



County of Fairfax, Virginia

To protect and enrich the quality of life for the people, neighborhoods and diverse communities of Fairfax County

RECEIVED
Department of Planning & Zoning

AUG 13 2015

Zoning Evaluation Division

June 24, 2015

Lynne J. Strobel
Walsh, Colucci, Lubeley & Walsh, P.C.
2200 Clarendon Boulevard, Suite 1300
Arlington, VA 22201

RE: Rezoning Application RZ 2014-LE-010
(Concurrent with Special Exception Amendment Applications SEA 2005-LE-027-02 and SEA 2005-LE-028)

Dear Ms. Strobel:

Enclosed you will find a copy of an Ordinance adopted by the Board of Supervisors at a regular meeting held on June 23, 2015, granting Rezoning Application RZ 2014-LE-010 in the name of Piney Run Elm Investments LC. The Board's action rezones certain property in the Lee District from the R-1 and NR Districts to the R-1 and NR Districts to permit independent living facilities with a total density of 5.46 units/ac., and a waiver of the minimum lot size and lot width requirements. The subject property is located on the N. side of Telegraph Road, approximately 2,000 feet E. of its intersection with Beulah Street, on approximately 47.40 acres of land, [Tax Map 100-1 ((1)) 9B pt., 19, 20, 23A, 24, and 25], subject to the proffers dated June 19, 2015.

The Board also:

- Waived Sect. 11-302 of the ZO to allow a private street to exceed 600 feet in length as shown on the GDP/SEA Plat
- Modified the transitional screening requirements of Sect. 13-303 of the Zoning Ordinance along the northern half of the subject property's western boundary in favor of the landscaping shown on the GDP/SEA Plat
- Waived the barrier requirements of Sect. 13-304 of the Zoning Ordinance along the subject property's east property line (Piney Run stream channel) to permit the retention of the existing vegetation supplemented by the landscaping shown on the GDP/SEA Plat

Office of the Clerk to the Board of Supervisors
12000 Government Center Parkway, Suite 533
Fairfax, Virginia 22035

Phone: 703-324-3151 ♦ Fax: 703-324-3926 ♦ TTY: 703-324-3903
Email: clerktothebos@fairfaxcounty.gov

- Approved Water Quality Impact Assessment Request #7239-WQ-002-1 and Resource Protection Area Encroachment Exception Request #7239-WRPA-004-1, subject to the proposed development conditions contained in Exhibit A of Appendix 15 of the staff report dated May 27, 2015

Sincerely,



Catherine A. Chianese
Clerk to the Board of Supervisors

Cc: Chairman Sharon Bulova
Supervisor Jeffrey McKay, Lee District
Tim Shirocky, Acting Director, Real Estate Division, Dept. of Tax Administration
Barbara Berlin, Director, Zoning Evaluation Division, DPZ
Diane Johnson-Quinn, Deputy Zoning Administrator, Dept. of Planning and Zoning
Thomas Conry, Dept. Manager – GIS - Mapping/Overlay
Michael Davis, Section Chief, Transportation Planning Division
Donald Stephens, Transportation Planning Division
Department of Highways-VDOT
Sandy Stallman, Park Planning Branch Manager, FCPA
Charlene Fuhrman-Schulz, Development Officer, DHCD/Design Development Division
Jill Cooper, Executive Director, Planning Commission
Ajay Rawat, Coordinator, Facilities Planning, Fairfax County Public Schools
Karyn Moreland, Chief Capital Projects Sections, Dept. of Transportation

At a regular meeting of the Board of Supervisors of Fairfax County, Virginia, held in the Board Auditorium in the Government Center at Fairfax, Virginia, on the 23rd day of June, 2015, the following ordinance was adopted:

**AN ORDINANCE AMENDING THE ZONING ORDINANCE
PROPOSAL NUMBER RZ 2015-LE-010
(Concurrent with Special Exception Amendment Applications SEA 2005-LE-027-02 and
SEA 2005-LE-028)**

WHEREAS, , filed in the proper form an application requesting the zoning of a certain parcel of land herein after described, from the R-1 and NR Districts to the R-1 and NR Districts

WHEREAS, at a duly called public hearing the Planning Commission considered the application and the propriety of amending the Zoning Ordinance in accordance therewith, and thereafter did submit to this Board its recommendation, and

WHEREAS, this Board has today held a duly called public hearing and after due consideration of the reports, recommendation, testimony and facts pertinent to the proposed amendment, the Board is of the opinion that the Ordinance should be amended,

NOW, THEREFORE, BE IT ORDAINED, that that certain parcel of land situated in the Lee District, and more particularly described as follows (see attached legal description):

Be, and hereby is, zoned to the R-1 and NR Districts, and said property is subject to the use regulations of said R-1 and NR Districts, and further restricted by the conditions proffered and accepted pursuant to Va. Code Ann., 15.2-2303(a), which conditions are in addition to the Zoning Ordinance regulations applicable to said parcel, and

BE IT FURTHER ENACTED, that the boundaries of the Zoning Map heretofore adopted as a part of the Zoning Ordinance be, and they hereby are, amended in accordance with this enactment, and that said zoning map shall annotate and incorporate by reference the additional conditions governing said parcel.

GIVEN under my hand this 23rd day of June, 2015.



Catherine A. Chianese
Clerk to the Board of Supervisors



COUNTY OF FAIRFAX
Department of Planning and Zoning
Zoning Evaluation Division
 12055 Government Center Parkway, Suite 801
 Fairfax, VA 22035 (703) 324-1290, TTY 711
www.fairfaxcounty.gov/dpz/zoning/applications

APPLICATION No: RZ 2014-LE-010 Amended

(Assigned by staff)

Concurrent with
 SEA 2005-LE-028
 SEA 2005-LE-027-02

APPLICATION FOR A REZONING
 (PLEASE TYPE or PRINT IN BLACK INK)

RECEIVED
 Department of Planning & Zoning

FEB 11 2015

Zoning Evaluation Division

PETITION

TO: THE BOARD OF SUPERVISORS OF FAIRFAX COUNTY, VIRGINIA

I (We), Piney Run Elm Investments LC, the applicant (s) petition you to adopt an ordinance amending the Zoning Map of Fairfax County, Virginia, by reclassifying from the R-1 District to the R-1 District the property described below and outlined in red on the Zoning Section Sheet(s) accompanying and made part of this application.

APPLICATION TYPE(S):	PCA ()	CDP ()	FDP ()	CDPA ()	FDPA ()
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LEGAL DESCRIPTION:

Metes and bounds - see attached				
Lot(s)	Block(s)	Subdivision	Deed Book	Page No.

TAX MAP DESCRIPTION:

100-1	((1))		9B (pt.), 19, 20, 23A, 24, 25	Approximately 47.40 acres
Map No.	Double Circle No.	Single Circle No.	Parcel(s)/Lot(s) No.	Total Acreage

POSTAL ADDRESS OF PROPERTY:

7836, 7906, 7908 and 7912 Telegraph Road, Alexandria, Virginia 22315

ADVERTISING DISCRPTION: (Example - North side of Lee Highway approx. 1000 feet west of its intersection with Newgate Blvd.)

N. Side of Telegraph Road (Rt. 61.1) approximately 2,000 feet east of the its intersection with Beulah Street (Rt. 613).

PRESENT USE: Residential	PROPOSED USE: Residential
MAGISTERIAL DISTRICT: Lee	OVERLAY DISTRICT (S): NR

The name(s) and address(s) of owner(s) of record shall provided on the affidavit form attached and made part of this application. The undersigned has the power to authorize and does hereby authorize Fairfax County staff representative on official business to enter on the subject property as necessary to process the application.

Lynne J. Strobel, Attorney/Agent
 Type or Print Name
 Walsh, Colucci, Lubeley & Walsh, PC
 2200 Clarendon Blvd., Suite 1300, Arlington, VA 22201
 Address

Lynne J. Strobel
 Signature of Applicant or Agent
 (Work) 703-528-4700 (Mobile)
 Telephone Number

Please provide name and telephone number of contact if different from above:

DO NOT WRITE BELOW THIS SPACE

Date application accepted: March 3, 2015

Deborah L. Pennington RZ 2015-0046 *mpe 3/3/15*

Fee Paid \$6,255.00

PROFFERS

RECEIVED
Department of Planning & Zoning

JUN 22 2015

Zoning Evaluation Division

PINEY RUN ELM INVESTMENTS LC

RZ 2014-LE-010

June 19, 2015

Pursuant to Section 15.2-2303(a), Code of Virginia, 1950, as amended, Piney Run Elm Investments LC (hereinafter referred to as the "Applicant"), for the owners, itself, and its successors and assigns in RZ 2014-LE-010, filed on property identified as Fairfax County Tax Map reference 100-1 ((1)) 9B pt., 19, 20, 23A, 24 and 25 (hereinafter referred to as the "Application Property"), hereby proffers to the following, provided that the Fairfax County Board of Supervisors (hereinafter referred to the "Board") approves a rezoning of the Application Property, containing approximately 47.4 acres, from the R-1 District to the R-1 District, in conjunction with a Generalized Development Plan/Special Exception Amendment Plat (hereinafter referred to as the "GDP/SEA Plat") for an age-restricted community and accessory uses. If accepted, these proffers shall supersede and replace any previous proffers approved on the Application Property.

1. GENERALIZED DEVELOPMENT PLAN/SPECIAL EXCEPTION AMENDMENT PLAT (GDP/SEA PLAT)
 - A. Subject to the provisions of Section 18-204 of the Fairfax County Zoning Ordinance (hereinafter referred to as the "Zoning Ordinance") development of the Application Property shall be in substantial conformance with the GDP/SEA Plat, entitled "Piney Run," containing sixteen (16) sheets prepared by Dewberry, dated March 5, 2014 as revised through May 15, 2015.
 - B. Pursuant to Section 18-204 of the Zoning Ordinance, minor modifications from the GDP/SEA Plat may be permitted as determined by the Zoning Administrator. The Applicant reserves the right to make minor modifications to the building footprints shown on the GDP/SEA Plat, and make other modifications provided that such modifications are in substantial conformance with the GDP/SEA Plat as determined by the Zoning Administrator and do not increase the number of dwelling units, decrease required setbacks to the periphery, increase the building height shown on the GDP/SEA Plat, or decrease open space.
2. TRANSPORTATION
 - A. The private streets shown on the GDP/SEA Plat shall be constructed of materials with a depth of pavement consistent with the Public Facilities Manual ("PFM") standards for public streets. Purchasers shall be advised of the requirement to maintain the private streets, including curb and gutter, and pedestrian facilities, including the estimated costs, prior to entering into a contract of sale. The requirement to maintain the street as constructed and the estimated maintenance

costs shall be included in the owners' association documents prepared for the Application Property.

- B. The Applicant shall grant a public access easement over the private streets as shown on the GDP/SEA Plat. Said easement shall be in a form as reviewed and approved by the Fairfax County Attorney's office, and recorded among the Fairfax County land records.
- C. Subject to Virginia Department of Transportation (VDOT) and Department of Public Works and Environmental Services (DPWES) approval, the Applicant shall dedicate at no cost and convey in fee simple with no encumbrance to the Board right-of-way measuring between forty-four (44) feet and fifty-four (54) feet from Telegraph Road to the turnaround north of the Resource Protection Area (RPA) and designated on the GDP/SEA Plat as "Public Street." Dedication shall be made at time of final site plan approval.
- D. Subject to VDOT and DPWES approval, the Applicant shall construct improvements within the dedicated right-of-way consisting of a public street, with curb/gutter, turn lanes, and sidewalks as shown on the GDP/SEA Plat. Said improvements shall be constructed and open to traffic from Telegraph Road to the first private street connection, but not necessarily accepted by VDOT, prior to the issuance of the first Residential Use Permit (RUP) on the Application Property. Said improvements shall be constructed and open to traffic from the first private street connection to the turnaround north of the RPA as shown on the GDP/SEA Plat, but not necessarily accepted by VDOT, prior to the issuance of the first RUP for that portion of the Application Property located north of the RPA.
- E. Subject to VDOT and DPWES approval, the Applicant shall replace an existing bridge with a bridge constructed to HL 93 Loading using AASHTO LRFD Bridge Design Specifications within the dedicated right-of-way as shown on the GDP/SEA Plat in accordance with the following:
 - (i) The approval of the bridge design shall be pursued concurrently with site plan approval;
 - (ii) The bridge shall be constructed and open to traffic, but not necessarily accepted by VDOT for public maintenance, prior to the issuance of the first RUP or Non-RUP for that portion of the Application Property located north of the bridge;
 - (iii) At time of site plan approval, the Applicant shall submit to DPWES a construction traffic management plan certified by a professional engineer registered with the Commonwealth of Virginia identifying the type of

construction vehicles that will be using the existing bridge and/or temporary stream crossing described herein;

- (iv) Prior to commencement of construction on that portion of the Application Property located north of the bridge, the Applicant shall submit documentation prepared by a professional engineer registered with the Commonwealth of Virginia certifying that the existing bridge will support emergency vehicles and construction vehicles, as identified in the construction management plan, and may be safely used during construction on the Application Property. As an alternative, the Applicant may construct a temporary stream crossing for emergency and construction vehicles or designate an alternative vehicular route, as approved by DPWES, to access that portion of the Application Property located north of the bridge; and
 - (v) The limits of disturbance associated with the bridge construction and possible temporary stream crossing is shown on the GDP/SEA Plat.
- F. The Applicant shall construct a fourteen (14) foot private drive within a twenty (20) foot privately owned strip of land from the public street north of the RPA to the western property line as shown on the GDP/SEA Plat. The Applicant shall install a gate at the terminus of the public street as shown on the GDP/SEA Plat to preclude public access.
- G. The Applicant shall construct sidewalks, a minimum of five (5) feet in width with ADA curb ramps and curb and gutter, along the internal street network, as shown on the GDP/SEA Plat to connect the residential buildings to Telegraph Road, prior to the issuance of the first RUP for each phase of road construction. These improvements shall be designed to meet VDOT and/or PFM standards.
- H. At time of site plan approval, the Applicant shall contribute two hundred thousand dollars (\$200,000.00) to Fairfax County for the installation of a trail along Telegraph Road from Hayfield Road to South Kings Highway and for other transportation improvements in the vicinity of the Application Property, as determined by Fairfax County.
- I. Subject to VDOT and DPWES approval, the Applicant shall install curb, gutter and trail improvements within those areas where existing driveway connections to Telegraph Road are removed as shown on the GDP/SEA Plat.
- J. A covenant shall be recorded which provides that garages shall only be used for a purpose that will not interfere with the intended purpose of garages (e.g., parking of vehicles). The covenant shall be recorded among the land records of Fairfax County in a form approved by the County Attorney prior to the sale of any lots and shall run to the benefit of the owners associations established for the community and the

Board. Purchasers shall be advised in writing of the use restriction prior to entering into a contract of sale.

- K. All two car garages for single family attached and single family detached dwelling units located on the Application Property shall have a minimum interior width of eighteen (18) feet to be counted as two parking spaces. If this minimum dimension is not provided, the Applicant shall count the garage as one parking space to meet minimum parking requirements as established by the Zoning Ordinance at time of site plan approval.

3. TRANSPORTATION DEMAND MANAGEMENT STRATEGIES

The Applicant shall implement the following transportation demand management (TDM) strategies to reduce vehicle trips from the Application Property during the AM and PM peak hours. The TDM strategies shall be implemented prior to issuance of the first RUP for the Application Property. Strategies shall include the following:

- A. Prior to the issuance of the first RUP, the Applicant shall escrow a sum of \$35,000.00 with the owners associations established for the Application Property to be used for the establishment of TDM strategies, enhancing/providing multi-modal facilities within and proximate to the Application Property, and/or for providing on-site private street maintenance.
- B. The Applicant shall pre-wire all dwelling units with high capacity data/network connections in addition to standard phone lines.
- C. The Applicant shall establish and maintain a concierge service whereby residents can arrange services such as dry cleaning, pharmacy, grocery and package deliveries. Residents shall not be charged any additional fees for utilizing concierge services other than what may be included in homeowners' or condominium association dues and/or fees.
- D. The Applicant shall provide SmarTrip cards to each resident on a one time basis at settlement for the initial purchase of dwellings on the Application Property. The Applicant shall provide, for a period of one year, SmarTrip cards to each employee at the time of initial employment. SmarTrip cards for each resident shall include a pre-paid value of (Seventy-Five) Dollars (\$75.00). SmarTrip cards for each employee shall include a pre-paid value of One Hundred Twenty-Five Dollars (\$125.00).
- E. The Applicant shall provide Metro maps, schedules and forms, including routes and stop locations, ridesharing and other relevant transit option information available to residents and employees in a common area; such as a central lobby or community room.

- F. The Applicant shall contribute the amount of Forty Thousand Dollars (\$40,000.00) to Fairfax County at time of site plan approval for the installation of bus shelters along Telegraph Road in the vicinity of the Application Property.
- G. The Applicant shall employ or appoint a TDM Program Manager (TPM) for the Application Property. If not previously appointed, the TPM shall be appointed prior to the issuance of the first RUP. The TPM duties may be performed by the property manager retained by the owners associations established for this community. The TPM shall notify FCDOT in writing within ten (10) days of the appointment of the TPM, and within ten (10) days of any change in the appointment.

4. STORMWATER MANAGEMENT/BEST MANAGEMENT PRACTICES

- A. The Applicant shall implement a Stormwater Management (SWM) and Best Management Practices (BMPs) Plan on the Application Property which emphasizes Low Impact Development (LID) practices to control the quantity and quality of stormwater runoff from the Application Property. The SWM/BMP Plan shall conform to Chapter 124 (SWM Ordinance) of the 1976 Code of the County of Fairfax, Virginia and Public Facilities Manual (PFM) Amendment, 117-14-PFM, both adopted January 28, 2014. Standard and/or Manufactured LID/BMP practices used for the SWM/BMP Plan shall be in conformance with applicable practices and specifications listed on the Virginia Stormwater Clearinghouse Website, and in accordance with all applicable requirements of the PFM Amendment. LID/BMP facilities anticipated for the development program are shown in the GDP/SEA Plat, which includes a wet pond, 2 bioretention facilities, 3 underground sand filters, permeable pavement and 3 areas of reforestation. The number, design, and type of facilities may be modified by the Applicant at time of site plan subject to the approval of DPWES.
- B. The proposed SWM wet pond, including its perimeter, and/or the bioretention facilities or other low impact development techniques shall be landscaped to the maximum extent possible as determined by Urban Forestry Management, DPWES (UFM), pursuant to the policy adopted by the Board, using native or other appropriate hydrophilic vegetation species. It is understood that no trees or other woody vegetation will be permitted on the embankments of the wet pond or bioretention facilities in accordance with the PFM. The landscaping plan for the SWM facility shall be submitted with the first site plan for review and approval by UFM.
- C. Should the U.S. Environmental Protection Agency, or its designee, issue new stormwater management regulations affecting the Application Property, the Applicant shall have the right to accommodate necessary changes to its SWM/BMP facility designs without the requirement to amend the GDP/SEA Plat and/or these proffers or gain approval of an administrative modification to the GDP/SEA Plat

and/or these proffers, provided the facility designs substantially conform with the GDP/SEA Plat.

- D. At time of site plan approval, the Applicant, in coordination with DPWES, the Army Corps of Engineers (COE), and the Virginia Department of Environmental Quality (DEQ), shall prepare and implement a riparian buffer restoration plan of approximately three (3) acres for that portion of Piney Run that crosses the Application Property which is located between the RPA to the south and the 100-year floodplain to the north. Said restoration shall include a monitoring program in accordance with COE and DEQ requirements, be consistent with the requirements of the Chesapeake Bay Preservation Ordinance, and generally in conformance with the riparian buffer restoration limits shown on Sheet 5 of the GDP/SEA Plat.

