



County of Fairfax, Virginia

January 6, 2016

STAFF REPORT

SPECIAL PERMIT SP 2015-MV-135

MOUNT VERNON DISTRICT

APPLICANTS/OWNERS: William B. Foulois, Trustee
Mara E. Foulois, Trustee

STREET ADDRESS: 10910 Belmont Blvd., Lorton, 22079

SUBDIVISION: Belmont Park Estates

TAX MAP REFERENCE: 118-2 ((2)) 76

LOT SIZE: 21,855 square feet

ZONING DISTRICT: R-E

ZONING ORDINANCE PROVISION: 8-914, 8-922

SPECIAL PERMIT PROPOSAL: To permit reduction of certain yard requirements to permit construction of an addition 10.0 feet from a side lot line and to permit reduction of minimum yard requirements based on errors in building location to permit an accessory storage structure to remain 0.8 feet from a side lot line, and a deck to remain 7.9 feet from a side lot line.

STAFF RECOMMENDATION:

Staff recommends approval of SP 2015-MV-135 for the addition with adoption of the proposed development conditions contained in Appendix 1.

Staff does not make recommendations on building in error applications. However, if it is the intention of the Board of Zoning Appeals to approve the request for a special permit for error in building location to allow the patio to remain, staff recommends that such approval be made subject to the development conditions contained in Appendix 1.

Erin M. Haley

Department of Planning and Zoning
Zoning Evaluation Division
12055 Government Center Parkway, Suite 801
Fairfax, Virginia 22035-5509
Phone 703-324-1290 FAX 703-324-3924

www.fairfaxcounty.gov/dpz/

It should be noted that it is not the intent of staff to recommend that the Board, in adopting any conditions, relieve the applicants/owners from compliance with the provisions of any applicable ordinances, regulations, or adopted standards.

It should be further noted that the content of this report reflects the analysis and recommendations of staff; it does not reflect the position of the Board of Zoning Appeals. A copy of the BZA's Resolution setting forth this decision will be mailed within five days after the decision becomes final.

The approval of this application does not interfere with, abrogate or annul any easements, covenants, or other agreements between parties, as they may apply to the property subject to the application.

For additional information, call Zoning Evaluation Division, Department of Planning and Zoning at 703-324-1280, 12055 Government Center Parkway, Suite 801, Fairfax, Virginia 22035. **Board of Zoning Appeals' meetings are held in the Board Room, Ground Level, Government Center Building, 12000 Government Center Parkway, Fairfax, Virginia 22035-5505.**

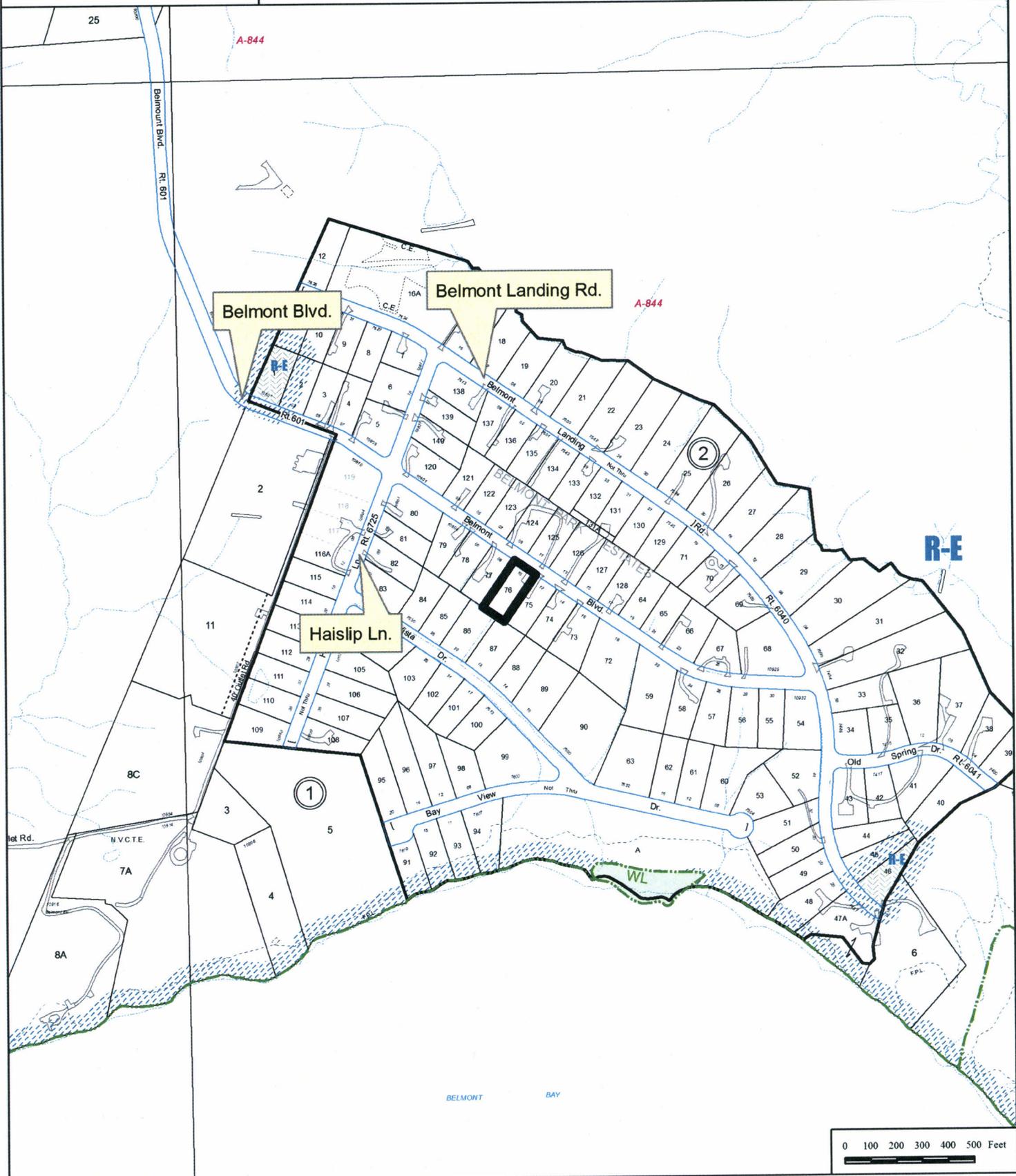


Americans with Disabilities Act (ADA): Reasonable accommodation is available upon 48 hours advance notice. For additional information on ADA call (703) 324-1334 or TTY 711 (Virginia Relay Center).

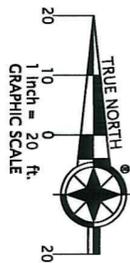
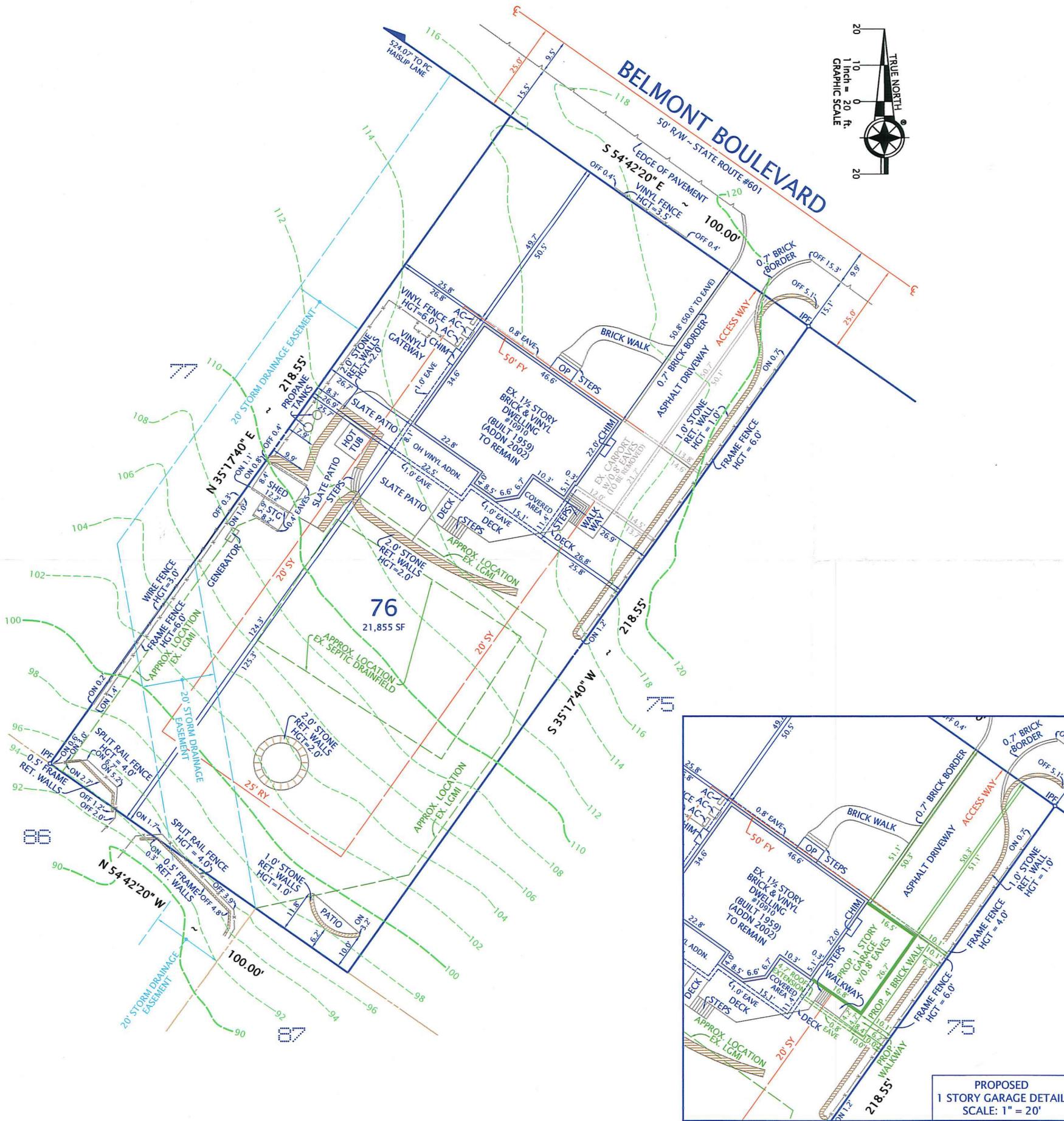


