



County of Fairfax, Virginia

November 11, 2015

STAFF REPORT

SPECIAL PERMIT APPLICATION SP 2015-DR-122

DRANESVILLE DISTRICT

APPLICANTS/OWNERS: Thomas John Andersen

STREET ADDRESS: 2121 Hilltop Place, Falls Church, VA 22043

SUBDIVISION: Churchill

TAX MAP REFERENCE: 40-2 ((6)) (G) 01

LOT SIZE: 12,597 square feet

ZONING DISTRICT: R-4

ZONING ORDINANCE PROVISION: 8-922

SPECIAL PERMIT PROPOSAL: To permit reduction in certain yard requirements to permit construction of an addition 21.3 feet from a front lot line of a corner lot.

STAFF RECOMMENDATION:

Staff recommends approval of SP 2015-DR-122 for the addition with adoption of the proposed development conditions contained in Appendix 1.

It should be noted that it is not the intent of staff to recommend that the Board, in adopting any conditions, relieve the applicants/owners from compliance with the provisions of any applicable ordinances, regulations, or adopted standards.

Paul S. Yoon

It should be further noted that the content of this report reflects the analysis and recommendations of staff; it does not reflect the position of the Board of Zoning Appeals. A copy of the BZA's Resolution setting forth this decision will be mailed within five days after the decision becomes final.

The approval of this application does not interfere with, abrogate or annul any easements, covenants, or other agreements between parties, as they may apply to the property subject to the application.

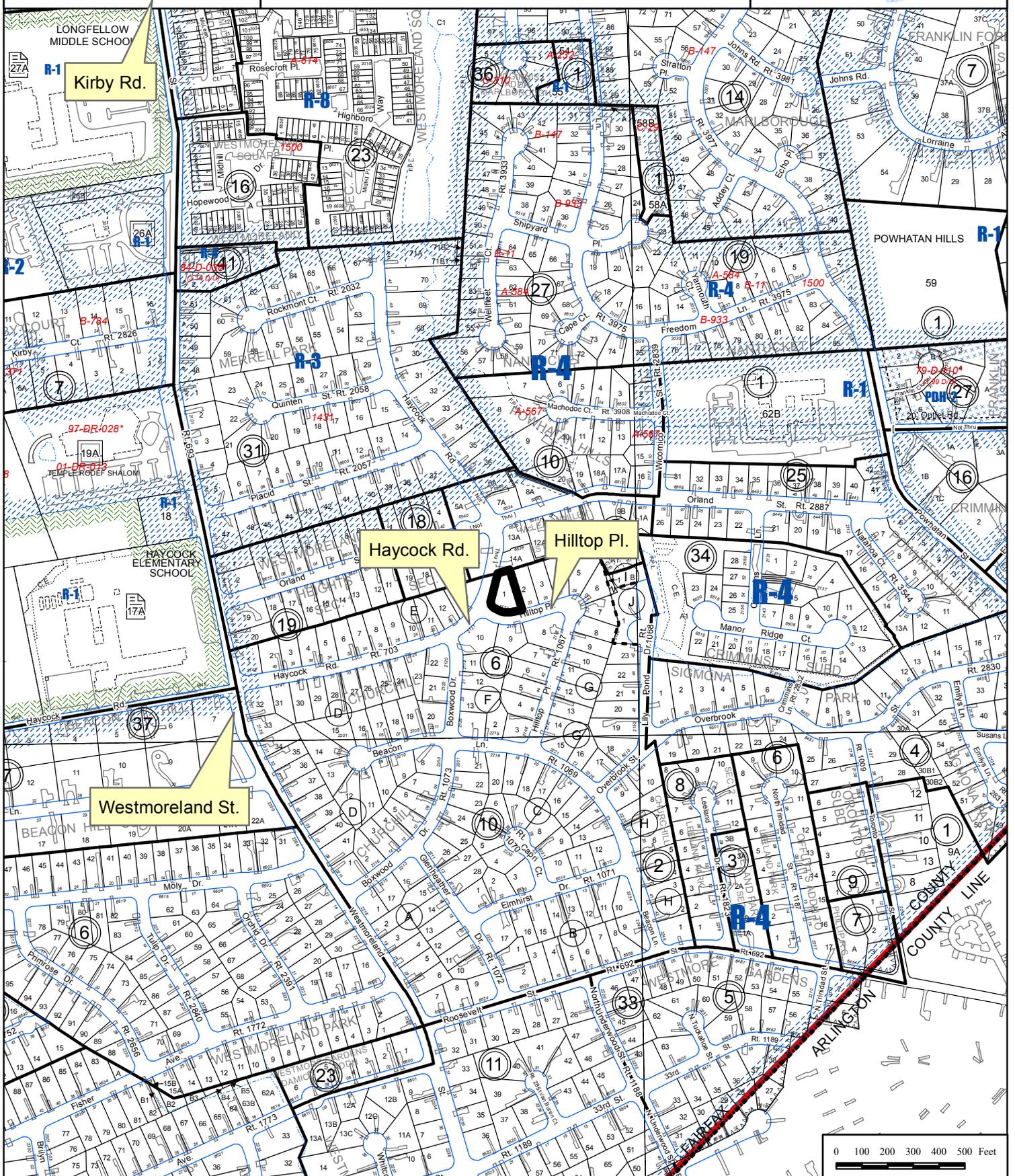
For additional information, call Zoning Evaluation Division, Department of Planning and Zoning at 703-324-1280, 12055 Government Center Parkway, Suite 801, Fairfax, Virginia 22035. **Board of Zoning Appeals' meetings are held in the Board Room, Ground Level, Government Center Building, 12000 Government Center Parkway, Fairfax, Virginia 22035-5505.**



Americans with Disabilities Act (ADA): Reasonable accommodation is available upon 48 hours advance notice. For additional information on ADA call (703) 324-1334 or TTY 711 (Virginia Relay Center).

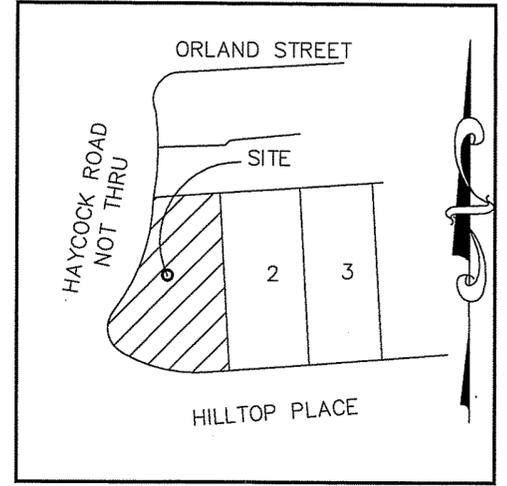


Special Permit SP 2015-DR-122 THOMAS JOHN ANDERSEN



XIAOMING KUAI
 6539 ORLAND STREET
 FALLS CHURCH, VA 22043
 DB 23621 PG 604
 ZONE R-4
 TM 40-2-46-0014A

RECEIVED
 Department of Planning & Zoning
 AUG 19 2015
 Zoning Evaluation Division

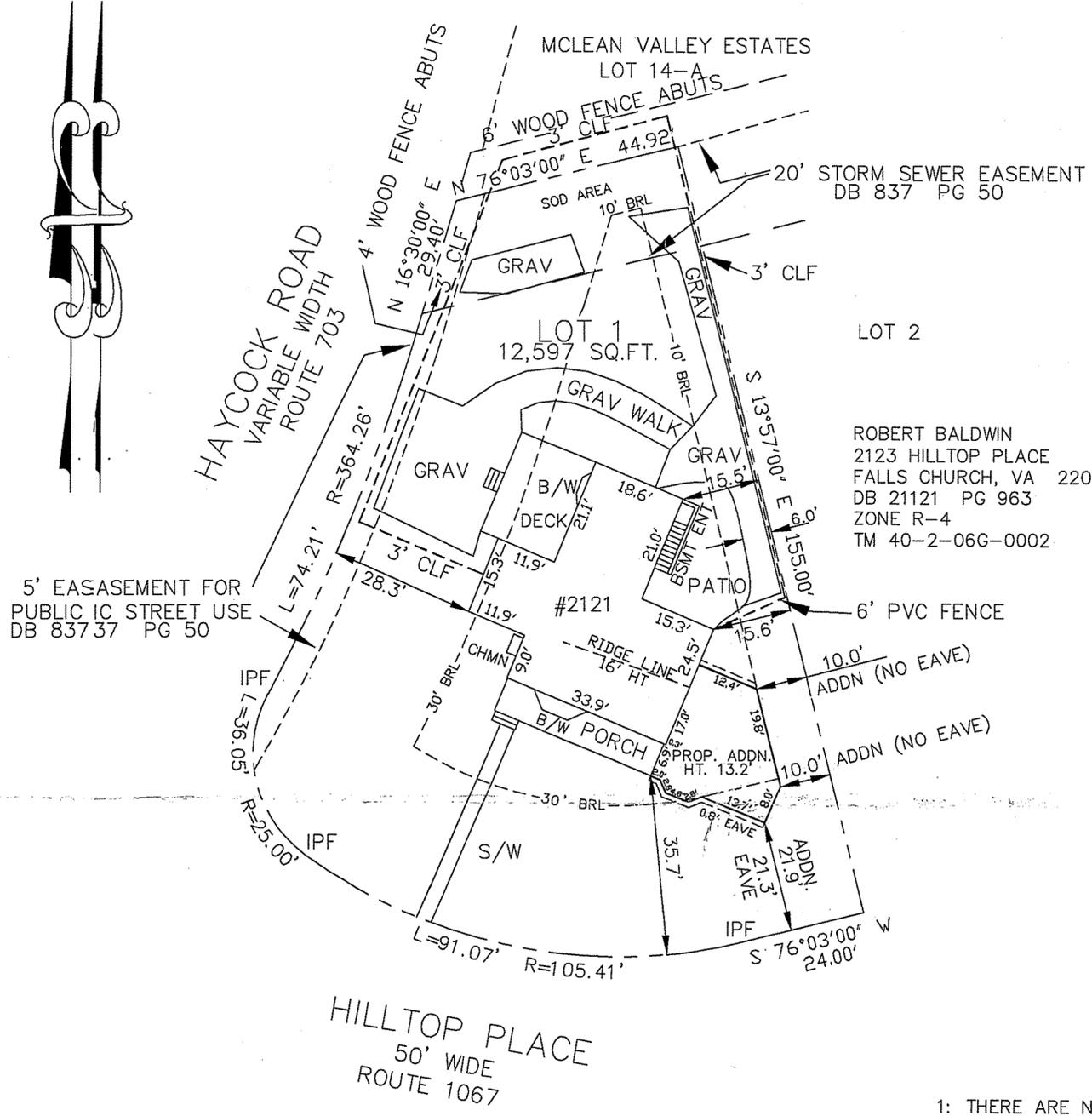


VICINITY MAP

OWNERS TAB
 THOMAS J ANDERSEN
 2121 HILLTOP PLACE
 FALLS CHURCH, VA 22043
 DB 9596 PG 1117
 ZONE R-4
 TM 40-2-06G-0001

ZONING TAB
 ZONE R-4

SETBACKS
 FRONT...30 FEET
 SIDE...10 FEET
 REAR...10 FEET



GENERAL NOTES

- 1: THERE ARE NO KNOWN CEMETARIES LOCATED ON THIS PROPERTY.
- 2: THE PROPERTY IS SERVED BY PUBLIC SEWER AND WATER.
- 3: THE PROPERTY IS SERVED BY NATURAL GAS.
- 4: NO EASEMENTS 25' OR GREATER EXIST
- 5: THE PROPERTY SHOWN HEREON IS NOT LOCATED IN AN ENVIRONMENTAL QUALITY CORRIDOR.
- 6: THE PROPERTY SHOWN HEREON IS NOT LOCATED IN A RESOURCE PROTECTION AREA.
- 7: THE PROPERTY SHOWN HEREON IS LOCATED IN A RESOURCE MANAGEMENT AREA.
- 8: SURVEY PROVIDED BY JAMES D. THURBER L.S. ON 5-1-2015

FLOOD PLAIN NOTE

1) THIS PARCEL IS LOCATED IN FLOOD ZONE X AS DEPICTED ON THE FLOOD INSURANCE RATE MAP COMMUNITY # 51059C PANEL # 0170 E AND IS DATED 9-17-2010.

GFA CALCULATIONS EXISTING

BASEMENT 180 SQ.FT.
 MAIN FLOOR 1,381 SQ.FT.

GFA CALCULATIONS PROPOSED

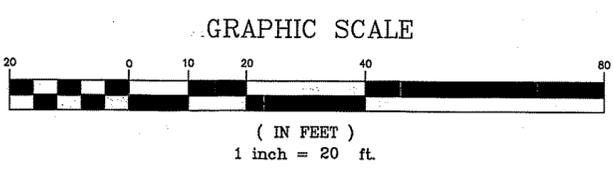
BASEMENT 180 SQ.FT.
 MAIN FLOOR 1,381 SQ.FT.
 PROPOSED ADDITION 497 SQ.FT.

