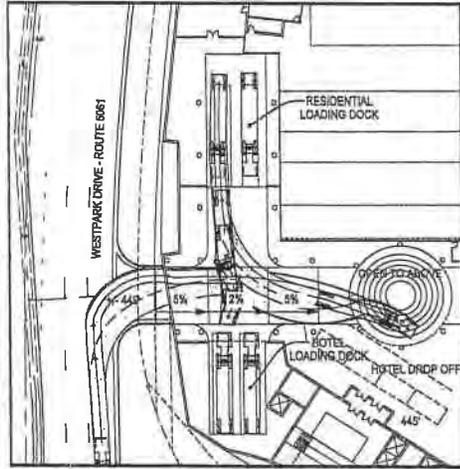
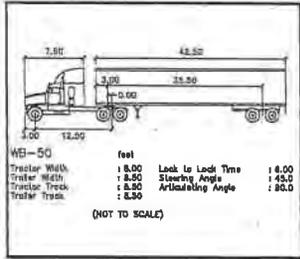
Pre-Development: Area (Acres) 4.37, Hydrologic Soil Group: B & D, Runoff Curve Number (CN): 78 For Q1 comp., 73 For Q2 comp., 83 For Q3 comp.

Post-Development: Area of Vegetated Roofs on Buildings and Plaza: 1.26, Area of Impervious Areas (Pavement, Parking, etc.): 3.17, Landscaped Areas (Including Urban Biodiversity): 0.54

Actualized CN: 1-Year Storm: 80, 2-Year Storm: 80, 10-Year Storm: 81

* The site area for allowable peak runoff rate and LEED computations is the post-right-of-way dedication area.

** The 2011 County soil map lists the site's soil as medium to heavy silty clay with sand and gravel. However, the site's soil has been mapped and the results indicate a mixture of about 50% HSG B and 50% HSG D soils.



NOTE: CONCEPTUAL AND SUBJECT TO ADJUSTMENT

LOADING CIRCULATION PLAN - ENTERING MOVEMENTS

WESTPARK PLAZA
CONCEPTUAL DEVELOPMENT PLAN
PROVIDENCE DISTRICT
FAIRFAX COUNTY, VIRGINIA

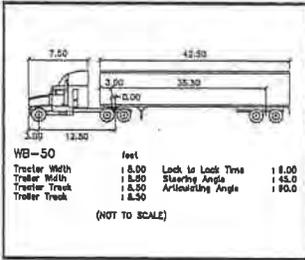
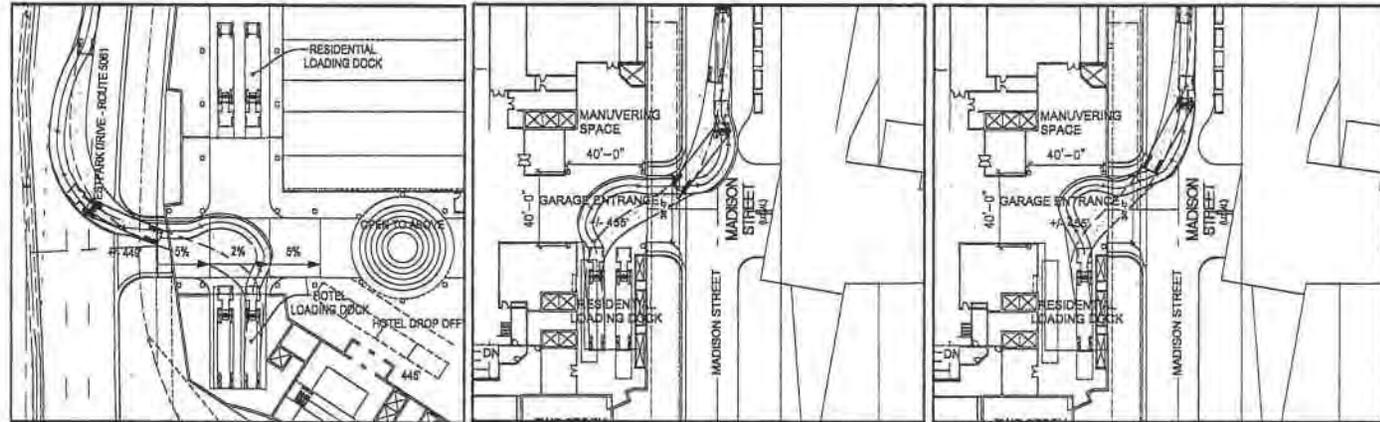
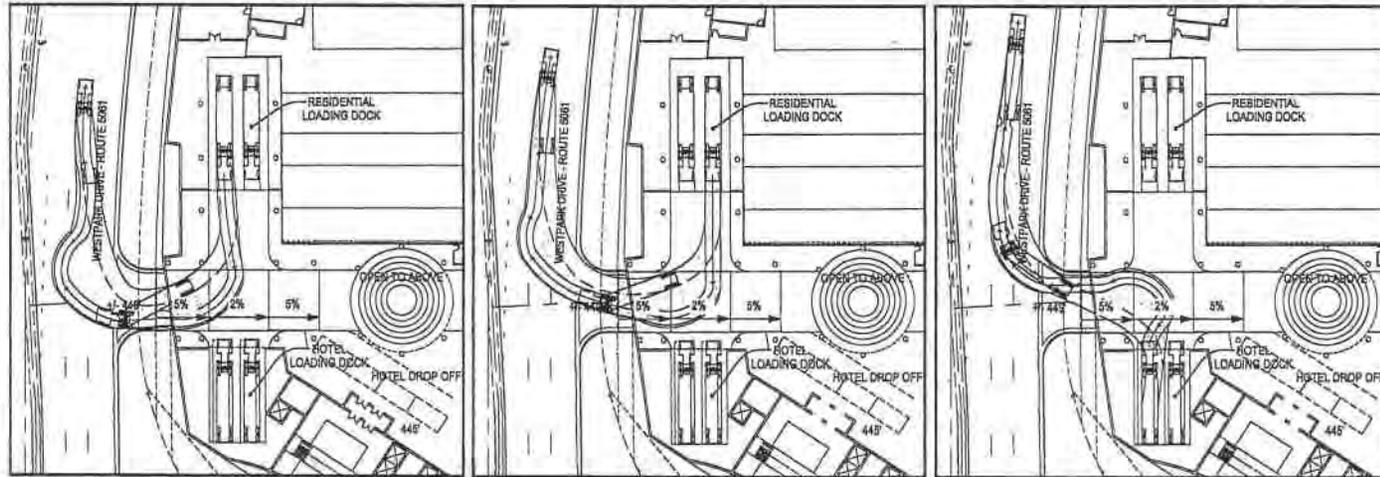
REV.	DESCRIPTION	DATE	BY	APP.



WALTER L. PHILLIPS
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STATE OF VIRGINIA
 PROFESSIONAL ENGINEER
 LICENSE NO. 55114
 EXPIRES 08/31/14

EMERSON, VA
 1000 WEST WASHINGTON STREET, SUITE 200
 FALLS CHURCH, VA 22046



NOTE: CONCEPTUAL AND SUBJECT TO ADJUSTMENT

LOADING CIRCULATION PLAN - EXITING MOVEMENTS

WESTPARK PLAZA
CONCEPTUAL DEVELOPMENT PLAN
PROVIDENCE DISTRICT
FAIRFAX COUNTY, VIRGINIA

Engineers • Surveyors • Planners
Landscape Architects • Architects
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FALLS CHURCH, VIRGINIA 22048
(703) 832-6163 Fax (703) 832-1821
www.WLPd.com
INCORPORATED
SINCE 1978
SCALE: 1"=20'



NO.	REVISION/DATE	BY	APPROVED BY	DATE

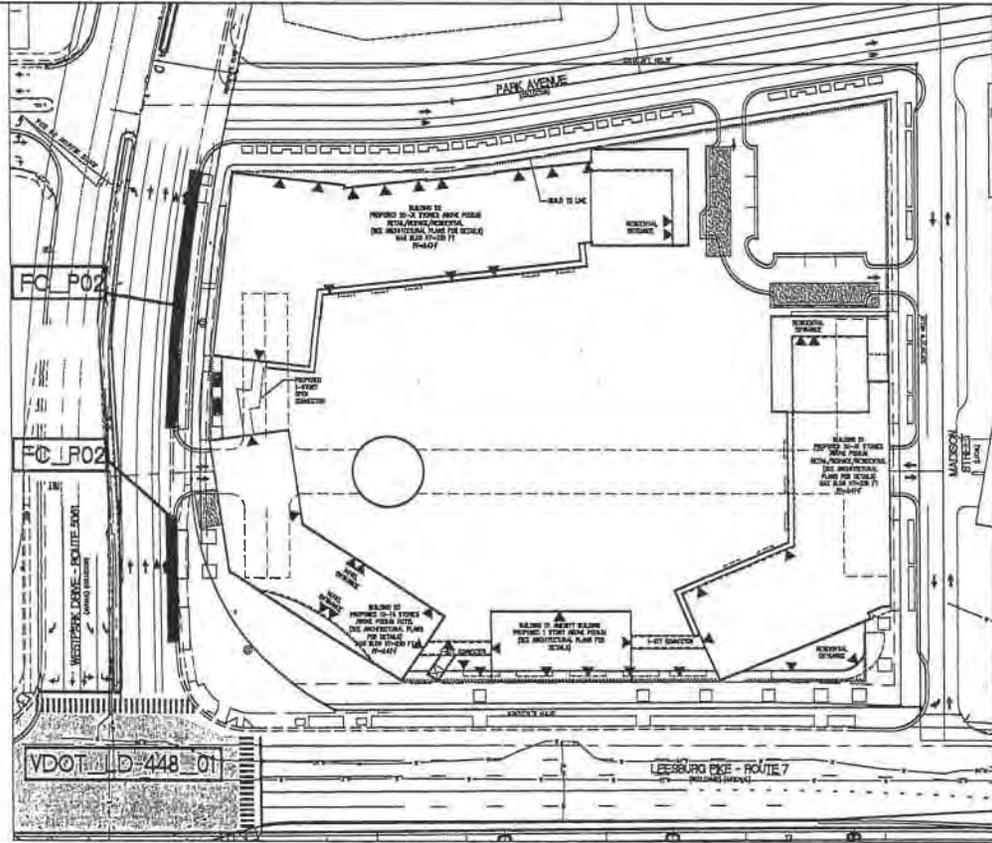
WESTPARK PLAZA TYSONS DESIGN STANDARDS WAIVER/EXCEPTION KEY



TARGET LOS NOT MET



REQUIRED ON-STREET PARKING NOT PROVIDED



VDOT ROAD ID: 448 01

SUPPLEMENTAL TRANSPORTATION NOTES:

THESE NOTES CORRESPOND TO FOOTNOTES IN TRANSPORTATION MATRIX, THIS SHEET.

1. VDOT DISTRICT ADMINISTRATOR MAY ACCEPT LOWER LEVELS OF SERVICE, PENDING RESULTS OF OPERATIONAL ANALYSIS.
2. INTERSECTION AND ENTRANCE SPACING MUST BE DEMONSTRATED THROUGH AN OPERATIONAL ANALYSIS. IN THIS CASE 800 FEET TO 1,200 FEET IS RECOMMENDED SPACING.
3. THE NEED FOR THIS ABANDONMENT IS EVALUATED ON A CASE-BY-CASE BASIS.
4. LANE WIDTH WILL BE 10' FOR STREETS RESIDENTIAL IN CHARACTER, 11' FOR STREETS MORE COMMERCIAL IN NATURE.
5. NEW SIGNALIZED INTERSECTIONS ON COLLECTORS/ARCADES WITHIN 800 FEET OF LOW SPEED BOULEVARDS NEED OPERATIONAL ANALYSIS.
6. BIKE LANE WIDTHS VARY DEPENDS ON LOCATION RELATIVE TO CURB AND CURBSIDE PARKING.
7. ON CIRCULATOR ROUTES MEDIANS SHOULD BE 24'-36" ON AVENUES AND COLLECTORS.
8. PARKING MAY BE RESTRICTED IN THE VICINITY OF CIRCULATOR ROUTES.



Category	Location/Description	Category	Area	Notes	Notes	Notes	Notes	Notes
1
2
3
4
5
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17
18
19
20



4' MIN. SIDE SPACING ON PARK AVENUE BETWEEN ONE-WAY ENTRANCE AND MADISON STREET (181' REQUIRED, 181' PROVIDED)

Engineers • Surveyors • Planners
Architects • Accountants

WALTER L. PHILLIPS
INC.
1000 WESTPARK AVENUE
FALLS CHURCH, VIRGINIA, 22046
(703) 525-6183 Fax (703) 533-1301
www.WLPINC.com



NO.	DESCRIPTION	DATE	APPROVED BY	DATE	APPROVED BY

SUPPLEMENTAL TRANSPORTATION PLAN
WESTPARK PLAZA
CONCEPTUAL DEVELOPMENT PLAN
PROVIDENCE DISTRICT
FAIRFAX COUNTY, VIRGINIA



3201 Lee Highway, Arlington, VA 22202
703-524-6618 Fax: 524-6618 mtfa.net

WESTPARK PLAZA

GENERAL NOTES:

1. ALL GRADES ARE APPROXIMATE AND MAY CHANGE DURING FINAL ENGINEERING.
2. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
3. BUILDING HEIGHTS ARE FROM AVERAGE SITE GRADE AND INCLUDE MECHANICAL PENETROLERS AND ARCHITECTURAL DESIGN ELEMENTS.
4. THE NUMBER OF STORES SHOWN REPRESENTS STORES ABOVE THE PODIUM. THE NUMBER OF STORES ARE CONCEPTUAL AND MAY BE ADJUSTED AT THE RFP AND FINAL SITE PLAN. FINISHED HEIGHTS AND MAXIMUM BUILDING HEIGHTS ARE MAINTAINED.
5. SURROUNDING CONTEXT IS SHOWN FOR INFORMATIONAL PURPOSES. REFER TO GREENSBORO PLACE DOCUMENTS FOR FURTHER INFORMATION.
6. BELOW GRADE PARKING MAY EXTEND INTO THE BUILDING ZONE.
7. THE NUMBER OF BELOW GRADE PARKING LEVELS MAY VARY TO SUPPORT THE APPLICANT'S PROPOSED PARKING IDEAS.
8. BUILDING FOOTPRINT, DETAILS AND LAYOUTS SHOWN ARE CONCEPTUAL AND ARE SUBJECT TO CHANGE IN FINAL ENGINEERING AND FINAL ARCHITECTURAL DESIGN.

CIVIL ENGINEER
Walter L. Phillips, Inc.
307 Park Avenue
Park Church, VA 22046
703-532-4143

LANDSCAPE ARCHITECT
LANDSCAPE
200 South Peyton Road
Arlington, VA 22204
703-243-7344

Job # 11012

Date	Revised	By
03/08/13	CDP SUBMISSION	
07/10/13	CDP SUBMISSION REVISED	
11/11/13	CDP SUBMISSION #3	
02/17/14	CDP SUBMISSION #4	
07/02/14	CDP SUBMISSION #5	
8/13/14	CDP SUBMISSION #6	
10/11/14	CDP SUBMISSION #7	

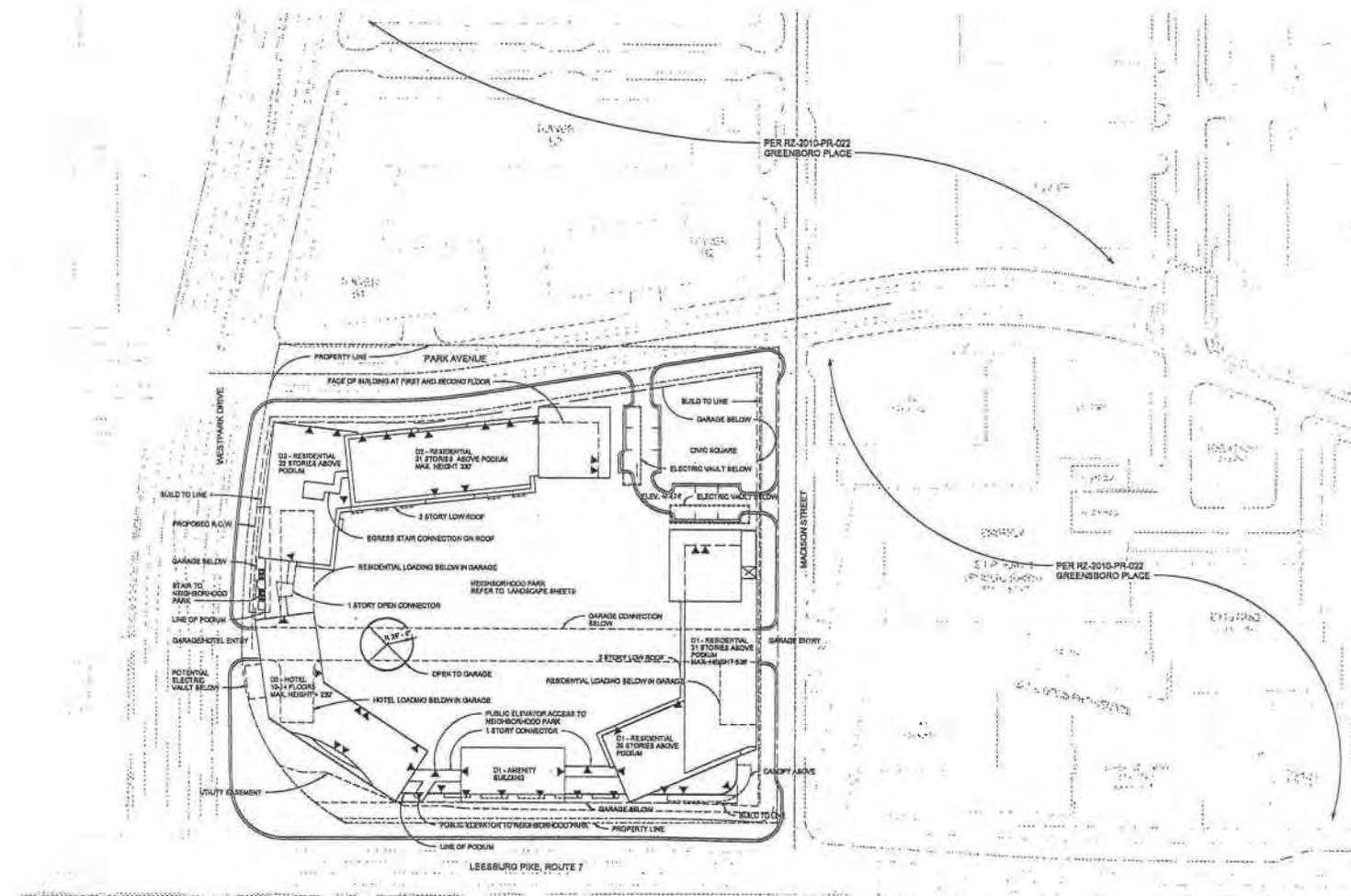
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Checked: Designer

Scale: As Indicated

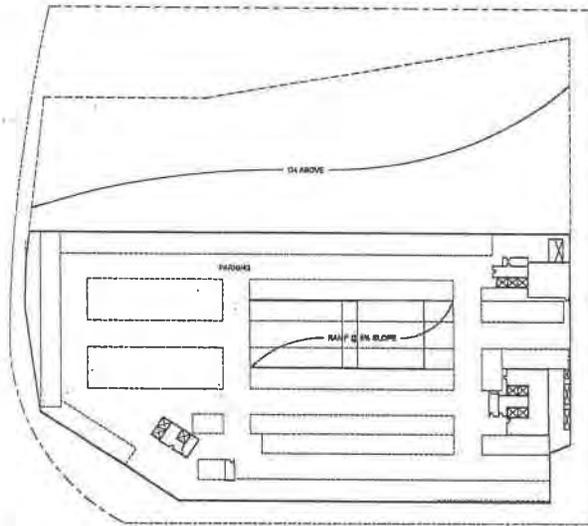
SITE PLAN

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Sheet #

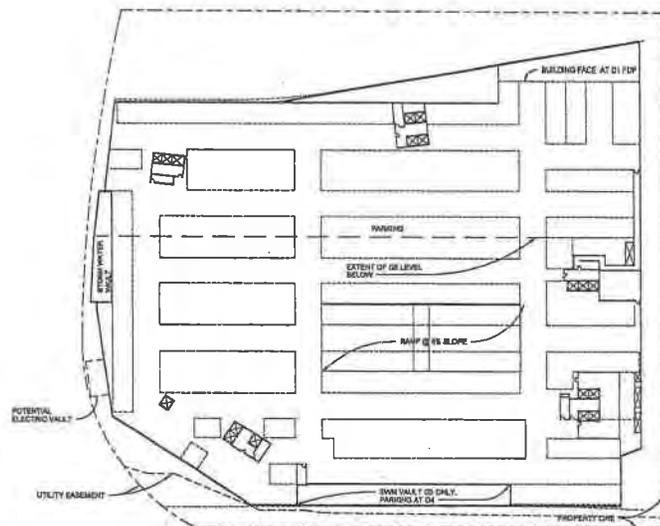
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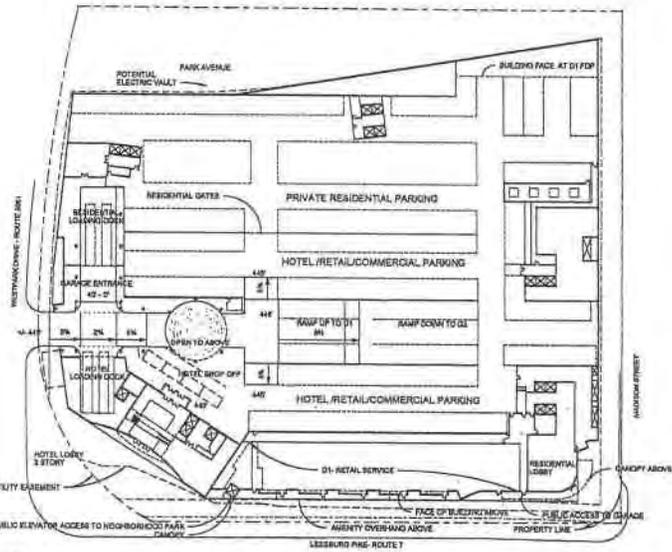
1 Site Plan
1" = 50'-0"



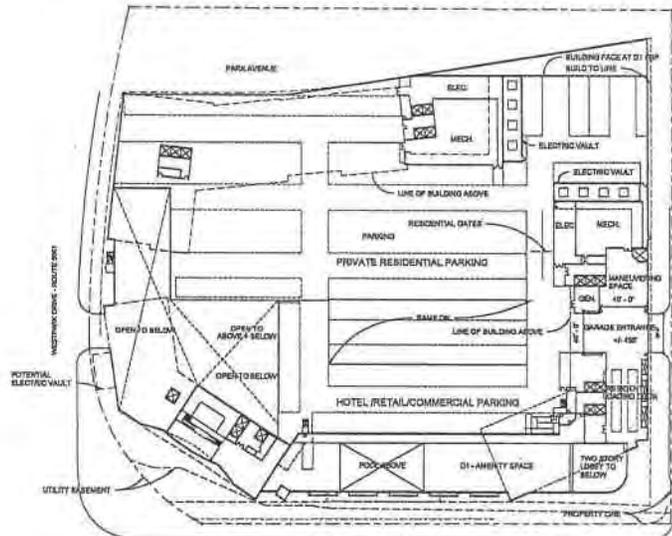
1 0-3
1" = 50'-0"



2 0-3 LEVEL (24 SIMILAR)
1" = 50'-0"



3 0-3
1" = 50'-0"



4 0-3
1" = 50'-0"

- GENERAL NOTES:
1. ALL GRADES ARE APPROXIMATE AND MAY CHANGE DURING FINAL ENGINEERING.
 2. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
 3. BUILDING HEIGHTS ARE FROM AVERAGE SITE GRADE AND INCLUDE MECHANICAL FOOTINGS AND ARCHITECTURAL CORNER ELEMENTS.
 4. THE NUMBER OF STORES SHOWN REPRESENTS STORES ABOVE THE POOL. THE NUMBER OF STORES ARE CONCEPTUAL AND MAY BE ADJUSTED AT THE FIP AND FINAL SITE PLAN PROVIDED SIMILAR AND MAXIMUM BUILDING HEIGHTS ARE MAINTAINED.
 5. SURROUNDING CONTEXT IS SHOWN FOR INFORMATIONAL PURPOSES. REFER TO ORDINANCE PLACE DOCUMENTS FOR FURTHER INFORMATION.
 6. BELOW GRADE PARKING MAY EXTEND INTO THE BUILDING ZONE.
 7. THE NUMBER OF BELOW GRADE PARKING LEVELS MAY VARY TO SUPPORT THE APPLICANT'S PROPOSED PARKING SCALE.
 8. BUILDING FOOTPRINT, DETAILS AND LAYOUTS SHOWN ARE CONCEPTUAL AND ARE SUBJECT TO CHANGE BY FINAL ENGINEERING AND FINAL ARCHITECTURAL DESIGN.

WESTPARK PLAZA

CIVIL ENGINEER
Walker L. Phillips, Inc.
277 Park Avenue
Falls Church, VA 22046
703-424-1010

LANDSCAPE ARCHITECT
LANDDESIGN
300 South Park Dr
Arlington, VA 22204
703-648-7788

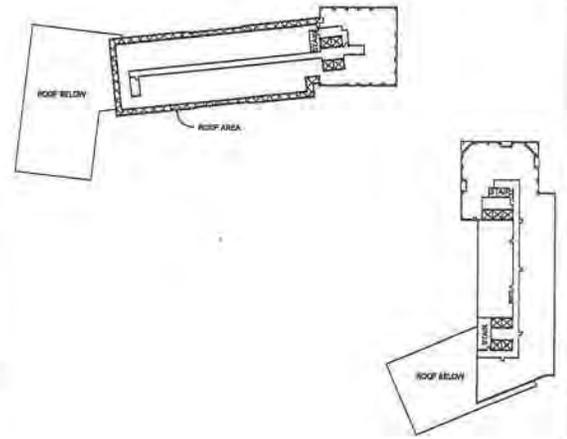
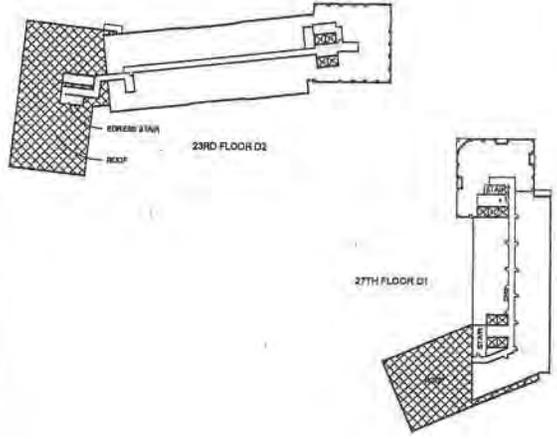
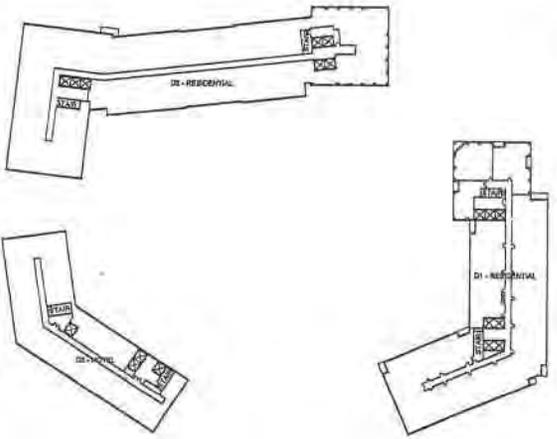
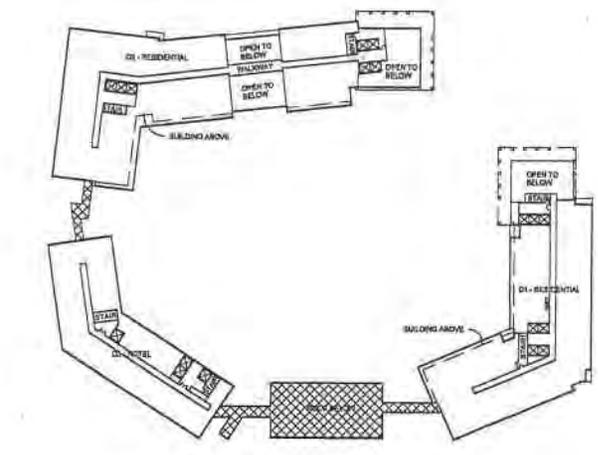
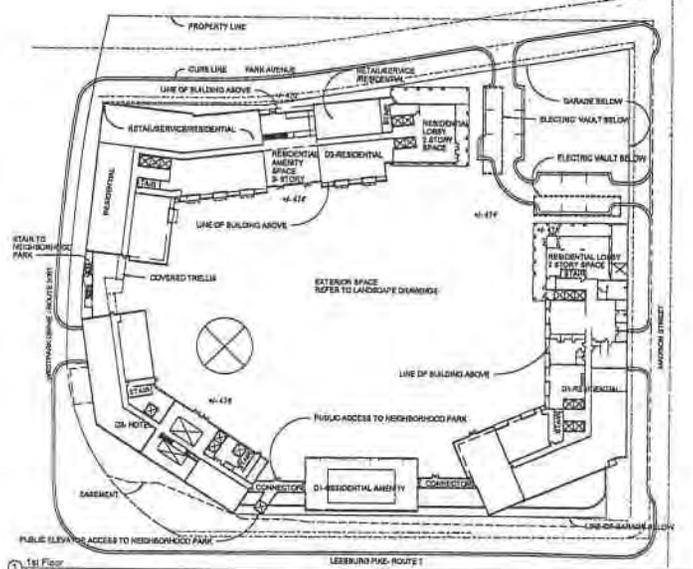
Job # 11012

Date:	Rev:
02/09/13	CDP SUBMISSION #01
07/09/13	CDP SUBMISSION #1 REVISED
11/13/13	CDP SUBMISSION #2
03/01/14	CDP SUBMISSION #3
02/09/14	CDP SUBMISSION #4
07/31/14	CDP SUBMISSION #5
10/01/14	CDP SUBMISSION #7

Drawn:	Checked:
Author	Checker
Date:	As Indicated

FLOOR PLANS

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Sheet #



- GENERAL NOTES:
1. ALL DIMENSIONS ARE APPROXIMATE AND MAY CHANGE DURING FINAL ENGINEERING.
 2. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
 3. BUILDING HEIGHTS ARE FROM AVERAGE BITE DIMENSIONS INCLUDING MECHANICAL PENETRATION AND ARCHITECTURAL DESIGN ELEMENTS.
 4. THE NUMBER OF STORIES BEYOND REPRESENTED STORIES ABOVE THE FLOOR. THE NUMBER OF STORIES ARE CONCEPTUAL AND MAY BE ADJUSTED AT THE PRELIMINARY SITE PLAN PROVIDED MINIMUM AND MAXIMUM BUILDING HEIGHTS ARE MAINTAINED.
 5. SURROUNDING CONTEXT IS TO BE USED FOR INFORMATIONAL PURPOSES. REFER TO GREENSBORO PLACE DOCUMENTS FOR FURTHER INFORMATION.
 6. BELOW GRADE PARKING MAY EXTEND INTO THE BUILDING ECHO.
 7. THE PLACEMENT OF BELOW GRADE PARKING LEVELS CAN VARY TO SUPPORT THE APPLICABLE PROPOSED PARKING GOALS.
 8. BUILDING FOOTPRINT, DETAILS AND LAYOUTS SHOWN ARE CONCEPTUAL AND ARE SUBJECT TO CHANGE IN FINAL ENGINEERING AND FINAL ARCHITECTURAL DESIGN.

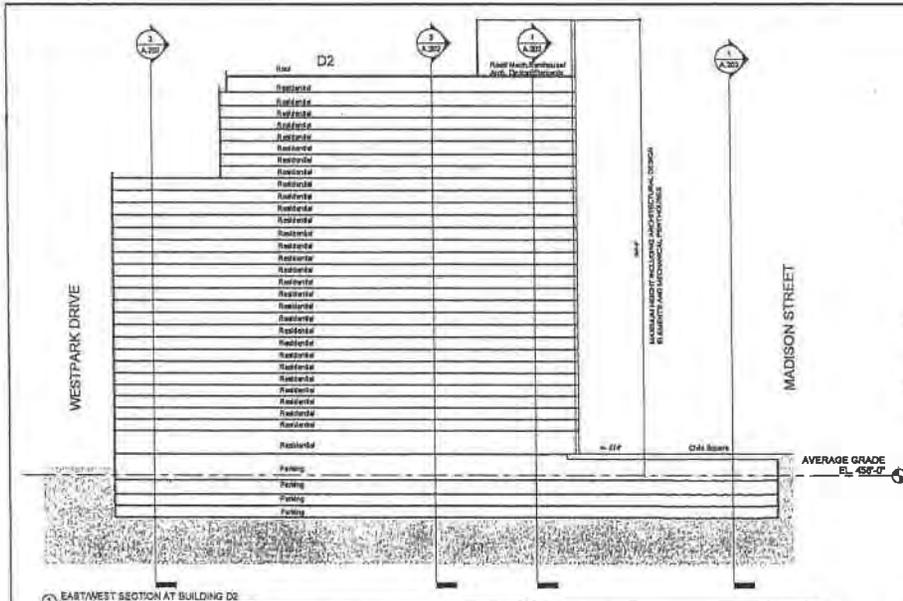
WESTPARK PLAZA

CIVIL ENGINEER
Walker L. Phillips, Inc.
277 Fayer Avenue
Falls Church, VA 22044
703-424-8191

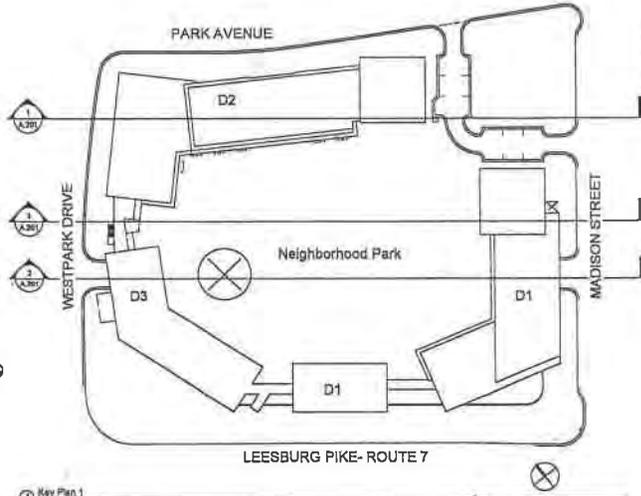
LANDSCAPE ARCHITECT
LANDDESIGN
330 South Parker Street
Arlington, VA 22214
703-448-7784

Job #	11012
Date:	03/07/13
Issue:	COP SUBMISSION
7/16/13	COP SUBMISSION REVISED
11/17/13	COP SUBMISSION 05
03/01/14	COP SUBMISSION # 01
07/02/14	COP SUBMISSION # 02
8/13/14	COP SUBMISSION # 03
10/01/14	COP SUBMISSION # 04

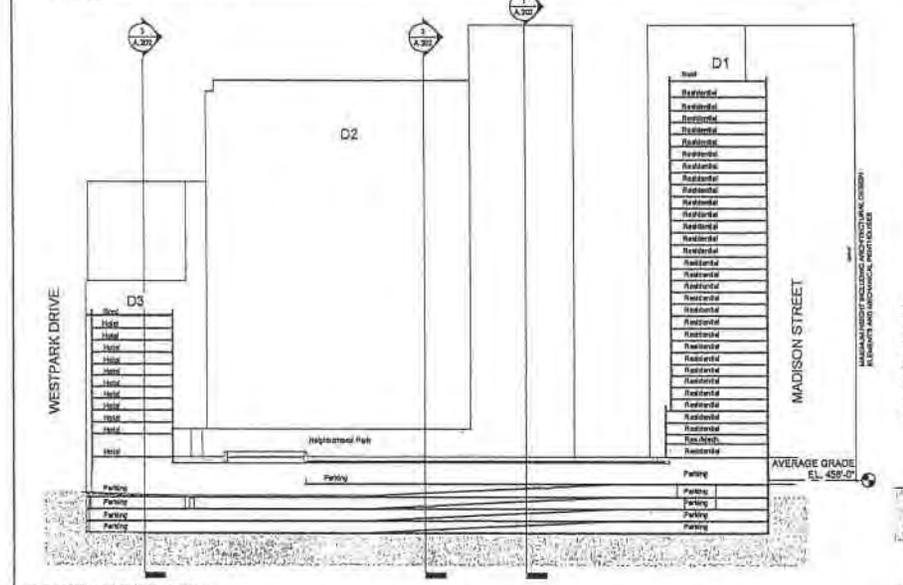
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Author:	Checker:
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Sheet #	A.103



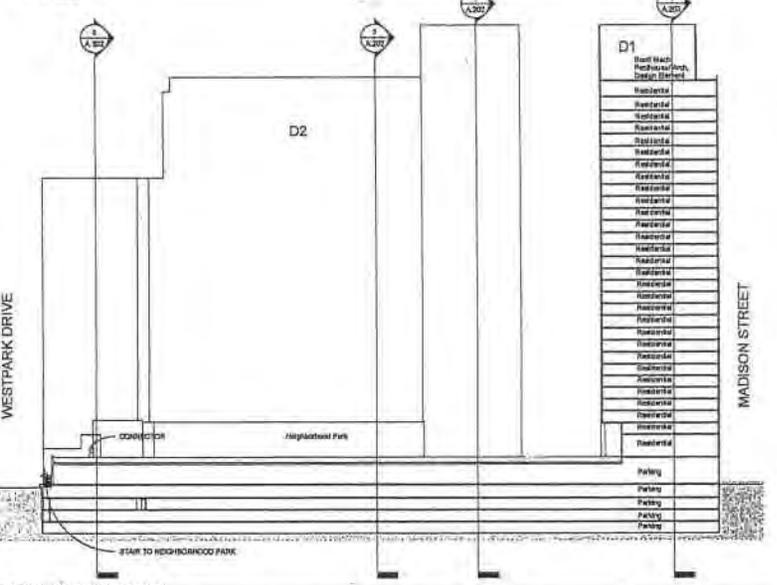
1 EASTWEST SECTION AT BUILDING D2
1" = 42'-0"



2 Site Plan 1
1" = 52'-0"



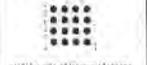
3 EASTWEST SECTION AT D1 AND D3
1" = 42'-0"



4 EASTWEST SECTION AT PODIUM
1" = 42'-0"

- GENERAL NOTES:
1. ALL GRADES ARE APPROXIMATE AND MAY CHANGE DURING FINAL DESIGN/CONSTRUCTION.
 2. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
 3. BUILDING HEIGHTS ARE FROM AVENUE RTE 7 GRADE AND INCLUDE MECHANICAL ROOFUSES AND ARCHITECTURAL DESIGN ELEMENTS.
 4. THE NUMBER OF STORES SHOWN REPRESENTS STORES ABOVE THE FLOOR. THE NUMBER OF STORES AND CONCESSIONS AND MAY BE ADJUSTED AT THE TOP ARCHITECTURAL SITE PLAN PROVIDED MINIMUM AND MAXIMUM BUILDING HEIGHTS ARE MAINTAINED.
 5. SUBMITTALS CONTENT IS SHOWN FOR INFORMATIONAL PURPOSES. REFER TO SUBMITTALS PLACE DOCUMENTS FOR FURTHER INFORMATION.
 6. BELOW GRADE PARKING MAY EXTEND INTO THE BUILDING ZONE.
 7. THE NUMBER OF BELOW GRADE PARKING LEVELS CAN VARY TO SUPPORT THE APPLICANTS PROPOSED PARKING DEMAND.
 8. BUILDING FOOTPRINT, DETAILS AND LAYOUTS SHOWN ARE CONCEPTUAL AND ARE SUBJECT TO CHANGE BY FINAL ENGINEERING AND FINAL ARCHITECTURAL DESIGN.

MTFA
SITE PLANNERS



3300 Lee Highway, Arlington, VA 22207
703-624-8878 Fax: 703-624-8744

WESTPARK PLAZA

DR. DORNER
Walter L. Phillips, Inc.
207 Park Avenue
18th Floor, VA 2204
703-624-6143

LANDSCAPE ARCHITECT
LANDSCAPION
200 South Payne Street
Arlington, VA 22214
703-548-7514

JOB # 11012

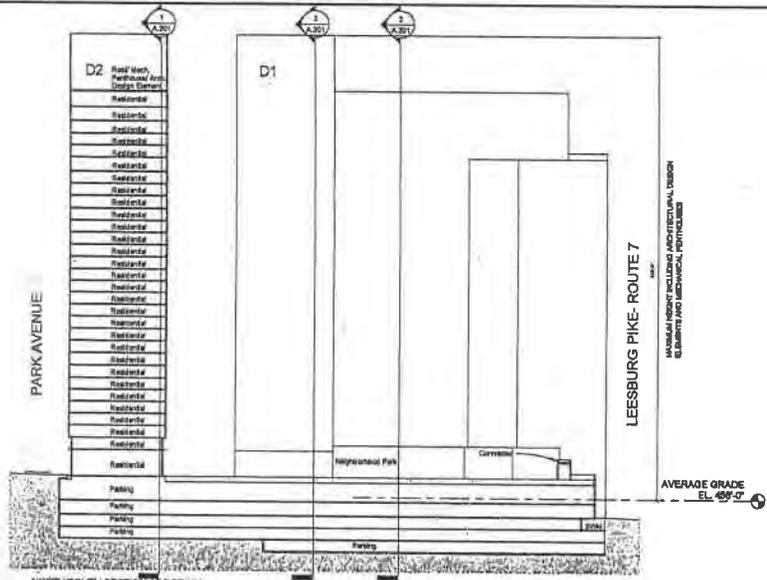
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07/10/13	CDP SUBMISSION	REVISED
11/19/13	CDP SUBMISSION #3	
03/07/14	CDP SUBMISSION #4	
05/03/14	CDP SUBMISSION #5	
6/10/14	CDP SUBMISSION #6	
10/01/14	CDP SUBMISSION #7	

Drawn: Author
Checked: Checker
Scale: As Indicated

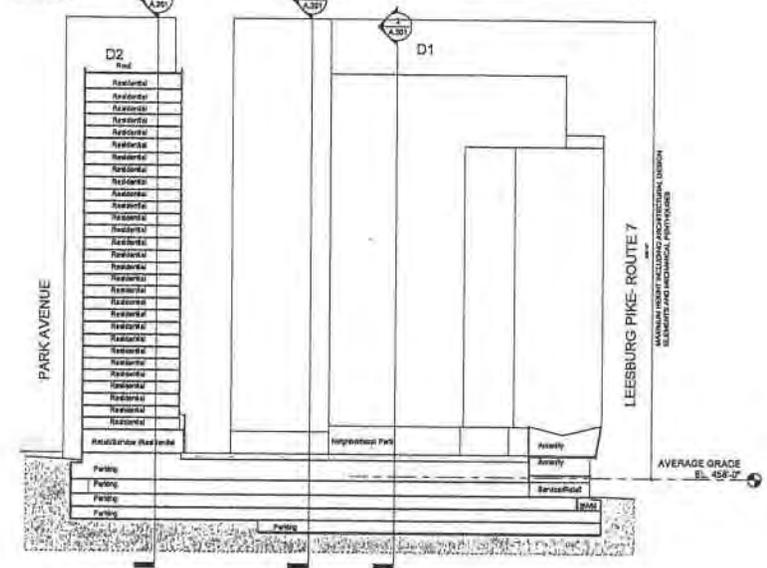
SECTIONS

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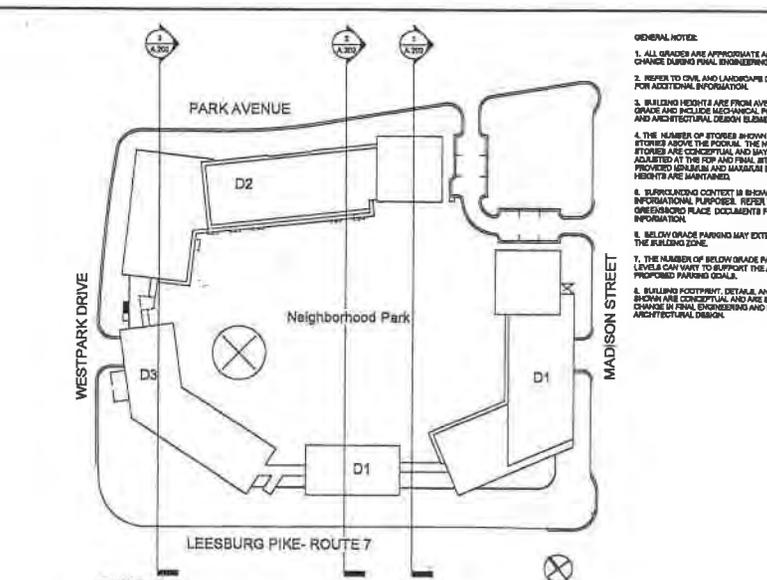
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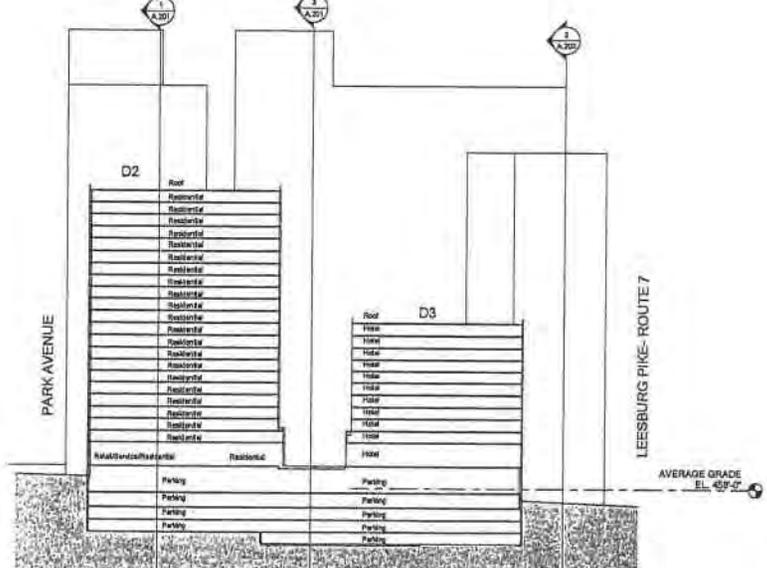
1 NORTH-SOUTH SECTION AT PODIUM AND D2
1" = 40'-0"



2 NORTH-SOUTH SECTION AT D3 AND D1
1" = 40'-0"



3 KEY PLAN 2
1" = 80'-0"



3 NORTH-SOUTH SECTION AT D3 AND D2
1" = 40'-0"

- GENERAL NOTE:
1. ALL GRADES ARE APPROXIMATE AND MAY CHANGE DURING FINAL ENGINEERING.
 2. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
 3. BUILDING HEIGHTS ARE FROM AVERAGE SITE GRADE AND INCLUDE MECHANICAL, PHOTOVOLTAIC AND ARCHITECTURAL DESIGN ELEMENTS.
 4. THE NUMBER OF STORES SHOWN REPRESENTS STORES ABOVE THE PODIUM. THE NUMBER OF STORES ARE CONCEPTUAL AND MAY BE ADJUSTED AT THE TOP AND FINAL SITE LAYOUT PROVIDED MEASUREMENTS AND MAXIMUM BUILDING HEIGHTS ARE MAINTAINED.
 5. UNDERLAINING CONVEYER IS SHOWN FOR INFORMATIONAL PURPOSES. REFER TO OVERSIZING PLACE DOCUMENTS FOR FURTHER INFORMATION.
 6. BELOW GRADE PARKING MAY EXTEND INTO THE BUILDING ZONE.
 7. THE NUMBER OF BELOW GRADE PARKING LEVELS CAN VARY TO SUPPORT THE APPLICANTS PROPOSED PARKING GOALS.
 8. BUILDING FOOTPRINT, DETAILS AND LAYOUTS SHOWN ARE CONCEPTUAL AND ARE SUBJECT TO CHANGE IN FINAL ENGINEERING AND FINAL ARCHITECTURAL DESIGN.

WESTPARK PLAZA

CIVIL ENGINEER
Walter L. Phillips, Inc.
227 Park Avenue
Park View, VA 22061
703-432-4180

LANDSCAPE ARCHITECT
LANDSCAPE DESIGN
200 South Park Street
Alexandria, VA 22314
703-548-1761

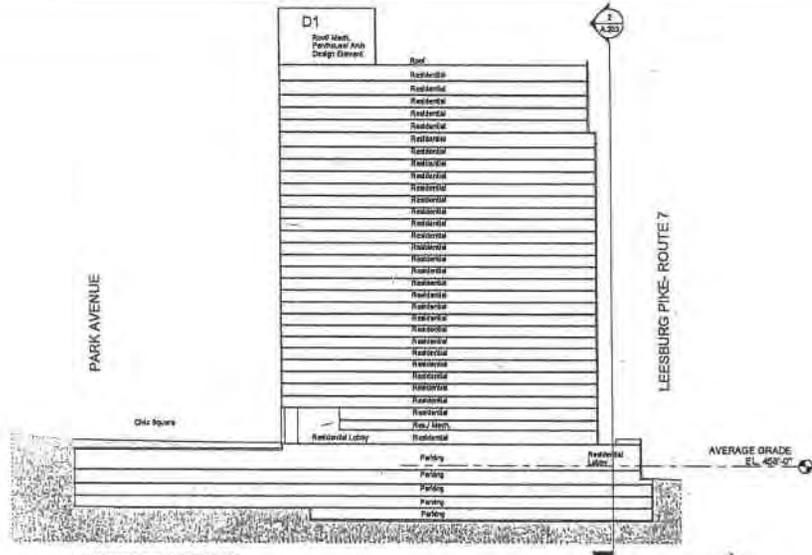
Job # 11012

Date	Task
03/09/13	CDP SUBMISSION
07/18/13	CDP SUBMISSION REVISED
11/19/13	CDP SUBMISSION #3
02/05/14	CDP SUBMISSION #4
07/02/14	CDP SUBMISSION #5
01/12/14	CDP SUBMISSION #6
10/01/14	CDP SUBMISSION #7

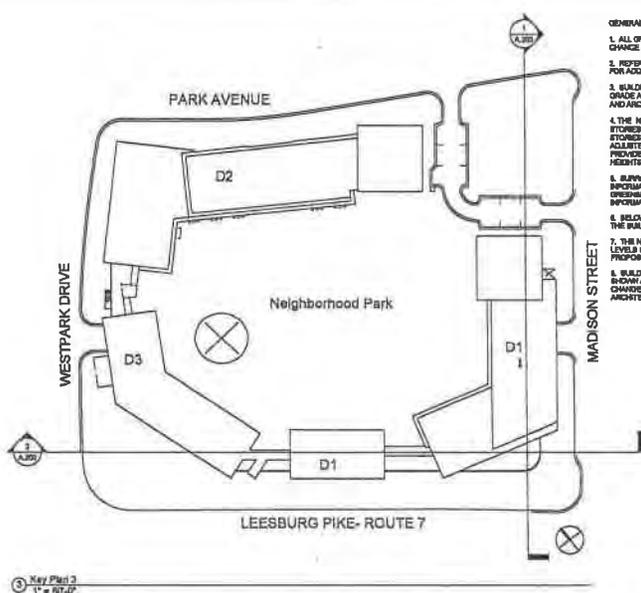
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Date: [Blank] As Issued

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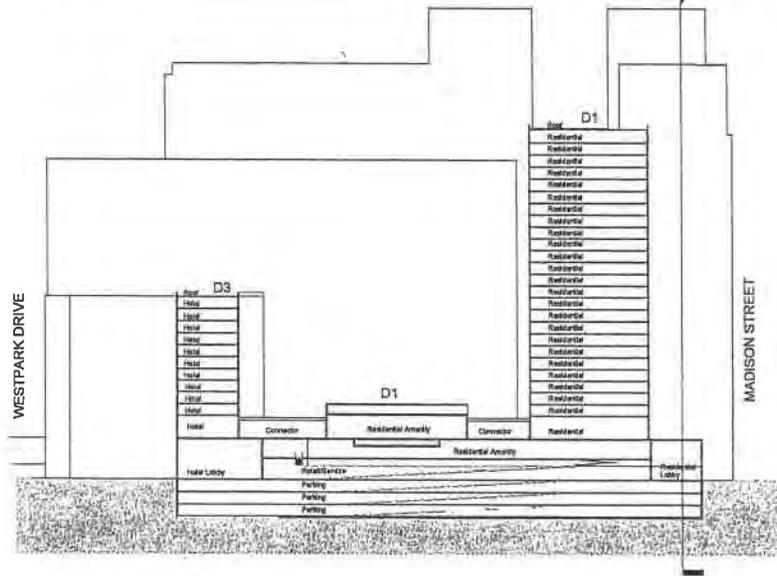
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Sheet #



1 NORTH-SOUTH SECTION AT D2
1" = 42'-0"



3 May Plan 3
1" = 90'-0"



2 EASTWEST SECTION AT D1, AMENTY SPACE, AND D2
1" = 42'-0"

- GENERAL NOTES:
1. ALL GRADES ARE APPROXIMATE AND MAY CHANGE DURING FINAL ENGINEERING.
 2. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
 3. BUILDING HEIGHTS ARE FROM AVERAGE SITE GRADE AND INCLUDE MECHANICAL PENETRATIONS AND ARCHITECTURAL DESIGN ELEMENTS.
 4. THE NUMBER OF STORES SHOWN REPRESENTS STORES ABOVE THE PODIUM. THE NUMBER OF STORES ARE CONCEPTUAL AND MAY BE ADJUSTED AT THE POP AND FINAL SITE PLAN PROVIDED HEIGHTS AND MAXIMUM BUILDD HEIGHTS ARE MAINTAINED.
 5. SUPPLEMENTING CONTEXT IS SHOWN FOR INFORMATIONAL PURPOSES. REFER TO DRAINAGING PLACE DOCUMENTS FOR FURTHER INFORMATION.
 6. BELOW GRADE PARKING MAY EXTEND INTO THE BUILDING ZONE.
 7. THE NUMBER OF BELOW GRADE PARKING LEVELS CAN VARY TO SUPPORT THE APPLICABLE PROPOSED PARKING GOALS.
 8. BUILDING FOOTPRINT, DETAILS AND LAYOUTS SHOWN ARE CONCEPTUAL AND ARE SUBJECT TO CHANGE BY FINAL ENGINEERING AND FINAL ARCHITECTURAL DESIGN.