Special Permit SP 2015-MV-135

WILLIAM B. FOULOIS, TRUSTEE AND MARA E. FOULOIS, TRUSTEE



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NOTES

1. TAX MAP: 118-1-02-0076
2. ZONE: RE (RES ESTATE 1DU/2AC)
3. LOT AREA: 21,855 SF (0.5017 ACRE)
4. REQUIRED YARDS:

| | | |
|--------|---|---------|
| FRONT: | = | 50 FEET |
| SIDE: | = | 20 FEET |
| REAR: | = | 25 FEET |
5. HEIGHTS:

| | | |
|----------------------|---|-------------------------------|
| EX. DWELLING | = | 21.7 FEET (MIDLINE OF ROOF) |
| EX. CARPORT | = | 12.4 FEET (MIDLINE OF ROOF) |
| EX. DECK | = | 05.0 FEET |
| EX. FENCES | = | AS NOTED |
| EX. SHED | = | 09.0 FEET |
| EX. WALLS | = | AS NOTED |
| EX. VINYL GATEWAY | = | 06.5 FEET |
| PROP. 1 STORY GARAGE | = | 16.0 FEET (RIDGELINE OF ROOF) |
6. THIS PROPERTY IS SERVED BY PUBLIC WATER.
7. THERE IS NO OBSERVABLE EVIDENCE OF GRAVE SITES OR BURIAL GROUNDS ON THIS PROPERTY.
8. ALL IMPROVEMENTS SHOWN ON THIS PLAT ARE EXISTING UNLESS DENOTED AS PROPOSED.
9. THE SURVEYOR IS NOT AWARE OF ANY UTILITY EASEMENTS 25 FEET IN WIDTH OR GREATER AFFECTING THIS PROPERTY.
10. TOPOGRAPHY DELINEATED HEREON WAS TAKEN FROM AVAILABLE RECORDS, IS SHOWN AT 2' INTERVALS, AND IS AERIAL.
11. THERE ARE NO FLOODPLAINS OR RESOURCE PROTECTION AREAS ON THIS PROPERTY.
12. AREAS:

| | | |
|----------------------|---|----------|
| EX. BASEMENT | = | 792 SF |
| EX. FIRST FLOOR | = | 521 SF |
| EX. SECOND FLOOR | = | 1,756 SF |
| EX. GROSS FLOOR AREA | = | 3,069 SF |

EX. FLOOR AREA RATIO: EX. GFA (3069) / LOT AREA (21,855) = 0.140

PROP. 1 STORY GARAGE = 434 SF. / EX. GFA (3069) = 0.141

PROP. GROSS FLOOR AREA = EX. GFA (3069) + PROP. GARAGE (434) = 3,503 SF

PROP. FLOOR AREA RATIO: PROP. GFA (3,503) / LOT AREA (21,855) = 0.160
13. OWNER: WILLIAM BERNARD, FOULOUS, TR.
10910 BELMONT BOULEVARD
MASON NECK, VA 22079
(DEED BOOK 23564, PAGE 1673)
14. THIS PROPERTY IS SERVED BY A SEPTIC SYSTEM. (SDS)

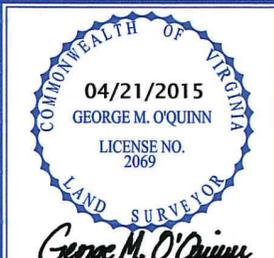
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Department of Planning & Zoning
OCT 05 2015
Zoning Evaluation Division

PLAT
SHOWING THE IMPROVEMENTS ON
LOT 76
BELMONT PARK ESTATES

(DEED BOOK 1478, PAGE 26)
FAIRFAX COUNTY, VIRGINIA
MOUNT VERNON DISTRICT
SCALE: 1" = 20'
APRIL 21, 2015
JULY 28, 2015 (REV.)
AUGUST 13, 2015 (REV.)
SEPTEMBER 30, 2015 (REV.)

I HEREBY CERTIFY THAT THE POSITIONS OF ALL THE EXISTING IMPROVEMENTS HAVE BEEN CAREFULLY ESTABLISHED BY A CURRENT FIELD SURVEY AND UNLESS SHOWN THERE ARE NO VISIBLE ENCROACHMENTS AS OF THIS DATE:

THIS PLAT IS SUBJECT TO RESTRICTIONS OF RECORD.
A TITLE REPORT WAS NOT FURNISHED.
NO CORNER MARKERS SET.



CASE NAME:
WILLIAM BERNARD FOULOUS
MARA EILEEN FOULOUS

DOMINION Surveyors Inc.
8808-H PEAR TREE VILLAGE COURT
ALEXANDRIA, VIRGINIA 22309
703-619-6555
FAX: 703-799-6412

SPECIAL PERMIT REQUEST

The applicant requests approval of a special permit to allow a reduction of certain yard requirements to permit construction of an addition 10.0 feet from a side lot line. The applicant also requests approval of a special permit to allow the reduction of minimum yard requirements based on an error in building location to permit an existing accessory storage structure (shed) to remain 0.8 feet from a side lot line, and a deck (slate patio) to remain 7.9 feet from a side lot line.

A copy of the special permit plat titled, "Plat, Showing the Improvements on, Lot 76, Belmont Park Estates," prepared by George M. O'Quinn, L.S., dated April 21, 2015, as revised through August 13, 2015, is included in the front of the staff report.

A more detailed description of the proposal is provided on page two.

A copy of the proposed development conditions, statement of justification with select file photographs, and affidavit are contained in Appendices 1-3, respectively.

CHARACTER OF THE SITE AND SURROUNDING AREA

The 21,855 square foot lot contains a split level single family dwelling with a full basement, and is accessed via an asphalt driveway from Belmont Boulevard. A brick walkway leads from the driveway to the front entrance of the dwelling. A carport is located at the end of the driveway on the southeast side of the house. An 5.0 foot high elevated deck with stairs is located at the rear of the dwelling over a brick patio. A slate patio



Figure 1: House Location
For illustrative purposes only

extends from the brick patio down to a shed with a covered storage area located in the northwest side yard. A generator is located to the southwest of the shed. A stone retaining wall 2.0 feet in height extends along the rear of the house and the slate patio and ends at the northwestern side lot line. An existing septic drainfield is located in the middle of the rear yard. A stone retaining wall 2.0 feet in height encircles a mature tree in the southwestern portion of the rear yard. A storm drainage easement 20.0 feet in width runs diagonally across the southwestern corner of the rear yard. A portion of split rail fence 4.0 feet in height is located along the rear lot line. A stone patio with a 1.0 foot high stone retaining wall is located in the southeastern corner of the rear yard. A vinyl

fence 6.0 feet in height extends from the northwestern side of the house to the side lot line and then extends along the property line to a point just northeast of the split rail fence. A wood fence 6.0 feet in height runs along the southeastern side lot line to a point just beyond the rear of the house. The portion of this fence that extends into the front yard is to be lowered to a height of no more than 4.0 feet to bring it into compliance with the Zoning Ordinance. A development condition has been proposed to ensure this is done before granting of the building permit for the garage addition.

The subject property and surrounding properties are zoned R-E. Properties to the north, northwest, and southeast are developed with single family detached dwellings. The property to the south is undeveloped vacant land also owned by the applicants.