TOTAL 1,561 SQ.FT.
 LOT AREA 12,597 SQ.FT.
 GFA RATIO 0.12

TOTAL 2,058 SQ.FT.
 LOT AREA 12,597 SQ.FT.
 GFA RATIO 0.16

PROPOSED ADDITION (497 SQ.FT.)/EX.GFA (1,561) = 0.32

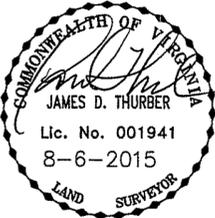
DRAWN BY: JDT	DATE: 5-1-2015
CHECKED BY: JDT	DRAWING NO.: FFX2121
JOB NO.: FFX2121	SHEET 1 OF 1



NO.	DATE	DESCRIPTION	BY
1	8-6-2015	COUNTY COMMENTS	JDT

JAMES D. THURBER, L.S.
 LAND SURVEYING
 10707 WOODLAND DRIVE
 FREDERICKSBURG, VA 22407
 PHONE: 540 540-207-3348 EMAIL: jim@telsitd.com

CERTIFIED CORRECT



SPECIAL PERMIT PLAT
 LOT 1 BLOCK G SECTION 2
 CHURCHILL
 FAIRFAX COUNTY, VIRGINIA
 DRANESVILLE DISTRICT
 SCALE: 1" = 20' DATE: MAY 1, 2015

FILE#: FFFFX2121 CLIENT: ANDERSEN
 DATE: 5-5-2015 CHECKED BY: JDT
 SCALE: 1" = 20' CREW: JT/CR

SPECIAL PERMIT REQUEST

The applicants request approval of a special permit for a reduction in certain yard requirements to allow construction of an addition 21.3 feet from the front lot line of a corner lot. This living area, bedroom and full bathroom addition would be located on the right side of the house and would measure 13.2 feet in height and 497 square feet in gross floor area.

A copy of the special permit plat titled "Special Permit Plat, Lot 1 Block G Section 2, Churchill, Fairfax County, Virginia, Dranesville District," prepared by James D. Thurber, L.S., on August 6, 2015, is included in the front of the staff report.

Copies of the proposed development conditions, the statement of justification and select file photographs and the affidavit are contained in Appendices 1 through 3, respectively.

CHARACTER OF THE SITE AND SURROUNDING AREA

The application property is a one story single-family detached dwelling. A concrete walkway extends from Hilltop Place to an open porch that provides access to the main entrance of the dwelling. A deck and patio are attached at the rear of the dwelling. A gravel walkway extends across the rear yard, and the rear yard is enclosed by a PVC fence 6.0 feet in height. Existing mature vegetation in the rear yard provides screening to the area.



Figure 1: House Location

The subject property and surrounding properties are zoned R-4 and developed with single-family detached dwellings.

BACKGROUND AND HISTORY

Fairfax County Tax Records indicate that the single family dwelling was constructed in 1950 and purchased by the applicant in 1996.

On April 22, 2005, a building permit was issued for a porch and bay window addition. A copy of this building permit is shown in Appendix 4.

Records indicate that no other special permit applications relating to a reduction in minimum yard requirements have been heard by the Board of Zoning Appeals (BZA) in the surrounding area.

DESCRIPTION OF THE PROPOSED USE

The applicants are requesting approval of a special permit for a reduction of the front yard setback to permit construction of an in-law suite with no kitchen facilities. The addition, located 21.3 feet from the front lot line, would be used as a living area, bedroom and full bathroom. In the R-4 district, the required minimum front yard is 30 feet; therefore, the applicants are requesting a reduction of 8.7 feet from the total side yard requirements, or 29%.

Structure	Yard	Minimum Yard Required	Proposed Location	Proposed Reduction	Percentage of Reduction Requested
Living Area, Bedroom and Full Bathroom Addition	Front	30.0 feet	21.3 feet	8.7 feet	29%

The addition (see Figure 2) would be a maximum of 13.2 feet in height, and it would add an additional 497 square feet in gross floor area. The roofline of the proposed addition would be lower than the existing roofline of the house and well within the maximum height requirement. Approximately 50 square feet of the proposed area is within the front yard setback. The challenging triangular shape of the building envelope on the right side of the existing house is such that the applicant's architect maintains no other layout would be feasible in terms of structural framing and construction. Building within the required setbacks would result in an irregularly shaped addition.

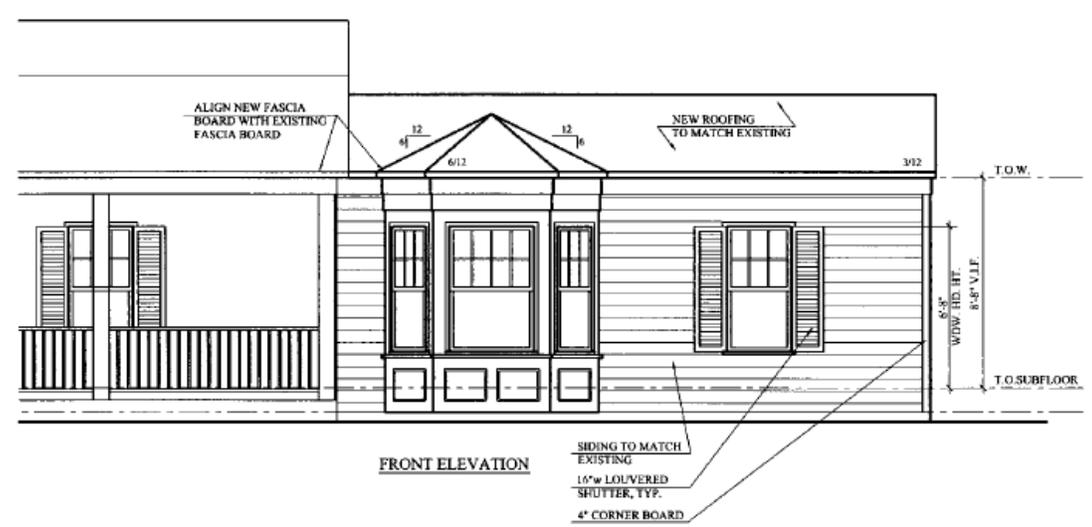


Figure 2: Proposed Elevation

ANALYSIS

Comprehensive Plan Provisions

Plan Area: Area II, Mclean Planning District
Planning Sector: Kirby Planning Sector (M3)
Plan Map: Residential, 3-4 dwelling units per acre

Zoning District Standards

Bulk Standards (R-4)		
Standard	Required	Provided
Lot Size	8,400 sf.	12,597 sf.
Lot Width	70 feet	105 feet
Building Height	35 feet max.	16 feet
Front Yard #1 (Hilltop Pl.)	30 feet	21.3 feet ¹
Front Yard #2 (Haycock Rd.)	30 feet	28.3 feet ²
Side Yard #1 (East)	10 feet	10.0 feet
Side Yard #2 (North)	10 feet ²	48.0 feet

1. As permitted through the approval of this application.
2. A side addition with appropriate and finalized building permits was built in 1991. The addition has been taxed for more than 15 years, and thus is considered a vested, legal structure (Appendix 4).

Accessory Structures On-Site

Structure	Yard	Minimum Yard Required	Existing Location	Existing Height
Deck	Front Yard #2 (Haycock Rd.)	30 feet	24.5 feet*	Less than 4.0 feet

*Section 2-412.2.A states any open deck with no part of its floor higher than four (4) feet above finished ground level may extend up to 6 feet into the front minimum required yard, but not closer than 14 feet to a front lot line.

Zoning Ordinance Requirements

- Sect. 8-006 General Special Permit Standards
- Sect. 8-903 Group 9 Standards
- Sect. 8-922 Provisions for Reduction of Certain Yard Requirements

This special permit is subject to sections of the Zoning Ordinance as referenced above, a copy of which is included in Appendix 5. Subject to development conditions, the special permit must meet these standards.

General Standards for Special Permit Uses (Sect. 8-006)

Standards 1 & 2 Comprehensive Plan/ Zoning District	The Comprehensive Plan recommends residential uses and the property is developed with a residential use. The R-4 District allows a reduction in minimum required yards with special permit approval.
Standard 3 Adjacent Development	In staff’s opinion, the proposed use will neither hinder nor discourage use or development of neighboring properties or negatively affect value. Adjacent properties contain substantially larger homes, and the proposed addition conforms in appearance and scale to both the existing home and the character of the neighborhood.
Standard 4 Pedestrian/ Vehicular Traffic	No increase in vehicular or pedestrian traffic is expected with this application. In staff’s opinion, the proposed use is not hazardous and does not conflict with existing and anticipated traffic in the neighborhood.
Standard 5 Landscaping/ Screening	Mature vegetation provides screening of the application property in the front and side yards. The lower elevation of the property in relation to the adjacent property and street is such that the addition is not visually prominent. Staff does not recommend any additional landscaping or screening.
Standard 6 Open Space	There is no prescribed open space requirement on individual lots in the R-4 District.

Standard 7 Utilities, Drainage, Parking, and Loading	There are no changes to the utilities, drainage, parking or loading of the site.
Standard 8 Signs	No signage is proposed.

Standards for all Group 9 Uses (Sect. 8-903)

Standard 1 Lot Size and Bulk Regulations	The bulk regulations for the minimum required front yard is requested to be modified with the special permit application. The lot complies with all other lot sizes and bulk regulations.
Standard 2 Performance Standards	The use will comply with the performance standards set forth in Article 14 of the Zoning Ordinance.
Standard 3 Site Plan	The construction is not disturbing more than 2,500 square feet; therefore the application is not subject to the provisions of Article 17, Site Plans.

Standards for Reduction of Certain Yard Requirements (8-922)

Standard 1 Yard Requirements Subject to Special Permit	<p><i>A. Minimum required yards – Yards not less than 50% of the requirement and not less than 5 feet:</i> The proposed addition would be located 21.3 feet from the front lot line. The required front yard in an R-4 district is 30.0 feet, resulting in a reduction of 8.7 feet or 29%.</p> <p><i>B. Pipestem lots- N/A</i></p> <p><i>C. Accessory structure locations – N/A</i></p> <p><i>D. Extensions into minimum required yards allowed by Sect. 2-412 – N/A</i></p>
Standard 2 Not a Detached Structure in a Front Yard	The application does not propose a detached accessory structure.
Standard 3 Principal Structure that Complied with Yard Requirements When Established	When the existing structure was built in 1950, it conformed to all applicable requirements at the time.
Standard 4 Addition No More than 150% of Existing Gross Floor Area (GFA)	The addition is 497 square feet. The existing GFA of the primary structure is 1,561 square feet; therefore the proposed addition will be 31.8% of the GFA.

<p>Standard 5 Accessory Structure Subordinate in Purpose, Scale, Use and Intent</p>	N/A
<p>Standard 6 Construction in Character with On-Site Development</p>	<p>The proposed addition will be constructed to the east of the existing dwelling. The elevation drawings indicate that the materials, size and scale of the proposed addition would be the same as the existing dwelling.</p>
<p>Standard 7 Construction Harmonious with Off-Site Development</p>	<p>Through aerial photography, submitted photographs, and background research, staff has confirmed that neighboring properties contain substantially larger homes and additions than the subject property. The proposed addition would not affect neighboring properties in terms of location, height and bulk; adjacent homes have much higher rooflines and are constructed fairly close to their front and side yard setbacks.</p>
<p>Standard 8 Construction Shall Not Adversely Impact Adjacent Properties</p>	<p>Staff believes that the proposed addition will not significantly impact the use and/or enjoyment of any adjacent property with regard to issues such as noise, light, air or safety. The in-law suite design is similar in design, scale and use to the existing house; therefore, the character of the property will remain the same and not cause a drastic change in appearance that negatively affects adjacent properties. DPWES has indicated that there are no drainage complaints on file related to this property. Staff believes the addition will not significantly increase runoff or erosion.</p>
<p>Standard 9 Represents the Minimum Amount of Reduction Necessary</p>	<p>Staff believes the special permit application proposal is modest in nature and is the minimum amount of reduction necessary due to the triangular shape and corner location of the lot. The triangular shape of the building envelope on the right side of the existing house is such that any other proposed layout would be difficult to implement in terms of structural framing and construction. Building within the setback would result in an irregularly shaped addition and limit the utility of the in-law suite.</p>
<p>Standard 10 BZA May Impose Conditions</p>	Proposed development conditions are included in Appendix 1.
<p>Standard 11 Submission Requirements</p>	A copy of the plat is included in the beginning of this report.
<p>Standard 12 Architectural Elevations</p>	Proposed elevations are included as an attachment to the proposed development conditions in Appendix 1.

CONCLUSION / RECOMMENDATION

Staff believes that the request is in conformance with the applicable Zoning Ordinance provisions and is in harmony with the Comprehensive Plan. Staff recommends approval of SP 2015-DR-122 for the addition with adoption of the proposed development conditions contained in Appendix 1.

It should be noted that it is not the intent of staff to recommend that the Board, in adopting any conditions, relieve the applicants/owners from compliance with the provisions of any applicable ordinances, regulations, or adopted standards.

It should be further noted that the content of this report reflects the analysis and recommendations of staff; it does not reflect the position of the Board of Zoning Appeals.

The approval of this application does not interfere with, abrogate or annul any easements, covenants, or other agreements between parties, as they may apply to the property subject to the application.