5. TREE PRESERVATION, LANDSCAPING, AND OPEN SPACE

The Applicant shall submit a tree preservation plan and narrative as part of the first and all subsequent site submissions as follows:

- A. Tree Preservation Plan. The tree preservation plan and narrative shall be prepared by a professional with experience in the preparation of tree preservation plans, such as a certified arborist or landscape architect, and shall be subject to the review and approval of the UFM. The tree preservation plan shall consist of a tree survey that includes the location, species, size, crown spread and condition rating percentage of all trees 10 inches in diameter and greater (measured at 4 ½ feet from the base of the trunk or as otherwise allowed in the latest edition of the Guide for Plant Appraisal published by the International Society of Arboriculture) located within 25 feet to either side of the limits of clearing and grading shown on the GDP/SEA Plat. The tree preservation plan shall provide for the preservation of those areas shown for tree preservation, those areas outside of the limits of clearing and grading shown on the GDP/SEA Plat, and those additional areas in which trees can be preserved as a result of final engineering. The tree preservation plan and narrative shall include all items specified in PFM 12-0507 and 12-0509.
- B. Tree Preservation Walk-Through. The Applicant shall retain the services of a certified arborist or landscape architect, and shall have the limits of clearing and grading marked with a continuous line of flagging prior to the walk-through meeting. During the tree preservation walk-through meeting, the Applicant's certified arborist or landscape architect shall walk the limits of clearing and grading with a UFM representative and a representative of the Lee District Land Use and Transportation Advisory Committee to determine where adjustments to the clearing limits can be made to increase the area of tree preservation and/or to increase the survivability of trees at the edge of the limits of clearing and grading, and such adjustment shall be implemented. Trees that are identified specifically by UFM in writing as dead or dying may be removed as part of the clearing operation. Any tree that is so

designated shall be removed using a chain saw and such removal shall be accomplished in a manner that avoids damage to surrounding trees and associated understory vegetation. If a stump must be removed, this shall be done using a stump grinding machine in a manner causing as little disturbance as possible to the adjacent trees and associated understory vegetation and soil conditions.

- C. Limits of Clearing and Grading. The Applicant shall conform strictly to the limits of clearing and grading as shown on the GDP/SEA Plat, subject to allowances specified in the proffered conditions and for the installation of utilities and/or trails as determined necessary by the Director of DPWES, as described herein. If it is determined necessary to install utilities and/or trails in areas protected by the limits of clearing and grading as shown on the GDP/SEA Plat, they shall be located in the least disruptive manner necessary as determined by UFM. A replanting plan shall be developed and implemented, subject to approval by UFM, for any areas protected by the limits of clearing and grading that must be disturbed for such trails or utilities.
- D. Tree Protection Fencing All trees shown to be preserved on the tree preservation plan shall be protected by a tree protection fence. Tree protection fencing in the form of four (4) foot high, fourteen (14) gauge welded wire attached to six (6) foot steel posts driven eighteen (18) inches into the ground and placed no further than ten (10) feet apart or, super silt fence to the extent that required trenching for super silt fence does not sever or wound compression roots which can lead to structural failure and/or uprooting or trees shall be erected on the limits of clearing and grading as shown on the demolition, and phase I and II erosion and sediment control sheets, as may be modified by the "Root Pruning" proffer below.

All tree protection fencing shall be installed after the tree preservation walk-through meeting but prior to any clearing and grading activities, including the demolition of any existing structures. The installation of all tree protection fence types shall be performed under the supervision of a certified arborist, and accomplished in a manner that does not harm existing vegetation that is to be preserved. Three days prior to the commencement of any clearing, grading, or demolition activities, but subsequent to the installation of the tree protection devices, UFM, the Lee District Supervisor, and representative of the Lee District Land Use and Transportation Advisory Committee shall be notified and given the opportunity to inspect the site to ensure that all tree protection devices have been correctly installed. If it is determined that the fencing has not been installed correctly, no grading or construction activities shall occur until the fencing is installed correctly, as determined by UFM.

- E. Root Pruning. The Applicant shall root prune, as needed to comply with the tree preservation requirements of these proffers. All treatment shall be clearly identified, labeled, and detailed on the erosion and sediment control sheets and demolition plan sheets of the site plan submission. The details for these treatments shall be reviewed

and approved by UFM, accomplished in a manner that protects affected and adjacent vegetation to be preserved, and a manner that protects affected and adjacent vegetation to be preserved, and may include, but not be limited to, the following:

- Root pruning shall be done with a trencher or vibratory plow to a depth of 18 inches.
- Root pruning shall take place prior to any clearing and grading, or demolition of structures.
- Root pruning shall be conducted with the supervision of a certified arborist.
- An UFM representative shall be informed when all root pruning and tree protection fence installation is complete.

F. Site Monitoring. During any clearing or tree/vegetation/structure removal on the Application Property, a representative of the Applicant shall be present to monitor the process and ensure that the activities are conducted as proffered and as approved by UFM. The Applicant shall retain the services of a certified arborist or landscape architect to monitor all construction work and tree preservation efforts in order to ensure conformance with all tree preservation proffers and UFM approvals. The monitoring schedule shall be described and detailed in the landscaping and tree preservation plan, and reviewed and approved by UFM.

G. Use of Native Species. The Applicant shall exclusively use native and non-invasive species for landscaping and other plantings on the Application Property. The Applicant shall provide planting lists showing species and location of plantings.

6. PRESERVATION AREA

A. The Applicant shall create an approximately 22 acre preservation area on the north and east side of the Application Property as shown on the GDP/SEA Plat that shall be open to the public through the recordation of a public access easement. The Applicant shall coordinate with the Audubon Society of Northern Virginia (the "Audubon Society") to remove invasive grasses from approximately two (2) acres of open pasture. Applicant shall improve the soil quality and replant the two (2) acres as a natural wildflower meadow. The Applicant may install structures to enhance the preservation area, which may include bridges over streams and brooks, park benches, gazebos and/or pavilions, recreation amenities, and informative nature signs. These structures shall be installed in a manner that minimizes disturbance of the preservation area, as approved by UFM. The acreage and public access associated with the preservation area, the riparian buffer area, and the natural wildflower meadow may be modified to accommodate existing and potential future dam improvement projects by Fairfax County to the existing dam located adjacent to the Application Property to the north.

- B. The Applicant shall construct pedestrian trails, as shown on the GDP/SEA Plat within the preservation area of the Application Property between Telegraph Road and the Kingstowne Park property identified as Fairfax County Tax Map reference 91-3 ((1)) 63A. A connection from the open space to the existing Kingstowne Park trail system may be provided, subject to any necessary approvals from the Board of Supervisors at no cost, exclusive of administrative costs. Improvements shall be constructed as follows:
- (i) The Applicant shall repair or replace an existing wooden pedestrian bridge that crosses over the RPA.
 - (ii) The pedestrian trails shall be either five (5) feet wide or eight (8) feet wide, as shown on the GDP/SEA Plat, and shall be improved with materials that may include stone-dust, asphalt, or a combination thereof, subject to the approval of DPWES. Final location of the pedestrian trails shall be determined at the time of site plan approval and shall be subject to the approval of UFM and the trails planner.
 - (iii) The Applicant shall record a public ingress-egress easement over the pedestrian trails. Said easement shall be in a form as reviewed and approved by the Fairfax County Attorney's Office, and recorded among the Fairfax County land records.
- C. Subsequent to the construction of any structures, installation of any public improvements, and recordation of easements, but prior to final bond release, the Applicant shall record an open space easement on the preservation area to benefit the Northern Virginia Conservation Trust (NVCT), subject to terms as mutually agreed to by the Applicant and NVCT. Said easement shall provide for the preservation in perpetuity of approximately 22 acres of open space that includes structures, improvements, and pedestrian trails as described herein and as shown on the GDP/SEA Plat. Said easement shall provide for the maintenance of the improvements and the open space, including the removal of dead, dying or diseased trees and invasive vegetation, and replanting of vegetation as necessary. Said easement shall require the owners associations established for the Application Property to maintain the trails, to ensure pedestrian safety, and those structures described in Proffer 6.a. The Applicant shall escrow the sum of ten thousand dollars (\$10,000.00) with the owners associations for future maintenance of these improvements. Should the NVCT decline to accept the easement as described above, the owners associations established for the Application Property shall maintain the preservation area, which shall be designated as open space on the site plan. The preservation area shall not be utilized to support or be a part of future land use applications on the Application Property.

- D. At time of site plan approval, or upon request, the Applicant shall grant a storm drainage easement(s), in a form as reviewed and approved by the County Attorney's Office, to Fairfax County to accommodate future improvements by Fairfax County to an existing dam located adjacent to the Application Property to the north. The easement(s) shall cover that portion of the state regulated dam and spillway system that may be located on the Application Property to a downstream limit that extends twenty-five (25) feet beyond the toe and abutment contacts of the dam embankment and end of the spillway stilling basin. Consistent with the terms of the easement(s), no buildings or other large structures shall be constructed within the easement(s) so as not to impact its ability to safely convey the required spillway design flood. The width of the storm drainage easement(s) shall be equal to the width of the spillway basin and shall extend to a point 100 feet downstream beyond the end of the spillway stilling basis or to the 100-year floodplain, whichever is reached first. Said easement(s) shall be recorded among the Fairfax County land records. The limits of the aforementioned easement(s) shall be in general conformance to the areas shown on the attached graphic labeled as Exhibit 1, subject to minor modifications at final engineering. Trails may be permitted within the easement areas(s).

7. RECREATION

The Applicant shall provide the following active and passive recreation amenities as described on Sheets 6 and 6A of the GDP/SEA Plat:

- A. A community clubhouse that will include a community room, a fitness room that will be a minimum of 800 square feet and include exercise equipment, and a yoga/pilates area.
- B. Active outdoor recreation areas that will include facilities such as pickleball courts, horseshoe pits and shuffleboard.
- C. Walking trails with fitness stations.
- D. Multipurpose lawn areas suitable for bocce ball, croquet, lawn billiards and similar games.
- E. Outdoor landscaped patios/terraces that will include an outdoor kitchen, fireplace, benches, tables, and chairs.

The final location of outdoor recreation areas and facilities shall be determined at time of site plan and may be modified from that shown on the GDP/SEA Plat to accommodate existing and potential future dam improvement projects by Fairfax County to the existing dam located adjacent to the Application Property to the north. Said relocation shall not necessitate an amendment to these proffers or the GDP/SEA Plat.

8. PARKS

Prior to the issuance of the first building permit, the Applicant shall make a contribution in the amount of One Hundred Thousand Dollars (\$100,000.00) to the Fairfax County Park Authority for recreational facilities located in the vicinity of the Application Property.

9. PUBLIC IMPROVEMENT

A. Subject to the approval of DPWES and the Corps, the Applicant shall diligently process any required plans and/or permits prepared in accordance with sound engineering practices and all applicable regulations, which shall include providing appropriate responses to normal review comments provided by DPWES and/or the Corps in the plan and/or permit review process, and subsequently construct a sanitary sewer line to serve existing dwellings located in the Piney Run subdivision to the east of the Application Property, identified as Fairfax County Tax Map reference 100-1 ((3)) 1 through 8. The location of the proposed sanitary sewer easement shall be coordinated with the Lee District Supervisor, a representative of the Lee District Land Use and Transportation Advisory Committee, and NVCT. The Applicant shall not be obligated to either construct, or pay costs associated with, sanitary sewer connections to individual dwelling units within the Piney Run subdivision. If the sanitary sewer line is approved and constructed, the Applicant shall revegetate, to the extent feasible, in coordination with UFM, the disturbed area with seedlings of native plant species.

B. Should the plans and/or permits necessary to construct the sanitary sewer line be disapproved by DPWES and/or the Corps, despite the Applicant's diligent efforts to submit and process plans and/or permits prepared in accordance with sound engineering practices and all applicable regulations, the Applicant's obligation to construct said public improvement shall be null and void.

10. HERITAGE RESOURCES

The Applicant shall conduct a Phase I archaeological study of the Application Property and submit it to the Cultural Resource Protection Section of the Fairfax County Park Authority (FCCRPS) for review and approval, prior to final site plan approval. If warranted by the Phase I study, the Applicant shall undertake Phase II and Phase III archaeological studies for FCCRPS review and approval prior to any land-disturbing activities on the Application Property.

11. AFFORDABLE HOUSING

In accordance with Section 9-306(2) of the Zoning Ordinance, 15% of all constructed dwelling units shall be Affordable Dwelling Units (ADUs). The ADUs shall be administered in accordance with the provisions of Part 8 of Article 2 of the Zoning Ordinance, except as

may be modified by the ADU Advisory Board. Within the Applicant's discretion, all of the ADUs may be provided within the multi-family portion of the community.

12. DESIGN

- A. Each multi-family independent living unit shall meet the definition of a dwelling unit per the Zoning Ordinance and shall include a kitchen.
- B. The multi-family buildings shall conform to HUD's Fair Housing Accessibility Guidelines. Public and common use portions of the multi-family buildings will be readily accessible to and useable by persons with handicaps. All doors within multi-family units will be sufficiently wide to allow passage by persons with wheelchairs. All multi-family dwellings shall contain the following universal design features:
 - (i) An accessible route into the dwelling;
 - (ii) Light switches, electrical outlets, thermostats, and other environmental controls in accessible locations;
 - (iii) Reinforcements in bathroom walls to allow the installation of grab bars; and
 - (iv) Kitchens and bathrooms that allow an individual in a wheelchair to maneuver about the space.
- C. The community clubhouse located on the Application Property and all open space improvements shall be constructed in accordance with the Americans with Disabilities Act (ADA).
- D. The single family attached units shall be designed to accommodate the installation of an elevator within the unit as an option for the initial purchaser.
- E. For the single family attached and detached units, the following universal design features shall be provided as standard features:
 - (i) Front entrance doors that are a minimum of 36" wide;
 - (ii) Light switches, electrical outlets, thermostats, and other environmental controls in accessible locations;
 - (iii) Reinforcements in bathroom walls to allow for the installation of grab bars;
 - (iv) Elevated (comfort height) toilets; and
 - (v) Lever door handles on all hinged doors.

- F. To prevent lighting from adversely impacting adjacent properties, exterior building lighting shall be shielded in a manner which prevents light spillage. Exclusive of public street lighting requirements, all exterior lighting fixtures shall be equipped with "cut-off" luminaries and all parking lot lighting shall also be a maximum of fourteen (14) feet in height. All lighting standards shall comply with Zoning Ordinance Article 14, Part 9, Outdoor Lighting Standards.

13. OWNERS ASSOCIATION

- A. Formation of Condominium Owner Association and Homeowners Association.
 - (i) Prior to the issuance of the first RUP for the multi-family dwelling units located on the Application Property, the Applicant shall establish a Condominium Owners Association (COA), as necessary for each phase of owner-occupied condominium units in accordance with Virginia law.
 - (ii) Prior to the recordation of a subdivision plat for the Application Property, a Homeowners Association (HOA) shall be established for the single family attached and detached dwelling units.
- B. Maintenance Obligations
 - (i) The COA and the HOA shall own, manage, and maintain open space, including the common tree save areas and all other community owned land and improvements, such as private streets, pedestrian bridges, retaining walls and acoustical walls located in common areas.
 - (ii) Maintenance obligations may be shared by the COA and HOA pursuant to a shared maintenance agreement.
 - (iii) Purchasers of individual condominium units and individual single family attached and detached units shall be advised prior to entering into a contract of sale, and in the COA and/or HOA documents, that the COA and/or HOA shall be responsible for those obligations listed in these proffers and the restrictions placed on the use of open space/buffer areas, including the preservation area described in Proffer 6.a.

14. SUSTAINABLE DESIGN

- A. In order to promote energy conservation and green building techniques, the Applicant shall select one of the following programs, within its sole discretion at time of site plan submission, to be implemented in the construction of the single-family attached and detached dwelling units on the Application Property:

- (i) Certification in accordance with the Earthcraft House Program, or its equivalent, as demonstrated through documentation provided to DPWES and DPZ prior to the issuance of a RUP;
 - (ii) Certification in accordance with the 2012 National Green Building Standard (NGBS) using the ENERGY STAR® Qualified Homes path for energy performance, as demonstrated through documentation submitted to DPWES and the Environment and Development Review Branch of DPZ from a home energy rater certified through Home Innovation Research Labs that demonstrates that the dwelling unit has attained the certification prior to the issuance of the RUP for each dwelling unit/building.
- B. In order to promote energy conservation and green building techniques, the following measures shall be taken in conjunction with the construction of the multi-family buildings on the Application Property:
 - (i) The Applicant shall, at the time of site plan review and building plan review, provide a certification statement from a LEED-AP who is also a professional engineer or licensed architect confirming that the green building elements listed below shall be incorporated into the design and construction of the buildings.
 - (ii) Green building elements for inclusion in the multi-family buildings:
 - a. The Applicant shall include a LEED®-accredited professional as a member of the design team. The LEED-accredited professional will work with the team to incorporate sustainable design elements and innovative technologies into the project. At the time of site plan submission, the applicant will provide documentation to the EDRB demonstrating compliance with the commitment to engage such a professional.
 - b. The Applicant shall provide secure bicycle racks and/or storage within each garage for a minimum of five (5) bicycles, and an outside bicycle rack for each multi-family building and the community clubhouse. Bicycle racks for residents and visitors shall be located within (fifty) 50 feet of a building entrance. Prior to site plan approval, the Applicant shall provide the type, location and number of bicycle racks to be provided to FCDOT for review. The Applicant shall provide proof of installation and plan location.
 - c. The Applicant shall provide preferred parking for low-emissions vehicles parking for two (2) spaces in each multi-family building. The location of the spaces shall be labeled on the site plan and the spaces

shall be demarked with Reserved for Low-Emissions Vehicle Parking sign. The Applicant shall provide proof of installation and plan location.

- d. The Applicant shall install a roofing membrane with a Solar Reflectance Index (SRI) appropriate to the slope of the roof (i.e. for a low-sloped roof ($\leq 2:12$) equal to or greater than 78 for a minimum of 75% of the total roof area, and for a high-sloped roof ($> 2:12$) equal to or greater than 29). The Applicant shall provide proof of installation, roof area calculations and manufacturers' product data.
- e. The buildings shall not have any chlorofluorocarbon (CFC) based refrigerants in any of the building systems, or not use refrigerants. The Applicant shall provide manufacturer's specification sheets for any refrigerant installed in the building
- f. The Applicant shall provide an area for the separation, collection and storage of glass, paper, metal, plastic and cardboard generated by both residents and employees. There shall be a dedicated area on the Application Property for the storage of the recycled materials. The Applicant shall provide proof of installation, installation locations and a copy of the Applicant's recycling hauling contract.
- g. The Applicant shall have a construction waste management plan that consists of hiring a waste removal and diversion company to process all construction waste at a recycling center. The Applicant shall provide a copy of the waste removal contract as proof of compliance.
- h. The Applicant shall use low-emitting materials for all adhesives, sealants, paints, coatings, flooring systems, composite wood, and agrifiber products.
- i. The Applicant shall provide natural lighting through the use of windows and/or skylights to a minimum of 65% of the spaces. Areas excluded are the mechanical room and storage. The Applicant shall provide proof of installation, installation locations on the architectural plans and installation area calculation indicating 65% of the building area.
- j. The Applicant shall install only LED or fluorescent lamps in all interior building lighting fixtures.
- k. The Applicant shall install Energy Star appliances and equipment for all refrigerators, dishwashers, water heaters, computers, monitors,

televisions, vending machines, water coolers, and other appliances and office equipment (if available). The Applicant shall provide proof of installation, installation locations, and manufacturers' product data, including the Energy Star energy guide.

15. NOISE ATTENUATION

At the time of building plan review, the Applicant shall submit a refined acoustical analysis for that portion of the Application Property impacted by traffic noise from Telegraph Road having levels in excess of 65 dBA Ldn. If the noise study concludes that specific dwelling units will be affected by noise levels that require mitigation, then the refined acoustical analysis will incorporate findings from a building analysis based on the building plans to determine what noise attenuation measures may be needed. Such study shall be submitted to the Environment and Development Review Branch of DPZ and DPWES for review. Based on the findings of that report, the Applicant shall provide the building materials required to achieve the following noise attenuation measures, unless otherwise modified by the findings of the building analysis.

- A. In order to reduce interior noise to a level of approximately 45 dBA Ldn, residential dwellings anticipated to be impacted by traffic noise from Telegraph Road having levels projected to be between 65-70 dBA Ldn, shall have the following acoustical treatments measures:
- (i) Exterior walls shall have a laboratory Sound Transmission Classification (STC) rating of at least 39.
 - (ii) Doors, windows and glazing shall have a laboratory STC rating of at least 28 unless glazing constitutes more than 20% of any façade exposed to noise levels between 65 and 70 dBA Ldn. If doors, windows and other glazed areas constitute more than 20% of any facade impacted by noise, they shall have the same laboratory STC ratings specified for exterior walls.
 - (iii) Adequate measures to seal and caulk between surfaces shall be provided in accordance with methods approved by the American Society for Testing and Materials ("ASTM") to minimize sound transmission.
- B. In order to reduce interior noise to a level of approximately 45 dBA Ldn, residential dwellings anticipated to be impacted by traffic noise from Telegraph Road having levels projected to be between 70-75 dBA Ldn, shall have the following acoustical treatment measures.
- (i) Exterior walls shall have a laboratory Sound Transmission Class (STC) rating of at least 45.