BACKGROUND AND HISTORY

Fairfax County Tax Records indicate that the single family dwelling was constructed in 1959, purchased by the applicants in 1992, and an addition was added in 2002. The building permit history detailing the construction of the original house, the sunroom addition, and the wood deck is included in Appendix 4. The applicants have also obtained plumbing and electrical permits for a generator that provides power to the existing shed in the rear yard. The information is also included in Appendix 4.

Since the adoption of the Zoning Ordinance, no other similar special permit and variance applications have been heard by the Board of Zoning Appeals for nearby properties.

DESCRIPTION OF THE APPLICATION

The applicant is requesting approval of a special permit for a reduction of certain yard requirements to permit construction of an addition. The addition, to be located 10.0 feet from the southeastern side lot line, would require removing an existing carport and building an attached one story, one car garage. In the R-E zoning district, the required side yard is 20.0 feet. The applicant is requesting a reduction of 10.0 feet, or 50%. The applicants state that the size of the garage is specifically needed to accommodate the door swing of the vehicle to be housed in the garage as well as to allow clearance from the existing chimney.

In addition, the applicants request approval of a special permit for a reduction of minimum yard requirements based on an error in building location to permit a shed to remain 0.8 feet from the northwestern side lot line which would require a reduction of 19.2 feet, or 96% for the side yard. Per the applicants' statement of justification, the shed was constructed by the applicants in 1993 and is shown on the plat they provided for the addition constructed in 2002. It was moved to its current location, slightly further from the side property line and more to the rear of the house in 2009 during the construction of the patio and retaining walls. The applicants also request a special permit for error in building location for the patio, which was installed by the applicants, located 7.9 feet from the northwestern side lot line. Therefore, the applicants are requesting a reduction of 12.1 feet or 60.5%.

The special permit requests are summarized in the table below.

| | Structure | Yard | Minimum Yard Required | Proposed Location | Proposed Reduction | Percentage of Reduction Requested |
|-------------------------------|-----------------|------|-----------------------|-------------------|--------------------|-----------------------------------|
| Special Permit (50%) | Garage Addition | Side | 20.0 feet | 10.0 feet | 10.0 feet | 50% |
| Special Permit (Error) | Shed | Side | 20.0 feet | 0.8 feet | 19.2 feet | 96% |
| Special Permit (Error) | Deck | Side | 20.0 feet | 7.9 feet | 12.1 feet | 60.5% |

The addition would be approximately 434 square feet in size and 16.0 feet in height. Its proposed location is to the side of the existing dwelling over the footprint of the existing carport. The roofline of the addition would be lower than the existing roofline of the home, and it would be within the maximum height requirements. The proposed materials would be consistent with the materials of the existing dwelling.

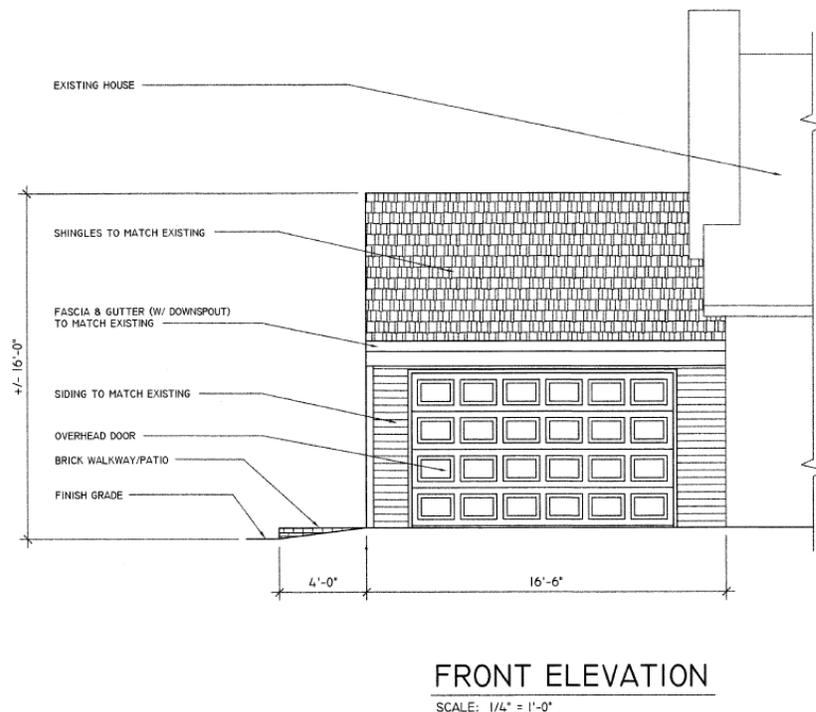


Figure 2. Proposed Elevation

ANALYSIS

Comprehensive Plan Provisions

Plan Area: IV, Lower Potomac Planning District
Planning Sector: Mason Neck Community Planning Sector (LP3)
Plan Map: .1 - .2 dwelling units per acre

Zoning District Standards

| Bulk Standards (R-E) | | |
|----------------------|--------------------|--|
| Standard | Required | Provided |
| Lot Size | 75,000 sf. | 21,855 sf.* |
| Lot Width | Interior: 200 feet | 100 feet* |
| Building Height | 35 feet max. | Existing dwelling: 21.7 feet |
| Front Yard | 50 feet | 49.7 feet** |
| Side Yard | 20 feet | Northwestern: 25.8 feet Southeastern: 13.7 to existing carport*** |
| Rear Yard | 25 feet | 124.3 feet |

* The subject parcel was created prior to the adoption of the current Zoning Ordinance; therefore it is considered a legal, buildable lot under Sect. 2-405.1 of the Zoning Ordinance.

** The house was legally constructed in 1959.

*** With approval of this special permit application.

Zoning Ordinance Requirements

- Sect. 8-006 General Special Permit Standards
- Sect. 8-903 Group 9 Standards
- Sect. 8-914 Provisions for Approval of Reduction of the Minimum Yard Requirements Based on an Error in Building Location
- Sect. 8-922 Provisions for Reduction of Certain Yard Requirements

This special permit is subject to sections of the Zoning Ordinance as referenced above, a copy of which is included in Appendix 5. Subject to development conditions, the special permit must meet these standards.

The following tables provide an overview of the standards reviewed in Sect. 8-006, Sect. 8-903, and Sect. 8-922 for the Reduction of Certain Yard requirements.

General Standards for Special Permit Uses (Sect. 8-006)

| | |
|---|---|
| <p>Standards 1 and 2 Comprehensive Plan/ Zoning District</p> | <p>The Comprehensive Plan recommends residential uses and the property is developed with a residential use. The R-E District allows a reduction in minimum required yards with a special permit approval. The proposed use is in harmony with the Comprehensive Plan and the general purpose and intent of the R-E District.</p> |
| <p>Standard 3 Adjacent Development</p> | <p>In staff's opinion, the proposed use will not hinder or discourage use or development of neighboring properties or value. The addition is proposed to be in the location of an existing carport, and of a smaller height and size than the existing house. The shed and patio have both been in their present location for several years without complaint. The rear and side yards of the property are screened by a 6.0 foot fence and abundant mature vegetation.</p> |
| <p>Standard 4 Pedestrian/Vehicular Traffic</p> | <p>No increased vehicular or pedestrian traffic is expected with this application. In staff's opinion, the proposed use is not hazardous and does not conflict with existing and anticipated traffic in the neighborhood.</p> |
| <p>Standard 5 Landscaping/Screening</p> | <p>There is mature vegetation throughout the property. Portions of 6.0 foot wood fencing are located where the shed, patio, and addition are located.</p> |
| <p>Standard 6 Open Space</p> | <p>There is no open space requirement.</p> |
| <p>Standard 7 Utilities, Drainage, Parking, and Loading</p> | <p>There are no changes proposed to the utilities, drainage, parking, or loading on the site.</p> |
| <p>Standard 8 Signs</p> | <p>No signage is proposed.</p> |

Standards for all Group 3 Uses (Sect. 8-903)

| | |
|--|--|
| <p>Standard 1 Lot Size and Bulk Regulations</p> | <p>The subject parcel was created and developed prior to the adoption of the current Zoning Ordinance; therefore it is considered a legal, buildable lot under Sect. 2-405.1 of the Zoning Ordinance. The bulk regulations for minimum required side yards are requested to be modified with the special permit application.</p> |
| <p>Standard 2 Performance Standards</p> | <p>The use will comply with the performance standards set forth in Article 14 of the Zoning Ordinance.</p> |
| <p>Standard 3 Site Plan</p> | <p>If the construction disturbs more than 2,500 square feet, the application is subject to the provisions of Article 17, Site Plans.</p> |