3300 Lee Highway, Arlington, VA 22207
703-841-8810 Fax 703-841-1818

WESTPARK PLAZA

CIVIL ENGINEER
Walter L. Phillips, Inc.
207 Park Avenue
Park Church, VA 22084
703-833-4183

LANDSCAPE ARCHITECT
LAWRENCE SICH
205 South Parkton Street
Arlington, VA 22219
703-848-3784

Job #	11012
Date:	03/06/13
Issue:	CDP SUBMISSION
	07/19/13 CDP SUBMISSION REVIEWED
	11/15/13 CDP SUBMISSION #3
	03/03/2014 CDP SUBMISSION #4
	07/23/14 CDP SUBMISSION #5
	8/13/14 CDP SUBMISSION #6
	10/01/14 CDP SUBMISSION #7

Drawn: _____
Author: _____
Scale: _____

SECTIONS

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GENERAL NOTES:

1. ALL GRADES ARE APPROXIMATE AND MAY CHANGE DURING FINAL ENGINEERING.
2. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
3. BUILDING HEIGHTS ARE FROM AVERAGE SITE CHISE AND INCLUDE MECHANICAL FLOORS AND ARCHITECTURAL DESIGN ELEMENTS.
4. THE NUMBER OF STORES SHOWN ABOVE THE STORES ABOVE THE POOL. THE NUMBER OF STORES ARE CONCEPTUAL AND MAY BE ADJUSTED AT THE PER AND FINAL SITE PLAN PROVIDED MINIMUM AND MAXIMUM BUILDING HEIGHTS ARE MAINTAINED.
5. SURROUNDING CONTEXT IS SHOWN FOR INFORMATIONAL PURPOSES. REFER TO GREENSBORO PLACE DOCUMENTS FOR FURTHER INFORMATION.
6. BELOW GRADE PARKING MAY EXTEND INTO THE BUILDING ZONE.
7. THE NUMBER OF BELOW GRADE PARKING LEVELS CAN VARY TO SUPPORT THE APPLICANTS PROPOSED PARKING SCHEDULE.
8. BUILDING FOOTPRINT, DETAILS AND LAYOUTS SHOWN ARE CONCEPTUAL AND ARE SUBJECT TO CHANGE BY FINAL ENGINEERING AND FINAL ARCHITECTURAL DESIGN.

MTFA
architecture



3225 Lee Highway, Alexandria, VA 22304
703-824-8818 Fax: 703-824-1162

WESTPARK PLAZA

CIVIL ENGINEER
Walter L. Phillips, Inc.
207 Park Avenue
Fairfax, VA 22031
703-824-4140

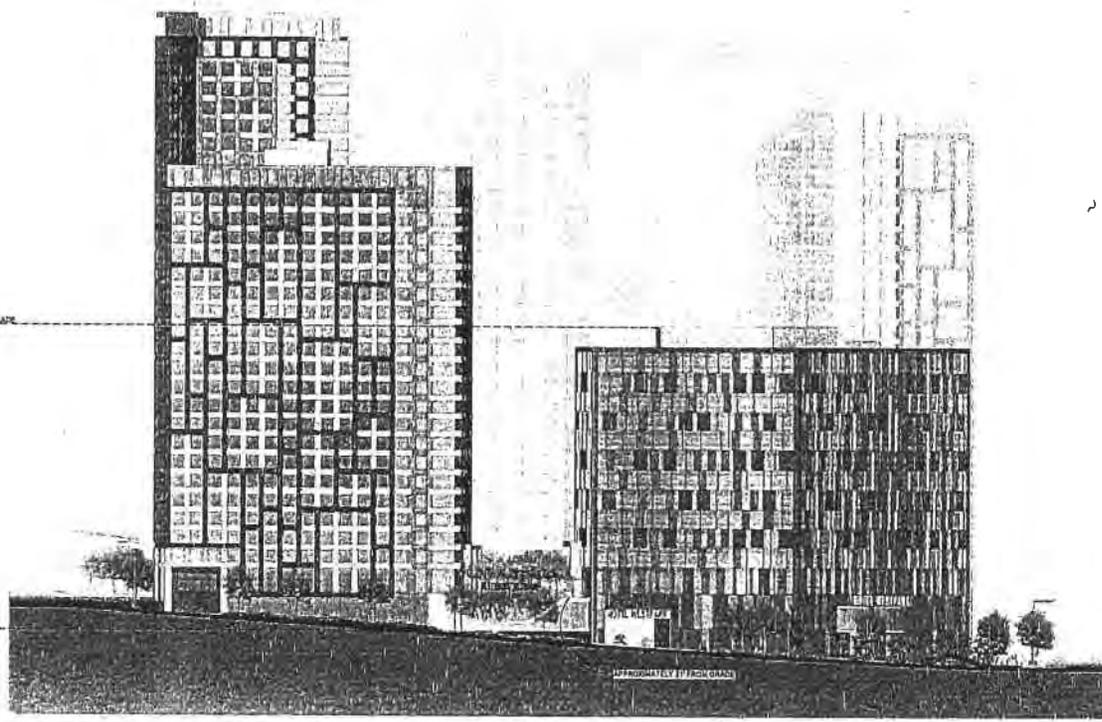
LANDSCAPE ARCHITECT
LANDSCAPE DESIGN
206 Maple Park Drive
Alexandria, VA 22314
703-548-1184

MAX HEIGHT 234' FROM AVERAGE GRADE INCLUDING ARCHITECTURAL DESIGN ELEMENTS

MAX HEIGHT 207' FROM AVERAGE GRADE INCLUDING ARCHITECTURAL DESIGN ELEMENTS

AVERAGE GRADE IS 207'-0"

1 North Elevation - Westpark Drive



JOB # 11012

Date	Issue
03/05/13	COP SUBMISSION
07/18/13	COP SUBMISSION REVISED
11/1/13	COP SUBMISSION #3
03/11/14	COP SUBMISSION #4
07/03/14	COP SUBMISSION #5
8/18/14	COP SUBMISSION #6
10/01/14	COP SUBMISSION #7

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Sheet Title:
NORTH ELEVATION - WESTPARK DRIVE

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Sheet #
A.204

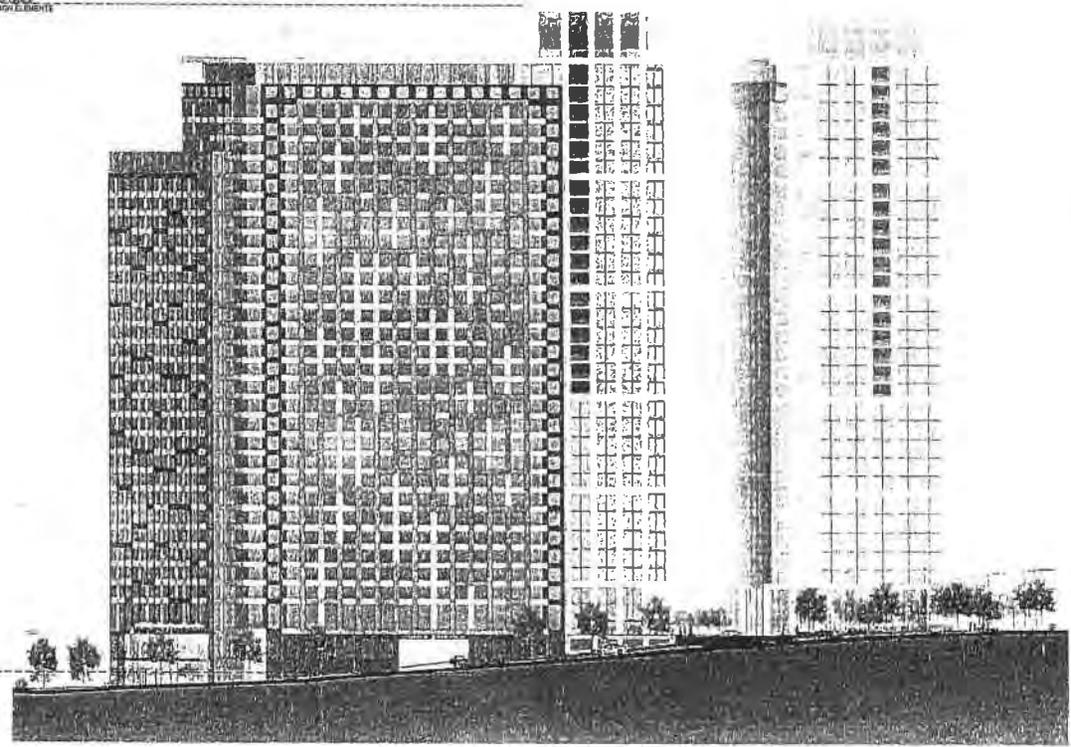


**WESTPARK
PLAZA**

CIVIL ENGINEER
Walter L. Phillips, Inc.
201 Park Avenue
Fifth Floor, VA 22040
703-632-0191

LANDSCAPE ARCHITECT
LAND DESIGN
200 South Park Street
Arlington, VA 22214
703-949-7184

- GENERAL NOTES:**
1. ALL DIMENSIONS ARE APPROXIMATE AND MAY CHANGE DURING FINAL DIMENSIONS.
 2. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
 3. BUILDING HEIGHT IS FROM AVERAGE SITE GRADE AND INCLUDES MECHANICAL FLOORS AND ARCHITECTURAL DESIGN ELEMENTS.
 4. THE NUMBER OF STORES SHOWN REPRESENTS STORES ABOVE THE PODIUM. THE NUMBER OF STORES ARE CONCEPTUAL AND MAY BE ADJUSTED AT THE TOP AND FLOOR, SITE PLAN, FINISHED MECHANICAL AND MAJOR BUILDING SYSTEMS ARE INDICATED.
 5. SURROUNDING CONTEXT IS SHOWN FOR INFORMATIONAL PURPOSES. REFER TO SURROUNDING PLANS DOCUMENTS FOR FURTHER INFORMATION.
 6. BELOW GRADE PARKING MAY EXTEND INTO THE BUILDING FOOTPRINT.
 7. THE NUMBER OF BELOW GRADE PARKING SPACES CAN VARY TO SUPPORT THE APPLICANT'S PROPOSED PARKING SCHEME.
 8. BUILDING FOOTPRINT, DETAILS, AND LAYOUTS SHOWN ARE CONCEPTUAL AND ARE SUBJECT TO CHANGE BY FINAL ENGINEERING AND FINAL ARCHITECTURAL DESIGN.



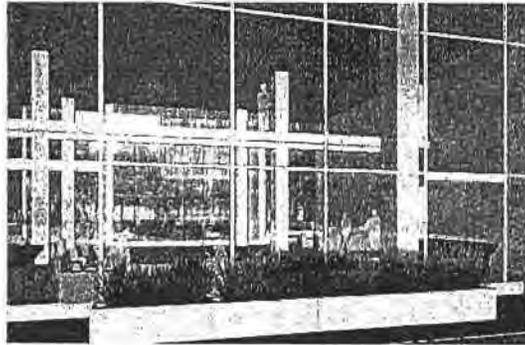
South Elevation - Madison Street

DATE	DESCRIPTION
11/01/12	11012
09/05/13	CDP SUBMISSION
07/18/13	CDP SUBMISSION REVISED
11/01/13	CDP SUBMISSION #2
03/07/14	CDP SUBMISSION #3
03/07/14	CDP SUBMISSION #4
03/07/14	CDP SUBMISSION #5
03/07/14	CDP SUBMISSION #6
10/01/14	CDP SUBMISSION #7

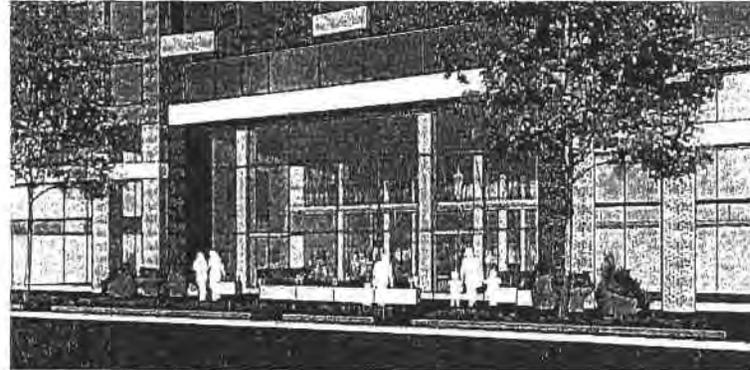
Drawn: Choster
 Author: Choster
 Date: As Indicated

**SOUTH ELEVATION -
MADISON STREET**

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 Sheet #



PERSPECTIVE VIEW OF PARK AVENUE
RESIDENTIAL AMENITY
N.Y.S.

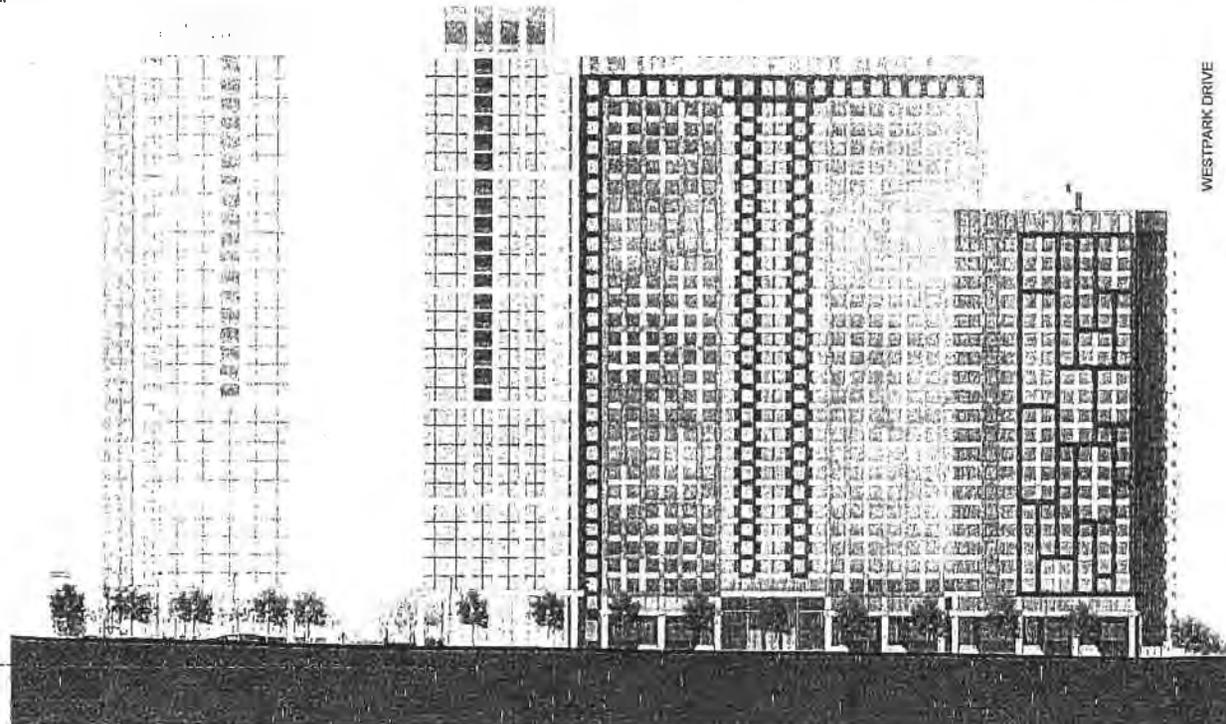


PERSPECTIVE VIEW FROM PARK
AVENUE
N.Y.S.

GENERAL NOTES:

1. ALL GRADES ARE APPROXIMATE AND MAY CHANGE DURING FINAL ENGINEERING.
2. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
3. BUILDING HEIGHTS ARE FROM AVERAGE SITE GRADE AND INCLUDE MECHANICAL PENETROLATORS AND ARCHITECTURAL DESIGN ELEMENTS.
4. THE NUMBER OF STORIES SHOWN REPRESENTS STORIES ABOVE THE PODIUM. THE NUMBER OF TOWERS ARE CONCEPTUAL AND MAY BE ADJUSTED AT THE POP AND FINAL SITE PLAN PROVIDED MINIMUM AND MAXIMUM BUILDING HEIGHTS ARE MAINTAINED.
5. SURROUNDING CONTEXT IS SHOWN FOR INFORMATIONAL PURPOSES. REFER TO GREENSBORO PLACE DOCUMENTS FOR FURTHER INFORMATION.
6. BELOW GRADE PARKING MAY EXTEND INTO THE BUILDING ZONE.
7. THE NUMBER OF BELOW GRADE PARKING LEVELS CAN VARY TO SUPPORT THE APPLICANT'S PREPARED PARKING GOALS.
8. BUILDING FOOTPRINT, DETAILS, AND LAYOUTS SHOWN ARE CONCEPTUAL AND ARE SUBJECT TO CHANGE IN FINAL ENGINEERING AND FINAL ARCHITECTURAL DESIGN.

MAX HEIGHT ASY FROM AVERAGE GRADE
INCLUDES ARCHITECTURAL DESIGN
ELEMENTS



East Elevation- Park Avenue



MTFA
ESTABLISHED 1988

3300 L4 Highway, Acton, VA 22027
703-624-6810 Fax: 703-6811110

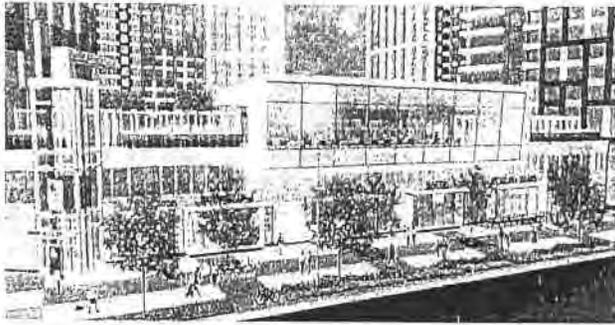
WESTPARK PLAZA

CIVIL ENGINEER:
Walter L. Phillips, Inc.
207 Park Avenue
Falls Church, VA 22048
703-582-4183

LANDSCAPE ARCHITECT:
LANDSCAPE
300 South Fenton Street
Alexandria, VA 22314
703-586-7114

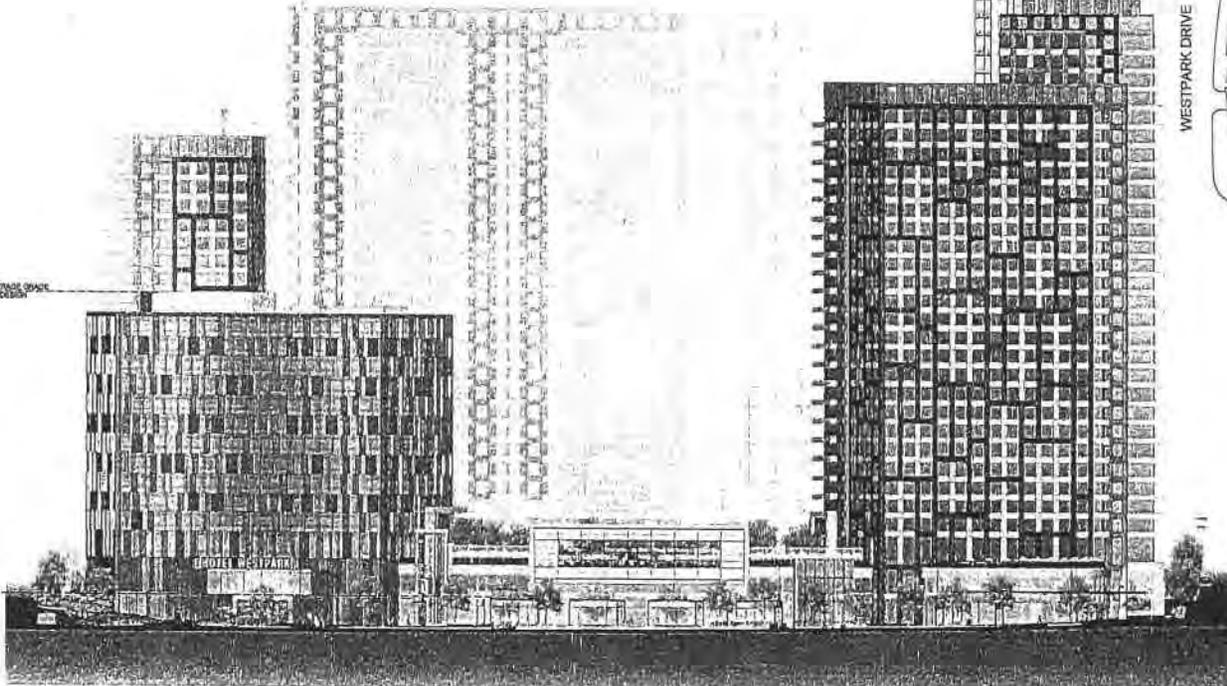
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Date	03/05/2013
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07/10/13	COP SUBMISSION / REVISION
11/01/13	COP SUBMISSION #2
02/27/14	COP SUBMISSION #4
02/03/14	COP SUBMISSION #5
6/12/14	COP SUBMISSION #6
10/01/14	COP SUBMISSION #7
Drawn	Checked
Author	Checker
Scale	As Indicated
Sheet Title	EAST ELEVATION- PARK AVENUE
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Sheet #	A.206





① PERSPECTIVE OF RESIDENTIAL D1 AMENITY BUILDING FROM METRO N.Y.S.

MAX HEIGHT 332' FROM AVERAGE GRADE INCLUDING ARCHITECTURAL DESIGN ELEMENTS



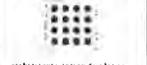
MAX HEIGHT 332' FROM AVERAGE GRADE INCLUDING ARCHITECTURAL DESIGN ELEMENTS

AVERAGE GRADE ELEVATION

① West Elevation- Leesburg Pike, Route 7

GENERAL NOTES:

1. ALL GRADES ARE APPROXIMATE AND MAY CHANGE DURING FINAL ENGINEERING.
2. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
3. BUILDING HEIGHTS ARE FROM AVERAGE SITE GRADE AND INCLUDE MECHANICAL FLOORS, REEF AND ARCHITECTURAL DESIGN ELEMENTS.
4. THE NUMBER OF STORES SHOWN REPRESENTS STORES AS OF THE ROOMS. THE NUMBER OF STORES ARE CONCEPTUAL AND MAY BE ADJUSTED AT THE TOP AND FINAL SITE PLAN PROVIDED NEIGHBOR AND BARBELL BUILDING HEIGHTS ARE MAINTAINED.
5. SUBMITTING CONTENT IS SHOWN FOR INFORMATIONAL PURPOSES. REFER TO OVERSEERS PLACE DOCUMENTS FOR FURTHER INFORMATION.
6. BELOW GRADE PARKING MAY EXTEND INTO THE BUILDING ZONE.
7. THE NUMBER OF BELOW GRADE PARKING LEVELS CAN VARY TO SUPPORT THE APPLICANTS PROPOSED PARKING GOALS.
8. BUILDING FOOTPRINT, DETAILS, AND LAYOUTS SHOWN ARE CONCEPTUAL AND ARE SUBJECT TO CHANGE IN FINAL ENGINEERING AND FINAL ARCHITECTURAL DESIGN.



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703-633-8183

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LANDSCAPE
300 South Park Drive
Arlington, VA 22219
703-662-7181

Job # 11012

Date	Issue
03/09/2013	CDP SUBMISSION
7/16/13	CDP SUBMISSION REVISED
11/1/13	CDP SUBMISSION #2
02/21/14	CDP SUBMISSION #4
07/02/14	CDP SUBMISSION #6
8/12/14	CDP SUBMISSION #8
10/1/14	CDP SUBMISSION #7

Drawn: Checked:
Author: Checker:
Scale: As Indicated

Sheet Title:
**WEST ELEVATION-
LEESBURG PIKE,
ROUTE 7**

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Sheet #
A.207



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LANDSCAPE DESIGN
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Newport, VA 23711
703-649-7784

Job # 11012

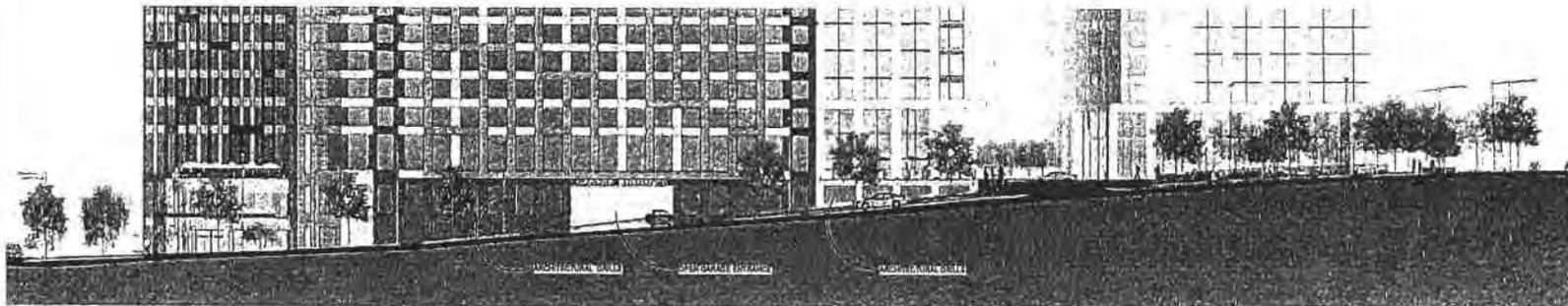
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03/31/16 COP SUBMISSION #4
07/03/16 COP SUBMISSION #5
01/12/17 COP SUBMISSION #6
10/01/16 COP SUBMISSION #7

Drawn: Checked:
Author: Checker:
Scale: As Indicated

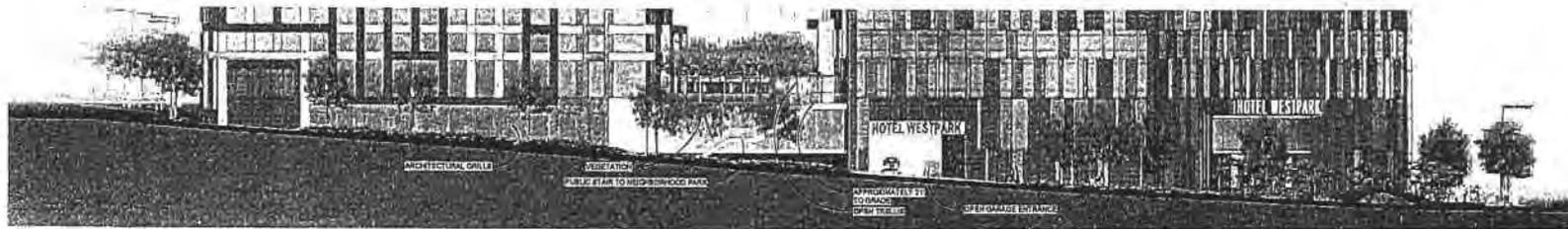
Sheet Title:
Enlarged Elevations

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Sheet #



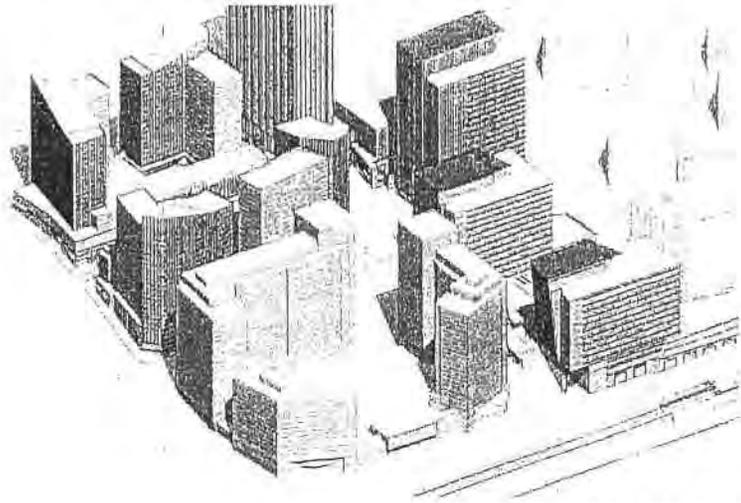
① South Elevation - Madison Street
1/2" = 1'-0"



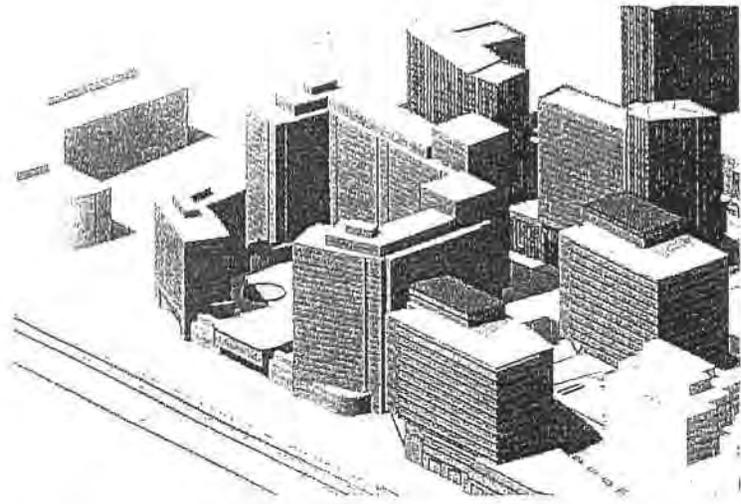
② North Elevation - Westpark Drive
1/2" = 1'-0"



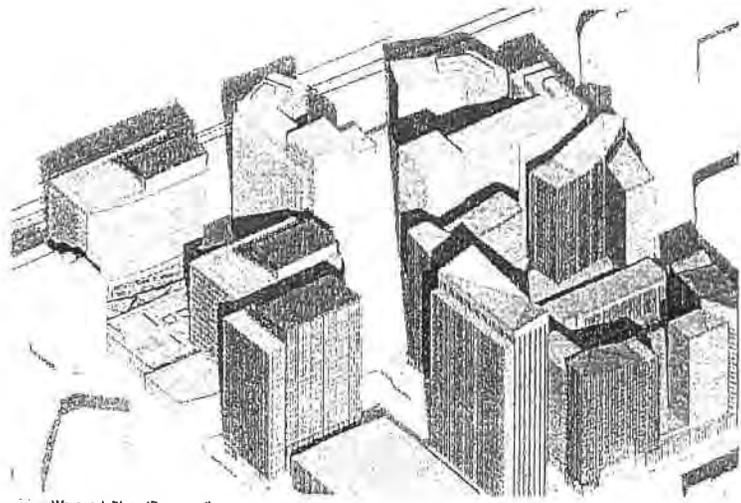
- GENERAL NOTES:**
1. ALL GRADES ARE APPROXIMATE AND MAY CHANGE DURING FINAL ENGINEERING.
 2. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
 3. BUILDING HEIGHTS ARE FROM AVERAGE SITE GRADE AND INCLUDE MECHANICAL ROOMS/TOWERS AND ARCHITECTURAL DESIGN ELEMENTS.
 4. THE NUMBER OF STOREYS SHOWN REPRESENTS STOREYS ABOVE THE FACIAL. THE NUMBER OF STOREYS ARE CONCEPTUAL AND MAY BE ADJUSTED AT THE TOP AND FINAL SET PLAN PROVIDED MATERIAL AND MAXIMUM BUILDING HEIGHTS ARE MAINTAINED.
 5. SURROUNDING CONTEXT IS SHOWN FOR INFORMATIONAL PURPOSES. REFER TO GREENSBORO PLACE DOCUMENTS FOR FURTHER INFORMATION.
 6. BELOW GRADE PARKING MAY EXTEND INTO THE BUILDING ZONE.
 7. THE NUMBER OF BELOW GRADE PARKING LEVELS CAN VARY TO SUPPORT THE APPLICANT'S PROPOSED PARKING GOALS.
 8. BUILDING FOOTPRINT, DETAILS, AND LAYOUTS SHOWN ARE CONCEPTUAL AND ARE SUBJECT TO CHANGE IN FINAL ENGINEERING AND FINAL ARCHITECTURAL DESIGN.



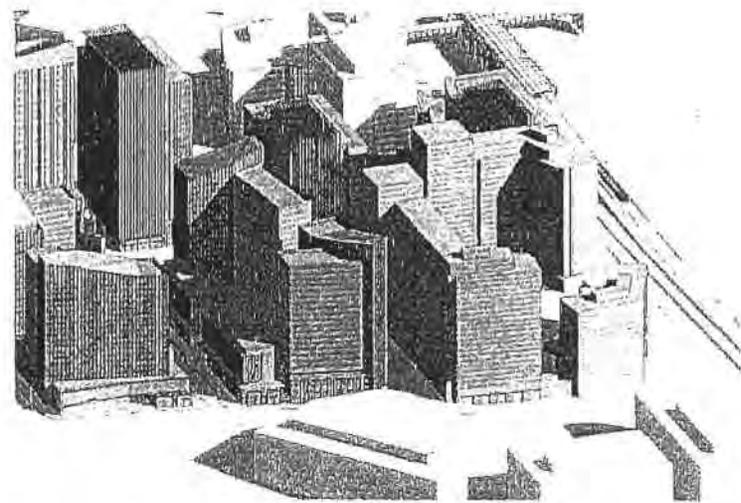
VIEW LOOKING EAST



VIEW LOOKING NORTH



VIEW LOOKING WEST



VIEW LOOKING SOUTH

 Westpark Plaza (Proposed)
 Greensboro Place (Proposed)
 Existing



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Sheet # 11012

Date	Revised
7/16/12	CDP SUBMISSION REVISION
1/17/13	CDP SUBMISSION #2
3/13/14	CDP SUBMISSION #4
5/13/14	CDP SUBMISSION #5
6/13/14	CDP SUBMISSION #6
10/1/14	CDP SUBMISSION #7

Drawn: _____
 Author: _____
 Revis: _____
 Checked: _____
 Checked: _____
 As Indicated

MASSING STUDY

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 Revit #



AERIAL PERSPECTIVE FROM RT. 7
 1/2" = 100' (SEE SHEET PWS SOUTH)
 N.T.S.

NOTE:
 1. PERSPECTIVES ARE FOR ILLUSTRATIVE PURPOSES ONLY. TO ILLUSTRATE GENERAL CONCEPTS AND CHARACTER. THEY ARE SUBJECT TO FINAL ARCHITECTURAL AND ENGINEERING DESIGN.
 2. GRADERS ARE APPROXIMATE AND SUBJECT TO CHANGE WITH FINAL ENGINEERING.
 3. BUILDING HEIGHTS ARE FROM AVERAGE EYE GRADE AND INCLUDE MECH/CLERICAL PENNYCLUBS AND ARCHITECTURAL DESIGN ELEMENTS.
 4. THE NUMBER OF STORIES SHOWN REPRESENT STORIES ABOVE THE PODIUM. THE NUMBER OF STORIES ARE CONCEPTUAL AND MAY BE ADJUSTED AT THE FDP AND FINAL SITE PLAN PROVIDED THE MINIMUM AND MAXIMUM BUILDING HEIGHTS ARE MAINTAINED.
 5. LIMITS OF GREEN ROCK SHOWN IS ILLUSTRATIVE. FINAL LIMITS WILL BE DETERMINED BASED ON FINAL ENGINEERED EROSION/WATER MANAGEMENT DESIGN.



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Job # 11012

DATE	REVISION
06/05/2010	CDP SUBMISSION
07/15/10	CDP SUBMISSION
11/11/10	CDP SUBMISSION #2
03/03/11	CDP SUBMISSION #1
07/20/11	CDP SUBMISSION #2
01/23/11	CDP SUBMISSION #1
10/01/11	CDP SUBMISSION #1

Drawn: _____ Checked: _____
 Author: _____ Checker: _____
 Scale: _____
 As Indicated

Sheet Title: **ILLUSTRATIVE PERSPECTIVE**

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Sheet # **A.402**



AERIAL PERSPECTIVE FROM CORNER
OF MADISON STREET AND PARK
AVENUE
N.Y.C.



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Landscape Design
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Arlington, VA 22219
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Job # 11012

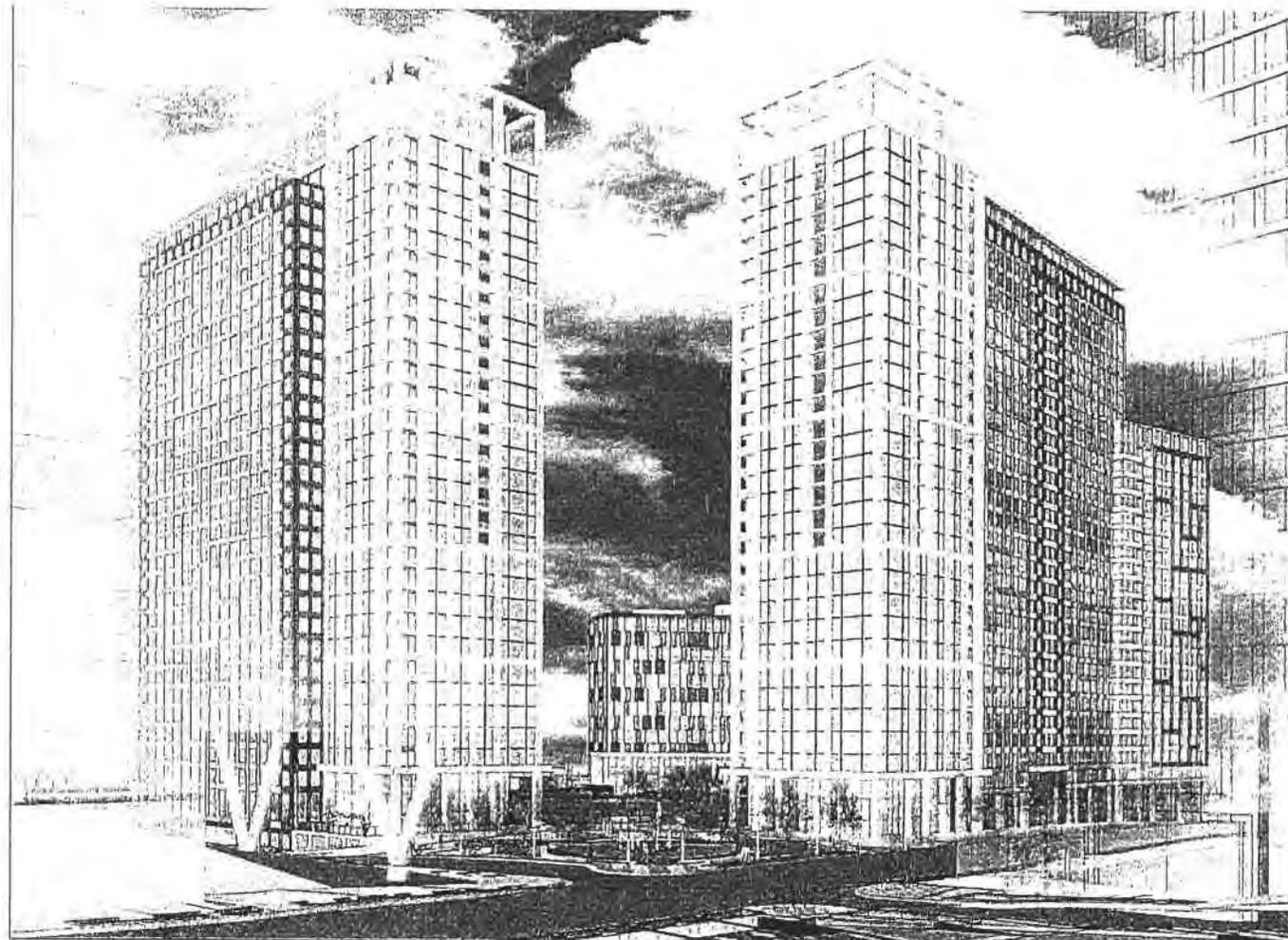
Date	Issue
05/06/2019	CDP SUBMISSION
07/16/19	CDP SUBMISSION REVISED
10/11/19	CDP SUBMISSION #3
03/14/20	CDP SUBMISSION #4
07/07/20	CDP SUBMISSION #5
1/27/21	CDP SUBMISSION #6
10/21/21	CDP SUBMISSION #7

Drawn: Author
Checked: Checker
Basic: As Indicated

Sheet Title: ILLUSTRATIVE PERSPECTIVE

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- Note:
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 2. GRADES ARE APPROXIMATE AND SUBJECT TO CHANGE WITH FINAL ENGINEERING.
 3. BUILDING HEIGHTS ARE FROM AVERAGE SITE GRADE AND INCLUDE MECHANICAL, PENETRATIONS AND ARCHITECTURAL DESIGN ELEMENTS.
 4. THE NUMBER OF STORES SHOWN REPRESENT STORES ABOVE THE POOLING. THE NUMBER OF STORES ARE CONCEPTUAL AND MAY BE ADJUSTED AT THE FDF AND FINAL SITE PLAN PROVIDED THE MINIMUM AND MAXIMUM BUILDING HEIGHTS ARE MAINTAINED.
 5. LIMITS OF GREEN ROOF SHOWN IS ILLUSTRATIVE. FINAL LIMITS WILL BE DETERMINED BASED ON FINAL ENGINEERED STORMWATER MANAGEMENT DESIGN.



PERSPECTIVE FROM URBAN PARK AT
MADISON STREET AND PARK AVENUE
N.Y.C.

Note:

1. PERSPECTIVES ARE FOR ILLUSTRATIVE PURPOSES ONLY, TO ILLUSTRATE GENERAL CONCEPTS AND CHARACTER. THEY ARE SUBJECT TO FINAL ARCHITECTURAL AND ENGINEERING DESIGN.
2. GRADES ARE APPROXIMATE AND SUBJECT TO CHANGE WITH FINAL ENGINEERING.
3. BUILDING HEIGHTS ARE FROM AVERAGE SITE GRADE AND INCLUDE MECHANICAL, PENNHOUSE AND ARCHITECTURAL DESIGN ELEMENTS.
4. THE NUMBER OF STORIES SHOWN REPRESENT STORIES ABOVE THE POOL. THE NUMBER OF STORIES ARE CONCEPTUAL AND MAY BE ADJUSTED AT THE POP AND FINAL SITE PLAN PROVIDED THE MINIMUM AND MAXIMUM BUILDING HEIGHTS ARE MAINTAINED.
5. LIMITS OF GREEN ROOF SHOWN IS ILLUSTRATIVE. FINAL LIMITS WILL BE DETERMINED BASED ON FINAL ENGINEERED STORMWATER MANAGEMENT DESIGN.

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sheet 11012

Date	Issue
03/07/13	CDP SUBMISSION
07/18/13	CDP SUBMISSION REVISED
11/17/13	CDP SUBMISSION 03
09/01/14	CDP SUBMISSION 04
07/03/14	CDP SUBMISSION 05
01/31/14	CDP SUBMISSION 06
10/01/14	CDP SUBMISSION 07

Drawn: Author
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Scale: As Indicated

Sheet Title:
**ILLUSTRATIVE
PERSPECTIVE**

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Sheet #

A.404



AERIAL PERSPECTIVE FROM RT, 7
LEESBURG PIKE NORTH
N.Y.S.

Note:

1. PERSPECTIVES ARE FOR ILLUSTRATIVE PURPOSES ONLY, TO ILLUSTRATE GENERAL CONCEPTS AND CHARACTER. THEY ARE SUBJECT TO FINAL ARCHITECTURAL AND ENGINEERING DESIGN.
2. DIMENSIONS AND APPROXIMATE AND SUBJECT TO CHANGE WITH FINAL ENGINEERING.
3. BUILDING HEIGHTS ARE FROM AVERAGE SITE GRADE AND INCLUDE MECHANICAL PENETRATIONS AND ARCHITECTURAL DESIGN ELEMENTS.
4. THE NUMBER OF STORES SHOWN REPRESENT STORES ABOVE THE POOLING. THE NUMBER OF STORES ARE CONCEPTUAL AND MAY BE ADJUSTED AT THE POP AND FINAL SITE PLAN PROVIDED THE MINIMUM AND MAXIMUM BUILDING HEIGHTS ARE MAINTAINED.
5. LIMITS OF GREEN ROOF RICHIN IS ILLUSTRATIVE. FINAL LIMITS WILL BE DETERMINED BASED ON FINAL ENGINEERED STORMWATER MANAGEMENT DESIGN.

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703-433-4193

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Arlington, VA 22214
703-549-1784

Sheet # 11012

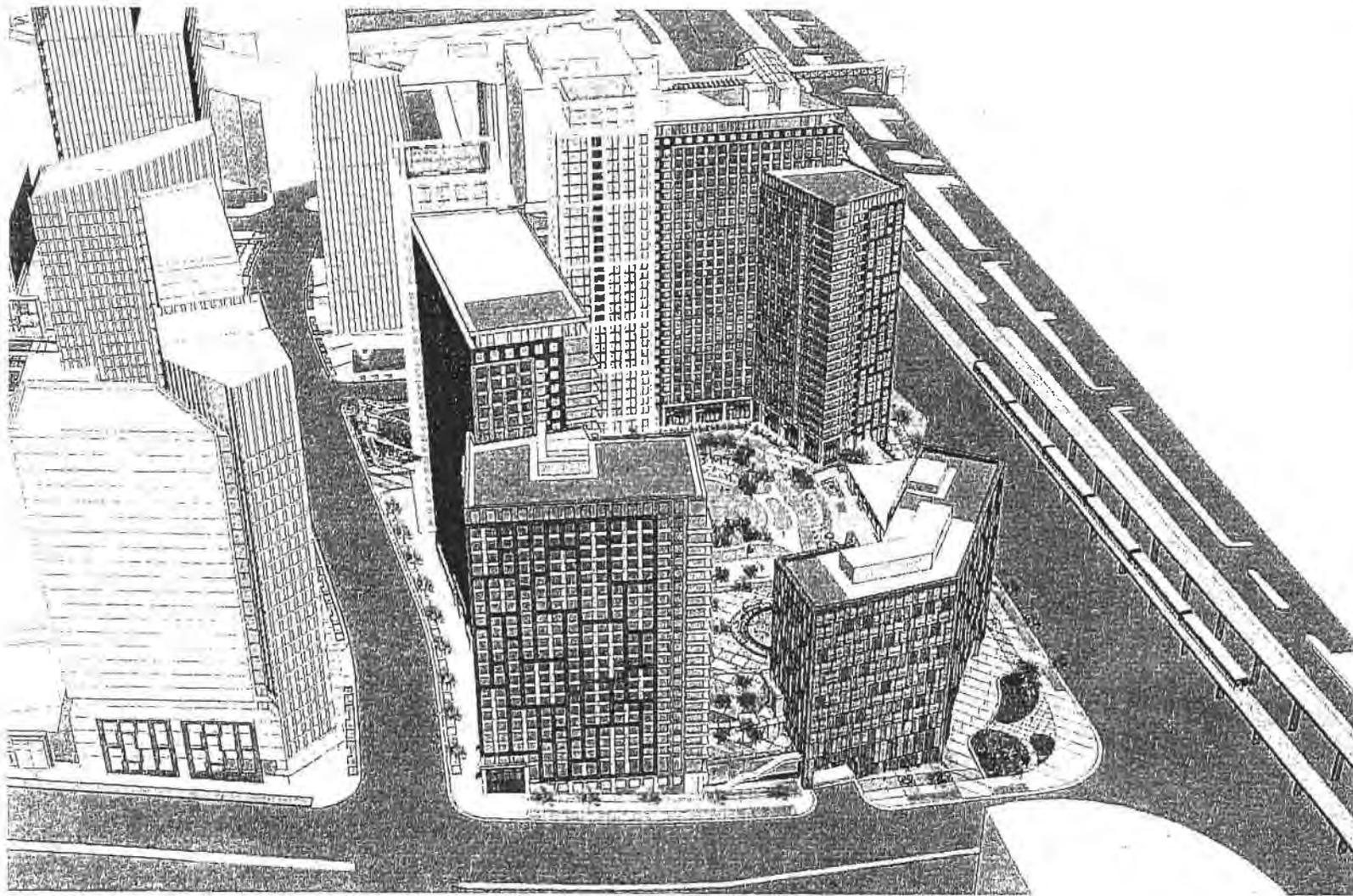
Date:	Issue:
10/14/13	COORDINATION
10/29/13	COORDINATION
1/15/14	COP SUBMISSION #1
03/21/14	COP SUBMISSION #4
07/01/14	COP SUBMISSION #5
04/01/14	COP SUBMISSION #6
10/01/14	COP SUBMISSION #7

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Checked: B/JV
Scale: As indicated

Sheet Title: ILLUSTRATIVE PERSPECTIVE

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Sheet #

A.405



1
AERIAL PERSPECTIVE FROM NORTH OF
SITE
N.T.S.

Note:

1. PERSPECTIVES ARE FOR ILLUSTRATIVE PURPOSES ONLY, TO ILLUSTRATE GENERAL CONCEPTS AND CHARACTER. THEY ARE SUBJECT TO FINAL ARCHITECTURAL AND ENGINEERING DESIGN.
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4. THE NUMBER OF STORIES SHOWN REPRESENT STORIES ABOVE THE POOL. THE NUMBER OF STORIES ARE CONCEPTUAL AND MAY BE ADJUSTED AT THE FOR AND FINAL SITE PLAN PROVIDED THE MINIMUM AND MAXIMUM BUILDING HEIGHTS ARE MAINTAINED.
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Job # 31012

Date	Issue
1/11/12	CDP SUBMISSION #1
02/11/14	CDP SUBMISSION #1
03/02/14	CDP SUBMISSION #1
07/03/14	CDP SUBMISSION #1
10/01/14	CDP SUBMISSION #1

Drawn	Checked
Author	Checker
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Sheet Title

**ILLUSTRATIVE
PERSPECTIVE**

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Sheet #

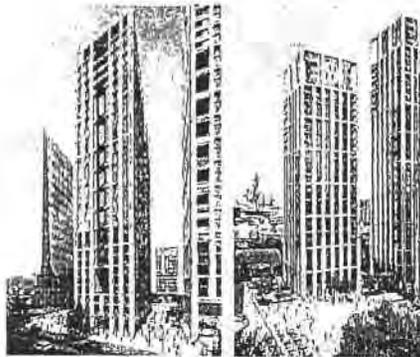
A.406



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GRID EMPHASIZES VERTICALS
RESIDENTIAL TOWERS ON CIVIC SQUARE
RESIDENTIAL GATEWAY TOWERS



INTEGRATED BALCONIES



MAXIMIZED TRANSPARENCY



TOWERS ABOVE PODIUM

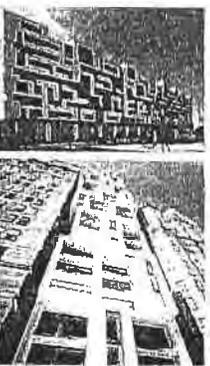


DIRECT ENTRY FROM SIDEWALK

RETAIL/SERVICE/RESIDENTIAL



VERTICAL PROPORTIONS



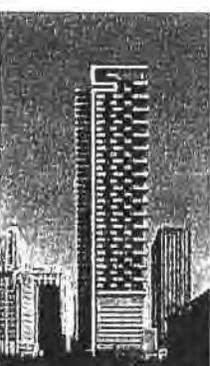
GROUP UNITS VISUALLY



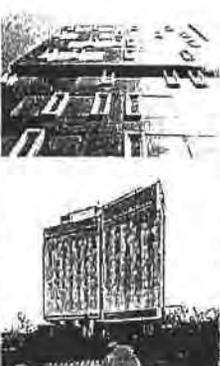
MASONRY GRID



WEAVE GLASS AND MASONRY



BALCONIES WRAP EDGES



FOLDED PLANES



MASONRY PATTERNS

RESIDENTIAL BUILDING

HOTEL

Note:
1. PRECEDENTS ARE FOR ILLUSTRATIVE PURPOSES ONLY, TO ILLUSTRATE GENERAL CONCEPTS AND CHARACTER. THEY ARE SUBJECT TO FINAL ARCHITECTURAL AND ENGINEERING DESIGN.