- (ii) Doors, windows and glazing shall have a laboratory STC rating of at least 37 unless glazing constitutes more than 20% of any façade exposed to noise levels above 70 dBA Ldn. If doors, windows and other glazed areas constitute more than 20% of any façade impacted by noise, they shall have the same laboratory STC rating specified by exterior walls.
 - (iii) Adequate measures to seal and caulk between surfaces shall be provided in accordance with methods approved by the American Society for Testing and materials ("ASTM") to minimize sound transmission.
- C. For private patios and outdoor recreation areas anticipated to be impacted by traffic noise from Telegraph Road in excess of 65 dBA Ldn, the Applicant shall construct acoustical walls to mitigate exterior noise levels. Acoustical walls shall be constructed of masonry materials and/or concrete and will be solid to the ground except as needed for positive drainage. The location and heights of acoustical walls shall be determined at the time of site plan. Acoustical walls located in common areas shall be maintained by the HOA.
- D. The Applicant reserves the right to pursue other methods of mitigating highway noise impacts that can be demonstrated prior to the filing of a building permit through an independent noise study as reviewed and approved by DPWES and the DPZ, provided that these methods will be effective in reducing interior noise levels to approximately 45 dBA Ldn and exterior noise within outdoor recreation areas to approximately 65 dBA Ldn.

16. GEOTECHNICAL

Prior to site plan approval, the Applicant shall submit a geotechnical study for the Application Property prepared in accordance with the provisions of the Public Facilities Manual to the Geotechnical Review Board through DPWES. The Applicant shall incorporate appropriate engineering practices as recommended by the Geotechnical Review Board and DPWES to alleviate potential structural and land stability problems, to the satisfaction of DPWES. The recommendations of the Geotechnical Review Board shall be implemented.

17. SIGNS

No temporary signs (including "Popsicle" style paper or cardboard signs) which are prohibited by Article 12 of the Zoning Ordinance, and no signs which are prohibited by Chapter 7 of Title 33.1 or Chapter 8 of Title 46.2 of the Code of Virginia, shall be placed on or off-site to assist in the initial sale of residences on the Application Property. Furthermore, the agents and employees involved in the marketing and sale of the residential units on the Application Property shall be directed to adhere to this proffer.

18. SUCCESSORS AND ASSIGNS

These proffers will bind and inure to the benefit of the Applicant and its successors and assigns.

19. COUNTERPARTS

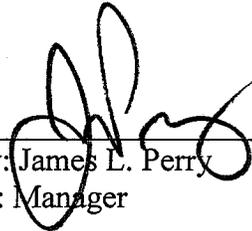
These proffers may be executed in one or more counterparts, each of which when so executed and delivered shall be deemed an original document and all of which when taken together shall constitute one and the same instrument.

20. MISCELLANEOUS

- A. The community shall conform with the U.S. Department of Housing and Urban Development's *Housing for Older Persons Act of 1995* as implemented at 24 CFR Part 100 which generally provides that each dwelling shall have an occupant that is 55 years or older and that no one under the age of 19 may be a permanent resident. This restriction regarding occupancy shall be included in the homeowners' association documents prepared for the Application Property.
- B. The construction of the residential dwelling units on the Application Property may be phased.
- C. The Applicant reserves the right to install additional retaining walls on the Application Property to facilitate construction and to accommodate Fairfax County public improvement projects. The additional retaining walls, if any, shall have a maximum height of five (5) feet unless required to accommodate existing and potential future dam improvement projects by Fairfax County to the existing dam located adjacent to the Application Property to the north. Retaining walls shall be subject to the approval of DPWES and shall not reduce open space as shown on the GDP/SEA Plat.
- D. The individual sections/buildings within the Application Property may be subject to Proffered Condition Amendments without joinder and/or consent of other property owners of the other sections/buildings.

APPLICANT/CONTRACT PURCHASER OF
TAX MAP 100-1 ((1)) 9B pt., 19, 20, 23A, 24, 25

PINEY RUN ELM INVESTMENTS LC



By: James L. Perry
Its: Manager

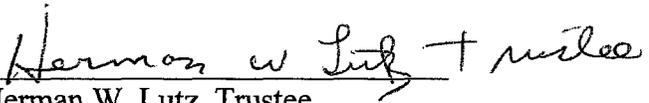
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TITLE OWNER OF
TAX MAP 100-1 ((1)) 19


Glenn S. Ovreik

[SIGNATURES CONTINUE ON NEXT PAGE]

TITLE OWNERS OF
TAX MAP 100-1 ((1)) 20


Herman W. Lutz, Trustee

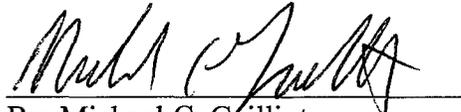

Julia S. Lutz, Trustee

[SIGNATURES CONTINUE ON NEXT PAGE]

TITLE OWNER OF
TAX MAP 100-1 ((1)) 23A, 24, 25

PINEY RUN HILLTOP, LLC

By: Hilltop Sand and Gravel Company, Inc., its sole member

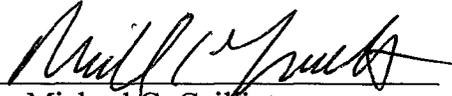
A handwritten signature in black ink, appearing to read "Michael C. Gailliot", written over a horizontal line.

By: Michael C. Gailliot
Its: President

[SIGNATURES CONTINUE ON NEXT PAGE]

TITLE OWNER OF
TAX MAP 100-1 ((1)) 9B

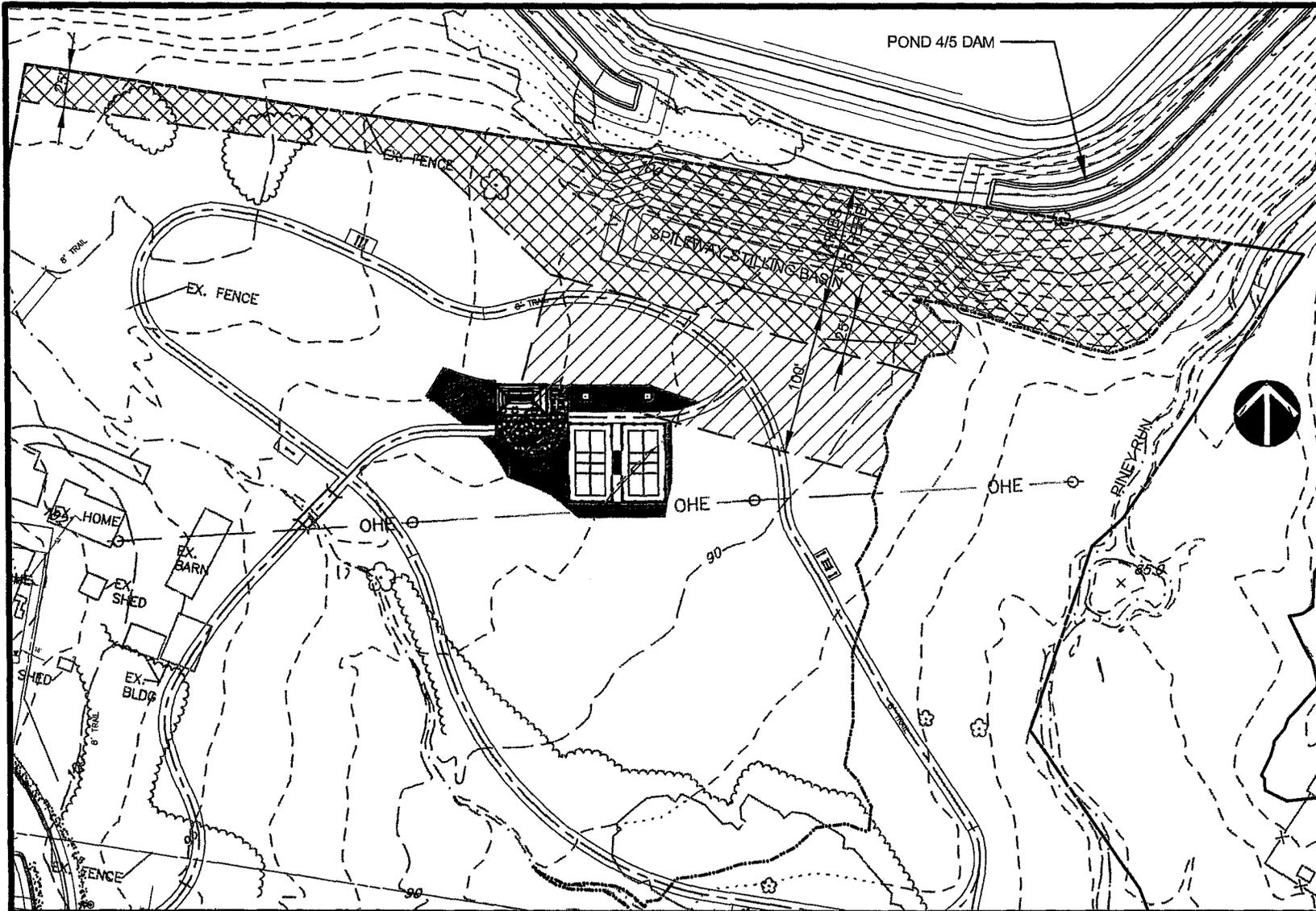
HILLTOP SAND & GRAVEL COMPANY, INC.

A handwritten signature in black ink, appearing to read "Michael C. Gaiñiot", written over a horizontal line.

By: Michael C. Gaiñiot

Its: President

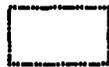
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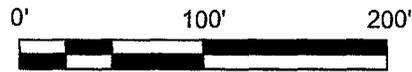
APPROXIMATE AREA TO BE RESERVED FOR MAINTAINING PROPOSED DAM AND EMERGENCY SPILLWAY



APPROXIMATE MINIMUM AREA TO BE RESERVED TO RESTRICT DEVELOPMENT IMMEDIATELY DOWNSTREAM OF THE PROPOSED EMERGENCY SPILLWAY PER PFM SECTION 6-1602.7.



100-YR FLOODPLAIN



NOTE:

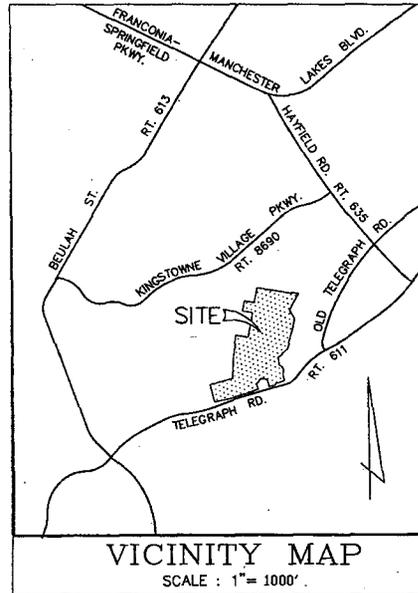
ALL EASEMENTS SHOWN HEREON ARE BASED ON PRELIMINARY ENGINEERING AND ALIGNMENT OF POND 4/5 DAM PROPOSED AT KINGSTOWNE PARK. FINAL EASEMENT LOCATIONS ARE SUBJECT TO FINAL ENGINEERING AND ALIGNMENT OF POND 4/5 DAM, WHICH WILL BE COORDINATED BETWEEN THE APPLICANT AND FAIRFAX COUNTY AT FINAL SITE PLAN OF THE KINGSTOWNE DAM PROJECT.

ELM STREET DEVELOPMENT PINEY RUN

Lee District Fairfax County, Virginia

GENERALIZED DEVELOPMENT PLAN / SPECIAL EXCEPTION AMENDMENT PLAT

RZ 2014 - LE - 010 ; SEA 2005 - LE - 027 - 02 ; SEA 2005 - LE - 028



SHEET INDEX:

1. COVER SHEET
2. NOTES / TABULATION
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4. EXISTING CONDITIONS PLAN
5. GENERALIZED DEVELOPMENT PLAN/SPECIAL EXCEPTION AMENDMENT PLAT - OVERALL
- 6A. AMENITY PACKAGE DIAGRAM
- 6B. AMENITY PACKAGE ENLARGEMENT PLANS
7. GENERALIZED DEVELOPMENT PLAN/SPECIAL EXCEPTION AMENDMENT PLAT - 50 SCALE
8. GENERALIZED DEVELOPMENT PLAN/SPECIAL EXCEPTION AMENDMENT PLAT - 50 SCALE
9. GENERALIZED DEVELOPMENT PLAN/SPECIAL EXCEPTION AMENDMENT PLAT - 50 SCALE
10. EXISTING VEGETATION MAP
11. STORMWATER MANAGEMENT PLAN
12. STORMWATER MANAGEMENT PLAN NARRATIVE
13. STORMWATER MANAGEMENT - VRR METHOD WORKSHEET SUMMARY FOR BMP COMPLIANCE
14. TREE TRUCK TURNING RADI
15. LANDSCAPE AND SCREENING CALCULATIONS
16. ARCHITECTURAL ELEVATIONS

APPLICANT:
Piney Run Elm Investments, LC

ELM STREET DEVELOPMENT
PINEY RUN
Generalized Development Plan /
Special Exception Amendment Plat

Dewberry

Dewberry Consultants LLC
3400 WILSON ROAD
FARMERS BURKE
FARMERS, VIRGINIA
22124



Rev. May 15, 2015
Rev. May 8, 2015
Rev. April 8, 2015
Rev. February 6, 2015
Rev. October 7, 2014
Rev. Aug. 8, 2014
Rev. June 16, 2014

March 5, 2014

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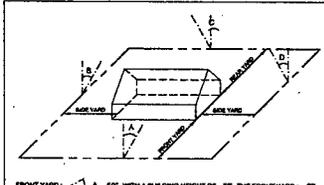
SHEET NO. M-10841

NOTES

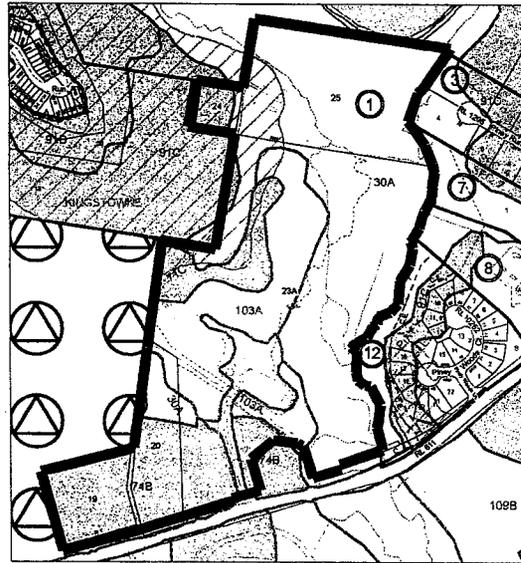
- THE PROPERTY THAT IS THE SUBJECT OF THIS GENERALIZED DEVELOPMENT PLAN / SPECIAL EXCEPTION AMENDMENT PLAN IS SHOWN ON THE TABULAR COUNTY ZONING MAP AS 100-1 (1) 3B (PART), 15, 20, 23A, 24, AND 25. THE OVERALL GROSS LAND AREA CONTAINS APPROXIMATELY 47.40 ACRES.
- THE CDOPMA HAS BEEN FILED TO REVISE THE UNITS COUNT AND ADD LAND AREA TO THE SUBJECT PROPERTY THAT WAS PREVIOUSLY APPROVED ON JULY 16, 2006, PURSUANT TO THE FOLLOWING APPLICATIONS: 02 2006-LE-001, 02 2006-LE-002, 02 2006-LE-021, AND 02 2006-LE-028. THE PROPOSED DEVELOPMENT PROGRAM WILL CONTINUE TO BE AN AGE DIVERSIFIED HOUSING COMMUNITY (INDEPENDENTLY LIVING) WITH A DIVERSIFIED HOUSING MIX CONSISTING OF 37 SFD, 103 SFA, AND 124 MULTI-FAMILY UNITS.
- THE BOUNDARY INFORMATION SHOWN ON THE GRAPHIC IS PARTIALLY BY DEEDS & RECORDS AND PARTIALLY BY A FIELD SURVEY BY DEWBERRY CONSULTANTS LLC.
- THE TOPOGRAPHY SHOWN ON THE GRAPHIC IS AT A CONTOUR INTERVAL OF TWO (2) FEET FROM AN AERIAL SURVEY TAKEN 1-3-05 BY VIRGINIA RESOURCE MAPPING.
- PUBLIC WATER AND SEWER ARE CURRENTLY AVAILABLE IN PROXIMITY TO THE SITE AND WILL BE EXTENDED ON SITE TO SERVE THE PROPOSED DEVELOPMENT PROGRAM.
- THERE IS A GRAVE SITE LOCATED AT THE NORTHWEST CORNER OF PARCEL 23, APPROXIMATELY 300 FEET FROM THE DEVELOPMENT AREA OF THIS APPLICATION. THIS AREA WILL NOT BE DISTURBED BY THE PROPOSED DEVELOPMENT. THERE ARE NO KNOWN HISTORIC STRUCTURES ON THIS SITE.
- TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO EXISTING UTILITY EASEMENTS HAVING A WIDTH OF TWENTY-FIVE (25) FEET OR MORE LOCATED ON THE SUBJECT PROPERTY.
- ALL EXISTING STRUCTURES ARE TO BE REMOVED.
- STORMWATER MANAGEMENT (SWM) AND BEST MANAGEMENT PRACTICES (BMPs) FOR THE PROPOSED DEVELOPMENT PROGRAM HAVE BEEN PROVIDED AS SHOWN ON THE GRAPHIC.
- A GRAPHIC DEPICTION OF THE ANGLE OF BULK PLANE IS PRESENTED ON SHEET 2.
- AT THIS TIME, IT IS ANTICIPATED THAT DEVELOPMENT OF THIS PROJECT WILL COMMENCE AS SOON AS ALL NECESSARY APPROVALS AND PERMITS ARE OBTAINED. HOWEVER, CONSTRUCTION OF THE SITE MAY BE PHASED. IF PHASED, DETERMINE IMPROVEMENTS, SUCH AS TEMPORARY SURFACE PARKING AREAS MAY BE PROVIDED AT THE TIME OF FINAL ENGINEERING.
- PARKING SPACES FOR THE PROPOSED DEVELOPMENT PROGRAM ON THE SUBJECT PROPERTY WILL BE PROVIDED IN ACCORDANCE WITH THE PROVISIONS SET FORTH IN ARTICLE 11 OF THE ZONING ORDINANCE. IN ADDITION, THE APPLICANT RESERVES THE RIGHT TO INCREASE OR DECREASE THE NUMBER OF PARKING SPACES AS REPRESENTED IN THE TABULATION SO LONG AS THE RESULTING NUMBER OF SPACES SALES THE MINIMUM NUMBER PRESCRIBED BY THE ZONING ORDINANCE AMONG THE AMOUNT OF OPEN SPACE AND THE MINIMUM DISTANCES TO THE NEAREST LOT LINES ARE NOT DIMINISHED.
- THE LIMITS OF CLEARING AND GRADING SHOWN HEREON ARE SUBJECT TO MINOR MODIFICATIONS WITH FINAL ENGINEERING AND DESIGN.
- TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE PROPOSED BUILDING PROGRAM WILL NOT GENERATE, UTILIZE, STORE, TREAT OR DISPOSE ANY HAZARDOUS OR TOXIC SUBSTANCES AS SET FORTH IN TITLE 40, CODE OF FEDERAL REGULATIONS PARTS 114, 302 AND 305; ANY HAZARDOUS WASTE AS SET FORTH IN COMMONWEALTH OF VIRGINIA DEPARTMENT OF WASTE MANAGEMENT VR 612.10-1 - VIRGINIA HAZARDOUS WASTE MANAGEMENT REGULATIONS; AND/OR ANY PETROLEUM PRODUCTS AS PRESCRIBED IN TITLE 40, CODE OF FEDERAL REGULATIONS PART 260. TO THE BEST OF OUR KNOWLEDGE AND BELIEF THE SUBSTANCES THAT MAY BE UTILIZED, STORED AND DISPOSED OF IN CONNECTION WITH THE PROPOSED BUILDING PROGRAM AND/OR THE MAINTENANCE OF THE BUILDING PROGRAM AND GROUNDS WILL BE IN ACCORDANCE WITH LAWS REGULATIONS.
- THE APPLICANT RESERVES THE RIGHT TO ADD ADDITIONAL SITE FEATURES WITHIN THE LIMITS OF CLEARING AND GRADING SUCH AS FOLLIES, FENCING, WALLS, PLANTERS, TRELLISES, GAZEBOS, AND RECREATION AMENITIES.
- ALL SIGNS WILL BE PROVIDED IN ACCORDANCE WITH THE PROVISIONS SET FORTH IN ARTICLE 12 OF THE ZONING ORDINANCE, UNLESS MODIFIED BY THE BOARD.
- THE FOOTPRINTS OF THE STRUCTURES SHOWN HEREON MAY BE MODIFIED IN ACCORDANCE WITH THE PROVISIONS OF THE ZONING ORDINANCE SO LONG AS THE OPEN SPACE REPRESENTED IN THE TABULATION AND THE DIMENSIONS TO THE NEAREST LOT LINES ARE NOT DIMINISHED. THE SIZE AND SHAPE OF THE BUILDINGS ARE PRELIMINARY AND MAY VARY AND THE EXACT LOCATIONS OF THE BUILDINGS MAY CHANGE AS A RESULT OF FINAL ENGINEERING, ARCHITECTURAL DESIGN AND/OR FINAL DEVELOPMENT PROGRAM REFINEMENTS. BUILDING FOOTPRINTS WILL, HOWEVER, BE IN GENERAL CONFORMANCE WITH THOSE REPRESENTED ON THIS PLAN.
- THE DENSITY, BUILDING HEIGHTS, AND GARAGE LEVELS SHOWN HEREON ARE TO BE CONSIDERED MAXIMUM. THE APPLICANT RESERVES THE RIGHT TO DEVELOP A LESSEY NUMBER OF UNITS FROM THE TOTAL REPRESENTED IN THE TABULATIONS, THE BUILDING FOOTPRINTS AND PARKING/ACCESS LAYOUTS MAY BE MODIFIED ACCORDINGLY.
- APPROXIMATE LOCATIONS OF ON-SITE MATURE TREES ARE SHOWN ON THE PLANS. TRAILS SHALL BE FIELD LOCATED TO MINIMIZE DAMAGE TO EXISTING VEGETATION. TRAIL MATERIALS MAY CONSIST OF WOOD CHIPS, MULCH, COMPACTED EARTH, GRAVEL, ASPHALT, ETC.
- THERE ARE NO TRAILS REQUIRED BY THE COMPREHENSIVE PLAN WITHIN THE LIMITS OF THIS APPLICATION. THE TRAILS REQUIRED BY THE COMPREHENSIVE PLAN ALONG TELEGRAPH ROAD ARE TO BE PROVIDED BY OTHERS.
- TO THE BEST OF OUR KNOWLEDGE, THE PROPOSED DEVELOPMENT OF THE SUBJECT PROPERTY CONFORMS TO ALL CURRENT APPLICABLE LAND DEVELOPMENT ORDINANCES, REGULATIONS AND ADOPTED STANDARDS EXCEPT AS MAY BE QUALIFIED ABOVE AND AS FOLLOWS:
 - THE APPLICANT REQUESTS A REAFFIRMATION OF THE PREVIOUSLY APPROVED MODIFICATION OF THE TRANSITIONAL SCREENING AND BARBER REQUIREMENTS. THE PERMIT THE EXISTING CONDITIONS SUPERSEDED BY THE LANDSCAPING SCHEM ON THESE PLANS TO ACT AS TRANSITIONAL SCREENING FOR THIS DEVELOPMENT.
 - THE APPLICANT REQUESTS A WAIVER OF PAR. 2 OF SECTION 4-10.2 OF THE ZONING ORDINANCE TO ALLOW PRIVATE STREETS TO EXCEED SIX HUNDRED (600) FEET IN LENGTH.
 - THE APPLICANT REQUESTS A WAIVER OF THE MINIMUM LOT SIZE REQUIREMENT IN ACCORDANCE WITH SECTION 9-410 OF THE ZONING ORDINANCE.

