

COUNTY OF FAIRFAX, VIRGINIA

SPECIAL PERMIT RESOLUTION OF THE BOARD OF ZONING APPEALS

ASHEBIR GEBRE AND BIRTUKAN WELDEAB, VC 2015-MA-005 Appl. under Sect(s). 18-401, 3-206, and 3-207 of the Zoning Ordinance to permit a construction of a 2-story dwelling 5.8 ft. from one side lot line and 9.0 ft. from the other side lot line. Located at 6416 Columbia Pike, Annandale, 22003, on approx. 7,715 sq. ft. of land zoned R-2, HC. Mason District. Tax Map 61-3 ((12)) 21. Mr. Hammack moved that the Board of Zoning Appeals adopt the following resolution:

WHEREAS, the captioned application has been properly filed in accordance with the requirements of all applicable State and County Codes and with the by-laws of the Fairfax County Board of Zoning Appeals; and

WHEREAS, following proper notice to the public, a public hearing was held by the Board on November 18, 2015; and

WHEREAS, the Board has made the following findings of fact:

1. The applicants for this variance are Ashebir Gebre and Birtukan Weldeab.
2. This application meets all of the following required standards for variances as set forth in Sections 15.2-2201 and 15.2-2309 of the Code of Virginia:
 - a. The subject property requires a reasonable deviation from those provisions of the Zoning Ordinance, regulating the shape, size, or area of a lot or parcel of land, or the size, height, area, bulk, or location of a building or structure as the strict application of the Ordinance would unreasonably restrict the utilization of the property, such need for a variance would not be shared generally by other properties, such variance is not contrary to the purpose of the Ordinance, and this variance does not include a change in use. These lots were platted before any ordinance was adopted in Fairfax County, in approximately 1929. As typical, most of that area has 50-foot wide lots, which is substandard to today.
 - b. The strict application of the Zoning Ordinance would unreasonably restrict the utilization of the property, and the variance would alleviate a hardship due to a physical condition relating to the property or improvements thereon at the time of the effective date of the Zoning Ordinance. There are some topographical conditions associated with this lot. They go up from Columbia Pike a little bit and have also had condemnation by VDOT that has further reduced the property size.
 - c. The property interest for which the variance is being requested was acquired in good faith and any hardship was not created by the applicant.

- d. The variance will not be of substantial detriment to adjacent property and nearby properties in the proximity of that geographical area.
 - e. The condition or situation of the property that created the need for this variance is not of so general or recurring a nature as to make reasonably practicable the formulation of a general regulation to be adopted as an amendment to the Zoning Ordinance.
 - f. The granting of this variance does not result in a use that is not otherwise permitted on the subject property or a change in the zoning classification of the property.
 - g. The relief or the remedy sought by this variance application is not available through a special permit process that is authorized in the Zoning Ordinance.
3. It meets the other criteria set forth in subsection 1 through 5 of the Code.
 4. The applicant has read, understands, and concurs with the development conditions, including amendment at this hearing.

AND WHEREAS, the Board of Zoning Appeals has reached the following conclusions of law:

THAT the applicant has presented testimony indicating compliance with the general standards for Special Permit Uses as set forth in Sect. 8-006 and the additional standards for this use as contained in the Zoning Ordinance.

NOW, THEREFORE, BE IT RESOLVED that the subject application is **APPROVED** with the following limitations:

1. This variance is approved for the single family dwelling as shown on the variance plat titled, "Variance Plat, Lot 21, River View Heights, Liber P-10, Page 34," prepared by Lawrence H. Spilman III, dated June 18, 2015, as revised through October 27, 2015, as submitted with this application and is not transferable to other land.
2. All applicable building permits and final inspections shall be obtained for the single-family detached dwelling.
3. The architectural style and materials of the dwelling shall be compatible with the architectural elevations depicted in Attachment 1 to these Development Conditions.
4. Prior to the approval of a lot grading plan, the applicant shall obtain approval from the Virginia Department of Transportation (VDOT) for the location of the

driveway curb cut on Columbia Pike. The driveway may be shifted if determined necessary by VDOT. Notwithstanding what is shown on the variance plat, the applicant will include a turnaround on the driveway so vehicles can pull forwards on Columbia Pike.

- 5. Prior to the approval of a lot grading plan, the Urban Forestry Management Division shall determine that the plan meets the tree preservation target and ten year tree canopy requirements.
- 6. Prior to establishment of the use, the maple tree located at the southwest corner of the property shall be removed. Should the tree prove to be co-owned with the adjoining property to the west, written approval from the adjacent property owner shall be obtained prior to removal of the tree.

This approval, contingent upon the above-noted conditions, shall not relieve the applicant from compliance with the provisions of any applicable ordinances, regulations or adopted standards including requirements for building permits.

Pursuant to Sect. 18-407 of the Zoning Ordinance, this variance shall automatically expire, without notice, thirty (30) months after the date of approval unless construction has commenced and has been diligently prosecuted. The Board of Zoning Appeals may grant additional time to commence construction if a written request for additional time is filed with the Zoning Administrator prior to the date of expiration of the variance. The request must specify the amount of additional time requested, the basis for the amount of time requested and an explanation of why additional time is required.

Mr. Smith seconded the motion, which carried by a vote of 6-0. Mr. Beard was absent from the meeting.

A Copy Teste:

Suzanne Frazier
 Suzanne Frazier, Deputy Clerk
 Board of Zoning Appeals

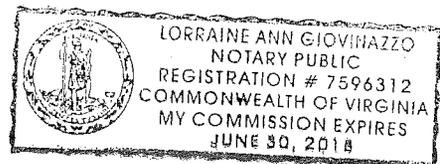
ACKNOWLEDGEMENT

COUNTY OF FAIRFAX
COMMONWEALTH OF VIRGINIA

The foregoing instrument was acknowledged before me this 14 day of December, 2015.