APPENDICES

1. Proposed Development Conditions
2. Applicant's Statement of Justification
3. Applicant's Affidavit
4. Applicable Building Permits
5. Applicable Zoning Ordinance Provisions

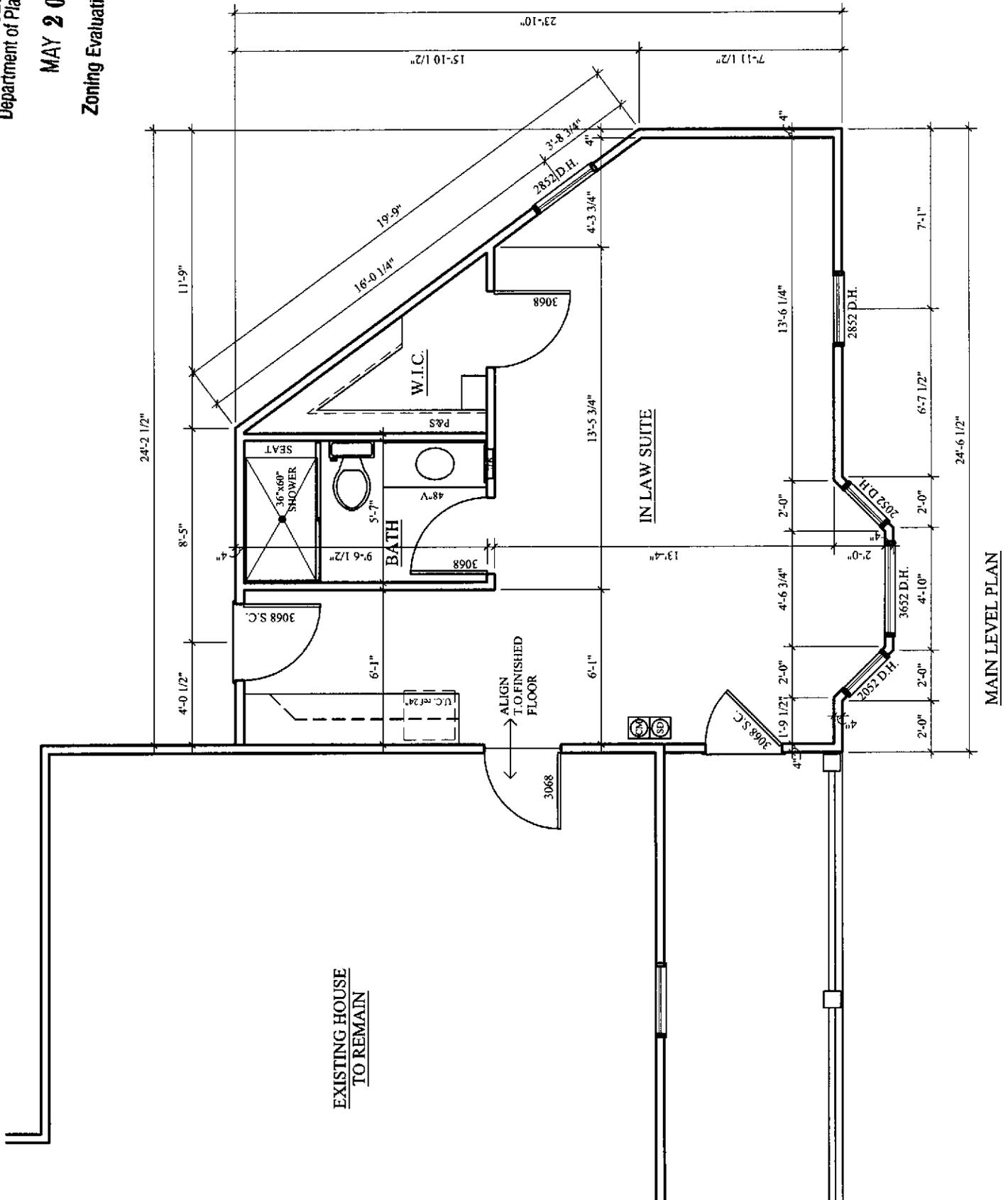
PROPOSED DEVELOPMENT CONDITIONS**SP 2015-DR-122****November 11, 2015**

If it is the intent of the Board of Zoning Appeals to approve SP 2015-DR-122 located at Tax Map 40-2 ((6)) (G) 1 to permit reduction of certain yard requirements pursuant to Section 8-922 of the Fairfax County Zoning Ordinance to permit a residential addition 21.3 feet from the front lot line, staff recommends that the Board condition the approval by requiring conformance with the following development conditions.

1. These conditions shall be recorded by the applicant among the land records of Fairfax County for this lot prior to the issuance of a building permit. A certified copy of the recorded conditions shall be provided to the Zoning Permit Review Branch, Department of Planning and Zoning.
2. This special permit is approved for the location and size of the addition (497 square feet and 13.2 feet in height), as shown on the plat entitled "Special Permit Plat, Lot 1 Block G Section 2, Churchill, Fairfax County, Virginia, Dranesville District," prepared by James D. Thurber, L.S., on August 6, 2015, as submitted with this application and is not transferable to other land.
3. Pursuant to Paragraph 4 of Section 8-922 of the Zoning Ordinance, the resulting gross floor area of an addition to the existing principal structure may be up to 150 percent of the gross floor area of the dwelling that existed at the time of the first expansion (1,561 square feet existing + 2,341 square feet (150%) = 3,902 square feet maximum permitted on lot) regardless of whether such addition complies with the minimum yard requirement or is the subject of a subsequent yard reduction special permit. Subsequent additions that meet minimum yard requirements shall be permitted without an amendment to this special permit.
4. The addition shall be generally consistent with the architectural renderings and materials as shown on Attachment 1 to these conditions.

This approval, contingent upon the above-noted conditions, shall not relieve the applicant from compliance with the provisions of any applicable ordinances, regulations or adopted standards.

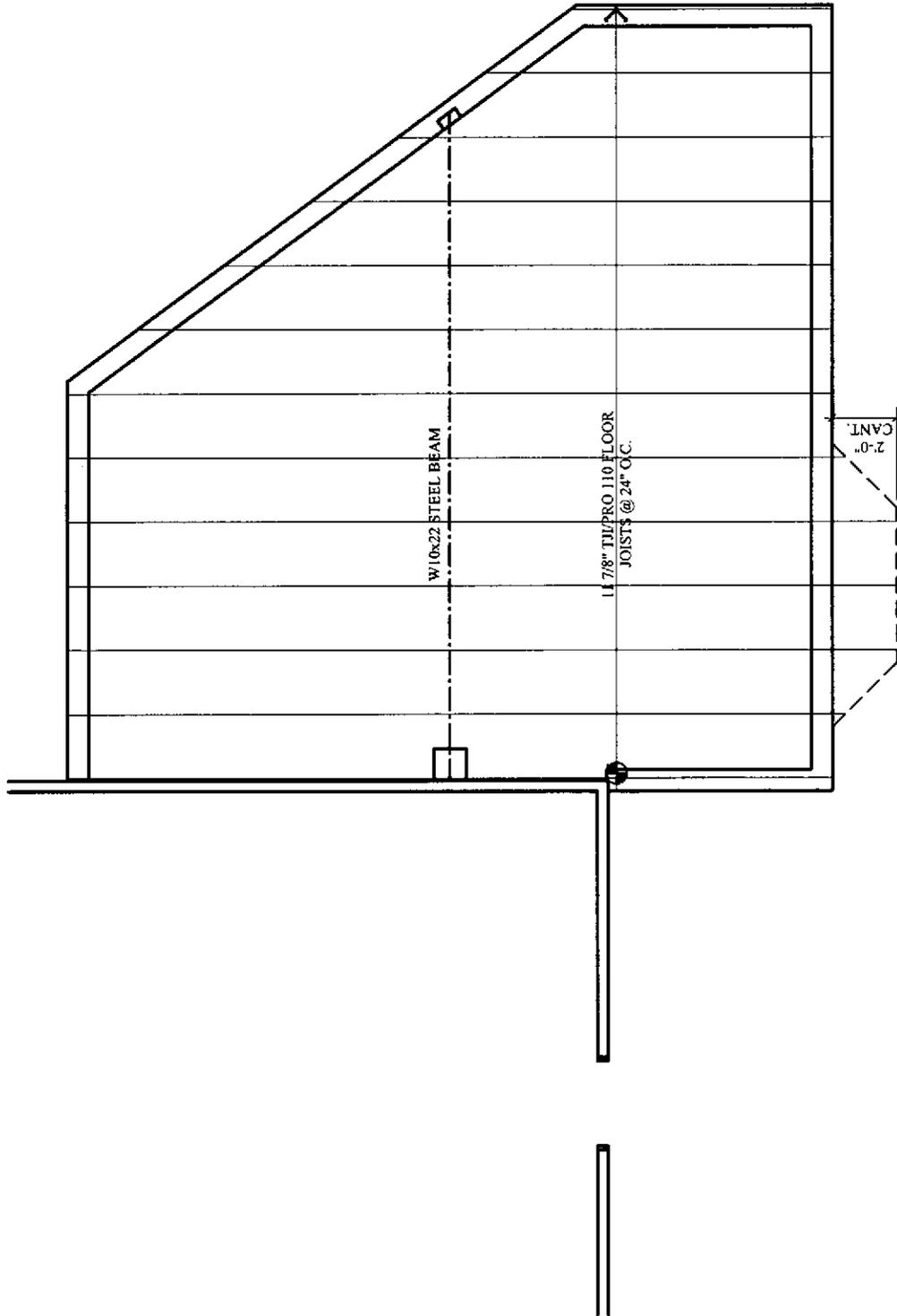
Pursuant to Sect. 8-015 of the Zoning Ordinance, this special permit shall automatically expire, without notice, 30 months after the date of approval unless construction has commenced and has been diligently prosecuted. The Board of Zoning Appeals may grant additional time to commence construction if a written request for additional time is filed with the Zoning Administrator prior to the date of expiration of the special permit. The request must specify the amount of additional time requested, the basis for the amount of time requested and an explanation of why additional time is required.