Standards for Reduction of Certain Yard Requirements (8-922)

| | |
|--|---|
| <p>Standard 1 Yard Requirements Subject to Special Permit</p> | <p>A. Minimum Required Yards – Yes, side yard setback of 10 feet is requested where 20 feet is required, which is 50% of the requirement. B. Pipestem lots- N/A C. Accessory Structure locations – No D. Extensions into minimum required yards- No</p> |
|--|---|

| | |
|--|--|
| <p>Standard 2 Result in a Detached Structure in a Front Yard</p> | <p>Not applicable to the subject application.</p> |
| <p>Standard 3 Contain a Principal Structure</p> | <p>The subject property contains a single family dwelling, which is an existing principal structure. The structure complied with setbacks of the District when it was established.</p> |
| <p>Standard 4 Addition No More than 150% of Existing Gross Floor Area (GFA)</p> | <p>The existing dwelling is 3,069 square feet in size. Therefore 150% of the total gross floor area could result in additions up to 4,603.5 square feet in size for a possible total square footage at build out of 7,672.5 square feet. The proposed addition is approximately 434 square feet, for a total square footage of the house with the addition of 3,503 square feet. Therefore the application meets this provision.</p> |
| <p>Standard 5 Construction of Accessory Structure Subordinate in Purpose, Scale, Use and Intent</p> | <p>There is no accessory structure proposed, so this standard is not applicable to this application.</p> |
| <p>Standard 6 Construction in Character with On-site Development</p> | <p>The statement of justification, elevation drawings, and pictures submitted indicate that the materials, size and scale of the proposed addition will be compatible with the dwelling. Staff believes that the application meets this provision.</p> |
| <p>Standard 7 Construction Harmonious with Off-site Development</p> | <p>Through the statement of justification, aerial photography, photos and architectural elevations submitted by the applicant, staff has determined that the addition is similar in nature to surrounding dwellings in the neighborhood in terms of height, scale, and architecture. Staff believes this addition will be harmonious with surrounding uses and meets this provision.</p> |
| <p>Standard 8 Construction Shall Not Adversely Impact Adjacent Properties</p> | <p>The proposed addition is to be located at the side of the dwelling in the location of an existing carport and will be subordinate to the principle structure in height and size. Screening is provided by an existing fence and mature vegetation. Therefore, staff believes that the proposed addition will not significantly impact the use and/or enjoyment of any adjacent property with regard to issues such as noise, light, air or safety. In regards to stormwater, if the construction disturbs more than 2,500 square feet, the application is subject to the provisions of Article 17, Site Plans, and any anticipated stormwater issues will be addressed at that time.</p> |
| <p>Standard 9 Minimum Required Yards is the Minimum Amount of Reduction Necessary</p> | <p>The proposed addition would be located 10 feet from the southeastern side lot line, which is 50% of a reduction of the required yard. It is proposed to be located approximately 3.7 feet closer to the side lot line than the existing carport. The applicants state that the size of the garage is needed to allow for clearance for the door swing of the vehicle to be housed in the garage as well as to accommodate the existing chimney. Staff believes that this is a minor encroachment and is the minimum amount of reduction necessary to accommodate a modest one story, one car garage.</p> <p>The subject property was platted prior to the adoption of the current Zoning Ordinance and is undersized for the current R-E zone standards. It is 100 feet wide, which is half of the size of a standards,</p> |

| | |
|--|---|
| | 200 foot wide R-E lot. If the property was located in other residential zones, it likely would not need a special permit for this garage addition. Other issues of yard determination, environmental characteristics, wells, floodplains and/or Resource Protection Areas, and historic resources are not applicable to this site. |
| Standard 10 BZA May Impose Conditions | Staff has proposed development conditions in Appendix 1. |
| Standard 11 Submission Requirements | Satisfied at time of submittal. |
| Standard 12 Architectural Elevations | Elevations are provided and proposed to be incorporated as part of the development conditions. |

CONCLUSION

The applicant is requesting to remove an existing carport and replace it with a one story, one car garage. The structure is modest in size and shorter in height than the existing house. Staff believes that it is in character with other houses and garages in the surrounding neighborhood. Staff believes that the request for a special permit for reduction in certain yard requirements to permit an addition is in conformance with the applicable Zoning Ordinance provisions with the implementation of the proposed development conditions contained in Appendix 1 of the staff report.

RECOMMENDATION

Staff recommends approval of SP 2015-MV-135 for the addition with adoption of the proposed development conditions contained in Appendix 1 of the staff report.

Staff does not make recommendations on building in error applications. However, if it is the intention of the Board of Zoning Appeals to approve the request for a special permit for error in building location to allow the shed and patio to remain, staff recommends that such approval be made subject to the development conditions contained in Appendix 1.

It should be noted that it is not the intent of staff to recommend that the Board, in adopting any conditions, relieve the applicants/owners from compliance with the provisions of any applicable ordinances, regulations, or adopted standards.

It should be further noted that the content of this report reflects the analysis and recommendations of staff; it does not reflect the position of the Board of Zoning Appeals.

The approval of this application does not interfere with, abrogate or annul any easements, covenants, or other agreements between parties, as they may apply to the property subject to the application.

APPENDICES

1. Proposed Development Conditions
2. Applicant's Statement of Justification and Select File Photos
3. Applicant's Affidavit
4. Building Permit History
5. Applicable Zoning Ordinance Provisions

PROPOSED DEVELOPMENT CONDITIONS**SP 2015-MV-135****January 6, 2016**

If it is the intent of the Board of Zoning Appeals to approve SP 2015-MV-135 located at Tax Map 118-1 ((2)) 76 to permit reduction of certain yard requirements pursuant to Section 8-922 and to permit a shed and patio to remain pursuant to Section 8-914 of the Fairfax County Zoning Ordinance, staff recommends that the Board condition the approval by requiring conformance with the following development conditions.

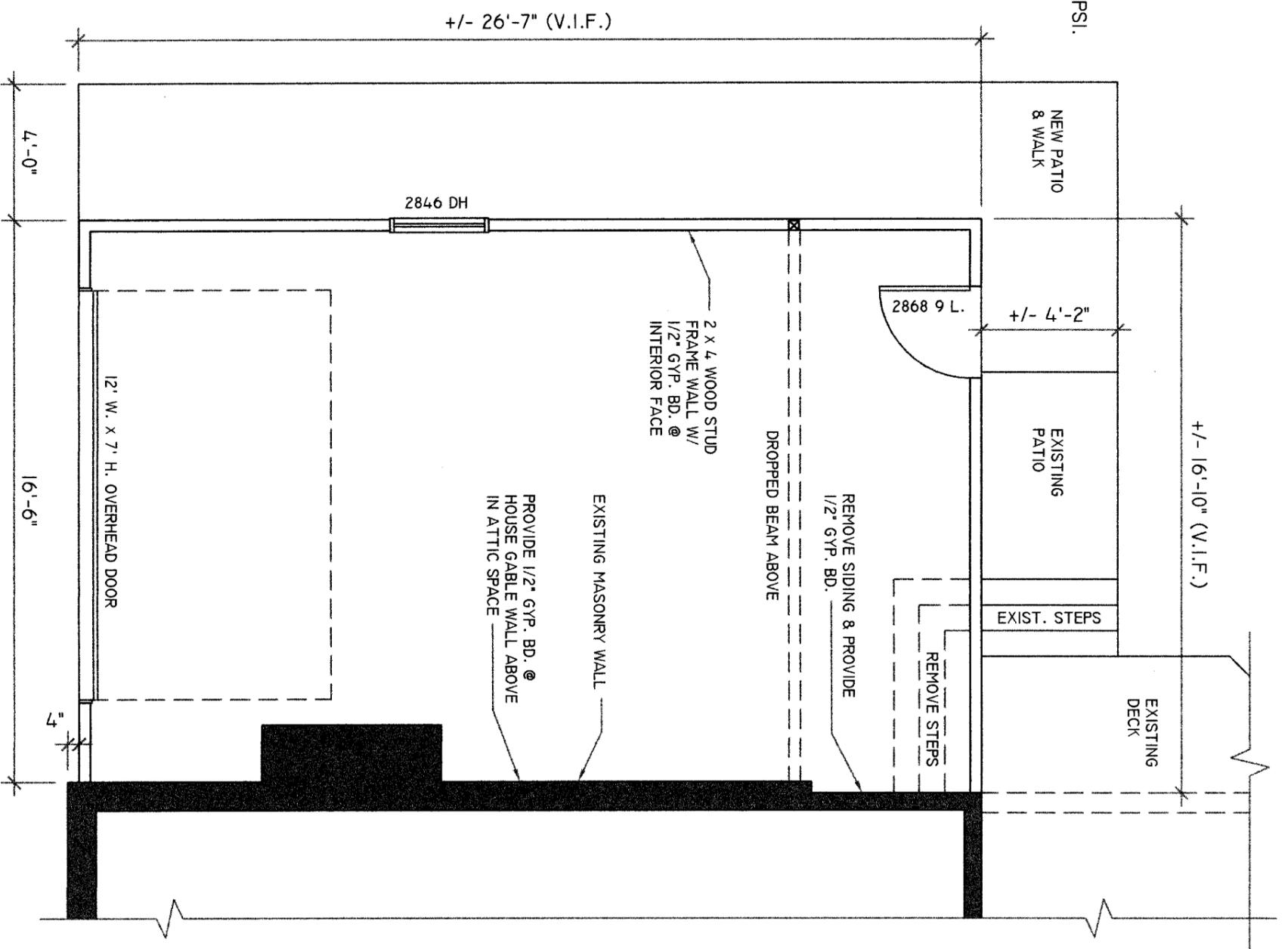
1. These conditions shall be recorded by the applicants among the land records of Fairfax County for this lot prior to the issuance of a building permit. A certified copy of the recorded conditions shall be provided to the Zoning Permit Review Branch, Department of Planning and Zoning.
2. This special permit is approved for the location and size of the accessory storage structure (shed), deck (slate patio), and the addition (434 square feet, 16 feet in height), as shown on the plat titled, "Plat, Showing the Improvements on, Lot 76, Belmont Park Estates," prepared by George M. O'Quinn, L.S., dated April 21, 2015, as revised through August 13, 2015, as submitted with this application and is not transferable to other land.
3. Pursuant to Paragraph 4 of Section 8-922 of the Zoning Ordinance, the resulting gross floor area of an addition to the existing principal structure may be up to 150 percent of the gross floor area of the dwelling that existed at the time of the first expansion (3,069 square feet existing + 4,603.5 square feet (150%) = 7,672.5 square feet maximum permitted on lot) regardless of whether such addition complies with the minimum yard requirement or is the subject of a subsequent yard reduction special permit. Subsequent additions that meet minimum yard requirements shall be permitted without an amendment to this special permit.
4. The addition shall be generally consistent with the architectural renderings and materials as shown on Attachment 1 to these conditions.
5. The fence identified as a "Frame Fence" with a height of 6.0 feet located in the front yard of the subject property shall be brought into conformance with the Zoning Ordinance prior to the granting of final approval of the building permit for the garage addition.