Lorraine A. Giovinazzo
 Notary Public

My commission expires: 6/30/18





THE GEBRE RESIDENCE

FOR PERMIT

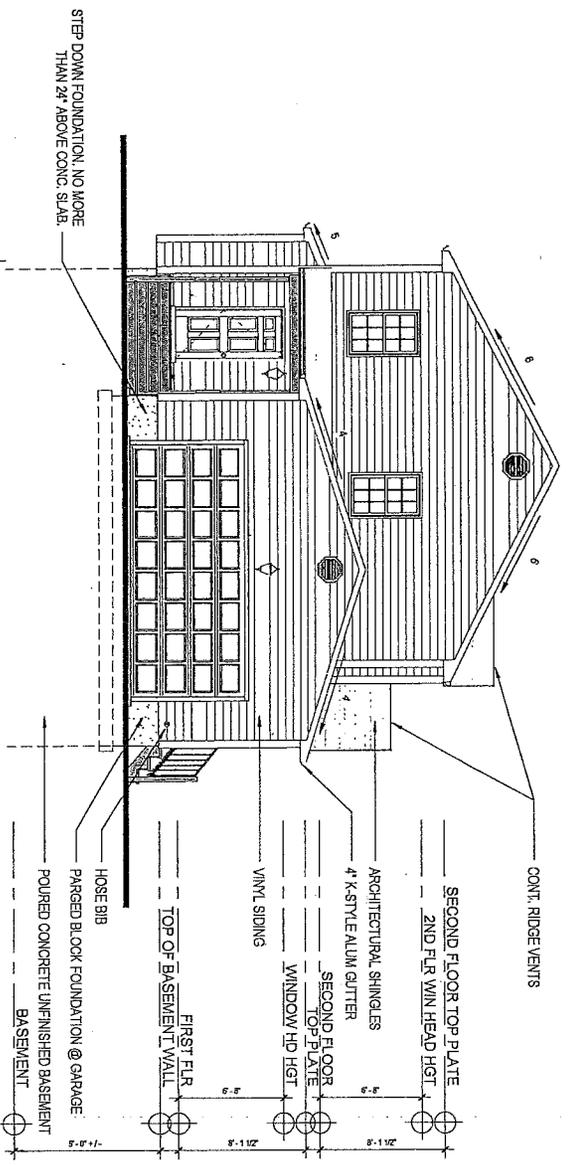
OCTOBER 21, 2015



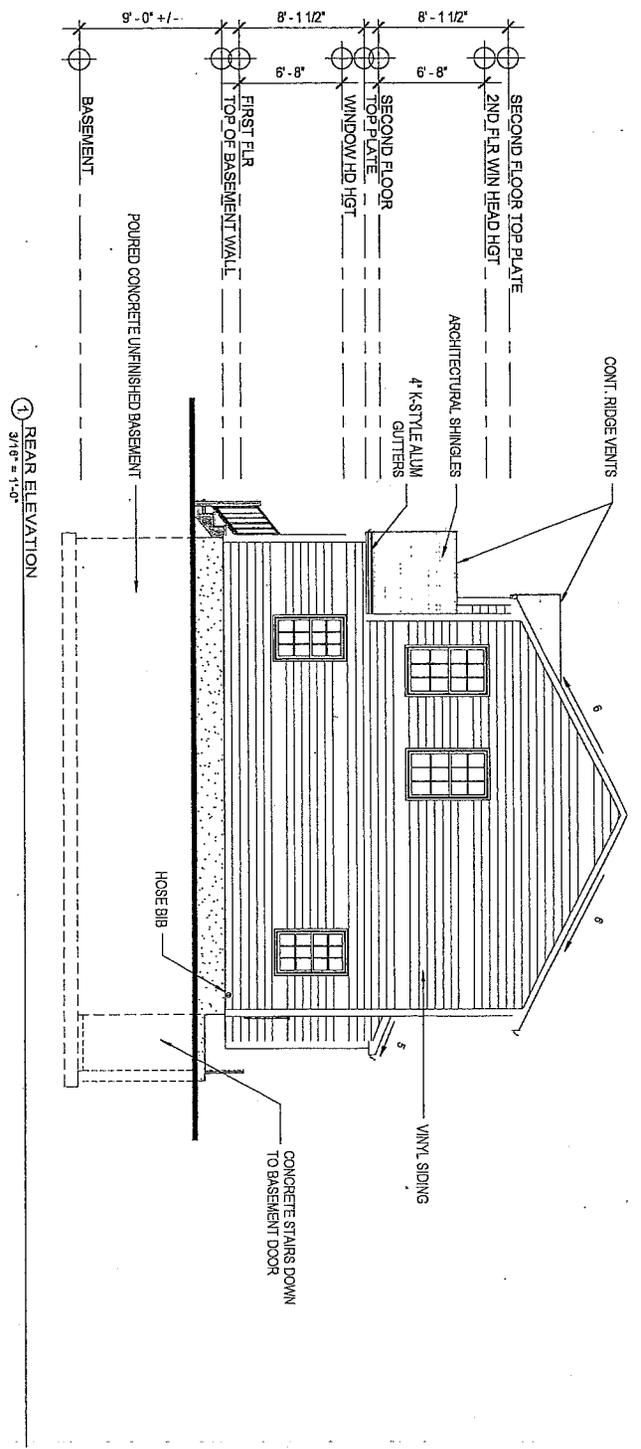
THE MADISON PLAN - ELEV. A

SCALES:	3/16" = 1'-0"	JOB NUMBER:	21400029
DATE:	10.21.2015	DRAWN BY:	csaj@hitchellhomesinc.com

A2.1



② FRONT ELEVATION
3/16" = 1'-0"



① REAR ELEVATION
3/16" = 1'-0"

THE GEBRE RESIDENCE
FRONT & REAR ELEVATIONS
FAIRFAX COUNTY, VA



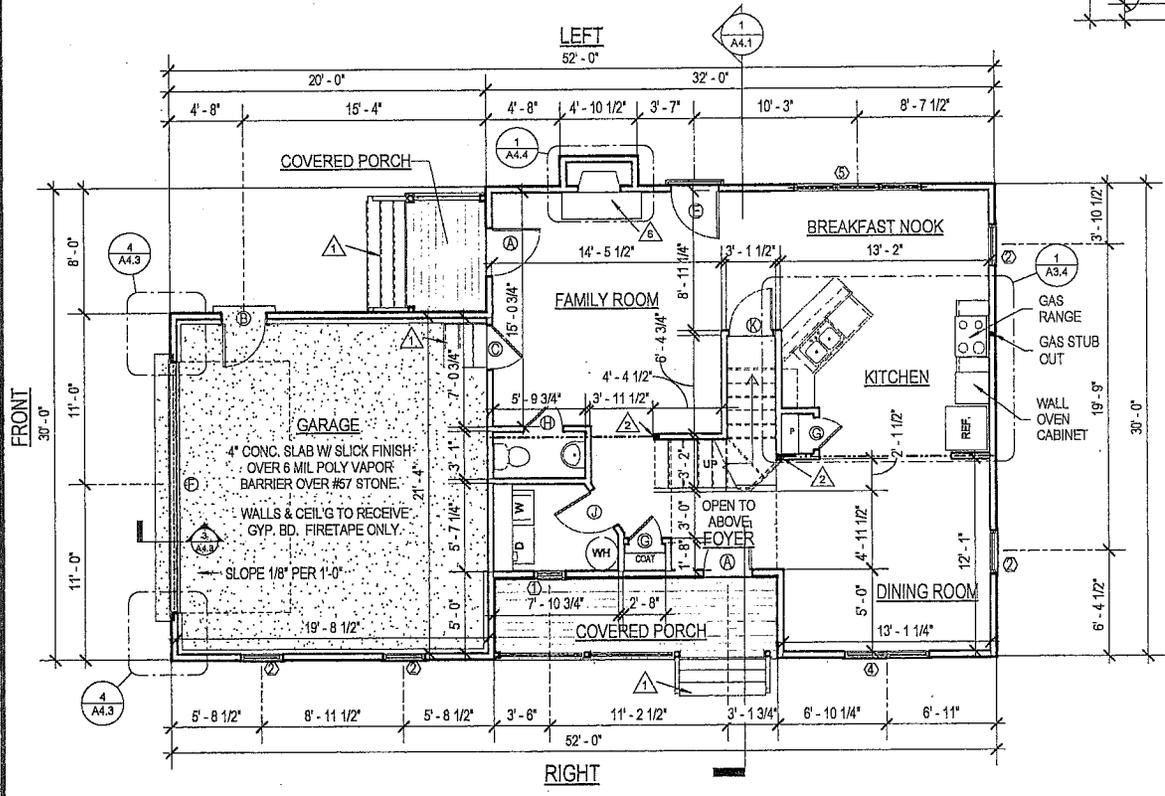
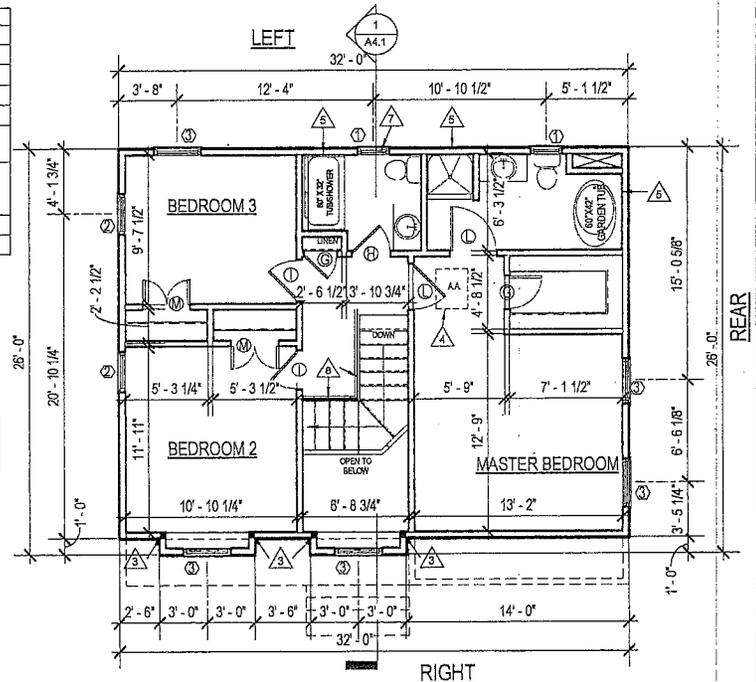
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1650 HOLLY HILLS ROAD POWHATAN, VA 23139
PHONE: 804-378-5211 FAX: 804-378-0811
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DOORS						
MARK	SIZE	STYLE	DESCRIPTION	COUNT	USE	HDR
A	30/68	FIBERGLASS	RAISED PANEL W/ DEADBOLT	2	Exterior	(2) 2X10
B	28/68	STEEL	9 LITE W/ DEADBOLT	1	Exterior	(2) 2X10
C	28/68	STEEL	RAISED PANEL	1	Exterior	(2) 2X10
D	30/68	STEEL	RAISED PANEL W/ DEADBOLT	1	Exterior	(2) 2X10
E	30/68	STEEL	SINGLE FRENCH 3X5 LITE, EXT	1	Exterior	(2) 2X10
F	180/70	STEEL	OVER-HEAD GARAGE	1	Exterior	(2) 14" LVL
G	20/68	COMP	RAISED PANEL	4	Interior	(2) 2X4
H	24/68	COMP	RAISED PANEL	2	Interior	(2) 2X4
I	28/68	COMP	RAISED PANEL	2	Interior	(2) 2X4
J	28/68	COMP	RAISED PANEL	1	Interior	(2) 2X4
K	28/68	SOLID	RAISED PANEL W/ WEATHERSTRIPPING ALL 4 SIDES	1	Interior	(2) 2X4
L	210/68	COMP	RAISED PANEL	2	Interior	(2) 2X4
M	30/68	COMP	RAISED PANEL-DOUBLE	2	Interior	(2) 2X4