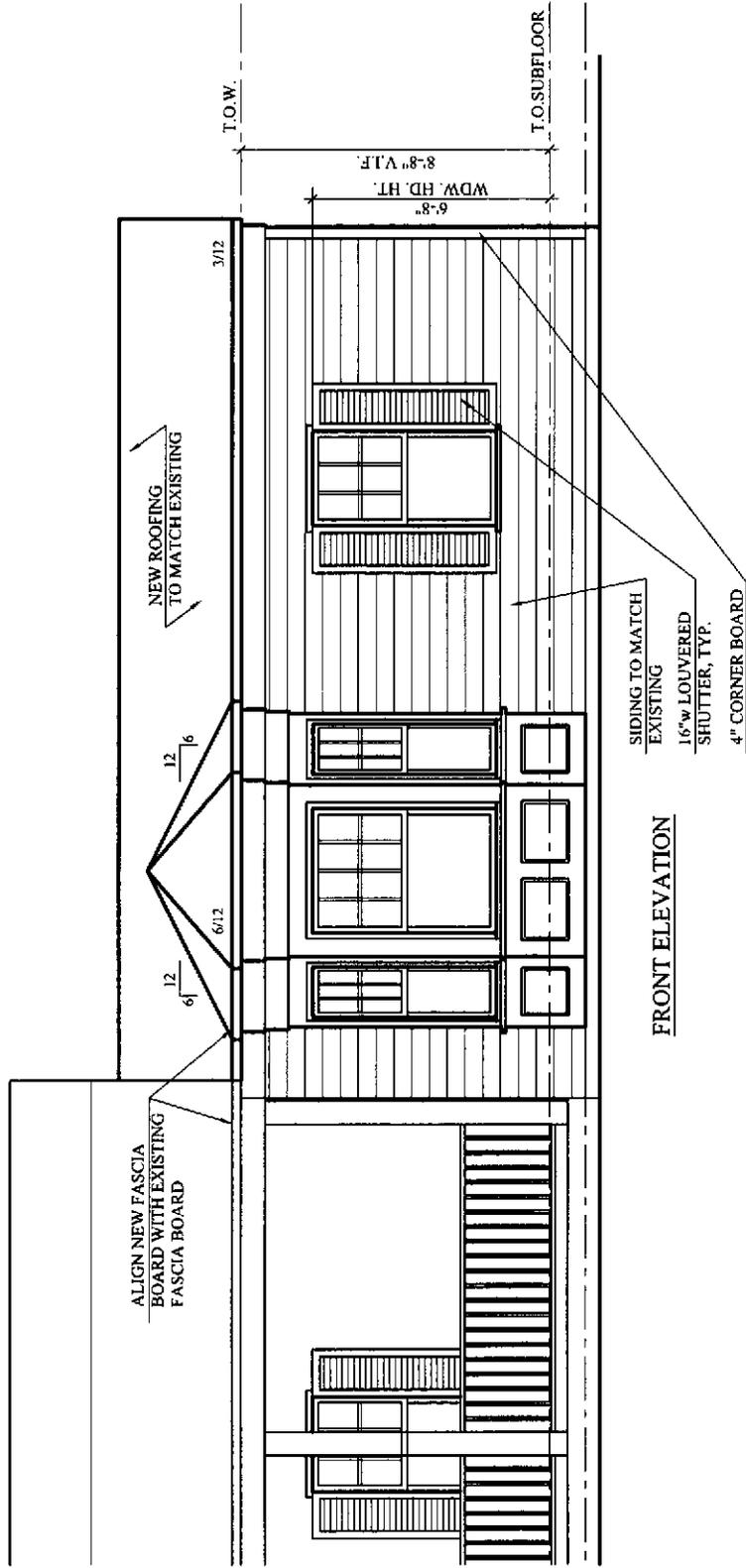
EXISTING HOUSE
TO REMAIN

IN LAW SUITE

MAIN LEVEL PLAN



FLOOR FRAMING PLAN



ALIGN NEW FASCIA BOARD WITH EXISTING FASCIA BOARD

NEW ROOFING TO MATCH EXISTING

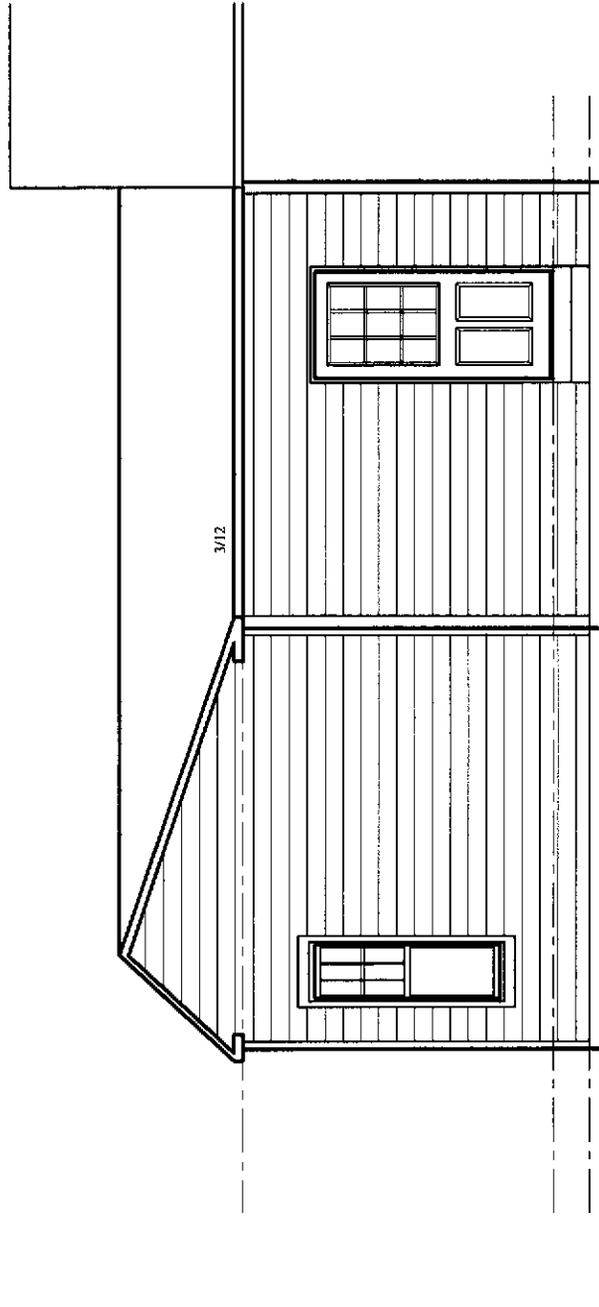
FRONT ELEVATION

SIDING TO MATCH EXISTING
 16" W LOUVERED SHUTTER, TYP.
 4" CORNER BOARD

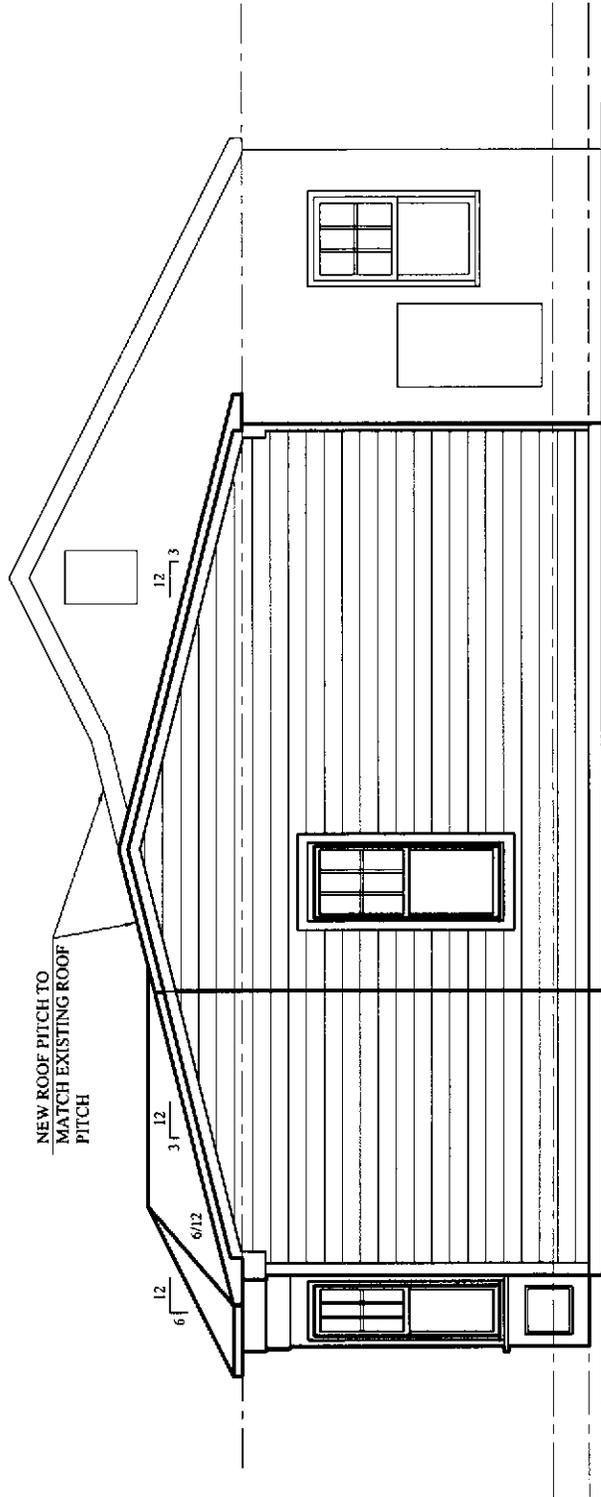
T.O.W.

T.O. SUBFLOOR

6'-8" WDW. HD. HT.
 8'-8" V.L.F.

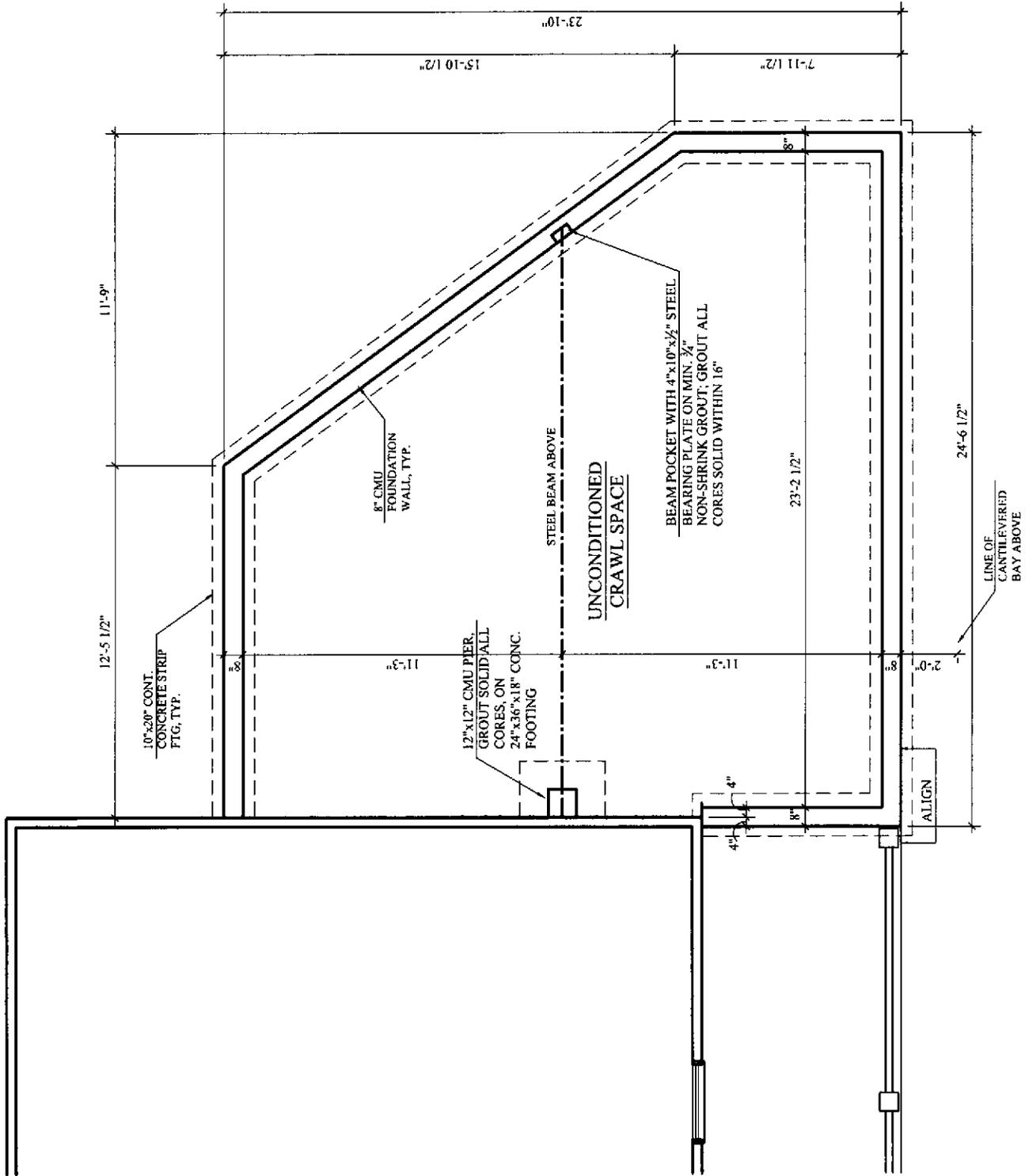


REAR ELEVATION

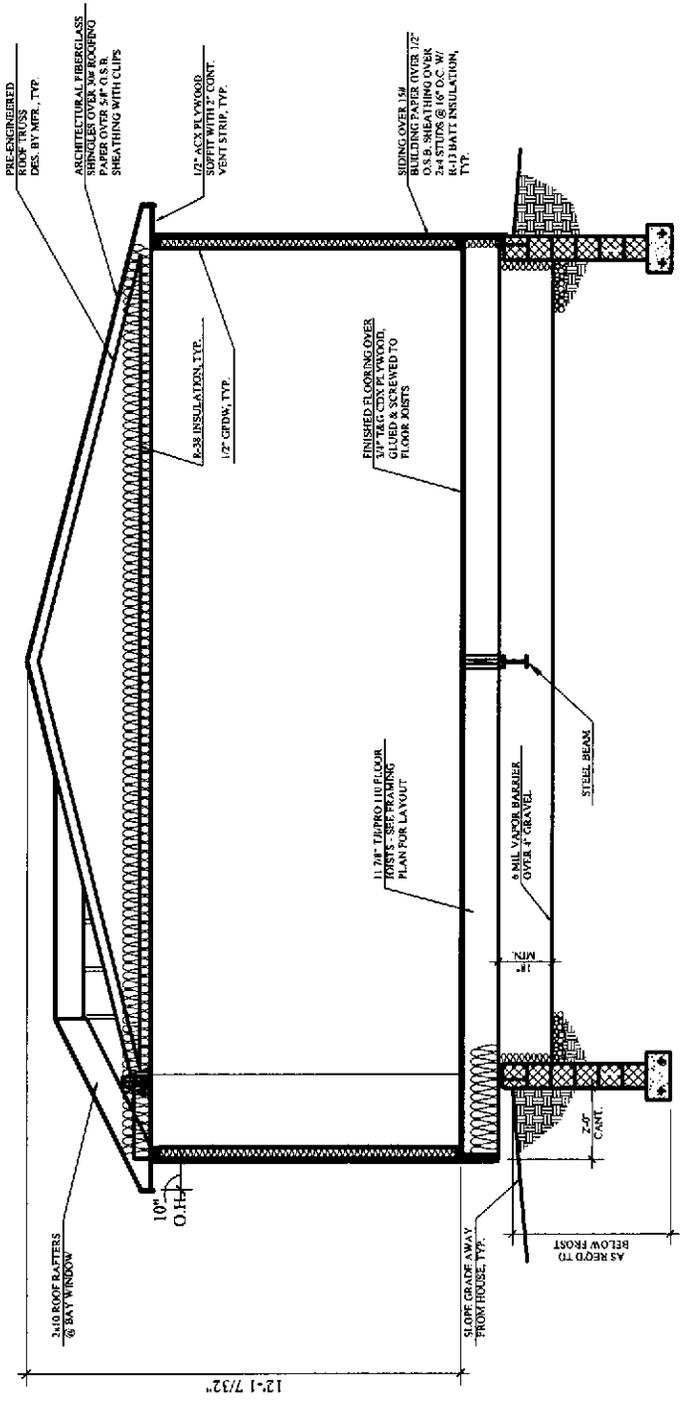


NEW ROOF PITCH TO
MATCH EXISTING ROOF
PITCH

RIGHT SIDE ELEVATION



FOUNDATION PLAN



BUILDING SECTION

PRELUMBERED
KING PILLARS
DES. BY MFR., TYP.

ARCHITECTURAL FIBERGLASS
SHINGLES OVER 1/2\"/>

1/2\"/>

SIDING OVER 1/8\"/>

R-38 INSULATION TYP.
1/2\"/>

FINISHED FLOORING OVER
3/4\"/>

1 1/2\"/>

5 MIL VAPOR BARRIER
OVER 1\"/>

STEEL BEAM

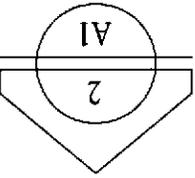
2x6 ROOF RAFTERS
@ BAY WINDOW

10\"/>

SLOPE GRADE AWAY
FROM HOUSE, TYP.