TABULATION

LAND AREA (TOTAL)	47.40 AC
42 ON PARCELS 9B (PART), 15, 20, 23A, 24, AND 25	47.40 AC
51A ON PARCELS 9B (PART), 15, 20, 23A, 24, AND 25	47.40 AC
EXISTING ZONING	3-B
PROPOSED ZONING	3-B
MAXIMUM BUILDING HEIGHTS	50 FT.
TOTAL NUMBER OF DWELLING UNITS	279
MULTI-FAMILY	124 (49%)
34 SFA FRONT LOAD	63 (24.3%)
24 SFA REAR LOAD	49 (17.6%)
SD REAR LOAD	30 (10.8%)
SD FRONT LOAD	1 (0.3%)
ADUs (TO BE PROVIDED IN THE MULTI-FAMILY UNITS)	39 (14%)
GROSS LAND AREA	47.40 AC
GROSS DENSITY	5.84 DU/AC
NET LAND AREA (PER DENSITY PENALTY FOR AREA IN FLOODPLAIN, ADJACENT STEEP SLOPES AND AREAS OF MARINE CLAY EXISTING ON SITE)	32.09 AC
NET DENSITY	11.77 DU/AC
TOTAL PARKING SPACES REQUIRED	751 SPACES
SFD (0.2 DU x 3 SPACES)	96 SPACES
SFA (0.3 DU x 2.7 SPACES)	279 SPACES
MULTI-FAMILY (1.2 x 16 SPACES)	376 SPACES
TOTAL PARKING SPACES PROPOSED	761
SFD	64 GARAGE SPACES
SFA (FRONT LOAD)	134 DRIVEWAY SPACES
SFA (REAR LOAD)	80 GARAGE SPACES
MULTI-FAMILY	120 GARAGE PARKING
STREET PARKING	111 SPACES
COMMUNITY BUILDING	8 SPACES
OPEN SPACE REQUIRED/PROPOSED	
REQUIRED	26.444 AC (64%)
PROPOSED	29.36 AC (APPX 62%)



ANGLE OF BULK PLANE
MINIMUM REQUIRED YARD FOR BUILDING WITH 32' HEIGHT
DIST. AS SHOWN AND REQUIRED PER § 204.1A



SOILS LEGEND
30A- Codorus and Hatboro soils
74B- Lunt-Marumsc complex
91C- Sassafras-Marumsc complex
103A- Wheaton Codorus complex
71C- Kingstowne-Marumsc-Sassafras complex

SOILS MAP
SCALE: 1" = 500'

DENSITY PENALTY CALCULATIONS

PARCEL	ACRES OR %	ACRES
PARCEL 23 (A) ORIGINAL		
A AREA IN FLOODPLAIN & ADJ STEEP SLOPES	10.41	
B QUARRIES ON SITE	0	
C AREAS OF MARINE CLAY ON SITE	2.75	
D BODIES OF WATER OUTSIDE FLOODPLAIN	0	
AREAS OF A-D	13.16	
% OF SITE CONSISTING OF A-D	31.8%	
30% OF SITE	7.07	
% OF SITE CONSISTING OF A-D IN EXCESS OF 30% OF TOTAL SITE	21.8%	1.543
PARCEL 23 (A) NEW		
A AREA IN FLOODPLAIN & ADJ STEEP SLOPES	0.73	
B QUARRIES ON SITE	0	
C AREAS OF MARINE CLAY ON SITE	0	
D BODIES OF WATER OUTSIDE FLOODPLAIN	0	
AREAS OF A-D	0.73	
% OF SITE CONSISTING OF A-D	1.5%	
30% OF SITE	1.08	
% OF SITE CONSISTING OF A-D IN EXCESS OF 30% OF TOTAL SITE	16.2%	0.87
PARCEL 23 (A) ALL		
A AREA IN FLOODPLAIN & ADJ STEEP SLOPES	11.17	
B QUARRIES ON SITE	0	
C AREAS OF MARINE CLAY ON SITE	2.75	
D BODIES OF WATER OUTSIDE FLOODPLAIN	0	
AREAS OF A-D	13.97	
% OF SITE CONSISTING OF A-D	41.2%	
30% OF SITE	9.20	
% OF SITE CONSISTING OF A-D IN EXCESS OF 30% OF TOTAL SITE	15.7%	1.06
PARCEL 24		
A AREA IN FLOODPLAIN & ADJ STEEP SLOPES	0.208	
B QUARRIES ON SITE	0	
C AREAS OF MARINE CLAY ON SITE	0	
D BODIES OF WATER OUTSIDE FLOODPLAIN	0	
AREAS OF A-D	0.208	
% OF SITE CONSISTING OF A-D	4.9%	
30% OF SITE	0.976	
% OF SITE CONSISTING OF A-D IN EXCESS OF 30% OF TOTAL SITE	33.2%	0.792

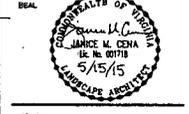
PARCEL	ACRES OR %	ACRES
PARCEL 24 & 25A		
A AREA IN FLOODPLAIN & ADJ STEEP SLOPES	11.34	
B QUARRIES ON SITE	0	
C AREAS OF MARINE CLAY ON SITE	2.75	
D BODIES OF WATER OUTSIDE FLOODPLAIN	0	
AREAS OF A-D	14.09	
% OF SITE CONSISTING OF A-D	41.4%	
30% OF SITE	31.86	
% OF SITE CONSISTING OF A-D IN EXCESS OF 30% OF TOTAL SITE	11.6%	3.005
ASSUMING DENSITY RANGE OF 8-12: MAX. DENSITY SHOULD BE CALCULATED AS:		
11.6% OF 31.84 = 3.695 @ 50% (8-12) (3A)C	1571	23.65
81.4% OF 31.84 = 25.965 @ 100% (8-12) (3A)C	2873	259.20
TOTAL PERMITTED DWELLING UNITS		302.85
PARCEL 24 & 25		
A AREA IN FLOODPLAIN & ADJ STEEP SLOPES	6.40	
B QUARRIES ON SITE	0	
C AREAS OF MARINE CLAY ON SITE	2.17	
D BODIES OF WATER OUTSIDE FLOODPLAIN	0	
AREAS OF A-D	8.57	
% OF SITE CONSISTING OF A-D	62.9%	
30% OF SITE	3.15	
% OF SITE CONSISTING OF A-D IN EXCESS OF 30% OF TOTAL SITE	33.9%	3.44
ASSUMING DENSITY RANGE OF 8-12: MAX. DENSITY SHOULD BE CALCULATED AS:		
33.9% OF 10.32 = 3.464 @ 30% (8-12) (3A)C	2079	277.1
67.1% OF 10.32 = 7.006 @ 100% (8-12) (3A)C	3437	343.7
TOTAL PERMITTED DWELLING UNITS		350.8
PARCEL 24 & 25 (PART)		
A AREA IN FLOODPLAIN & ADJ STEEP SLOPES	1.79	
B QUARRIES ON SITE	0	
C AREAS OF MARINE CLAY ON SITE	0	
D BODIES OF WATER OUTSIDE FLOODPLAIN	0	
AREAS OF A-D	1.79	
% OF SITE CONSISTING OF A-D	0.6%	
30% OF SITE	0.06	
% OF SITE CONSISTING OF A-D IN EXCESS OF 30% OF TOTAL SITE	0.06%	
ASSUMING DENSITY RANGE OF 8-12: MAX. DENSITY SHOULD BE CALCULATED AS:		
100% OF 1.79 = 1.79 @ 100% (8-12) (3A)C	21.9	35.98
TOTAL PERMITTED DWELLING UNITS		21.9

TOTAL SITE AREA	ACRES OR %	ACRES
A AREA IN FLOODPLAIN & ADJ STEEP SLOPES		47.40
B QUARRIES ON SITE		15.79
C AREAS OF MARINE CLAY ON SITE		4.70
D BODIES OF WATER OUTSIDE FLOODPLAIN		0
AREAS OF A-D		30.15
% OF SITE CONSISTING OF A-D		41.70%
30% OF SITE		14.22
% OF SITE CONSISTING OF A-D IN EXCESS OF 30% OF TOTAL SITE		11.74%
		6.918
BASED ON ABOVE, WITH ASSUMED DENSITY RANGES AS NOTED, THE MAXIMUM DENSITY SHOULD BE:		
	LOW	HIGH
PARCELS 24 & 25A	255	355
PARCELS 24 & 25	305	341
PARCELS 19 & 19 (PART)	24	36
TOTAL	384	546



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TEL: 703-441-1000
WWW.DEWBERRY.COM

ELM STREET / PINEY RUN
Generalized Development Plan
Special Exception Amendment Plat
LEE DISTRICT
HARRIS COUNTY, VIRGINIA



KEY PLAN

SCALE

7	5/15/15	
5	3/9/15	
1	4/9/15	
4	2/4/15	JMC
3	10/7/14	
2	8/18/14	JMC

No.	DATE	BY	Description
		JMC	
		JMC	
	March 5, 2014		

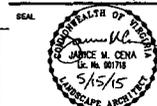
TITLE

Notes & Tabulation

PROJECT NO.

Dewberry Consultants LLC
 800 ANLINGTON BLVD
 FAIRFAX, VA 22031
 TEL: 703.241.2000
 FAX: 703.241.2001

ELM STREET / PINEY RUN
 Generalized Development Plan
 Special Exception Amendment Plat
 USE DISTRICT
 FAIRFAX COUNTY, VIRGINIA



KEY PLAN

SCALE

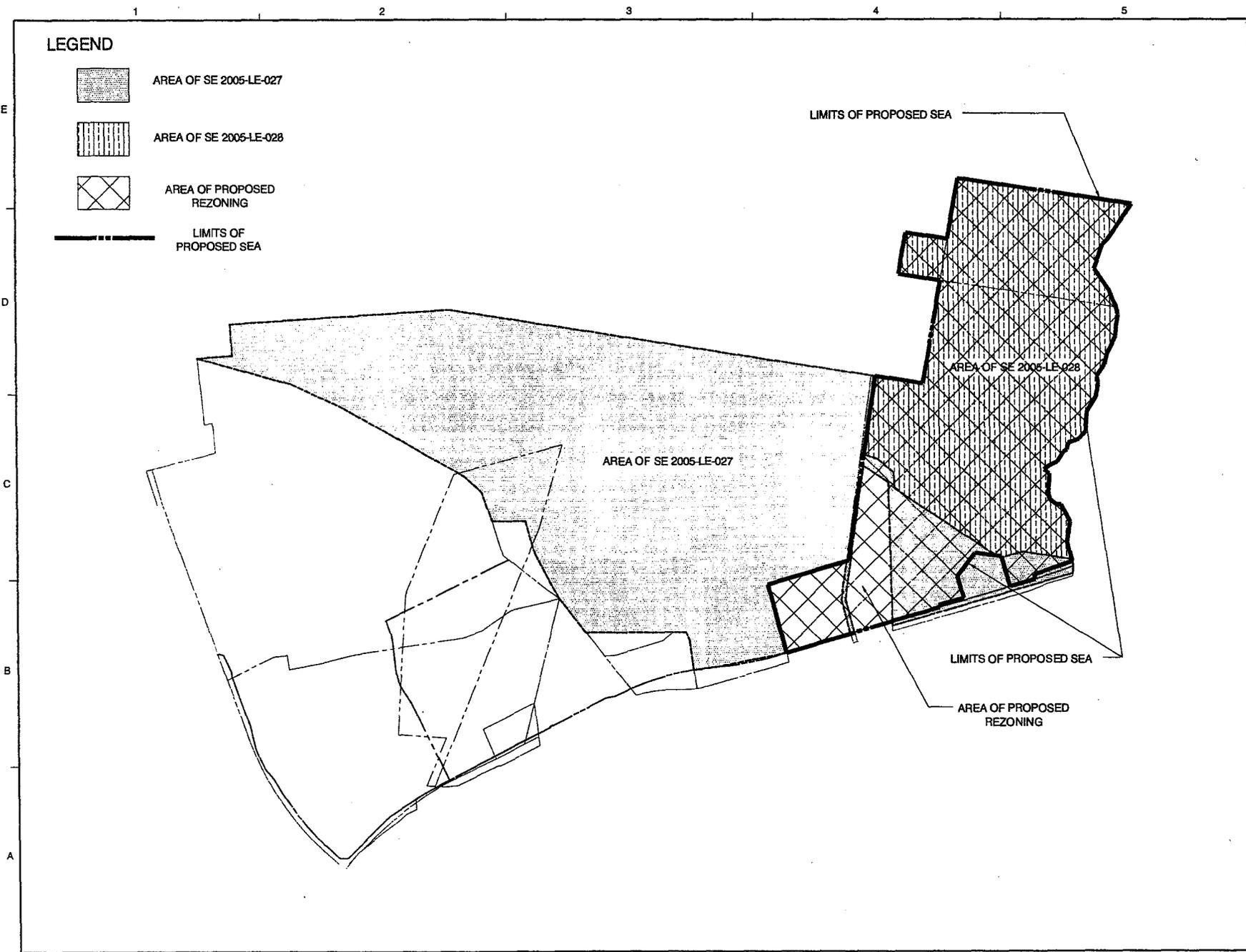
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6	5/8/15		
5	4/8/15		
4	2/9/15	KAP	
3	10/7/14		
2	8/8/14		
1	6/18/14	JMC	

REVISIONS

DRAWN BY: JMC
 APPROVED BY: JMC
 CHECKED BY:
 DATE: March 5, 2014

TITLE
 Application Identification

PROJECT NO.