PLAN NOTES	
NUM	NOTE
1	NUMBER OF STEPS DEPENDANT ON GRADE. (3 STEPS INCLUDED)
2	(3) 2X4 POST. FLUSH BEAM ABOVE. SEE JOIST LAYOUT BY OTHERS.
3	(2) 2X4 POST. GIRDER TRUSS ABOVE. SEE LAYOUT BY OTHERS.
4	FRAMER TO INSULATE AND WEATHERSTRIP HATCH TO CODE
5	FRAMER TO PROVIDE R-15 BATT INSULATION & AIR BARRIER TO CODE BEHIND TUB AND SHOWER PRIOR TO INSTALLATION.
6	36" PREFAB GAS FIREPLACE, EXT. CANTILEVERED, SIDE VENTED W/ STONE RAISED HEARTH, SURROUND & MANTEL. SEE FIREPLACE DETAIL SHEET A4.4 & MANUF. SPEC FOR DETAILS.
7	TEMPERED WINDOW
8	RAILING

NOTE: ALL DIMENSIONS ARE FROM OUTSIDE EDGE OF EXTERIOR WALL SHEATHING OR FACE OF STUD OR CENTERLINE OF WALL, U.N.O.

WINDOWS - SINGLE HUNG W/ LOW E GLASS					
MARK	SIZE	STYLE	DESCRIPTION	COUNT	HDR
1	20/32	INSUL	SINGLE HUNG	3	(2) 2X8
2	28/45	INSUL	SINGLE HUNG	6	(2) 2X8
3	30/50		SINGLE HUNG	5	
4	28/46 TWIN	INSUL	SINGLE HUNG	1	(2) 2X10
5	28/46 TRIPLE	INSUL	SINGLE HUNG	1	(2) 9-1/2" LVL



THE MADISON PLAN - ELEV. A

SCALE:	3/16" = 1'-0"	JOB NUMBER:	21400029
DATE:	10.21.2015	DRAWN BY:	cseye@mitchellhomesinc.com

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THE GEBRE RESIDENCE
FRAMING PLAN
FAIRFAX COUNTY, VA

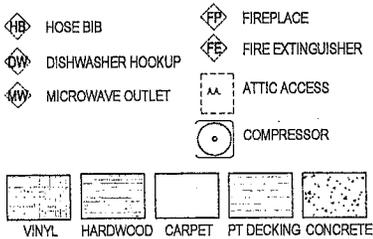
A3.2

DOORS						
MARK	SIZE	STYLE	DESCRIPTION	COUNT	USE	HDR
A	30/68	FIBERGLASS	RAISED PANEL W/ DEADBOLT	2	Exterior	(2) 2X10
B	28/68	STEEL	9 LITE W/ DEADBOLT	1	Exterior	(2) 2X10
C	28/68	STEEL	RAISED PANEL	1	Exterior	(2) 2X10
D	30/68	STEEL	RAISED PANEL W/ DEADBOLT	1	Exterior	(2) 2X10
E	30/68	STEEL	SINGLE FRENCH 3X5 LITE, EXT	1	Exterior	(2) 2X10
F	160/70	STEEL	OVERHEAD GARAGE	1	Exterior	(2) 14' LVL
G	20/68	COMP	RAISED PANEL	4	Interior	(2) 2X4
H	24/68	COMP	RAISED PANEL	2	Interior	(2) 2X4
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L	210/68	COMP	RAISED PANEL	2	Interior	(2) 2X4
M	30/68	COMP	RAISED PANEL-DOUBLE	2	Interior	(2) 2X4

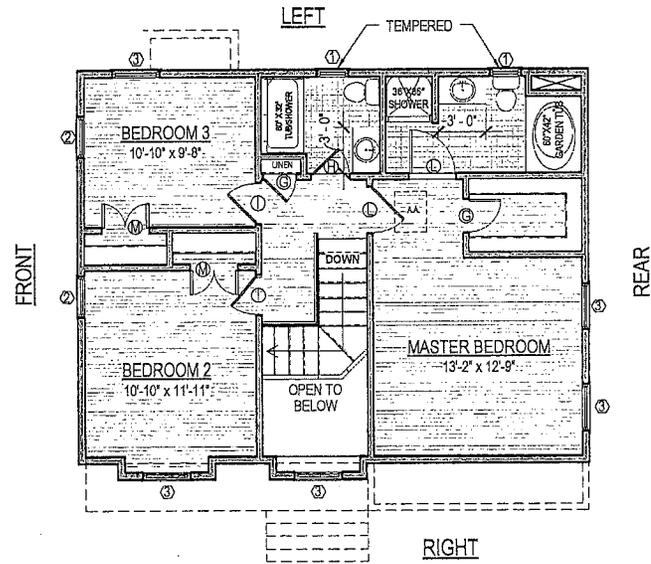
WINDOWS - SINGLE HUNG W/ LOW E GLASS						
MARK	SIZE	STYLE	DESCRIPTION	COUNT	USE	HDR
1	20/32	INSUL	SINGLE HUNG	3		(2) 2X8
2	28/46	INSUL	SINGLE HUNG	6		(2) 2X8
3	30/50		SINGLE HUNG	5		
4	28/46 TWIN	INSUL	SINGLE HUNG	1		(2) 2X10
5	28/46 TRIPLE	INSUL	SINGLE HUNG	1		(2) 9-1/2" LVL