This approval, contingent upon the above-noted conditions, shall not relieve the applicant from compliance with the provisions of any applicable ordinances, regulations or adopted standards.

Pursuant to Sect. 8-015 of the Zoning Ordinance, this special permit shall automatically expire, without notice, 30 months after the date of approval unless construction has commenced and has been diligently prosecuted. The Board of Zoning Appeals may grant additional time to commence construction if a written request for additional time is filed with the Zoning Administrator prior to the date of expiration of the special permit. The request must specify the amount of additional time requested, the basis for the amount of time requested and an explanation of why additional time is required.

SPECIFICATIONS:

1. ALL WORK TO CONFORM TO THE 2012 VIRGINIA RESIDENTIAL CODE.
2. DESIGN LOADS ARE AS FOLLOWS:
 ROOF - 30 PSF LIVE LOAD (SNOW), 17 PSF DEAD LOAD
 WIND - 20 PSF LATERAL
 SOIL BEARING CAPACITY ASSUMED TO BE 2,000 PSF.
3. FRAMING LUMBER TO BE MIN. HEM FIR #2, FB = 1,100 PSI, E = 1,300,000 PSI. CONCRETE TO BE 3,500 PSI W/ 5 TO 7 PERCENT AIR ENTRAINMENT. DIMENSIONS SHOWN ARE BASED UPON EXISTING CONDITIONS & SHALL BE VERIFIED IN FIELD.
4. ALL FINISHES & TRIM DETAILS TO MATCH EXISTING.

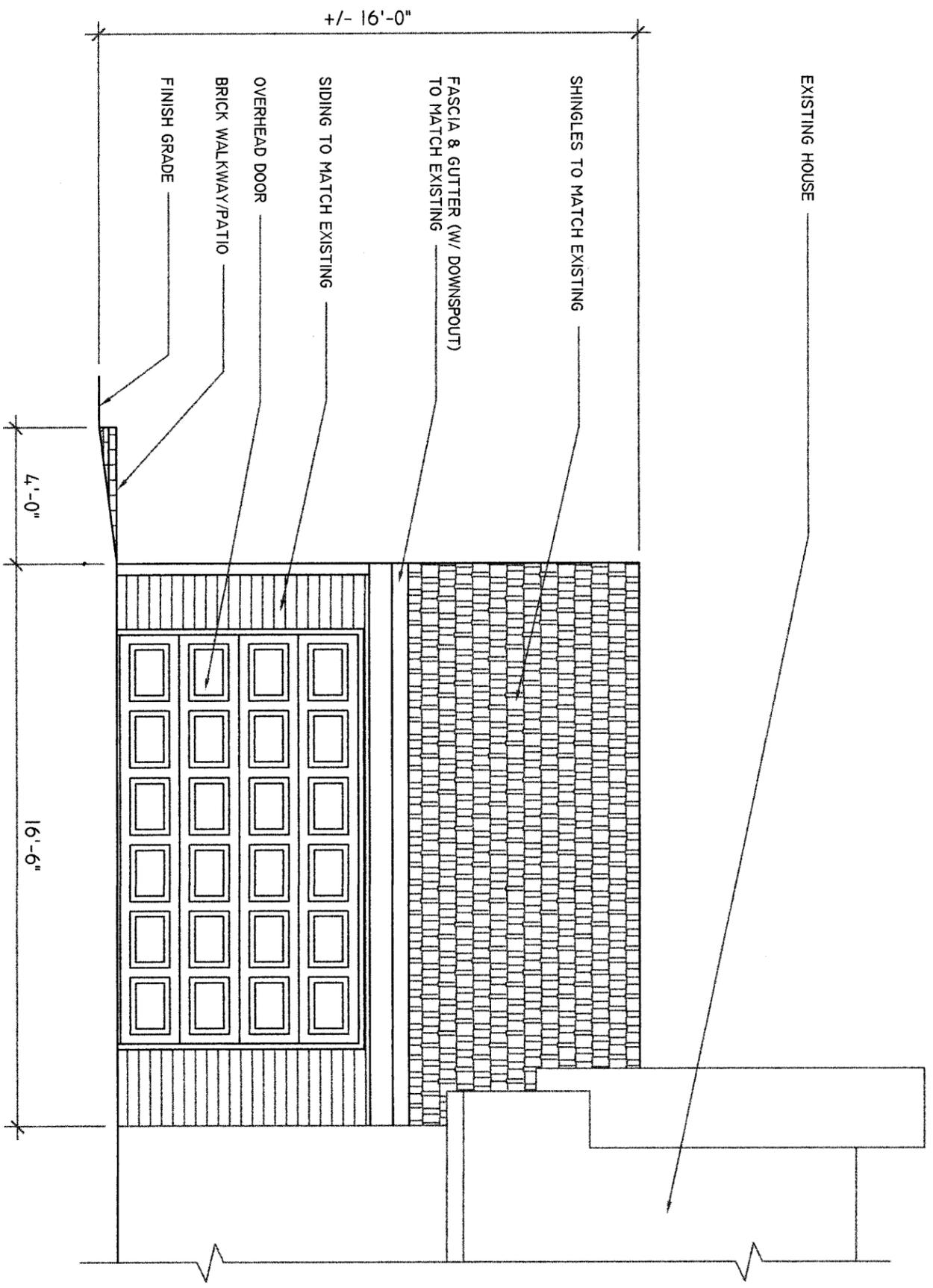


FLOOR PLAN

SCALE: 1/4" = 1'-0"

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 Department of Planning & Zoning
 JUL 21 2015
 Zoning Evaluation Division