AS REQ'D TO
BELOW FROST

13'-1 7/32"



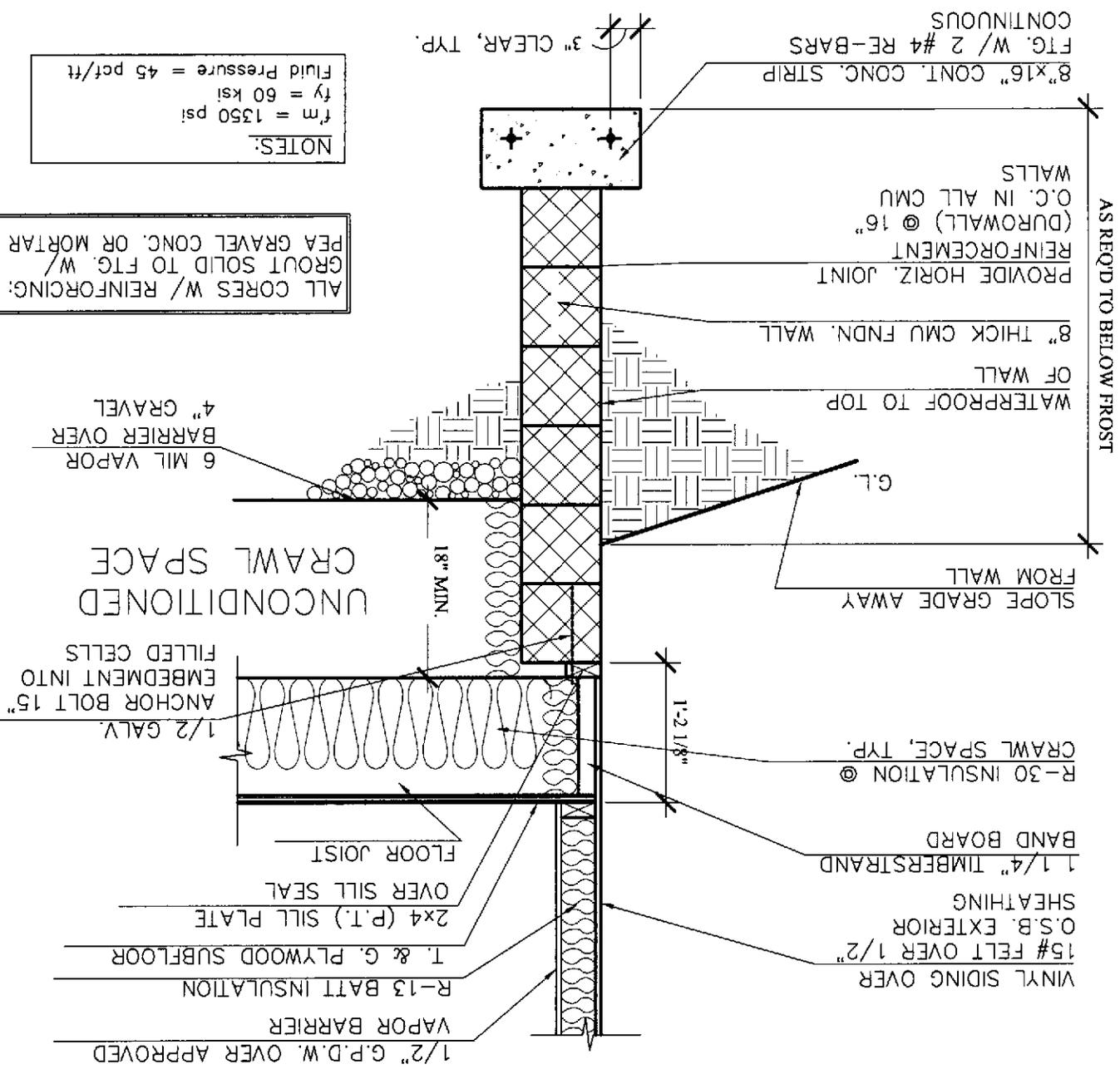
8" THICK CMU FOUNDATION WALL @ CRAWL SPACE

3/4" = 1'-0"

E-12-08

NOTES:
 $f'_m = 1350$ psi
 $f_y = 60$ ksi
 Fluid Pressure = 45 pcf/ft

ALL CORES W/ REINFORCING:
 GROUT SOLID TO FTG. W/
 PEA GRAVEL CONC. OR MORTAR



AS REQ'D TO BELOW FROST

SLOPE GRADE AWAY FROM WALL

8" THICK CMU FNDN. WALL
 WATERPROOF TO TOP OF WALL

PROVIDE HORIZ. JOINT REINFORCEMENT (DUROWALL) @ 16" O.C. IN ALL CMU WALLS

8"x16" CONT. CONC. STRIP FTG. W/ 2 #4 RE-BARS CONTINUOUS

3" CLEAR, TYP.

UNCONDITIONED CRAWL SPACE

6 MIL VAPOR BARRIER OVER 4" GRAVEL

1/2" GALV. ANCHOR BOLT 15" EMBEDMENT INTO FILLED CELLS

1/2" G.P.D.W. OVER APPROVED VAPOR BARRIER
 R-13 BATT INSULATION
 1 & G. PLYWOOD SUBFLOOR
 2x4 (P.T.) SILL PLATE
 OVER SILL SEAL
 FLOOR JOIST

VINYL SIDING OVER 15# FELT OVER 1/2" O.S.B. EXTERIOR SHEATHING
 1/4" TIMBERSTRAND
 BAND BOARD
 R-30 INSULATION @ CRAWL SPACE, TYP.
 1-2 1/8"

FROM WALL

G.L.

18" MIN.

1-2 1/8"

Statement of Justification (Amended 8/16/15): Andersen Special Permit Application**Applicant: Thomas J. Andersen, 2121 Hilltop Place, Falls Church, VA 22043**

I hereby request a Special Permit for the construction of an addition for my single family home located at 2121 Hilltop Place, Falls Church, VA 22043. This proposed addition will be for the personal use of me and my family, specifically as the living space of an aging parent. Because the portion of the proposed structure within the setback is quite small (approx. 69 sq. ft.), it will have no impact on traffic or parking.

A. Type of Operation(s): This will be strictly for residential use.

B. Hours of Operation: N.A.

C. Estimated number of patrons/clients/pupils/etc: N.A.

D. Proposed number of employees/attendants/teachers/etc: N.A.

E. Estimate of traffic impact: N.A.

F. Vicinity or general area to be served by the use: N.A. (only family members)

G. Description of building facade and architecture of proposed new building or additions

The existing structure is a single family one-story dwelling (Zone R-4) built in 1950 with a living area of 1,381 square feet, situated on a corner lot that is 12,597 square feet. I have owned and resided on the property with my family for almost 20 years. The adjacent dwellings that directly surround the property are comparatively much larger, ranging from 2,431 to 3,990 square feet, and averaging 3,205 sq. ft.

The proposed project is a 497 square foot addition to be attached to the right side of the existing structure, consisting of a one-level living/bedroom area and full bath. The occupant will be a parent in her 80s, and therefore the proposed space has been designed to accommodate an aging person (e.g., three-foot wide doors). Several architectural drawings (elevations, floor plans, etc.) of the proposed addition have been submitted along with this application. All the materials (roofing, siding, windows and doors) will be matched to the existing structure.

A special permit request of approx. 69 square feet (approx. 14% of the area of the proposed addition) is sought to extend the front wall of the proposed addition in a triangular fashion such that the point of the triangle will extend 8.1 feet into the existing 30-foot front yard setback; the roof eave will extend 8.7 feet into the setback. This extension would allow for the construction of an addition that is architecturally and structurally sound. No existing trees or mature vegetation will be removed or damaged during construction, leaving the area partially screened by existing mature vegetation located uphill from the proposed addition.

The special permit proposal will not impact the side yard setback, and the bulk of the area at issue extends just a few feet into the front yard setback, given that the point of the triangular

area is the area closest to the street. The property starts to slope upward several feet toward the street just beyond the special permit area, causing much of that area to be hidden below the street level (as well as obscured by vegetation, as can be seen from the photos).

In addition, the 13.2 foot roof height of the proposed addition is well below the 16 foot roof height of the existing structure, and the roof area that is actually within the setback is the lowest portion of the roof. Also, as can be seen from the photos, the closest dwelling (2123 Hilltop Place) is well uphill from the proposed addition, so there would be no interference with that owner's enjoyment of his property (a person standing on the front porch of that dwelling looking horizontally towards the proposed addition would generally be looking over the top of the proposed roof). The owner and resident of that dwelling fully supports our special permit request, as do the several surrounding neighbors with whom we have discussed the proposed addition.

H. Listing of all hazardous or toxic substances:

As far as I am aware, there are no hazardous or toxic substances which will be created or brought into the property as a result of the planned addition. No such substances exist on the existing deck or in the yard. There are also no existing or proposed storage tanks or containers.

I. Statement on how the proposed use conforms to the provisions of all applicable ordinances, regulations, adopted standards, and any applicable conditions:

This application conforms with the provisions of all applicable ordinances, regulations, and adopted standards of Fairfax County. A reduction in the setback is required for any construction with a roof that extends into the required 30 feet front yard setback.

As per Fairfax County Zoning Ordinance 8-922, this proposed addition would exceed the required yard setback by less than 50 percent (in this case 27.0 per cent, or 29.0 per cent when considering the roof eave). This addition would have minimal impact on the front yard and would be subordinate in purpose, use and scale to the main structure. It would add 497 square feet to a structure that is already 1,561 GFA, a ratio of .32 (497/1,561). The resulting combined GFA of 2,058 would be 24 percent greater than the existing GFA (497/2,058).

The layout of the existing structure on a corner lot, most of which is subject to a 30' front setback, severely restricts the amount of alternative locations for the proposed addition. The project represents the minimum amount of reduction necessary to construct an addition that is both usable as livable space for an aging parent and architecturally and structurally sound. Below is a summary of the calculations:

EX. FLOOR AREA RATIO: EX. GFA (1,561) / LOT AREA (12,597) = 0.12

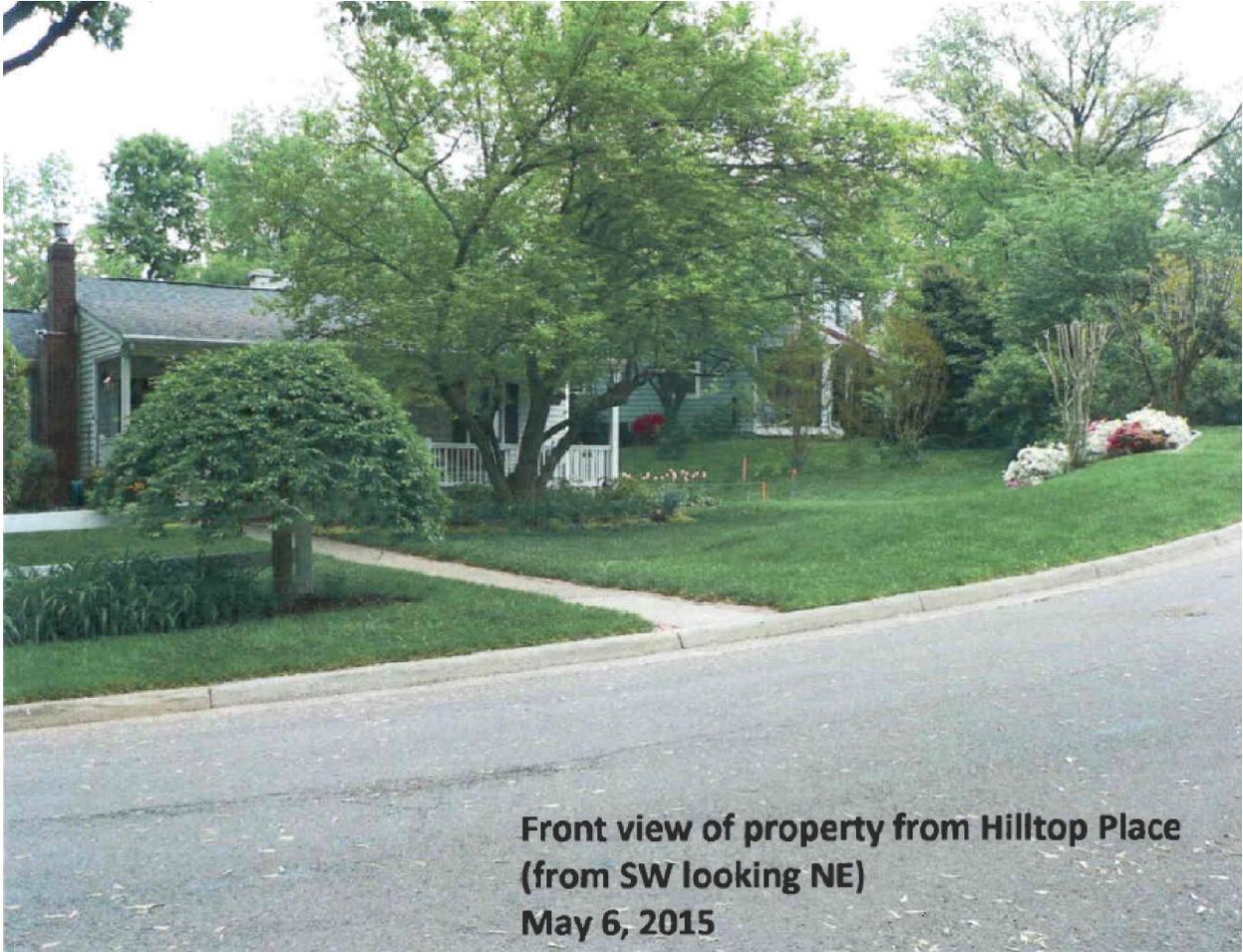
PROP. ADDITION = 497 SF / EX. GFA (1,561) = 0.32

PROP. GROSS FLOOR AREA: EX. GFA (1,561) + PROP. ADDN. (497) = 2,058 SF

PROP. FLOOR AREA RATIO: PROP. GFA (2,058) / LOT AREA (12,597) = 0.32

View of side yard (area of proposed
addition) from Hilltop Place.
(from South looking North)
May 4, 2015





**Front view of property from Hilltop Place
(from SW looking NE)
May 6, 2015**

Application No.(s): _____
(county-assigned application number(s), to be entered by County Staff)

SPECIAL PERMIT/VARIANCE AFFIDAVIT

DATE: May 4, 2015
(enter date affidavit is notarized)

129779

I, Thomas J. Andersen, do hereby state that I am an
(enter name of applicant or authorized agent)

(check one) applicant
 applicant's authorized agent listed in Par. 1(a) below

and that, to the best of my knowledge and belief, the following is true:

1(a). The following constitutes a listing of the names and addresses of all **APPLICANTS, TITLE OWNERS, CONTRACT PURCHASERS, and LESSEES** of the land described in the application,* and, if any of the foregoing is a **TRUSTEE,**** each **BENEFICIARY** of such trust, and all **ATTORNEYS** and **REAL ESTATE BROKERS**, and all **AGENTS** who have acted on behalf of any of the foregoing with respect to the application:

(NOTE: All relationships to the application listed above in **BOLD** print must be disclosed. Multiple relationships may be listed together, e.g., **Attorney/Agent, Contract Purchaser/Lessee, Applicant/Title Owner**, etc. For a multiparcel application, list the Tax Map Number(s) of the parcel(s) for each owner(s) in the Relationship column.)