COMPONENTS		
TYPE	COUNT	COMMENTS
FIRE EXTINGUISHER	1	
FIREPLACE	1	

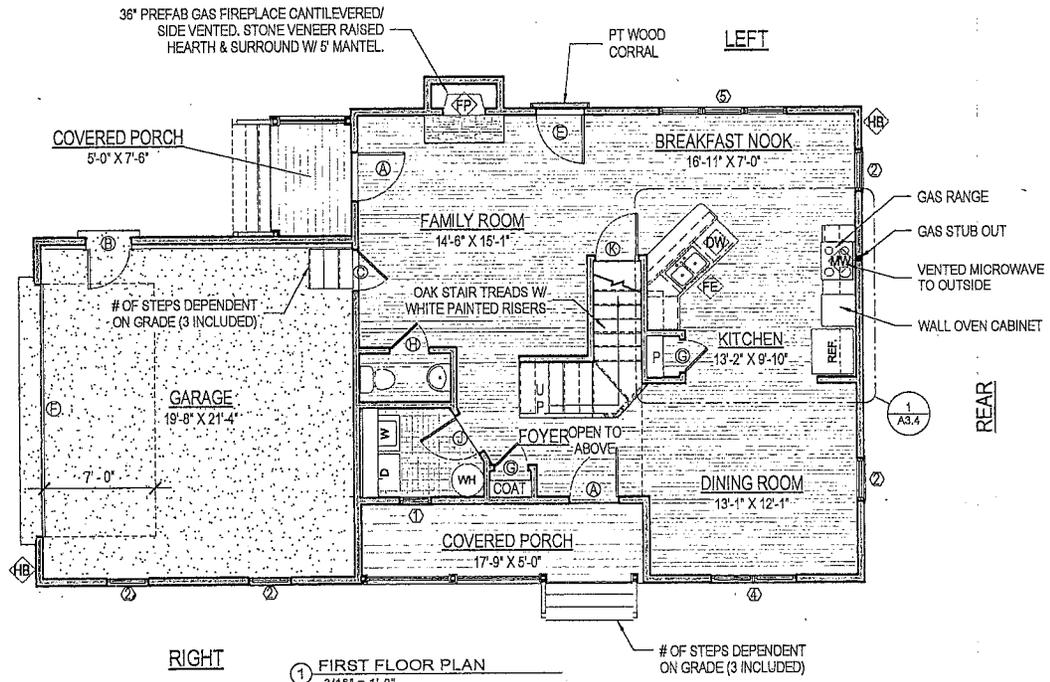
PLAN SYMBOL LEGEND



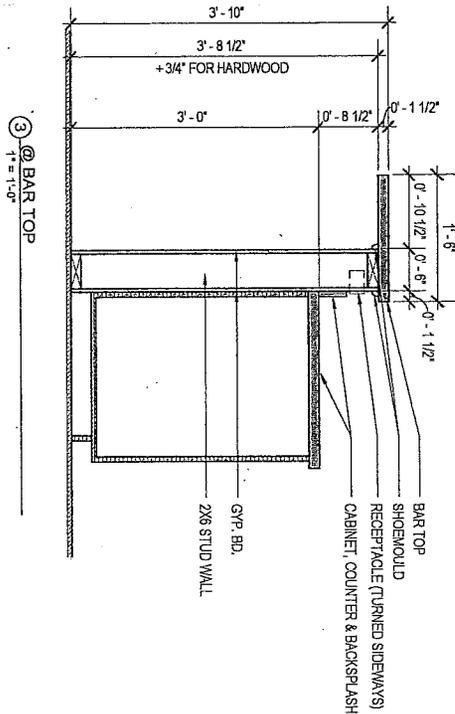
LIVING SPACE:
 1ST FLOOR: 827
 2ND FLOOR: 740 SF
 TOTAL: 1567



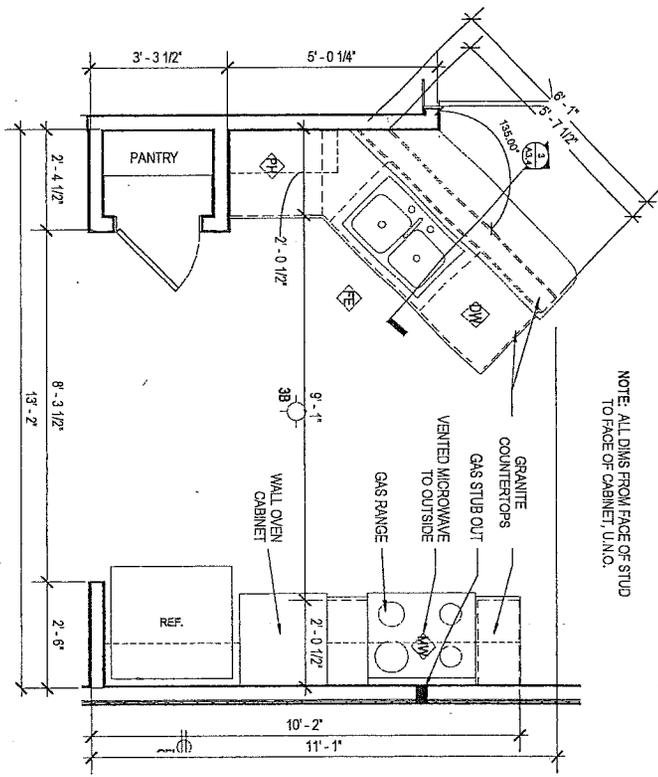
② SECOND FLOOR PLAN
 3/16" = 1'-0"



① FIRST FLOOR PLAN
 3/16" = 1'-0"



③ @ BAR TOP
1/2" = 1'-0"



① ENLARGED KITCHEN PLAN
1/2" = 1'-0"

THE MADISON PLAN - ELEV. A

SCALE:	As indicated	JOB NUMBER:	21400029
DATE:	10/21/2015	DRAWN BY:	oseay@mitchellhomesinc.com