LEGEND

-  AREA OF SE 2005-LE-027
-  AREA OF SE 2005-LE-028
-  AREA OF PROPOSED REZONING
-  LIMITS OF PROPOSED SEA

LIMITS OF PROPOSED SEA

AREA OF SE 2005-LE-028

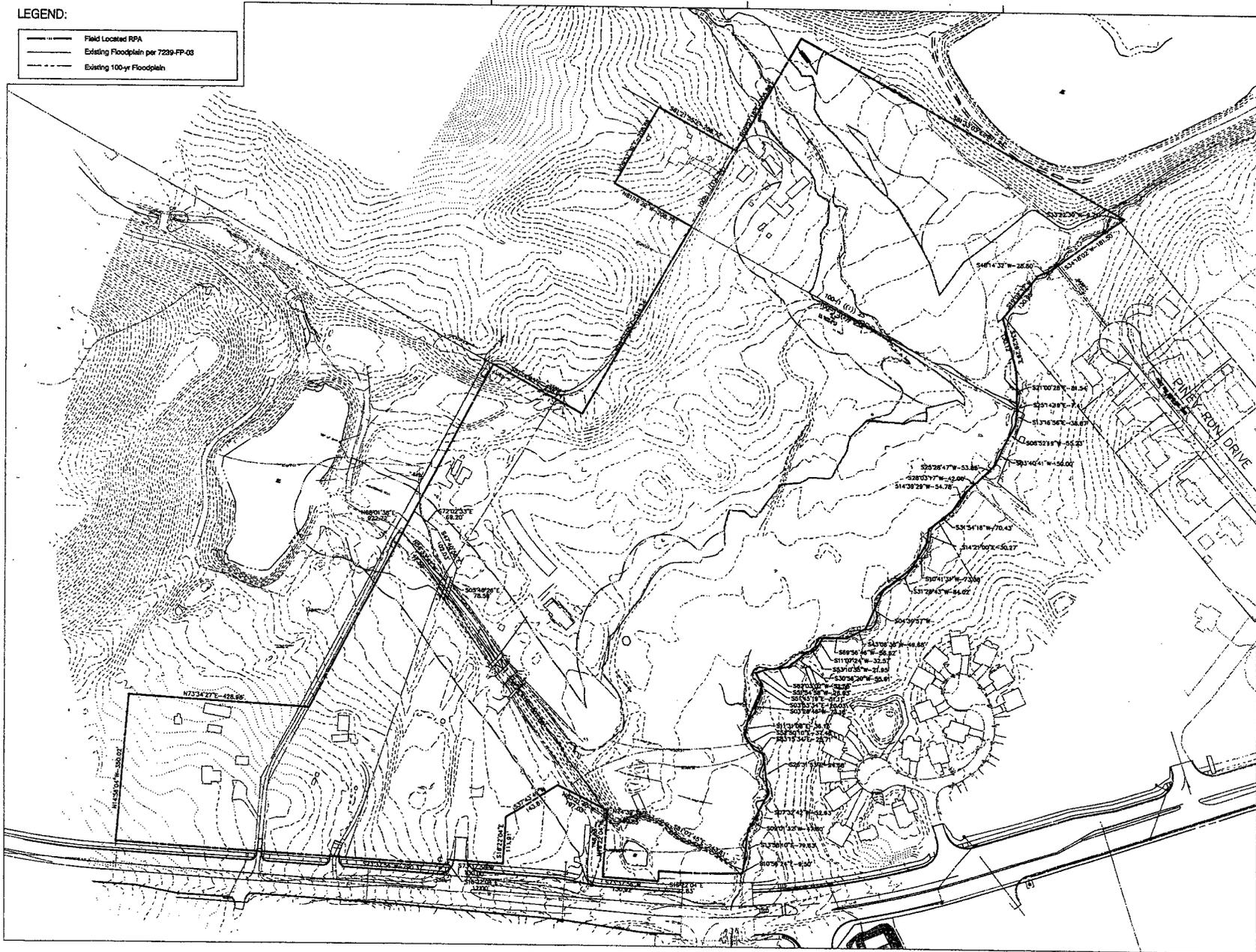
AREA OF SE 2005-LE-027

LIMITS OF PROPOSED SEA

AREA OF PROPOSED REZONING

LEGEND:

- Field Located RPA
- Existing Floodplain per 7239-FP-03
- Existing 100-yr Floodplain

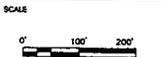


Dewberry Consultants LLC
 800 MARKET BLVD.
 FARMAC, VA 22024
 PHONE: 703.869.7000
 FAX: 703.869.8811

ELM STREET / PINEY RUN
 Generalized Development Plan
 Special Exception Amendment Plat
 LEE DISTRICT
 FAIRFAX COUNTY, VIRGINIA



KEY PLAN



No.	DATE	BY	Description
7	5/15/15		
6	5/8/15		
5	4/2/15		
4	2/6/15	JMC	
3	10/7/14		
2	8/8/14		
1	6/16/14	JMC	

REVISIONS
 DRAWN BY: JMC
 APPROVED BY: JMC
 CHECKED BY:
 DATE: March 5, 2014

TITLE
 Existing Conditions
 Plan

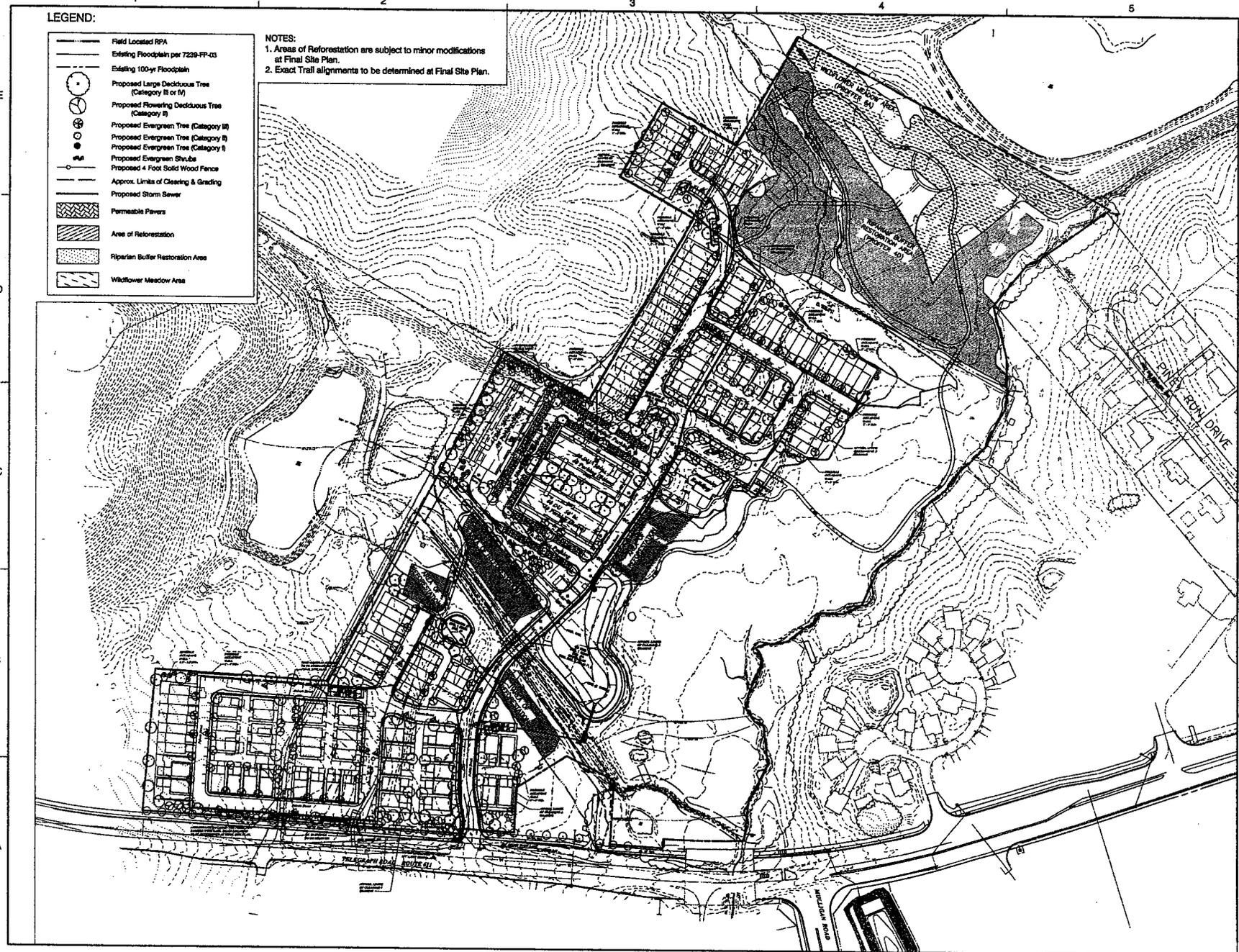
PROJECT NO.

4

LEGEND:

- Field Located RPA
- Existing Floodplain per 7238-PP-03
- Existing 100-yr Floodplain
- Proposed Large Deciduous Tree (Category III or IV)
- Proposed Flowering Deciduous Tree (Category II)
- Proposed Evergreen Tree (Category III)
- Proposed Evergreen Tree (Category II)
- Proposed Evergreen Tree (Category I)
- Proposed Evergreen Shrub
- Proposed 4 Foot Solid Wood Fence
- Approx. Limits of Clearing & Grading
- Proposed Storm Sewer
- Permeable Pavers
- Area of Reforestation
- Riparian Buffer Restoration Area
- Wildflower Meadow Area

NOTES:
 1. Areas of Reforestation are subject to minor modifications at Final Site Plan.
 2. Exact Trail alignments to be determined at Final Site Plan.

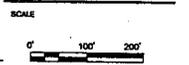


Dewberry Consultants LLC
 100 W. HARRISON BLVD.
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 FAX: 703.465.1101

ELM STREET / PINEY RUN
 Generalized Development Plan
 Special Exception Amendment Plat
 LEE DISTRICT
 FARMACIA COUNTY, VIRGINIA



KEY PLAN



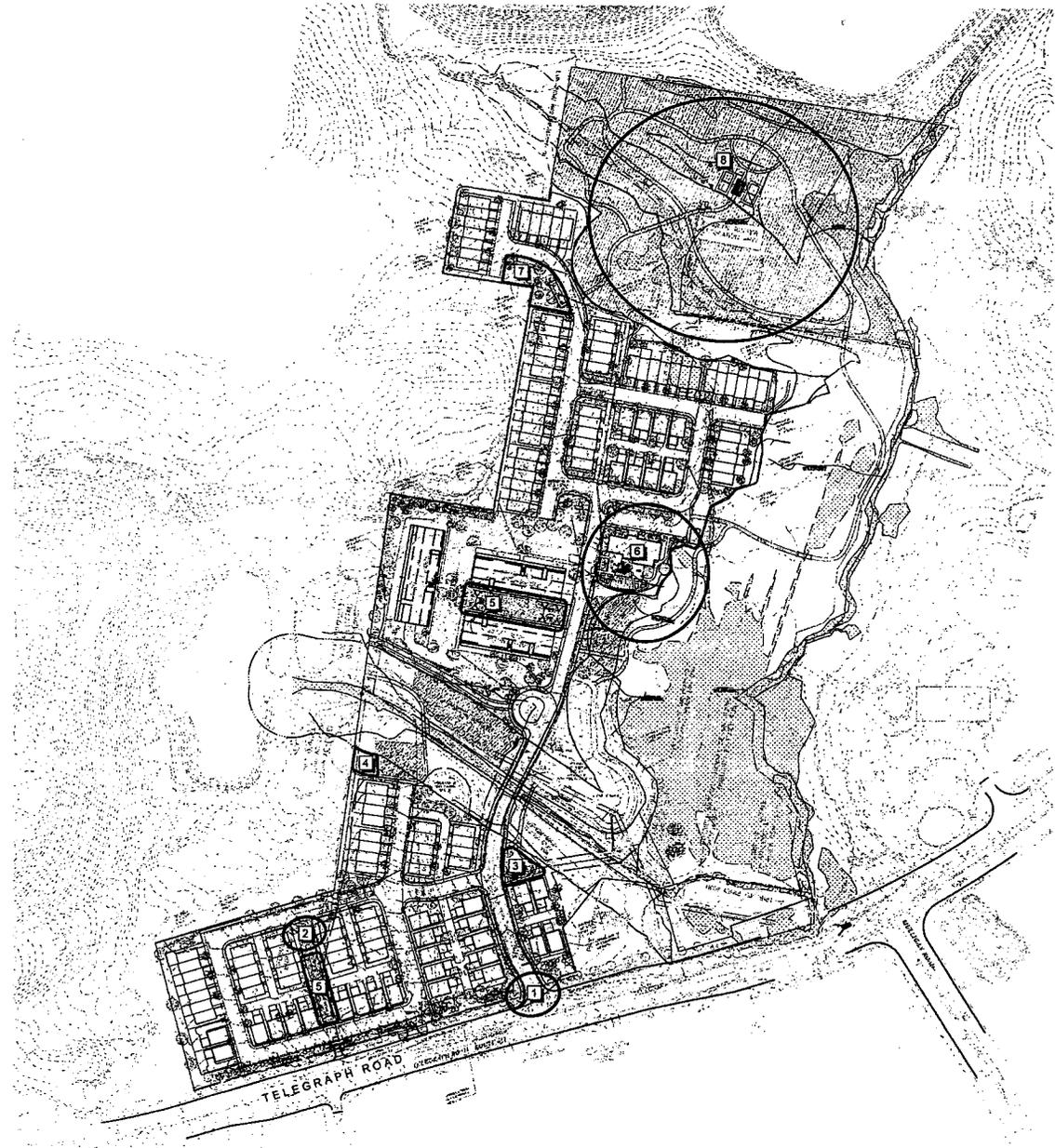
No.	DATE	BY	Description
7	5/15/15		
6	5/8/15		
5	4/9/15		
4	2/8/15	JAC	
3	10/7/14		
2	8/8/14		
1	8/18/14	JMC	

REVISIONS
 DRAWN BY: JMC
 APPROVED BY: JMC
 CHECKED BY:
 DATE: March 5, 2014

TITLE
**GDP/SEA
 Overall**

PROJECT NO.

5
 SHEET NO. OF 16
 M-10841



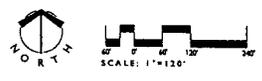
LIST OF PROPOSED AMENITIES

- | SYMBOL | DESCRIPTION |
|--------|---|
| 1 | ENTRANCE |
| 2 | MAIL ROOM
- HARDSCAPE PLAZA
- GARDENS
- OPEN AIR MAIL PAVILION |
| 3 | POCKET PARK
- NATURESCAPE PLAY
- OPEN AIR GAZEBO
- SEATING
- OVERLOOK |
| 4 | STREAM VALLEY OVERLOOK
- OPEN AIR GAZEBO
- PICNIC TABLES
- GARDEN ELEMENTS |
| 5 | FORMAL GARDENS
- MULTIPURPOSE LAWN
- GARDENS
- PLAZA SEATING
- BENCHES
- TRILLIS BENCH SWING
- OUTDOOR GRILL
- OUTDOOR FIREPLACE
- TABLES, CHAIRS |
| 6 | CLUBHOUSE
- 4,000 SF CLUBHOUSE
- LOBBY
- RECEPTION HALL
- MEETING ROOM
- LOUNGE
- CATERING KITCHEN
- FITNESS ROOM
- YOGA PLATES
- MAIL ROOM
- HARDSCAPE TERRACE
- EVENTS PLAZA
- TENTED EVENT SPACE
- TRILLIS
- MULTIPURPOSE LAWN
- OUTDOOR GOURMET KITCHEN
- KITCHEN GARDEN
- OUTDOOR FIRE PIT
- YOGA LAWN
- PUTTING GREEN
- OUTDOOR HOCKEY
- TABLES, CHAIRS, UMBRELLAS, ROCKING CHAIRS
- BIKE RACKS |
| 7 | TRAILHEAD FOR GREAT MEADOW
- BENCHES
- MAIL ROOM |
| 8 | DESTINATION RECREATION
- INTERPRETIVE SIGNAGE
- HALE MARKERS ALONG TRAIL
- OPEN AIR RECREATION PICNIC PAVILION
- GRILLS
- NATURESCAPE PLAY
- MULTIPURPOSE LAWN
- HORSESHOE PITS
- GAME TABLES
- SHUFFLEBOARD
- WILDFLOWER MEADOW
- FITNESS STATIONS
- TABLES, CHAIRS |

GENERAL NOTES:

1. THE LIST OF AMENITIES SHOWN IS CONCEPTUAL IN NATURE AND IS INTENDED TO ILLUSTRATE THE DESIGN INTENT OF EACH SPACE AND TO PROVIDE A REPRESENTATIVE SAMPLE OF THE TYPES OF IMPROVEMENTS TO BE INCLUDED IN EACH SPACE. THE FINAL DESIGN OF EACH SPACE AND THE EXACT IMPROVEMENTS TO BE PROVIDED WILL BE DETERMINED AT FINAL SITE PLAN.
2. MULTIPURPOSE LAWNS MAY INCLUDE A VARIETY OF ACTIVE RECREATION USERS INCLUDING, BUT NOT LIMITED TO, BOCCE BALL, CROQUET, LAWN BILLIARDS, OR SIMILAR LAWN GAMES.
3. THIS SHEET FOR AMENITY INFORMATION ONLY. SEE SHEETS 7-9 FOR THE GSP LAYOUT.

DATE: 08/11/2014
 DRAWN BY: J. B. BROWN
 CHECKED BY: J. B. BROWN
 SCALE: AS NOTED
 PROJECT #: 201401
 SHEET NUMBER: L-1.0

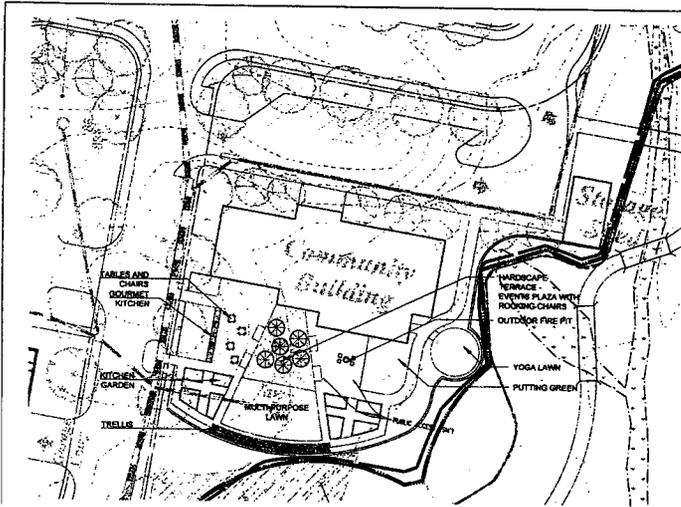


LandDesign.
 200 S. Pines St., Alexandria, VA 22304
 P: 703.572.7274 F: 703.572.7274
 www.landdesign.com

PINEY RUN
 Generalized Development Plan/Special Exception Amendment Plat
 Elm Street Development
 AMENITY PACKAGE DIAGRAM

ISSUES:
 01: 08/11/2014 AMENITY DIAGRAM
 02: 08/11/2014 AMENITY DIAGRAM
 03: 08/11/2014 AMENITY DIAGRAM
 04: 08/11/2014 AMENITY DIAGRAM

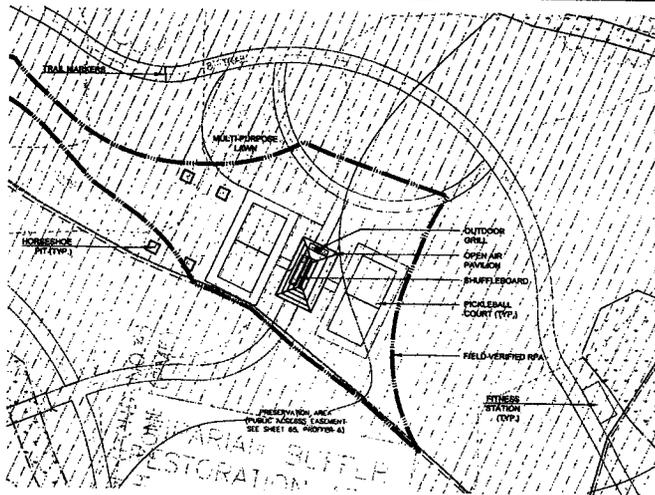
DATE: 08/11/2014
 DRAWN BY: J. B. BROWN
 CHECKED BY: J. B. BROWN
 SCALE: AS NOTED
 PROJECT #: 201401
 SHEET NUMBER: L-1.0



1 CLUBHOUSE ENLARGEMENT PLAN

L-1.1 PLAN

1"=30'



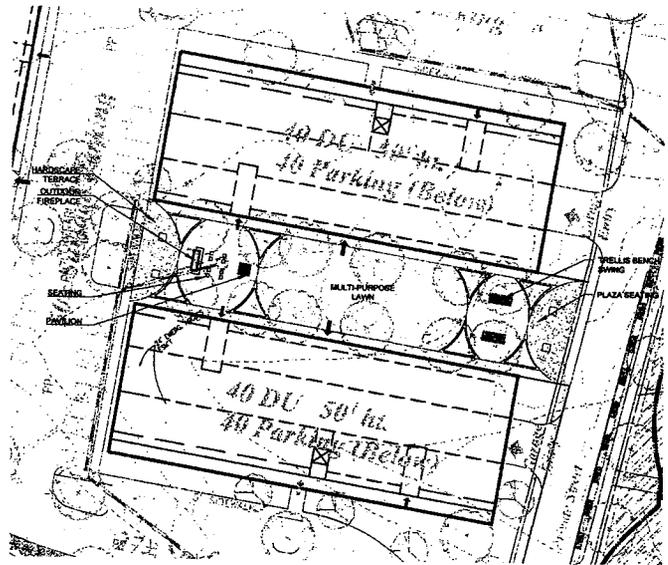
2 DESTINATION RECREATION ENLARGEMENT PLAN

L-1.1 PLAN

1"=30'

GENERAL NOTES:

1. THE ENLARGEMENTS SHOWN ARE CONCEPTUAL IN NATURE AND ARE INTENDED TO ILLUSTRATE THE DESIGN INTENT OF EACH SPACE AND TO PROVIDE A REPRESENTATIVE SAMPLE OF THE TYPES OF IMPROVEMENTS TO BE INCLUDED IN EACH SPACE. THE FINAL DESIGN OF EACH SPACE AND THE EXACT IMPROVEMENTS TO BE PROVIDED WILL BE DETERMINED AT FINAL SITE PLAN.
2. MULTI-PURPOSE LAWNS MAY INCLUDE A VARIETY OF ACTIVE RECREATION USES INCLUDING, BUT NOT LIMITED TO, BOUCE BALL, CROQUET, LAWN BOWLING, OR SIMILAR LAWN GAMES.
3. THIS SHEET FOR AMENITY INFORMATION ONLY. SEE SHEETS 7-9 FOR THE GSP LAYOUT.