Job # 11012

Date:	03/09/2013	Issue:	CDP SUBMISSION
07/19/13	CDP SUBMISSION	Revised:	CDP SUBMISSION #5
11/01/13	CDP SUBMISSION #5		
03/11/14	CDP SUBMISSION #6		
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07/31/14	CDP SUBMISSION #6		
10/01/14	CDP SUBMISSION #7		

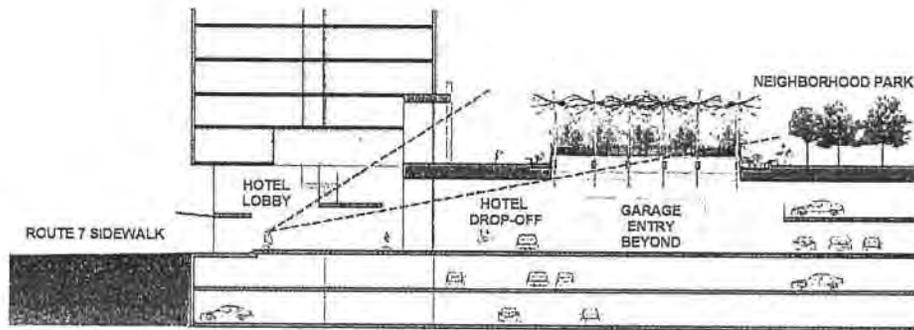
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Checked: Clerk

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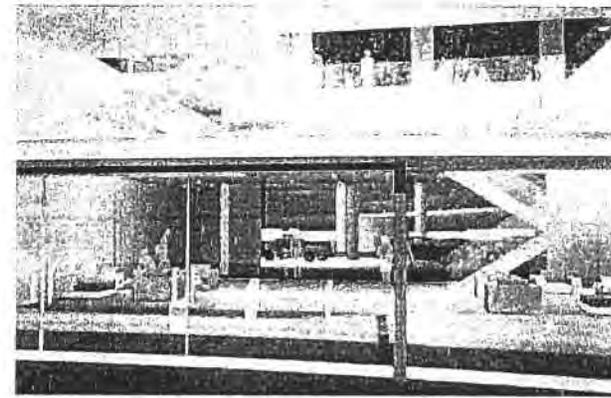
Sheet Title: ARCHITECTURAL PRECEDENTS

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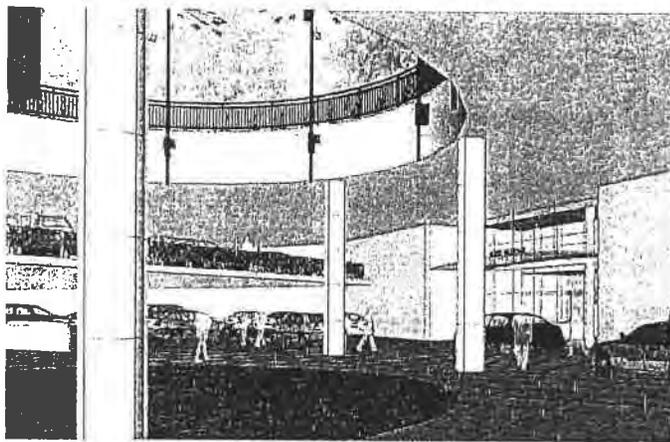
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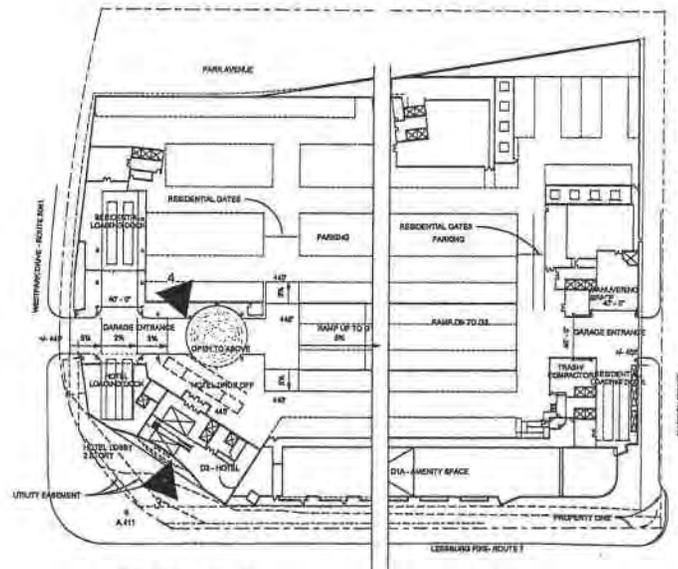
1 HOTEL LOBBY SECTION
1" = 4'



2 PERSPECTIVE OF HOTEL ENTRY



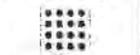
3 PERSPECTIVE OF HOTEL DROP OFF IN GARAGE



4 G-2 GARAGE/HOTEL LOBBY
1" = 50'-0"

5 G-1 GARAGE
1" = 50'-0"

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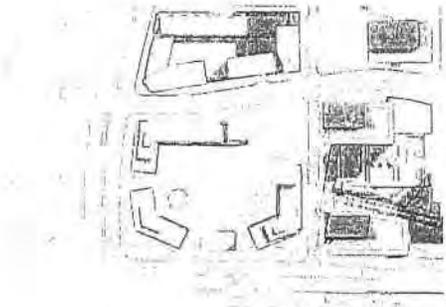
July 8	11012
Date	Issue
7/16/10	CDP SUBMISSION
11/1/10	REVISED
11/1/10	CDP SUBMISSION #3
03/01/14	CDP SUBMISSION #4
03/01/14	CDP SUBMISSION #5
8/13/14	CDP SUBMISSION #6
10/01/14	CDP SUBMISSION #7

Drawn	Checked
Author	Checker
Date	As Issued

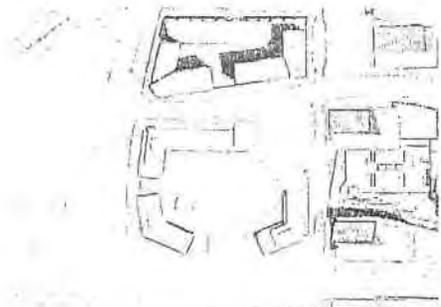
GARAGE ACCESS ILLUSTRATIONS

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Sheet 8

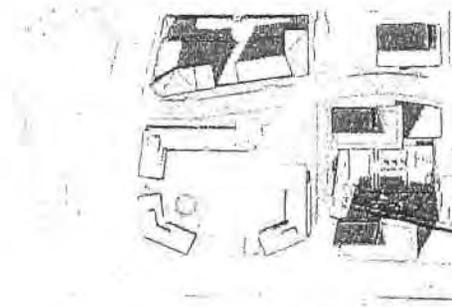
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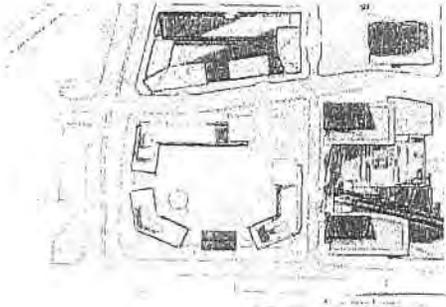
JUNE 21- 9:00AM



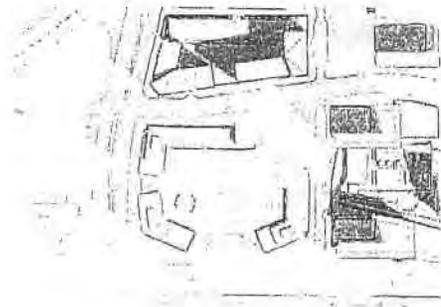
JUNE 21- 12:00PM



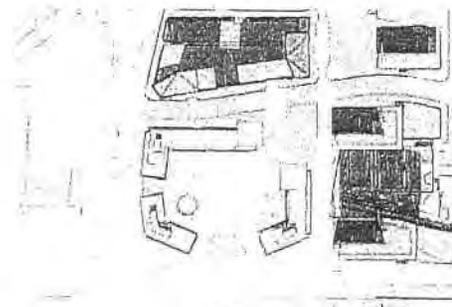
JUNE 21- 3:00PM



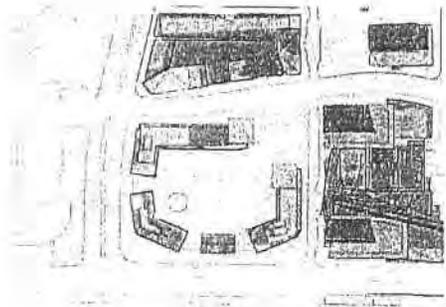
MARCH & SEPTEMBER 21- 9:00AM



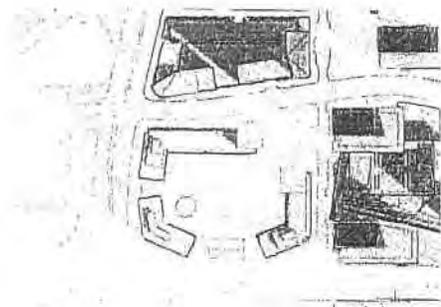
MARCH & SEPTEMBER 21- 12:00PM



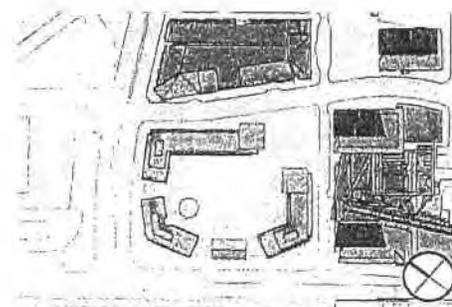
MARCH & SEPTEMBER 21- 3:00PM



DECEMBER 21- 9:00AM



DECEMBER 21- 12:00PM



DECEMBER 21- 3:00PM



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Arlington, VA 22219
703-544-7744

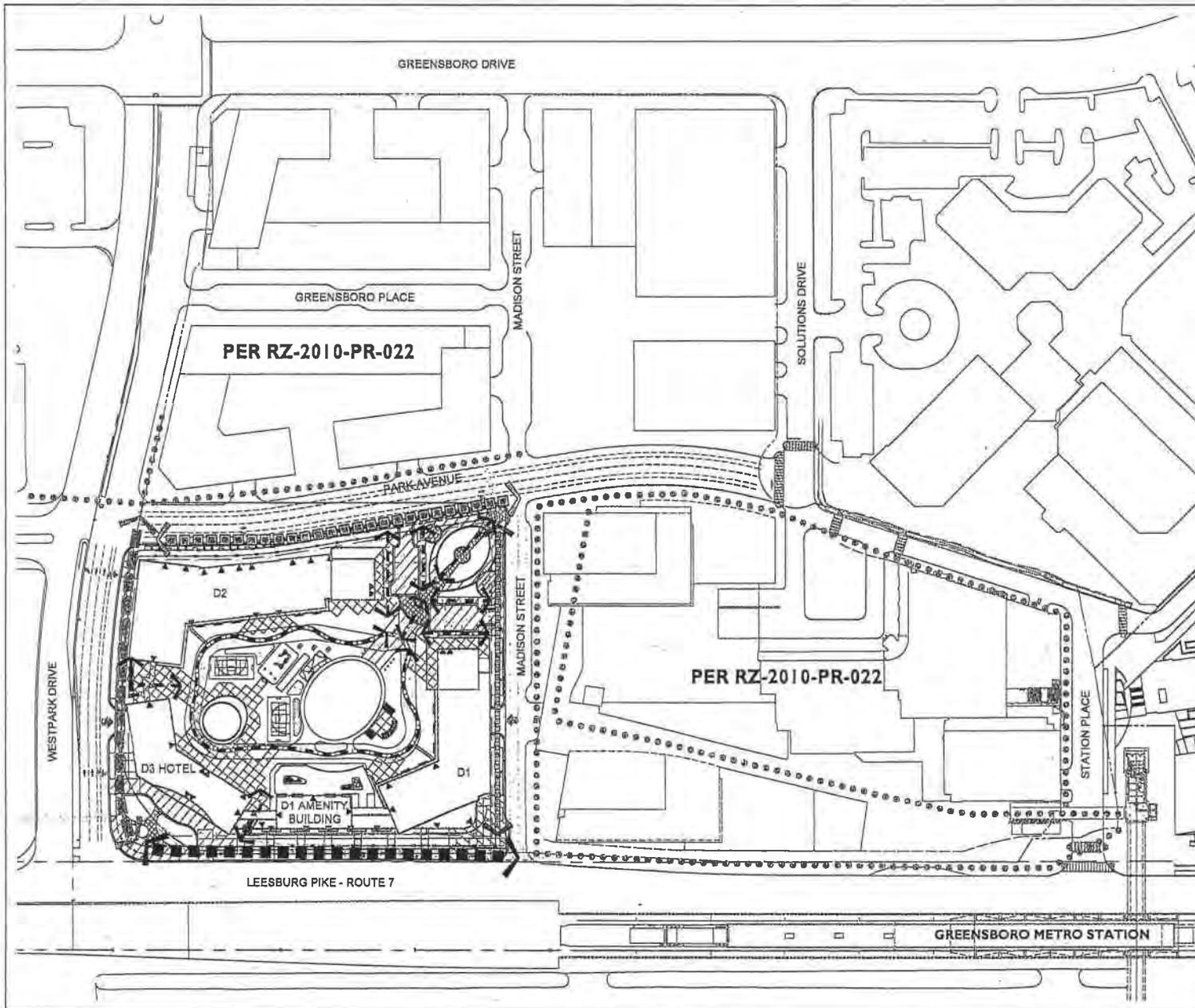
Job # 11012

Date	Event
03/08/2013	CDP SUBMISSION
07/18/13	CDP SUBMISSION REVISED
11/15/13	CDP SUBMISSION #2
03/17/14	CDP SUBMISSION #3
07/02/14	CDP SUBMISSION #4
1/12/14	CDP SUBMISSION #5
10/17/14	CDP SUBMISSION #6

Drawn: _____
Author: _____
Scale: _____
Sheet Title: _____

**SUN AND SHADE
STUDIES**

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Sheet #



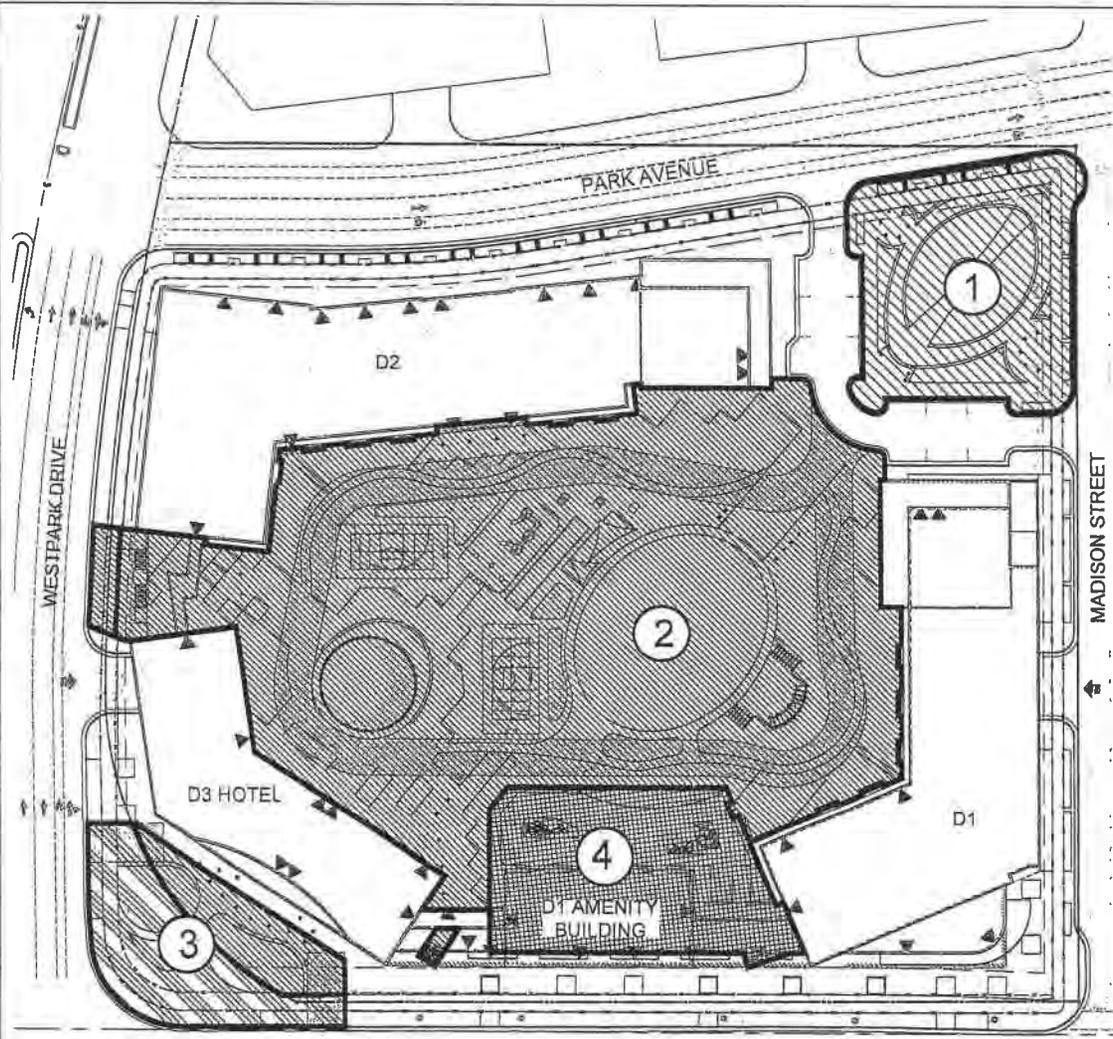
- PEDESTRIAN HIERARCHY LEGEND**
- GATEWAY PEDESTRIAN CORRIDOR
 - PRIMARY PEDESTRIAN CORRIDOR
 - SECONDARY PEDESTRIAN CORRIDOR
 - TERTIARY PEDESTRIAN CORRIDOR
 - INTERIOR PEDESTRIAN CIRCULATION
 - EXITING SIDEWALK AND PROPOSED SIDEWALK BY OTHERS

- GENERAL LEGEND**
- PROPERTY LINE/EXISTING VDOT ROW
 - PROPOSED ROW DEDICATION
 - BUILD-TO LINE
 - BUILDING ZONE
 - SIDEWALK ZONE
 - LIMITS OF PARKING GARAGE
 - ELEVATOR KIOSK
 - RESIDENTIAL LOBBY, HOTEL, RETAIL/SERVICE/COMMERCIAL, AND/OR OFFICE ENTRANCES (SEE NOTE 2)
 - VEHICULAR ENTRANCES (SEE NOTE 2)
 - CROSSWALK
 - FIRE LANE OR PLAZA OR PARK

GENERAL NOTES:

1. NOT ALL ITEMS IN GENERAL LEGEND WILL APPEAR ON ALL SHEETS.
2. FOR REFERENCE ONLY. SEE SHEET A.101 FOR ARCHITECTURE PLANS.
3. LOCATIONS OF ELECTRICAL AND TELECOMMUNICATION VAULTS ARE LOCATED ON SHEET P.301 OF CIVIL PLANS AND SHEET L.004 OF LANDSCAPE PLANS.
4. SEE CIVIL PLANS FOR LOCATIONS OF PROPOSED UTILITIES.

ALL DRAWINGS ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY AND ARE SUBJECT TO CHANGE PER FINAL ARCHITECTURE, CIVIL, AND SITE DESIGN. DRAWINGS ARE NOT FOR CONSTRUCTION.



LEESBURG PIKE - ROUTE 7

URBAN PARK PROGRAMMING (See Note 5)

- Park 1: CIVIC SQUARE**
 Urban Park Type: Pocket Park
Features
- Transition from Commercial to Residential
 - Civic Expression / Scale
 - Activation / Events at Residential Lobbies
 - Sculptural Berms Provide a Foundation for the Towers
 - Attractive Landscape Provides Year Round Interest
 - Ambiance Created by Sculptural Lighting Elements
 - Outdoor Rooms

- Amenities**
- Multi-Purpose Barmed Lawn Panels
 - Enhanced Hardscape Centrally Located (Events)
 - Ornamental and Shade Trees
 - Bioretention Tree Pits (Park Ave)
 - Landscape Areas

- Furnishings**
- Curvilinear Bench along Berms
 - Movable Tables / Chairs
 - Sculptural Lighting Elements
 - Trash / Recycling Receptacles

Park 2: NEIGHBORHOOD PARK
 Urban Park Type: Recreation Based Park

- Features**
- Respite from the Urban Hustle and Bustle
 - Area for Social and Recreational Interaction
 - Attractive Landscape Provides Year Round Interest
 - Views from Park Level and Upper Towers
 - Dramatic View from Adjacent Developments
 - Visual Connection to Park for Metro Riders
 - Public Use but Individual Areas
 - Sculptural Element and Light Well
 - Hotel Plaza Access
 - Natural Berms Between Uses as Buffers
 - Ambiance Created by Sculptural Lighting Elements
 - Stairway Access from Westpark Drive
 - Elevator Access from Route 7
 - Access at Grade from Civic Square

- Amenities**
- Multi-Purpose Lawn Panel
 - Running/Walking Path Loop (6 Times Around = 1 Mile)
 - Active Rec:
 - Multi-purpose sport courts, bocce, chess, playground, game tables
 - Outdoor Multi-Purpose Terrace
 - Grills under Pergolas
 - Gardens

- Furnishings**
- Benches
 - Curvilinear Bench
 - Movable Furniture
 - Sculptural Lighting Elements
 - Pergolas and Shade Structures

Park 3: DITTMAR GATEWAY PLAZA
 Urban Park Type: Pocket Park

- Features**
- Transition from Route 7/Westpark to Residential
 - Hotel Expression / Scale on Route 7
 - Hotel / Commercial Activation on Plaza
 - Sculptural Berms as Buffer from Route 7 Traffic
 - Attractive Landscape Provides Year Round Interest
 - Ambiance Created by Sculptural Lighting Elements

- Amenities**
- Unique Hardscape Paving Pattern
 - Seating on Berm
 - Plaza Outside of Hotel can be Event Space or Performance Area

- Furnishings**
- Curvilinear Bench
 - Movable Tables and Chairs
 - Sculptural Lighting Elements

Park 4: PRIVATE AMENITY
 Urban Park Type: Residential

- Features**
- Private Amenity
 - Tree Groves
 - Outdoor Space for Private Events
 - Sunning Deck

- Amenities**
- Covered Year-Round Pool
 - Water Features
 - Fire Pit Lounges
 - Solar Pad
 - Outdoor Living Rooms

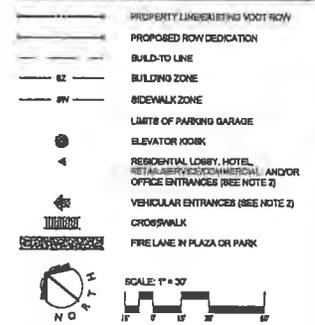
- Furnishings:**
- Lounges Chairs
 - Planters
 - Movable Tables and Chairs

URBAN PARK LEGEND

SYM	DESCRIPTION	QTY
①	CIVIC SQUARE (PUBLIC)	14,802 SF
②	NEIGHBORHOOD PARK (PUBLIC)	77,455 SF
③	DITTMAR GATEWAY PLAZA (PUBLIC*)	10,320 SF
④	PRIVATE AMENITY (PRIVATE)	13,042 SF

SYM	DESCRIPTION	QTY
	PUBLIC URBAN PARK AT GRADE	95,869 SF
	PUBLIC OPEN SPACE* *SUBJECT TO VDOT APPROVAL	6,808 SF
	PRIVATE OPEN SPACE	13,042 SF

GENERAL LEGEND



GENERAL NOTES:

1. NOT ALL ITEMS IN GENERAL LEGEND WILL APPEAR ON ALL SHEETS.
2. FOR REFERENCE ONLY; SEE SHEET A-101 FOR ARCHITECTURE PLANS.
3. LOCATIONS OF ELECTRICAL AND HYDROPOWER VALVES ARE LOCATED ON SHEET P-201 OF CIVIL PLANS AND SHEET L-101 OF LANDSCAPE PLANS.
4. SEE CIVIL PLANS FOR LOCATIONS OF PROPOSED UTILITIES.
5. FOR DESCRIPTIVE PURPOSES ONLY TO SHOW TYPES OF FEATURES PROPOSED. FEATURES SUBJECT TO CHANGE AT POP.

ALL DRAWINGS ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY AND ARE SUBJECT TO CHANGE PER FINAL ARCHITECTURE, CIVIL, AND SITE DESIGN. DRAWINGS ARE NOT FOR CONSTRUCTION.

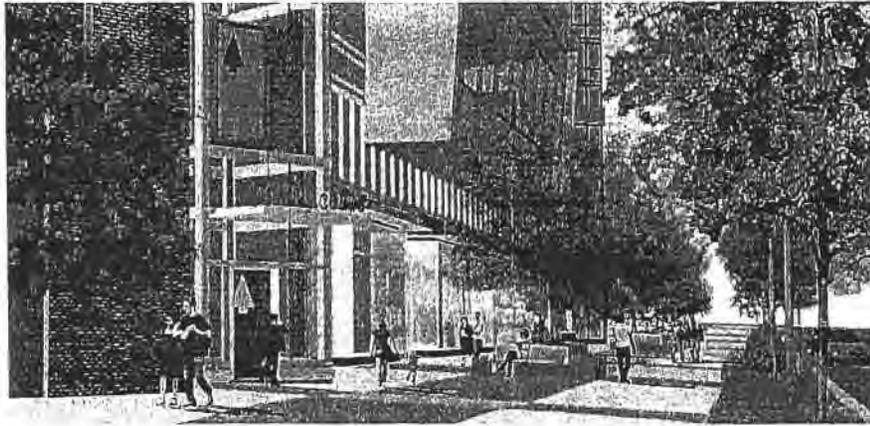
Table 12.10 CDP 10-Year Tree Canopy Calculation Worksheet			
Step		Totals	Reference
A. Tree Preservation Target and Statement			
A.1	Place the Tree Preservation Target calculations and statement here preceding the 10-year tree canopy		See § 12.0500.2 for list of required elements and definitions
B. Tree Canopy Requirement			
B1	Identify gross site area (SF) =	233,050	§ 12.0511.1a
B2	Subtract area dedicated to parks, road frontage (SF) =	0	§ 12.0511.1b
B3	Subtract area of stormwater (SF) =	0	§ 12.0511.1c(1) through § 12.0511.1c(3)
B4	Adjusted gross site area (B1-B2-B3)(SF) =	233,050	Square feet
B5	Identify the site's zoning and/or use =	P1U	
B6	Percentage of 10-year tree canopy required =	10.0%	§ 12.0510.1 and Table 12.4
B7	Area of 10-year Tree Canopy Required (B4 x B6)(SF) =	23,305	Square feet
B8	Classification of 10-year Tree Canopy Requirement(s) requested =	No	Yes or No
B9	If B8 is yes, then list plan sheet where modification request is located =	-	Sheet number
C. Tree Preservation			
C.1	Tree Preservation Target Area(SF) =	0	Square Feet
C.2	Total canopy area meeting standards of § 12.0405 (SF) =	0	Square Feet
C.3	C.2 + 1.25(C.1) =	0	§ 12.0510.3a
C.4	Total canopy area provided by unique or valuable forest or woodland preservation (SF) =	0	Square Feet
C.5	C.4 x 1.5(SF) =	0	§ 12.0510.3b(1)
C.6	Total of canopy area provided by "Heritage," "Memorial," "Specimen," or "Street" Trees (SF) =	0	Square Feet
C.7	C.6 x 1.0 to 3.0 (SF) =	0	§ 12.0510.3b(2)
C.8	Canopy area of trees within resource protection areas and 100-year floodplains (SF) =	0	Square Feet
C.9	C.8 x 1.0 (SF) =	0	§ 12.0510.3c(1)
C.10	Total of C.5, C.6, C.7 and C.9 =	0	If area of C.10 is less than B.7 remainder of requirement must be met through tree planting - go to D
D. Tree Planting			
D.1	Area of canopy to be met through tree planting (D.7-C.10) =	23,305	Square feet
D.2	Area of canopy planted for aesthetic benefits =	0	Square feet
D.3	D.2 x 1.5(SF) =	0	§ 12.0510.4b(1)
D.4	Area of canopy planted for energy conservation =	0	Square feet
D.5	D.4 x 1.0 (SF) =	0	§ 12.0510.4b(2)
D.6	Area of canopy planted for water quality benefits =	0	Square feet
D.7	D.6 x 1.25 (SF) =	0	§ 12.0510.4b(3)
D.8	Area of canopy planted for wildlife benefits =	0	Square feet
D.9	D.8 x 1.5 (SF) =	0	§ 12.0510.4b(4)
D.10	Area of canopy provided by native trees =	0	Square feet
D.11	D.10 x 1.5 (SF) =	0	§ 12.0510.4b(5)
D.12	Area of canopy provided by improved cultivars and varieties =	0	Square feet
D.13	D.12 x 1.25 (SF) =	0	§ 12.0510.4b(6)
D.14	Area of canopy provided through tree seedlings (SF) =	0	§ 12.0510.4c(1)
D.15	D.14 x 1.0 =	0	Square feet
D.16	Area of canopy provided through native shrubs =	0	Square feet
D.17	D.16 x 1.0 =	0	Square feet
D.18	Percentage of D.14 represented by D.15 =	0.0%	Must not exceed 30% of D.14
D.19	Area of canopy to be planted with no tertiary canopy =	0	Square feet
D.20	Total of canopy area provided through tree planting =	23,305	Square feet
D.21	Is an offset planting rule requested? =	No	Yes or No
D.22	Tree Bank or Tree Fund =	No	Yes or No § 12.0512
D.23	Canopy area requested to be provided through offset banking or tree fund =	0	Square Feet
D.24	Amount to be deposited into the Tree Preservation and Planting Fund =	No	
E. Total of 10-year Tree Canopy Provided			
E.1	Total of canopy area provided through tree preservation (D.1) =	0	Square Feet
E.2	Total of canopy area provided through tree planting (D.17) =	23,305	Square Feet
E.3	Total of canopy area provided through offset mechanism (D.23) =	0	Square Feet
E.4	Total of 10-year Tree Canopy Provided (SF) = (E.1+E.2+E.3) =	23,305	Total of E.1 through E.3 Area should meet or exceed area in B.7

LandDesign.
 5042 Peninsula Avenue, VA 23104
 V. PULSIFANT, P. REGISTRAR
 www.landdesign.com

Westpark Plaza
 CDP
 Tree Westpark, L.C.
 TREE COVER CALCULATIONS

IMPROVED TREE BANKING AND OFFSETS
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L003A



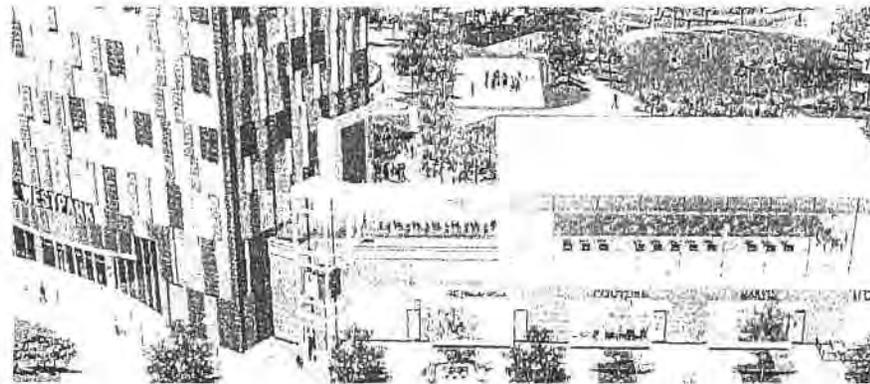
1 RT. 7 STREETSCAPE VIEW TO MADISON ST.
L.005 PERSPECTIVE

0049-P5004
NTS



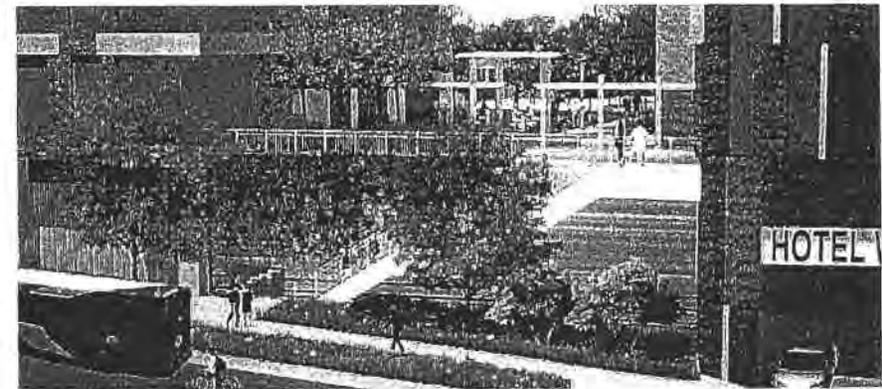
3 WESTPARK DR. AT DITTMAR GATEWAY PLAZA VIEW
L.005 PERSPECTIVE

0049-P6004
NTS



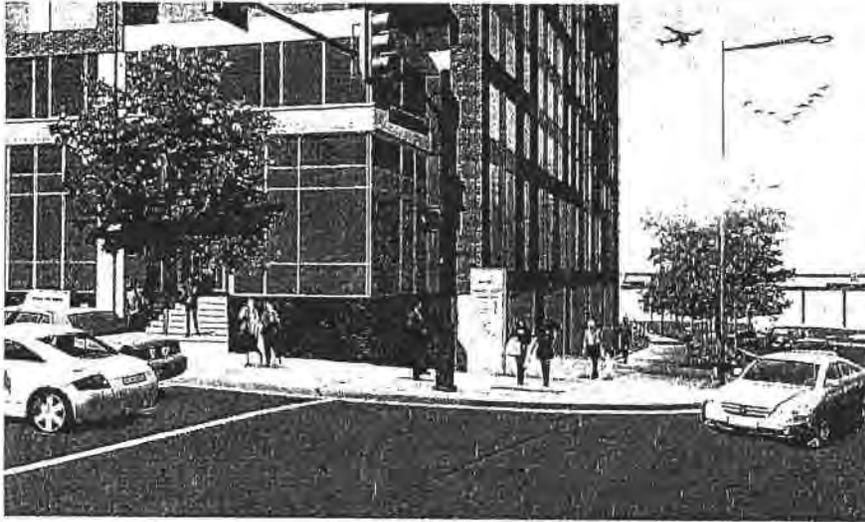
2 ELEVATOR ACCESS TO THE NEIGHBORHOOD PARK FROM ROUTE 7
L.005 PERSPECTIVE

3014-P5004
NTS



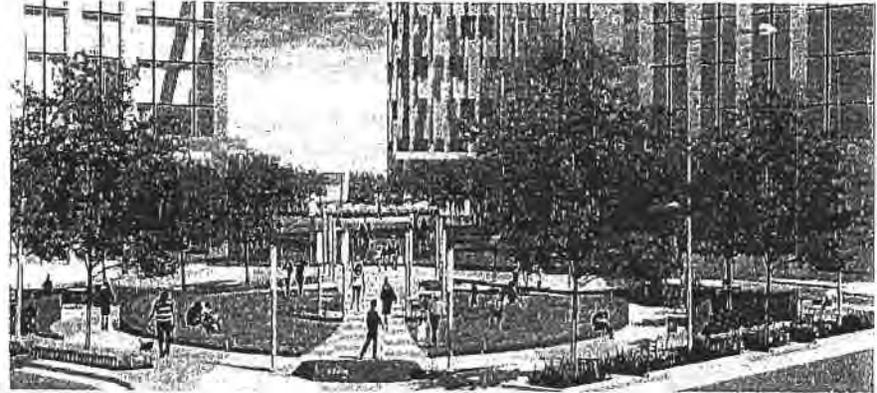
4 STAIR ACCESS TO NEIGHBORHOOD PARK FROM WESTPARK DRIVE
L.005 PERSPECTIVE

3014-P6004
NTS



1 PARK AVE/WESTPARK DR. VIEW TO RT. 7
L.006 PERSPECTIVE

0018-PS006
NTS



3 VIEW OF CIVIC SQUARE FROM MADISON ST. / PARK AVE. INTERSECTION
L.006 PERSPECTIVE

3014-PS001
NTS



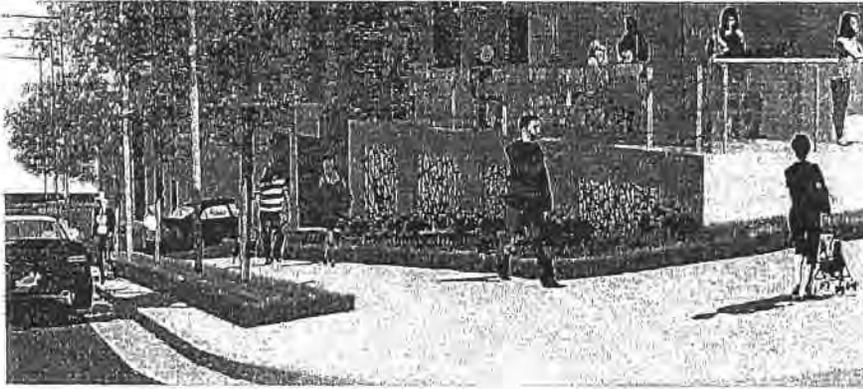
2 VIEW OF CIVIC SQUARE FROM MADISON ST./ PARK AVE. INTERSECTION
L.006 PERSPECTIVE

3014-PS002
NTS



4 VIEW OF CIVIC SQUARE OUTDOOR ROOM
L.006 PERSPECTIVE

3014-PS001
NTS



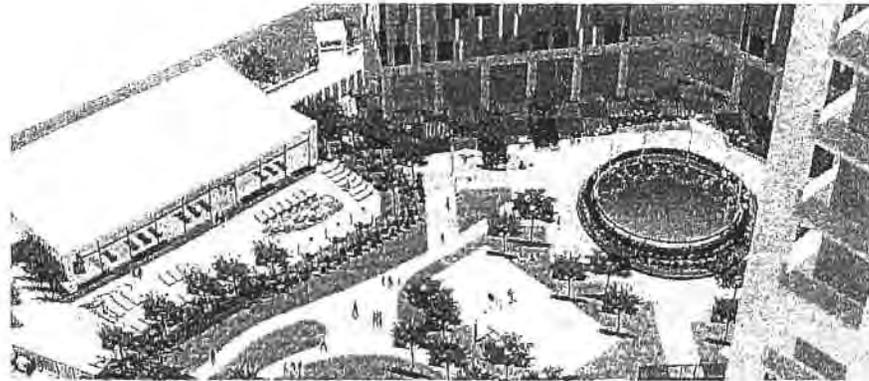
1 MADISON ST. VIEW TOWARDS RT. 7
L.007 PERSPECTIVE

0049-P6018
NTS



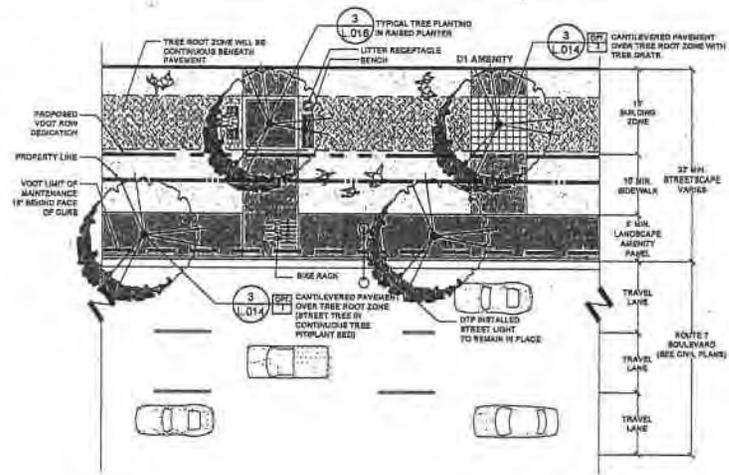
3 AERIAL VIEW OF NEIGHBORHOOD PARK
L.007 PERSPECTIVE

9014-P6003
NTS



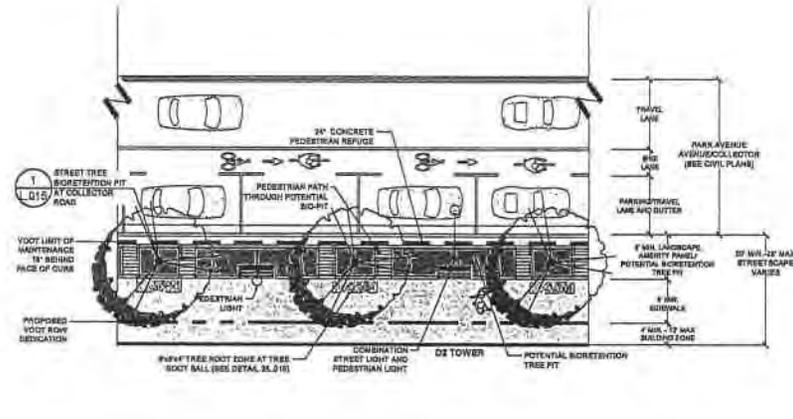
2 NEIGHBORHOOD PARK AERIAL VIEW TO ROUTE 7
L.007 PERSPECTIVE

3014-P6001
NTS



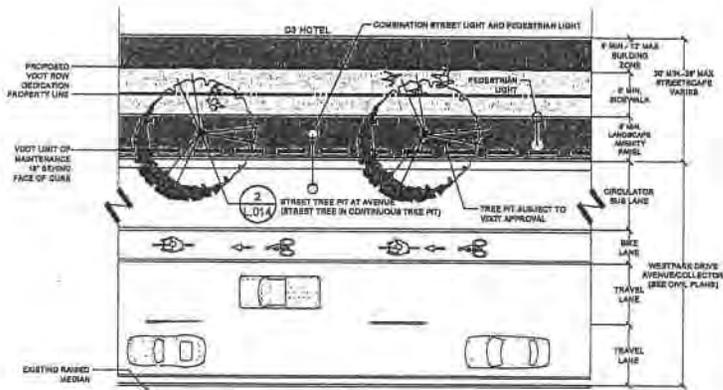
1 ROUTE 7 / LEESBURG PIKE
L.010 STREETScape ENLARGEMENT

88E01
1" = 10'



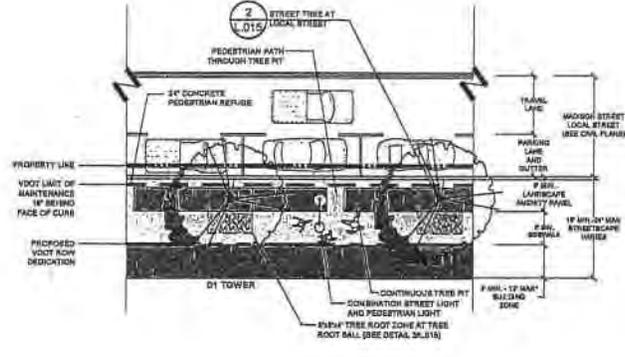
3 PARK AVENUE
L.010 STREETScape ENLARGEMENT

88E02
1" = 10'



2 WESTPARK DRIVE
L.010 STREETScape ENLARGEMENT

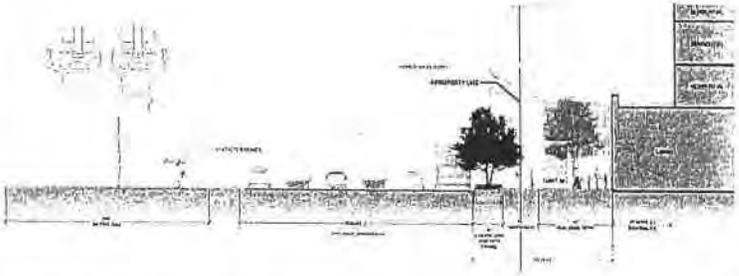
88E02
1" = 10'



4 MADISON STREET
L.010 STREETScape ENLARGEMENT

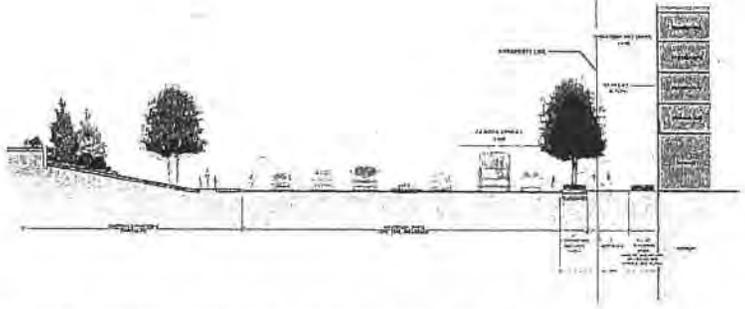
88E04
1" = 10'

NOTE: PROPOSED VDOT LIMIT OF MAINTENANCE AND ROW LINES ARE SHOWN ON THE STREETScape ENLARGEMENTS FOR ILLUSTRATIVE PURPOSES ONLY. PLEASE REFER TO WRITTEN PROFILES FOR DESIRED OWNERSHIP AND MAINTENANCE LINES.



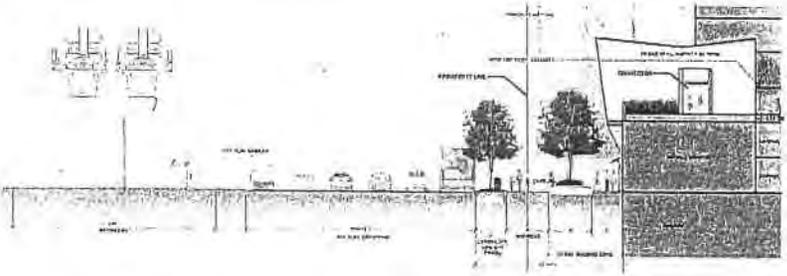
1 ROUTE 7: AT TOWER D1 (BOULEVARD)
 L.011 SECTION

SS901
 1/16" = 1'-0"



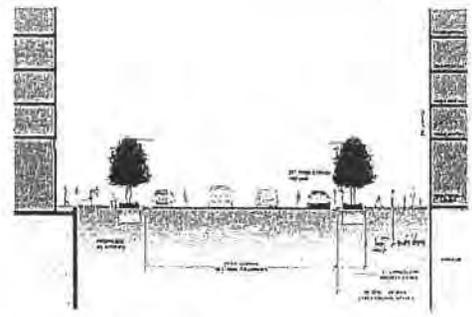
4 WESTPARK DR: AT TOWER D2 AND PODIUM (AVENUE)
 L.011 SECTION

SS904
 1/16" = 1'-0"



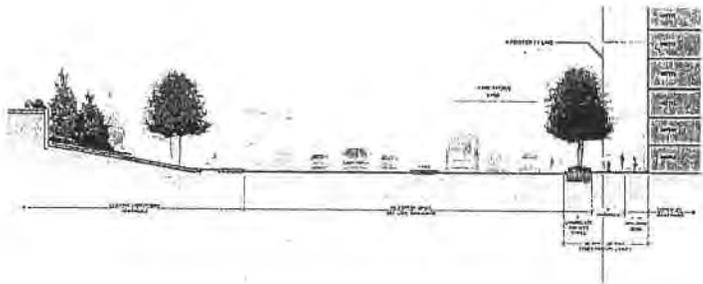
2 ROUTE 7: AT D1 AMENITY BUILDING (BOULEVARD)
 L.011 SECTION

SS902
 1/16" = 1'-0"



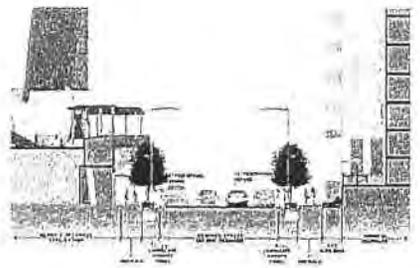
5 PARK AVE: AT TOWER D2 (COLLECTOR)
 L.011 SECTION

SS905
 1/16" = 1'-0"



3 WESTPARK DR: AT TOWER D3 (AVENUE/COLLECTOR)
 L.011 SECTION

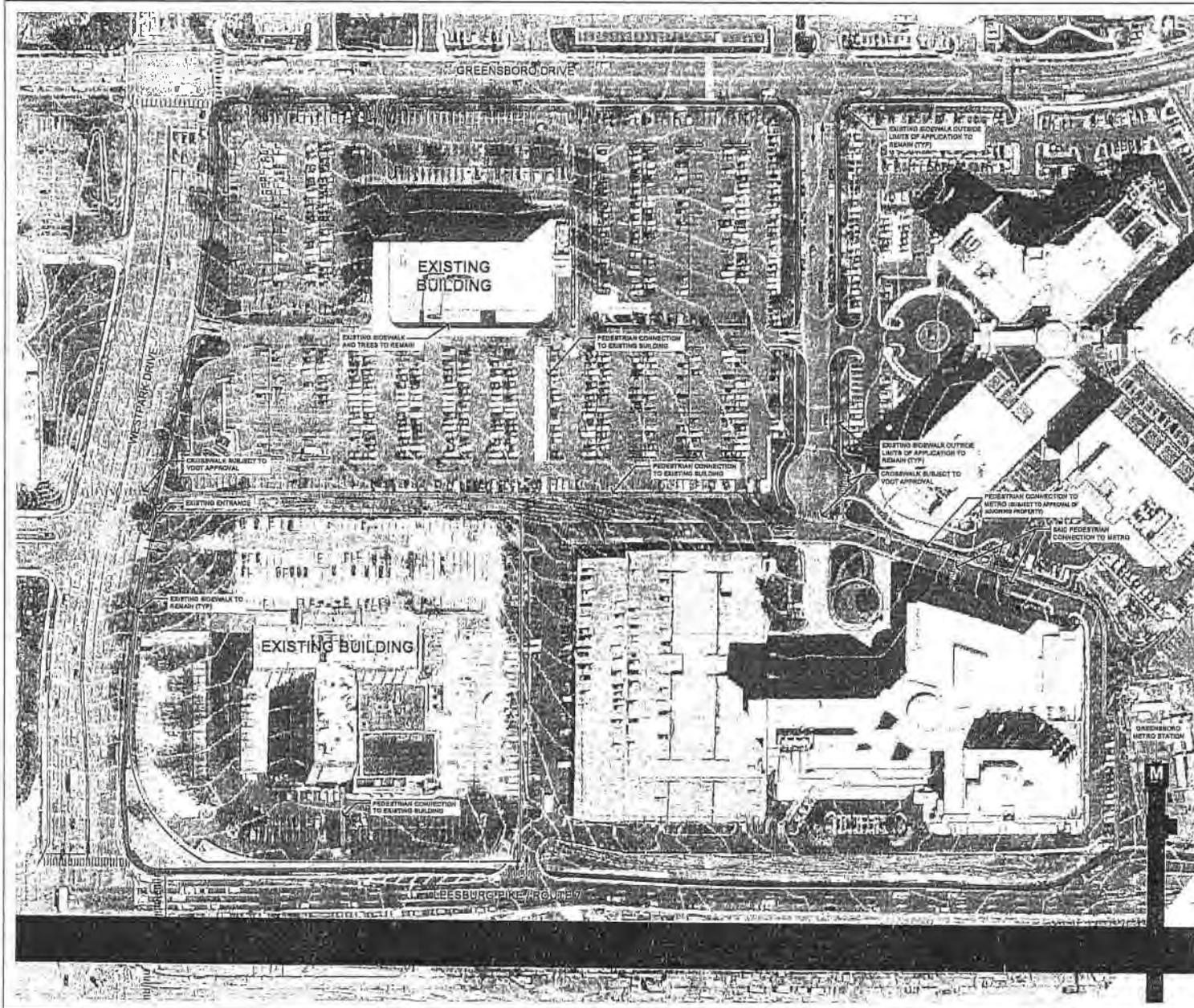
SS903
 1/16" = 1'-0"



6 MADISON ST: AT TOWER D1 (LOCAL STREET)
 L.011 SECTION

SS906
 1/16" = 1'-0"

* NOTE: ALL INFORMATION SHOWN OUTSIDE PROPERTY LINE IS FOR REFERENCE ONLY AND SUBJECT TO SEPARATE APPROVAL. SEE CIVIL PLANS FOR ALL STREET DIMENSIONS.



INITIAL METRO PEDESTRIAN CONNECTION DIAGRAM

LEGEND*

- EXISTING SIDEWALK
- PROPERTY LINE
- GREENSBORO METRO STATION
- INITIAL PEDESTRIAN CONNECTION

INTERM CONDITIONS**

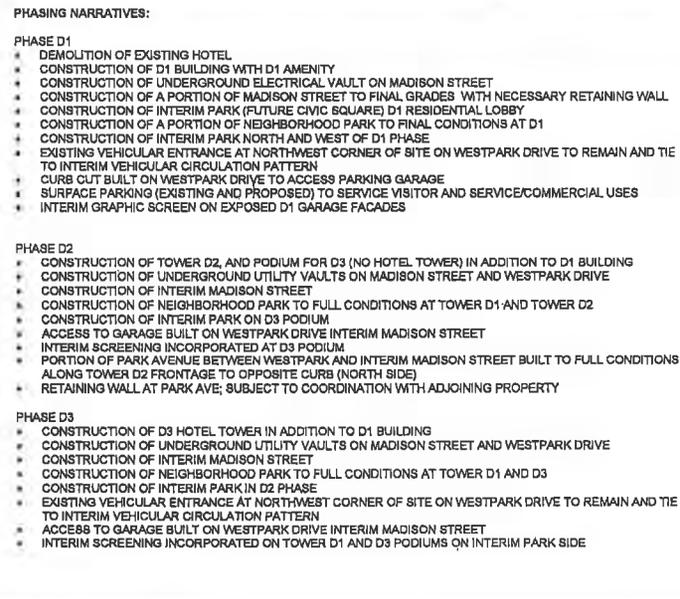
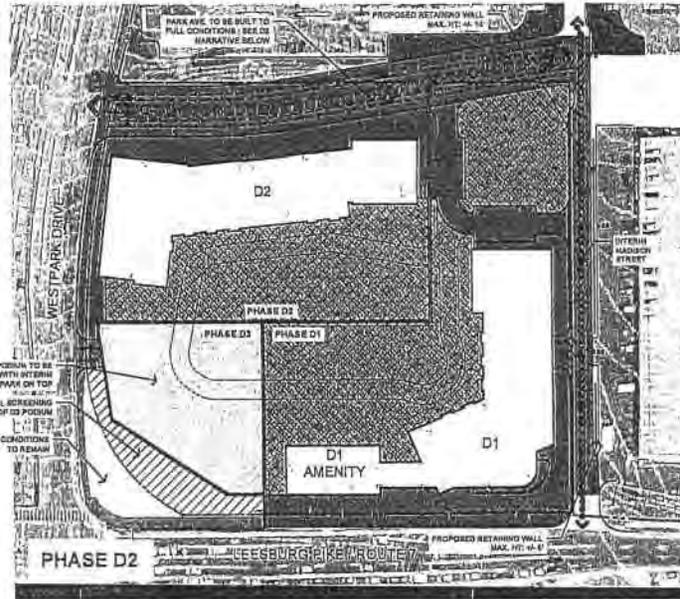
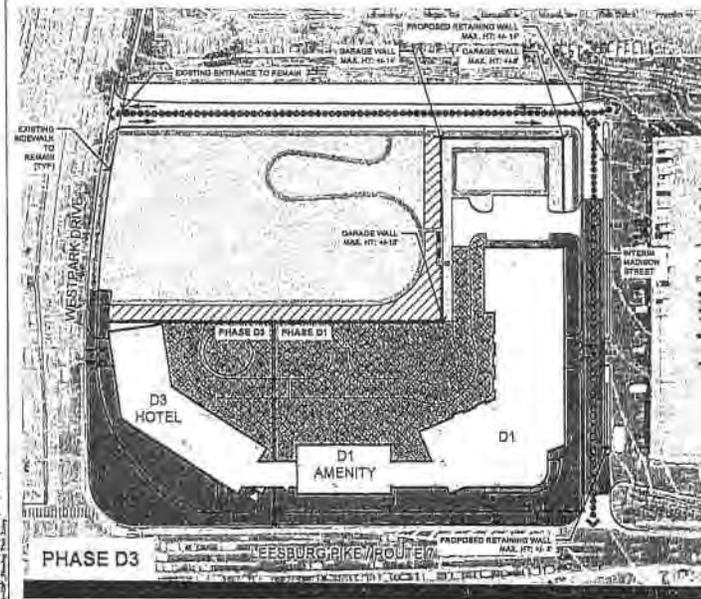
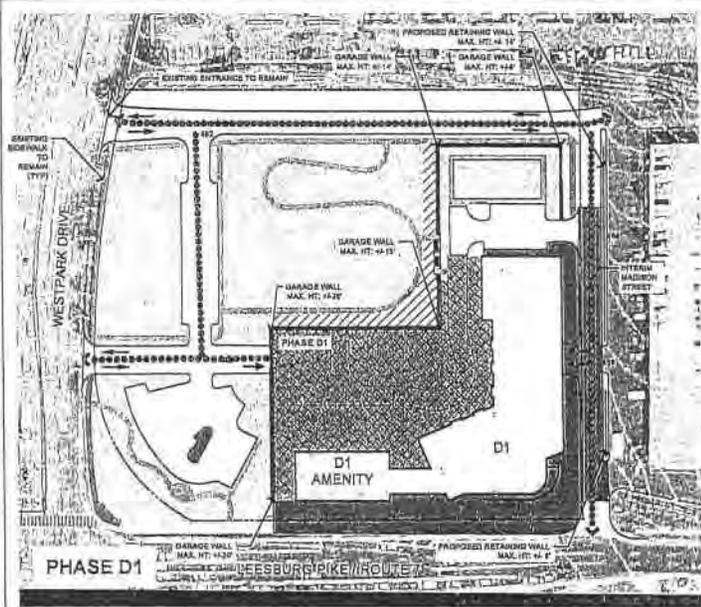
- INTERM CONSTRUCTION
- ADDITIONAL INTERM SCOURING
- INTERM PARK, OPEN SPACE, AND LANDSCAPE IMPROVEMENTS***
- MODIFICATION TO PARKING LOT CONFIGURATION PER PHASE (INTERM CONDITION)****
- INTERM PEDESTRIAN CONNECTION
- GREENED WALL AT INTERM CONDITION
- RETAINING WALL WITH RAIL
- INTERM VEHICULAR TRAVEL WAY

FINAL CONDITIONS**

- FINAL CONSTRUCTION CONDITIONS
- FINAL PARK CONSTRUCTION
- PEDESTRIAN BUILDING ENTRY
- VEHICULAR LOADING GARAGE ENTRY
- VEHICULAR PARALLEL GARAGE ENTRY

NOTE:
 * NOT ALL ITEMS IN LEGEND WILL SHOW UP IN EVERY PHASING SCENARIO
 ** ALL AREAS INDICATED IN COLOR ARE APPROXIMATE AND SHALL BE FURTHER REFINED AT TOP
 *** ALL INTERM PARK AND OPEN SPACE IMPROVEMENTS SHALL INCLUDE PARK TREATMENTS, STREET TREES, AND OTHER ELEMENTS ARE REQUIRED BY FAIRFAX COUNTY CODE OF ORDINANCES AND CDP PROPOSAL
 **** ALL MODIFICATIONS OR IMPROVEMENTS (SUCH AS LANDSCAPING, ETC) TO PARKING LOT CONFIGURATIONS PER PHASE IN THE SITE PLAN SHALL COMPLY WITH FAIRFAX COUNTY CODE OF ORDINANCES.