A3.4

THE GEBRE RESIDENCE

ENLARGED PLANS
FAIRFAX COUNTY, VA



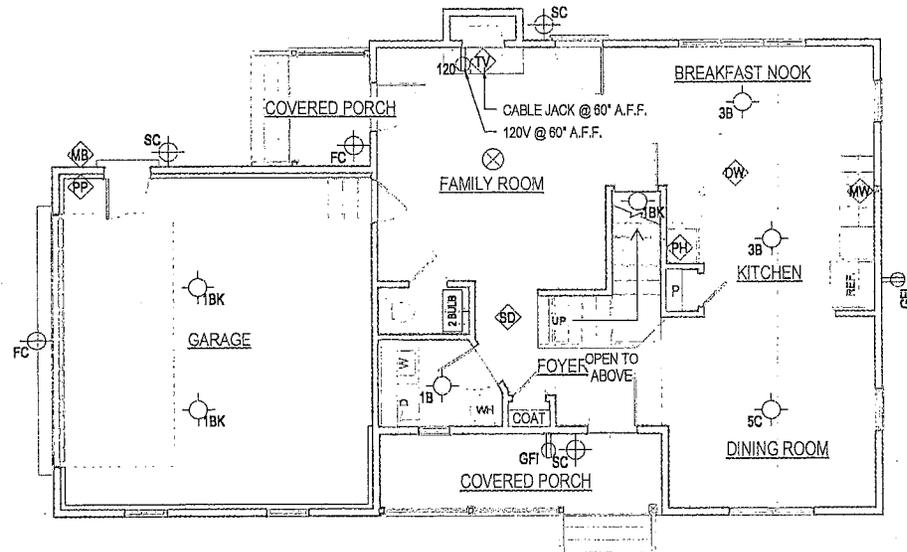
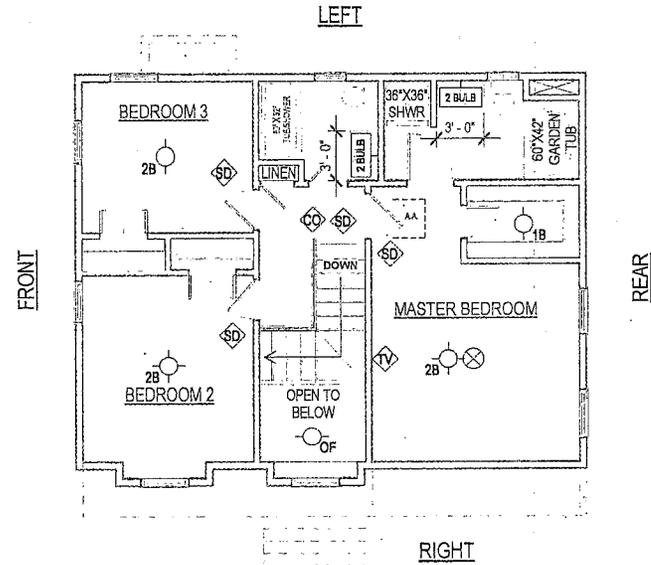
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ELECTRICAL		
TYPE	COUNT	COMMENTS
120 OUTLET	1	@ 60" A.F.F.
CABLE JACK	2	(1) @ 60" A.F.F. & (1) @ STANDARD HEIGHT
CEILING FAN	2	ROUGH-IN ONLY W/ DOUBLE WALL SWITCH. NO FAN INCLUDED
CEILING LIGHT - 1 BULB	2	(2) ATTACHED GARAGE; (3) DETACHED GARAGE
CEILING LIGHT - 1 BULB KEYLESS 2	4	
CEILING LIGHT - 2 BULB	3	
CEILING LIGHT - 3 BULB	2	
CHANDELIER - 5 BULB	1	
CO DETECTOR	1	
DISHWASHER HOOKUP	1	
FOYER - OPEN	2	
GFI OUTLET	2	EXTERIOR
METER BASE	1	
MICROWAVE OUTLET	1	
PHONE JACK	1	
POWER PANEL	1	
SCONCE - 2 BULB	3	
SMOKE DETECTOR	5	
XL FRONT COACH	2	(3) DETACHED GARAGE
XL REAR COACH	1	
XL SIDE COACH	3	(1) ATTACHED GARAGE; (1) DETACHED GARAGE

ELECTRICAL SYMBOL LEGEND

- SMOKE DETECTOR
- CO DETECTOR
- PHONE JACK
- CABLE JACK
- DISHWASHER HOOKUP
- MICROWAVE OUTLET
- FLOOR RECEPTACLE
- 120 OUTLET
- GFI EXTERIOR 110V OUTLET W/ GROUND FAULT INDICATOR
- METER BASE
- POWER PANEL
- 4 BULB SCONCE - 4 BULB
- CEILING FAN BOX
- SURFACE MOUNT LIGHT - 2 BULB
- EXTERIOR FRONT COACH
- EXTERIOR SIDE COACH
- EXTERIOR REAR COACH
- CEILING LIGHT - 1 BULB
- CEILING LIGHT - 2 BULB
- CEILING LIGHT - 3 BULB
- CHANDELIER - 3 BULB
- CHANDELIER - 5 BULB
- OPEN FOYER LIGHT
- CEILING LIGHT - 1 BULB KEYLESS



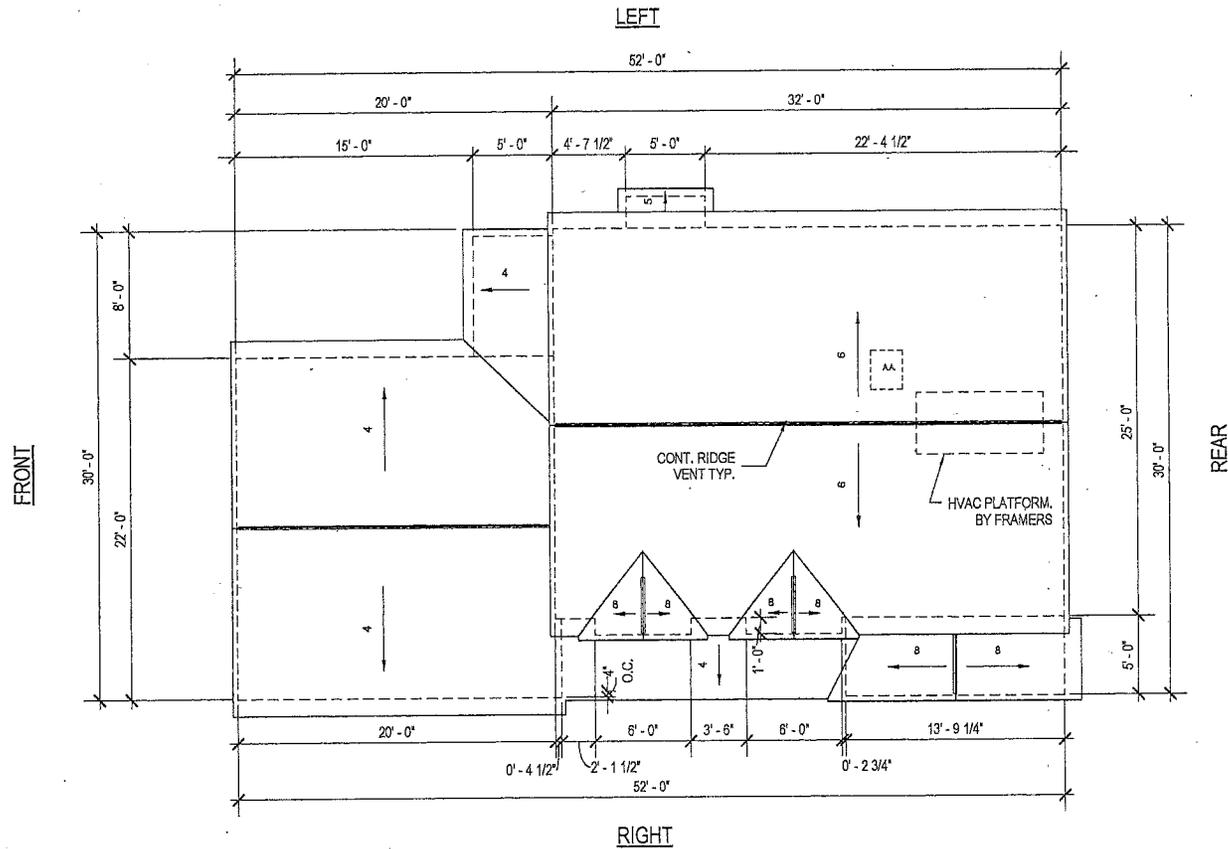
THE MADISON PLAN - ELEV. A	SCALE: 3/16" = 1'-0"	JOB NUMBER: 21400029
	DATE: 10.21.2015	DRAWN BY: cseay@mitchellhomesinc.com

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THE GEBRE RESIDENCE
ELECTRICAL PLAN
FAIRFAX COUNTY, VA

A3.5



① ROOF PLAN
3/16" = 1'-0"

LEGEND

- LINE OF BEARING
- # RAFTER SLOPE & DIRECTION



THE MADISON PLAN - ELEV. A

SCALE:	3/16" = 1'-0"	JOB NUMBER:	21400029
DATE:	10.21.2015	DRAWN BY:	csey@mitchellhomesinc.com