3 FORMAL GARDEN

L-1.1 PLAN

1"=30'



4 FORMAL GARDEN

L-1.1 PLAN

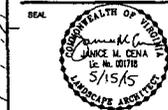
1"=30'

AMENITY

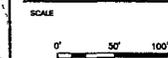
DATE: 10/21/11
DESIGNED BY: J.C.
CHECKED BY: J.C.
SCALE: 1" = 30'
PROJECT #: 2010PH
SHEET NUMBER:
L-1.1

Dewberry Consultants LLC
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 FARMAC, VA 22031
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 FAX: 703.844.0110

ELM STREET / PINEY RUN
 Generalized Development Plan
 Special Exception Amendment Plat
 LEE COUNTY
 FARMAC COUNTY, VIRGINIA



KEY PLAN



No.	DATE	BY	Description
7	5/15/15		
6	5/2/15		
5	4/8/15		
4	2/6/15	KAF	
3	10/7/14		
2	8/9/14		
1	6/16/14	JMC	

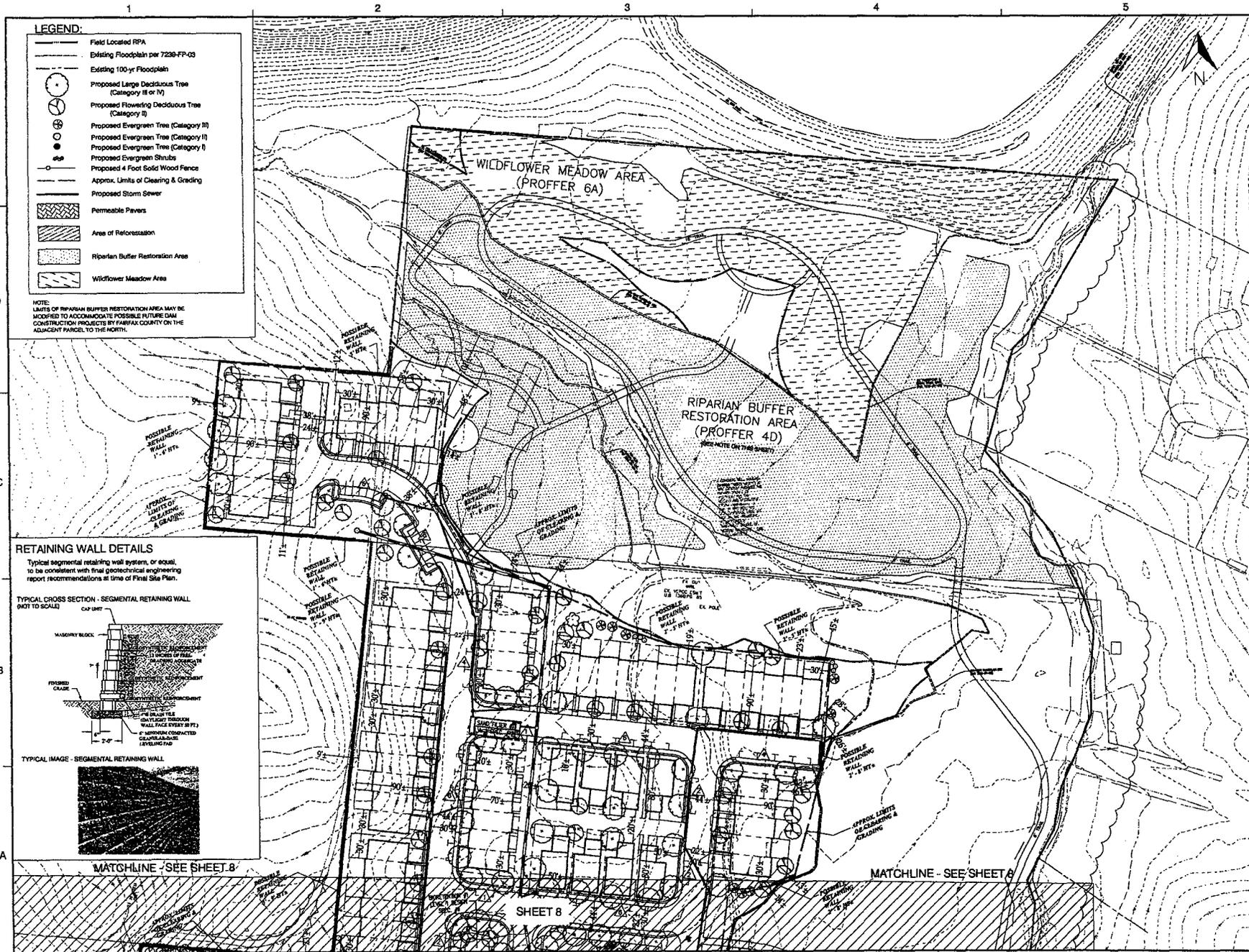
DRAWN BY: JMC
 APPROVED BY: JMC
 CHECKED BY:
 DATE: March 5, 2014

TITLE
**GDP/SEA
 50 Scale Enlargement**

PROJECT NO.

SHEET NO. **7** OF 18

M-10841



LEGEND:

- Field Located RPA
- Existing Floodplain per 7230-FP-03
- Existing 100-yr Floodplain
- Proposed Large Deciduous Tree (Category III or IV)
- Proposed Flowering Deciduous Tree (Category II)
- Proposed Evergreen Tree (Category III)
- Proposed Evergreen Tree (Category I)
- Proposed Evergreen Tree (Category I)
- Proposed Evergreen Shrubs
- Proposed 4 Foot Solid Wood Fence
- Approx. Limits of Clearing & Grading
- Proposed Storm Sewer
- Permeable Pavers
- Area of Reforestation
- Riparian Buffer Restoration Area
- Wildflower Meadow Area

NOTE:
 LIMITS OF RIPARIAN BUFFER RESTORATION AREA MAY BE MODIFIED TO ACCOMMODATE POSSIBLE FUTURE DAM CONSTRUCTION PROJECTS BY FAIRFAX COUNTY ON THE ADJACENT PARCEL TO THE NORTH.

RETAINING WALL DETAILS

Typical segmental retaining wall system, or equal, to be consistent with final geotechnical engineering report recommendations at time of Final Site Plan.

TYPICAL CROSS SECTION - SEGMENTAL RETAINING WALL (NOT TO SCALE)

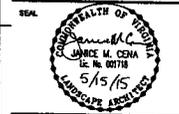
TYPICAL IMAGE - SEGMENTAL RETAINING WALL

MATCHLINE - SEE SHEET B

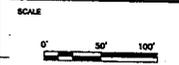
SHEET B

MATCHLINE - SEE SHEET A

SHEET B



KEY PLAN

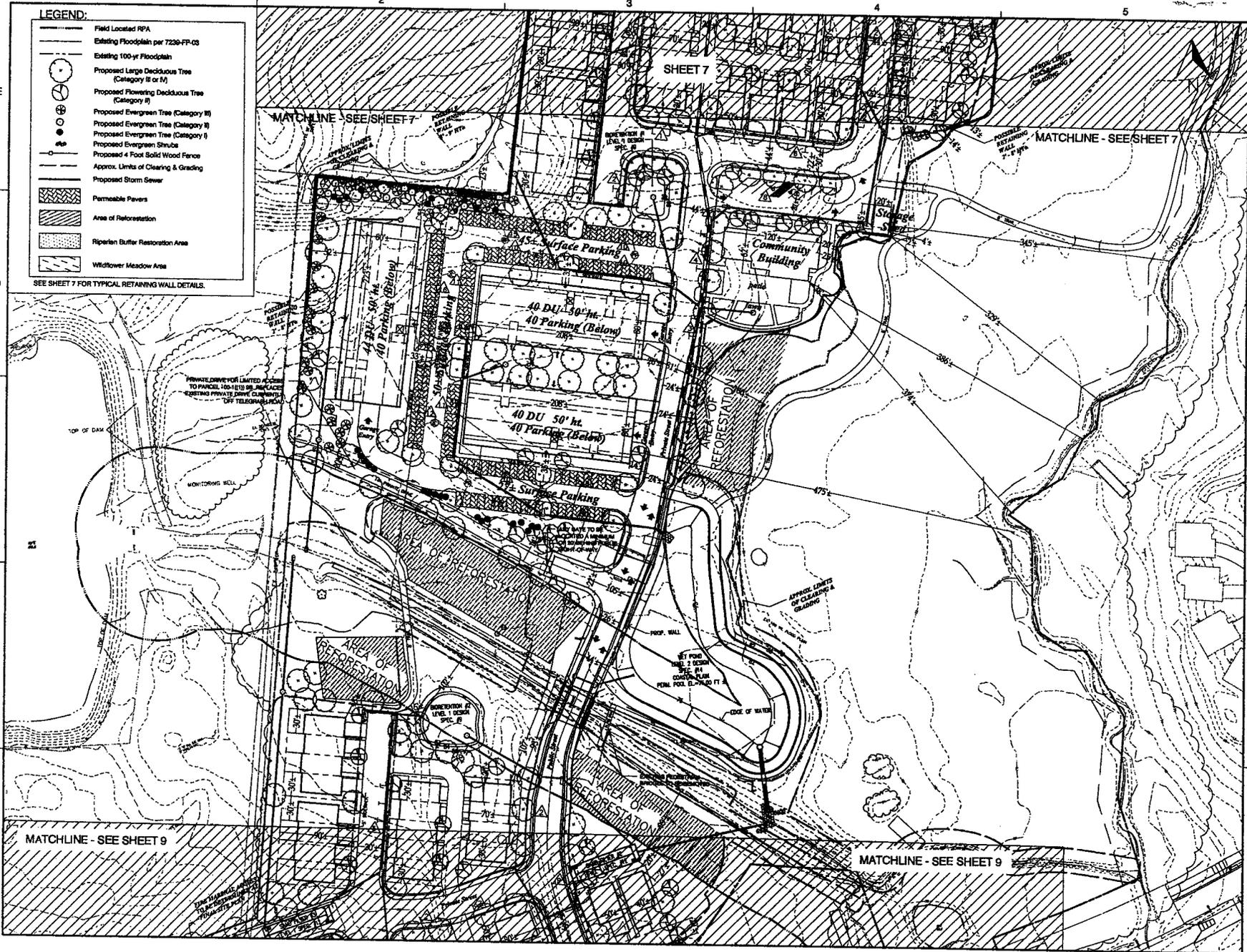


No.	DATE	BY	Description
7	8/15/15		
6	5/8/15		
5	4/9/15		
4	2/12/15	JMC	REVISED
3	10/7/14		
2	8/8/14		
1	8/10/14	JMC	ISSUED

REVISIONS
 DRAWN BY: JMC
 APPROVED BY: JMC
 CHECKED BY:
 DATE: March 5, 2014

TITLE
 GDP/SEA
 50 Scale Enlargement

PROJECT NO.



LEGEND:

- Field Located RPA
- Existing Floodplain per 7230-FP-03
- Existing 100-yr Floodplain
- Proposed Large Deciduous Tree (Category II or M)
- Proposed Flowering Deciduous Tree (Category II)
- Proposed Evergreen Tree (Category III)
- Proposed Evergreen Tree (Category II)
- Proposed Evergreen Tree (Category I)
- Proposed Evergreen Shrubs
- Proposed 4 Foot Solid Wood Fence
- Approx. Limits of Clearing & Grading
- Proposed Storm Sewer
- Permeable Pavers
- Area of Reforestation
- Riparian Buffer Restoration Area
- Wildflower Meadow Area

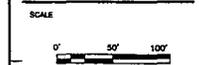
SEE SHEET 7 FOR TYPICAL RETAINING WALL DETAILS.

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 FARMACIA, VA 22040
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 FAX: 703-948-8800

ELM STREET / PINEY RUN
 Generalized Development Plan
 Special Exception Amendment Plat
 L&S SUBJECT
 FARMACIA COUNTY, VIRGINIA



KEY PLAN



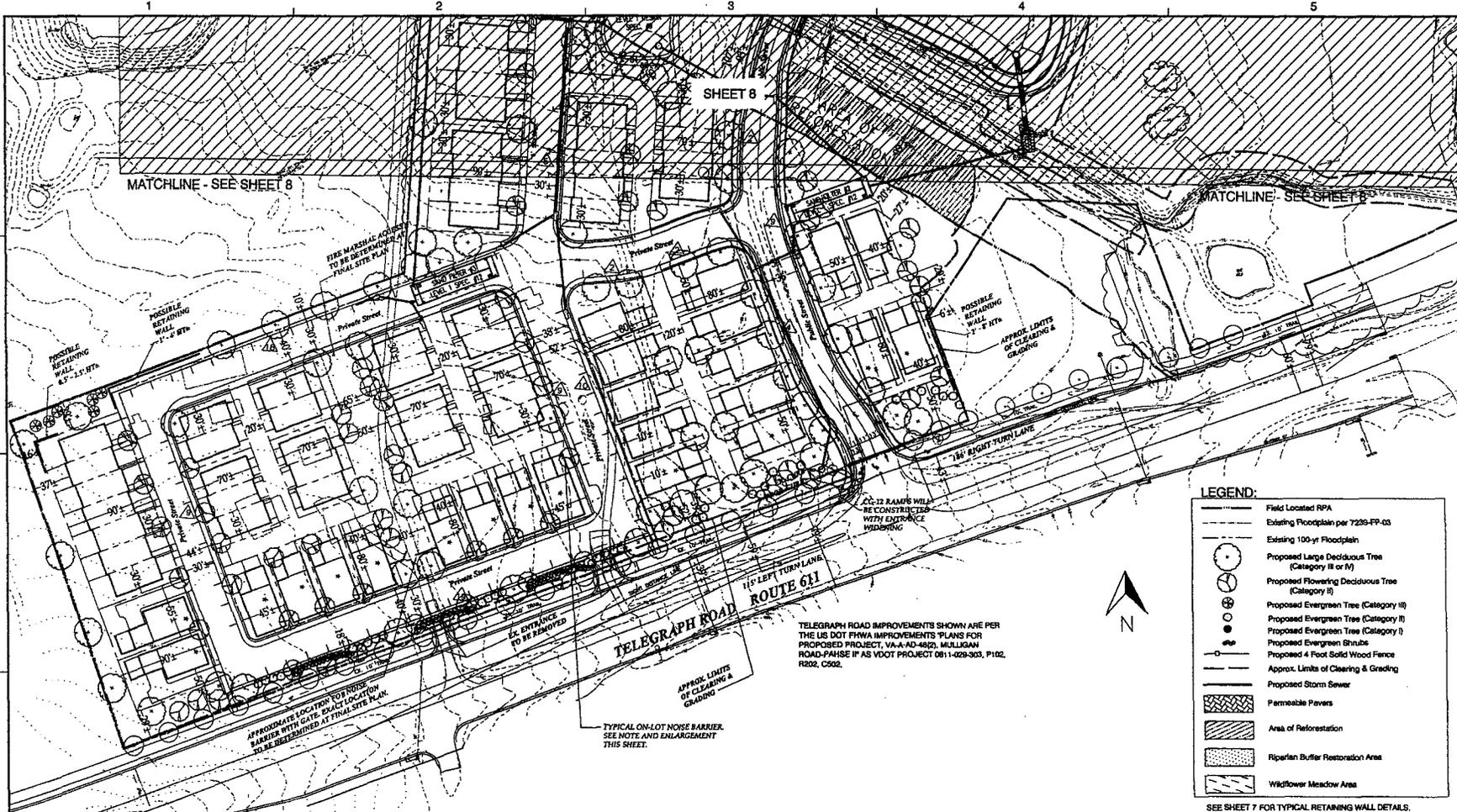
NO.	DATE	BY	Description
7	5/15/15		
6	5/8/15		
5	4/8/15		
4	2/9/15	KMF	
3	10/7/14		
2	8/5/14		
1	8/15/14	JMC	

REVISIONS

DRAWN BY: JMC
 APPROVED BY: JMC
 CHECKED BY:
 DATE: March 5, 2014

TITLE
GDP/SEA
50 Scale Enlargement

PROJECT NO.



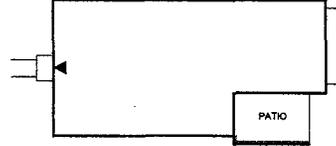
LEGEND:

- Field Located RPA
- Existing Floodplain per 7229-FP-03
- Existing 100-yr Floodplain
- Proposed Large Deciduous Tree (Category II or III)
- Proposed Flowering Deciduous Tree (Category II)
- Proposed Evergreen Tree (Category III)
- Proposed Evergreen Tree (Category II)
- Proposed Evergreen Tree (Category I)
- Proposed Evergreen Shrub
- Proposed 4 Foot Solid Wood Fence
- Approx. Limits of Clearing & Grading
- Proposed Storm Sewer
- Permeable Pavers
- Area of Reforestation
- Riparian Buffer Restoration Area
- Wildflower Meadow Area

SEE SHEET 7 FOR TYPICAL RETAINING WALL DETAILS.

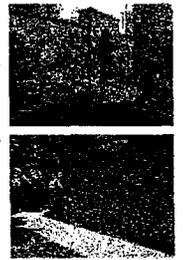
TYPICAL NOISE BARRIER

*Note: Noise barriers will be provided to mitigate projected outdoor noise levels in excess of 65 dBA in private public areas of individual lots and in open space areas with active recreation amenities. Typical noise barrier locations are shown on the single family lot enlargement below on the individual lots with potential impact, and for the open spaces with active recreation amenities. Exact locations and heights of noise barriers will be determined at Final Site Plan. Barriers will be constructed of masonry materials and/or concrete and will be solid to the ground except as needed for positive drainage.

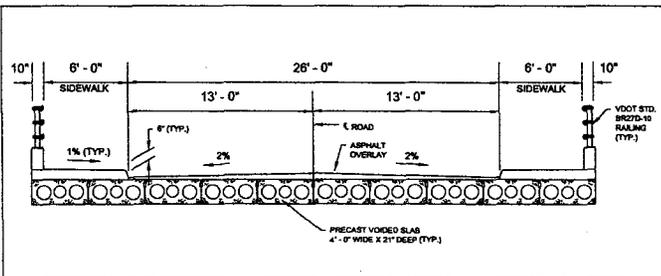


TYPICAL NOISE BARRIER LOCATION
 BARRIERS TO BE CONSTRUCTED OF MASONRY MATERIALS AND/OR CONCRETE.

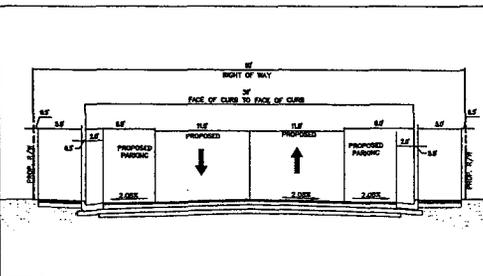
Illustrative examples of typical masonry noise barriers.