NAME (enter first name, middle initial, and last name)	ADDRESS (enter number, street, city, state, and zip code)	RELATIONSHIP(S) (enter applicable relationships listed in BOLD above)
Thomas J. Andersen	2121 Hilltop Place, Falls Church, VA 22043	Applicant/Title Owner

(check if applicable) There are more relationships to be listed and Par. 1(a) is continued on a "Special Permit/Variance Attachment to Par. 1(a)" form.

* In the case of a condominium, the title owner, contract purchaser, or lessee of 10% or more of the units in the condominium.
** List as follows: Name of trustee, Trustee for (name of trust, if applicable), for the benefit of: (state name of each beneficiary).

Application No.(s): _____
(county-assigned application number(s), to be entered by County Staff)

SPECIAL PERMIT/VARIANCE AFFIDAVIT

DATE: May 4, 2015
(enter date affidavit is notarized)

129779

1(b). The following constitutes a listing*** of the **SHAREHOLDERS** of all corporations disclosed in this affidavit who own 10% or more of any class of stock issued by said corporation, and where such corporation has 10 or less shareholders, a listing of all of the shareholders:

(NOTE: Include **SOLE PROPRIETORSHIPS, LIMITED LIABILITY COMPANIES, and REAL ESTATE INVESTMENT TRUSTS** herein.)

CORPORATION INFORMATION

NAME & ADDRESS OF CORPORATION: (enter complete name, number, street, city, state, and zip code)

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below

NAMES OF SHAREHOLDERS: (enter first name, middle initial, and last name)

(check if applicable) There is more corporation information and Par. 1(b) is continued on a "Special Permit/Variance Attachment 1(b)" form.

*** All listings which include partnerships, corporations, or trusts, to include the names of beneficiaries, must be broken down successively until (a) only individual persons are listed or (b) the listing for a corporation having more than 10 shareholders has no shareholder owning 10% or more of any class of stock. *In the case of an APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE* of the land that is a partnership, corporation, or trust, such successive breakdown must include a listing and further breakdown of all of its partners, of its shareholders as required above, and of beneficiaries of any trusts. Such successive breakdown must also include breakdowns of any partnership, corporation, or trust owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER or LESSEE* of the land. Limited liability companies and real estate investment trusts and their equivalents are treated as corporations, with members being deemed the equivalent of shareholders; managing members shall also be listed.* Use footnote numbers to designate partnerships or corporations, which have further listings on an attachment page, and reference the same footnote numbers on the attachment page.

Application No.(s): _____
(county-assigned application number(s), to be entered by County Staff)

Page Three

SPECIAL PERMIT/VARIANCE AFFIDAVIT

DATE: May 4, 2015
(enter date affidavit is notarized)

129779

1(c). The following constitutes a listing*** of all of the **PARTNERS**, both **GENERAL** and **LIMITED**, in any partnership disclosed in this affidavit:

PARTNERSHIP INFORMATION

PARTNERSHIP NAME & ADDRESS: (enter complete name, number, street, city, state, and zip code)

(check if applicable) The above-listed partnership has no limited partners.

NAMES AND TITLE OF THE PARTNERS (enter first name, middle initial, last name, and title, e.g. **General Partner, Limited Partner, or General and Limited Partner**)

(check if applicable) There is more partnership information and Par. 1(c) is continued on a "Special Permit/Variance Attachment to Par. 1(c)" form.

*** All listings which include partnerships, corporations, or trusts, to include the names of beneficiaries, must be broken down successively until: (a) only individual persons are listed or (b) the listing for a corporation having more than 10 shareholders has no shareholder owning 10% or more of any class of stock. *In the case of an **APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE*** of the land that is a partnership, corporation, or trust, such successive breakdown must include a listing and further breakdown of all of its partners, of its shareholders as required above, and of beneficiaries of any trusts. Such successive breakdown must also include breakdowns of any partnership, corporation, or trust owning 10% or more of the **APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE*** of the land. Limited liability companies and real estate investment trusts and their equivalents are treated as corporations, with members being deemed the equivalent of shareholders; managing members shall also be listed.* Use footnote numbers to designate partnerships or corporations, which have further listings on an attachment page, and reference the same footnote numbers on the attachment page.

Application No.(s): _____
(county-assigned application number(s), to be entered by County Staff)

SPECIAL PERMIT/VARIANCE AFFIDAVIT

DATE: May 4, 2015
(enter date affidavit is notarized)

129779

1(d). One of the following boxes **must** be checked:

In addition to the names listed in Paragraphs 1(a), 1(b), and 1(c) above, the following is a listing of any and all other individuals who own in the aggregate (directly and as a shareholder, partner, and beneficiary of a trust) 10% or more of the **APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE*** of the land:

Other than the names listed in Paragraphs 1(a), 1(b), and 1(c) above, no individual owns in the aggregate (directly and as a shareholder, partner, and beneficiary of a trust) 10% or more of the **APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE*** of the land.

2. That no member of the Fairfax County Board of Zoning Appeals, Planning Commission, or any member of his or her immediate household owns or has any financial interest in the subject land either individually, by ownership of stock in a corporation owning such land, or through an interest in a partnership owning such land.

EXCEPT AS FOLLOWS: (NOTE: If answer is none, enter "NONE" on the line below.)

NONE

(check if applicable) There are more interests to be listed and Par. 2 is continued on a "Special Permit/Variance Attachment to Par. 2" form.

Application No.(s): _____
(county-assigned application number(s), to be entered by County Staff)

SPECIAL PERMIT/VARIANCE AFFIDAVIT

DATE: May 4, 2015
(enter date affidavit is notarized)

129779

3. That within the twelve-month period prior to the public hearing of this application, no member of the Fairfax County Board of Zoning Appeals, Planning Commission, or any member of his or her immediate household, either directly or by way of partnership in which any of them is a partner, employee, agent, or attorney, or through a partner of any of them, or through a corporation in which any of them is an officer, director, employee, agent, or attorney or holds 10% or more of the outstanding bonds or shares of stock of a particular class, has, or has had any business or financial relationship, other than any ordinary depositor or customer relationship with or by a retail establishment, public utility, or bank, including any gift or donation having a value of more than \$100, singularly or in the aggregate, with any of those listed in Par. 1 above.

EXCEPT AS FOLLOWS: (NOTE: If answer is none, enter "NONE" on line below.)

NONE

(NOTE: Business or financial relationships of the type described in this paragraph that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings. See Par. 4 below.)

(check if applicable) [] There are more disclosures to be listed and Par. 3 is continued on a "Special Permit/Variance Attachment to Par. 3" form.

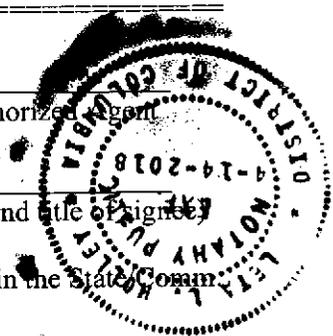
4. That the information contained in this affidavit is complete, that all partnerships, corporations, and trusts owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE* of the land have been listed and broken down, and that prior to each and every public hearing on this matter, I will reexamine this affidavit and provide any changed or supplemental information, including business or financial relationships of the type described in Paragraph 3 above, that arise on or after the date of this application.

WITNESS the following signature:

(check one)

Thomas Andersen
[] Applicant's Authorized Agent

Thomas J. Andersen
(type or print first name, middle initial, last name, and title of signee)



Subscribed and sworn to before me this 4th day of May, 2015, in the State/County of District of Columbia.

Leta L. Holley
Notary Public

My commission expires: April 14, 2018
NOTARY PUBLIC DISTRICT OF COLUMBIA
LETA L. HOLLEY



BUILDING PERMIT APPLICATION

FAIRFAX COUNTY OFFICE OF BUILDING CODE SERVICES
PERMIT APPLICATION CENTER
12055 Government Center Parkway, 2nd Floor Telephone: 703-222-4801
Fairfax, Virginia 22035-5504 Web site: www.fairfaxcounty.gov/dpwcs

PERMIT #

0511230700

FOR INSPECTIONS CALL 703-222-0455 (see back for more information)

FILL IN ALL APPROPRIATE INFORMATION IN THIS COLUMN
(PLEASE PRINT OR TYPE)

JOB LOCATION

ADDRESS 2121 HILLTOP PLACE
LOT # 1 BUILDING 1
FLOOR 1 SUITE _____
SUBDIVISION CHURCHILL BKG 622
TENANT'S NAME THOMAS ANDERSEN

OWNER INFORMATION

OWNER TENANT
NAME THOMAS ANDERSEN
ADDRESS 2121 HILLTOP PLACE
CITY FALLS CHURCH STATE VA ZIP 22043
TELEPHONE (703) 534-6810

CONTRACTOR INFORMATION

SAME AS OWNER
CONTRACTORS MUST PROVIDE THE FOLLOWING:
COMPANY NAME _____
ADDRESS _____
CITY _____ STATE _____ ZIP _____
TELEPHONE _____
STATE CONTRACTORS LICENSE # _____
COUNTY BPOL # _____

APPLICANT

THOMAS ANDERSEN

DESCRIPTION OF WORK

ADD BAY WINDOW, ^{second story} PORCH ADD
EXTEND EXISTING ROOF ^{covered}
OVER PORCH

HOUSE TYPE

RANCH 34x46
ESTIMATED COST OF CONSTRUCTION \$ 25,000
BLDG AREA (SQ FT OF FOOTPRINT) 1385
USE GROUP OF BUILDING _____
TYPE OF CONSTRUCTION WOOD FRAME
SEWER SERVICE PUBLIC SEPTIC OTHER
WATER SERVICE PUBLIC WELL OTHER
OTHER PLEASE SPECIFY _____

DESIGNATED MECHANICS' LIEN AGENT

(Residential Construction Only)
NAME _____
ADDRESS _____
NONE DESIGNATED PHONE _____

CHARACTERISTICS FOR NEW SFD, TH, APT & CONDOS

# KITCHENS	EXTER. WALLS	_____
# BATHS	INTER. WALLS	_____
# HALF BATHS	ROOF MATERIAL	_____
# BEDROOMS	FLOOR MATERIAL	_____
# OF ROOMS	FIN. BASEMENT	_____ %
# STORIES	HEATING FUEL	_____
BUILDING HEIGHT <u>10'</u>	HEATING SYSTEM	_____
BUILDING AREA	# FIREPLACES	_____
BASEMENT		_____

Any and all information and/or stamps on the reverse side of this form are a part of this application and must be complied with. I hereby certify that I have authority of the owner to make this application, that the information is complete and correct, and that the construction and/or use will conform to the building code, the zoning ordinance and other applicable laws and regulations which relate to the property--

Thomas Andersen 4-22-05
Signature of Owner or Agent Date
THOMAS J. ANDERSEN
Printed Name and Title

(Notarization of signature is required if owner is listed as the contractor and is not present at time of application)

ROOFING	_____
LICENSING	_____
CONCRETE	_____
SHRIMP/CRAB	_____
TREASURY	_____
INSULATION	_____
FIRE MARSHAL	_____
ASBESTOS	_____
PROFFERS	_____

FEE	_____
TILING FEE	_____
AMOUNT DUE	_____

BUILDING PLAN REVIEW	_____
REVIEWER	_____
REVISION FEES \$	_____
FIRE MARSHAL FEES \$	_____
FIXTURE UNITS	_____
PLAN LOG	<input type="checkbox"/> R <input type="checkbox"/>

APPROVED FOR ISSUANCE OF BUILDING PERMIT	_____
BY	<u>[Signature]</u>
DATE	<u>4/22/05</u>

ZONING REVIEW

USE SO
ZONING DISTRICT R-4 HISTORICAL DISTRICT _____
ZONING CASE # _____

GROSS FLOOR AREA OF TENANT SPACE

YARDS: 0.25 GARAGE 1 2 3
FRONT 36 OPTIONS YES NO
FRONT _____ REMARKS old covered
L SIDE _____ porch + bay window
R SIDE _____
REAR _____

GRADING AND DRAINAGE REVIEW

SOILS # 55 A B C
AREA TO BE DISTURBED (TOTAL SQ FT THIS PERMIT) 484
IMPERVIOUS AREA (TOTAL SQ FT THIS PERMIT) 204
PLAN # _____ APPR. DATE _____

STAMPS

FFESM 7500
PERMIT
(See reverse side of application)

REMARKS

NOTARIZATION (if required)

State (or territory or district) of _____
County (or city) of _____, to wit: I, _____