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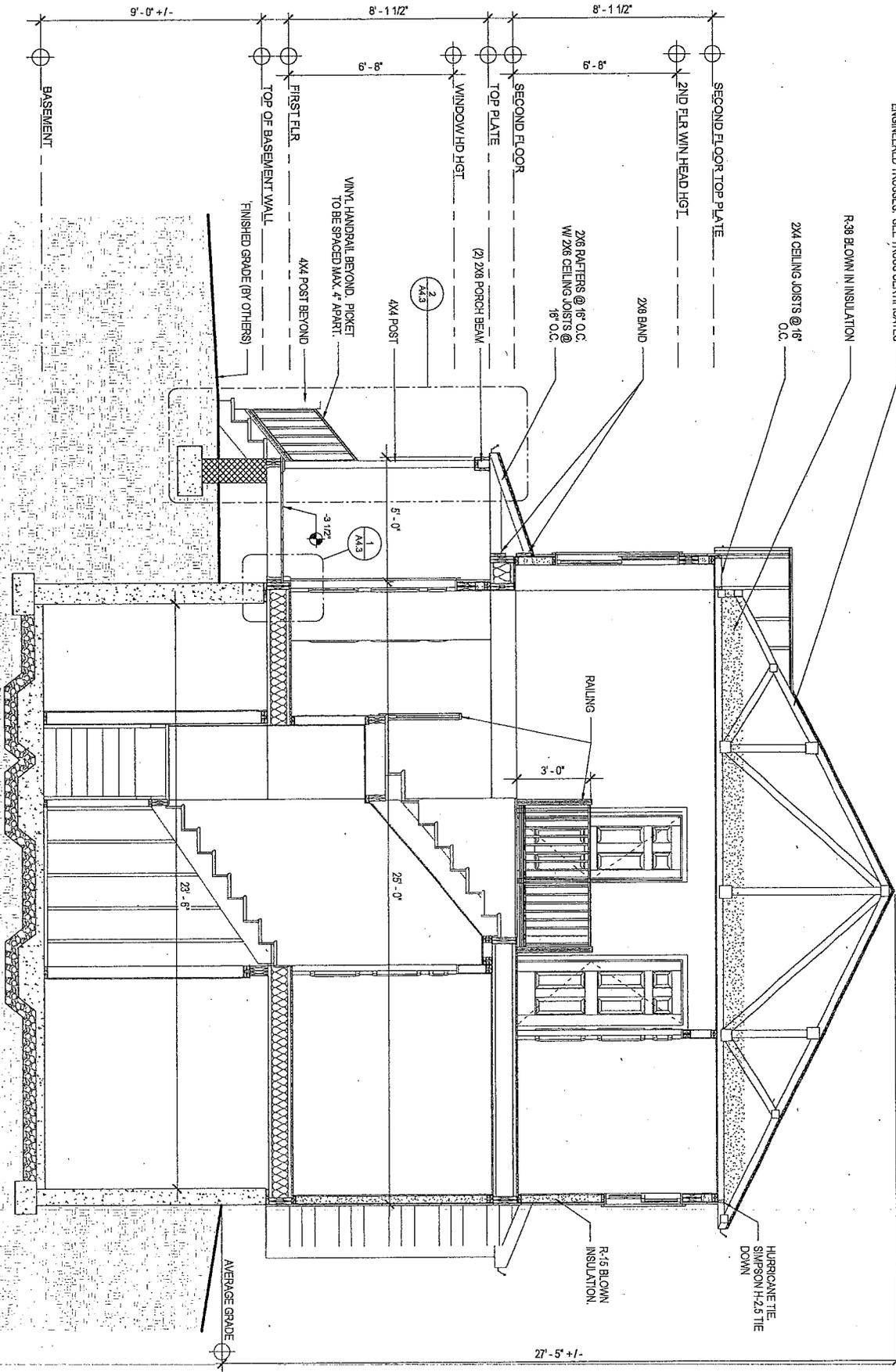
THE GEBRE RESIDENCE

ROOF PLAN
FAIRFAX COUNTY, VA

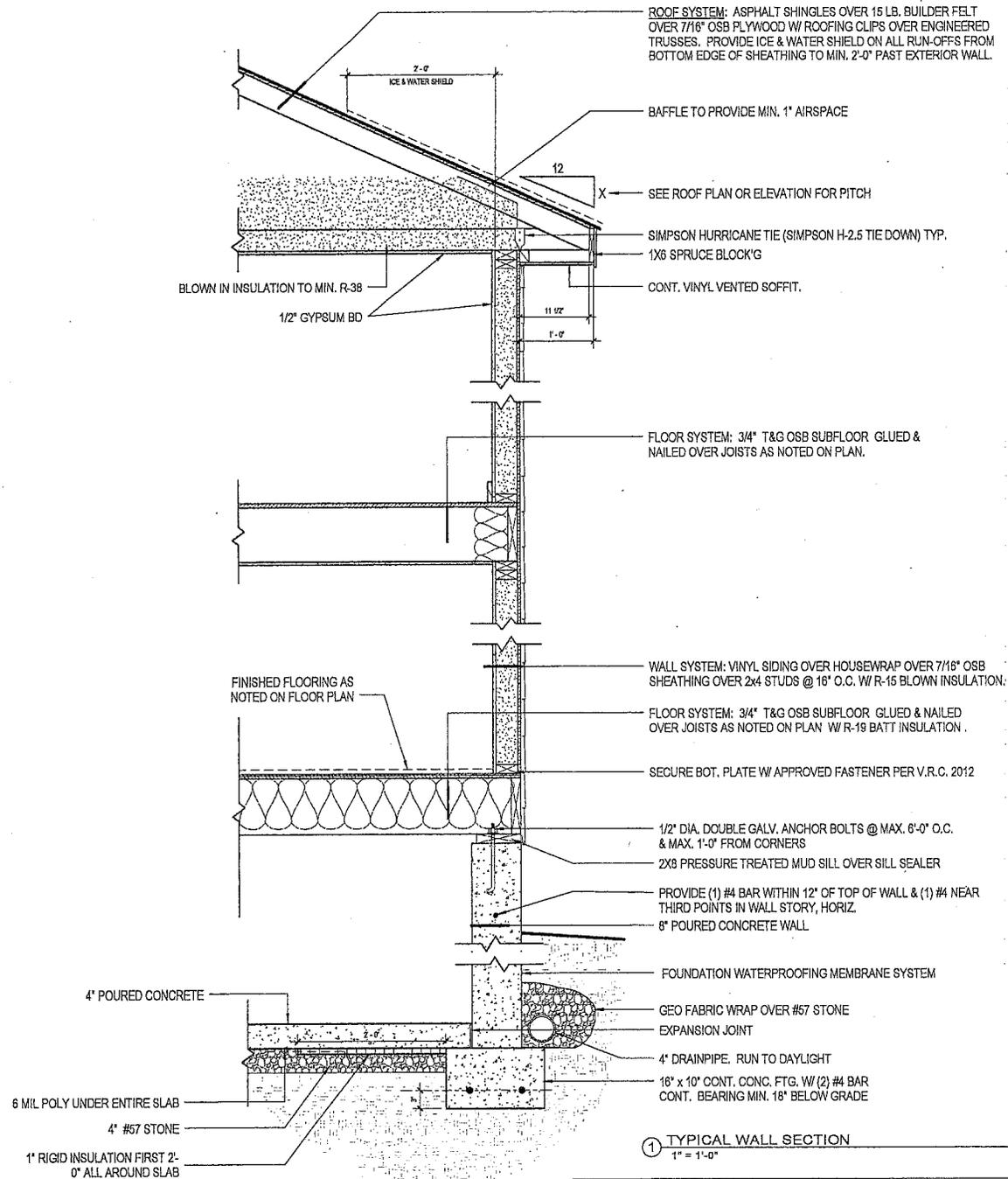
A3.6

NOTE: SEE TYPICAL WALL SECTION FOR ROOF & WALL DETAILS

ENGINEERED TRUSSES. SEE TRUSS CERTIFICATES



A4.1	THE GEBRE RESIDENCE		MITCHELL HOMES, INC.
	BUILDING SECTION FAIRFAX COUNTY, VA		1650 HOLLY HILLS ROAD POWHATAN, VA 23139 PHONE: 804-378-5211 FAX: 804-378-0811 www.MITCHELLHOMESINC.com



MITCHELL HOMES, INC.