PHASE D1, D2, & D3 DIAGRAMS

LEGEND*

- EXISTING SIDEWALK
- PROPERTY LINE
- EXISTING METRO STATION
- INITIAL PEDESTRIAN CONNECTION

INTERIM CONDITIONS**

- INTERIM CONDITION
- ADDITIONAL INTERIM SCREENING
- INTERIM PARK, OPEN SPACE, AND LANDSCAPE IMPROVEMENTS***
- MODIFICATION TO PARKING LOT CONFIGURATION PER PHASE (INTERIM CONDITION)****
- INTERIM PEDESTRIAN CONNECTION
- SCREENED WALL AT INTERIM CONDITION
- RETAINING WALL WITH RAIL
- INTERIM VEHICULAR TRAVEL WAY

FINAL CONDITIONS**

- FINAL CONSTRUCTION CONDITIONS
- FINAL PARK CONSTRUCTION
- PEDESTRIAN BUILDING ENTRY
- VEHICULAR LOADING GARAGE ENTRY
- VEHICULAR PARKING GARAGE ENTRY

NOTES:

- * NOT ALL ITEMS IN LEGEND WILL SHOW UP IN EVERY PHASING SCENARIO
- ** ALL AREAS INDICATED IN COLOR ARE APPROXIMATE AND SHALL BE FURTHER REFINED AT TOP
- *** ALL INTERIM PARK AND OPEN SPACE IMPROVEMENTS SHALL INCLUDE PARK TREATMENTS, STREET TREES, AND OTHER ELEMENTS ARE REQUIRED BY FAIRFAX COUNTY CODE OF ORDINANCES AND ODP POLICIES
- **** ALL MODIFICATIONS OR IMPROVEMENTS (SUCH AS LANDSCAPING, ETC) TO PARKING LOT CONFIGURATIONS PER PHASE IN THE INTERIM SHALL COMPLY WITH FAIRFAX COUNTY CODE OF ORDINANCES.



PHASING NARRATIVES:

PHASE D1

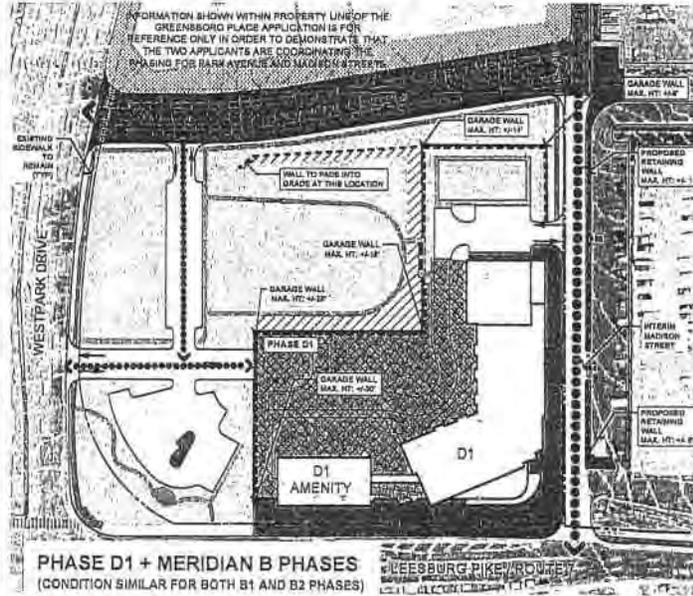
- * DEMOLITION OF EXISTING HOTEL
- * CONSTRUCTION OF D1 BUILDING WITH D1 AMENITY
- * CONSTRUCTION OF UNDERGROUND ELECTRICAL VAULT ON MADISON STREET
- * CONSTRUCTION OF A PORTION OF MADISON STREET TO FINAL GRADES WITH NECESSARY RETAINING WALL
- * CONSTRUCTION OF INTERIM PARK (FUTURE CIVIC SQUARE) D1 RESIDENTIAL LOBBY
- * CONSTRUCTION OF A PORTION OF NEIGHBORHOOD PARK TO FINAL CONDITIONS AT D1
- * CONSTRUCTION OF INTERIM PARK NORTH AND WEST OF D1 PHASE
- * EXISTING VEHICULAR ENTRANCE AT NORTHWEST CORNER OF SITE ON WESTPARK DRIVE TO REMAIN AND TIE TO INTERIM VEHICULAR CIRCULATION PATTERN
- * CURB CUT BUILT ON WESTPARK DRIVE TO ACCESS PARKING GARAGE
- * SURFACE PARKING (EXISTING AND PROPOSED) TO SERVICE VISITOR AND SERVICE/COMMERCIAL USES
- * INTERIM GRAPHIC SCREEN ON EXPOSED D1 GARAGE FACADES

PHASE D2

- * CONSTRUCTION OF TOWER D2, AND PODIUM FOR D3 (NO HOTEL TOWER) IN ADDITION TO D1 BUILDING
- * CONSTRUCTION OF UNDERGROUND UTILITY VAULTS ON MADISON STREET AND WESTPARK DRIVE
- * CONSTRUCTION OF INTERIM MADISON STREET
- * CONSTRUCTION OF NEIGHBORHOOD PARK TO FULL CONDITIONS AT TOWER D1 AND TOWER D2
- * CONSTRUCTION OF INTERIM PARK ON D3 PODIUM
- * ACCESS TO GARAGE BUILT ON WESTPARK DRIVE INTERIM MADISON STREET
- * INTERIM SCREENING INCORPORATED AT D3 PODIUM
- * PORTION OF PARK AVENUE BETWEEN WESTPARK AND INTERIM MADISON STREET BUILT TO FULL CONDITIONS ALONG TOWER D2 FRONTAGE TO OPPOSITE CURB (NORTH SIDE)
- * RETAINING WALL AT PARK AVE; SUBJECT TO COORDINATION WITH ADJOINING PROPERTY

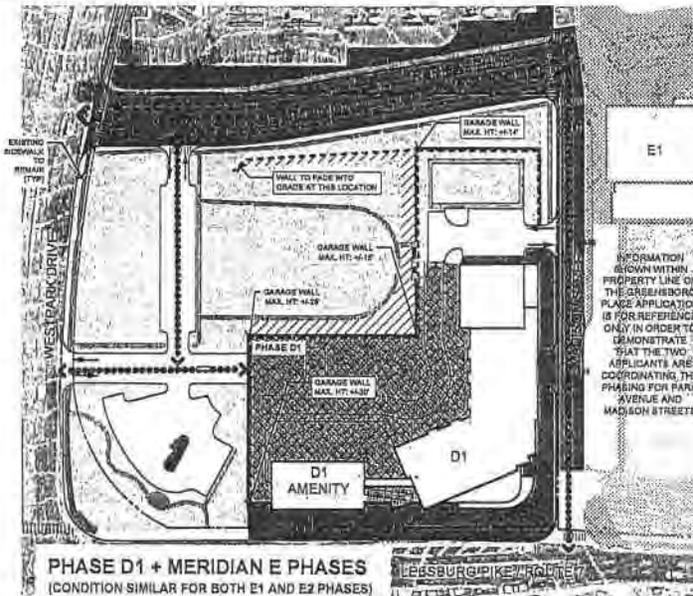
PHASE D3

- * CONSTRUCTION OF D3 HOTEL TOWER IN ADDITION TO D1 BUILDING
- * CONSTRUCTION OF UNDERGROUND UTILITY VAULTS ON MADISON STREET AND WESTPARK DRIVE
- * CONSTRUCTION OF INTERIM MADISON STREET
- * CONSTRUCTION OF NEIGHBORHOOD PARK TO FULL CONDITIONS AT TOWER D1 AND D3
- * CONSTRUCTION OF INTERIM PARK IN D2 PHASE
- * EXISTING VEHICULAR ENTRANCE AT NORTHWEST CORNER OF SITE ON WESTPARK DRIVE TO REMAIN AND TIE TO INTERIM VEHICULAR CIRCULATION PATTERN
- * ACCESS TO GARAGE BUILT ON WESTPARK DRIVE INTERIM MADISON STREET
- * INTERIM SCREENING INCORPORATED ON TOWER D1 AND D3 PODIUMS ON INTERIM PARK SIDE



PHASE D1 + MERIDIAN B PHASES
(CONDITION SIMILAR FOR BOTH B1 AND B2 PHASES)

PHASING NARRATIVE:
 PHASE D1 + MERIDIAN B PHASES
 • ALL PHASE D1 BULLETS ON PREVIOUS PAGE L.013 APPLY



PHASE D1 + MERIDIAN E PHASES
(CONDITION SIMILAR FOR BOTH E1 AND E2 PHASES)

PHASING NARRATIVE:
 PHASE D1 + MERIDIAN E PHASES
 • ALL PHASE D1 BULLETS ON PREVIOUS PAGE L.013 APPLY

**PHASE D1 + MERIDIAN B PHASES
 AND
 PHASE D1 + MERIDIAN E PHASES**

LEGEND*

- EXISTING SIDEWALK
- PROPERTY LINE
- GREENSBORO METRO STATION
- METAL PEDESTRIAN CONNECTION

INTERIM CONDITIONS**

- INTERIM CONDITION
- ADDITIONAL INTERIM SCREENING
- INTERNAL PARK, OPEN SPACE, AND LANDSCAPE IMPROVEMENTS**
- MODIFICATION TO PARKING LOT CONFIGURATION PER PHASE (INTERIM CONDITION)**
- INTERIM PEDESTRIAN CONNECTION
- SCREENED WALL AT INTERIM CONDITION
- RETAINING WALL WITH RAIL
- INTERIM VEHICULAR TRAVEL WAY

FINAL CONDITIONS**

- FINAL CONSTRUCTION CONDITIONS
- FINAL PARK CONSTRUCTION
- PEDESTRIAN BUILDING ENTRY
- VEHICULAR LOADING GARAGE ENTRY
- VEHICULAR PARKING GARAGE ENTRY

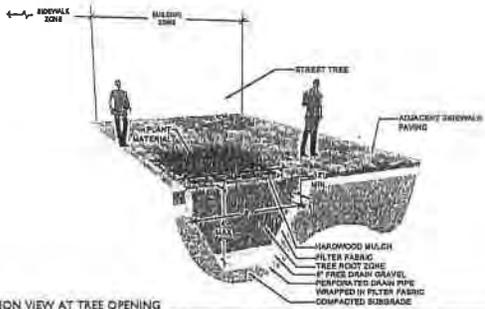
NOTES:

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- ** ALL INTERIM PARK AND OPEN SPACE IMPROVEMENTS SHALL INCLUDE PARK TREATMENTS, STREET TREES, AND OTHER ELEMENTS AS REQUIRED BY FAIRFAX COUNTY CODE OF ORDINANCES AND CDP PROFFERS
- ** ALL MODIFICATIONS OR IMPROVEMENTS SUCH AS LANDSCAPING, ETC TO PARKING LOT CONFIGURATIONS PER PHASE IN THE INTERIM SHALL COMPLY WITH FAIRFAX COUNTY CODE OF ORDINANCES.



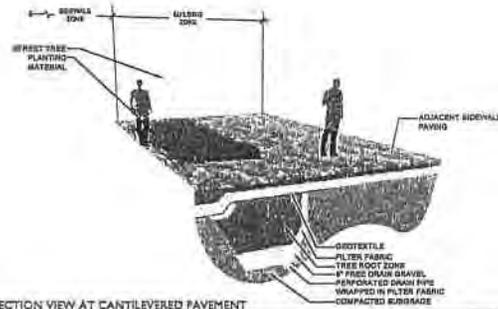
THIS SPACE INTENTIONALLY LEFT BLANK

1
L.014

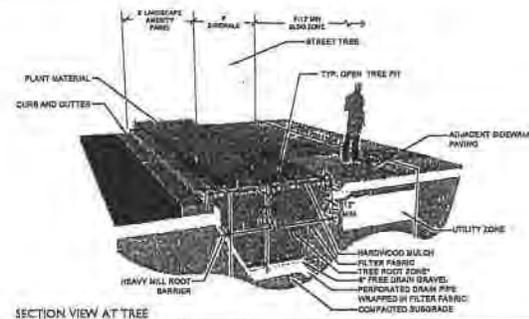


SECTION VIEW AT TREE OPENING

OPT. 1 CANTILEVERED PAVEMENT OVER TREE ROOT ZONE - STREET TREE OPTION

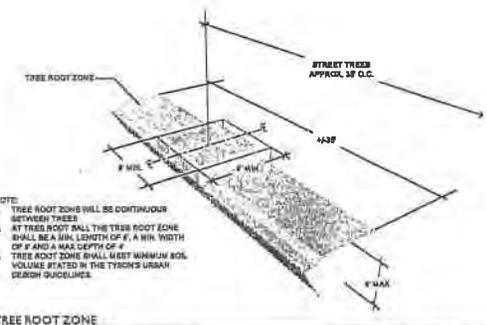


SECTION VIEW AT CANTILEVERED PAVEMENT



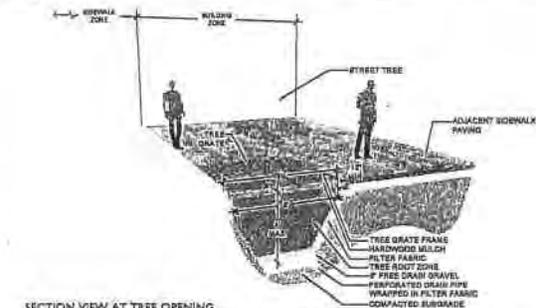
SECTION VIEW AT TREE

2 STREET TREE PIT AT AVENUE (WESTPARK DR.) OPT. XXXX
L.014 PERSPECTIVE SECTIONS NTS



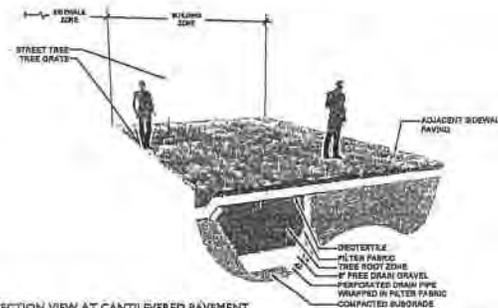
- NOTE:
1. TREE ROOT ZONE SHALL BE CONTINUOUS BETWEEN TREES
 2. AT TREE ROOT SHALL THE TREE ROOT EDGE SHALL BE A MIN. LENGTH OF 8', A MIN. WIDTH OF 8' AND A MAX. DEPTH OF 8'
 3. TREE ROOT ZONE SHALL MEET MINIMUM BOX VOLUME STATED IN THE TYPICAL URBAN DESIGN GUIDELINES.

TREE ROOT ZONE

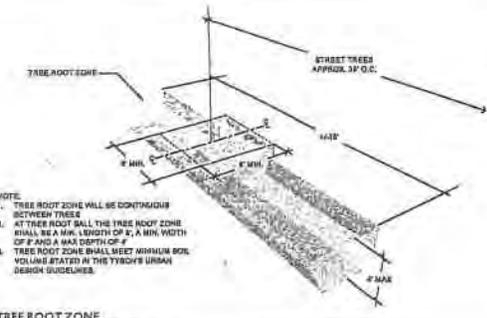


SECTION VIEW AT TREE OPENING

OPT. 2 CANTILEVERED PAVEMENT OVER TREE ROOT ZONE WITH TREE GRATE - STREET TREE OPTION



SECTION VIEW AT CANTILEVERED PAVEMENT



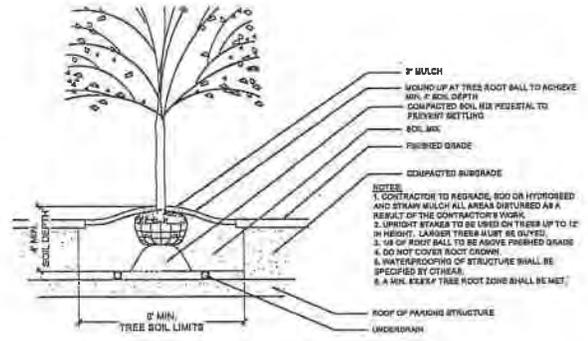
- NOTE:
1. TREE ROOT ZONE SHALL BE CONTINUOUS BETWEEN TREES
 2. AT TREE ROOT SHALL THE TREE ROOT EDGE SHALL BE A MIN. LENGTH OF 8', A MIN. WIDTH OF 8' AND A MAX. DEPTH OF 8'
 3. TREE ROOT ZONE SHALL MEET MINIMUM BOX VOLUME STATED IN THE TYPICAL URBAN DESIGN GUIDELINES.

TREE ROOT ZONE

3 STREET TREE OPTIONS (RT 7 CORNER PLAZAS AND DOUBLE ROW)
L.014 PERSPECTIVE SECTIONS

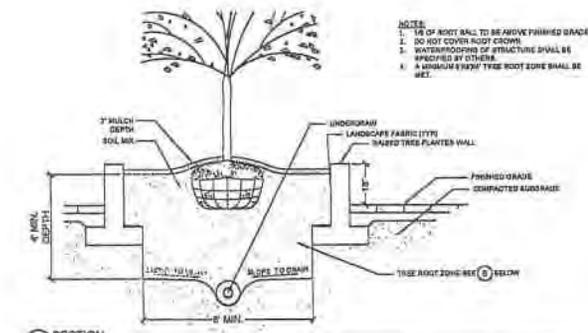
NOTE: PROVIDED FOOT LIGHT OF MAINTENANCE AND ROW LINES ARE SHOWN ON THE TREE DETAILS FOR ILLUSTRATIVE PURPOSES ONLY. PLEASE REFER TO WRITTEN PROFFERS FOR DESIGN OWNERSHIP AND MAINTENANCE LINES

OPT. XXXX
NTS



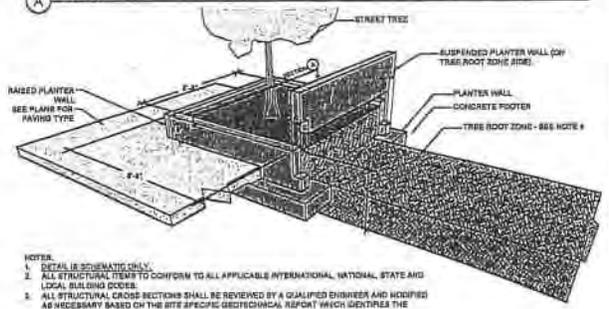
- NOTES:**
1. CONTRACTOR TO REGRADE, ROOF OR HYDROSEED AND STRAW MULCH ALL AREAS DISTURBED AS A RESULT OF THE CONTRACTOR'S WORK.
 2. UPRIGHT STAKES TO BE USED ON TREES UP TO 12" IN HEIGHT; LARGER TREES MUST BE DOLIED.
 3. 1/3 OF ROOT BALL TO BE ABOVE FINISHED GRADE.
 4. DO NOT COVER ROOT CROWN.
 5. WATERPROOFING OF STRUCTURE SHALL BE SPECIFIED BY OTHERS.
 6. A MIN. 2" DEPTH TREE ROOT ZONE SHALL BE MET.

1 TYPICAL TREE PLANTING ON STRUCTURE
 08A-212
 NTS



- NOTES:**
1. 1/3 OF ROOT BALL TO BE ABOVE FINISHED GRADE.
 2. DO NOT COVER ROOT CROWN.
 3. WATERPROOFING OF STRUCTURE SHALL BE SPECIFIED BY OTHERS.
 4. A MINIMUM 2" DEPTH TREE ROOT ZONE SHALL BE MET.

A SECTION



- NOTES:**
1. DETAIL IS SCHEMATIC ONLY.
 2. ALL STRUCTURAL ITEMS TO CONFORM TO ALL APPLICABLE INTERNATIONAL, NATIONAL, STATE AND LOCAL BUILDING CODES.
 3. ALL STRUCTURAL CROSS SECTIONS SHALL BE REVIEWED BY A QUALIFIED ENGINEER AND MODIFIED AS NECESSARY BASED ON THE SITE SPECIFIC GEOTECHNICAL REPORT WHICH IDENTIFIES THE SPECIFIC SITE CHARACTERISTICS.
 4. TREE ROOT ZONE WILL BE CONTINUOUS BETWEEN TREES LOCATED ALONG RT. 7 (SEE HYPHESCAPES ENLARGEMENTS).
 5. TREE ROOT ZONE SHALL MEET MINIMUM SOIL VOLUME STATED IN THE TYPSON'S URBAN DESIGN GUIDELINES.
 6. OR APPROVED EQUIVALENT STRUCTURAL TREE ROOT ZONE SYSTEM.

B EXPLODED VIEW

2 TYPICAL TREE PLANTING IN RAISED PLANTER
 08A-212
 NTS



COUNTY OF FAIRFAX
Department of Planning and Zoning
Zoning Evaluation Division
 12055 Government Center Parkway, Suite 801
 Fairfax, VA 22035 (703) 324-1290, TTY 711
 www.fairfaxcounty.gov/dpz/zoning/applications

APPLICATION No: RZ 2013-PR-009
 (Assigned by staff)

120794

RECEIVED
 Department of Planning & Zoning
 APR 04 2013
 Zoning Evaluation Division

APPLICATION FOR A REZONING
 (PLEASE TYPE or PRINT IN BLACK INK)

PETITION

TO: THE BOARD OF SUPERVISORS OF FAIRFAX COUNTY, VIRGINIA

I (We), Tyson's Westpark, L.C., the applicant (s) petition you to adopt an ordinance amending the Zoning Map of Fairfax County, Virginia, by reclassifying from the C-7 District to the PTC District the property described below and outlined in red on the Zoning Section Sheet(s) accompanying and made part of this application.

APPLICATION TYPE(S):	PCA ()	CDP (x)	FDP ()	CDPA ()	FDPA ()
----------------------	---------	---------	---------	----------	----------

LEGAL DESCRIPTION:

See attached				
Lot(s)	Block(s)	Subdivision	Deed Book	Page No.

TAX MAP DESCRIPTION:

29-3	((15))		8	5.37 acres
Map No.	Double Circle No.	Single Circle No.	Parcel(s)/Lot(s) No.	Total Acreage

POSTAL ADDRESS OF PROPERTY:

8401 Westpark Drive

ADVERTISING DISCRIPTION: (Example - North side of Lee Highway approx. 1000 feet west of its intersection with Newgate Blvd.)

Eastern quadrant of Leesburg Pike (Route 7) and Westpark Drive (Route 5061).	
PRESENT USE: Hotel	PROPOSED USE: Hotel, residential, retail
MAGISTERIAL DISTRICT: Providence	OVERLAY DISTRICT (S): HC, SC

The name(s) and address(s) of owner(s) of record shall provided on the affidavit form attached and made part of this application. The undersigned has the power to authorize and does hereby authorize Fairfax County staff representative on official business to enter on the subject property as necessary to process the application.

Martin D. Walsh, attorney/agent

Type or Print Name
 Walsh, Colucci, Lubeley, Emrich & Walsh, P.C.
 2200 Clarendon Blvd., Suite 1300, Arlington, VA 22201
Address

M D Walsh
Signature of Applicant or Agent
 (Work) (703) 528-4700 (Mobile)
Telephone Number

Please provide name and telephone number of contact if different from above:
 Elizabeth D. Baker 703-528-4700

DO NOT WRITE BELOW THIS SPACE

Date application accepted:

4/16/13 Virginia Ruffner

RZ 2013-0064

Fee Paid

\$ 32,740.00

RZ 2013-PR-009

Zoning Application Closeout Summary Report

Printed: 6/29/2015

General Information

APPLICANT: TYSONS WESTPARK, L.C.
DECISION DATE: 11/18/2014
CRD: NO
HEARING BODY: BOS
SUPERVISOR DISTRICT:
ACTION: APPROVE
STAFF COORD: BOB KATAI
DECISION SUMMARY:

ON NOVEMBER 18, 2014, THE BOARD UNANIMOUSLY APPROVED RZ 2013-PR-009 ON A MOTION BY SUPERVISOR SMYTH SUBJECT TO PROFFERS DATED OCTOBER 23, 2014.

Zoning Information

Existing Zoning		Proposed Zoning		Approved Zoning	
<u>DISTRICT</u>	<u>AREA</u>	<u>DISTRICT</u>	<u>AREA</u>	<u>DISTRICT</u>	<u>AREA</u>
C- 7	5.37 ACRES	PTC	5.37 ACRES	PTC	5.37 ACRES

Tax Map Numbers

029-3- /15/ /0008-

Approved Land Uses

Zoning District: PTC

<u>LAND USE</u>	APPROVED RESIDENTIAL DEVELOPMENT			APPROVED NON-RESIDENTIAL DEVELOPMENT		
	<u>DWELLING</u> UNITS	<u>LAND AREA</u>	<u>NO. OF</u> <u>ADU'S</u>	<u>GFA</u>	<u>LAND AREA</u>	<u>FAR</u>
HOTEL/MOTL						0.68
MFD	1300	5.37 ACRES				
PERS/SVC/E						
RETAIL/EST						0.10
TOTAL	1300	5.37 ACRES				
TOTAL				184,500 SQ FEET	5.37 ACRES	0.79

Approved Waivers/Modifications

SEE FILE FOR ALL WAIVERS AND MODIFICATIONS
MODIFY FENCE HEIGHT REQUIREMENT
MODIFY LOADING SPACE REQUIREMENT
MODIFY STREETScape & TRAIL REQUIREMENT
WAIVE DEDICATION REQUIREMENT
WAIVE PFM STANDARD FOR UNDERGROUND SWM FACILITY
WAIVE BEST MANAGEMENT PRACTICES
MODIFY TREE CONSERVATION PLAN
WAIVE MINIMUM DISTRICT SIZE
WAIVE SERVICE DRIVE REQUIREMENT
WAIVE INTERPARCEL ACCESS

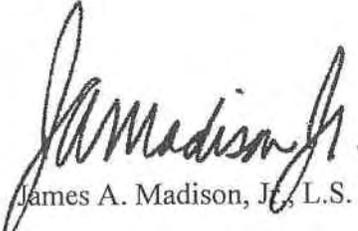
Approved Proffers

PROFFER STATEMENT DATE: 10-23-2014

<u>PROFFER</u>	<u>DUE</u>	<u>TRIG #</u>	<u>TRIG EVENT</u>	<u>CONTRIB AMT</u>	<u>EXPIR. DTE</u>
TRAFFIC SIGNAL WARRANT ANALYSIS / STUDY	01-01-0001	0	N/A	\$0	01-01-0001
EXTEND / CONNECT PUBLIC STREETS	01-01-0001	0	SITE PLAN	\$0	01-01-0001
CONTRIBUTION - BOS	01-01-0001	0	N/A	\$0	01-01-0001
SIGNAGE	01-01-0001	0	N/A	\$0	01-01-0001
OTHER - ENVIRONMENT	01-01-0001	0	N/A	\$0	01-01-0001
LANDSCAPE PLAN REQUIRED	01-01-0001	0	SITE PLAN	\$0	01-01-0001
LOW IMPACT DESIGN (LID) / RAINGARDEN	01-01-0001	0	N/A	\$0	01-01-0001
PHASING - LAND USE	01-01-0001	0	N/A	\$0	01-01-0001
WORKFORCE HOUSING	01-01-0001	0	N/A	\$0	01-01-0001
MINOR MODIFICATION	01-01-0001	0	N/A	\$0	01-01-0001
DEDICATION - FCPA	01-01-0001	0	SITE PLAN	\$0	01-01-0001
BICYCLE RELATED FACILITIES	01-01-0001	0	SITE PLAN	\$0	01-01-0001
PEDESTRIAN IMPROVEMENTS (CROSSWALKS /BRIDGES /SIGNALS)	01-01-0001	0	N/A	\$0	01-01-0001
FACILITY IMPROVEMENTS	01-01-0001	0	SITE PLAN	\$0	01-01-0001
OTHER - GENERAL	01-01-0001	0	N/A	\$0	01-01-0001
NOISE ATTENUATION (STUDY / WALL)	01-01-0001	0	N/A	\$0	01-01-0001
DISCLOSURE - ENVIRONMENT	01-01-0001	0	N/A	\$0	01-01-0001
CONTRIBUTION - SCHOOLS	01-01-0001	1	RUP	\$0	01-01-0001
TRANSPORTATION DEMAND MANAGEMENT PROGRAM (TDM)	01-01-0001	0	N/A	\$0	01-01-0001
TEMPORARY / INTERIM PARKING	01-01-0001	0	N/A	\$0	01-01-0001
ROAD FUNDS	01-01-0001	0	N/A	\$0	01-01-0001
PARKING	01-01-0001	0	N/A	\$0	01-01-0001
LANDSCAPING - SWM	01-01-0001	0	N/A	\$0	01-01-0001
INTERIM USE	01-01-0001	0	N/A	\$0	01-01-0001
HEIGHT - BUILDING / STRUCTURE	01-01-0001	0	N/A	\$0	01-01-0001
ARCHITECTURE / GREEN BUILDING / LEEDS	01-01-0001	0	N/A	\$0	01-01-0001
AFFORDABLE DWELLING UNITS	01-01-0001	0	N/A	\$0	01-01-0001
NOTIFICATION - GENERAL	01-01-0001	0	N/A	\$0	01-01-0001
ENERGY EFFICIENCY	01-01-0001	0	N/A	\$0	01-01-0001
RESTORATION / REFORESTATION / REPLANTING	01-01-0001	0	SITE PLAN	\$0	01-01-0001
ANTENNAS	01-01-0001	0	N/A	\$0	01-01-0001
PROFFERED PLANS	01-01-0001	0	N/A	\$0	01-01-0001
CONTRIBUTION - FCPA / RECREATION	01-01-0001	0	N/A	\$0	01-01-0001
BUS STOP / SHELTER / MAINTENANCE	01-01-0001	0	SITE PLAN	\$0	01-01-0001
LIBRARY	01-01-0001	0	RUP	\$0	01-01-0001
RIGHT OF WAY - DEDICATION	01-01-0001	0	SITE PLAN	\$0	01-01-0001
BEST MANAGEMENT PRACTICES (BMP)	01-01-0001	0	N/A	\$0	01-01-0001
USE RESTRICTIONS	01-01-0001	0	N/A	\$0	01-01-0001
STREETSCAPE	01-01-0001	0	N/A	\$0	01-01-0001
FLOOR AREA RATIO (FAR) / GROSS FLOOR AREA (GFA)	01-01-0001	0	N/A	\$0	01-01-0001
ARCHITECTURE / BUILDING MATERIALS / COLORS	01-01-0001	0	N/A	\$0	01-01-0001
HOA ESTABLISH	01-01-0001	1	NON-RUP	\$0	01-01-0001

Description of the Residue of Leasco Office Park – Lot 8, as recorded in Deed Book 21666 at Page 2174, currently zoned C-7 and proposed to be rezoned to PTC, Providence District, Fairfax County, Virginia:

“Beginning at a point at the northwest corner of Leasco Office Park – Lot 4D; thence with Lot 4D, S 51° 59' 21" W, 463.29 feet to a point in the north right-of-way line of Leesburg Pike – Route 7, as widened in Deed Book 21666 at Page 2174; thence with the north right-of-way line of Leesburg Pike – Route 7, as widened, N 38° 22' 51" W, 419.10 feet to a point in the east right-of-way line of Westpark Drive – Route 5061; thence with the east right-of-way line of Westpark Drive – Route 5061, a distance of 205.90 feet with the arc of a curve bearing to the right and having a radius of 187.00 feet (tangent length 114.79 feet, chord length 195.65 feet, chord bearing N 20° 33' 47" E) to a point; thence 290.37 feet with the arc of a curve bearing to the right and having a radius of 1,290.00 feet (tangent length 145.80 feet, chord length 289.76 feet, chord bearing N 58° 33' 16" E) to a point; thence N 65° 00' 10" E, 11.48 feet to a point, said point being the southwest corner of Leasco Office Park – Lot 7E; thence with Lot 7E, S 38° 00' 39" E, 485.38 feet to the point of beginning and containing an area of 233,830 square feet, or 5.3680 acres, more or less.”


James A. Madison, Jr., L.S.

February 15, 2013

Development Conditions

FDP 2013-PR-009

Tysons Westpark, LC

October 8, 2014

The Planning Commission approves Final Development Plan FDP 2013-PR-009 to permit residential buildings and site improvements on Tax Map No. 29-3, ((15)) 0008, requiring conformance with the following development conditions.

1. This FDP is subject to the provisions of Article 17, Site Plans, as may be determined by the Director, Department of Public Works and Environmental Services (DPWES). Any plan submitted pursuant to this final development plan (FDP) shall be in substantial conformance with the approved FDP entitled Westpark Plaza FDP 2013-PR-009 Final Development Plan, prepared By: MTF Architecture, Inc., Walter L. Phillips, Inc., Landdesign, Inc., Wells and Associates, and revised August 14, 2014; and these conditions. Minor modifications to the approved FDP may be permitted pursuant to Par. 4 of Sect. 16-403 of the Zoning Ordinance.

WESTPARK PLAZA

FDP 2013-PR-009

FINAL DEVELOPMENT PLAN

PROVIDENCE DISTRICT
FAIRFAX COUNTY, VIRGINIA

APPLICANT
TYSONS WESTPARK LC
8321 OLD COURTHOUSE RD
SUITE 300
VIENNA, VA 22182
703-366-6900
CHRIS BRIGHAM

DECEMBER 11, 2013
REV. MARCH 31, 2014
REV. JULY 3, 2014
REV. AUGUST 14, 2014

OVERALL SHEET INDEX

CIVIL SHEETS

P-101 COVER SHEET
P-102 NOTES AND TABULATIONS
P-103 CONTEXT PLAN
P-201 EXISTING CONDITIONS PLAN
P-202 EXISTING VEGETATION MAP
P-301 FINAL DEVELOPMENT PLAN
P-302 TRAFFIC CIRCULATION PLAN
P-303 CONCEPTUAL GRADING AND UTILITY PLAN
P-501 PRELIMINARY OUTFALL ANALYSIS
P-502 STORMWATER MANAGEMENT PLAN
P-503 SWM NARRATIVES, COMPUTATIONS AND DETENTION ROUTING HYDROGRAPHS
P-504 SWM CHECKLIST, DETAILS; TYSONS STORMWATER COMPLIANCE SPREADSHEET
P-505 PRELIMINARY BMP CALCULATIONS
P-601 PRELIMINARY FIRE ACCESS PLAN
P-602 LOADING CIRCULATION PLAN
P-603 SUPPLEMENTAL TRANSPORTATION PLAN

APPLICANT'S REPRESENTATIVE

WALSH, COLUCCI, LUBELEY & WALSH, P.C.
2200 CLARENDON BLVD.
18th FLOOR
ARLINGTON, VA 22201
703-628-4700
ELIZABETH BAKER

ARCHITECT

MTFA ARCHITECTURE, INC
3200 LEE HIGHWAY
ARLINGTON, VA 22207
703-624-6616
MICHAEL FOSTER

CIVIL ENGINEER

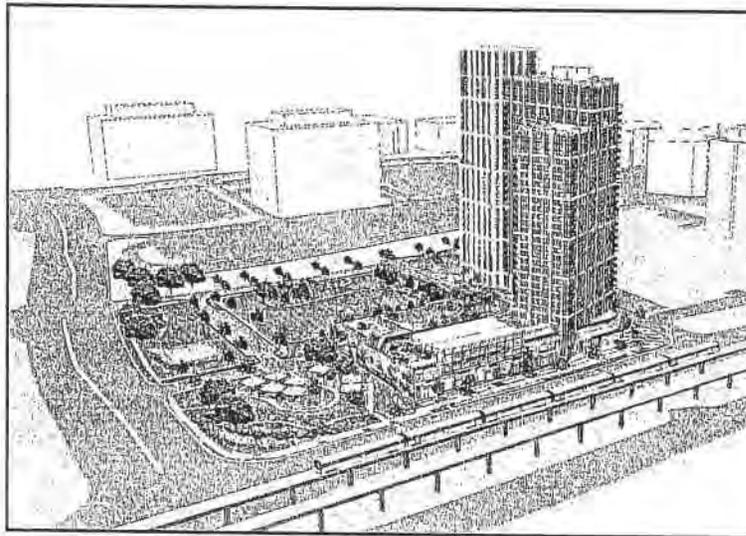
WALTER L. PHILLIPS, INC.
207 PARK AVENUE
FALLS CHURCH, VA 22046
703-682-6163
AARON VINSON

LANDSCAPE ARCHITECT

LANDDESIGN, INC.
200 SOUTH PEYTON STREET
ALEXANDRIA, VA 22134
703-649-7784
STEPHANIE PANKIEWICZ

TRANSPORTATION

WELLS & ASSOCIATES
1420 SPRING HILL ROAD
MCLEAN, VA 22102
703-417-6620
ROBIN ANTONUCCI



FINAL DEVELOPMENT RENDERING

TAX MAP NO. 29-3 ((15)) - 0008

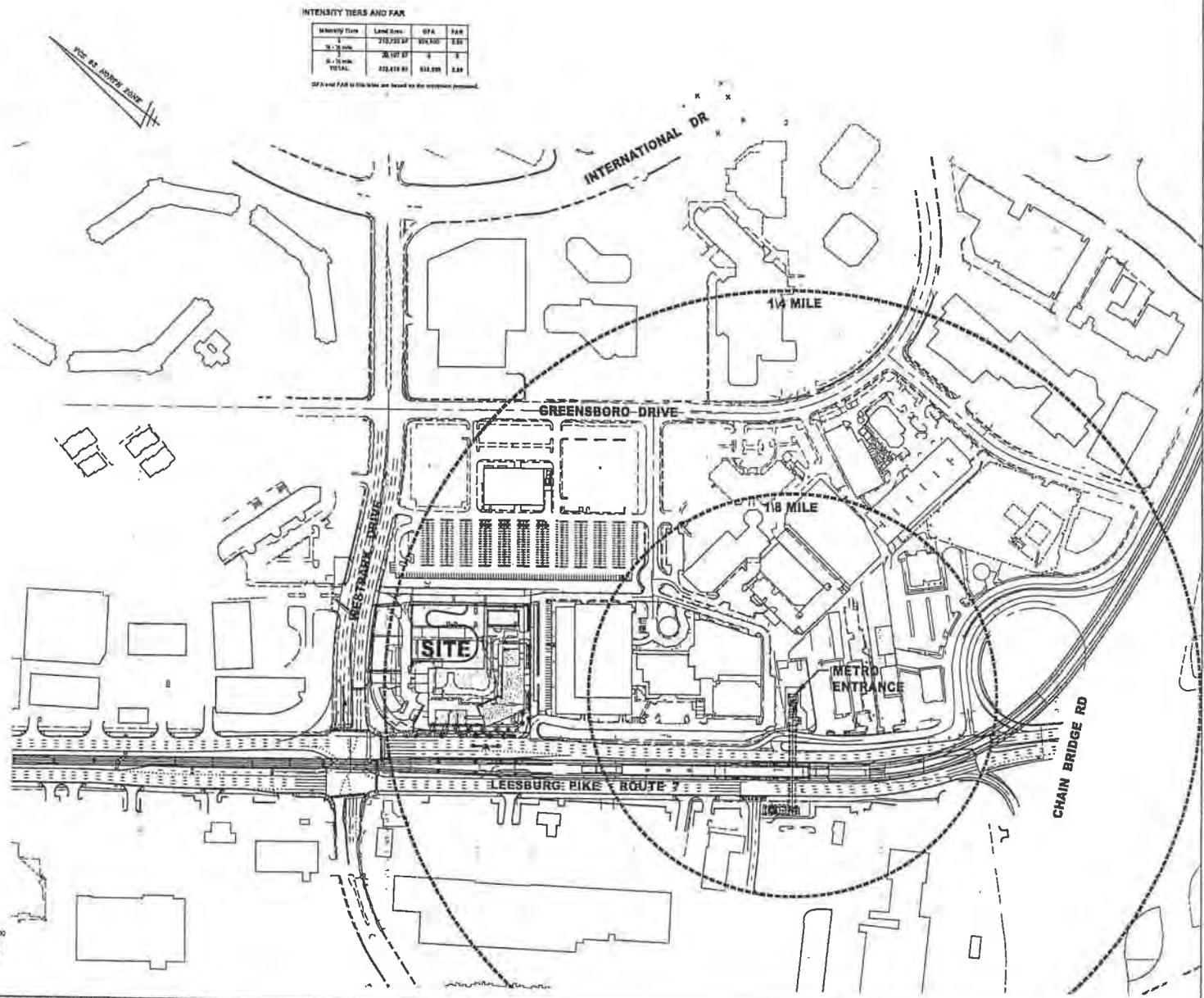
ARCHITECTURAL SHEETS

A-101 FLOOR PLANS
A-102 FLOOR PLANS
A-103 FLOOR PLANS
A-104 FLOOR PLANS
A-201 SECTIONS
A-202 SECTIONS
A-203 NORTH ELEVATION - WESTPARK DRIVE
A-204 SOUTH ELEVATION - MADISON STREET
A-205 EAST ELEVATION - PARK AVENUE
A-206 WEST ELEVATION - LEESBURG PIKE, ROUTE 7
A-401 MASSING STUDY
A-402 ILLUSTRATIVE PERSPECTIVE
A-403 ILLUSTRATIVE PERSPECTIVE
A-404 ILLUSTRATIVE PERSPECTIVE
A-405 ILLUSTRATIVE PERSPECTIVE
A-501 SUN AND SHADE STUDIES

LANDSCAPE ARCHITECTURAL SHEETS

L-001 PEDESTRIAN HIERARCHY
L-002 URBAN PARK PLAN
L-003 OVERALL LANDSCAPE PLAN
L-004 OVERALL LANDSCAPE PLAN - TREE CALCULATIONS
L-005 OVERALL PLAN
L-006 PERSPECTIVES
L-007 PERSPECTIVES
L-008 ILLUSTRATIVE PLAN AND URBAN PARK CHARACTER
L-009 STREETSCAPE ENLARGEMENTS AND SECTIONS
L-010 STREETSCAPE ENLARGEMENTS AND SECTIONS
L-011 DETAILS - LANDSCAPE
L-012 DETAILS - LANDSCAPE
L-013 DETAILS - HARDSCAPE

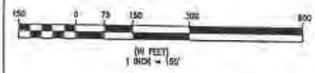




INTENSITY TIERS AND FAR

Intensity Class	Land Area	GFA	FAR
M - Medium	270,250 SF	540,500	2.00
H - High	28,127 SF	0	0
TOTAL	298,377 SF	540,500	1.81

GFA and FAR in this table are based on the maximum potential.



CONTEXT PLAN
WESTPARK PLAZA
FINAL DEVELOPMENT PLAN
 PROVIDENCE DISTRICT
 FAIRFAX COUNTY, VIRGINIA

DATE	APPROVED BY	REVISION APPROVED BY	
		DATE	REVISIONS



WALTER L. PHILLIPS, INC.
 ENGINEERS • SURVEYORS • PLANNERS
 LANDSCAPE ARCHITECTS • ARCHITECTS
 201 PARK AVENUE, SUITE 2000A, FALLS CHURCH, VA 22034
 (703) 533-6100 Fax: (703) 533-5041
 www.WALPHI.com
 INCORPORATED 1945
 1001 COMMONWEALTH BLVD., SUITE 1000, FALLS CHURCH, VA 22034

AS-BUILT TABLE (NAVD 1988)
STORM SEWER

NO.	INLET TOP	OUTLET TOP	NO.	INLET TOP	OUTLET TOP
NO 1100	441.42	437.27	NO 1106	441.29	437.14
12" DIA. IN	441.42	437.27	12" DIA. IN	441.29	437.14
12" DIA. OUT	441.42	437.27	12" DIA. OUT	441.29	437.14
NO 1101	441.07	436.92	NO 1107	441.14	436.99
12" DIA. IN	441.07	436.92	12" DIA. IN	441.14	436.99
12" DIA. OUT	441.07	436.92	12" DIA. OUT	441.14	436.99
NO 1102	440.72	436.57	NO 1108	440.89	436.74
12" DIA. IN	440.72	436.57	12" DIA. IN	440.89	436.74
12" DIA. OUT	440.72	436.57	12" DIA. OUT	440.89	436.74
NO 1103	440.37	436.22	NO 1109	440.44	436.39
12" DIA. IN	440.37	436.22	12" DIA. IN	440.44	436.39
12" DIA. OUT	440.37	436.22	12" DIA. OUT	440.44	436.39
NO 1104	440.02	435.87	NO 1110	440.09	435.94
12" DIA. IN	440.02	435.87	12" DIA. IN	440.09	435.94
12" DIA. OUT	440.02	435.87	12" DIA. OUT	440.09	435.94
NO 1105	439.67	435.52	NO 1111	439.74	435.59
12" DIA. IN	439.67	435.52	12" DIA. IN	439.74	435.59
12" DIA. OUT	439.67	435.52	12" DIA. OUT	439.74	435.59
NO 1106	439.32	435.17	NO 1112	439.39	435.26
12" DIA. IN	439.32	435.17	12" DIA. IN	439.39	435.26
12" DIA. OUT	439.32	435.17	12" DIA. OUT	439.39	435.26
NO 1107	438.97	434.82	NO 1113	439.04	434.91
12" DIA. IN	438.97	434.82	12" DIA. IN	439.04	434.91
12" DIA. OUT	438.97	434.82	12" DIA. OUT	439.04	434.91
NO 1108	438.62	434.47	NO 1114	438.69	434.56
12" DIA. IN	438.62	434.47	12" DIA. IN	438.69	434.56
12" DIA. OUT	438.62	434.47	12" DIA. OUT	438.69	434.56
NO 1109	438.27	434.12	NO 1115	438.34	434.21
12" DIA. IN	438.27	434.12	12" DIA. IN	438.34	434.21
12" DIA. OUT	438.27	434.12	12" DIA. OUT	438.34	434.21
NO 1110	437.92	433.77	NO 1116	437.99	433.86
12" DIA. IN	437.92	433.77	12" DIA. IN	437.99	433.86
12" DIA. OUT	437.92	433.77	12" DIA. OUT	437.99	433.86
NO 1111	437.57	433.42	NO 1117	437.64	433.51
12" DIA. IN	437.57	433.42	12" DIA. IN	437.64	433.51
12" DIA. OUT	437.57	433.42	12" DIA. OUT	437.64	433.51
NO 1112	437.22	433.07	NO 1118	437.29	433.16
12" DIA. IN	437.22	433.07	12" DIA. IN	437.29	433.16
12" DIA. OUT	437.22	433.07	12" DIA. OUT	437.29	433.16
NO 1113	436.87	432.72	NO 1119	436.94	432.81
12" DIA. IN	436.87	432.72	12" DIA. IN	436.94	432.81
12" DIA. OUT	436.87	432.72	12" DIA. OUT	436.94	432.81
NO 1114	436.52	432.37	NO 1120	436.59	432.46
12" DIA. IN	436.52	432.37	12" DIA. IN	436.59	432.46
12" DIA. OUT	436.52	432.37	12" DIA. OUT	436.59	432.46
NO 1115	436.17	432.02	NO 1121	436.24	432.11
12" DIA. IN	436.17	432.02	12" DIA. IN	436.24	432.11
12" DIA. OUT	436.17	432.02	12" DIA. OUT	436.24	432.11
NO 1116	435.82	431.67	NO 1122	435.89	431.76
12" DIA. IN	435.82	431.67	12" DIA. IN	435.89	431.76
12" DIA. OUT	435.82	431.67	12" DIA. OUT	435.89	431.76
NO 1117	435.47	431.32	NO 1123	435.54	431.41
12" DIA. IN	435.47	431.32	12" DIA. IN	435.54	431.41
12" DIA. OUT	435.47	431.32	12" DIA. OUT	435.54	431.41
NO 1118	435.12	430.97	NO 1124	435.19	431.06
12" DIA. IN	435.12	430.97	12" DIA. IN	435.19	431.06
12" DIA. OUT	435.12	430.97	12" DIA. OUT	435.19	431.06
NO 1119	434.77	430.62	NO 1125	434.84	430.71
12" DIA. IN	434.77	430.62	12" DIA. IN	434.84	430.71
12" DIA. OUT	434.77	430.62	12" DIA. OUT	434.84	430.71
NO 1120	434.42	430.27	NO 1126	434.49	430.36
12" DIA. IN	434.42	430.27	12" DIA. IN	434.49	430.36
12" DIA. OUT	434.42	430.27	12" DIA. OUT	434.49	430.36
NO 1121	434.07	429.92	NO 1127	434.14	429.99
12" DIA. IN	434.07	429.92	12" DIA. IN	434.14	429.99
12" DIA. OUT	434.07	429.92	12" DIA. OUT	434.14	429.99
NO 1122	433.72	429.57	NO 1128	433.79	429.64
12" DIA. IN	433.72	429.57	12" DIA. IN	433.79	429.64
12" DIA. OUT	433.72	429.57	12" DIA. OUT	433.79	429.64
NO 1123	433.37	429.22	NO 1129	433.44	429.31
12" DIA. IN	433.37	429.22	12" DIA. IN	433.44	429.31
12" DIA. OUT	433.37	429.22	12" DIA. OUT	433.44	429.31
NO 1124	433.02	428.87	NO 1130	433.09	428.94
12" DIA. IN	433.02	428.87	12" DIA. IN	433.09	428.94
12" DIA. OUT	433.02	428.87	12" DIA. OUT	433.09	428.94
NO 1125	432.67	428.52	NO 1131	432.74	428.59
12" DIA. IN	432.67	428.52	12" DIA. IN	432.74	428.59
12" DIA. OUT	432.67	428.52	12" DIA. OUT	432.74	428.59
NO 1126	432.32	428.17	NO 1132	432.39	428.24
12" DIA. IN	432.32	428.17	12" DIA. IN	432.39	428.24
12" DIA. OUT	432.32	428.17	12" DIA. OUT	432.39	428.24
NO 1127	431.97	427.82	NO 1133	432.04	427.89
12" DIA. IN	431.97	427.82	12" DIA. IN	432.04	427.89
12" DIA. OUT	431.97	427.82	12" DIA. OUT	432.04	427.89
NO 1128	431.62	427.47	NO 1134	431.69	427.54
12" DIA. IN	431.62	427.47	12" DIA. IN	431.69	427.54
12" DIA. OUT	431.62	427.47	12" DIA. OUT	431.69	427.54
NO 1129	431.27	427.12	NO 1135	431.34	427.19
12" DIA. IN	431.27	427.12	12" DIA. IN	431.34	427.19
12" DIA. OUT	431.27	427.12	12" DIA. OUT	431.34	427.19
NO 1130	430.92	426.77	NO 1136	430.99	426.84
12" DIA. IN	430.92	426.77	12" DIA. IN	430.99	426.84
12" DIA. OUT	430.92	426.77	12" DIA. OUT	430.99	426.84
NO 1131	430.57	426.42	NO 1137	430.64	426.49
12" DIA. IN	430.57	426.42	12" DIA. IN	430.64	426.49
12" DIA. OUT	430.57	426.42	12" DIA. OUT	430.64	426.49
NO 1132	430.22	426.07	NO 1138	430.29	426.14
12" DIA. IN	430.22	426.07	12" DIA. IN	430.29	426.14
12" DIA. OUT	430.22	426.07	12" DIA. OUT	430.29	426.14
NO 1133	429.87	425.72	NO 1139	429.94	425.79
12" DIA. IN	429.87	425.72	12" DIA. IN	429.94	425.79
12" DIA. OUT	429.87	425.72	12" DIA. OUT	429.94	425.79
NO 1134	429.52	425.37	NO 1140	429.59	425.44
12" DIA. IN	429.52	425.37	12" DIA. IN	429.59	425.44
12" DIA. OUT	429.52	425.37	12" DIA. OUT	429.59	425.44
NO 1135	429.17	425.02	NO 1141	429.24	425.09
12" DIA. IN	429.17	425.02	12" DIA. IN	429.24	425.09
12" DIA. OUT	429.17	425.02	12" DIA. OUT	429.24	425.09
NO 1136	428.82	424.67	NO 1142	428.89	424.74
12" DIA. IN	428.82	424.67	12" DIA. IN	428.89	424.74
12" DIA. OUT	428.82	424.67	12" DIA. OUT	428.89	424.74
NO 1137	428.47	424.32	NO 1143	428.54	424.39
12" DIA. IN	428.47	424.32	12" DIA. IN	428.54	424.39
12" DIA. OUT	428.47	424.32	12" DIA. OUT	428.54	424.39
NO 1138	428.12	423.97	NO 1144	428.19	423.99
12" DIA. IN	428.12	423.97	12" DIA. IN	428.19	423.99
12" DIA. OUT	428.12	423.97	12" DIA. OUT	428.19	423.99
NO 1139	427.77	423.62	NO 1145	427.84	423.64
12" DIA. IN	427.77	423.62	12" DIA. IN	427.84	423.64
12" DIA. OUT	427.77	423.62	12" DIA. OUT	427.84	423.64
NO 1140	427.42	423.27	NO 1146	427.49	423.29
12" DIA. IN	427.42	423.27	12" DIA. IN	427.49	423.29
12" DIA. OUT	427.42	423.27	12" DIA. OUT	427.49	423.29
NO 1141	427.07	422.92	NO 1147	427.14	422.94
12" DIA. IN	427.07	422.92	12" DIA. IN	427.14	422.94
12" DIA. OUT	427.07	422.92	12" DIA. OUT	427.14	422.94
NO 1142	426.72	422.57	NO 1148	426.79	422.59
12" DIA. IN	426.72	422.57	12" DIA. IN	426.79	422.59
12" DIA. OUT	426.72	422.57	12" DIA. OUT	426.79	422.59
NO 1143	426.37	422.22	NO 1149	426.44	422.24
12" DIA. IN	426.37	422.22	12" DIA. IN	426.44	422.24
12" DIA. OUT	426.37	422.22	12" DIA. OUT	426.44	422.24
NO 1144	426.02	421.87	NO 1150	426.09	421.89
12" DIA. IN	426.02	421.87	12" DIA. IN	426.09	421.89
12" DIA. OUT	426.02	421.87	12" DIA. OUT	426.09	421.89
NO 1145	425.67	421.52	NO 1151	425.74	421.61
12" DIA. IN	425.67	421.52	12" DIA. IN	425.74	421.61
12" DIA. OUT	425.67	421.52	12" DIA. OUT	425.74	421.61
NO 1146	425.32	421.17	NO 1152	425.39	421.24
12" DIA. IN	425.32	421.17	12" DIA. IN	425.39	421.24
12" DIA. OUT	425.32	421.17	12" DIA. OUT	425.39	421.24
NO 1147	424.97	420.82	NO 1153	425.04	420.89
12" DIA. IN	424.97	420.82	12" DIA. IN	425.04	420.89
12" DIA. OUT	424.97	420.82	12" DIA. OUT	425.04	420.89
NO 1148	424.62	420.47	NO 1154	424.69	420.54
12" DIA. IN	424.62	420.47	12" DIA. IN	424.69	420.54
12" DIA. OUT	424.62	420.47	12" DIA. OUT	424.69	420.54
NO 1149	424.27	420.12	NO 1155	424.34	420.19
12" DIA. IN	424.27	420.12	12" DIA. IN	424.34	420.19
12" DIA. OUT	424.27	420.12	12" DIA. OUT	424.34	420.19
NO 1150	423.92	419.77	NO 1156	423.99	419.84
12" DIA. IN	423.92	419.77	12" DIA. IN	423.99	419.84
12" DIA. OUT	423.92	419.77	12" DIA. OUT	423.99	419.84
NO 1151	423.57	419.42	NO 1157	423.64	419.51
12" DIA. IN	423.57	419.42	12" DIA. IN	423.6	

February 19, 2013

Mr. Michael Koenig, Director UPFAD
Forest Conservation Branch (FVFC)
Department of Public Works and Environmental Services
Land Development Services, Urban Forest Management Division
12055 Government Center Parkway, Suite 511
Fairfax, VA 22031

Re: Westpark Plaza
Tree Preservation Target Deviation Request

Dear Mr. Koenig,

This letter is to request a deviation to the Tree Preservation Target requirements for the above referenced site. The subject property is located at 8401 Westpark Drive on the corner of Westpark Drive and Leeburg Pike (Site 7).