Notary Public in the State and County aforesaid, do certify that

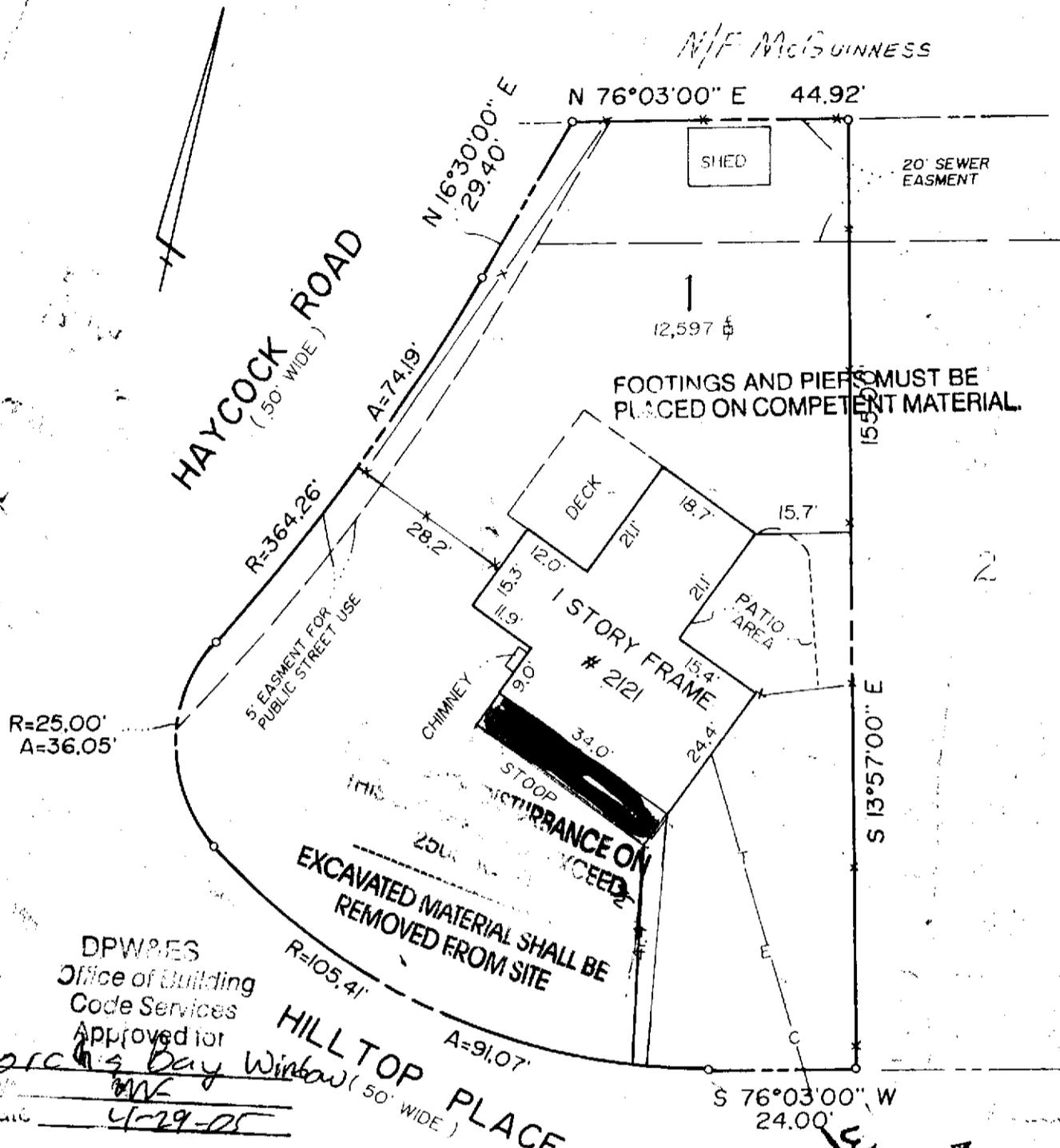
whose name is signed to this application, appeared before me in the State and County aforesaid and executed this affidavit.

Given under my hand this _____ day of _____, 20____ My
commission expires the _____ day of _____, 20____

(Notary Signature)

HOUSE LOCATION SURVEY

NOTE: I HEREBY CERTIFY THAT THE POSITION OF THE EXISTING IMPROVEMENTS ON THE BELOW DESCRIBED PROPERTY HAS BEEN CAREFULLY ESTABLISHED BY A TRANSIT TAPE SURVEY AND UNLESS OTHERWISE SHOWN, THERE ARE NO ENCROACHMENTS.



DPW&ES
Office of Building
Code Services
Approved for

Porch & Bay Window
By *WNC*
Date *4-29-95*

LOT 1
BLOCK G
SECTION TWO
**CHURCHILL
SUBDIVISION**
DRANESVILLE DISTRICT
FAIRFAX COUNTY, VIRGINIA

NOTE:
NO Construction
shall encroach into
County Easements
(Ground or Air Space)

NOTE: ACCORDING TO HUD-FIA MAP FOR FAIRFAX COUNTY, COMMUNITY NO. 515525C, ON SHEET 14, THIS PROP. IS SHOWN TO BE IN ZONE C, AN AREA OF MINIMAL FLOOD HAZARD.



DATE: NOVEMBER 13, 1995

SCALE: 1" = 25'

TITLE REPORT NOT FURNISHED.
o DENOTES IRON PIPE
FENCES, IF SHOWN, ARE APPROXIMATE ONLY AND DO NOT CERTIFY AS TO OWNERSHIP.

WILLIAM E. RAMSEY, P.C.
LAND SURVEYOR
FAIRFAX, VIRGINIA

FOR: ANDERSEN

BUILDING PERMIT APPLICATION

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 FAIRFAX COUNTY, VIRGINIA
 PERMIT APPLICATION CENTER
 12055 Government Center Parkway, 2nd Floor
 Fairfax, Virginia 22035-5504
 (703) 222-0801

PERMIT # 93137B0160

FOR INSPECTIONS CALL: (703) 222-0455

FILL IN ALL APPROPRIATE INFORMATION IN THIS COLUMN
 (PLEASE PRINT OR TYPE)

JOB LOCATION:
 ADDRESS 2121 Hilltop Pl
 LOT # 1 BUILDING 1
 FLOOR _____ SUITE _____
 SUBDIVISION CHURCHILL SEC 2
 TENANT'S NAME Kan Adler

OWNER INFORMATION: OWNER TENANT
 NAME Kan Adler
 ADDRESS 2121 Hilltop Place
 CITY Falls Church STATE VA ZIP 22043
 TELEPHONE 533 3672

CONTRACTOR INFORMATION:
 CHECK IF SAME AS OWNER
 COMPANY NAME Noll's Home Improvements
 ADDRESS 7418 Lisle Ave
 CITY Falls Church STATE VA ZIP 22045
 TELEPHONE 703 442 0998
 LOCAL CONTRACTOR LICENSE # 05277
 STATE CONTRACTORS LICENSE # B017053
 COUNTY BUSINESS ACCOUNT # 20-5045
 APPLICANT _____

DESCRIPTION OF WORK
Deck

HOUSE TYPE Single Family
 ESTIMATED COST OF CONSTRUCTION 3000.00
 BLDG AREA (SQ FT OF FOOTPRINT) 320.00
 USE GROUP OF BUILDING D-4
 TYPE OF CONSTRUCTION SB50

SEWER SERVICE: PUBLIC SEPTIC OTHER
 WATER SERVICE: PUBLIC WELL OTHER
 OTHER PLEASE SPECIFY _____

DESIGNATED MECHANICS' LIEN AGENT:
 (Residential Construction Only)
 NAME: _____
 ADDRESS: _____
 NONE DESIGNATED: PHONE: _____

CHARACTERISTICS FOR NEW SFD, TH, APT & CONDOS:

# KITCHENS _____	EXTER. WALLS _____
# BATHS _____	INTER. WALLS _____
# HALF BATHS _____	ROOF MATERIAL _____
# BEDROOMS _____	FLOOR MATERIAL _____
# OF ROOMS _____	FIN. BASEMENT _____ %
# STORIES _____	HEATING FUEL _____
BUILDING HEIGHT <u>11' 1/2"</u>	HEATING SYSTEM _____
BUILDING AREA _____	# FIREPLACES _____
BASEMENT _____	

Any and all information and/or stamps on the reverse side of this form are a part of this application and must be complied with. I hereby certify that I have authority of the owner to make this application, that the information is complete and correct, and that the construction and/or use will conform to the building code, the zoning ordinance and other applicable laws and regulations which relate to the property.

Signature of Owner or Agent [Signature] Date 5-17-93
 Printed Name and Title Chris Noll

DO NOT WRITE IN THIS SPACE - COUNTY USE ONLY

PLAN # _____
 TAX MAP # 40-2(16)(G)1

ROUTING	DATE	APPROVED BY:
ZONING	<u>5-17-93</u>	<u>[Signature]</u>
SITE PERMITS	<u>5-17-93</u>	<u>TME</u>
SANITATION		
HEALTH DEPT.		
FIRE MARSHAL		
BUILDING REVIEW	<u>5/17/93</u>	<u>[Signature]</u>
LICENSING	<u>51793</u>	
ASBESTOS		

FEE \$ 56.00
 FILING FEE \$ _____
 AMOUNT DUE \$ _____

BUILDING PLAN REVIEW
 REVIEWER _____ # OF HOURS _____
 REVISION FEES \$ _____
 FIRE MARSHAL FEES \$ _____
 FIXTURE UNITS _____ PLAN LOC: J R

APPROVED FOR ISSUANCE OF BUILDING PERMIT
 BY [Signature] DATE 5-17-93

ZONING REVIEW: ZONING-CLASS R4
 USE SD-Deck
 ZONING CASE # _____

GROSS FLOOR AREA OF TENANT SPACE _____

YARDS:	GARAGE: 1 <input type="checkbox"/> 2 <input type="checkbox"/> 3 <input type="checkbox"/>
FRONT <u>24'</u>	OPTIONS: YES <input type="checkbox"/> NO <input type="checkbox"/>
FRONT <u>nc</u>	REMARKS: <u>Corner Lot</u>
L SIDE <u>nc</u>	
R SIDE <u>nc</u>	
REAR <u>0</u>	

GRADING AND DRAINAGE REVIEW
 SOILS: # DE A B C
 HISTORICAL DISTRICT _____
 AREA TO BE DISTURBED (TOTAL SQ FT) _____
 ADD'L IMPERVIOUS AREA (ADDED SQ FT) _____
 PROFFERS _____
 PLAN # _____ APPR. DATE _____

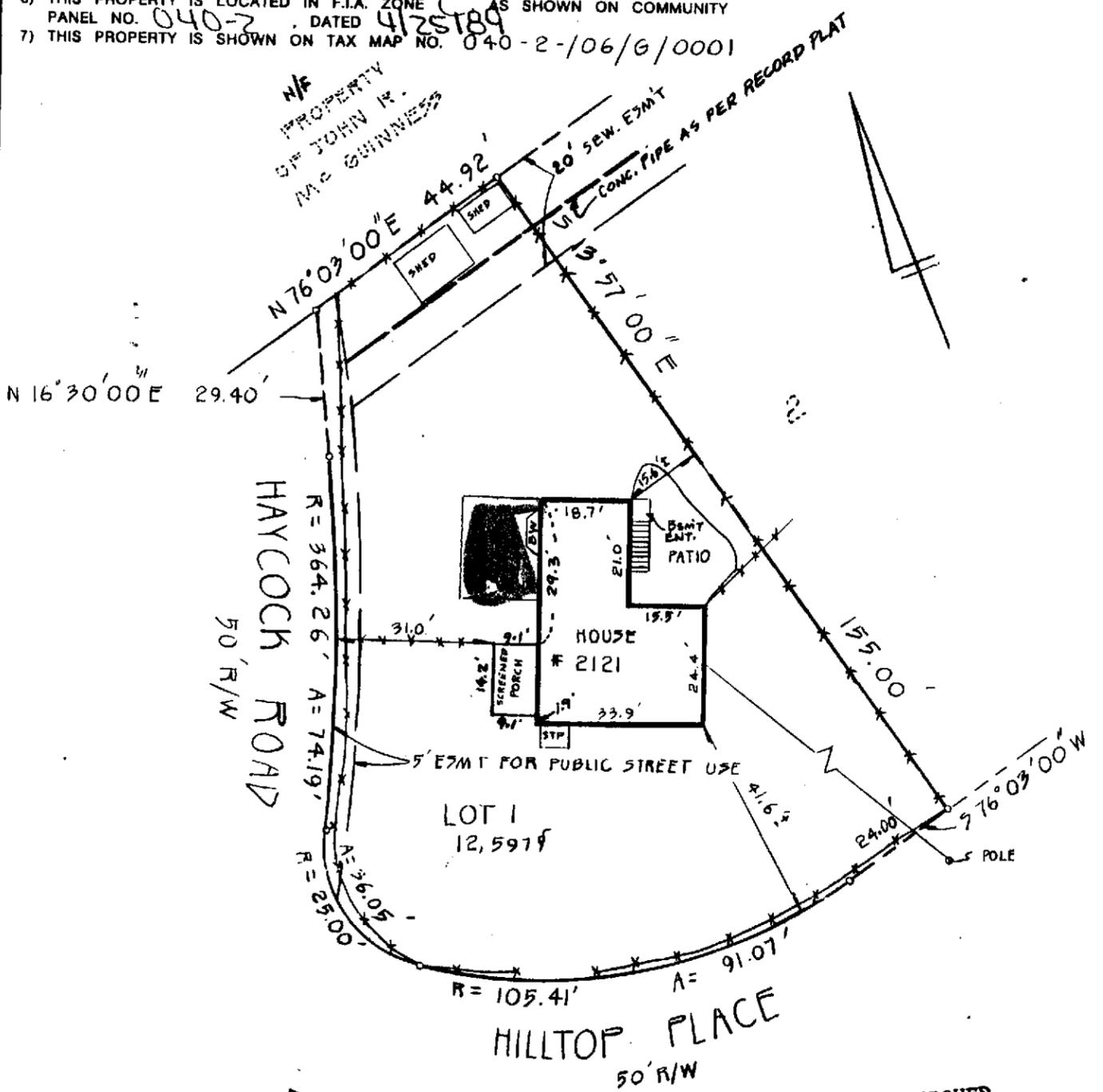
STAMPS:
 (See reverse side of application)