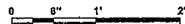
1650 HOLLY HILLS ROAD POWHATAN, VA 23199
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THE GEBRE RESIDENCE

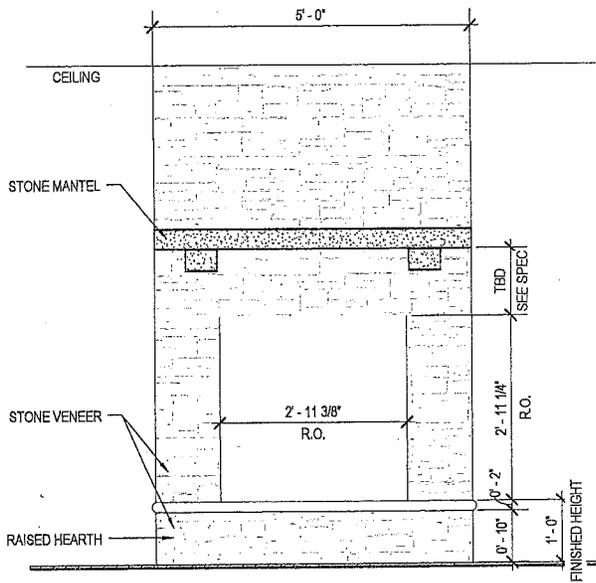
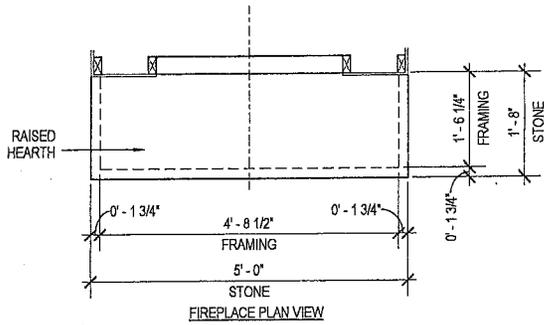
TYPICAL WALL SECTION
 FAIRFAX COUNTY, VA

A4.2

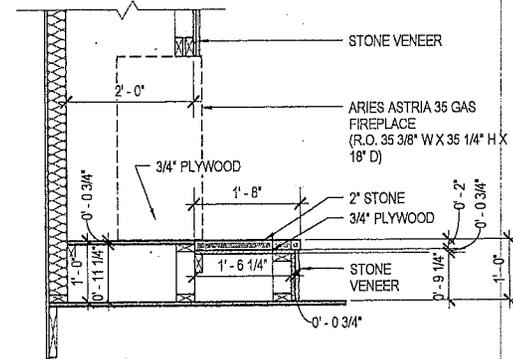
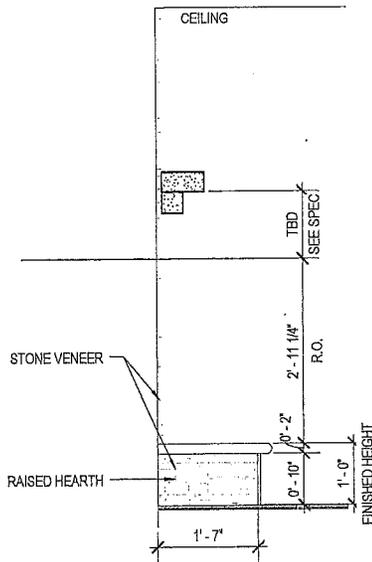


THE MADISON PLAN - ELEV. A

SCALE:	1" = 1'-0"	JOB NUMBER:	21400029
DATE:	10.21.2015	DRAWN BY:	oseay@mitchellhomesinc.com



NOTE: HOLD FIREPLACE UP 2" OFF HEARTH FRAMING TO ALLOW FOR STONE VENEER.



① STONE VENEER FIREPLACE DETAIL
3/4" = 1'-0"

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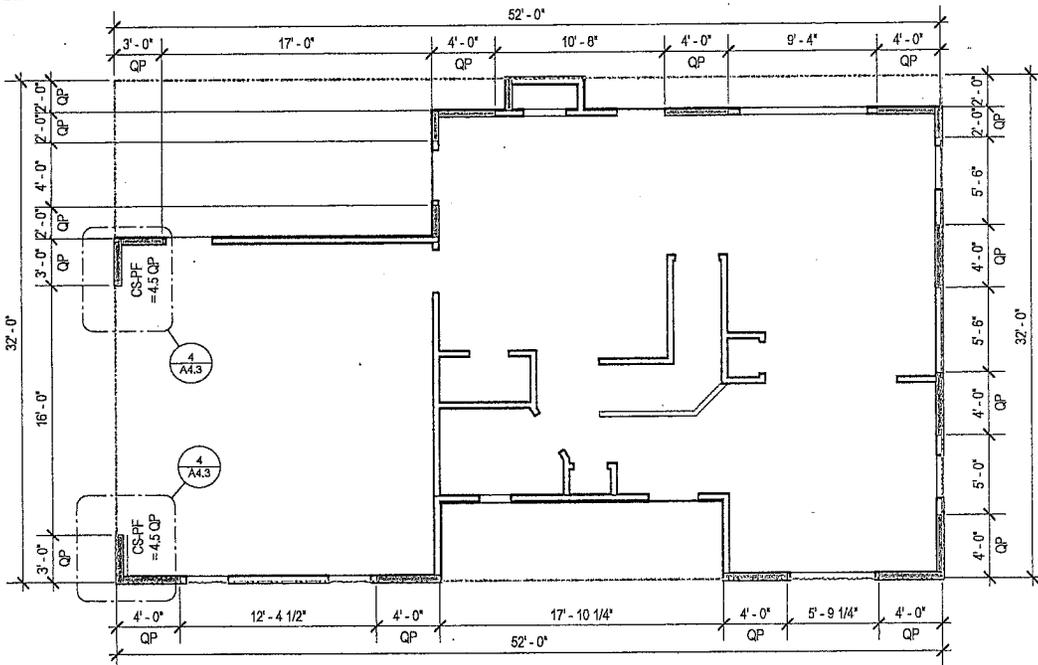
THE GEBRE RESIDENCE