According to the Existing Vegetation Map, prepared by Walter L. Phillips, Inc., the property (3,310 acres) is currently covered by approximately 1.06 acres of 19.5% treebank cover. The conceptual development plan proposes to clear approximately 1.06 acres for proposed grading and construction improvements. Per the Conceptual Plan, the 10-year tree canopy goal (10% (4,310 acres) tree cover) is required for the site. This can be satisfied by tree preservation, tree planting or a combination of both. According to the numbers, the site has a tree preservation target of 1.06 acres (3,310 acres x 19.5%). Since tree preservation is assumed and no preservation target exists, a tree preservation target deviation is being requested.

The deviation is based on the following two allowable deviation conditions as outlined in the Fairfax County Public Facilities Manual (PFM). They are as follows:

- (1) 12-6598.3A(1) - where meeting the Tree Preservation Target would preclude the development of uses or densities otherwise allowed by the Zoning Ordinance; and
- (2) 12-6598.3A(2) - where constructive mitigation could be reasonably expected to impact existing trees or forest cover such to meet the Tree Preservation Target to the extent these would not likely survive in a healthy and a reasonably sound manner of a minimum of 10 years in accordance with the post-development standards for trees and forest cover specified in PFM 12-6401 and 12-6402.

The existing vegetation on shown has been planned with the development of the project site. This site will be used for all existing features. The post-development will include major sections of the existing infrastructure, the storm grids, both on and off-site, as well as a variety of other components such as building types and uses, water and sanitary treatment and water transmission improvements, building types and uses, water and sanitary treatment and water transmission improvements. Mitigation measures of the existing vegetation on the referenced site has been planned with the overall development of the property. Mitigation in some way of these trees would adversely impact development potential as envisioned by the Comprehensive Plan/FZC District and would result in unnecessary and unnecessary hardship on the developer. For this reason, some of the existing trees and shrubs proposed to be removed are in fair condition, displaying healthy and/or structural conditions that could be hazardous to life or property, including including trees, landscape aesthetic benefits, shading, etc. For Sections 12-6401.3-4, trees that do not meet post-development standards for structural integrity and health shall not be afforded tree canopy cover credits and shall be subject to removal.

In addition, proposed grading and construction requirements (roads, structures, utility infrastructure, etc.) will significantly impact existing trees and shrubs and shall be avoided to the maximum extent possible. Proposed construction will cause direct physical damage to most systems and above ground portions of trees that would result in or contribute to the structural failure and health problems. For PFM Section 12-6401.3B, trees determined to be dead, declining, hazardous or a nuisance from their location or impact from construction or environmental stresses existing from construction shall be subject to removal.

The basis for this deviation is warranted as a result of the site engineering necessary within this portion of the Tysons Corner Urban Center redevelopment. The Tree Preservation Target requirements cannot be fulfilled with this development. Therefore, it is requested that UPFAD deem the tree preservation requirement shall be waived satisfied with the obtaining of the 10-year tree canopy requirement that shall be planned with the redevelopment. Please refer to the project landscape plan.

Thank you for your assistance and cooperation in this matter. Please contact me at 703-532-6163 if you should have any questions regarding this matter.

Sincerely,



John L. Oremark, R.I.A., A.S.I.A.
Landscape Architect/ISA Certified Arborist MA-47284

(75-534)
(DKCew)

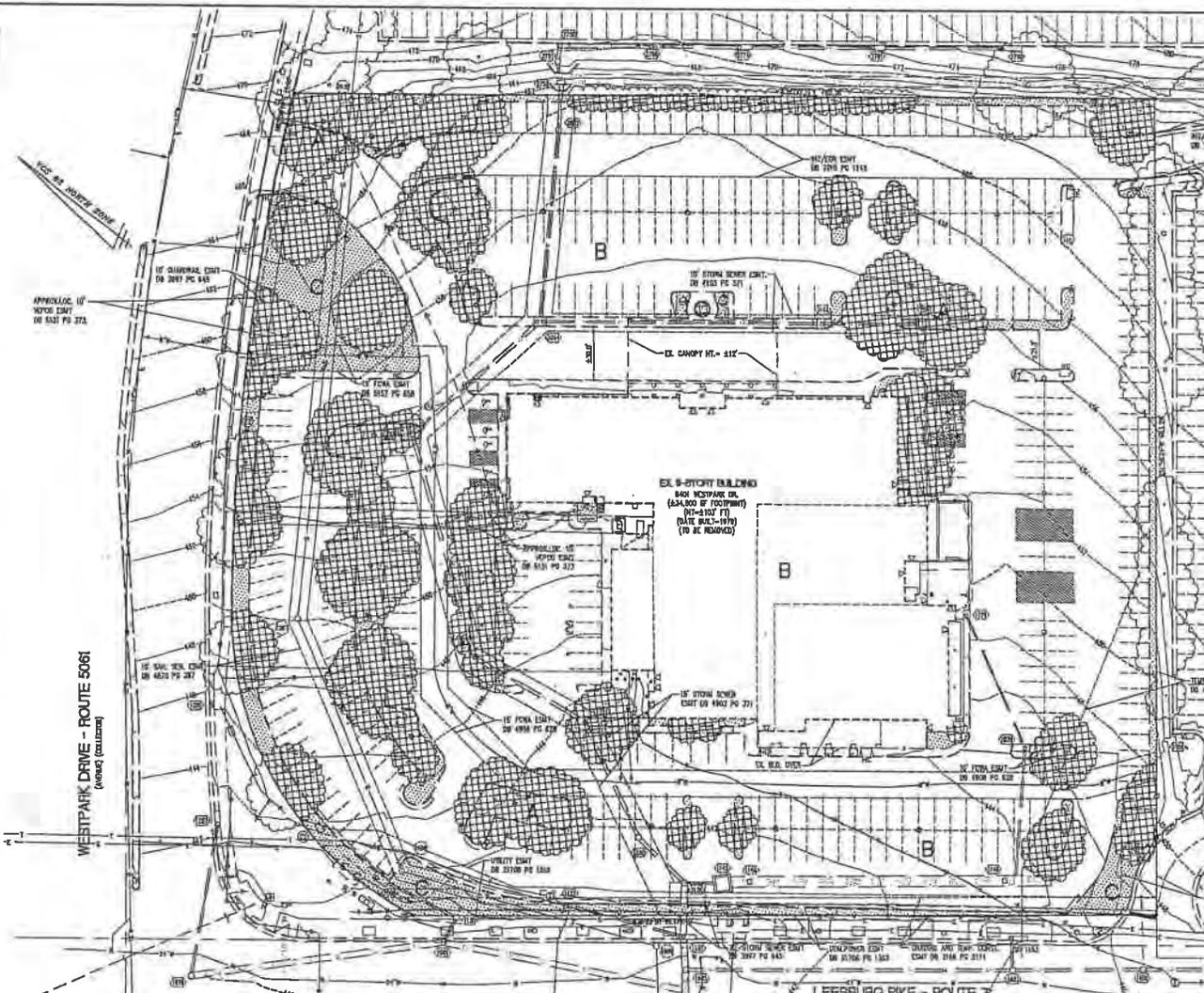


TABLE 12.3
TABLE 12.3 TREE PRESERVATION TARGET CALCULATIONS AND STATEMENT

- PRE-DEVELOPMENT AREA OF EXISTING TREE CANOPY BYRON BYRD 46,020 SF
- PERCENTAGE OF GROSS SITE AREA COVERED BY EXISTING TREE CANOPY 20%
- PERCENTAGE OF 10-YEAR TREE CANOPY REQUIRED FOR SITE (TARGET = 25,000 SF) (TOTAL SITE AREA = 250,000 SF X .10) 10%
- PERCENTAGE OF 10-YEAR TREE CANOPY REQUIREMENT THAT SHOULD BE MET THROUGH TREE PRESERVATION (10 x .20) 20% = 4,000 SF
- PROPOSED PERCENTAGE OF CANOPY REQUIREMENT THAT WILL BE MET THROUGH TREE PRESERVATION 0% (0 x .20) 0%
- HAS THE TREE PRESERVATION TARGET MINIMUM BEEN MET? No

EXISTING VEGETATION MAP INFORMATION

KEY	COVER TYPE	PRIMARY SPECIES	SUCCESSIONAL STAGE	CONDITION	ACREAGE
A	LANDSCAPED TREE CANOPY	PI, OAK, RED MAPLE, WHITE PINE, HODGKINSON	N/A	FAIR	46,020 SF 1,058 AC
B	DEVELOPED LAND	BUILDINGS, PARKING AREAS, WALKS, ETC.	N/A	N/A	178,508 SF 4,060 AC
C	MATURED EASEMENTS	LANDSCAPED AREAS	N/A	N/A	11,308 SF 0,259 AC
TOTAL SITE AREA:					333,836 SF 7,646 AC

CURVE TABLE

GRADE	FINISH	LENGTH	RADIUS	TANGENT	CHORD	CHORD BEARING
01	143.26	316.12	13307.07	14.74	144.52	01721.074
02	126.07	316.27	1231.57	115.87	184.27	10427.117



EXISTING VEGETATION MAP
WESTPARK PLAZA
FINAL DEVELOPMENT PLAN
PROVIDENCE DISTRICT
FAIRFAX COUNTY, VIRGINIA

Engineers • Surveyors • Planners
Architects • Architects

WALTER L. PHILLIPS

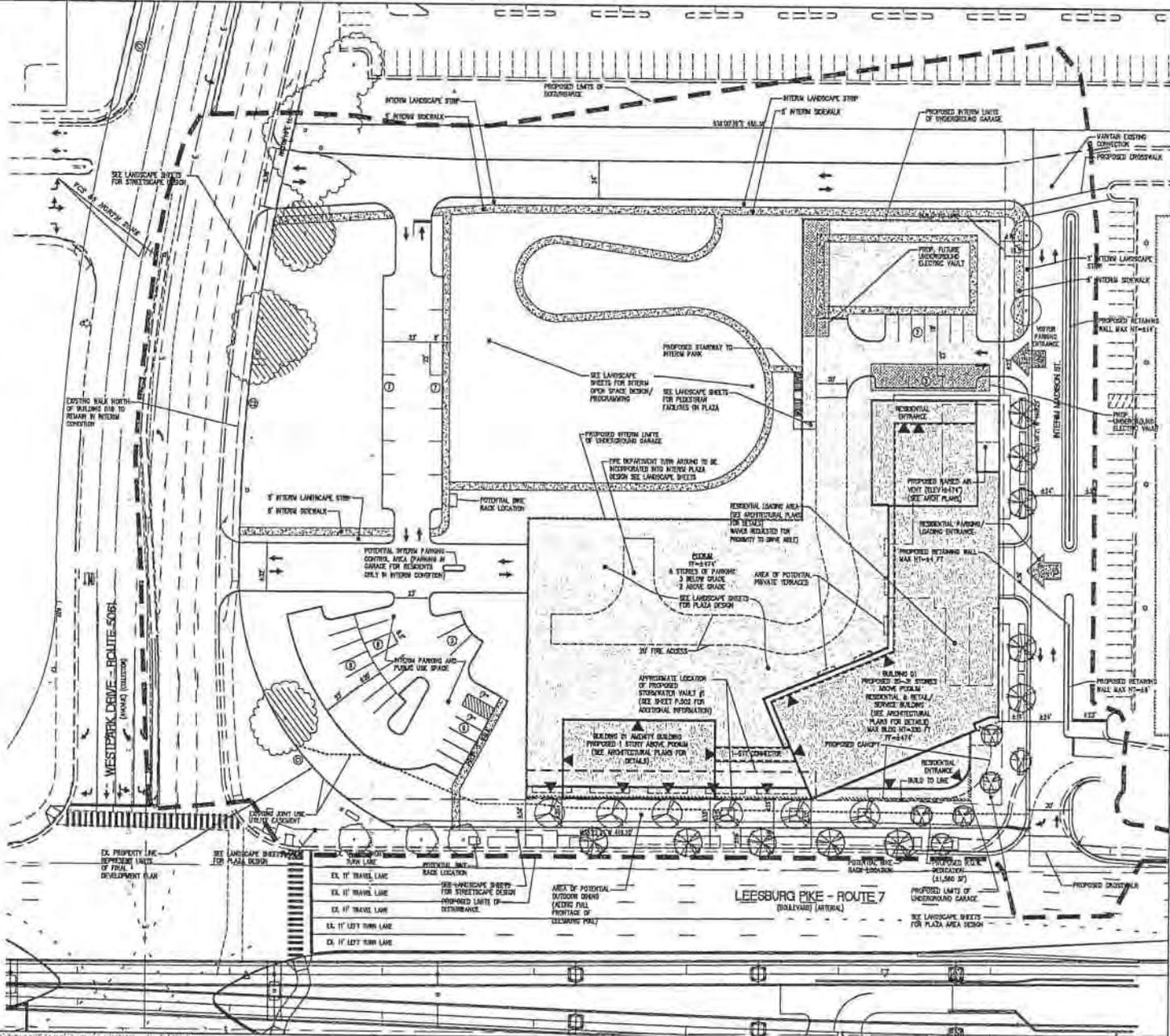
12055 GOVERNMENT CENTER PARKWAY, SUITE 511
FAIRFAX COUNTY, VIRGINIA 22031
TEL: 703.532.6163 FAX: 703.532.1031
WWW.WLPINC.COM

DATE: 02/19/13
SCALE: AS SHOWN

NO.	DESCRIPTION	DATE	BY	APPROVED BY	DATE

PROPOSED	LEGEND	EXISTING
	CURB & GUTTER	
	TRANSITION FROM 24 TO 36	
	SANITARY SEWER	
	SANITARY LATERAL	
	CLEAR CURB	
	STORM SEWER	
	WATER MAIN	
	FIRE HYDRANT	
	OVERHEAD WATER	
	UTILITY POLE	
	UNDERGROUND ELECTRIC	
	TELEPHONE	
	GAS MAIN	
	ELECTRICAL	
	TRANSFORMER	
	HANDICAP RAMP (CO-12)	
	GUARDRAIL	
	FENCE	
	TRAFFIC FLOW	
	LIGHT	
	DOOR	
	TREES	
	CONTOURS	
	SPOT ELEVATION	
	DRAINAGE FLOW DIRECTION	
	TOP OF CURB	
	BOTTOM OF CURB	
	TOP OF WALL	
	BOTTOM OF WALL	
	HIGH POINT	
	LIMITS OF CLEARING AND GRADING	
	POTENTIAL TREE PRESERVATION	

CURVE	RADIUS	LENGTH	DELTA	TANGENT	CHORD	CHORD BEARING
CS	120.00'	395.00'	153.00°	114.77'	101.88'	305.00° 00' 00"
CL	120.00'	395.00'	153.00°	114.77'	101.88'	305.00° 00' 00"



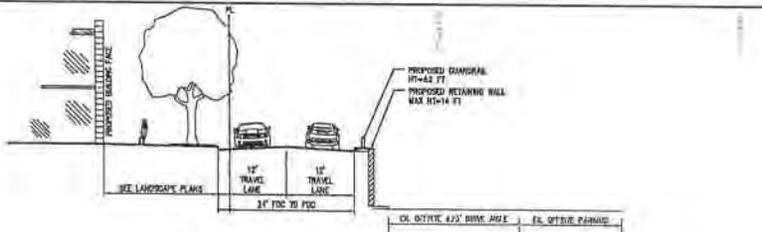
FINAL DEVELOPMENT PLAN
WESTPARK PLAZA
 FINAL DEVELOPMENT PLAN
 PROVIDENCE DISTRICT
 FAIRFAX COUNTY, VIRGINIA

Engineer: **WALTER L. PHILLIPS**
 Landscape Architect: **PHILLIPS**
 207 PARK AVENUE
 FALLS CHURCH, VIRGINIA, 22048
 (703) 532-8188 Fax: (703) 532-1202
 www.WLPINC.com

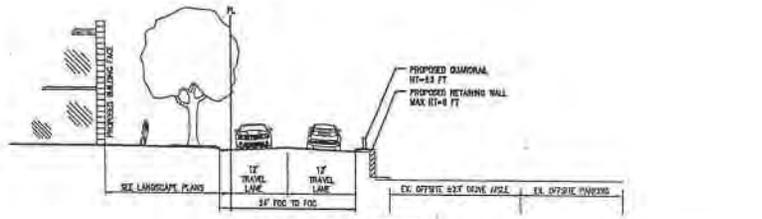
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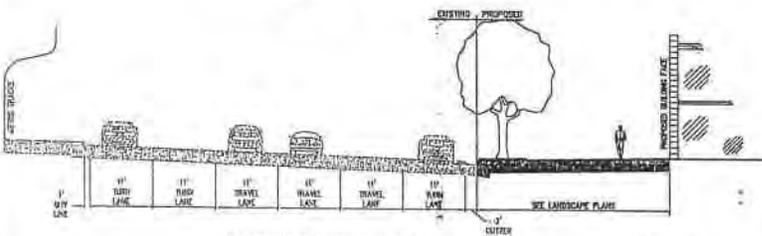
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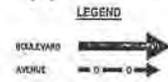
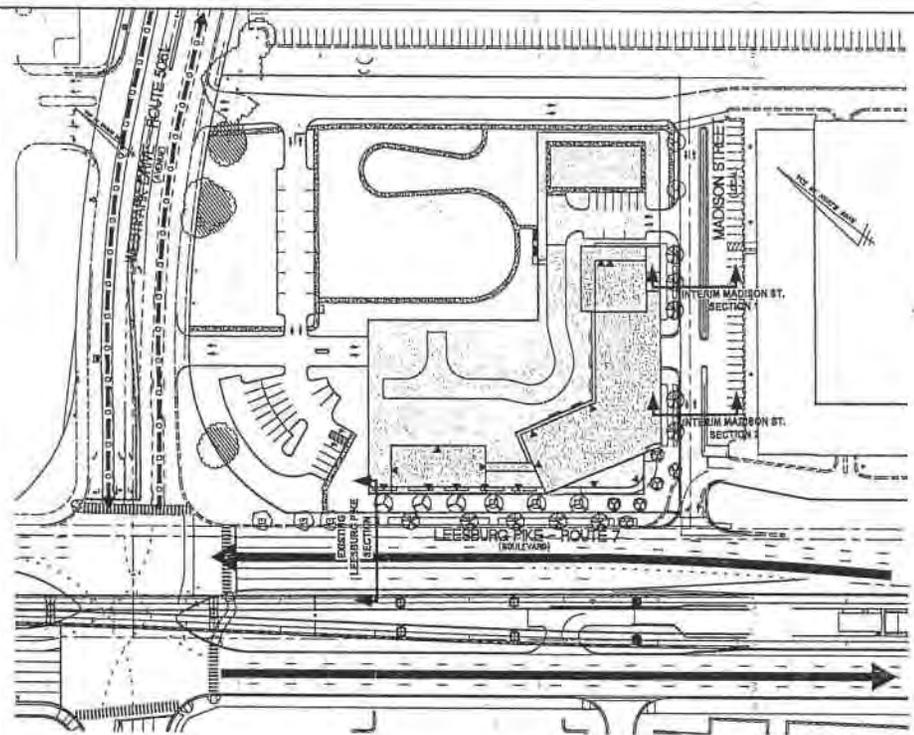
INTERIM MADISON STREET
LOCAL (PUBLIC) - SECTION 1
SCALE: 1" = 10'



INTERIM MADISON STREET
LOCAL (PUBLIC) - SECTION 2
SCALE: 1" = 10'



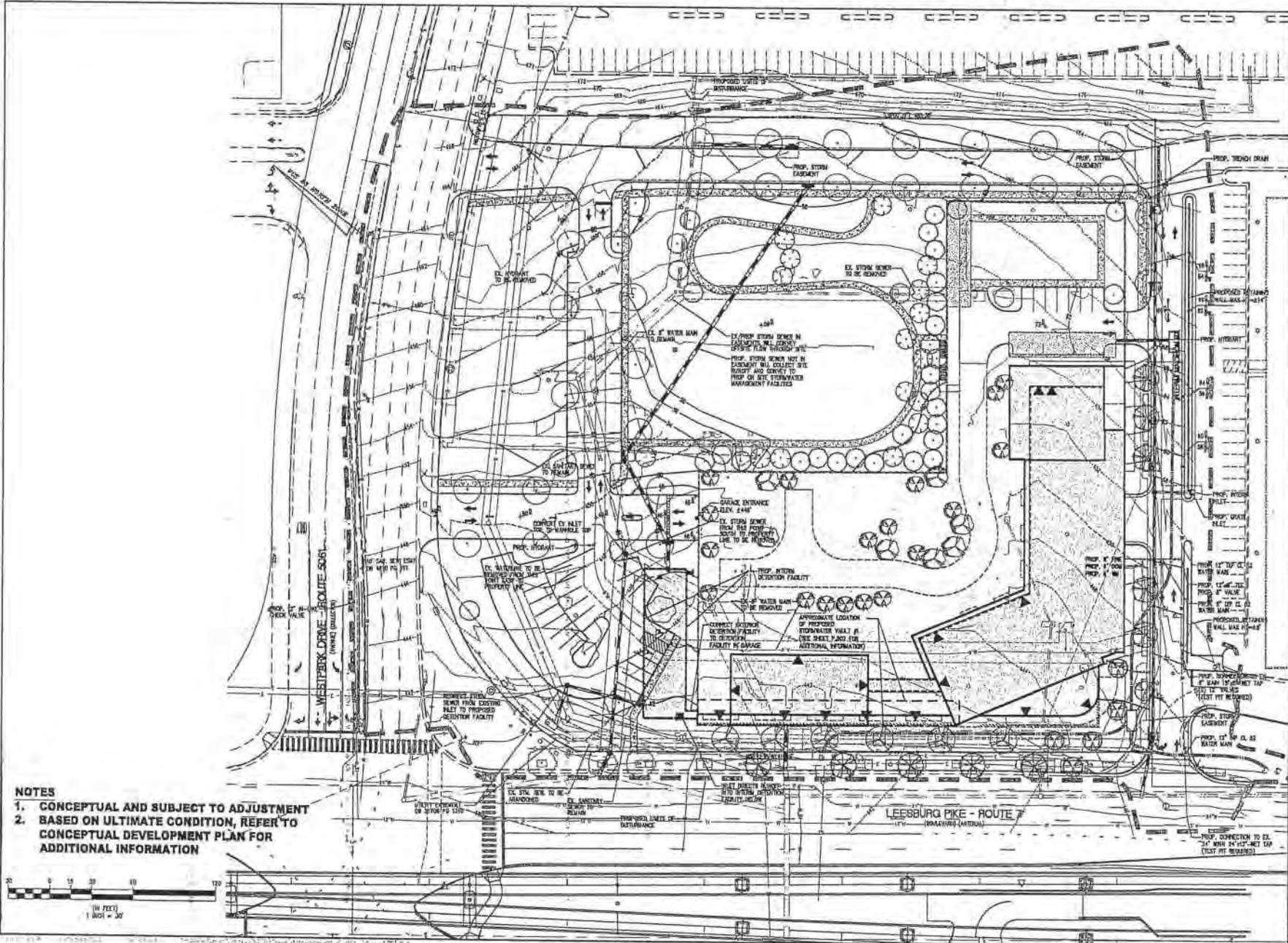
LEESBURG PIKE ROUTE 7
BOULEVARD (PUBLIC)
SCALE: 1" = 10'



WALTER L. PHILLIPS
 Engineers • Surveyors • Planners
 Architects • Urban Designers
 201 PARK AVENUE
 FALLS CHURCH, VIRGINIA 22046
 (703) 532-4100 Fax (703) 532-1301
 www.WLPDC.com
 DATE: 04/24/12
 DRAWN: JMM
 CHECKED: JMM

NO.	DESCRIPTION	SECTION APPROVED BY		DATE
		DATE	APPROVED	

TRAFFIC CIRCULATION PLAN
WESTPARK PLAZA
 FINAL DEVELOPMENT PLAN
 PROVIDENCE DISTRICT
 FAIRFAX COUNTY, VIRGINIA



- NOTES**
1. CONCEPTUAL AND SUBJECT TO ADJUSTMENT
 2. BASED ON ULTIMATE CONDITION, REFER TO CONCEPTUAL DEVELOPMENT PLAN FOR ADDITIONAL INFORMATION



CONCEPTUAL GRADING AND UTILITY PLAN

WESTPARK PLAZA
FINAL DEVELOPMENT PLAN
PROVIDENCE DISTRICT
FAIRFAX COUNTY, VIRGINIA

ENGINEERS - SURVEYORS - PLANNERS
WALTER L. PHILLIPS
 207 PARK AVENUE
 FALLS CHURCH, VIRGINIA 22048
 (703) 832-9121 Fax (703) 832-1507
 www.WLPHILLIPS.com
 DATE: 07/20/10
 DRAWN: P-03
 CHECKED: J-01

NO.	DESCRIPTION	DATE	BY	APPROVED	DATE

GENERAL INFORMATION - STORMWATER NARRATIVES:

THE SUBJECT SITE OF THIS APPLICATION IS THE EXISTING WEST WYVERN PROPERTY AT THE INTERSECTION OF LEEDRUMS PIKE AND WESTWYN DRIVE.

EXISTING CONDITIONS:
THE STORMWATER QUANTITY REQUIREMENT FOR THE EXISTING SITE IS CURRENTLY PROVIDED BY AN EXISTING UNDERGROUND GRAVEL DETENTION STORAGE FACILITY. THIS SITE IS SUBJECT TO A STATE REGIONAL FLOOD ZONING MAP. HOWEVER, THAT FLOOD ZONING MAP WAS DEVELOPED BEFORE THE ORIGINAL DEVELOPMENT OF THIS PROPERTY. THEREFORE, NO DETENTION OR BMP CREDIT HAS BEEN TAKEN FOR THE OFFSITE FLOOD. THE NARRATIVE AND COMPUTATIONS IN THIS PLAN REFLECT THIS.

PROPOSED CONDITIONS:
THIS PFM COVERS THE DEVELOPMENT OF PHASE 1 OF THE PROJECT. THE EXISTING DETENTION FACILITY WILL BE REMOVED AND NEW STORMWATER MANAGEMENT AND BMP MEASURES WILL BE PROVIDED TO COMPLY WITH THE COUNTY PFM REGULATIONS.

DESIGNALLY: THE POTENTIAL STORMWATER CONTROL MEASURES THAT MAY BE CONSTRUCTED WITH PHASE 1 INCLUDE VEGETATED ROOFS, RAINFOREST HARVESTING, AND DETENTION VENTS.

THE EXISTING DETENTION FACILITY WILL BE REPLACED WITH PROPOSED CISTERN / DETENTION VAULTS. THE ALLOWABLE PEAK RATE OF RUNOFF COMPUTATIONS FOR THE DESIGN OF THE CISTERN / DETENTION VAULTS WILL ACCOUNT FOR THE EXISTING DETENTION FOR THOSE INSTANCES WHERE THE MAXIMUM ALLOWABLE PROPOSED PEAK RUNOFF RATE IS BASED ON THE EXISTING PEAK RUNOFF RATE. HOWEVER, THE EXISTING DETENTION FACILITY IS IGNORED FOR THE ESTIMATE OF EXISTING VOLUME OF SITE RUNOFF.

WHILE STORMWATER MANAGEMENT DESIGN AND COMPUTATIONS PROVIDED ON THIS PLAN DO NOT ACCOUNT FOR ANY CREDIT FROM THE OFFSITE FLOOD, APPLICANT RESERVES THE RIGHT TO TAKE WATER QUANTITY (DETENTION) AND WATER QUALITY (BMP) CREDIT FOR THE OFFSITE FLOOD AT THE TIME OF SITE PLAN.

SWM REGULATIONS:
AT THIS TIME IT IS ASSUMED THAT THE PROJECT PLAN WILL NOT BE COMPLETED IN TIME TO HAVE THE CURRENT STORMWATER REGULATIONS APPLY TO THE DEVELOPMENT, AND THEREFORE IT IS ANTICIPATED THAT THE NEW FAIRFAX COUNTY STORMWATER REGULATIONS WILL APPLY. WITH THAT SAID, SHOULD THE NEW SWM REGULATIONS NOT APPLY, THE APPLICANT RESERVES THE RIGHT TO CONSTRUCT THE PROJECT UNDER THE CURRENT STORMWATER MANAGEMENT AND BMP REGULATIONS WITHOUT THE NEED TO AMEND THIS APPLICATION. IF IT IS ALSO UNDERSTOOD THAT THESE NEW REGULATIONS ARE SUBJECT TO CHANGE WITH FINAL APPROVAL BY THE VIRGINIA DEQ AS SUCH, THE STORMWATER MANAGEMENT AND BMP MEASURES WILL BE REVISED AS NECESSARY TO COMPLY WITH THE FINAL STORMWATER REGULATIONS ONCE APPROVED BY THE DEQ. WITHOUT THE NEED TO AMEND THIS APPLICATION.

DESIGNATION:
THE MEANS OF ACHIEVING THE COUNTY'S STORMWATER REQUIREMENTS IN THE PFM SHOWN IN THIS APPLICATION ARE SUBJECT TO CHANGE WITH THE PROJECT'S SITE PLAN AS APPROVED BY THE COUNTY OFFICE. THE DEVELOPMENT PROJECT WILL ACHIEVE THE COUNTY'S STORMWATER REQUIREMENTS THROUGH A COMBINATION OF LID TECHNIQUES. HOWEVER, THE COMPUTATIONS AND DETAILS ARE SUBJECT TO CHANGE TO THE LAYOUT, LOCATION AND TYPES OF LID FACILITIES.

WHILE THE STORMWATER SCHEMATA CONTAINED IN THE COMPREHENSIVE PLAN WILL APPLY TO THE PLANNED ULTIMATE CONSTRUCTION, THEY ARE NOT APPLICABLE TO THE INTERIM CONDITION COVERED BY THIS PFM. ALSO, THE AMOUNT OF STORMWATER DETENTION AND WATER QUALITY CONTROL NECESSARY TO COMPLY WITH THE COMPREHENSIVE PLAN GOALS AND THE PFM REQUIREMENTS ARE LARGELY DEPENDENT ON THE RELATIVE CHANGE IN THE IMPERVIOUSNESS OF THE SITE FROM PRE TO POST DEVELOPMENT CONDITIONS. THE FACT THAT THE PROJECT WOULD BE CONSTRUCTED IN TWO PHASES DOES NOT ALTER THE AMOUNT OF STORMWATER MANAGEMENT THAT WILL BE REQUIRED TO CONSTRUCT THE ULTIMATE DEVELOPMENT. THIS PFM SHOWS STORMWATER REQUIREMENTS BASED ON THE CHANGE IN SITE IMPERVIOUSNESS BETWEEN THE CURRENT PRE-DEVELOPMENT CONDITION AND THE PLANNED PHASE 1 CONDITION. THE REQUIREMENTS FOR THE ULTIMATE PROJECT THAT ARE CURRENTLY ANTICIPATED TO BE COMPLETED IN A PHASE 2 OF CONSTRUCTION ARE OBSERVED ON THE SCOPES OF THIS PFM WILL BE BASED ON THE CHANGE IN IMPERVIOUSNESS BETWEEN THE CURRENT PRE-DEVELOPMENT CONDITION AND THE ULTIMATE CONDITION RATHER THAN BETWEEN THE PHASE 1 AND PHASE 2 CONDITIONS.

STANDARD PFM SWM NARRATIVE:
REQUIREMENTS:
IN ACCORDANCE WITH THE NEW COUNTY REQUIREMENTS, THE POST-DEVELOPMENT PEAK RATE OF RUNOFF FROM THE 1-YEAR STORM MUST BE REDUCED BELOW THE PRE-DEVELOPMENT PEAK RATE BASED ON AN ENERGY BALANCE EQUATION THAT CONSIDERS BOTH PEAK RATE AND VOLUME OF RUNOFF AND WHERE PARTICULARS DEPEND ON THE ACCURACY OF THE SITE'S OUTFALL. THE NEW COUNTY STORMWATER REGULATIONS ALSO REQUIRE THAT THE PEAK RUNOFF RATES FROM THE 2 AND 10-YEAR STORM EVENTS SHALL NOT EXCEED THE SITE'S PRE-DEVELOPMENT PEAK RATES WHICH ARE BASED ON A SITE C FACTOR OF 0.38 DUE TO THE SITE'S EXISTING DETENTION FACILITY.

COMPLIANCE:
DUE TO A DECREASE IN THE AMOUNT OF IMPERVIOUS AREA, THE PROPOSED PHASE 1 CONDITIONS WILL RESULT IN A DECREASE IN THE PEAK RATE OF RUNOFF AS COMPARED TO THE EXISTING CONDITION BEFORE STORMWATER DETENTION. HOWEVER, STORMWATER DETENTION IS REQUIRED TO REPLACE THE EXISTING DETENTION RUNOFF FROM THE ROOF AREAS AND INTERIOR COURTYARD/PARKING DECK WILL BE DIRECTED TO A CISTERN AND REQUIRED IN OCCASION TOWARDS ADDITIONAL STORMWATER DETENTION WILL BE PROVIDED IN DETENTION VAULTS. THIS APPLICATION REQUESTS A WAIVER OF THE PFM RESTRICTION AGAINST THE USE OF DETENTION VAULTS FOR RESIDENTIAL DEVELOPMENTS.

STANDARD PFM BMP NARRATIVE:
REQUIREMENTS:
THE SITE EXCEEDS ONE ACRE AND WILL SEE A DECREASE IN THE AMOUNT OF IMPERVIOUS AREA COMPARED TO THE EXISTING CONDITION. THEREFORE, UNDER THE PROPOSED NEW REGULATIONS THE PROPOSED PROJECT MUST BE AT LEAST 20% LESS THAN UNDER THE EXISTING CONDITION UNDER THE CURRENT REGULATIONS. THE PROPOSED PROJECT WOULD BE CONSIDERED REDEVELOPMENT FOR BMP PLANNING. THEREFORE, THE BMP REQUIREMENT WOULD BE A MINIMAL REDUCTION OF 4% IN THE SITE'S HYDROLOGICAL LOAD COMPARED TO EXISTING CONDITIONS.

THE PRELIMINARY BMP COMPUTATION USING THE VIRGINIA RUNOFF REDUCTION APPROACH REQUIRED BY THE NEW REGULATIONS ARE SHOWN ON SHEET P-005. THESE BMP MEASURES WILL BE DESIGNED AND CONSTRUCTED IN ACCORDANCE WITH THE VIRGINIA BMP DEVELOPMENT SPECIFICATIONS AS APPROVED AND SUPPLEMENTED BY THE FAIRFAX COUNTY PFM. THE NUMBER, LOCATION AND DESIGN OF THE BMP FACILITIES MAY BE ALTERED AT THE TIME OF SITE PLAN FINISHING PLAN DESIGN.

COMPLIANCE:
THE PROJECT'S BMP REQUIREMENT WILL BE FULFILLED THROUGH VARIOUS LID MEASURES THAT MAY INCLUDE, BUT NOT LIMITED TO, VEGETATED ROOFS AND RAINFOREST HARVESTING.

DRAINAGE AREA SUMMARY

SITE AREA			
Pre-Development			
Area (Acres)	5.37		
Hydrologic Soil Group *	79 For C ₁ comp.		
Runoff Curve Number (CN)	73 For C ₂ comp.		
	83 For C ₃ comp.		
Post-Development			
Area of Vegetated Roofs on Buildings and Plaza	Acres	%	
Impervious Area (Decks, walks, pavement)	2.89	53.8	
Landscaped/Turf Areas	1.80	33.4	
	Total	5.37	100.0
Adjusted CN **			
1-Year Storm	87		
2-Year Storm	89		
10-Year Storm	88		

* The 2011 County soil map lists the site's soil as number 85 - Urban Land which lacks a specific HSG. However, the site's soils have been mapped and the results indicate a mixture of about 26% HSG B and 74% HSG D soils.

** Composite post-development runoff curve numbers computed using RCN for vegetated roofs listed in the DEQ specifications found on the DEQ BMP Clearinghouse. The adjusted RCN do not account for the effect of the infiltration benefiting on runoff volume.

NOTE: INFORMATION SHOWN ON THIS SHEET IS CONCEPTUAL AND SUBJECT TO CHANGE WITH FINAL DESIGN

CISTERN / DETENTION ROUTING - 1 YR STORM

Hydrograph Report

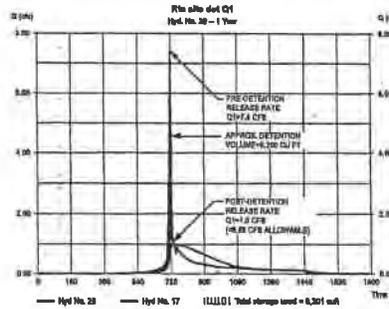
Hydrologic Information by Hydrologic 08.12 Issued: Mar 15, 2014

Hyd. No. 29
Run off det Q1

Hydrograph type = Reservoir
Storm frequency = 1 yrs
Time interval = 1 min
Inflow hyd. No. = 17 - Total post-dev to detention Q1
Reservoir name = detention vault

Peak discharge = 1,008 cfs
Time to peak = 731 min
Hyd. volume = 18,775 cu ft
Max. Elevation = 101.97 ft
Max. Storage = 8,201 cu ft

Source: Information not used.



CISTERN / DETENTION ROUTING - 2 YR STORM

Hydrograph Report

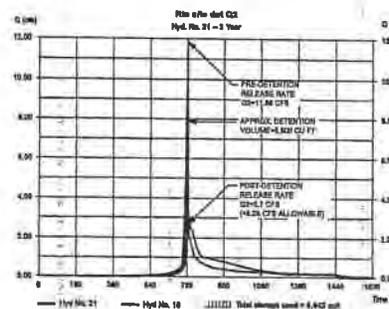
Hydrologic Information by Hydrologic 08.12 Issued: Mar 15, 2014

Hyd. No. 21
Run off det Q2

Hydrograph type = Reservoir
Storm frequency = 2 yrs
Time interval = 1 min
Inflow hyd. No. = 18 - Total post-dev to detention Q2
Reservoir name = detention vault

Peak discharge = 2,878 cfs
Time to peak = 728 min
Hyd. volume = 26,307 cu ft
Max. Elevation = 102.84 ft
Max. Storage = 9,342 cu ft

Source: Information not used.



PEAK RUNOFF RATE COMPUTATIONS

Pre-Development:	Site Area (Ac)	Composite Site Runoff CN	Time of Concentration	Q ₁ (cfs)	Q ₂ (cfs)	Q ₁₀ (cfs)
	5.37	79 For C ₁ comp.	10 Min.	6.99	8.28	12.84
		73 For C ₂ comp.				
		83 For C ₃ comp.				
ENTIRE SITE (To comply with PFM)						
				8.37		
				78 For C ₁ comp.		
				73 For C ₂ comp.		
				83 For C ₃ comp.		
Post-Development:						
		1-Year	87			
		2-Year	88			
		10-Year	88			
		Time of Concentration	6 Min.			
		Site Area (Ac)	5.37			
Q ₁ (cfs) Without detention or rainwater harvesting: 14.82						
Q ₁ (cfs) Allowable determined by energy balance equation per det. PFM: 4.00						
Q ₂ (cfs) Without detention or rainwater harvesting: 18.47						
Q ₂ (cfs) Allowable per PFM or LEED: 8.28						
Q ₁₀ (cfs) Without detention or rainwater harvesting: 36.20						
Q ₁₀ (cfs) Allowable as existing Q ₁₀ : 12.84						

* CN, time of concentration and Q₁ for pre-development estimated on the basis of replicating the existing conditions with stormwater detention.

The peak flow Q values computed using Hydroflow software and the NRCS TR-55 method and a 24-Hr Storm.

The peak flow rates for the 1, 2 and 10 year storms will be reduced to less than allowable rates through the use of rainwater harvesting and stormwater detention vaults.

Note: Stormwater detention vaults will be utilized to supplement the proposed runoff reduction measures to reduce the site's peak runoff rates post-development to less than the allowable rates shown above. The detention routing hydrographs are shown on this sheet.

CISTERN / DETENTION ROUTING - 10 YR STORM

Hydrograph Report

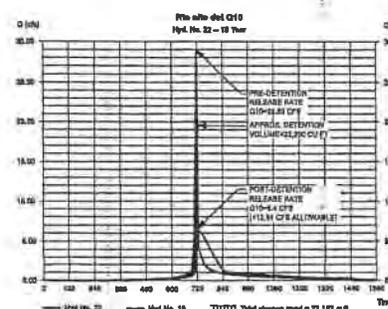
Hydrologic Information by Hydrologic 08.12 Issued: Mar 15, 2014

Hyd. No. 22
Run off det Q10

Hydrograph type = Reservoir
Storm frequency = 10 yrs
Time interval = 1 min
Inflow hyd. No. = 19 - Total post-dev to detention Q10
Reservoir name = detention vault

Peak discharge = 8,209 cfs
Time to peak = 728 min
Hyd. volume = 96,760 cu ft
Max. Elevation = 107.04 ft
Max. Storage = 22,182 cu ft

Source: Information not used.



SWM NARRATIVES, COMPUTATIONS AND DETENTION ROUTING HYDROGRAPHS
WESTPARK PLAZA
FINAL DEVELOPMENT PLAN
 PROVIDENCE DISTRICT
 FAIRFAX COUNTY, VIRGINIA

Engineers • Surveyors • Planners
Landscape Architects • Arborists
207 PARK AVENUE
FALLS CHURCH, VIRGINIA 22046
(703) 835-1500
www.WALPHINC.com

WALTER L. PHILLIPS
INCORPORATED
SCALE: AS SHOWN
DATE: 03/15/14
DATE: 03/15/14

NO.	DESCRIPTION	DATE	APPROVED

WESTPARK PLAZA TYSONS DESIGN STANDARDS WAIVER/EXCEPTION KEY

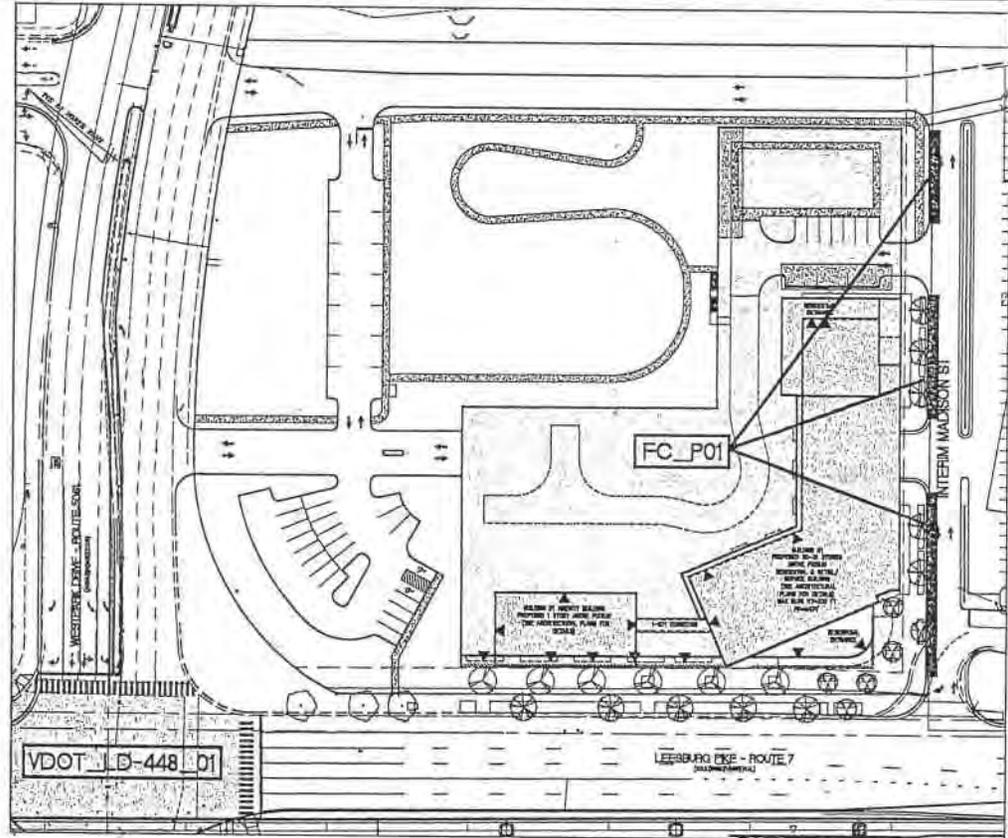


TARGET LOS NOT MET



REQUIRED ON-STREET PARKING NOT PROVIDED

CLASSIFICATION	LOW SPEED BOULEVARD	Lansburg Pike (Route 7)	LOCAL	Interim Median Street
CRITERIA				
Raised/Landscaped Median (Table 6, DS-15)	Required (16'-20')	✓	N/A	✓
Circulator Route (Table 13, DS-6)	N/A	N/A	N/A	✓
On-Street Parking (Table 5, DS-13) ¹	Restricted	✓	Required (7'-8')	Need Waiver (FC_PD1)
Target LOS (Table 2, DS-5)	D/E ¹	Need Waiver (VDOT LD-448_01)	E	✓
# of Through Lanes (Table 3, DS-10)	4-8 lanes	✓	2 lanes	✓
Design Speed (Table 3, DS-10)	40 mph	✓	25 mph	✓
Operating Speed (Table 3, DS-10)	35 mph	✓	25 mph	✓
Operational Analysis (Table 4, DS-11)	Required	✓	N/A	✓
Signal Spacing (Table 4, DS-11)	Operational Analysis Req'd ²	N/A	325'-660'	✓
Unsignalized, Full Access Spacing (Table 4, DS-11)	Operational Analysis Req'd ²	N/A	100'-660'	N/A
Unsignalized, Partial Access Spacing (Table 4, DS-11)	325'-660'	✓	N/A	N/A
Driveway Spacing (Table 4, DS-11)	Restricted	N/A	50'	✓
Lane Width (Table 5, DS-13)	11'	✓	10'	✓
Streetscape Zone Width (Table 14, DS-22)	33' = 15' Building zone 10' sidewalk 8' landscaping panel	✓	16'-24' = 4'-12' Building zone 6' sidewalk 6' landscaping panel	✓
Sight Distance (Table 12, DS-23)	385' (305' SSD)	✓	155'	✓
Bike Lane (Table 15, DS-29)	N/A	N/A	N/A	✓



SUPPLEMENTAL TRANSPORTATION NOTES:

- THESE NOTES CORRESPOND TO FOOTNOTES IN TRANSPORTATION MATRIX, THIS SHEET.
- VDOT DISTRICT ADMINISTRATOR MAY ACCEPT LOWER LEVELS OF SERVICE, PENDING RESULTS OF OPERATIONAL ANALYSIS.
 - INTERSECTION AND ENTRANCE SPACING MUST BE DEMONSTRATED THROUGH AN OPERATIONAL ANALYSIS. IN THIS CASE 800 FEET TO 1,250 FEET IS RECOMMENDED SPACING.
 - THE NEED FOR THIS REQUIREMENT IS EVALUATED ON A CASE-BY-CASE BASIS.
 - LANE WIDTH WILL BE 10' FOR STREETS RESIDENTIAL IN CHARACTER, 11' FOR STREETS MORE COMMERCIAL IN NATURE.
 - NEW SIGNALIZED INTERSECTIONS ON COLLECTORS/AVENUES WITHIN 800 FEET OF LOW SPEED BOULEVARDS NEED OPERATIONAL ANALYSIS.
 - BIKE LANE WIDTHS VARY DEPENDING ON LOCATION RELATIVE TO CURBS AND CURBSIDE PARKING.
 - ON CIRCULATOR ROUTES MEDIANS SHOULD BE 24'-36' ON AVENUES AND COLLECTORS.
 - PARKING MAY BE RESTRICTED IN THE VICINITY OF CIRCULATOR ROUTES.



SUPPLEMENTAL TRANSPORTATION PLAN

WESTPARK PLAZA
FINAL DEVELOPMENT PLAN
PROVIDENCE DISTRICT
FAIRFAX COUNTY, VIRGINIA

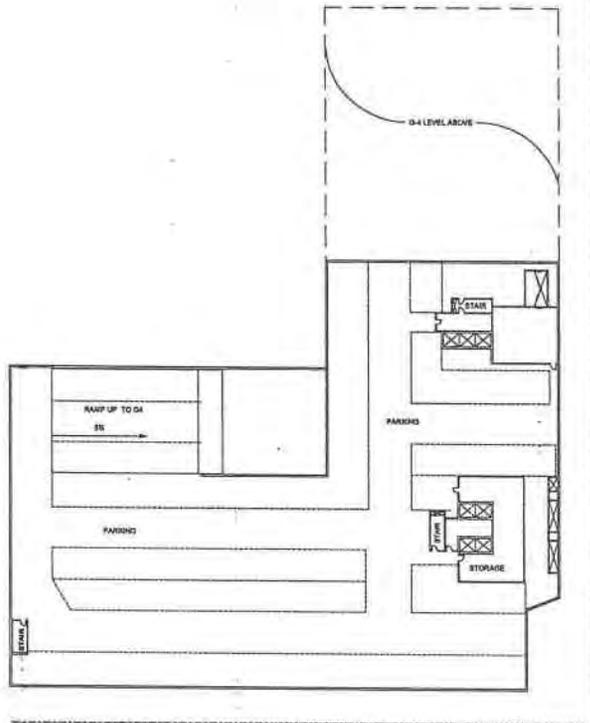
Engineers • Surveyors • Planners
Landscape Architects • Archeologists
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(703) 532-0100 Fax (703) 533-1501
www.WLPINC.com

WALTER L. PHILLIPS
INCORPORATED
SCALE: 1"=30'

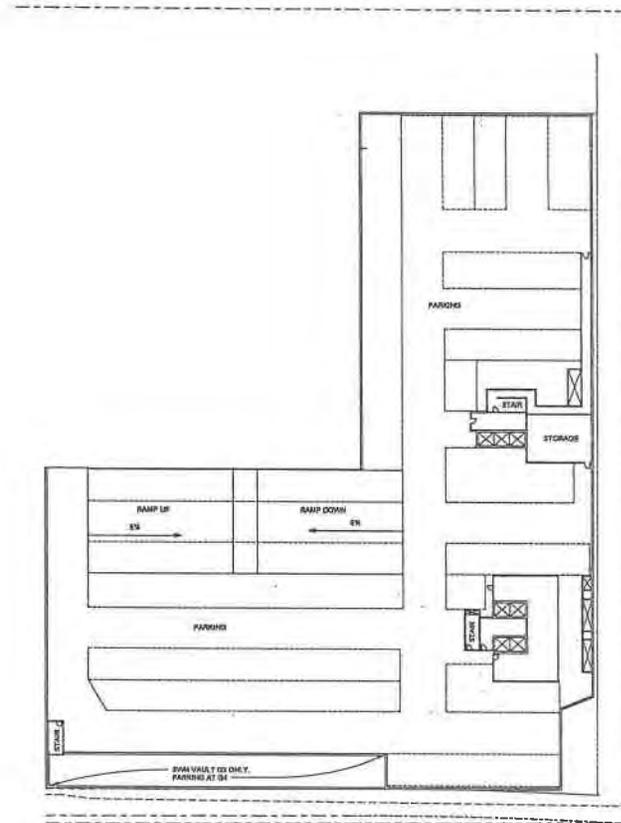
REVISION APPROVED BY:

NO.	DESCRIPTION	DATE	BY	APPROVED	DATE

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CHECKED: JAV



① G-3 FDP
1/32" = 1'-0"



① G-3 LEVEL (G4 SIMILAR) FDP
1/32" = 1'-0"

GENERAL NOTES:

1. ALL GRADES ARE APPROXIMATE AND MAY CHANGE DURING FINAL ENGINEERING.
2. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
3. BELOW GRADE PARKING MAY EXTEND INTO THE BUILDING ZONE.
4. THE NUMBER OF BELOW GRADE PARKING LEVELS MAY VARY TO SUPPORT THE APPLICANT'S PROPOSED PARKING SCALE.
5. BUILDING FOOTPRINT, DETAILS, AND LAYOUTS SHOWN ARE CONCEPTUAL AND ARE SUBJECT TO CHANGE IN FINAL ENGINEERING AND FINAL ARCHITECTURAL DESIGN.
6. REFER TO THE LANDSCAPE DRAWINGS FOR THE EXTENT OF DESIGN FOR STREET SCAPES.
7. REFER TO CIVIL DRAWINGS FOR THE SOA, STREET DESIGN, AND SECTIONS.
8. ELEVATIONS ARE ILLUSTRATIVE AND ALL BUILDING MATERIALS ARE SUBJECT TO CHANGE PROVIDED THE GENERAL QUALITY AND CHARACTERISTICS ARE MAINTAINED.
9. BUILDING HEIGHTS ARE FROM AVERAGE SITE GRADE AND INCLUDE MECHANICAL PENETROUSERS AND ARCHITECTURAL DESIGN ELEMENTS.
10. THE NUMBER OF STORES SHOWN REPRESENTS STORES ABOVE THE PODIUM. THE NUMBER OF STORES ARE CONCEPTUAL AND MAY BE ADJUSTED AT THE FINAL SITE PLAN PROVIDED MAXIMUM AND MINIMUM BUILDING HEIGHTS ARE MAINTAINED.