BRIDGE TYPICAL SECTION
 NOT TO SCALE



PUBLIC STREET - WITH PARKING TYPICAL SECTION
 NOT TO SCALE



1 2 3 4 5

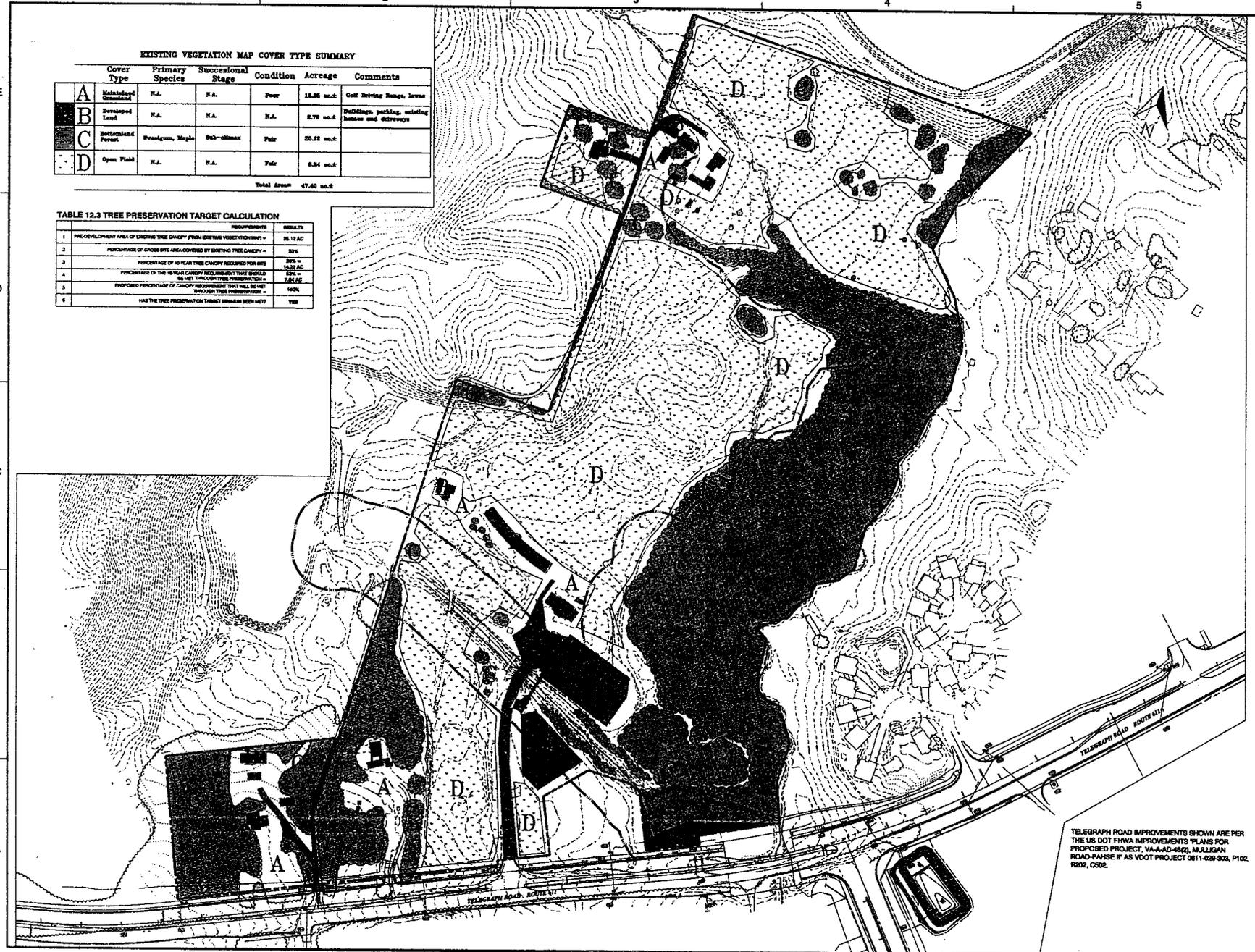
EXISTING VEGETATION MAP COVER TYPE SUMMARY

Cover Type	Primary Species	Successional Stage	Condition	Acres	Comments
A	Maintained Grassland	N.A.	N.A.	18.88 ac.	Golf Driving Range, lawns
B	Developed Land	N.A.	N.A.	2.79 ac.	Buildings, parking, existing houses and driveways
C	Bottomland Forest	Pine/Gum, Maple	Fair	20.12 ac.	
D	Open Field	N.A.	N.A.	6.54 ac.	

Total Area = 47.46 ac.

TABLE 12.3 TREE PRESERVATION TARGET CALCULATION

	REQUIREMENTS	RESULTS
1	PRE-DEVELOPMENT AREA OF EXISTING TREE CANOPY (FROM EXISTING VEGETATION MAP) =	26.12 AC
2	PERCENTAGE OF GROSS SITE AREA COVERED BY EXISTING TREE CANOPY =	55%
3	PERCENTAGE OF 10-YEAR TREE CANOPY REQUIRED FOR USE	30% *
4	PERCENTAGE OF 10-YEAR CANOPY REQUIREMENT THAT SHOULD BE MET THROUGH TREE PRESERVATION =	67% *
5	PROPOSED PERCENTAGE OF CANOPY REQUIREMENT THAT WILL BE MET THROUGH TREE PRESERVATION =	100%
6	HAS THE TREE PRESERVATION TARGET HAD BEEN MET? =	YES



TELEGRAPH ROAD IMPROVEMENTS SHOWN ARE PER THE US DOT FHWA IMPROVEMENTS PLANS FOR PROPOSED PROJECT: VA-A2-4902, MILLIKAH ROAD-FAHSE II AS VDOT PROJECT 0811-028-303, P102, R202, C202.

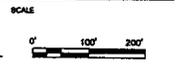


Dewberry Consultants LLC
 100 W. MAIN STREET
 FARMAS, VA 22024
 PHONE: 703-891-8800
 FAX: 703-891-8801

ELM STREET / PINEY RUN
 Generalized Development Plan
 Special Exception Amendment Plat
 LEE DISTRICT
 FARMAS COUNTY, VIRGINIA



KEY PLAN



No.	DATE	BY	Description
7	5/15/15		
6	5/8/15		
5	4/9/15		
4	2/9/15	KAF	
3	10/7/14		
2	8/8/14		
1	6/18/14	JMC	

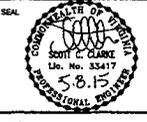
REVISIONS
 DRAWN BY: JMC
 APPROVED BY: JMC
 CHECKED BY:
 DATE: March 5, 2014

Existing Vegetation Map

PROJECT NO.

10

SHEET NO. OF 16
 M-10841



KEY PLAN



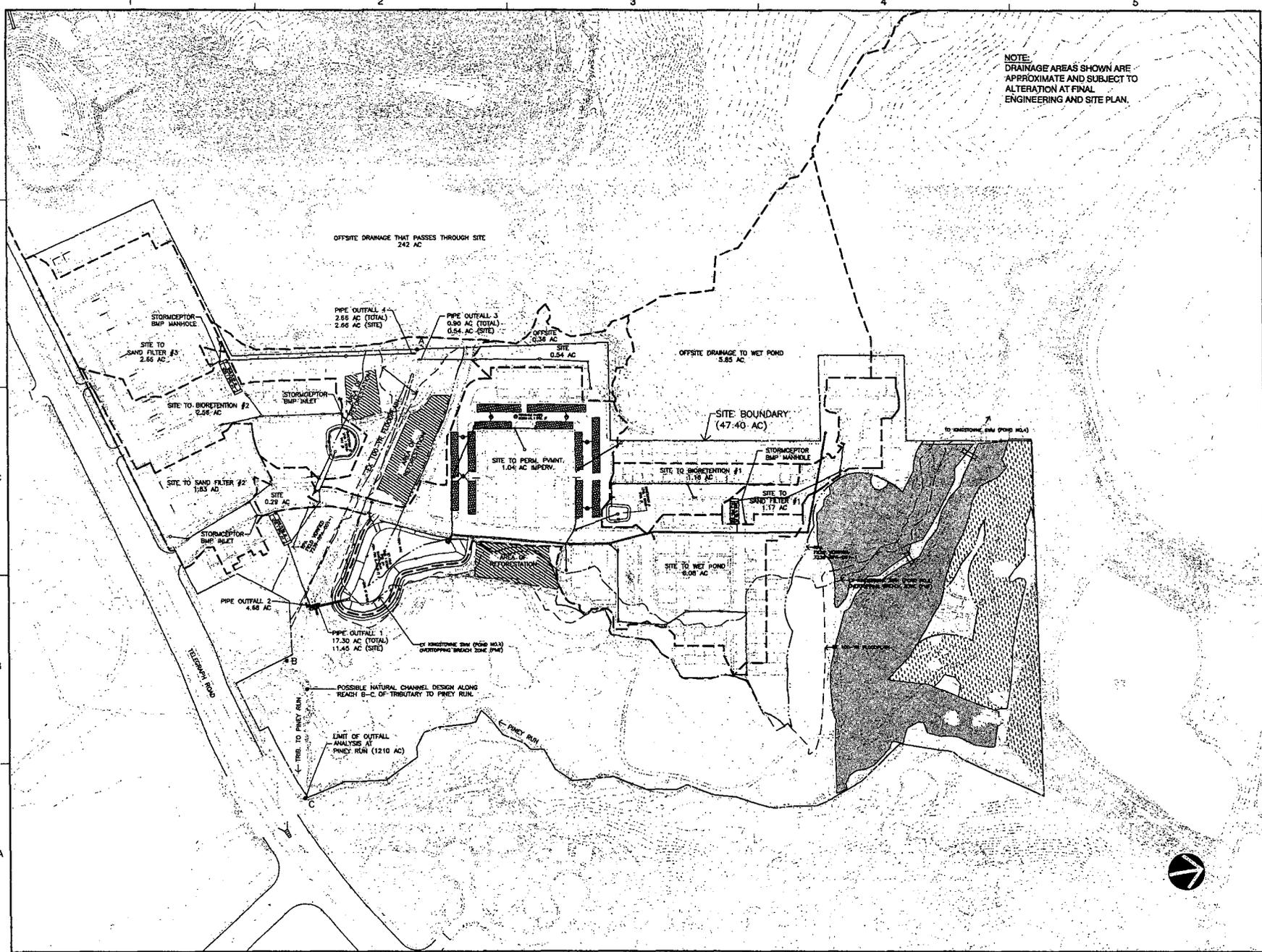
No.	DATE	BY	Description
6	5/8/15		
5	4/8/15		
4	2/6/15	JMC	
3	10/7/14		
2	8/8/14		
1	6/18/14	JMC	

REVISIONS

DRAWN BY: JMC
 APPROVED BY: JMC
 CHECKED BY:
 DATE: March 5, 2014
 TITLE:

Stormwater Management Plan

PROJECT NO.



NOTE:
 DRAINAGE AREAS SHOWN ARE
 APPROXIMATE AND SUBJECT TO
 ALTERATION AT FINAL
 ENGINEERING AND SITE PLAN.

STORMWATER MANAGEMENT PLAN NARRATIVE

The Stormwater Management Plan for this development application has been prepared in accordance with the Fairfax County Stormwater Management Ordinance and Public Facilities Manual.

I. Site Area

The site area evaluated for Water Quality and Water Quantity is 47.40 ac. The site boundary is called out on Sheet 11.

II. Water Quality

The site qualifies under the New Development criterion with a required target phosphorus load of 0.41 lb/acyr or 19.4 tpy for the 47.40 ac site. The developed site without BMP controls generates 40.7 tpy of phosphorus so a total of 21.3 tpy of phosphorus must be removed using BMPs. Compliance with this criterion has been determined using the Virginia Runoff Reduction (VRR) Method. A summary print of the VRR worksheet is provided on Sheet 13.

All BMPs proposed have been preliminarily sized and sited using standards and specifications provided on the Virginia Stormwater BMP Construction Website and in accordance with applicable restrictions and conditions of the PFM.

The location of all proposed SWMBMP facilities are shown on Sheet 11 with a summary of each facility provided in Table 1 on this sheet.

III. Water Quantity

A. Description of outlet

There are four (4) proposed pipe outlets where concentrated flow leaves the developed site. As shown on Sheet 11, these all outfall into Reach A-B of an existing tributary to Piney Run. Reach A-B consists of a manmade grass lined trapezoidal channel, which appears stable with no significant signs of erosion. There are three footbridges and one vehicular bridge that span the channel and 100-year floodplain along Reach A-B. Reach B-C is classified as a natural channel. The existing tributary conveys approximately 242 ac of drainage from developed lands to the west before passing through the site and discharging into Piney Run. The total drainage area at the confluence of Piney Run and the existing tributary is approximately 1210 ac. By definition in the Stormwater Management Ordinance, this point is the downstream limit of analysis for outlet evaluation as the largest contributing drainage area from the site occurs at pipe outlet 1 (10.57 ac), which is less than or equal to 1% of the total watershed area at the confluence (1210 ac).

Areas of flow that are not concentrated will leave the developed site as sheet flow into the adjacent RPA. Because the proposed SWMBMP practices intercept most of the drainage from the developed site, there will be a decrease in sheet flow volume compared to existing conditions. Sheet flow is expected to occur in common areas and backyards of the residential lots. Because sheet flow volume will be reduced overall, no further water quantity controls are required provided these areas are properly stabilized to prevent erosion, sedimentation, and/or flooding, which is the intent.

B. How outlet requirements will be satisfied

Reach A-B (manmade channel) will be required to convey the 2-year 24-hour storm without causing erosion of the system and also confines the 10-year 24-hour storm to the channel. It appears Reach A-B has adequate capacity to convey the required developed peak flows without causing erosion or flooding. There are no existing or proposed buildings located in the 100-year floodplain of Reach A-B. Erosion control stone is proposed at pipe outlets 1, 2, 3 and 4. If 2-year flow velocities exceed the permissible allowed then a combination of stream stabilization techniques and/or detention will be provided to make the manmade channel adequate.

Reach B-C (natural channel) may need to be restored using natural channel design concepts to comply with the channel protection and flooding requirements of the Stormwater Management Ordinance. There are no existing or proposed buildings located in the 100-year floodplain of Reach B-C. Reach B-C is located entirely in the Piney Run 100-year floodplain.

C. Drainage diversion justification

Runoff from the existing site generally sheet flows into either Piney Run or Tributary to Piney Run. Under developed conditions, runoff will be collected in storm drainage systems and conveyed to the proposed BMPs for treatment and runoff reduction. Runoff that is not collected in storm drain will continue to sheet flow into either Piney Run or Tributary to Piney Run. In order to comply with the Fairfax County Stormwater Management Ordinance, runoff will need to be diverted to BMPs in different parts of the site; however, natural drainage divides of the Dogue Creek watershed will be honored. Piney Run and Tributary to Piney Run are both located in the Dogue Creek watershed, which is considered a major watershed in Fairfax County.

D. Detention

Site post-development peak flows will be released at a rate that is equal to or less than site pre-development peak flow rates for the 2- and 10-year 24-hour storm events, respectively. This project is not located in the Four Mile Run Watershed so 100-year detention is not required.

Table 2 summarizes the approximate reduction in peak flow rates required for the site as well as the approximate total detention volume required. Detention will be provided as needed by proposed onsite BMP facilities.

IV. Request for Waiver

In accordance with Section 6-0303.8 of the PFM, this development application will require a waiver from the Board of Supervisors for the use of underground SWMBMP facilities in a residential development. The preliminary sizes and location of these underground facilities, identified as Sand Filter 1, Sand Filter 2 and Sand Filter 3, are shown on Sheet 11. These facilities are proposed in order to meet the water quantity and water quality requirements of the Fairfax County Stormwater Management Ordinance. These facilities will only control onsite drainage and will be privately owned and maintained. Access into these facilities will be from finished grade via 2 ft diameter manhole covers and 4 ft x 4ft Blaco Doors or equivalent. Manhole covers will be per VDOT specifications and Blaco Doors will remain locked at all times when not in use by the owner.

V. LTI 09-10, Development within Mapped Dam Break Inundation Zones

As shown on sheet 11, part of the site is located in the PMF Overlapping Breach Zone of State-Regulated Dam, Kingstons SWM (Pond No.4). According to Fairfax County DPWES Stormwater Planning Division, this facility is a high hazard dam that is capable of passing the required spillway design flood. Based on our understanding of LTI 09-10, this development application does not change the spillway design flood standards for this impoundment and in accordance with LTI 09-10 is not required to upgrade spillway capacity for the facility or contribute any payments for such upgrades.

VI. Disclaimer

The type, size and location of all SWMBMP practices reflected on this plan are preliminary and subject to adjustment at final engineering and site plan. The applicant also reserves the right to consider offsite compliance options in accordance with the Stormwater Management Ordinance (i.e. Chapter 124-4-5).

MINIMUM STORMWATER INFORMATION FOR REZONING, SPECIAL EXCEPTION, SPECIAL PERMIT AND DEVELOPMENT PLAN APPLICATIONS

The following information is required to be shown or provided in all zoning applications, or a waiver request of the submission requirement with justification shall be attached. Note: Waivers will be acted upon separately. Failure to adequately address the required submission information may result in a delay in processing the application.

This information is required under the following Zoning Ordinance paragraphs:
 Special Permits (S-011 2.4 & 3.2)
 Cluster Subdivision (S-015 10 & 19)
 Development Plans (PDC Districts (18-022 2 & 4))
 PDP P Districts (except PDC) (18-022 1F & 1Q)
 Special Exceptions (S-011 2.1 & 2.3)
 Commercial Re-development Districts (C-022 2A (1) & (4))
 PDC Plus (18-022 1E & 1Q)
 Amendments (18-022 10F & 10)

- 1. Plot is at a minimum scale of 1"=60' unless 2 is depicted on one sheet with a minimum scale of 1"=100'
- 2. A graphic depicting the stormwater management facilities and levels of clearing and grading, accompanied by the stormwater management facility(s), storm drainage pipe systems and outlet protection, pond spillways, access roads, site details, energy dissipation devices, and stream stabilization measures as shown on Sheet 5.11

3. Provide:

Facility Name/ Type & No.	On-site area served (ac)	Off-site area served (ac)	Drainage area (ac)	Footprint area (sq ft)	Storage volume (cu ft)	If pond, min height (ft)
(SEE TABLE 1 BELOW)						
Total						

- 4. Create drainage channels, outlets and pipe systems as shown on Sheet 5.11
- 5. Maintenance access (road) to stormwater management facility(ies) as shown on Sheet 5.11
- 6. Type of maintenance access and surface related to the site is: GRAVEL (specify material, grade, etc.)
- 7. Landscaping and tree preservation shown is and near the stormwater management facility is shown on Sheet 5.11
- 8. A stormwater management measure which contains a description of how detention and best management practices requirements will be met is provided on Sheet 12
- 9. A description of the existing conditions of each numbered site outlet contained downstream from the site to a point which is at least 100 feet from the site area or which has a drainage area of at least one square mile (640 acres) is provided on Sheet 12
- 10. A description of how the outlet requirements, including coordinating drainage areas of the Public Facilities Manual will be satisfied is provided on Sheet 12
- 11. Existing topography with maximum contour intervals of two (2) feet and a note as to whether it is an air survey or field run is provided on Sheet 5.11A
- 12. USE OF UNDERGROUND SWMBMP FACILITIES
- 11. A submission waiver is requested for IF A RESIDENTIAL DEVELOPMENT
- 12. Stormwater management is not required because _____ N/A

TABLE 1

Facility Name/ Type & No.	On-site area served (ac)	Off-site area served (ac)	Drainage area (ac)	Footprint area (sq ft)	Storage volume (cu ft)	If pond, min height (ft)
Well Pond	11.45	0	17.30	18,838	38,693	12.5
Stonardston #1	1.16	0	1.16	1,425	1,923	no
Stonardston #2	2.58	0	2.58	3,550	3,117	no
Sand Filter #1	1.17	0	1.17	1,000	3,386	no
Sand Filter #2	1.83	0	1.83	1,500	4,480	no
Sand Filter #3	2.88	0	2.88	1,500	4,480	no
Stormwater at SF#1	1.04	0	1.04	22,331	2,048	no
Stormwater at SF#2	1.17	0	1.17	4' dia	no	no
Stormwater at SF#3	1.83	0	1.83	4' dia	no	no
Stormwater at SF#4	2.88	0	2.88	4' dia	no	no
Stormwater at SW#5	2.58	0	2.58	4' dia	no	no

** = BMP surface area

TABLE 2

Site = 47.40 acres	Peak Flow Rate (cfs)	
	Pre-development	Post-development
2-year 24-hour	84	76
10-year 24-hour	81	76
Approx. peak flow rate reduction required (cfs)	12	13
Approx. total detention volume required (cu-ft)	1.77	4.12



Dewberry Consultants LLC
 5400 ARLINGTON ROAD
 FARMINGTON, VA 22041
 PHONE: 703.441.1000
 FAX: 703.441.1001

ELM STREET / PINEY RUN
 Generalized Development Plan
 Special Exception Amendment Plat
 LEE DISTRICT
 FAIRFAX COUNTY, VIRGINIA



KEY PLAN

SCALE

No.	DATE	BY	Description
1	5/15/14	JMC	
2	5/6/15	JMC	
3	4/8/15	JMC	
4	2/15/15	KAF	
5	10/7/14	JMC	
6	8/7/14	JMC	

DRAWN BY: JMC
 APPROVED BY: JMC
 CHECKED BY:
 DATE: March 5, 2014

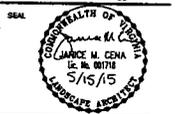
TITLE
 Stormwater Management Plan Narrative

PROJECT NO.