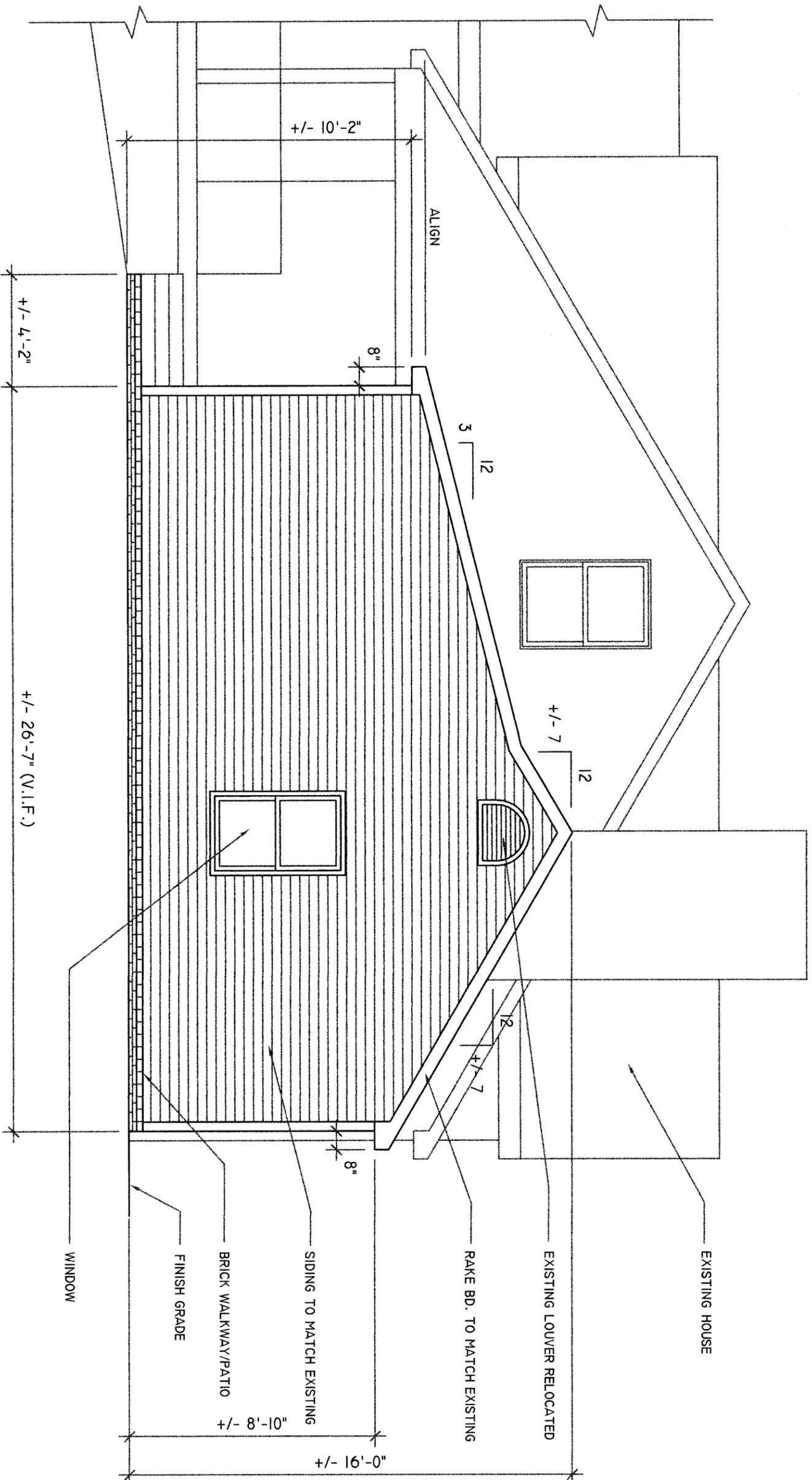
| | | | |
|---|----------|---|-----|
| ARCHITECT GARY M. ZICKAFOOSE 5830 BETHEL ROAD ALEXANDRIA, VIRGINIA 22310 (703) 960-5245 | | GARAGE ADDITION 10910 BELMONT BOULEVARD FLOOR PLAN & SPECIFICATIONS | |
| DATE: | 06-27-15 | JOB: | |
| SCALE: | | DRAWN: | GMZ |
| SHEET NO. | A-1 | | |
| | OF 4 | | |



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

| | | |
|--|----------|--|
| <p>GARAGE ADDITION 10910 BELMONT BOULEVARD</p> | | <p>ARCHITECT GARY M. ZICKAFOOSE</p> <p>5830 BETHEL ROAD ALEXANDRIA, VIRGINIA 22310 (703) 960-5245</p> |
| <p>FRONT ELEVATION</p> | | |
| DATE: | 06-27-15 | |
| SCALE: | | |
| DRAWN: | GMZ | |
| JOB: | | |
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| | OF 4 | |



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JUL 21 2015

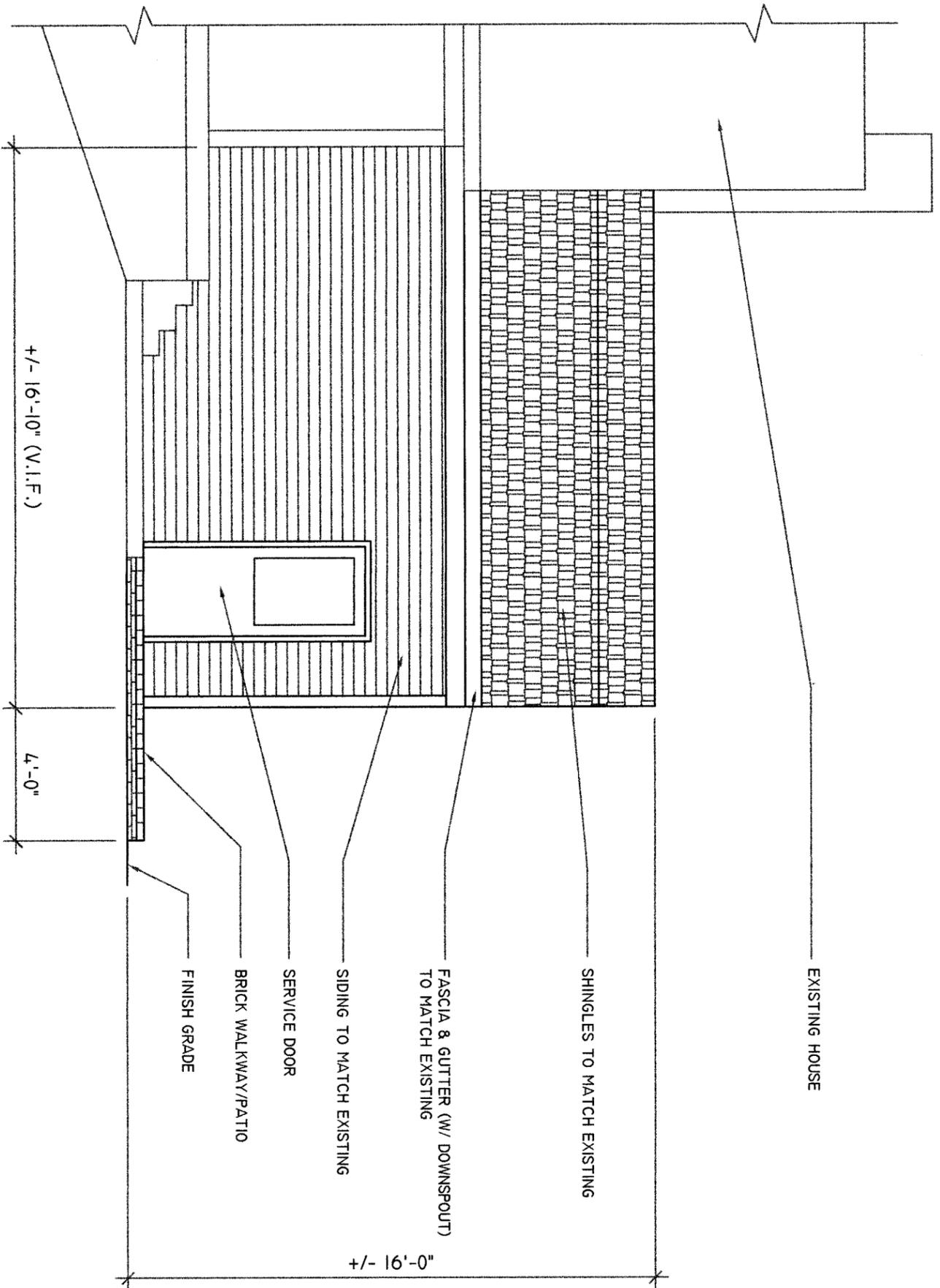
Zoning Evaluation Division

LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

| | | |
|--|------------|---|
| GARAGE ADDITION 10910 BELMONT BOULEVARD | | ARCHITECT GARY M. ZICKAFOOSE 5830 BETHEL ROAD ALEXANDRIA, VIRGINIA 22310 (703) 960-5245 |
| FRONT ELEVATION | | |
| DATE: 06-27-15 | JOB: | |
| SCALE: | DRAWN: GMZ | |
| SHEET NO. A-3 OF 4 | | |

RECEIVED
Department of Planning & Zoning
JUL 21 2015
Zoning Evaluation Division



REAR ELEVATION

SCALE: 1/4" = 1'-0"

| | | |
|----------------|--|--|
| DATE: 06-27-15 | | ARCHITECT GARY M. ZICKAFOOSE |
| SCALE: | | |
| DRAWN: GMZ | | GARAGE ADDITION 10910 BELMONT BOULEVARD |
| JOB: | | |
| SHEET NO. | | |
| A-4 OF 4 | | |

Statement of Justification
for
Special Permit Application
10910 Belmont Blvd
Lorton, Virginia

Part I Introduction

This special Permit application will allow us to replace our carport with a single car garage. Since we first bought this property in 1992 we have been gradually making improvements to the structure, function, and appeal of our home and property. In 1997 we completed a major remodel of the home that raised the roof and added additional area to the kitchen. In 2001 we added a sunroom. In 2007 we finished the attic area for use as a bedroom. In 2009 we added the brick facade to the deck piers and completed the stonewall and patio/spa area in the rear yard. Approval of this permit will allow us to continue with our desire to improve our home and property.