MTFA
architecture



architectural, interior design

2200 Lee Highway, Arlington, VA 22207
703.534.4818 fax 703.534.4142

WESTPARK PLAZA

CIVIL ENGINEER

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753-032-1913

LANDSCAPE ARCHITECT

LAND DESIGN
200 South Fairfax Street
Arlington, VA 22214
703-546-7714

Job #: 11012

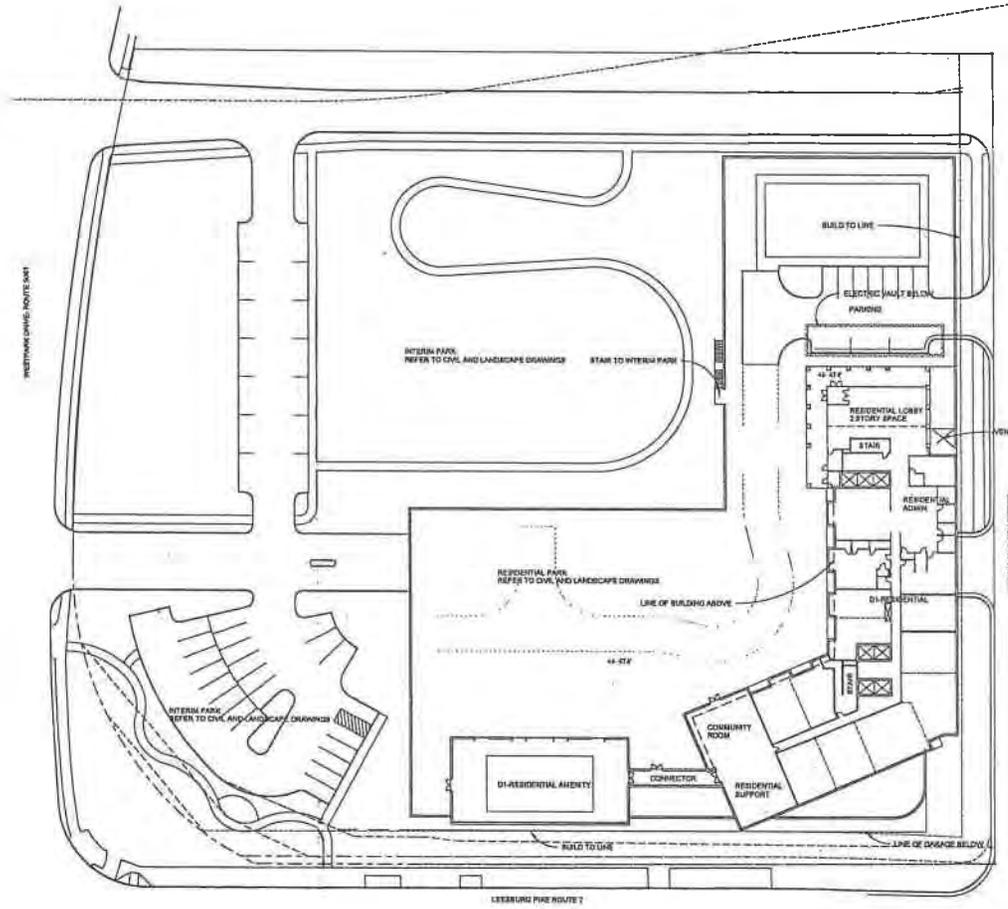
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05/03/14 FDP SUBMISSION 3
04/12/14 FDP SUBMISSION 4

Drawn: Author
Checked: Checker
Title: As Indicated

Sheet Title: FLOOR PLANS

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Sheet #

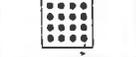
A-101



- GENERAL NOTE:**
1. ALL GRADES ARE APPROXIMATE AND MAY CHANGE DURING FINAL ENGINEERING.
 2. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
 3. BELOW GRADE PARKING MAY EXTEND INTO THE BUILDING ZONE.
 4. THE NUMBER OF BELOW GRADE PARKING LEVELS CAN VARY TO SUPPORT THE APPLICABLE PROPOSED PARKING DUE.
 5. BUILDING FOOTPRINT, DETAILS, AND LAYOUTS SHOWN ARE CONCEPTUAL AND ARE SUBJECT TO CHANGE IN FINAL ENGINEERING AND FINAL ARCHITECTURAL DESIGN.
 6. REFER TO THE LANDSCAPE DRAWINGS FOR THE EXTENT OF DESIGN FOR STREET SCAPING.
 7. REFER TO CIVIL DRAWINGS FOR THE FINAL STREET DESIGN AND SECTIONS.
 8. ELEVATIONS ARE ILLUSTRATIVE AND ALL BUILDING MATERIALS ARE SUBJECT TO CHANGE PROVIDED THE ORIGINAL QUALITY AND CHARACTERISTICS ARE MAINTAINED.
 9. BUILDING HEIGHTS ARE FROM AVERAGE SITE GRADE AND INCLUDE MECHANICAL PENETRATIONS AND ARCHITECTURAL DESIGN ELEMENTS.
 10. THE NUMBER OF STORIES SHOWN REPRESENTS STORIES ABOVE THE POCIMUM. THE NUMBER OF STORIES ARE CONCEPTUAL AND MAY BE ADJUSTED AT THE FINAL SITE PLAN PROVIDED MINIMUM AND MAXIMUM BUILDING HEIGHTS ARE MAINTAINED.

1st Floor FDP
1/32" = 1'-0"

MTFA
architecture



architectural interiors, interiors
3200 Lee Highway, Arlington, VA 22207
703-674-6618 Fax: 824-9418 mtfa@aol.com

WESTPARK PLAZA

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Walker L. Phillips, Inc.
207 Park Avenue
Park Crown, VA 22048
703-633-4183

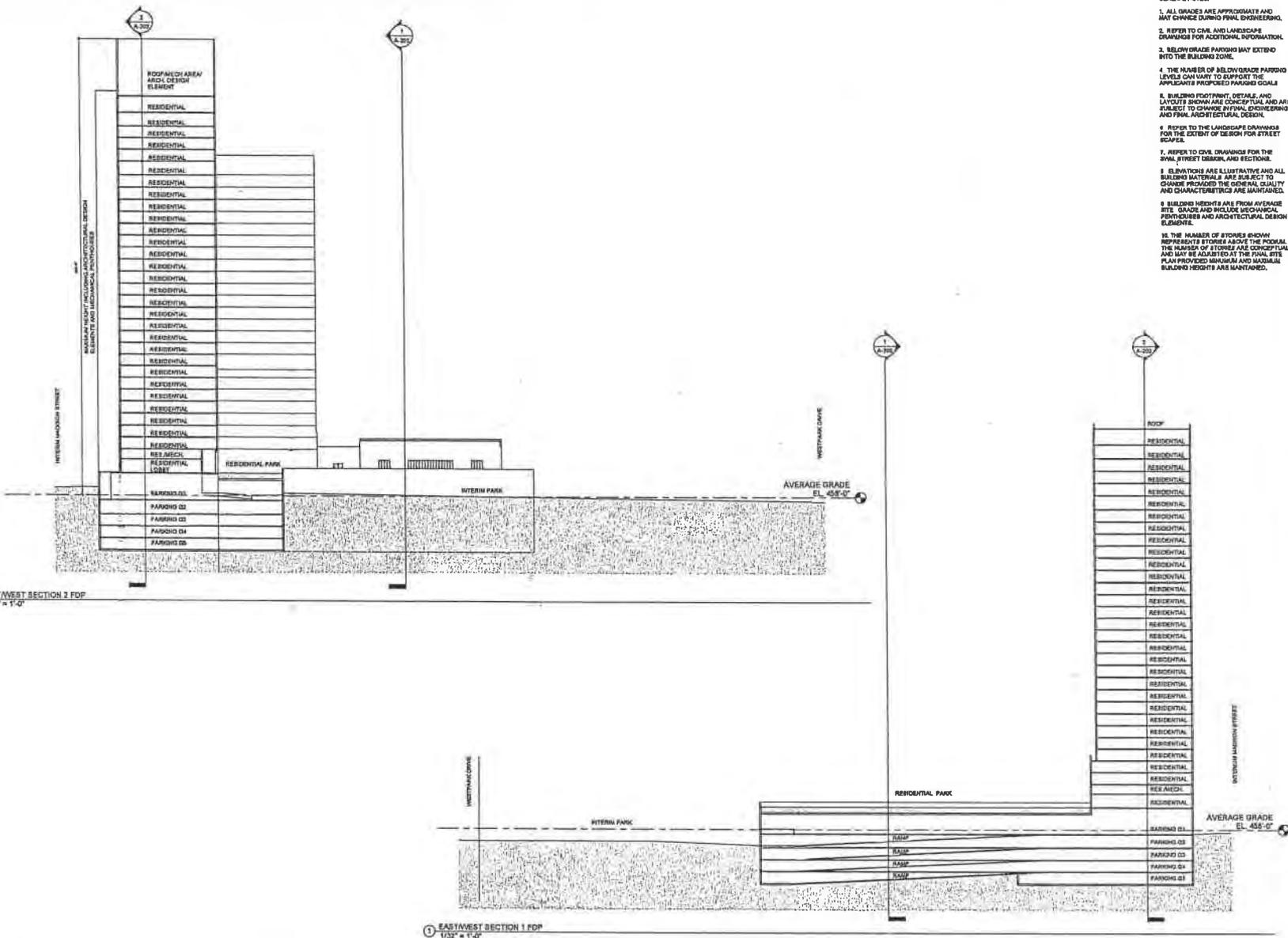
LANDSCAPE ARCHITECT
LANDEDESIGN
260 Bush Peyton Street
Arlington, VA 22204
703-648-7784

JOB #	11012
DATE:	10/15/13
ISSUE:	10/15/13
10/15/13	FDP SUBMISSION 1
03/22/14	FDP SUBMISSION 2
03/22/14	FDP SUBMISSION 3
06/13/14	FDP SUBMISSION 4

Drawn: []
Auditor: []
Basic: []
Checked: []
Checked: []
As Intended

FLOOR PLANS

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Sheet #



2 EASTWEST SECTION 2 FDP
1/32" = 1'-0"

1 EASTWEST SECTION 1 FDP
1/32" = 1'-0"

- GENERAL NOTES
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 4. THE NUMBER OF BELOW-GRADE PARKING LEVELS CAN VARY TO SUPPORT THE APPLICANT'S PROPOSED PARKING GOALS.
 5. BUILDING FOOTPRINT, DETAILS, AND LAYOUTS SHOWN ARE CONCEPTUAL AND ARE SUBJECT TO CHANGE DURING FINAL ENGINEERING AND FINAL ARCHITECTURAL DESIGN.
 6. REFER TO THE LANDSCAPE DRAWINGS FOR THE EXTENT OF DESIGN FOR STREET SCAPES.
 7. REFER TO CIVIL DRAWINGS FOR THE FINAL STREET DESIGN AND ECTIONS.
 8. ELEVATIONS ARE ILLUSTRATIVE AND ALL BUILDING MATERIALS ARE SUBJECT TO CHANGE PROVIDED THE GENERAL QUALITY AND CHARACTERISTICS ARE MAINTAINED.
 9. BUILDING HEIGHTS ARE FROM AVERAGE SITE GRADE AND INCLUDE MECHANICAL PENETRATIONS AND ARCHITECTURAL DESIGN ELEVATIONS.
 10. THE NUMBER OF STORIES SHOWN REPRESENTS STORIES ABOVE THE PODIUM. THE NUMBER OF STORIES ARE CONCEPTUAL AND MAY BE ADJUSTED AT THE FINAL SITE PLAN PROVIDED MINIMUM AND MAXIMUM BUILDING HEIGHTS ARE MAINTAINED.

MTFA
architects

architecture interior planning
3200 Lee Highway, Arlington, VA 22207
703-524-4818 Fax: 604-5614-6044

WESTPARK PLAZA

CIVIL ENGINEER
Walter L. Phillips, Inc.
207 Park Avenue
Palo Alto, CA 94301
703-224-1193

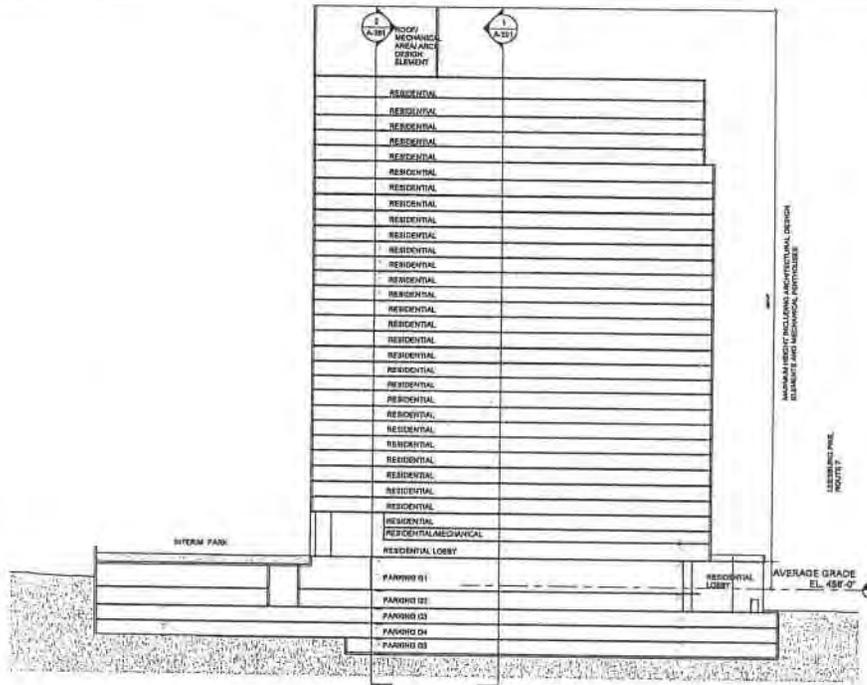
LANDSCAPE ARCHITECT
LAND DESIGN
200 North Poplar Street
Arlington, VA 22214
703-548-7744

Job #	11012
Date	1/17/13
Task	FDP SUBMISSION
	3/21/14 FDP SUBMISSION 1
	07/03/14 FDP SUBMISSION 2
	08/27/14 FDP SUBMISSION 4

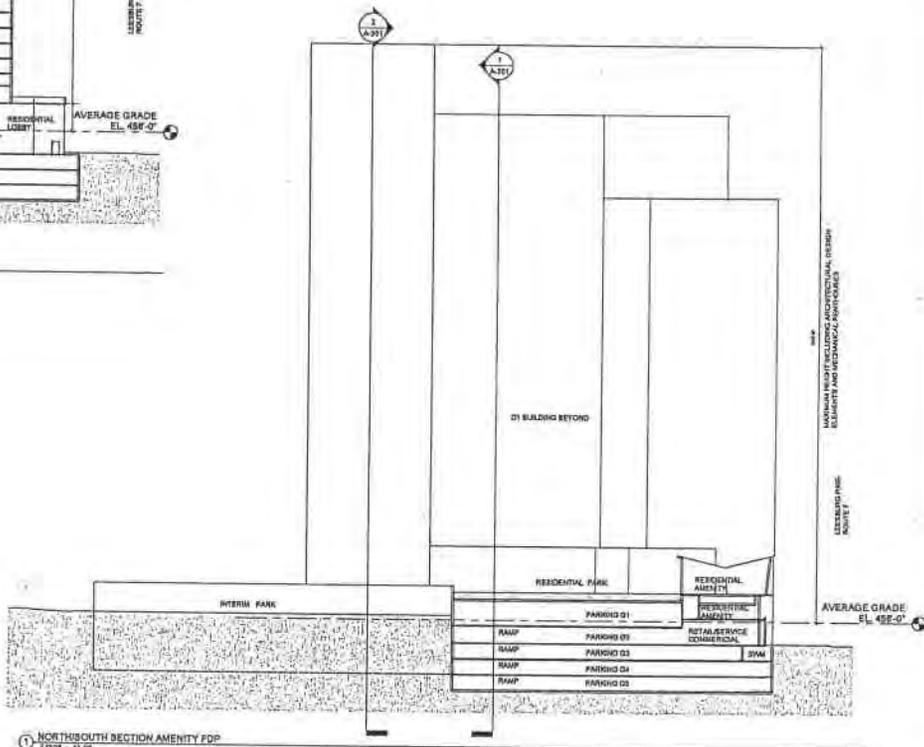
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Author:	Checker:
Scale:	As Noted

SECTIONS

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Sheet #



② NORTH-SOUTH SECTION FOP
1/2" = 1'-0"



① NORTH-SOUTH SECTION AMENITY FOP
1/2" = 1'-0"

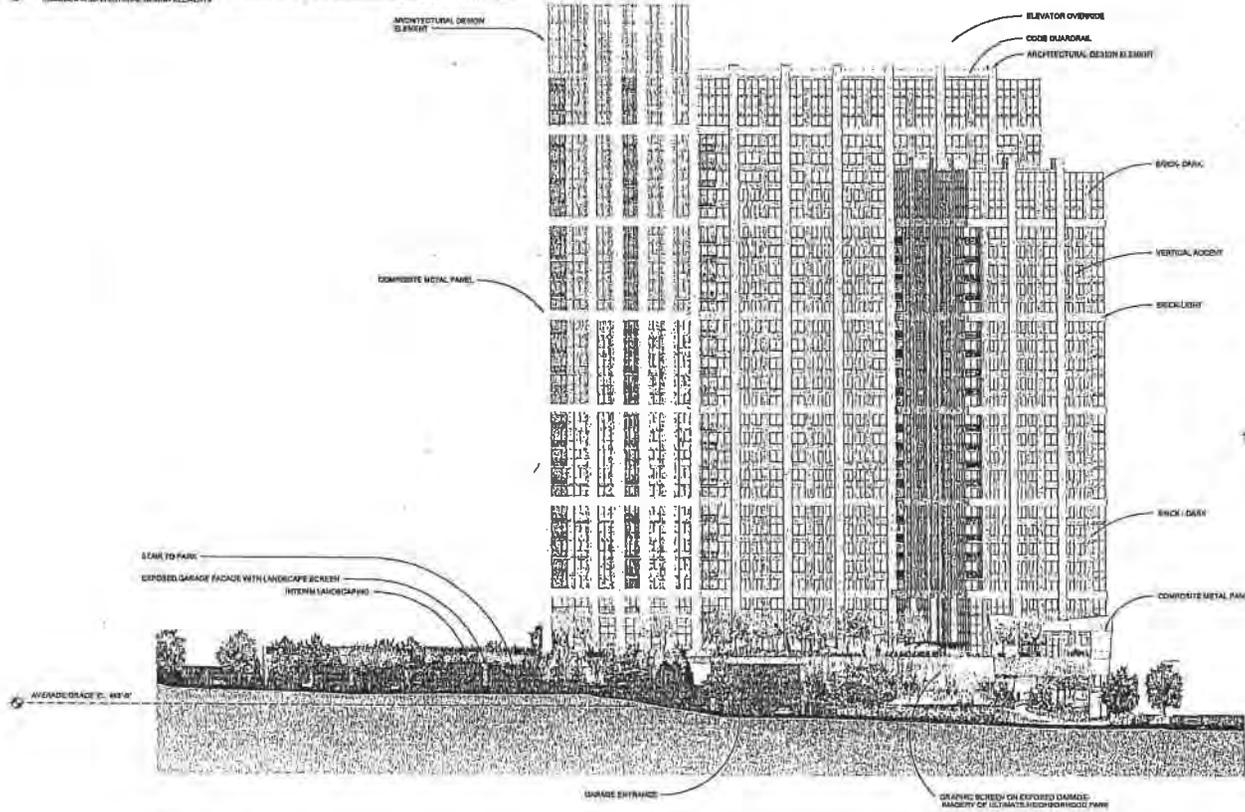
- GENERAL NOTE:**
1. ALL GRADES ARE APPROXIMATE AND MAY CHANGE DURING FINAL ENGINEERING.
 2. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
 3. BELOW GRADE PARKING MAY EXTEND INTO THE BUILDING ZONE.
 4. THE NUMBER OF BELOW GRADE PARKING LEVELS CAN VARY TO SUPPORT THE APPLICANT'S PROPOSED PARKING GOALS.
 5. BUILDING FOOTPRINT, DETAILS, AND EXTERIOR FINISH ARE CONCEPTUAL AND ARE SUBJECT TO CHANGE IN FINAL ENGINEERING AND FINAL ARCHITECTURAL DESIGN.
 6. REFER TO THE LANDSCAPE DRAWINGS FOR THE EXTENT OF DESIGN FOR STREET SCOPE.
 7. REFER TO CIVIL DRAWINGS FOR THE SWAL STREET DESIGN AND SECTIONS.
 8. ELEVATIONS ARE ILLUSTRATIVE AND ALL BUILDING MATERIALS ARE SUBJECT TO CHANGE PROVIDED THE GENERAL QUALITY AND CHARACTERISTICS ARE MAINTAINED.
 9. BUILDING HEIGHTS ARE FROM AVERAGE SITE GRADE AND INCLUDE ALL MECHANICAL FOOTING AND ARCHITECTURAL DESIGN ELEMENTS.
 10. THE NUMBER OF STORIES ABOVE PROPOSED HEIGHTS ABOVE THE POOL, THE NUMBER OF STORIES ARE CONCEPTUAL AND MAY BE ADJUSTED AT THE FINAL SITE PLAN PROVIDED MAXIMUM AND MAXIMUM BUILDING HEIGHTS ARE MAINTAINED.

Job #	Scale	Sheet
11/13	FOP SUBMISSION 1	11012
02/14	FOP SUBMISSION 2	
07/14	FOP SUBMISSION 3	
06/14	FOP SUBMISSION 4	

Date:	Drawn:
11/13	CP/ckg
02/14	
07/14	
06/14	

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Sheet #

5 - MAX HEIGHT 370' FROM AVERAGE GRADE INCLUDING ARCHITECTURAL DESIGN ELEMENTS



North Elevation - Westpark Drive

- GENERAL NOTE:**
1. ALL GRADES ARE APPROXIMATE AND MAY CHANGE DURING FINAL ENGINEERING.
 2. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
 3. BELOW GRADE PARKING MAY EXTEND INTO THE BUILDING ZONE.
 4. THE NUMBER OF BELOW GRADE PARKING LEVELS CAN VARY TO SUPPORT THE APPLICANT'S PROPOSED PARKING GOALS.
 5. BUILDING FOOTPRINT, DETAILS AND LAYOUTS SHOWN ARE CONCEPTUAL AND ARE SUBJECT TO CHANGE IN FINAL ENGINEERING AND FINAL ARCHITECTURAL DESIGN.
 6. REFER TO THE LANDSCAPE DRAWINGS FOR THE EXTENT OF DESIGN FOR STREET SCAPES.
 7. REFER TO CIVIL DRAWINGS FOR THE FINAL STREET DESIGN AND SECTION.
 8. ELEVATIONS ARE ILLUSTRATIVE AND ALL BUILDING MATERIALS ARE SUBJECT TO CHANGE PROVIDED THE GENERAL QUALITY AND CHARACTERISTICS ARE MAINTAINED.
 9. BUILDING HEIGHTS ARE FROM AVERAGE GRADE AND INCLUDE MECHANICAL PENETRATIONS AND ARCHITECTURAL DESIGN ELEMENTS.
 10. THE NUMBER OF STORES SHOWN REPRESENTS STORES ABOVE THE PODIUM. THE NUMBER OF STORES ARE CONCEPTUAL AND MAY BE ADJUSTED AT THE FINAL SITE PLAN PROVIDED MAINLUM AND SUBSTANTIAL BUILDING HEIGHTS ARE MAINTAINED.



14711 Highway 287, Suite 200
 2201 Lee Highway, Arlington, VA 22202
 703.431.6447 or Fax 703.581.9100

WESTPARK PLAZA

CIVIL ENGINEER
 Walter L. Phillips, Inc.
 207 Park Avenue
 Park Center, VA 22188
 703.431.6100

LANDSCAPE ARCHITECT
 LANDSCAPE ARCHITECTURE
 200 South Parkton Street
 Alexandria, VA 22304
 703.546.7311

DATE	REVISION
05/11/14	FOR SUBMISSION 1
07/01/14	FOR SUBMISSION 2
08/12/14	FOR SUBMISSION 4

DATE	BY	CHECKED
	Author	Checker
	Scale	As Indicated

Sheet Title:
NORTH ELEVATION - WESTPARK DRIVE

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Sheet #
 2

A-203



**WESTPARK
PLAZA**

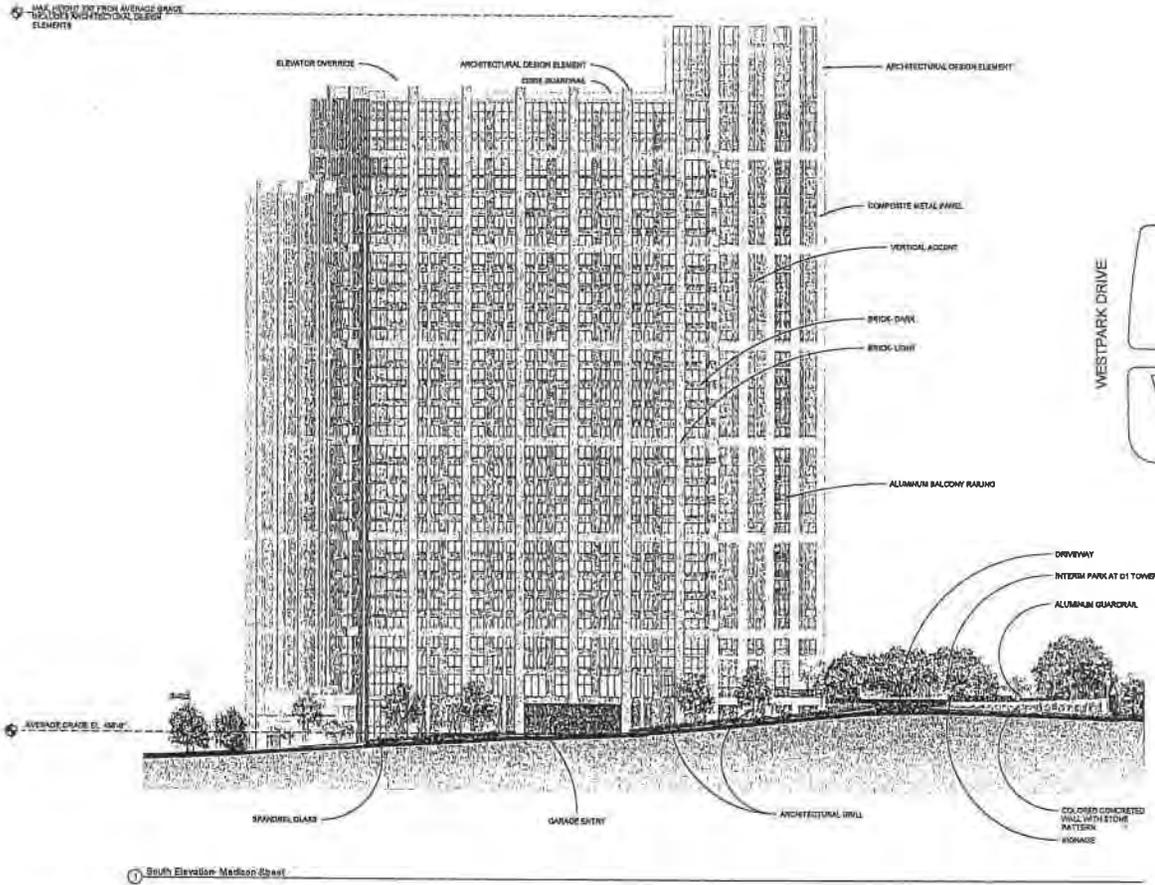
CIVIL ENGINEER

Walter L. Phillips, Inc.
307 Park Avenue
Falls Church, VA 22046
703-821-8111

LANDSCAPE ARCHITECT

LAND DESIGN
300 South Payne Street
Arlington, VA 22204
703-548-7744

- GENERAL NOTES:
1. ALL GRADES ARE APPROXIMATE AND MAY CHANGE DURING FINAL ENGINEERING.
 2. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
 3. BELOW GRADE PARKING MAY EXTEND INTO THE BUILDING ZONE.
 4. THE NUMBER OF BELOW GRADE PARKING LEVELS MAY VARY TO SUPPORT THE APPLICANT'S PROPOSED PARKING QUOTA.
 5. BUILDING FOOTPRINT, DETAILS AND LAYOUTS SHOWN ARE CONCEPTUAL AND ARE SUBJECT TO CHANGE IN FINAL ENGINEERING AND FINAL ARCHITECTURAL DESIGN.
 6. REFER TO THE LANDSCAPE DRAWINGS FOR THE EXTENT OF DESIGN FOR STREET SCAPES.
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 8. ELEVATIONS ARE ILLUSTRATIVE AND ALL BUILDING MATERIALS ARE SUBJECT TO CHANGE PROVIDED THE GENERAL QUALITY AND CHARACTERISTICS ARE MAINTAINED.
 9. BUILDING HEIGHTS ARE FROM AVERAGE SITE GRADE AND INCLUDE MECHANICAL PENETRATIONS AND ARCHITECTURAL DESIGN ELEMENTS.
 10. THE NUMBER OF STOREYS SHOWN REPRESENTS STOREYS ABOVE THE FLOOR. THE NUMBER OF STOREYS ARE CONCEPTUAL AND MAY BE ADJUSTED AT THE FINAL SITE PLAN PROVIDED PROGRAM AND MAXIMUM BUILDING HEIGHTS ARE MAINTAINED.



1 South Elevation - Madison Street

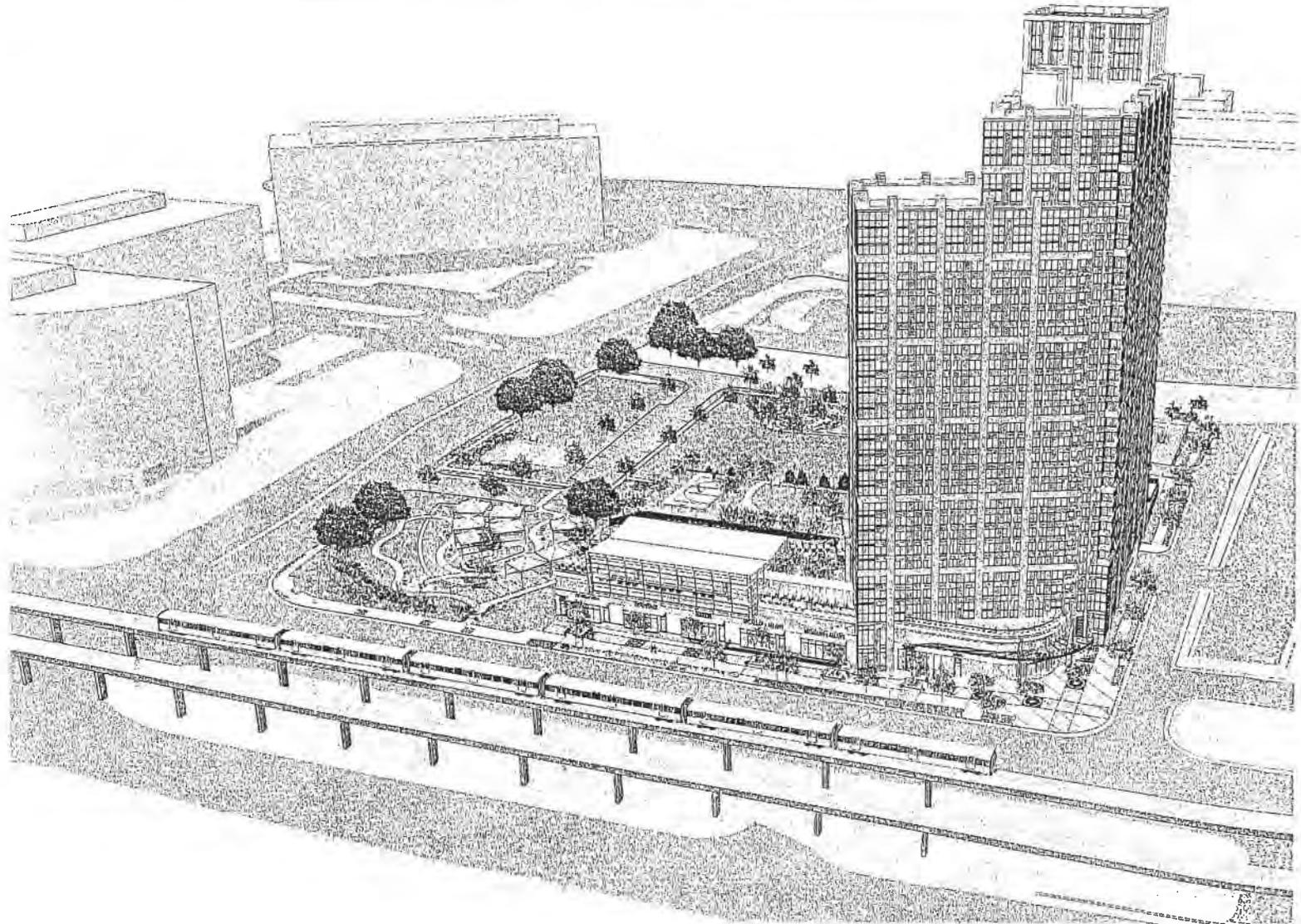
Job # 11012

Date	Issue
11/1/13	FDP SUBMISSION 1
3/15/14	FDP SUBMISSION 2
8/23/14	FDP SUBMISSION 3
10/13/14	FDP SUBMISSION 4

Drawn: Author
Checked: Checker
Scale: As Indicated

Sheet Title:
SOUTH ELEVATION - MADISON STREET

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01/14/15



FDP AERIAL PERSPECTIVE FROM
CORNER OF LEEBURG PIKE-RT. 7 AND
MADISON STREET
N.T.S.

NOTE

1. PERSPECTIVES ARE FOR ILLUSTRATIVE PURPOSES ONLY, TO ILLUSTRATE GENERAL CONCEPTS AND CHARACTER. THEY ARE SUBJECT TO FINAL ARCHITECTURAL AND ENGINEERING DESIGN.
2. DIMENSIONS ARE APPROXIMATE AND SUBJECT TO CHANGE WITH FINAL ENGINEERING.
3. BUILDING HEIGHTS ARE FROM AVERAGE SITE GRADE AND EXCLUDE MECHANICAL PORTHOUSES OR ARCHITECTURAL DESIGN ELEMENTS.
4. THE NUMBER OF STORIES SHOWN REPRESENT STORIES ABOVE THE PODIUM. THE NUMBER OF STORIES ARE CONCEPTUAL AND MAY BE ADJUSTED AT THE FINAL STAGE PROVIDED THE MAXIMUM AND MINIMUM BUILDING HEIGHTS ARE MAINTAINED.



architectural interior planning
3200 Lee Highway, Arlington, VA 22207
703-524-6610 FAX 574-9818 mtfa.net

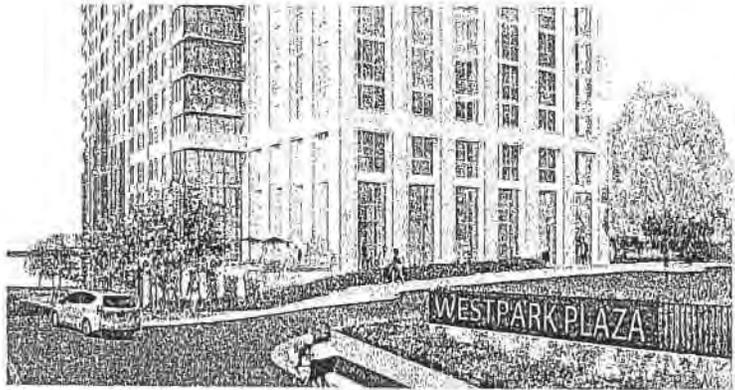
WESTPARK PLAZA

CIVIL ENGINEER
Walter L. Phillips, Inc.
221 Park Avenue
Falls Church, VA 22046
703-524-6610

LANDSCAPE ARCHITECT
LANDSCAPING
200 South Fagan Street
Arlington, VA 22219
703-545-7141

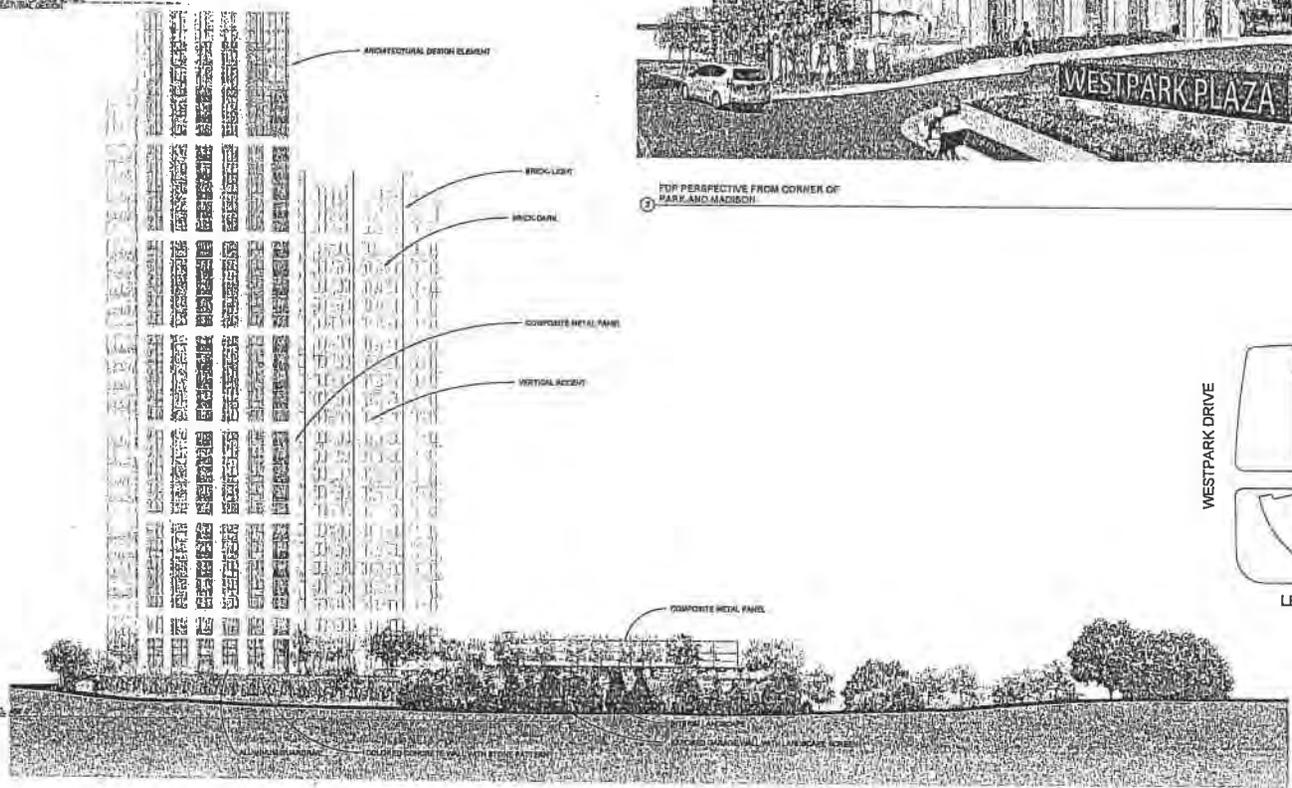
GENERAL NOTES:

1. ALL GRADES ARE APPROXIMATE AND MAY CHANGE DURING FINAL ENGINEERING.
2. REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ADDITIONAL INFORMATION.
3. BELOW GRADE PARKING MAY EXTEND INTO THE BUILDING ZONE.
4. THE NUMBER OF BELOW GRADE PARKING LEVELS CAN VARY TO SUPPORT THE APPLICABLE PROPOSED PARKING QUOTE.
5. BUILDING FOOTPRINT, OUTLINE AND LAYOUTS SHOWN ARE CONCEPTUAL AND ARE SUBJECT TO CHANGE IN FINAL ENGINEERING AND FINAL ARCHITECTURAL DESIGN.
6. REFER TO THE LANDSCAPE DRAWINGS FOR THE EXTENT OF DESIGN FOR STREET SCAPES.
7. REFER TO CIVIL DRAWINGS FOR THE SIGNAL, STREET DESIGN AND RECTIONS.
8. ELEVATIONS ARE ILLUSTRATIVE AND ALL BUILDING MATERIALS ARE SUBJECT TO CHANGE PROVIDED THE GENERAL QUALITY AND CHARACTERISTICS ARE MAINTAINED.
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10. THE NUMBER OF STORES SHOWN REPRESENTS STORES ABOVE THE POODAL. THE NUMBER OF STORES ARE CONCEPTUAL AND MAY BE ADJUSTED AT THE FINAL SITE PLAN PROVIDED SIGNAGE AND MAXIMUM BUILDING HEIGHTS ARE MAINTAINED.



TOP PERSPECTIVE FROM CORNER OF PARK AND MADISON

MAX HEIGHT 32' FROM AVERAGE GRADE
RELEVANT ARCHITECTURAL DESIGN ELEMENTS



East Elevation- Park Avenue



DATE: 11/19/16
11/19/16
02/03/18
06/19/18

ISSUE: 11/19/16
02/03/18
06/19/18

Drawn By: [Signature]
Author: [Signature]
Basic: [Signature]

Checked By: [Signature]
Checked: [Signature]
As Indicated

Sheet Title:
**EAST ELEVATION-
PARK AVENUE**

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Sheet # 5

A-205



320 Lee Highway, Arlington, VA 22204
703-844-1118 Fax: 703-844-1119 mtfa.com

**WESTPARK
PLAZA**

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301 Park Avenue
Falls Church, VA 22044
703-874-1100

LANDSCAPE ARCHITECT
LANDEBIGN
300 Beach Pavilion Street
Alexandria, VA 22314
703-644-7744

Job #	11012
Disc	11/1/13 FDP SUBMISSION 1
Disc	05/1/14 FDP SUBMISSION 2
Disc	07/31/14 FDP SUBMISSION 3
Disc	08/12/14 FDP SUBMISSION 4

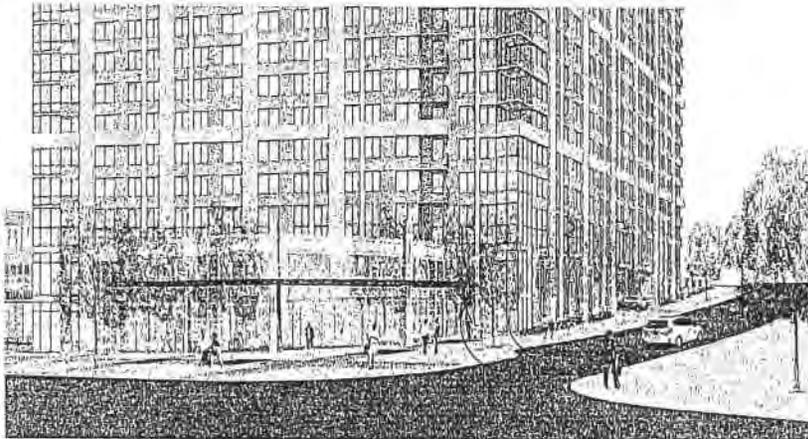
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AutoCAD	Checklist
Area	As per plan

Sheet Title:
**WEST ELEVATION-
LEESBURG PIKE-
ROUTE 7**

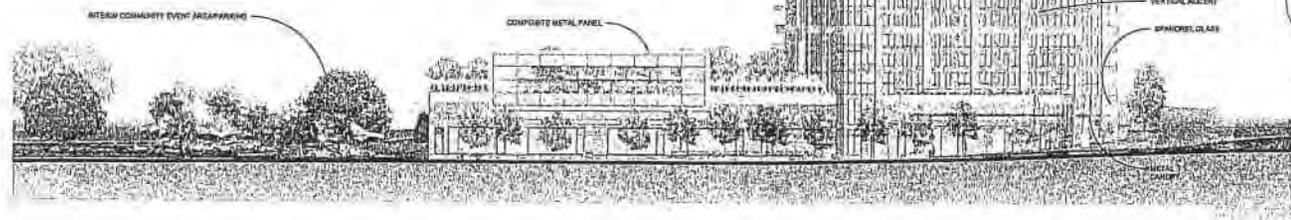
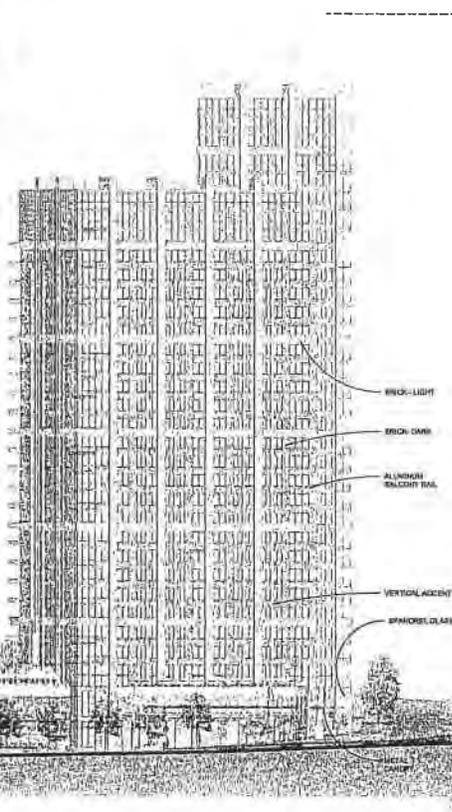
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Draw #

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 3. BELOW-GRADE PARKING MAY EXTEND INTO THE BUILDING ZONE.
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 6. REFER TO THE LANDSCAPE DRAWINGS FOR THE EXTENT OF DESIGN FOR STREET SCAPER.
 7. REFER TO CIVIL DRAWINGS FOR THE STAIR, STREET DESIGN, AND SECTION.
 8. ELEVATIONS ARE ILLUSTRATIVE AND ALL BUILDING MATERIALS ARE SUBJECT TO CHANGE PROVIDED THE GENERAL QUALITY AND CHARACTERISTICS ARE MAINTAINED.
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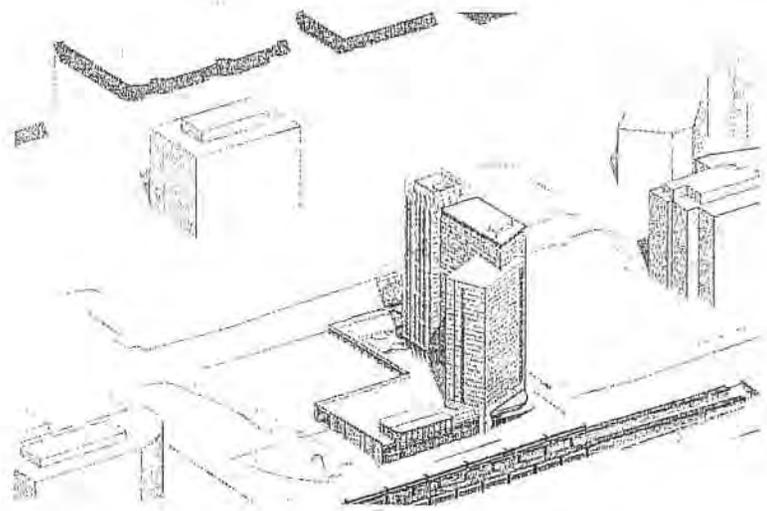


TOP PERSPECTIVE FROM LEESBURG PIKE AND MADISON STREET

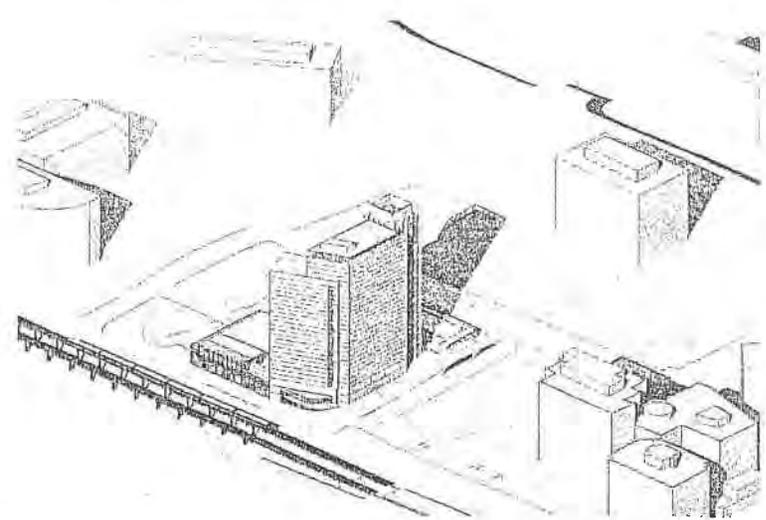


West Elevation- Leesburg Pike, Route 7

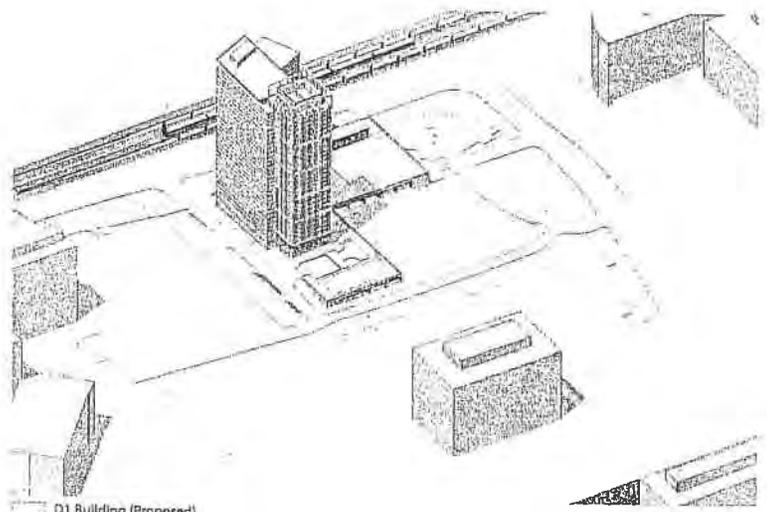




VIEW LOOKING EAST

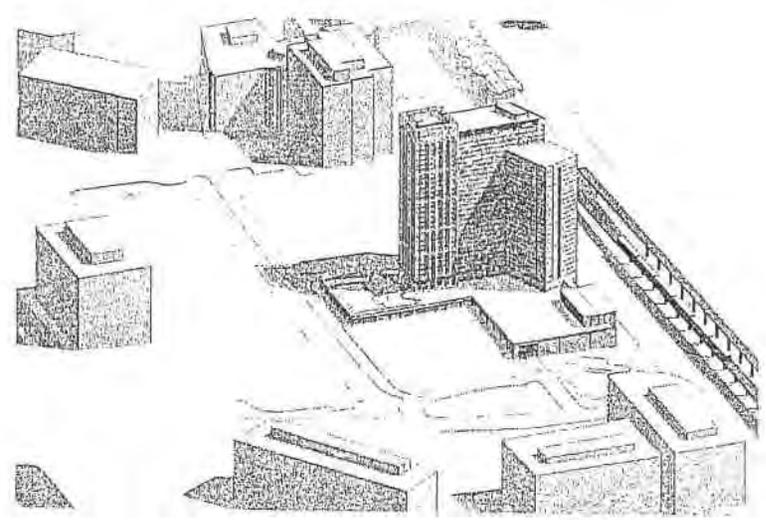


VIEW LOOKING NORTH



VIEW LOOKING WEST

D1 Building (Proposed)
Existing



VIEW LOOKING SOUTH



**WESTPARK
PLAZA**

CIVIL ENGINEER
Walter L. Phillips, Inc.
307 Park Avenue
Falls Church, VA 22046
703-612-1193

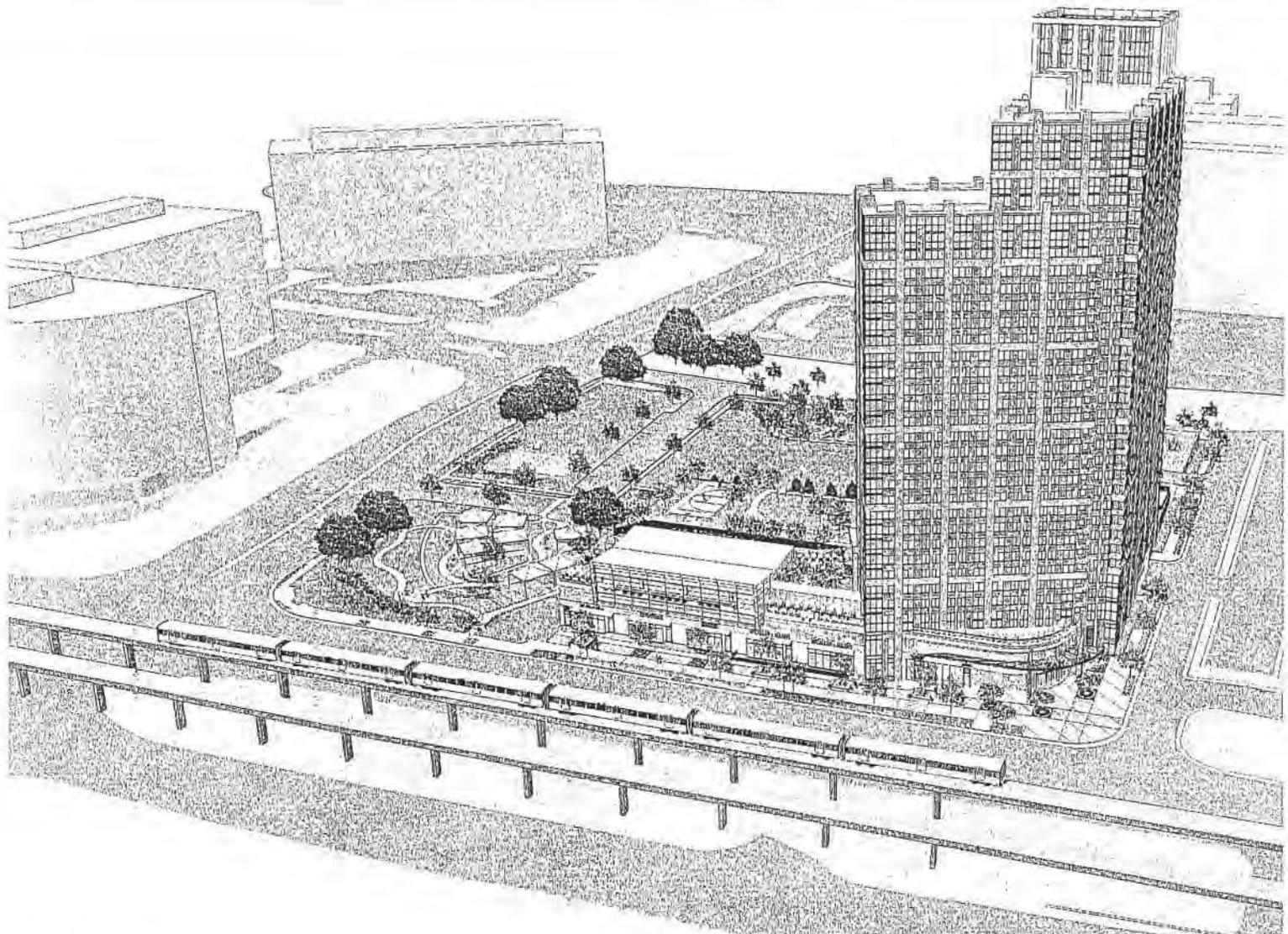
LANDSCAPE ARCHITECT
LANDSCAPE DESIGN
300 South Parker Street
Arlington, VA 22214
703-616-7714

JOB # 11012

DATE	ISSUE
11/01/13	FDP SUBMISSION 1
03/11/14	FDP SUBMISSION 2
07/02/14	FDP SUBMISSION 3
04/15/15	FDP SUBMISSION 4

Drawn: Author
Checked: Checker
Scale: As Indicated

MASSING STUDY



FOP AERIAL PERSPECTIVE FROM
CORNER OF LEESBURG PIKE-RT. 7 AND
MADISON STREET
N.T.S.