FIREPLACE DETAILS
FAIRFAX COUNTY, VA

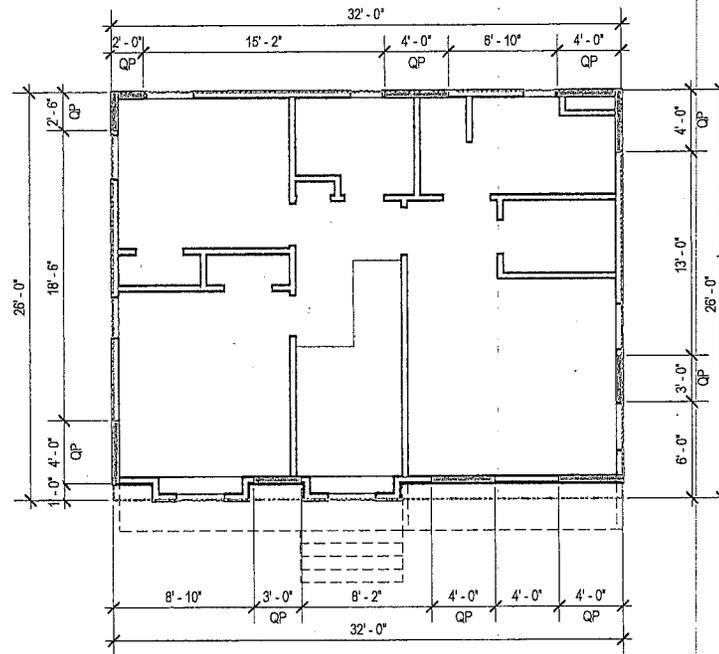
A4.4

THE MADISON PLAN - ELEV. A

SCALE:	3/4" = 1'-0"	JOB NUMBER:	21400029
DATE:	10.21.2015	DRAWN BY:	cseay@mitchellhomesinc.com



① FIRST FLOOR BRACED WALL LAYOUT
3/16" = 1'-0"



② SECOND FLOOR BRACED WALL LAYOUT
3/16" = 1'-0"

PRACTICAL WALL BRACING WORKSHEET PER THE 2012 VIRGINIA RESIDENTIAL CODE

WIND SPEED (MPH)		90											
RECTANGLE SIZE (ft)		FRONT/REAR		32		LEFT/RIGHT		32		ASPECT RATIO:		PASS	
RECTANGLE SIDE		FRONT		REAR		LEFT		RIGHT					
NUMBER OF FLOOR LEVELS ABOVE		1		1		1		1					
EAVE-TO-RIDGE HEIGHT (ft)		9.5		9.5		9.5		9.5					
EXTERIOR BWP MATERIAL		Wood Structural Panels		Wood Structural Panels		Wood Structural Panels		Wood Structural Panels					
TABULAR REQUIRED (ft)		9.60		9.60		13.00		13.00					
ADJUSTMENT	EXPOSURE	B	1.00	B	1.00	B	1.00	B	1.00				
	WALL HEIGHT (ft)	8.00	0.90	8.00	0.90	8.00	0.90	8.00	0.90				
	DRY FINISHED INTERIOR	NO	1.00	NO	1.00	NO	1.00	NO	1.00				
	REDUCED FASTENER SPACING	NO	1.00	NO	1.00	NO	1.00	NO	1.00				
REQUIRED BWP LENGTH (ft)		8.64		8.64		13.50		13.50					
VALUE FROM COMMON RECTANGLE SIDE													
TOTAL REQUIRED BWP LENGTH (ft)		8.64		8.64		13.50		13.50					
ACTUAL BWP	CONTRIBUTING LENGTH (ft)	BWP LOCATION	LENGTH	LOCATION	LENGTH	LOCATION	LENGTH	LOCATION	LENGTH				
		1 EXTERIOR	4.00	EXTERIOR	3.00	EXTERIOR	2.00	EXTERIOR	2.00				
		2 EXTERIOR	4.00	EXTERIOR	4.00	EXTERIOR	2.00	EXTERIOR	4.00				
		3 EXTERIOR	4.00	EXTERIOR	4.00	EXTERIOR	2.00	EXTERIOR	4.00				
		4 EXTERIOR	4.00	EXTERIOR	4.00	EXTERIOR	4.50	EXTERIOR	4.00				
		5											
		6											
7													
ACTUAL BWP LENGTH (ft)		16.00		15.00		15.00		14.00					
ACTUAL ≥ REQUIRED?		PASS		PASS		PASS		PASS					
BWP ≤ 20' APART?		YES		YES		YES		YES					
BWP WITHIN 12' OF CORNERS?		YES		YES		YES		YES					
COMPLIANT NUMBER OF BWPs		YES		YES		YES		YES					
BWP COMPLIANCE PASS-FAIL		PASS		PASS		PASS		PASS					

GENERAL NOTES:

- 1) WALL BRACING METHOD TO BE CONTINUOUS SHEATHING - WOOD STRUCTURAL PANEL (CS-WSP), U.N.O.
- 2) ALL PANELS TO BE 7/16" OSB SHEATHING OVER 2X4 STUDS & 16" O.C. WITH DOUBLE TOP PLATE & SINGLE BOTTOM PLATE. SHEATHING TO EXTEND FROM BOTTOM EDGE OF BOTTOM PLATE TO TOP EDGE OF LOWER DOUBLE PLATE.
- 3) NAILING PATTERN AND FASTENERS SHALL CONFORM TO V.R.C. 2012 CODE.

SEE ATTACHED WIND CALCULATION SHEET

LEGEND

- BRACED WALL LINE
- ▬ BRACED WALL PANEL



THE MADISON PLAN - ELEV. A

PRACTICAL WALL BRACING WORKSHEET PER THE 2012 VIRGINIA RESIDENTIAL CODE

WIND SPEED (MPH)		90											
RECTANGLE SIZE (ft)		FRONT/REAR		32		LEFT/RIGHT		26		ASPECT RATIO:		PASS	
RECTANGLE SIDE		FRONT		REAR		LEFT		RIGHT					
NUMBER OF FLOOR LEVELS ABOVE		0		0		0		0					
EAVE-TO-RIDGE HEIGHT (ft)		9.5		9.5		9.5		9.5					
EXTERIOR BWP MATERIAL		Wood Structural Panels		Wood Structural Panels		Wood Structural Panels		Wood Structural Panels					
TABULAR REQUIRED (ft)		4.40		4.40		5.20		5.20					
ADJUSTMENT	EXPOSURE	B	1.00	B	1.00	B	1.00	B	1.00				
	WALL HEIGHT (ft)	8.00	0.90	8.00	0.90	8.00	0.90	8.00	0.90				
	DRY FINISHED INTERIOR	NO	1.00	NO	1.00	NO	1.00	NO	1.00				
	REDUCED FASTENER SPACING	NO	1.00	NO	1.00	NO	1.00	NO	1.00				
REQUIRED BWP LENGTH (ft)		3.96		3.96		4.68		4.68					
VALUE FROM COMMON RECTANGLE SIDE													
TOTAL REQUIRED BWP LENGTH (ft)		3.96		3.96		4.68		4.68					
ACTUAL BWP	CONTRIBUTING LENGTH (ft)	BWP LOCATION	LENGTH	LOCATION	LENGTH	LOCATION	LENGTH	LOCATION	LENGTH				
		1 EXTERIOR	3.00	EXTERIOR	3.00	EXTERIOR	2.50	EXTERIOR	4.00				
		2 EXTERIOR	4.00	EXTERIOR	4.00	EXTERIOR	4.00	EXTERIOR	2.00				
		3 EXTERIOR	4.00	EXTERIOR	4.00	EXTERIOR	4.00	EXTERIOR	4.00				
		4											
		5											
		6											
7													
ACTUAL BWP LENGTH (ft)		11.00		10.00		8.50		7.00					
ACTUAL ≥ REQUIRED?		PASS		PASS		PASS		PASS					
BWP ≤ 20' APART?		YES		YES		YES		YES					
BWP WITHIN 12' OF CORNERS?		YES		YES		YES		YES					
COMPLIANT NUMBER OF BWPs		YES		YES		YES		YES					
BWP COMPLIANCE PASS-FAIL		PASS		PASS		PASS		PASS					

SCALE:	3/16" = 1'-0"	JOB NUMBER:	21400029
DATE:	10.21.2015	DRAWN BY:	oseay@mitchellhomesinc.com

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THE GEBRE RESIDENCE
BRACED WALL LAYOUT
FAIRFAX COUNTY, VA

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