Part II Justification

- A. This structure will be used as a garage.
- B. There are no hours of operation as this is a private residence.
- C. There will be no patrons, etc. as this is a private residence.
- D. There will be no employees as this is a private residence and no business is operated from this property.
- E. There will be no traffic impact resulting from this structure as this is a private residence.
- F. This use will serve the residents of 10910 Belmont Blvd.
- G. The structure will conform with the existing structure at this address, which is a Cape Cod style home with a combination of brick and vinyl siding.
- H. There will be toxic or hazardous substances generated, treated, or disposed of in this use. Only hazardous materials, such as lawnmower gasoline and pesticides approved for home, use will be stored and utilized in this use, and only in retail procurable quantities.
- I. Conformance to the Provisions of All Applicable Ordinances, Regulations, Adopted Standards and Any Applicable Conditions, or, if Any Waiver, Exception or Variance is Sought
 - A. This property is located the Belmont Park Estates subdivision of Mason Neck. There is no Home Owners Association (HOA) in the subdivision, and no applicable covenants.
 - B. The proposed structure conforms with the Fairfax County Comprehensive Plan for Area IV, with Mason Neck as a large, low density, residential area.
 - C. Article 8-922 Provisions for Reduction of Certain Yard Requirements
 - 1.A. This property is in the R-E Zoning District and complies with Article 3-E02, Permitted Uses, as a Single Family Detached Dwelling. This property complies with the Article 3-E07, Bulk Regulations as follows:

Maximum Allowable Building Height - 35 feet
Current and Requested Building Height - 21.7 feet

Minimum Front Yard - 50 feet
Current and Requested Front Yard - 50 feet

Minimum Side Yard - 20 feet
Current and Requested Side Yard
Right Side - 20 feet
Left Side - Current 14.3 Feet with carport; Requested - 10 feet with garage

Minimum Rear Yard - 25 feet
Current and Requested Rear Yard - 125.3 feet

1.B. This is not a pipestem lot and is not contiguous to pipestem driveways set forth in Sect. 2-416.

1.C. (I). Approval of Reduction to Minimum Yard Requirements Based on Error in Building Location. The shed in the right rear yard is nine (9) feet high. Section 10-104 (10) (C) allows a storage structure not exceeding eight and one-half (8 1/2) feet to be located in any part of the rear yard.

a. The error is less than ten (10) percent of the measurement involved

b. The noncompliance was done in good faith. When we purchased and erected this shed in approximately 1993 our understanding was that the shed could be located on the property line. The enclosed plat shows the shed in place when we remodeled the house in 1997. In approximately 2009 we relocated the shed to its present position, closer to the rear of the lot, when we added the stone walls and patio that accommodate the spa. When we moved the shed in 2009 we did not verify the detail of the zoning requirement. We relied on our previous understanding that the shed could be placed on the property line.

c. This use does not impair the purpose or intent of this Ordinance as it is compatible with existing development in the general area and is compatible with the neighborhood in which it is located.

d. The shed is not detrimental to the use and enjoyment of other property in the immediate vicinity. The shed is screened from both of the neighbors whose property abuts our property, as depicted in the enclosed photographs. The structure at 10908 Belmont Blvd, directly behind the shed, is a garage, and there is natural screening of trees and shrubs between the garage and the shed. The dwelling located at 10912 Belmont Blvd, across our lot from the shed has its garage facing into our property. This property is also screened from view of our shed by trees and shrubs. Neither of the neighbors has ever taken issue with the placement of the shed.

e. The shed, because it is sheltered from both other property and public streets does not create an unsafe condition.

f. Compliance with the minimum yard requirement for a shed of this height would necessitate placing the shed within the septic field area of the rear yard.

g. This reduction will not result in an increase in density or floor area ratio.

1.C.(II). Approval of Reduction to Minimum Yard Requirements Based on Error in Building Location. The slate patio that encompasses portions of the right side and rear yards extends into the Minimum Required Side Yard by varying amounts, tapering from 11.4' at the maximum to 6.7' at the minimum. Section 2-412 (2) (A) (2) allows the slate patio to extend 5'

into the Minimum Side Yard, and no closer than 5' to the side lot line. The patio is no closer than 8.3' to the side lot line at any point.

- a. The error exceeds ten (10) percent of the measurement involved.
- b. The noncompliance was done in good faith as part of a self help home improvement project by the homeowner. The homeowner was unaware of the side yard requirements of Section 2-412.
- c. This use does not impair the purpose or intent of this Ordinance as it is compatible with existing development in the general area and is compatible with the neighborhood in which it is located.
- d. The patio is not detrimental to the use and enjoyment of other property in the immediate vicinity. The patio is screened from both of the neighbors whose property abuts our property, as depicted in the enclosed photographs. The structure at 10908 Belmont Blvd is a garage, and, in addition to the wood fence, vinyl fence, and shed, there is natural screening of trees and shrubs between the garage and the patio. The dwelling located at 10912 Belmont Blvd, across our lot from the patio has it's garage facing into our property. This property is also screened from view of the patio by trees, shrubs, and a wood fence. Neither of the neighbors has ever taken issue with the placement of the patio.
- e. The patio, because it is sheltered from both other property and public streets does not create an unsafe condition.
- f. Compliance with the minimum yard requirements will necessitate tear down and reconstruction of significant portions of the existing wall and patio structure, and relocation of the hot tub within the new wall/patio structure.
- g. The modification will not result in an increase in density or floor area ratio from that permitted by the applicable zoning district regulations.

1.D. The construction as approved by this permit will have no extensions into the minimum yard as set forth in Section 2-412.

2. There will be no detached accessory structure in the front yard.

3. This list contains a principal structure and use that is in compliance with the minimum yard requirements in effect when the use and structure was established.

4. The existing gross floor area of the principal structure is 3069 square feet. The maximum allowable gross floor area resulting from this addition is 4604 square feet (150% of 3069 square feet). The resulting gross floor area with this garage addition is 3503 square feet, which is ^{14.1%} of the existing Gross Floor Area.

5. The resulting gross of this addition is subordinate in purpose, scale, use and intent to the principal structure on the site.

6. The proposed development is in character with the existing on-site development in terms of the location, height, bulk and scale of the existing structure(s) on the lot. The proposed garage retains the same location as the existing carport, which it replaces. The proposed garage is the same height as the existing carport. The proposed garage, with approval of this special permit, will fall within the bulk requirement for R-E zoned side yards. The proposed garage, with a resulting Gross Floor Area increase of 14% is in character with the scale of the existing structure.

7. The surrounding off-site uses and structures consist of detached single family residences, attached and detached garages, and sheds. The off-site structures, and the proposed garage, meet the minimum yard, height, and bulk requirements as set forth for R-E zoned property. The proposed garage and the surrounding off-site structures are similar in scale. There is no change in topography, vegetation, or trees as a result of the proposed structure. The photographs included with this application serve to visually depict that the proposed development is harmonious with the surrounding off-site uses and structures as noted.

8. There will be no adverse impact to the use and/or enjoyment of any adjacent property. The proposed development will make no changes to existing noise level as the proposed garage will neither add new usage or increase the amount of existing usage over the structure being replaced. There will be no change in existing light factors as the height of the proposed garage is the same as the existing carport and there will be no change in the trees, vegetation, or fence between the proposed garage and the adjoining property. Any changes in air flow by the creation of this proposed garage versus the existing carport will not impact the adjacent property because there will be no change to the existing vegetation, trees, and fence between the proposed garage and the adjacent property. There will be no safety, erosion, or storm water runoff issues relative to the adjacent property because there will be no change to the existing vegetation, trees, or fence between the garage and the adjacent property, and the adjacent lot is at a higher elevation than that of the proposed garage.