Note:

1. PERSPECTIVES ARE FOR ILLUSTRATIVE PURPOSES ONLY, TO ILLUSTRATE GENERAL CONCEPTS AND CHARACTER. THEY ARE SUBJECT TO FINAL ARCHITECTURAL AND ENGINEERING DESIGN.
2. GRADES ARE APPROXIMATE AND SUBJECT TO CHANGE WITH FINAL ENGINEERING.
3. BUILDING HEIGHTS ARE FROM AVERAGE FITE SHADE AND INCLUDE MECHANICAL, PENTHOUSES OR ARCHITECTURAL DESIGN ELEMENTS.
4. THE NUMBER OF STORIES SHOWN REPRESENT STORIES ABOVE THE PODIUM. THE NUMBER OF STORIES ARE CONCEPTUAL AND MAY BE ADJUSTED AT THE FINAL MTS PLAN PROVIDED THE MINIMUM AND MAXIMUM BUILDING HEIGHTS ARE MAINTAINED.

MTFA
ARCHITECTURE



architectural services, llc
3206 Lee Highway, Arlington, VA 22207
703-621-6816 Fax: 621-6911 mtfa.com

**WESTPARK
PLAZA**

CIVIL ENGINEER:
Walker L. Priddy, Inc.
237 Park Avenue
Falls Church, VA 22044
703-621-6822

LANDSCAPE ARCHITECT:
LANDSCAPE DESIGN
200 South Park Street
Alexandria, VA 22311
703-846-2784

Job # 11012

Date:	Issue:
10/1/13	FOP SUBMISSION 1
05/15/14	FOP SUBMISSION 2
07/02/14	FOP SUBMISSION 3
08/12/14	FOP SUBMISSION 4

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Author:	Checker:
Scale:	As Indicated

Sheet Title: **ILLUSTRATIVE PERSPECTIVE**

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**WESTPARK
PLAZA**

Civil Engineer
Waller L. Phillips, Inc.
287 Park Avenue
Falls Church, VA 22044
703-437-4100

LANDSCAPE ARCHITECT
LAND DESIGN
205 South Parkton Street
Arlington, VA 22214
703-548-7244

Sheet # 11012

Disc	Issued	
11/1/13	FDP SUBMISSION 1	
30/1/14	FDP SUBMISSION 2	
10/1/14	FDP SUBMISSION 3	
08/1/14	FDP SUBMISSION 4	

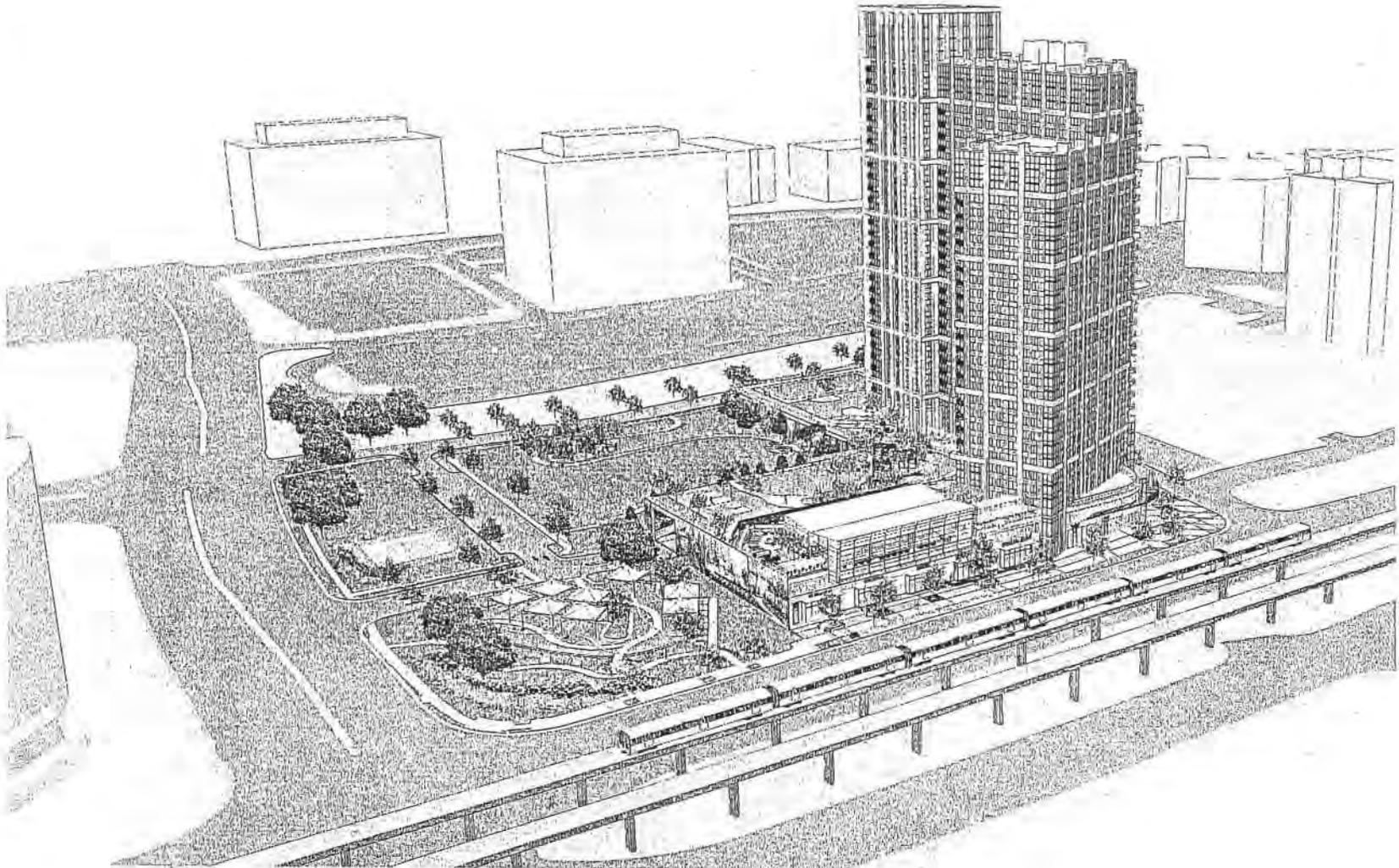
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Author	Checker
Title	As Indicated

Sheet Title
**ILLUSTRATIVE
PERSPECTIVE**

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Sheet #

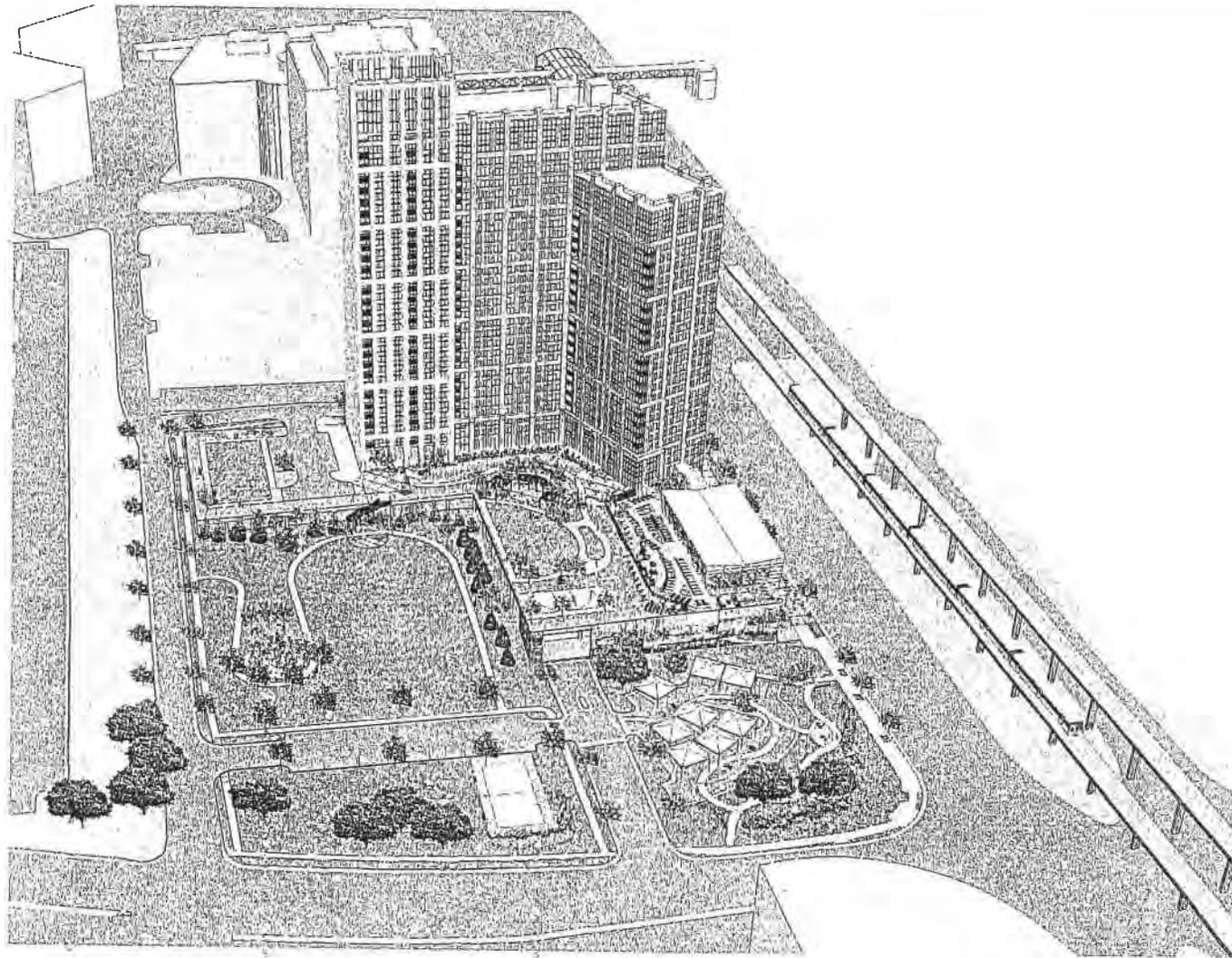
A-403



FDP AERIAL PERSPECTIVE FROM
CORNER OF LEEBURD PINE HT. 2 AND
WESTPARK DRIVE
11.13

Note

1. PERSPECTIVES ARE FOR ILLUSTRATIVE PURPOSES ONLY, TO ILLUSTRATE GENERAL CONCEPTS AND CHARACTER. THEY ARE SUBJECT TO FINAL ARCHITECTURAL AND ENGINEERING DESIGN.
2. GRADES ARE APPROXIMATE AND SUBJECT TO CHANGE WITH FINAL ENGINEERING.
3. BUILDING HEIGHTS ARE FROM AVERAGE SITE GRADE AND INCLUDE MECHANICAL PENETRATIONS OR ARCHITECTURAL DESIGN ELEMENTS.
4. THE NUMBER OF STORIES SHOWN REPRESENT STORIES ABOVE THE PODIUM. THE NUMBER OF STORIES ARE CONCEPTUAL AND MAY BE ADJUSTED AT THE FINAL SITE PLAN PROVIDED THE APPROVAL AND BUILDING HEIGHTS ARE MAINTAINED.



FDP AERIAL PERSPECTIVE FROM
 CORNER OF PARK AVENUE AND
 WESTPARK DRIVE
 N.Y.C.

MTFA
 architects



ARCHITECTURAL INTERIORS DIVISION
 1200 Avenue of the Americas, 10th Floor
 New York, N.Y. 10020-1098
 Tel: 212-693-4100 Fax: 212-693-4101

**WESTPARK
 PLAZA**

CIVIL ENGINEER
 VINCE L. PHILLIPS, INC.
 307 Park Avenue
 4th Floor, New York, NY 10022
 Tel: 212-693-4100

LANDSCAPE ARCHITECT
 LANDSCAPE ARCHITECT
 300 South Park Avenue
 New York, NY 10024
 Tel: 212-693-4100

DATE: 11/01/12

DATE	REVISION
11/01/12	FDP SUBMISSION 1
03/11/14	FDP SUBMISSION 2
07/02/14	FDP SUBMISSION 3
08/12/14	FDP SUBMISSION 4

DATE: 11/01/12
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 SCALE: AS SHOWN

**ILLUSTRATIVE
 PERSPECTIVE**

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Sheet #

A-404

NOTE:
 1. PERSPECTIVES ARE FOR ILLUSTRATIVE PURPOSES ONLY, TO ILLUSTRATE GENERAL CONCEPTS AND CHARACTER. THEY ARE SUBJECT TO FINAL ARCHITECTURAL AND ENGINEERING DESIGN.
 2. GRADES ARE APPROXIMATE AND SUBJECT TO CHANGE WITH FINAL ENGINEERING.
 3. WALKWAY WIDTHS ARE FROM AVENUE WITH DRIVEWAY AND INCLUDE MECHANICAL, ELECTRICAL, AND ARCHITECTURAL DESIGN ELEMENTS.
 4. THE NUMBER OF STOREY HEIGHTS REPRESENT STORIES ABOVE THE FLOOR. THE NUMBER OF STOREYS ARE CONCEPTUAL AND MAY BE ADJUSTED AT THE FINAL SITE PLAN. HEIGHTS TO THE MEZANIN AND MEZANIN BUILDING HEIGHTS ARE MAINTAINED.



2201 W. HENRI AVENUE, SUITE 200
FALLS CHURCH, VA 22046
703-637-4163

WESTPARK PLAZA

CIVIL ENGINEER
Walter L. Phillips, Inc.
301 Park Avenue
Falls Church, VA 22046
703-637-4163

LANDSCAPE ARCHITECT
LANDSCAPE
309 South Peyton Street
Alexandria, VA 22314
703-649-7794

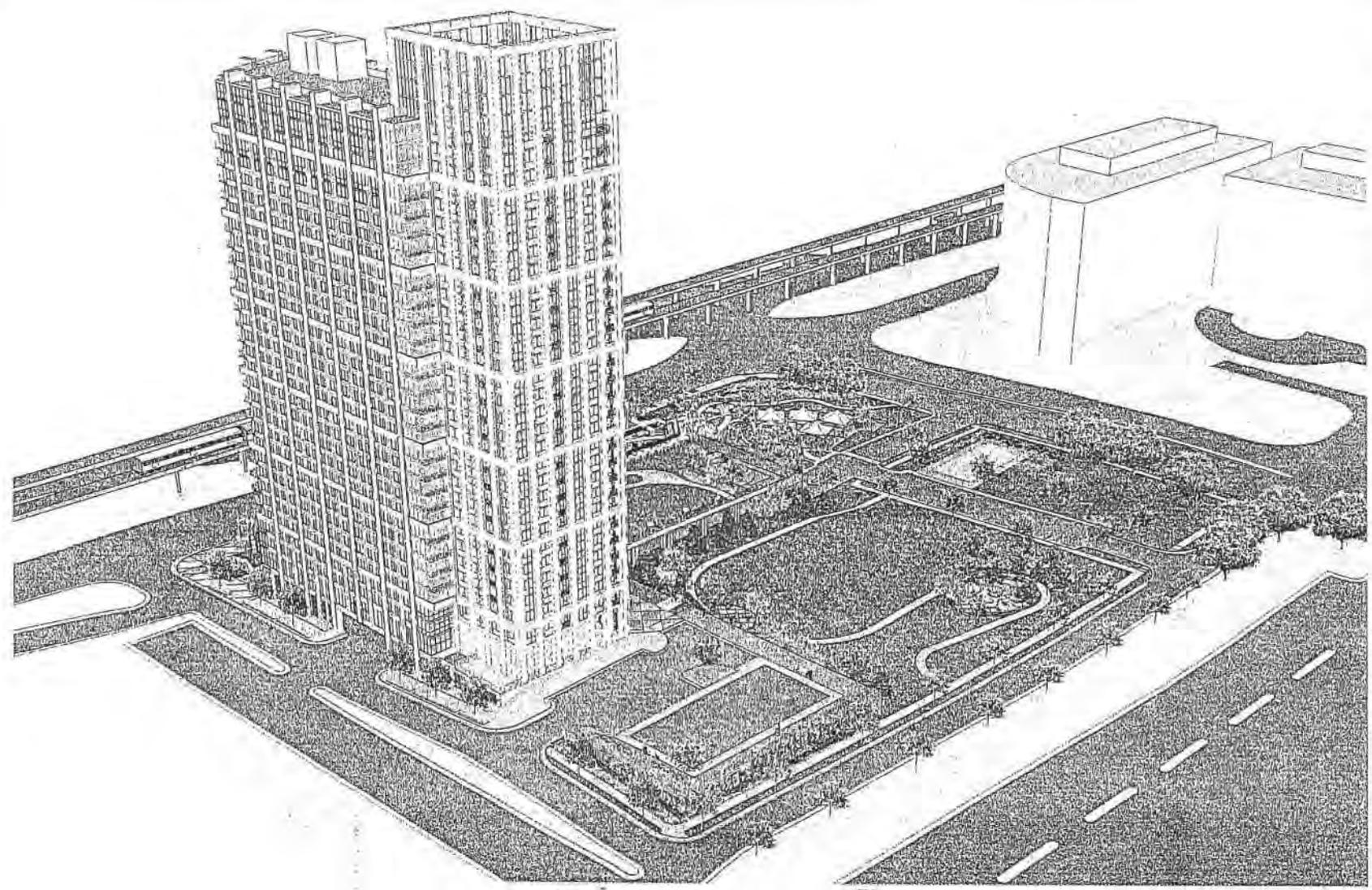
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Date	Issue
11/17/12	TOP SUBMISSION 1
03/11/13	TOP SUBMISSION 2
07/22/13	TOP SUBMISSION 3
08/12/13	TOP SUBMISSION 4

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Author: Chanson
Scale: As Indicated
Sheet Title: ILLUSTRATIVE PERSPECTIVE

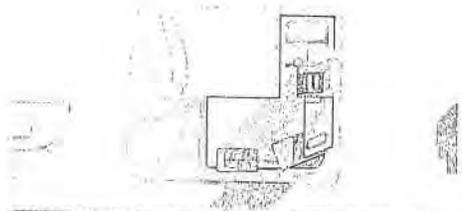
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Sheet 6

A-405

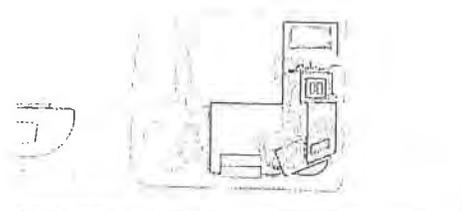


FOR AERIAL PERSPECTIVE FROM
CORNER OF PARK AVENUE AND
MAISON STREET
N.T.S.

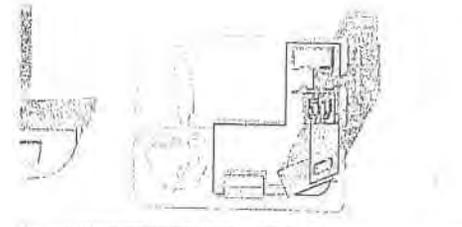
- NOTES:
1. PERSPECTIVES ARE FOR ILLUSTRATIVE PURPOSES ONLY. TO ILLUSTRATE GENERAL CONCEPTS AND CHARACTER, THEY ARE SUBJECT TO FINAL ARCHITECTURAL AND ENGINEERING DESIGN.
 2. DIMENSIONS ARE APPROXIMATE AND SUBJECT TO CHANGE WITH FINAL DIMENSIONS.
 3. BUILDING HEIGHTS ARE FROM AVERAGE SITE GRADE AND INCLUDE MECHANICAL ENCLOSURES OR ARCHITECTURAL DESIGN ELEMENTS.
 4. THE NUMBER OF STORES SHOWN REPRESENT STORES ABOVE THE POOL. THE NUMBER OF STORES ARE CONCEPTUAL AND MAY BE ADJUSTED AT THE FINAL SITE PLAN PROVIDED THE MINIMUM AND MAXIMUM BUILDING HEIGHTS ARE MAINTAINED.



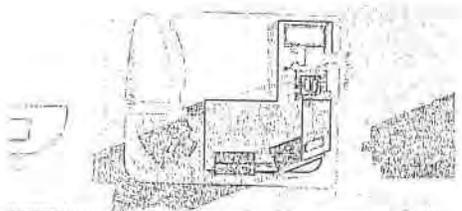
JUNE 21- 9:00AM



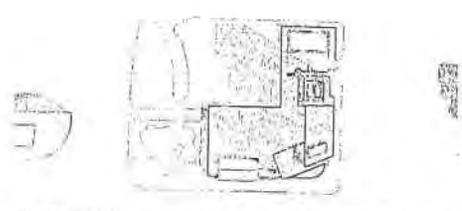
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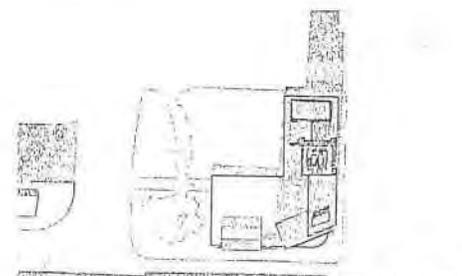
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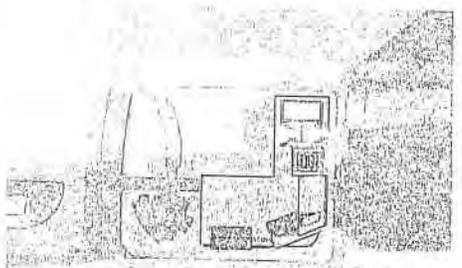
MARCH & SEPTEMBER 21- 9:00AM



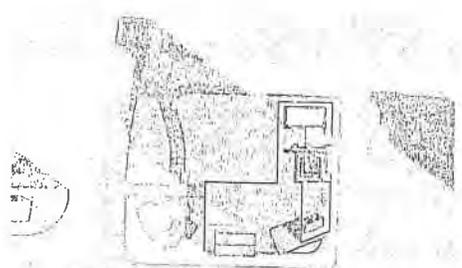
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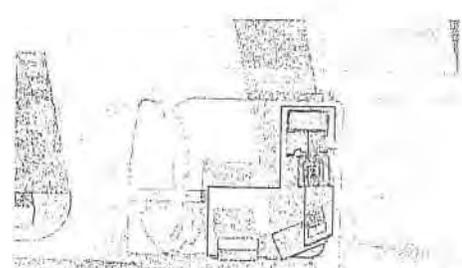
MARCH & SEPTEMBER 21- 3:00PM



DECEMBER 21- 9:00AM



DECEMBER 21- 12:00PM



DECEMBER 21- 3:00PM

MTFA
architecture



architectural interior planning
3200 Lee Highway, Arlington, VA 22207
703-244-6118 Fax: 703-441-0828

WESTPARK PLAZA

CIVIL ENGINEER
Walter L. Phillips, Inc.
257 Park Avenue
Fairfax, VA 22031
703-533-4183

LANDSCAPE ARCHITECT
LANDSCAPE ARCHITECT
200 South Payne Street
Arlington, VA 22216
703-548-7711

Job # 11012

Date	Issue	By
11/1/13	PDP SUBMISSION	
30/1/14	PDP SUBMISSION 2	
01/03/14	PDP SUBMISSION 3	
06/13/14	PDP SUBMISSION 4	

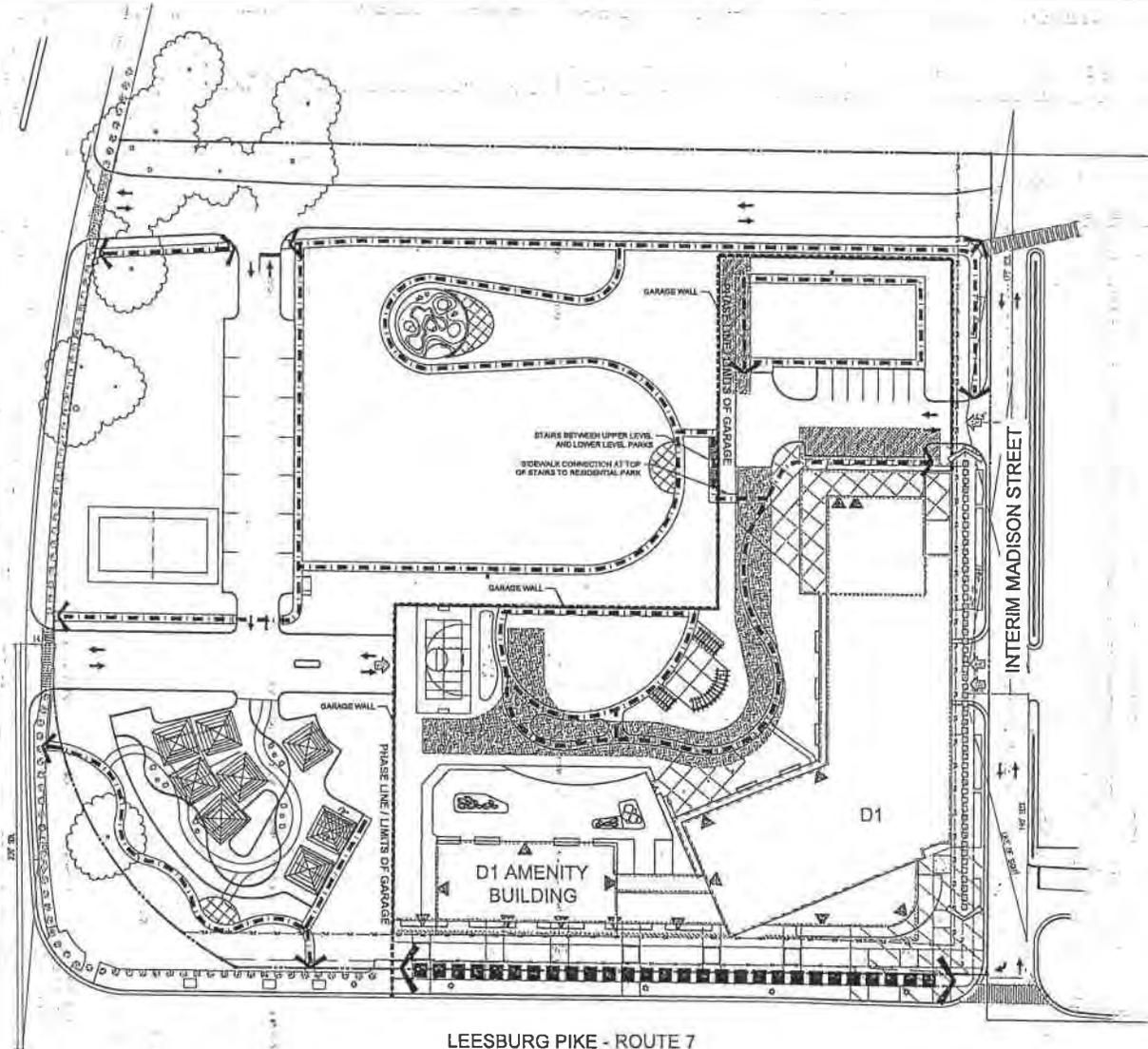
Drawn:	Checked:
Author:	Check:
Scale:	As Noted

Sheet Title: **SUN AND SHADE STUDIES**

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Sheet #

A-501

WESTPARK DRIVE



LEESBURG PIKE - ROUTE 7

INTERIM MADISON STREET

PEDESTRIAN HIERARCHY LEGEND

- GATEWAY PEDESTRIAN CORRIDOR
- TERTIARY PEDESTRIAN CORRIDOR
- INTERIOR PEDESTRIAN CIRCULATION
- EXISTING SIDEWALK

GENERAL LEGEND

- PROPERTY LINE/EXISTING VOOT ROW
- PROPOSED ROW DEDICATION
- BUILD-TO LINE
- STL
- BUILDING ZONE
- UZ
- SIDEWALK ZONE
- SW
- LIMITS OF PARKING GARAGE
- RESIDENTIAL LOBBY, HOTEL, RETAIL/SERVICE/COMMERCIAL, AND/OR OFFICE ENTRANCES (SEE NOTE 2)
- LOADING ENTRANCES (SEE NOTE 2)
- GARAGE PARKING ENTRANCES (SEE NOTE 2)
- CROSSWALK
- FIRE LANE IN PLAZA OR PARK



- GENERAL NOTES:**
1. NOT ALL ITEMS IN GENERAL LEGEND WILL APPEAR ON ALL SHEETS.
 2. FOR REFERENCE ONLY; SEE SHEET A-104 FOR ARCHITECTURE PLANS
 3. LOCATIONS OF ELECTRICAL AND STORMWATER VAULTS ARE LOCATED ON SHEET P-203 OF CIVIL PLANS AND ON SHEETS L-003 & L-004 OF LANDSCAPE PLANS.
 4. SEE CIVIL PLANS FOR LOCATIONS OF PROPOSED UTILITIES.

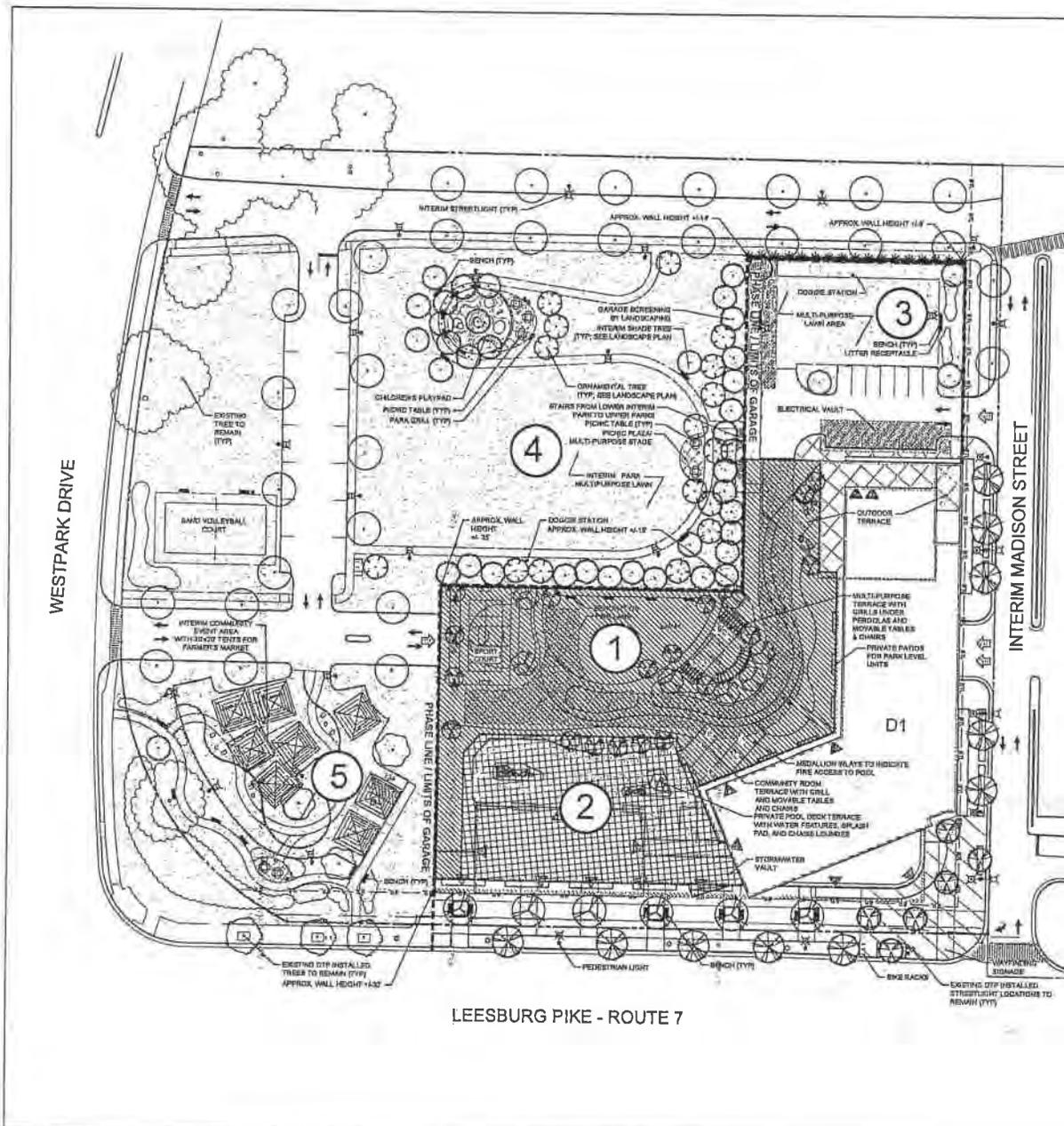
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SEAL OF THE PROFESSIONAL ENGINEER
 CIVIL No. 1438
 08/13/2014
 CAROLINA, NORTH CAROLINA

Westpark Plaza
 FDP
 Tyrone Westpark, L.C.
 PEDESTRIAN HIERARCHY

DATE: 11/02/2011
 DRAWING NO: L-001
 SCALE: 1" = 30'
 SHEET NUMBER: L-001



URBAN PARK PROGRAMMING (See Note 1)

- Park 1 RESIDENTIAL PARK**
 Urban Park Type: Recreation Based Park
 Features:
 • Portion of Park Private Unit Full Build Out
 • People from the Leisure Hall and Bunkie
 • Area for Social and Recreational Interaction
 • Attractive Landscaping Provides Year-Round Interest
 • Views from Park Level and Upper Towers
 • Visual Connection to Park for Motor Riders
 • Views down to Interim Park from High-Rise Tower
 • Public Use and Individual Areas
 • Natural Barriers Between Uses as Buffers
- Park 2 PRIVATE AMENITY**
 Urban Park Type: Residential
 Features:
 • Private Amenity
 Amenities:
 • Covered Year-Round Pool
 • Outdoor Seating
 • Furniture
 • Benches
 • Splash Pad
 • Water Features
 • Outdoor Pro Pits
 Furnishings:
 • Child Lounges
 • Movable Furniture
- Park 3 INTERIM PARK AT TOWER D1 (See Note 8)**
 (FUTURE CIVIC SQUARE)
 Features:
 • Views Down to Interim Park of Lower Level
 Amenities:
 • Multi-Purpose Lawn Pad
 Dog Station
 Furnishings:
 • Benches
- Park 4 INTERIM PARK AT LOWER LEVEL (See Note 8)**
 Amenities:
 • Asphalt Trail
 • Playful walls, terra, climbing loaders and painted tile track
 • Plaza
 • Multi-Purpose Lawn
 • Multi-Purpose Stage Plaza with Elevator
 • Year Long General Interest Landscaping Against Garage Wall to Screen Garage and Provide a Soft Backdrop to the Interim Park
 • Dog Station
 Furnishings:
 • Benches
 • Plaza Tables
 • Lighting
 • Park Galls
- Park 5 INTERIM COMMUNITY EVENT AREA / PARKING**
 (See Note 8)
 Features:
 • Remain as a Parking Lot to Serve Service / Commercial on Route 7
 • Flexibility for Parking Lot to Act as a Community Event Area and Farmers' Market
 • Intuitive Asphalt Paving on Parking Lot Collaborating Nearby Old Community/Schooling Branch Street Valley
 Amenities:
 • Handicapped Plaza
 Furnishings:
 • Benches
 • Plaza Tables

URBAN PARK LEGEND

SYM	DESCRIPTION	QTY
○	RESIDENTIAL PARK To Remain Private Unit Full Build Out	27,457 SF (CDP: 77,257 SF)
□	PRIVATE AMENITY (PRIVATE)	13,042 SF (CDP: 13,042 SF)
○	INTERIM PARK AT TOWER D1 (FUTURE CIVIC SQUARE; PUBLIC)	8,732 SF
○	INTERIM PARK AT LOWER LEVEL (PUBLIC)	72,851 SF
○	INTERIM COMMUNITY EVENT AREA (PUBLIC)	28,802 SF
▨	PARK AT GRADE* To Remain Private Unit Full Build Out	27,457 SF
▩	PRIVATE OPEN SPACE Private Amenity	13,042 SF
▧	PUBLIC INTERIM PARK SPACES Future Civic Square	8,732 SF
▦	PUBLIC INTERIM PARK AT LOWER LEVEL (FUTURE CIVIC SQUARE)	72,851 SF
▤	PUBLIC INTERIM COMMUNITY EVENT AREA Portion of this Interim Community Event Area 5,137 SF Outside of Property Line Subject to VDOT Approval	28,802 SF

GENERAL LEGEND

- — — — — PROPERTY LINE/EXISTING VDOT ROW
- — — — — PROPOSED ROW DEDICATION
- BTL — BUILD-TO LINE
- BZ — BUILDING ZONE
- SWV — SIDEWALK ZONE
- — — — — LIMITS OF PARKING GARAGE
- ▲ RESIDENTIAL LOBBY, HOTEL, RETAIL/SERVICE/COMMERCIAL AND/OR OFFICE ENTRANCES (SEE NOTE 2)
- ◀ ▶ LOADING ENTRANCES (SEE NOTE 2)
- ◀ ▶ GARAGE PARKING ENTRANCES (SEE NOTE 2)
- — — — — PEDESTRIAN SIDEWALK CONNECTION
- — — — — FIRE LANE IN PLAZA OR PARK

URBAN PARKS NARRATIVE

IN THE PHASE 1 FOP, THE PRIVATE OUTDOOR AMENITY FOR RESIDENTS WILL BE BUILT TO FORMAL CONDITIONS AND WILL INCLUDE YEAR-ROUND SWIMMING POOL WITH AN OUTDOOR SWIMMING TERRACE AND LOUNGE AREA WITH FIRE PIT. A BREAK PAD WILL ALSO BE INCORPORATED INTO THIS SPACE FOR CHILDREN. THIS PRIVATE SPACE WILL BE FENCED IN, BUT ONE WILL HAVE ACCESS TO THE RESIDENTIAL PARK SECTION. IN THIS RESIDENTIAL PARK, A VARIETY OF AMENITIES AND SPACES ARE PROVIDED. A SPORT COURT, LAWN PANEL WITH VIEW DOWN TO THE LOWER INTERIM PARK, AND MULTI-PURPOSE TERRACE WITH GRILLS PROVIDES OPPORTUNITIES FOR DIFFERENT ACTIVITIES. AN OUTDOOR TERRACE HAS ALSO BEEN PROVIDED AS AN EXTENSION TO THE COMMUNITY ROOM.

AS FOR INTERIM PARK, PARK 3 INTERIM PARK AT TOWER D1 IS LOCATED IN THE FUTURE CIVIC SQUARE. THIS SPACE IN THE INTERIM HALL PROVIDES A MULTI-PURPOSE LAWN PANEL WITH GRILLS, AS FUTURE PHASES COME ONLINE. THIS PARTICULAR INTERIM PARK WILL TRANSFORM INTO A VOYAGER/CIVIC SQUARE.

THE LOWER INTERIM PARK IS A VAST OPEN SPACE THAT WILL BE SHARED BY THE PUBLIC. THIS PARK WILL FEATURE A CHILDREN'S PLAYPAD WITH ADJOINING PICNIC PLAZA WITH GRILLS AND PICNIC TABLES. IT WILL ALSO INCLUDE A CURVILINEAR PATH THAT LEADS TO ANOTHER PICNIC PLAZA THAT CAN BE USED AS A STAGE FOR EVENTS SUCH AS OUTDOOR MOVIES OR PERFORMANCES. THE MULTI-PURPOSE LAWN AREA IS A SPACE THAT CAN BE USED FOR PERSONAL RECREATIONAL ACTIVITIES SUCH AS PICKUP BASKETBALL, FLAG FOOTBALL AND PRIVATE FITNESS SAMPLES, DOG PLAY, BALL THROWS, ETC. THIS INTERIM PARK WILL BE SURROUNDED BY A SHAPEDLY LANDSCAPED BACKDROP THAT WILL ALSO SERVE AS A SCREEN FOR THE EXPOSED MARKET FACADE.

LASTLY, THE INTERIM COMMUNITY EVENT AREA WILL BE A PARKING LOT IN THE EVERYDAY TO SERVE THE SERVICE/COMMERCIAL ACTIVITIES ON ROUTE 7. ON SPECIAL OCCASIONS, THIS LOT CAN BE USED AS A FARMERS' MARKET FOR THE PUBLIC TO ENJOY ON CERTAIN DAYS OF THE WEEK. THIS SPACE CAN ALSO BE USED AS A HANDICAPPED AREA FOR OTHER COMMUNITY EVENTS THAT BECOME AN EXTENSION TO THE ADJACENT LOWER INTERIM PARK.



- GENERAL NOTES:**
- NOT ALL ITEMS IN GENERAL LEGEND WILL APPEAR ON ALL SHEETS. FOR REFERENCE ONLY; SEE SHEET A-103 TO A-104 FOR ARCHITECTURE PLANS.
 - LOCATIONS OF ELECTRICAL AND STORMWATER VAULTS ARE LOCATED ON SHEET P-303 OF CIVIL PLANS AND ON SHEETS L-003 & L-005 OF LANDSCAPE PLANS.
 - SEE CIVIL PLANS FOR LOCATIONS OF PROPOSED UTILITIES.
 - FOR DESCRIPTIVE PURPOSES ONLY TO SHOW TYPES OF FEATURES PROPOSED. FEATURE SUBJECT TO CHANGE AT FOP.
 - INTERIM PARK AREAS NOT INCLUDED IN PARK CALCULATIONS.
- ALL DRAWINGS ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY AND ARE SUBJECT TO CHANGE PER FINAL ARCHITECTURE, CIVIL, AND SITE DESIGN. DRAWINGS ARE NOT FOR CONSTRUCTION.

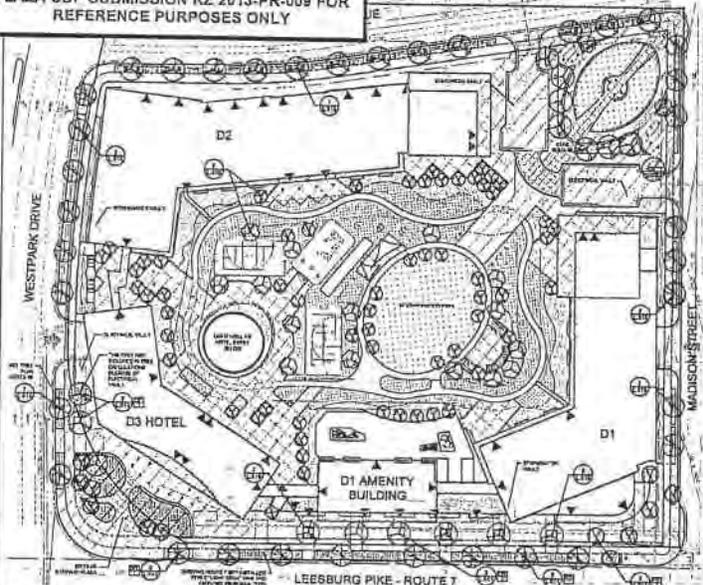
LandDesign
 100 N. Poplar, Alexandria, VA 22311
 TEL: 703.839.1111
 FAX: 703.839.1112



Westpark Plaza
 -FDP
 Tyrone Westpark, LC
 URBAN PARK PLAN

DATE: 08/13/2014
 DRAWN BY: J. COOPER
 CHECKED BY: J. COOPER
 SCALE: 1" = 30'
 SHEET NUMBER: L-002

THIS SHEET INCLUDED FROM WESTPARK PLAZA CDP SUBMISSION RZ 2013-PR-009 FOR REFERENCE PURPOSES ONLY



STREET TREE DETAIL SCHEDULE

NO.	SYMBOL	DESCRIPTION	QUANTITY
1	(Symbol)	Street Tree - 10' DBH	10
2	(Symbol)	Street Tree - 8' DBH	20
3	(Symbol)	Street Tree - 6' DBH	30
4	(Symbol)	Street Tree - 4' DBH	40
5	(Symbol)	Street Tree - 2' DBH	50

CONCEPT PLANT SCHEDULE

NO.	SYMBOL	DESCRIPTION	QUANTITY
1	(Symbol)	Plant - 10' DBH	10
2	(Symbol)	Plant - 8' DBH	20
3	(Symbol)	Plant - 6' DBH	30
4	(Symbol)	Plant - 4' DBH	40
5	(Symbol)	Plant - 2' DBH	50

TREE PLAN LEGEND

GENERAL LEGEND

WESTPARK PLAZA CDP OVERALL TREE PLAN

Scale: 1" = 100'

Table 10.10 10-Year Tree Canopy Calculations (Worksheet)

Item	Description	Units	Reference
1	Phase 10 Year Tree Canopy Calculations	Sq Ft	
2	Phase 10 Year Tree Canopy Calculations	Sq Ft	
3	Phase 10 Year Tree Canopy Calculations	Sq Ft	
4	Phase 10 Year Tree Canopy Calculations	Sq Ft	
5	Phase 10 Year Tree Canopy Calculations	Sq Ft	
6	Phase 10 Year Tree Canopy Calculations	Sq Ft	
7	Phase 10 Year Tree Canopy Calculations	Sq Ft	
8	Phase 10 Year Tree Canopy Calculations	Sq Ft	
9	Phase 10 Year Tree Canopy Calculations	Sq Ft	
10	Phase 10 Year Tree Canopy Calculations	Sq Ft	
11	Phase 10 Year Tree Canopy Calculations	Sq Ft	
12	Phase 10 Year Tree Canopy Calculations	Sq Ft	
13	Phase 10 Year Tree Canopy Calculations	Sq Ft	
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16	Phase 10 Year Tree Canopy Calculations	Sq Ft	
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97	Phase 10 Year Tree Canopy Calculations	Sq Ft	
98	Phase 10 Year Tree Canopy Calculations	Sq Ft	
99	Phase 10 Year Tree Canopy Calculations	Sq Ft	
100	Phase 10 Year Tree Canopy Calculations	Sq Ft	

FDP 10YR TREE COVER CANOPY NARRATIVE

THE OVERALL LANDSCAPE PLAN FOR THE PHASE D1 FDP AT WESTPARK PLAZA DEMONSTRATES THAT 10% OF THE PROJECTED 10YR TREE COVER CANOPY HAS BEEN ACHIEVED WITH THE PHASE 1 FDP. AT FULL BUILD OUT OF WESTPARK PLAZA, THE REQUIRED 10% TREE COVER CANOPY WILL BE ACHIEVED AS DEMONSTRATED IN THE CDP TREE PLAN SHEET L003 ABOVE. AS EACH PHASE MOVES FORWARD, THE RUNNING TREE CANOPY SUMMARY (TABLE TO THE RIGHT) WILL BE UPDATED TO REFLECT CANOPY AREA PROVIDED. THEREFORE, THE TABLE WILL EXHIBIT THE ACCUMULATION OF TREE CANOPY COVERAGE PER PHASE TO EVENTUAL FULL CONSTRUCTION.

FOR PHASE D1 FDP, TREE CANOPY COVERAGE CALCULATIONS ONLY INCLUDE PERMANENT TREES WITHIN THE PHASE LINE. INTERIM TREES LOCATED IN THE INTERIM PARKS ARE NOT INCLUDED IN THE CANOPY COVERAGE BECAUSE OF THEIR TEMPORARY NATURE. HOWEVER, THEY WILL DEFINITELY CONTRIBUTE TO THE SHORT TERM TREE CANOPY COVERAGE AND PROVIDE BENEFITS OF THE BIODESIGN INITIAL PHASES.

THE TYPE OF INTERIM TREES BEING PROVIDED RANGE FROM SHADE TREES TO ORNAMENTALS TO EVERGREEN TREES ALL SERVING A VARIETY OF PURPOSES. THE SHADE TREES PROVIDE A PLEASANT EXPERIENCE FOR A PARK USER, CASTING SHADE ON THE PICNIC PLAZAS AND BENCHES SPRAWLED THROUGHOUT THE INTERIM PARK. THE ORNAMENTAL TREES PROVIDE SEASONAL INTEREST TO THE PARK SPACE AND HIGHLIGHTS SPECIAL AREAS SUCH AS THE CHILDREN'S PLAYARD, PICNIC PLAZAS, AND MULTI-PURPOSE STAGE. A MIX OF ORNAMENTALS AND EVERGREEN TREES LINE THE EXPOSED GARAGE FACES TO PROVIDE A SOFT BACKDROP TO THE INTERIM PARK SPACE.