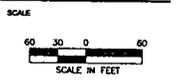
12

Dewberry Consultants LLC
 8000 SHILOH ROAD
 FARMINGTON, VA 22601
 PHONE: 703.885.8800
 FAX: 703.885.8810

ELM STREET / PINEY RUN
 Generalized Development Plan
 Special Exception Amendment Plat
 LIFE DISTRICT
 FARMINGTON COUNTY, VIRGINIA



KEY PLAN

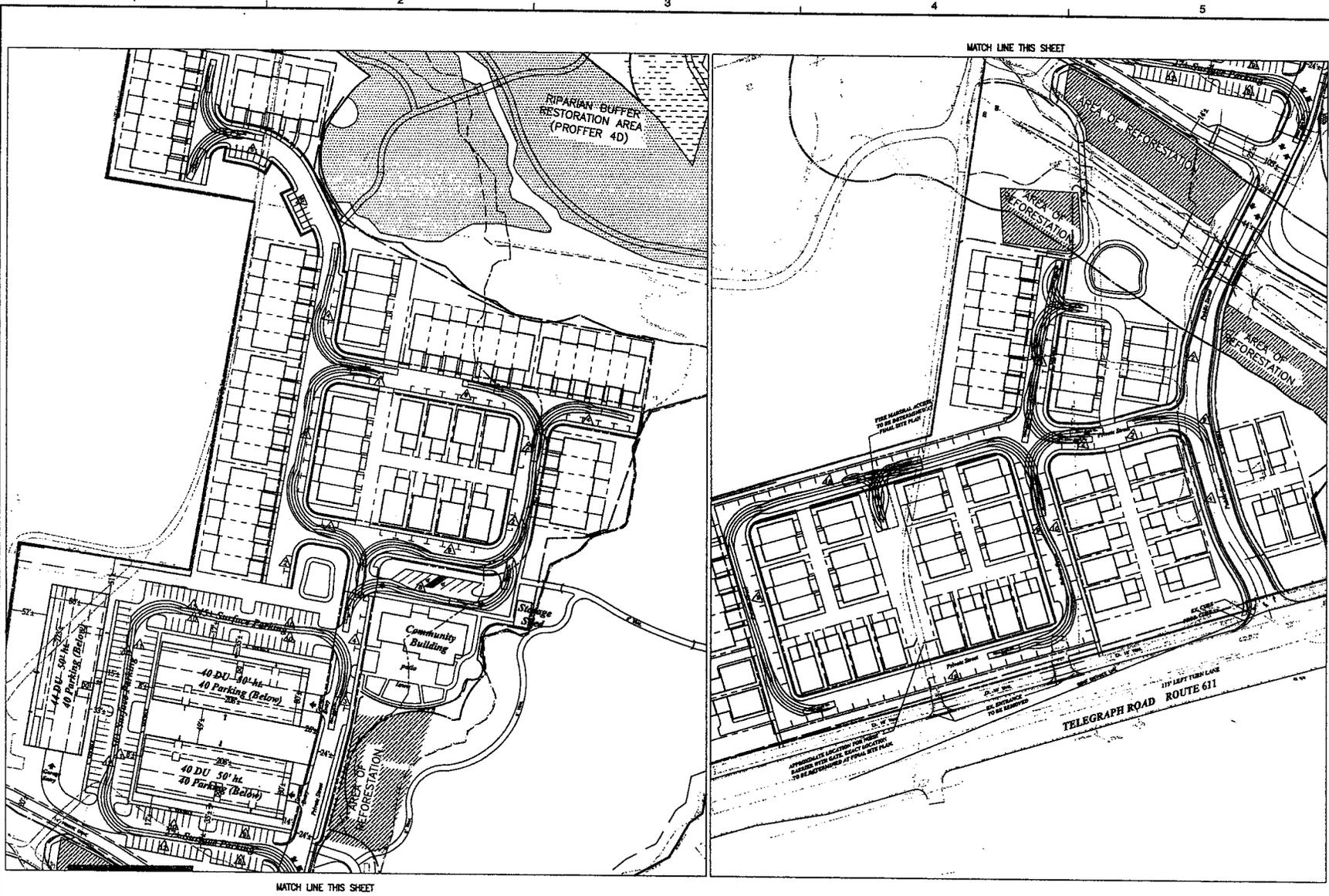


No.	DATE	BY	Description
7	5/15/15		
6	3/7/15		
5	4/8/15		
4	2/6/15	JMC	
3	10/7/14		
2	8/8/14		
1	6/16/14	JMC	

REVISIONS
 DRAWN BY: JMC
 APPROVED BY: JMC
 CHECKED BY:
 DATE: March 5, 2014
 TITLE:

FIRE TRUCK TURNING RADI

PROJECT NO.



MATCH LINE THIS SHEET

MATCH LINE THIS SHEET

- NOTES:
- ALL AREAS IDENTIFIED AS FIRE LINES, FIRE DEPARTMENT TURNAROUNDS, FIRE DEPARTMENT ACCESS AREAS OR OTHER RESTRICTED AREAS WILL HAVE BOLLARDS, PAINT, SIGNAGE AND OTHER REQUIRED IDENTIFICATION INSTALLED AS REQUIRED PRIOR TO STRUCTURE OCCUPANCY.
 - MINOR REVISIONS MAY BE MADE AT TIME OF FINAL SITE PLAN TO ADDRESS UPDATED TURNING MOVEMENT REQUIREMENTS OR TRUCK TEMPLATES AS PROVIDED BY THE FIRE MARSHAL.

Dewberry Consultants LLC
 800 ANNAPOLIS BLVD.
 ANNAPOLIS, MD 21403
 PHONE: 410.291.0000
 FAX: 410.291.0004

ELM STREET / PINEY RUN
 Generalized Development Plan
 Special Exception Amendment Plat
 LEE DISTRICT
 FAIRFAX COUNTY, VIRGINIA



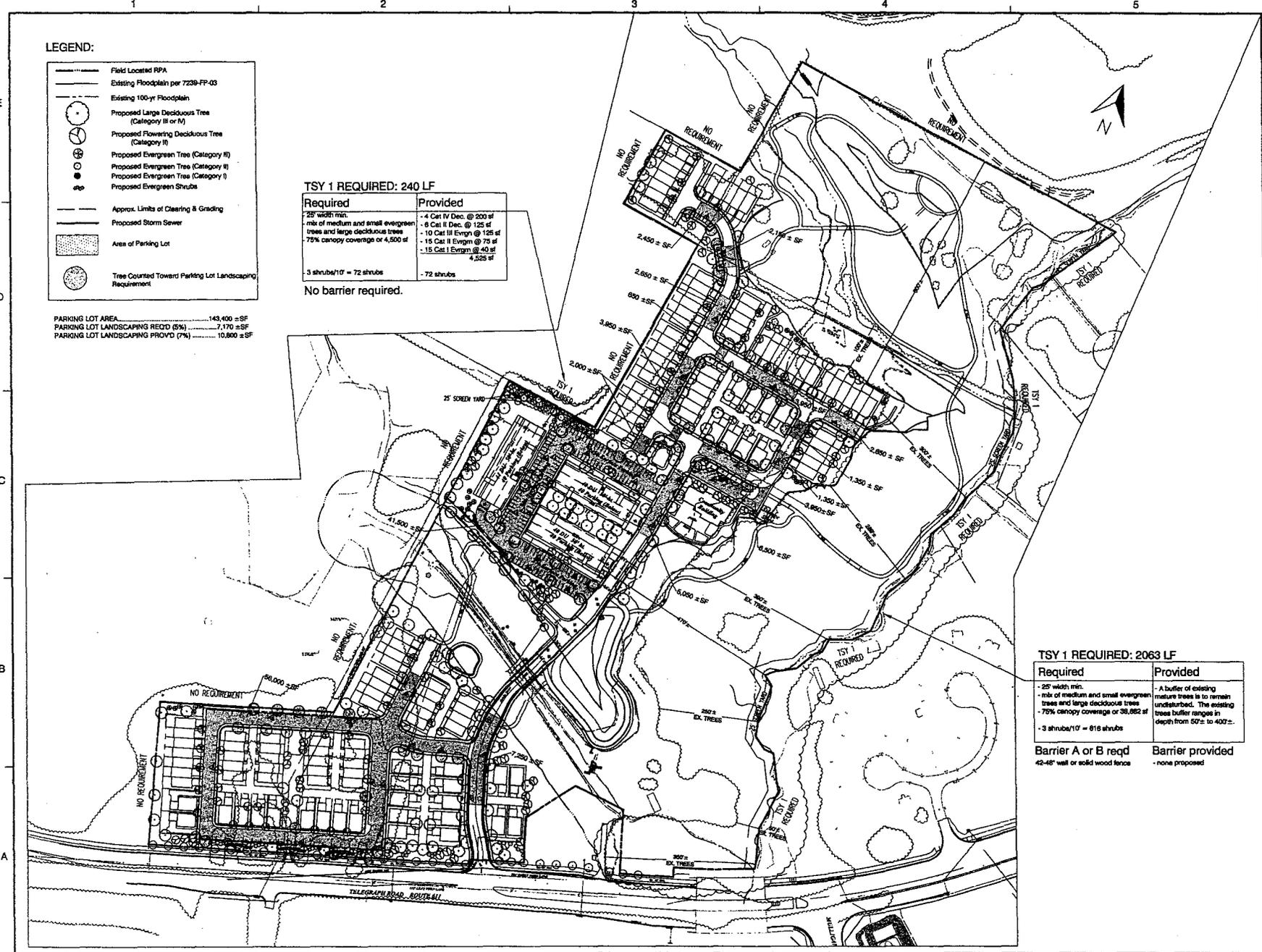
KEY PLAN
 SCALE
 0' 100' 200'

No.	DATE	BY	Description
7	5/15/15		
6	5/8/15		
5	4/25/15	JAC	
4	2/25/15	JAC	
3	10/27/14		
2	8/8/14		
1	6/18/14	JAC	

REVISIONS
 DRAWN BY: JMC
 APPROVED BY: JMC
 CHECKED BY:
 DATE: March 5, 2014

TITLE
 Landscape Calculations

PROJECT NO.



LEGEND:

- Field Located RPA
- Existing Floodplain per 7239-FP-03
- Existing 100-yr Floodplain
- Proposed Large Deciduous Tree (Category III or IV)
- Proposed Flowering Deciduous Tree (Category II)
- Proposed Evergreen Tree (Category II)
- Proposed Evergreen Tree (Category II)
- Proposed Evergreen Tree (Category I)
- Proposed Evergreen Shrubs
- Approx. Limits of Clearing & Grading
- Proposed Storm Sewer
- Area of Parking Lot
- Tree Counted Toward Parking Lot Landscaping Requirement

TSY 1 REQUIRED: 240 LF

Required	Provided
25' width min.	- 4 Cat IV Dec. @ 200 sf
mix of medium and small evergreen trees and large deciduous trees	- 6 Cat II Dec. @ 125 sf
75% canopy coverage or 4,500 sf	- 10 Cat III Evgrm @ 125 sf
	- 15 Cat II Evgrm @ 75 sf
	- 15 Cat I Evgrm @ 40 sf
	4,325 sf
3 shrubs/10' = 72 shrubs	- 72 shrubs

No barrier required.

TSY 1 REQUIRED: 2063 LF

Required	Provided
- 25' width min.	- A buffer of existing mature trees is to remain undisturbed. The existing trees buffer ranges in depth from 50' to 400'.
- mix of medium and small evergreen trees and large deciduous trees	
- 75% canopy coverage or 38,982 sf	
- 3 shrubs/10' = 618 shrubs	

Barrier A or B reqd
42-48" wall or solid wood fence

Barrier provided
- none proposed

PARKING LOT AREA.....143,400 ±SF
 PARKING LOT LANDSCAPING REQ'D (6%).....7,170 ±SF
 PARKING LOT LANDSCAPING PROVD (7%).....10,800 ±SF



⊕ TOWNHOUSE- FRONT LOAD OPTION 1



⊕ TOWNHOUSE- FRONT LOAD OPTION 2



⊕ TOWNHOUSE- REAR LOAD



⊕ SINGLE FAMILY DETACHED- FRONT ELEVATION



Scheme 1 "Traditional" Apartment



Scheme 2 "Contemporary" Apartment

⊕ MULTIFAMILY

PINEY RUN ARCHITECTURAL NOTE

Architectural elevations shown are illustrative in nature and illustrate: 1) a commitment to a general type, character, and quality of architectural design and detailing, and 2) the types of architectural and decorative elements and features that may be included. Actual building elevations to be constructed must meet the quality of architectural design and detailing illustrated.

Dewberry & Associates, Inc.



Dewberry Consultants LLC
 500 ANNISTON BLVD.
 FARMASIDE CENTER
 FARMASIDE CENTER
 FARMASIDE CENTER

ELM STREET / PINEY RUN
 Generalized Development Plan
 Special Exception Amendment Plat
 LEE DISTRICT
 FAIRFAX COUNTY, VIRGINIA



KEY PLAN

SCALE

No.	DATE	BY	Description
7	5/15/15		
6	5/8/15		
5	4/8/15		
4	2/8/15	JAC	
3	10/7/14		
2	8/5/14		
1	6/12/14	JAC	

DESIGNED BY: JMC
 APPROVED BY: JMC
 CHECKED BY:
 DATE: March 5, 2014

TITLE
 Architectural
 Elevations

PROJECT NO.

16

SHEET NO. OF 16

M-10841



COUNTY OF FAIRFAX
Department of Planning and Zoning
Zoning Evaluation Division
 12055 Government Center Parkway, Suite 801
 Fairfax, VA 22035 (703) 324-1290, TTY 711
www.fairfaxcounty.gov/dpz/zoning/applications

APPLICATION No: RZ 2014-LE-010 Amended

(Assigned by staff)

Concurrent with
SEA 2005-LE-028
SEA 2005-LE-027-02

APPLICATION FOR A REZONING
 (PLEASE TYPE or PRINT IN BLACK INK)

PETITION

RECEIVED
 Department of Planning & Zoning

FEB 11 2015

Zoning Evaluation Division

TO: THE BOARD OF SUPERVISORS OF FAIRFAX COUNTY, VIRGINIA

I (We), Piney Run Elm Investments LC, the applicant (s) petition you to adopt an ordinance amending the Zoning Map of Fairfax County, Virginia, by reclassifying from the R-1 District to the R-1 District the property described below and outlined in red on the Zoning Section Sheet(s) accompanying and made part of this application.

APPLICATION TYPE(S): PCA () CDP () FDP () CDPA () FDPA ()

LEGAL DESCRIPTION:

Metes and bounds - see attached				
Lot(s)	Block(s)	Subdivision	Deed Book	Page No.

TAX MAP DESCRIPTION:

100-1	((1))		9B (pt.), 19, 20, 23A, 24, 25	Approximately 47.40 acres
Map No.	Double Circle No.	Single Circle No.	Parcel(s)/Lot(s) No.	Total Acreage

POSTAL ADDRESS OF PROPERTY:

7836, 7906, 7908 and 7912 Telegraph Road, Alexandria, Virginia 22315

ADVERTISING DISCRIPTION: (Example - North side of Lee Highway approx. 1000 feet west of its intersection with Newgate Blvd.)

N. Side of Telegraph Road (Rt. 611) approximately 2,000 feet east of the its intersection with Beulah Street (Rt. 613).

PRESENT USE: Residential	PROPOSED USE: Residential
MAGISTERIAL DISTRICT: Lee	OVERLAY DISTRICT (S): NR

The name(s) and address(s) of owner(s) of record shall provided on the affidavit form attached and made part of this application. The undersigned has the power to authorize and does hereby authorize Fairfax County staff representative on official business to enter on the subject property as necessary to process the application.

Lynne J. Strobel, Attorney/Agent

 Type or Print Name
 Walsh, Colucci, Lubeley & Walsh, PC
 2200 Clarendon Blvd., Suite 1300, Arlington, VA 22201
 Address

Lynne J. Strobel

 Signature of Applicant or Agent
 (Work) 703-528-4700 (Mobile) _____
 Telephone Number

Please provide name and telephone number of contact if different from above:

DO NOT WRITE BELOW THIS SPACE

Date application accepted: March 3, 2015

Deborah Lesko Penberton

RZ 2015-0046

mpc 3/3/15

Fee Paid \$6,255.00



Dewberry Consultants LLC
8401 Arlington Boulevard
Fairfax, VA 22031-4666
703.849.0100
703.849.0118 fax
www.dewberry.com

February 27, 2015

**DESCRIPTION OF
ELM STREET DEVELOPMENT
PINEY RUN**

RECEIVED
Department of Planning & Zoning

FEB 27 2015

**LEE DISTRICT
FAIRFAX COUNTY, VIRGINIA**

Zoning Evaluation Division

Beginning at a point on the southerly line of Parcel 13, Kingstowne as recorded in Deed Book 7221 at Page 755, said point also being the easternmost corner of the residue of Parcel 9, Hilltop Sand and Gravel Company, Inc. as recorded in Deed Book 20973 at Page 2047; thence departing the easternmost corner of said Parcel 9 and with the southerly and the easterly lines of said Parcel 13 the following courses: S81°14'03"E, 238.94 feet; N09°57'18"E, 514.34 feet; N81°19'22"W, 208.73 feet and N09°57'30"E, 208.86 feet to a point on the southerly line of the Board of Supervisors of Fairfax County, Virginia and the Fairfax County Park Authority as recorded in Deed Book 14140 at Page 446; thence departing the northeasterly corner of aforementioned Parcel 13 and with the southerly line of said the Board of Supervisors of Fairfax County, Virginia and the Fairfax County Park Authority the following three courses: S81°21'55"E, 208.72 feet; N09°57'18"E, 305.86 feet and S81°33'03"E, 871.24 feet to a point in the center of Piney Run; thence departing the southerly line of aforementioned Board of Supervisors of Fairfax County, Virginia and the Fairfax County park Authority and with the center of said Piney Run the following average courses: S33°22'30"W, 9.71 feet; S36°48'02"W, 25.90 feet; S34°18'02"W, 181.50 feet; S48°14'32"W, 28.80 feet; S19°02'32"W, 130.95 feet; S34°29'28"E, 130.12 feet; S21°00'28"E, 81.54 feet; S25°14'19"E, 7.41 feet; S13°16'56"E, 38.07 feet; S08°52'19"W, 55.23 feet; S03°40'41"W, 50.00 feet; S25°28'47"W, 53.85 feet; S28°03'17"W, 42.00 feet; S14°39'29"W, 54.78 feet; S31°54'16"W, 70.43 feet; S14°21'00"E, 30.27 feet; S10°41'31"W, 73.38 feet; S31°28'43"W, 84.02 feet; S04°39'57"W, 101.00 feet S43°08'38"W, 49.68 feet; S69°56'46"W, 56.52 feet;

S11°07'24"W, 32.57 feet; S53°10'35"W, 21.95 feet; S30°56'20"W, 55.61 feet; S62°03'02"W, 52.56 feet; S51°54'58"W, 26.93 feet; S51°45'19"E, 31.11 feet; S03°53'34"E, 20.03 feet; S03°28'46"W, 73.16 feet; S11°31'08"E, 36.13 feet; S52°50'10"E, 37.48 feet; S83°15'34"E, 25.71 feet; S26°31'53"E, 94.58 feet; S07°32'42"W, 52.63 feet; S09°01'32"W, 47.80 feet; S13°58'10"E, 79.63 feet and S10°56'24"E, 20.61 feet to a point on the northerly right of way line of Telegraph Road (Rt. 611) as recorded in Deed Book 21745 at page 1919; thence departing the center of aforementioned Piney Run and with the northerly right of way line of said Telegraph Road as recorded in Deed Book 21745 at page 1919, Deed Book 21661 at page 845 and Deed Book 21595 at page 770 the following ten courses: with a curve to the right with a radius of 1917.67 feet and whose chord is S70°39'47"W, 198.66 feet, an arc distance of 198.75 feet; S16°22'04"E, 22.83; S73°37'56"W, 130.92 feet; N16°22'04"W, 157.07 feet; N83°21'40"W, 130.92 feet; S37°43'49"W, 143.81 feet; S16°22'04"E, 111.91 feet; S73°37'56"W, 130.00 feet; S16°22'04"E, 12.00 feet and S73°37'56"W, 790.36 feet to a point marking the southeasterly corner of aforementioned Parcel 9; thence departing the northerly right of way line of Telegraph Road and with the easterly line of Parcel 9 the following three courses: N14°56'04"W, 350.02 feet; N73°34'27"E, 428.99 feet and N08°01'38"E, 921.03 feet to the point of beginning, containing 47.40 acres of land.