REMARKS: apn Deck 2121/16 - with stairs
plans attached
Churchill Sec 2 - Lot 1
SD-1920 BLDG

Notary Signature _____ Date _____
 (Notarization required if owner not present at time of application)

NOTES:

- 1) BOUNDARY BY OTHERS.
- 2) ALL ENCUMBERANCES OF RECORD MAY NOT BE SHOWN. SEE TITLE REPORT.
- 3) NOT FOR ANY CONSTRUCTION (INCLUDING FENCES).
- 4) LOCATION OF FENCES (IF SHOWN) ARE APPROXIMATE AND DO NOT CERTIFY OWNERSHIP.
- 5) THIS PLAT BASED ON INFORMATION DEPICTED ON RECORD PLAT.
- 6) THIS PROPERTY IS LOCATED IN F.I.A. ZONE AS SHOWN ON COMMUNITY PANEL NO. 040-2 DATED 4/25/89
- 7) THIS PROPERTY IS SHOWN ON TAX MAP NO. 040-2-106/6/0001



DEM
Division of
Inspection Services
Approved for
open desk
By JHE
Date 5-12-93

APPROVED
5/17/93
James W. Quinn
Zoning Administrator

LOT ONE
BLOCK 6 SECTION 2
CHURCHILL SUBDIVISION
2121 HILLTOP PLACE
PROVIDENCE DISTRICT
FAIRFAX COUNTY, VIRGINIA

DFTZJ

90021408
HOPP B9313R PHILLON/BARNELL

HOUSE LOCATION	
No Title Report Furnished	
DATE: 02/14/90	SCALE: 1" = 30'
DRAWN BY: D.L.	CHECKED BY: <i>MF</i>
RICE ASSOCIATES	
ANNANDALE, VIRGINIA	
PHONE 941-5030 FAX 941-8426	

BUILDING PERMIT APPLICATION

APPLICATION NO

19

Date

JOB LOCATION
 Street 2121 Hilltop Pl
 Building _____ Floor _____ Suite _____
 Subdivision _____
 Tenants Name Adler

DO NOT WRITE IN THIS SPACE
 Permit No. 91259150200
 Map Reference 010 2-06-0 001
 Building Permit No. _____ Control No. _____
 Std. _____ Mag. _____ Plan _____ Census _____

OWNER
 Name Ken Adler
 Address (Mailing) 2121 Hilltop Pl
 City Falls Church State VA Zip 22046
 Telephone 533-3672

CONTRACTOR
 Company Name Thomas G. Home, Inc.
 Master Home Improvements
 Address 7005 Hickory Hill Rd
 City Falls Church State VA Zip 22042
 Telephone 533-7766 License No. _____
 State Contractors License No. B017906
 County Business Account No. 17-3426

For _____ Description _____
 Model/Use _____
 Sewage: Public Community Septic Tank None
 WATER: Public Individual Well None
 N-New D-Demolish
 R-Alter or Repair M-Move
 A-Add To existing house O-Other

ROUTING

	Date	Approved By:
Health Review		
Site Review	<u>9-16-91</u>	<u>HA</u>
Zoning Review	<u>9-16-91</u>	<u>Don</u>
Sanitation Review		
Building Review	<u>9-17-91</u>	<u>MDS</u>
Fire Review		

REMARKS:
BUILDING DESCRIPTION
 # Units _____
 # Stories 1
 # Rooms _____
 # Bedrooms _____
 # To be Added dining area 1
 # Baths _____
 # Half Baths _____
 # Kitchens _____
 # Fireplaces _____
 Basement _____
 % Basements to Finish _____

Use Group of Building _____
 Type of Construction 5B
 Building Area _____
 Estimated Const. Cost 20,000
ZONING REVIEW
 Zoning Proffers Building R-4
 Zoning Class _____
 Zoning Case # _____
BUILDING CHARACTERISTICS
 Building Height 1 story
 Exterior Walls _____
 Interior Walls _____
 Roofing Material _____
 Flooring Material _____
 Heating Fuel _____
 Heating System _____
GRADING AND DRAINAGE REVIEW
 Soils # SS, Spack Peds
 Historical Soil Scientist Office
 Plan # _____
 Retaining Wall _____

BUILDING DIMENSIONS			
No. Stories	Width	Depth	Sq. Ft.
<u>1</u>	<u>124'</u>	<u>15'</u>	<u>=</u>
	<u>X</u>	<u>=</u>	<u>=</u>
	<u>X</u>	<u>=</u>	<u>=</u>
	<u>X</u>	<u>=</u>	<u>=</u>

YARDS
 LEFT Front 40' RIGHT Front N/C Left Side 25' Right Side N/C Rear N/A

REMARKS Dining room addition on side of dwelling - No wet bar - No second kitchen!

Churchill, Sec 2, Block G, Lot 1 (6-2d-50) Plans Attached!

FOR COUNTY USE ONLY:

Date 9/17/91 By [Signature]
 Approved for Issuance of Building Permit

Fee _____
 Filing Fee 56.00
 Amount Due _____

The request for and use of personal information on this form is subject to the provisions of the Privacy Protection Act of 1976 and the Freedom of Information Act.

I hereby certify that I have authority of the owner to make this application, that the information is complete and correct, and that if a permit is issued the construction and/or use will conform to the building code, the zoning ordinance and other applicable laws and regulations including private building restrictions, if any, which relate to the property. He/She and the company or organization named and represented herein is duly registered or exempt from registration in accord with the provisions of Chapter 7 of the Code of Virginia.

Signature of Owner or Agent _____ Date _____ Notary Signature _____ Date 9-16-91

8-006 General Standards

In addition to the specific standards set forth hereinafter with regard to particular special permit uses, all special permit uses shall satisfy the following general standards:

1. The proposed use at the specified location shall be in harmony with the adopted comprehensive plan.
2. The proposed use shall be in harmony with the general purpose and intent of the applicable zoning district regulations.
3. The proposed use shall be such that it will be harmonious with and will not adversely affect the use or development of neighboring properties in accordance with the applicable zoning district regulations and the adopted comprehensive plan. The location, size and height of buildings, structures, walls and fences, and the nature and extent of screening, buffering and landscaping shall be such that the use will not hinder or discourage the appropriate development and use of adjacent or nearby land and/or buildings or impair the value thereof.
4. The proposed use shall be such that pedestrian and vehicular traffic associated with such use will not be hazardous or conflict with the existing and anticipated traffic in the neighborhood.
5. In addition to the standards which may be set forth in this Article for a particular group or use, the BZA shall require landscaping and screening in accordance with the provisions of Article 13.
6. Open space shall be provided in an amount equivalent to that specified for the zoning district in which the proposed use is located.
7. Adequate utility, drainage, parking, loading and other necessary facilities to serve the proposed use shall be provided. Parking and loading requirements shall be in accordance with the provisions of Article 11.
8. Signs shall be regulated by the provisions of Article 12; however, the BZA, under the authority presented in Sect. 007 below, may impose more strict requirements for a given use than those set forth in this Ordinance.

8-903 Standards for All Group 9 Uses

In addition to the general standards set forth in Sect. 006 above, all Group 9 special permit uses shall satisfy the following standards:

1. All uses shall comply with the lot size and bulk regulations of the zoning district in which located, except as may be qualified below.
2. All uses shall comply with the performance standards specified for the zoning district in which located.
3. Before establishment, all uses, including modifications or alterations to existing uses, shall be subject to the provisions of Article 17, Site Plans, or other appropriate submission as determined by the Director.

8-922 Provisions for Reduction of Certain Yard Requirements

The BZA may approve a special permit to allow a reduction of certain yard requirements subject to all of the following:

1. Only the following yard requirements shall be subject to such special permit:
 - A. Minimum required yards, as specified in the residential, commercial, industrial and planned development districts in Articles 3, 4, 5 and 6, provided such yards are not subject to proffered conditions or development conditions related to yards and/or such yards are not depicted on an approved conceptual development plan, final development plan, development plan, special exception plat, special permit plat or variance plat.
 - B. Yard regulations for pipestem lots and lots contiguous to pipestem driveways set forth in Sect. 2-416.
 - C. Accessory structure location requirements set forth in Sect. 10-104.
 - D. Regulations on permitted extensions into a minimum required yard as set forth in Sect. 2-412.

Approval of a reduction of yard requirements specified in Paragraphs A, B and C above shall not result in any yard that is less than fifty (50) percent of the requirement and shall not result in any yard of less than five (5) feet, as measured from the lot line to the closest point of the proposed structure.

Approval of a reduction of yard requirements specified in Par. D above shall not result in an extension that exceeds the applicable distances set forth in Sect. 2-412 by more than fifty (50) percent. Where no extension is permitted by the provisions of Sect. 2-412, the BZA shall not approve a special permit that results in a structure that extends into a minimum required yard by more than fifty (50) percent.

2. Such reduction shall not result in the placement of a detached accessory structure in a front yard where the placement of such accessory structure is not otherwise permitted in that yard.

3. This special permit shall only apply to those lots that contain a principal structure and use that complied with the minimum yard requirements in effect when the use or structure was established.
4. The resulting gross floor area of an addition to an existing principal structure may be up to 150 percent of the total gross floor area of the principal structure that existed at the time of the first yard reduction request. In such instance, if a portion of the principal structure is to be removed, no more than fifty (50) percent of the gross floor area of the existing principal structure at the time of the first yard reduction shall be removed.
5. The resulting gross floor area of an existing accessory structure and any addition to it shall be clearly subordinate in purpose, scale, use and intent to the principal structure on the site.
6. The BZA shall determine that the proposed development will be in character with the existing on-site development in terms of the location, height, bulk and scale of the existing structure(s) on the lot.
7. The BZA shall determine that the proposed development is harmonious with the surrounding off-site uses and structures in terms of location, height, bulk and scale of surrounding structures, topography, existing vegetation and the preservation of significant trees as determined by the Director.
8. The BZA shall determine that the proposed development shall not adversely impact the use and/or enjoyment of any adjacent property with regard to issues such as noise, light, air, safety, erosion, and stormwater runoff.
9. The BZA shall determine that the proposed reduction represents the minimum amount of reduction necessary to accommodate the proposed structure on the lot. Specific factors to be considered include, but are not limited to, the layout of the existing structure; availability of alternate locations for the addition; orientation of the structure(s) on the lot; shape of the lot and the associated yard designations on the lot; environmental characteristics of the site, including presence of steep slopes, floodplains and/or Resource Protection Areas; preservation of existing vegetation and significant trees as determined by the Director; location of a well and/or septic

field; location of easements; and/or preservation of historic resources.

10. The BZA may impose such conditions as it deems necessary to satisfy these criteria, including, but not limited to imposition of a maximum gross floor area, floor area ratio, lot coverage, landscaping and/or screening requirements.
11. Notwithstanding Par. 2 of Sect. 011 above, all applications shall be accompanied by fifteen (15) copies of a plat and such plat shall be presented on a sheet having a maximum size of 24" x 36", and one 8 ½" x 11" reduction of the plat. Such plat shall be drawn to a designated scale of not less than one inch equals fifty feet (1" = 50'), unless a smaller scale is required to accommodate the development. Such plat shall be certified by a professional engineer, land surveyor, architect, or landscape architect licensed by the State of Virginia. Such plat shall contain the following information:
 - A. Boundaries of entire property, with bearings and distances of the perimeter property lines, and of each zoning district.
 - B. Total area of the property and of each zoning district in square feet or acres.
 - C. Scale and north arrow, with north, to the extent feasible, oriented to the top of the plat and on all supporting graphics.
 - D. The location, dimension and height of any building, structure or addition, whether existing or proposed. In addition, for decks, the height of the finished floor above finished ground level.
 - E. All required minimum yards to include front, side and rear, a graphic depiction of the angle of bulk plane, if applicable, and the distances from all existing and proposed structures to lot lines.
 - F. Means of ingress and egress to the property from a public street(s).
 - G. For nonresidential uses, the location of parking spaces, indicating minimum distance from the nearest property line(s).

- H. If applicable, the location of a well and/or septic field.
 - I. Existing and proposed gross floor area and floor area ratio.
 - J. Location of all existing utility easements having a width of twenty-five (25) feet or more, and all major underground utility easements regardless of width.
 - K. The location, type and height of any existing and proposed landscaping and screening.
 - L. Approximate delineation of any floodplain designated by the Federal Insurance Administration, United States Geological Survey, or Fairfax County, the delineation of any Resource Protection Area and Resource Management Area, and the approximate delineation of any environmental quality corridor as defined in the adopted comprehensive plan, and, if applicable, the distance of any existing and proposed structures from the floodplain, Resource Protection Area and Resource Management Area, or environmental quality corridor.
 - M. Seal and signature of professional person certifying the plat.
12. Architectural depictions of the proposed structure(s) as viewed from all lot lines and street lines to include building materials, roof type, window treatment and any associated landscaping and/or screening shall be provided.