WESTPARK PLAZA RUNNING TREE CANOPY SUMMARY

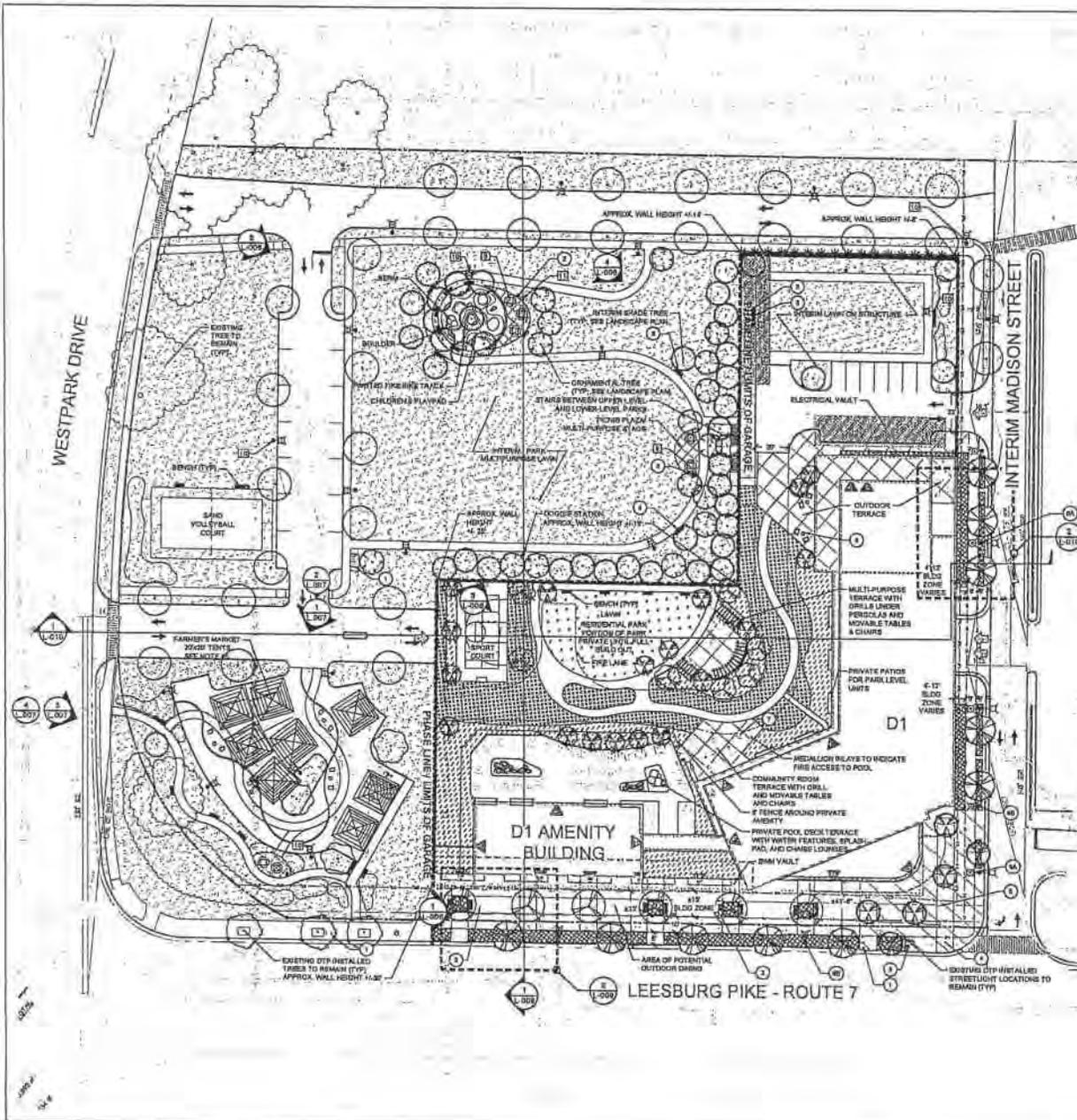
PHASE	GROSS SITE AREA	10YR TREE CANOPY REQUIRED	10YR TREE CANOPY PROVIDED AT FDP
D1	101,812 SF	10,181 SF	7,775 SF
D2	131,671 SF	13,157 SF	TREE CANOPY PROVIDED TO BE DETERMINED AT FDP AND SITE PLAN PER EACH PHASE
D3			
TOTALS	233,383 SF	23,338 SF	7,775 SF

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Westpark Plaza
FDP
Tysons Westpark, LC
OVERALL LANDSCAPE PLAN-TREE CALCULATIONS

DATE: 08/13/2015
DESIGNED BY: GORDON
CHECKED BY: J. P. WOOD
SCALE: 1" = 100'
PROJECT NUMBER:
SHEET NUMBER:
L-004



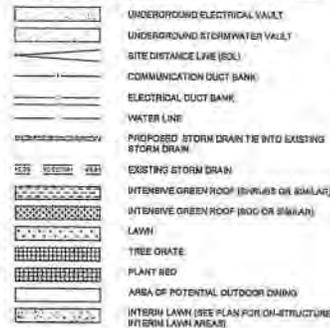
REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	QTY	DETAIL
①	BIKE RACK	9	4A-013
②	LITTER & RECYCLING RECEPTACLE	11	3A-013
③	BENCH	31	2A-012
④	WAYFINDING SIGN	1	
⑤	STREETSCAPE PAVEMENT	1A-013	
⑥	COMBINATION STREETLIGHT AND PEDESTRIAN LIGHT	3	7L-013
⑦	PEDESTRIAN LIGHT	4	7L-013
⑧	MOVABLE TABLES AND CHAIRS	14	
⑨	DEEP SEAT LOUNGE AND SIDE TABLE	2	
⑩	INTERIM PICNIC TABLES	7	
⑪	INTERIM STREET LIGHT	20	
⑫	INTERIM PARK GRILL	2	

GRAPHICS LEGEND



OVERALL PLAN LEGEND



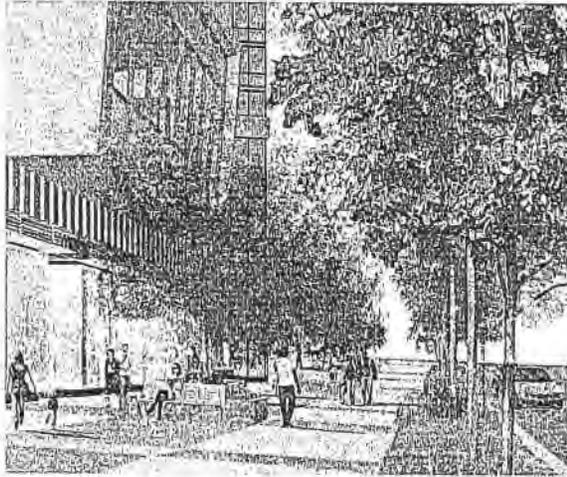
GENERAL LEGEND



- GENERAL NOTES:
- NOT ALL ITEMS IN GENERAL LEGEND WILL APPEAR ON ALL SHEETS.
 - FOR REFERENCE ONLY, SEE SHEET A-103 TO A-104 FOR ARCHITECTURE PLANS.
 - LOCATIONS OF ELECTRICAL AND STORMWATER VAULTS ARE LOCATED ON SHEET P-203 OF CIVIL PLANS AND THIS SHEET ON LANDSCAPE PLANS.
 - SEE CIVIL PLANS FOR LOCATIONS OF PROPOSED UTILITIES.
 - ILLUSTRATIVE EXAMPLE OF INTERIM USE OF AREA WITH FARMIER'S MARKET TENT, OTHER ARRANGEMENTS AND FURNISHINGS FOR BIKELAN LINES HOUSING IS
 - FINAL LOCATION OF SITE FURNISHINGS SHOWN ON OR NEAR ELECTRICAL VAULT ACCESS LOGS TO BE COORDINATED AT FINAL SITE PLAN.

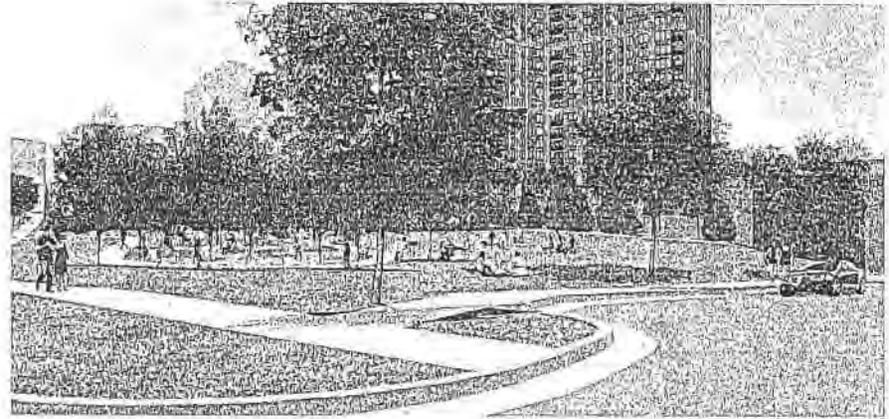
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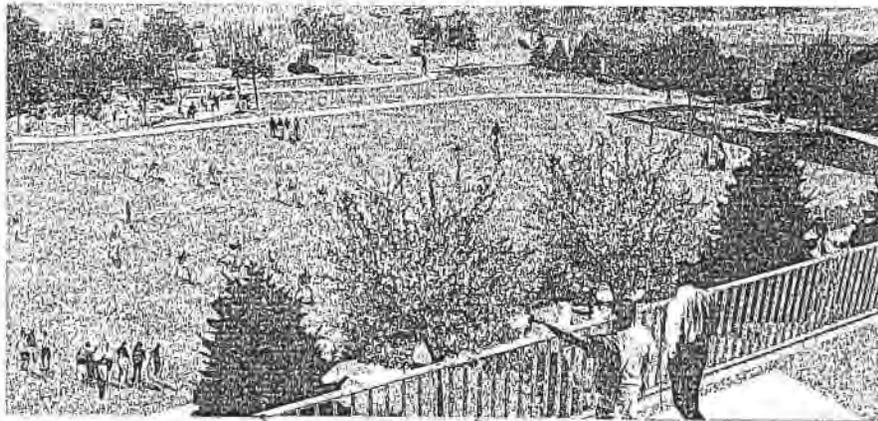
1 RT. 7 STREETSCAPE VIEW TO MADISON ST.
L-006 PERSPECTIVE

2014-P5003
NTS



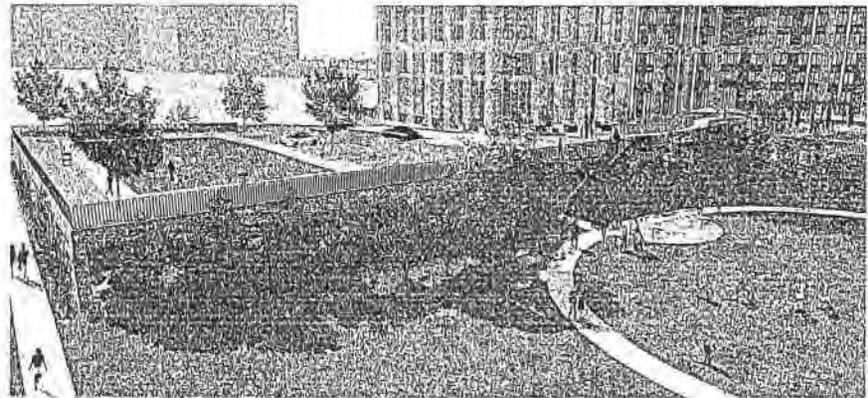
2 INTERIM PARK VIEW FROM EXISTING WESTPARK DRIVE ENTRANCE
L-006 PERSPECTIVE

2014-P5001
NTS



3 INTERIM PARK VIEW FROM RESIDENTIAL PARK
L-006 PERSPECTIVE

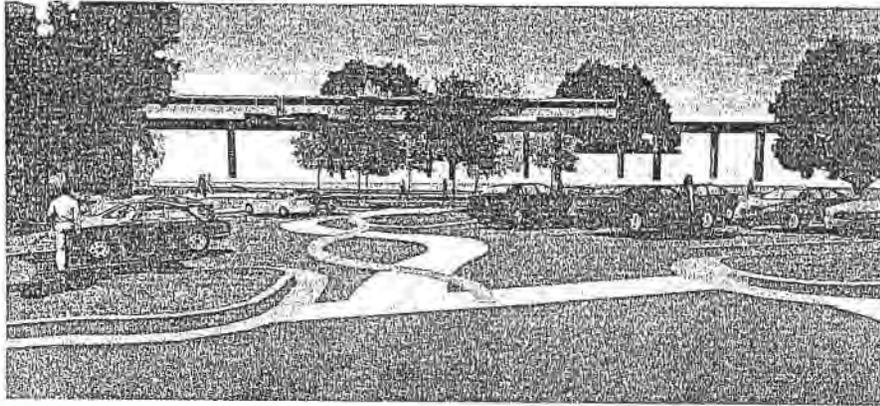
2014-P6003
NTS



4 INTERIM PARK VIEW TO GARAGE SCREEN AT STAIRS
L-006 PERSPECTIVE

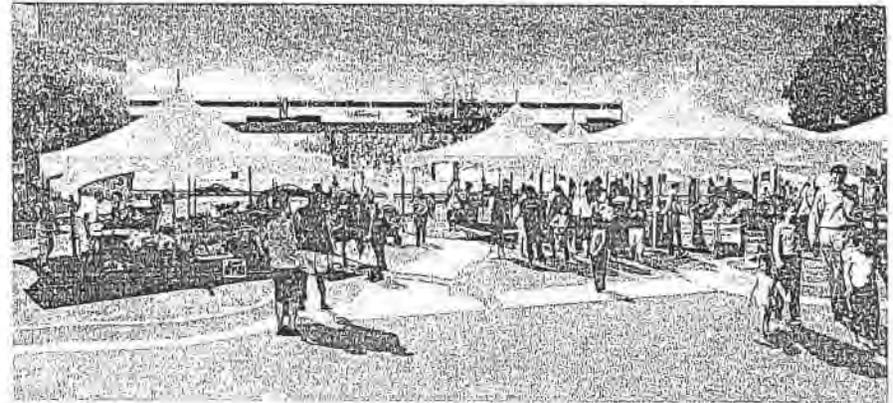
2014-P5001
NTS





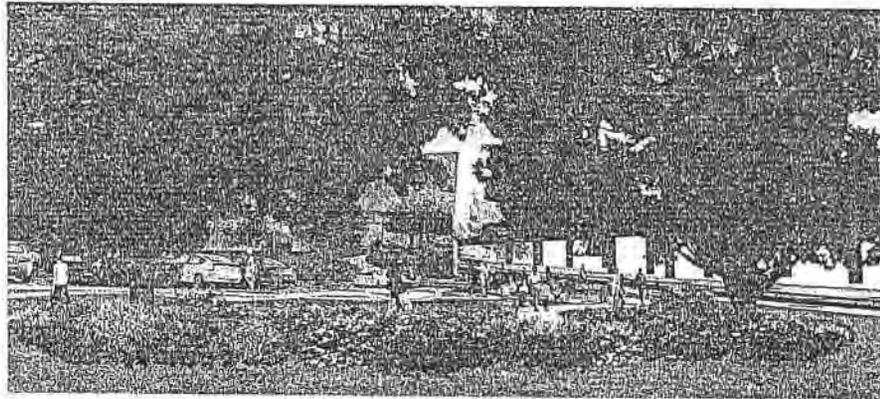
1 INTERIM COMMUNITY EVENTS SPACE - ORDINARY DAY
L.007 PERSPECTIVE

3014-P8003
NTS



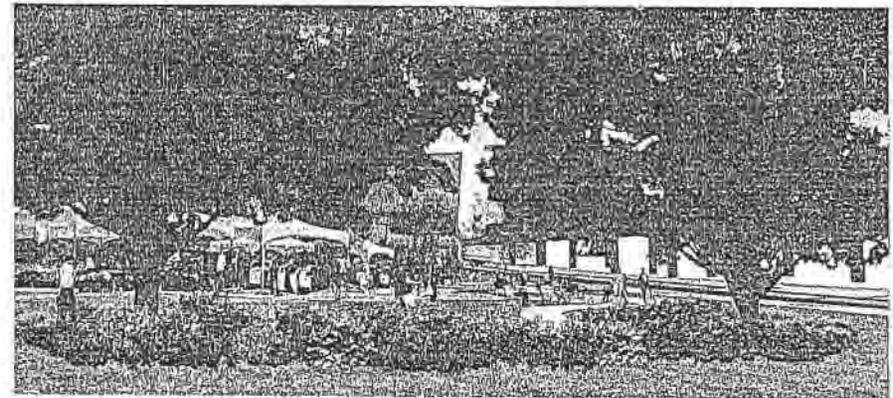
2 INTERIM COMMUNITY EVENTS SPACE - FESTIVAL DAY
L.007 PERSPECTIVE

3014-P8003
NTS



3 INTERIM COMMUNITY EVENTS SPACE - ORDINARY DAY FROM WESTPARK DR.
L.007 PERSPECTIVE

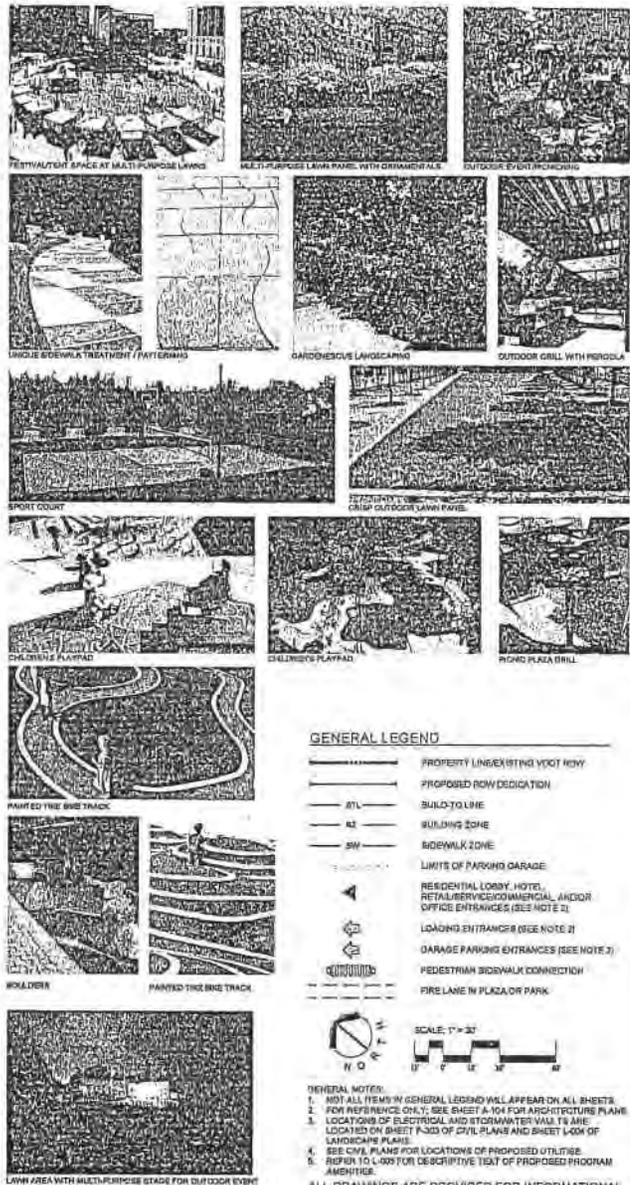
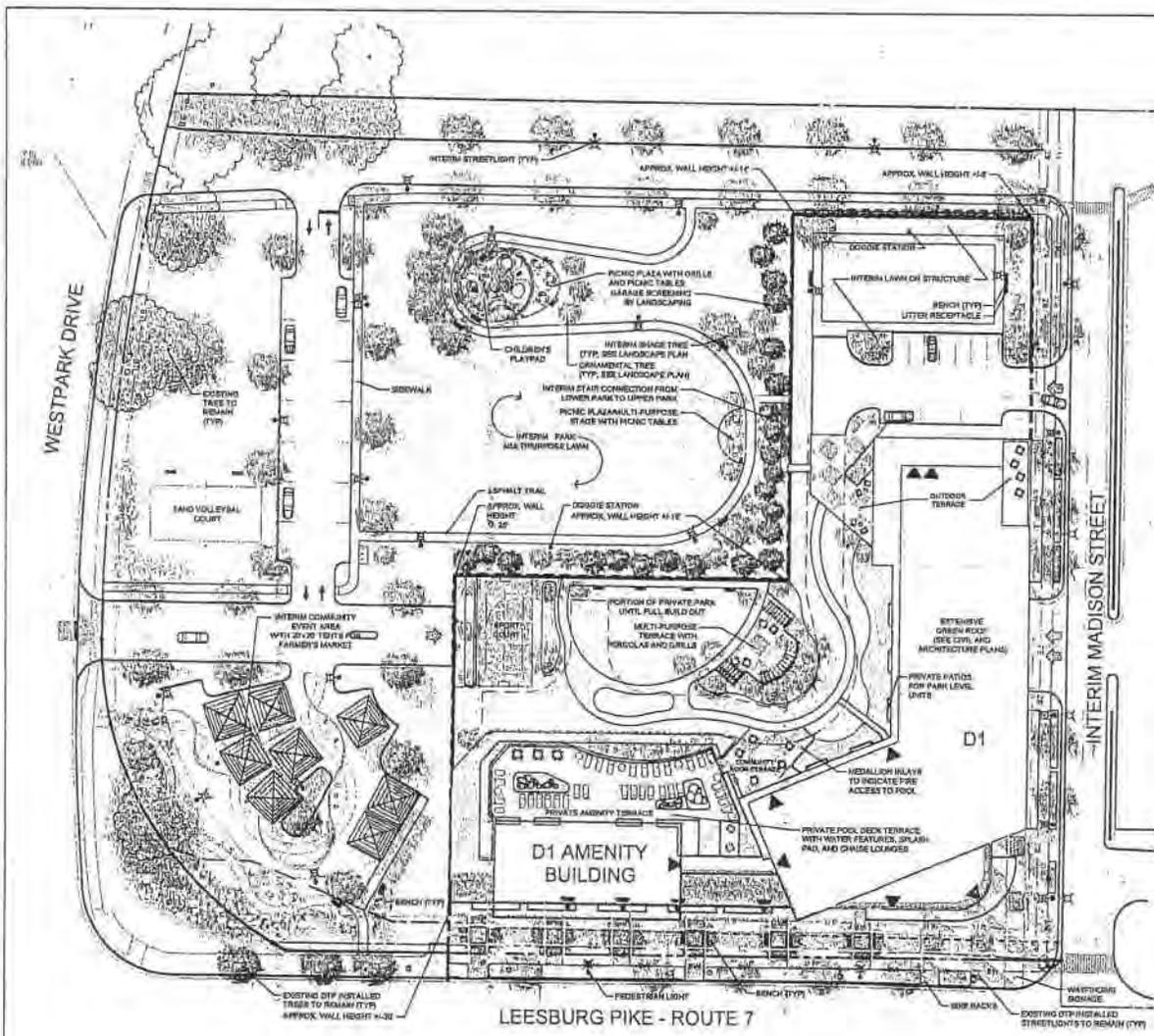
3014-P8003
NTS



4 INTERIM COMMUNITY EVENTS SPACE - FESTIVAL DAY FROM WESTPARK DR.
L.007 PERSPECTIVE

3014-P8003
NTS





GENERAL LEGEND

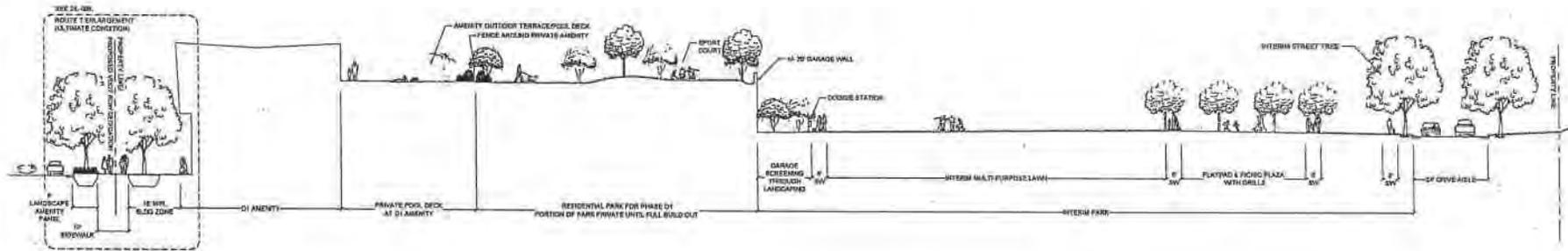
	PROPERTY LINE (STREET VDOT ROW)
	PROPOSED ROW DEDICATION
	BUILD-TO-LINE
	BUILDING ZONE
	SIDEWALK ZONE
	LIMITS OF PARKING GARAGE
	RESIDENTIAL LOBBY, HOTEL, RETAIL, SERVICE, COMMERCIAL, AND/OR OFFICE ENTRANCES (SEE NOTE 2)
	LOADING ENTRANCES (SEE NOTE 2)
	GARAGE PARKING ENTRANCES (SEE NOTE 2)
	PEDESTRIAN SIDEWALK CONNECTION
	FIRE LANE IN PLAZA OR PARK

GENERAL NOTES:

1. NOT ALL ITEMS IN GENERAL LEGEND WILL APPEAR ON ALL SHEETS.
2. FOR REFERENCE ONLY; SEE SHEET A-104 FOR ARCHITECTURE PLANS.
3. LOCATIONS OF ELECTRICAL AND STORMWATER VALVES ARE LOCATED ON SHEET F-303 OF CIVIL PLANS AND SHEET L-004 OF LANDSCAPE PLANS.
4. SEE CIVIL PLANS FOR LOCATIONS OF PROPOSED UTILITIES.
5. REFER TO L-005 FOR DESCRIPTIVE TEXT OF PROPOSED PROGRAM AND SITE.

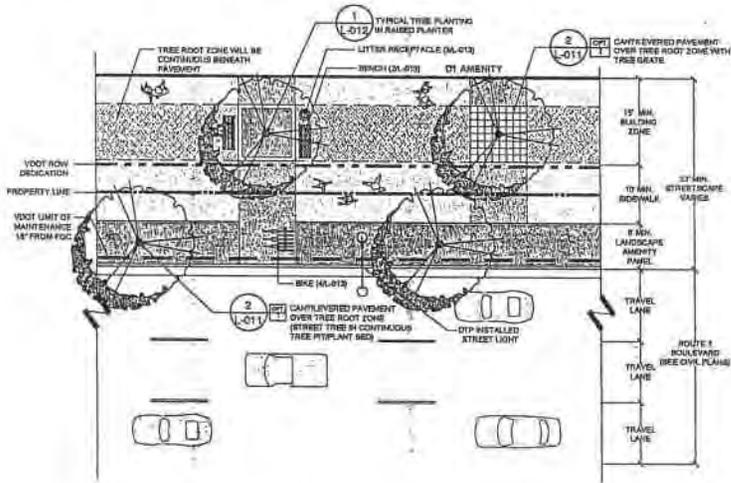
ALL DRAWINGS ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY AND ARE SUBJECT TO CHANGE PER FINAL ARCHITECTURE, CIVIL, AND SITE DESIGN DRAWINGS. DRAWINGS ARE NOT FOR CONSTRUCTION.





1 ROUTE 7, RESIDENTIAL PARK, AND INTERIM PARK SECTION
L-008 SECTION

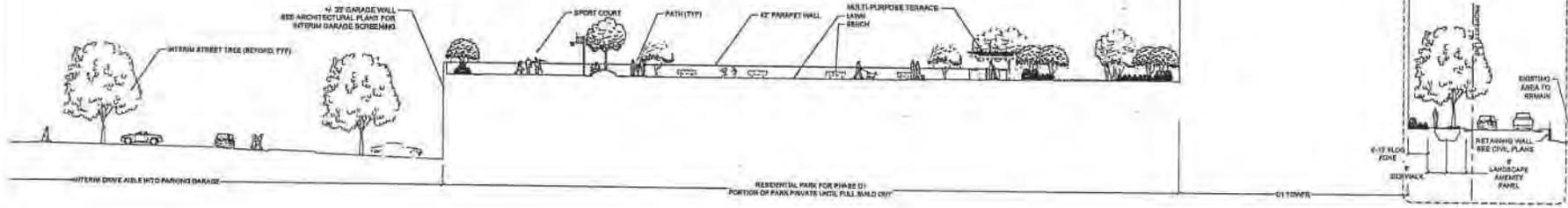
1/16" = 1'-0"



2 ROUTE 7 ENLARGEMENT (ULTIMATE CONDITION)
L-009 STREETScape ENLARGEMENT

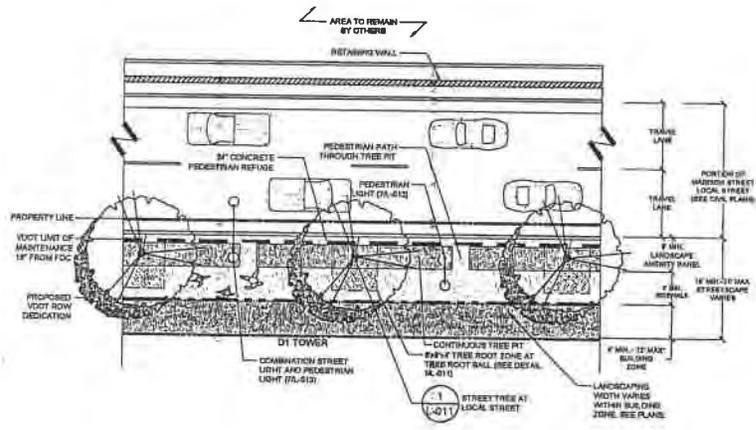
85E01
1" = 10'





1 WESTPARK DR., RESIDENTIAL PARK, AND INTERIM PRIVATE DRIVE SECTION
L-010 STREETScape ENLARGEMENT

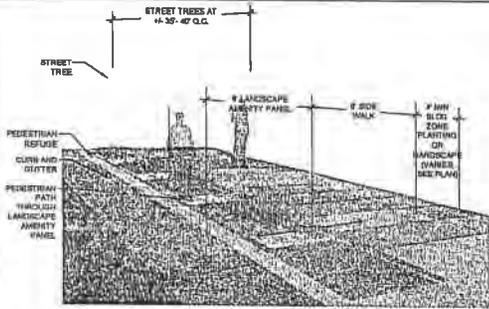
1" = 10'



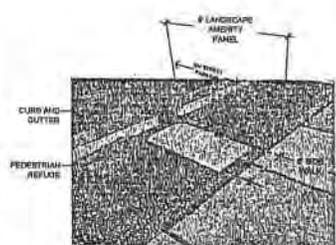
2 INTERIM MADISON ST. ENLARGEMENT
L-010 STREETScape ENLARGEMENT

SSDA
1" = 10'

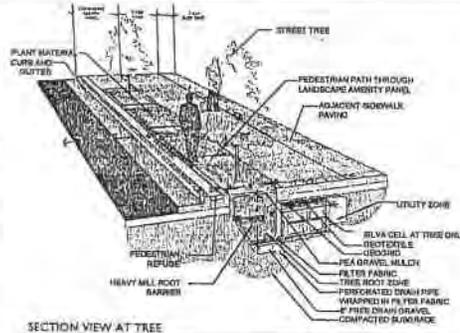




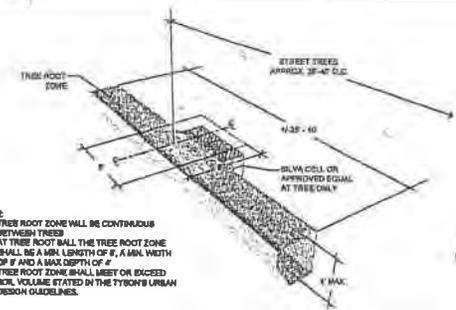
PERSPECTIVE VIEW



ENLARGEMENT



SECTION VIEW AT TREE



NOTE

1. TREE ROOT ZONE WILL BE CONTIGUOUS BETWEEN TREES
2. AT TREE ROOT BALL THE TREE ROOT ZONE SHALL BE A MIN. LENGTH OF #, A MIN. WIDTH OF # AND A MAX. DEPTH OF #
3. TREE ROOT ZONE SHALL MEET OR EXCEED SOIL VOLUME STATED IN THE TYPICAL URBAN DESIGN GUIDELINES.

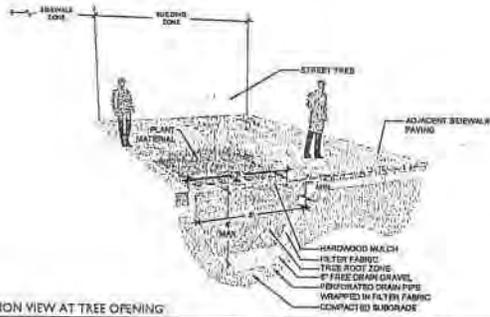
TREE ROOT ZONE

1 STREET TREE AT LOCAL STREET (MADISON ST.)

L-011 PERSPECTIVE SECTIONS

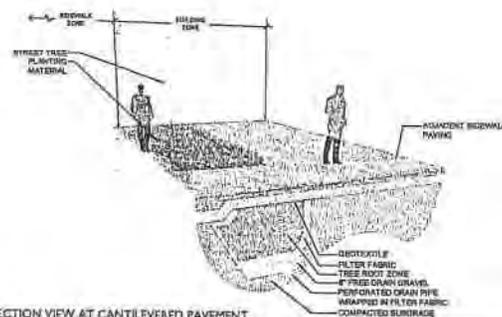
08A-XXXX

NTS

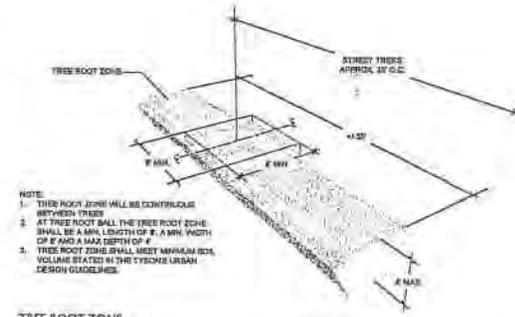


SECTION VIEW AT TREE OPENING

OPT.1 CANTILEVERED PAVEMENT OVER TREE ROOT ZONE - STREET TREE OPTION



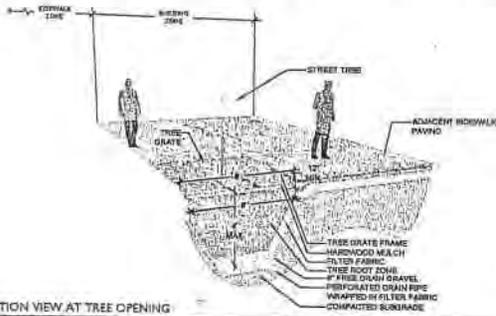
SECTION VIEW AT CANTILEVERED PAVEMENT



NOTE

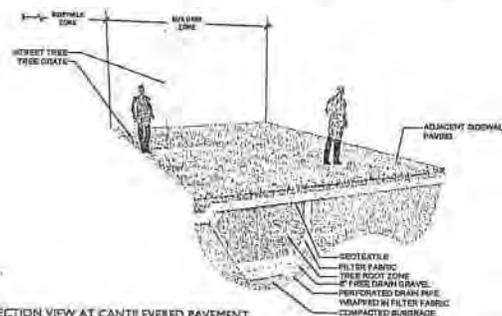
1. TREE ROOT ZONE WILL BE CONTIGUOUS BETWEEN TREES
2. AT TREE ROOT BALL THE TREE ROOT ZONE SHALL BE A MIN. LENGTH OF #, A MIN. WIDTH OF # AND A MAX. DEPTH OF #
3. TREE ROOT ZONE SHALL MEET MINIMUM SOIL VOLUME STATED IN THE TYPICAL URBAN DESIGN GUIDELINES.

TREE ROOT ZONE

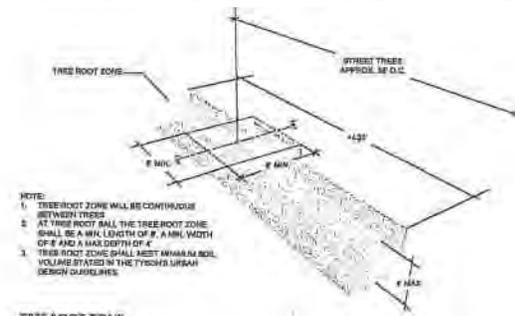


SECTION VIEW AT TREE OPENING

OPT.2 CANTILEVERED PAVEMENT OVER TREE ROOT ZONE WITH TREE GRATE - STREET TREE OPTION



SECTION VIEW AT CANTILEVERED PAVEMENT



NOTE

1. TREE ROOT ZONE WILL BE CONTIGUOUS BETWEEN TREES
2. AT TREE ROOT BALL THE TREE ROOT ZONE SHALL BE A MIN. LENGTH OF #, A MIN. WIDTH OF # AND A MAX. DEPTH OF #
3. TREE ROOT ZONE SHALL MEET MINIMUM SOIL VOLUME STATED IN THE TYPICAL URBAN DESIGN GUIDELINES.

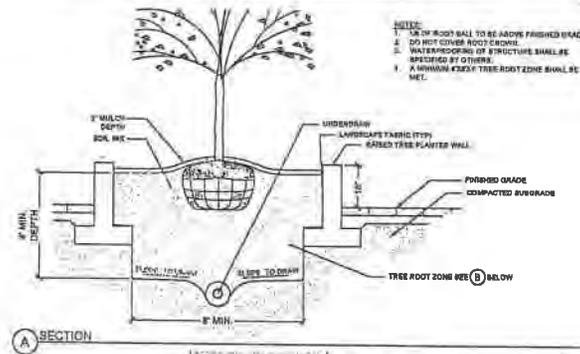
TREE ROOT ZONE

2 STREET TREE OPTIONS (RT 7 CORNER PLAZAS AND DOUBLE ROW)

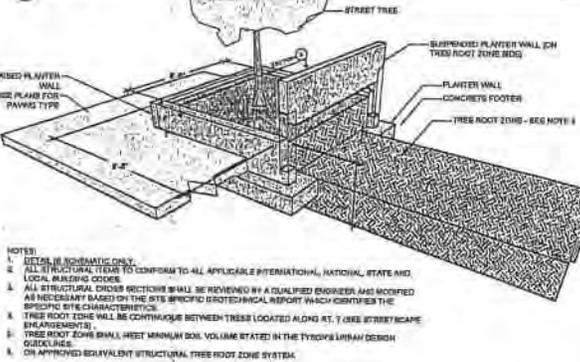
L-011 PERSPECTIVE SECTIONS

08A-XXXX

NTS

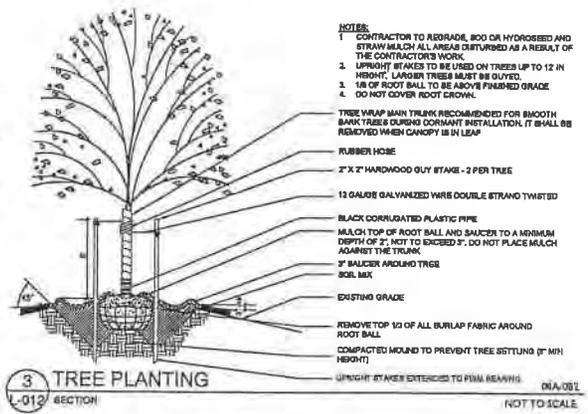


- NOTES:**
1. 1/8\"/>



- NOTES:**
1. DETAIL IS SCHEMATIC ONLY.
 2. ALL STRUCTURAL TIE-BARS TO CONFORM TO ALL APPLICABLE INTERNATIONAL, NATIONAL, STATE AND LOCAL BUILDING CODES.
 3. ALL STRUCTURAL CROSS SECTIONS SHALL BE REVIEWED BY A QUALIFIED ENGINEER AND MODIFIED AS NECESSARY BASED ON THE SITE SPECIFIC GEOTECHNICAL REPORT WHICH IDENTIFIES THE SPECIFIC SITE CHARACTERISTICS.
 4. TREE ROOT ZONE WILL BE CONTINUOUS BETWEEN TREES LOCATED ALONG AT, T (SEE STREET SCAPE ENLARGEMENTS).
 5. TREE ROOT ZONE SHALL MEET MINIMUM SOIL VOLUME STATED IN THE TYPICAL LIRIMAN DESIGN SCHEDULES.
 6. ON APPROVED EQUIVALENT STRUCTURAL TREE ROOT ZONE SYSTEMS.

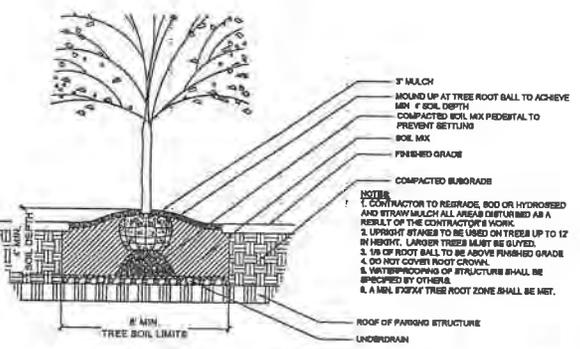
1 TYPICAL TREE PLANTING IN RAISED PLANTER 08A-212
SECTION / EXPLODED VIEW NTS



- NOTES:**
1. CONTRACTOR TO REGRADE, SOO OR HYDROSEED AND STRAW MULCH ALL AREAS DISTURBED AS A RESULT OF THE CONTRACTOR'S WORK.
 2. UPRIGHT STAKES TO BE USED ON TREES UP TO 12 IN HEIGHT. LARGER TREES MUST BE GUYED.
 3. 1/8\"/>

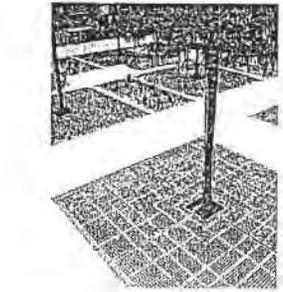
- TREE WRAP MAIN TRUNK RECOMMENDED FOR SMOOTH BARK TREES DURING CORNANT INSTALLATION. IT SHALL BE REMOVED WHEN CANOPY IS IN LEAF.
- 13 GAUGE GALVANIZED WIRE DOUBLE STRAW TWISTED
- BLACK CORRUGATED PLASTIC PIPE
- MULCH TOP OF ROOT BALL AND SAUCER TO A MINIMUM DEPTH OF 2\"/>

3 TREE PLANTING 08A-081
SECTION (NOT TO SCALE)



- NOTES:**
1. CONTRACTOR TO REGRADE, SOO OR HYDROSEED AND STRAW MULCH ALL AREAS DISTURBED AS A RESULT OF THE CONTRACTOR'S WORK.
 2. UPRIGHT STAKES TO BE USED ON TREES UP TO 12 IN HEIGHT. LARGER TREES MUST BE GUYED.
 3. 1/8\"/>

2 TYPICAL TREE PLANTING ON STRUCTURE 08A-211
SECTION NTS



4 TREE GRATE 12G-XXX
PICTORIAL NTS

SIZE: 12\"/>

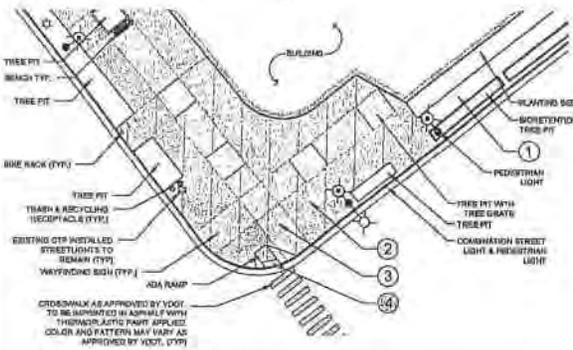
AVAILABLE THROUGH:
IRONSMITH
41-701 CORPORATE WAY, #1
PALMDALE, CA 92300
PH: 803.338.4788
www.ironsmith.com

NOTES:

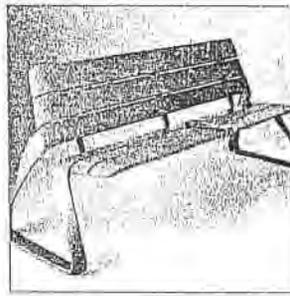
1. SLOT WIDTH IS 1/2\"/>

2. GUYE CABLE FROM IRON OR ALUMINUM TREE OPENING SEE 12, 13 OR 27

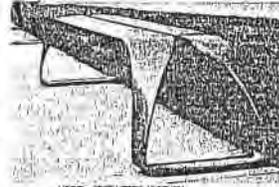




1 PAVING ENLARGEMENT
PLAN



2 BENCH
L.013 PICTORIAL



5 UTILITY COVERS
L.013 PICTORIAL

1 FIELD PAVING - POURED IN PLACE CONCRETE

LOCATION USED: SIDEWALK ZONE (MAY APPEAR IN SELECT LOCATIONS WITHIN LANDSCAPE AMENITY PANEL)
 PRODUCT DESCRIPTION: POURED IN PLACE CONCRETE
 COLOR: COOL GRAYS - TO HAVE MIN. SOLAR REFLECTANCE INDEX (SRI) VALUE OF 0.28
 SUGGESTED JOINTING PATTERNS: # 2 & 4 RECTANGULAR, PERPENDICULAR TO TRAFFIC

2 FIELD PAVING - UNIT PAVERS

LOCATION USED: SIDEWALK ZONE | BIKE RING ZONE (MAY APPEAR IN SELECT LOCATIONS WITHIN LANDSCAPE AMENITY PANEL)
 PRODUCT DESCRIPTION: STONE OR CONCRETE UNIT PAVERS (TO BE ADA COMPLIANT, AND HAVE A NON-SLIP FINISH)
 COLOR: COOL GRAYS - TO HAVE MIN. SOLAR REFLECTANCE INDEX (SRI) VALUE OF 0.28

3 ACCENT PAVING - UNIT PAVERS

LOCATION USED: SIDEWALK ZONE | BUILDING ZONE (MAY APPEAR IN SELECT LOCATIONS WITHIN LANDSCAPE AMENITY PANEL)
 PRODUCT DESCRIPTION: STONE OR CONCRETE UNIT PAVERS (TO BE ADA COMPLIANT, AND HAVE A NON-SLIP FINISH)
 COLOR: COOL GRAYS - TO HAVE MIN. SOLAR REFLECTANCE INDEX (SRI) VALUE OF 0.28

4 ADA ACCESSIBLE RAMP PAVING - DOME PAVERS

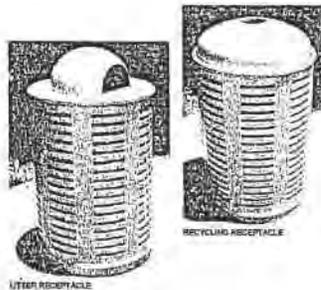
LOCATION USED: ADA CURB RAMPS
 PRODUCT DESCRIPTION: TRICAST (DOMESTIC) & WARRING PAVERS
 COLOR: CHARCOAL GRAY SUGGESTED BUT COLOR TBD BY PROJECT (SUCH THAT ADA REQUIREMENTS ARE MET)

NOTES:

1. OR APPROVED EQUAL
2. ALL STREETSCAPE PAVING TO MEET THE GOALS OF A LEED PROJECT, LIGHT COLORED PAVEMENTS SUCH AS LIGHT COLORED CONCRETE, SLAM AND GRANITE PAVERS SHOULD BE USED TO MINIMIZE HEAT ISLAND EFFECT.



1 STREETSCAPE PAVEMENT
L.013 PLAN / PICTORIAL



3 LITTER AND RECYCLING RECEPTACLE
L.013 PICTORIAL

MODEL: DECALDO TRASH RECEPTACLE
 PRODUCT # DGT-145-36-F-01
 FINISH: GRY FPOWDER COAT RAL 7040

AVAILABLE THROUGH:
 CREATIVE PIPE
 P.O. BOX 2456
 RANCHO MIRAGE, CALIFORNIA 92703-0456
 PH: 1-800-844-8487
 FAX: 761-548-8600
 www.creativepipe.com

NOTES:

1. LITTER AND RECYCLING RECEPTACLES SHALL MEET THE TYSONS CORNER URBAN DESIGN GUIDELINES STANDARDS FOR TYSONS CENTRAL 7 & COURTHOUSE STREETSCAPE FURNISHINGS, OR APPROVED EQUAL (SEE SECTION 3.41 OF DESIGN GUIDELINES)



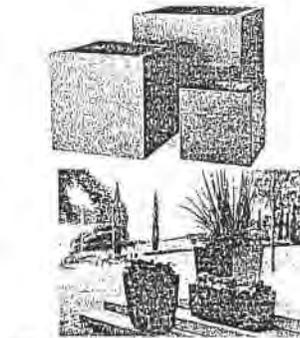
4 BIKE RACK
L.013 PICTORIAL

MODEL: HONORSPIRE RACK
 FINISH: FLUOROPOLYMER SURFACE MOUNT
 FINISH: STAINLESS STEEL

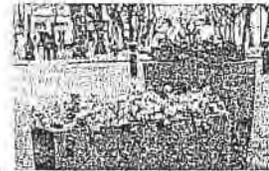
AVAILABLE THROUGH:
 CREATIVE PIPE
 P.O. BOX 2456
 RANCHO MIRAGE, CALIFORNIA 92703-0456
 PH: 1-800-844-8487
 FAX: 761-548-8600
 www.creativepipe.com

NOTES:

1. BIKE RACK SHALL MEET THE TYSONS CORNER URBAN DESIGN GUIDELINES STANDARDS FOR TYSONS CENTRAL 7 & COURTHOUSE STREETSCAPE FURNISHINGS, OR APPROVED EQUAL (SEE SECTION 3.41 OF DESIGN GUIDELINES)
2. ADDITIONAL BIKE PARKING SHOULD BE PROVIDED WITHIN PARKING GARAGE TO MEET OR EXCEED LEED REQUIREMENTS
3. MAX SPACING BETWEEN RACKS SHALL BE 8' WIDE, WITH A 7' OFFSET SPACING SURROUNDING RACKS PER FAIRFAX COUNTY GUIDELINES FOR BICYCLE PARKING.

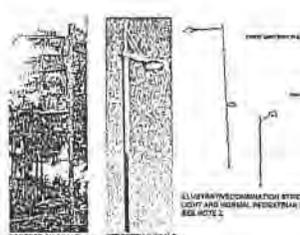


6 PLANTERS
L.013 PICTORIAL



NOTES:

1. PLANTER STYLE SHALL BE SELECTED TO COMPLEMENT ARCHITECTURE STYLE AND OTHER STREETSCAPE AMENITY FURNISHINGS
2. FIBERGLASS LIGHT WEIGHT PLANTERS SHALL BE SPECIFIED FOR ALL ELEVATED DECK/BOOM TOP PLANTERS
3. MOORE DURABLE FIBERGLASS OR CONCRETE PLANTERS SHALL BE SPECIFIED ALONG STREETSCAPE AND AT PUBLIC OPEN SPACE



7 LIGHTING
L.013 PICTORIAL

PRESTRIAN SCALE LIGHTING OPTIONS:

- OPTION 1: RECYCLING AND BIKEWAY AMB SERIES**
- ARE AND SPANNER ARM SERIES
 - RECYCLING
 - HDI OR LED LAMP
 - TYPICAL FLAT GLASS LENS
- OPTION 2: ARCHITECTURAL/AMBA LIGHTING**
- FLUX SERIES
 - WHITE OR BRASS FINISH
 - HDI OPTION
- OPTION 3: APPROVED EQUAL**

NOTES:

1. PRESTRIAN SCALE STREETSCAPE LIGHTING SHALL MEET THE TYSONS CORNER URBAN DESIGN GUIDELINES PRESTRIAN STREETSCAPE LIGHTING OPTIONS OR APPROVED EQUAL (SEE SECTION 3.38 OF DESIGN GUIDELINES)
2. DOWNWARD FREET LIGHT AND PRESTRIAN LIGHT TO BE LOCATED BETWEEN NORMAL PRESTRIAN SCALE LIGHTING (SEE PLAN FOR SPECIFIC LOCATIONS)

ALL DRAWINGS ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY AND ARE SUBJECT TO CHANGE PER FINAL ARCHITECTURE, CIVIL, AND SITE DESIGN. DRAWINGS ARE NOT FOR CONSTRUCTION.





COUNTY OF FAIRFAX
Department of Planning and Zoning
Zoning Evaluation Division
 12055 Government Center Parkway, Suite 801
 Fairfax, VA 22035 (703) 324-1290, TTY 711
www.fairfaxcounty.gov/dpz/zoning/applications

APPLICATION No: FDP 2013-PR-009
 (Assigned by staff)

RECEIVED
 Department of Planning & Zoning
 NOV 01 2013
 Zoning Evaluation Division

APPLICATION FOR A REZONING
 (PLEASE TYPE or PRINT IN BLACK INK)

PETITION

TO: THE BOARD OF SUPERVISORS OF FAIRFAX COUNTY, VIRGINIA
 I (We), Tysons Westpark, L.C.

the applicant (s) petition you to adopt an ordinance amending the Zoning Map of Fairfax County, Virginia, by reclassifying from the n/a District to the n/a District the property described below and outlined in red on the Zoning Section Sheet(s) accompanying and made part of this application.

APPLICATION TYPE(S):	PCA ()	CDP ()	FDP (X)	CDPA ()	FDPA ()
----------------------	---------	---------	---------	----------	----------

LEGAL DESCRIPTION:

See attached				
Lot(s)	Block(s)	Subdivision	Deed Book	Page No.

TAX MAP DESCRIPTION:

29-3	((15))		8	5.37 acres
Map No.	Double Circle No.	Single Circle No.	Parcel(s)/Lot(s) No.	Total Acreage

POSTAL ADDRESS OF PROPERTY:

8401 Westpark Drive

ADVERTISING DISCRIPTION: (Example - North side of Lee Highway approx. 1000 feet west of its intersection with Newgate Blvd.)

Eastern quadrant of Leesburg Pike (Route 7) and Westpark Drive (Route 5061).	
PRESENT USE: Hotel	PROPOSED USE: Hotel, residential, retail
MAGISTERIAL DISTRICT: Providence	OVERLAY DISTRICT (S): HC, SE

The name(s) and address(s) of owner(s) of record shall provided on the affidavit form attached and made part of this application. The undersigned has the power to authorize and does hereby authorize Fairfax County staff representative on official business to enter on the subject property as necessary to process the application.

Martin D. Walsh, attorney/agent
 Type or Print Name
 Walsh, Colucci, Lubeley, Emrich & Walsh, P.C.
 2200 Clarendon Blvd., Suite 1300, Arlington, VA 22201
 Address

MD Walsh
 Signature of Applicant or Agent
 (703) 528-4700
 (Work) Telephone Number (Mobile)

Please provide name and telephone number of contact if different from above:
 Elizabeth D. Baker 703-528-4700

DO NOT WRITE BELOW THIS SPACE

Date application accepted: December 11, 2013 Fee Paid \$16,250.00

FDP 2013-0318 ^{max} 12/11/13

FDP 2013-PR-009

Zoning Application Closeout Summary Report

Printed: 6/30/2015

General Information

APPLICANT: TYSONS WESTPARK, L.C.
DECISION DATE: 10/23/2014
CRD: NO
HEARING BODY: PC
SUPERVISOR DISTRICT:
ACTION: APPROVE
STAFF COORD: BOB KATAI
DECISION SUMMARY:

ON OCTOBER 23, 2014, THE PLANNING COMMISSION UNANIMOUSLY APPROVED FDP 2013-PR-009 ON A MOTION BY COMMISSIONER LAWRENCE SUBJECT TO DEVELOPMENT CONDITIONS DATED OCTOBER 8, 2014 AND TO THE BOARD'S APPROVAL OF THE REZONING RZ 2013-PR-009.

Zoning Information

Existing Zoning		Proposed Zoning		Approved Zoning	
<u>DISTRICT</u>	<u>AREA</u>	<u>DISTRICT</u>	<u>AREA</u>	<u>DISTRICT</u>	<u>AREA</u>
				PTC	5.37 ACRES

Tax Map Numbers

029-3- /15/ /0008-

Approved Land Uses

Zoning District: PTC

<u>LAND USE</u>	APPROVED RESIDENTIAL DEVELOPMENT			APPROVED NON-RESIDENTIAL DEVELOPMENT		
	<u>DWELLING UNITS</u>	<u>LAND AREA</u>	<u>NO. OF ADU'S</u>	<u>GFA</u>	<u>LAND AREA</u>	<u>FAR</u>
HOTEL/MOTL						0.68
MFD	610	233,680.00 SQ FEET				
PERS/SVC/E						
RETAIL/EST						0.10
TOTAL	610	5.36 ACRES				
TOTAL				13,500 SQ FEET	5.37 ACRES	0.79

Approved Waivers/Modifications

MODIFY FENCE HEIGHT REQUIREMENT
MODIFY LOADING SPACE REQUIREMENT
MODIFY STREETScape & TRAIL REQUIREMENT
SEE FILE FOR ALL WAIVERS AND MODIFICATIONS
WAIVE DEDICATION REQUIREMENT
WAIVE PFM STANDARD FOR UNDERGROUND SWM FACILITY
WAIVE BEST MANAGEMENT PRACTICES
MODIFY TREE CONSERVATION PLAN
WAIVE INTERPARCEL ACCESS
WAIVE MINIMUM DISTRICT SIZE
WAIVE SERVICE DRIVE REQUIREMENT

Approved Development Conditions

DEVELOPMENT CONDITION STATEMENT DATE: 06-30-2015

<u>DEVELOPMENT CONDITION</u>	<u>DUE</u>	<u>TRIG #</u>	<u>TRIG EVENT</u>	<u>CONTRIB</u>	<u>EXPIR DTE</u>
SUBJECT TO SITE PLANS / SUBDIVISION PLATS	01-01-0001	0	N/A	0	01-01-0001