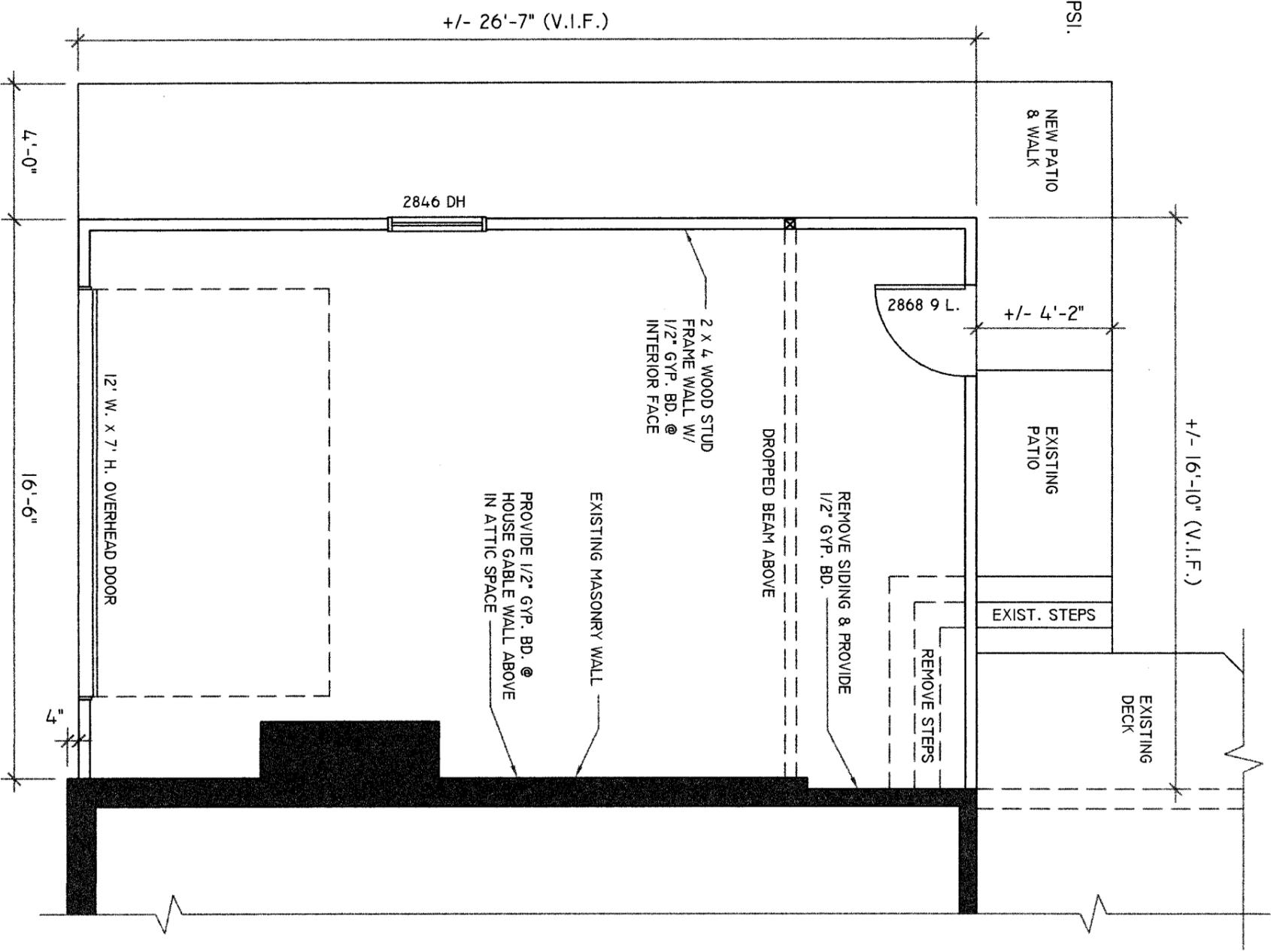
9. The proposed structure represents the minimum amount of reduction to accommodate the proposed structure on the lot. The proposed garage accommodates the layout of the existing structure as it replaces the carport within the existing layout. The proposed garage is oriented identically to the existing structures on the lot, parallel to the lot lines. The garage cannot be located anywhere else on the lot and be in compliance with minimum yard requirements without being located over the septic field or inside the minimum front or rear yard. The slope of the terrain inside the minimum rear yard, a 5 foot change with the 25 feet (20%) precludes the practicality of construction within that area. There are no flood plains or Resource Protection Areas on the lot. No existing vegetation or trees will be disturbed by the proposed structure. The property is served by public water. There is a 20 foot Storm Drainage Easement in the Rear yard. The property does not include any historic resources. The proposed structure best accommodates the layout of the existing principal structure and carport insofar as pedestrian and vehicular access. The width of the proposed structure is necessitated by the combination of the door swing of the vehicle within the garage, the width of the chimney, and the buildout of the finished wall. The vehicle that is housed in the proposed garage requires 161 inches of width for the passenger doors to be fully opened. The chimney extends 21 inches into the carport/garage. The buildout of the finished wall is 4 inches. The total of these three dimensions is 186 inches, or 15.5 feet. The proposed garage is 16.5 feet. This dimension leaves .5 feet of clearance beyond each of the fully opened car doors.

10. Copies of a plat showing both the existing structure and the proposed structure are enclosed with this application.

11. Copies of architectural depictions of the proposed structure are enclosed with this application.

SPECIFICATIONS:

1. ALL WORK TO CONFORM TO THE 2012 VIRGINIA RESIDENTIAL CODE.
2. DESIGN LOADS ARE AS FOLLOWS:
 ROOF - 30 PSF LIVE LOAD (SNOW), 17 PSF DEAD LOAD
 WIND - 20 PSF LATERAL
 SOIL BEARING CAPACITY ASSUMED TO BE 2,000 PSF.
3. FRAMING LUMBER TO BE MIN. HEM FIR #2, FB = 1,100 PSI, E = 1,300,000 PSI. CONCRETE TO BE 3,500 PSI W/ 5 TO 7 PERCENT AIR ENTRAINMENT. DIMENSIONS SHOWN ARE BASED UPON EXISTING CONDITIONS & SHALL BE VERIFIED IN FIELD.
4. ALL FINISHES & TRIM DETAILS TO MATCH EXISTING.

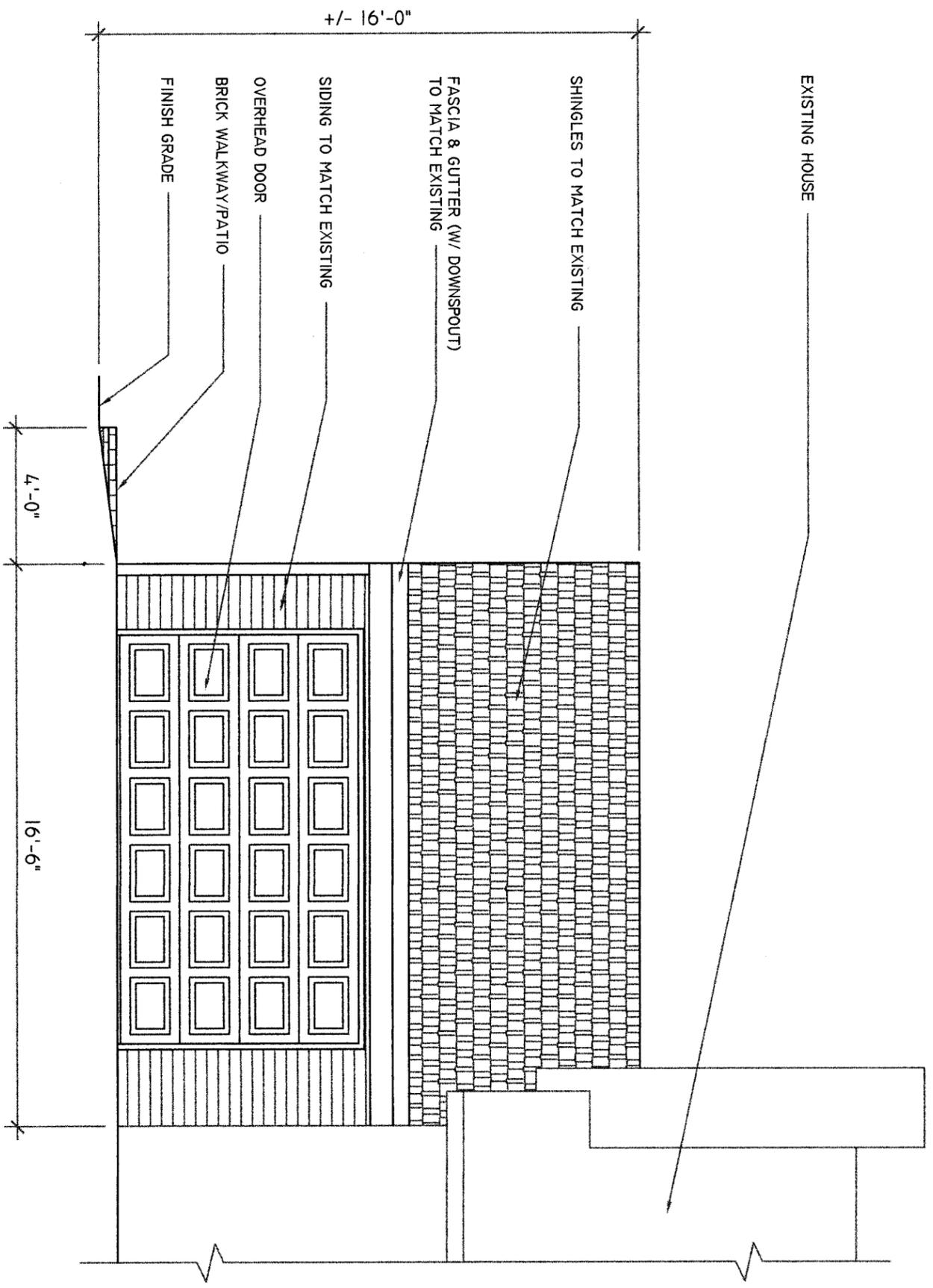


FLOOR PLAN

SCALE: 1/4" = 1'-0"

RECEIVED
 Department of Planning & Zoning
 JUL 21 2015
 Zoning Evaluation Division

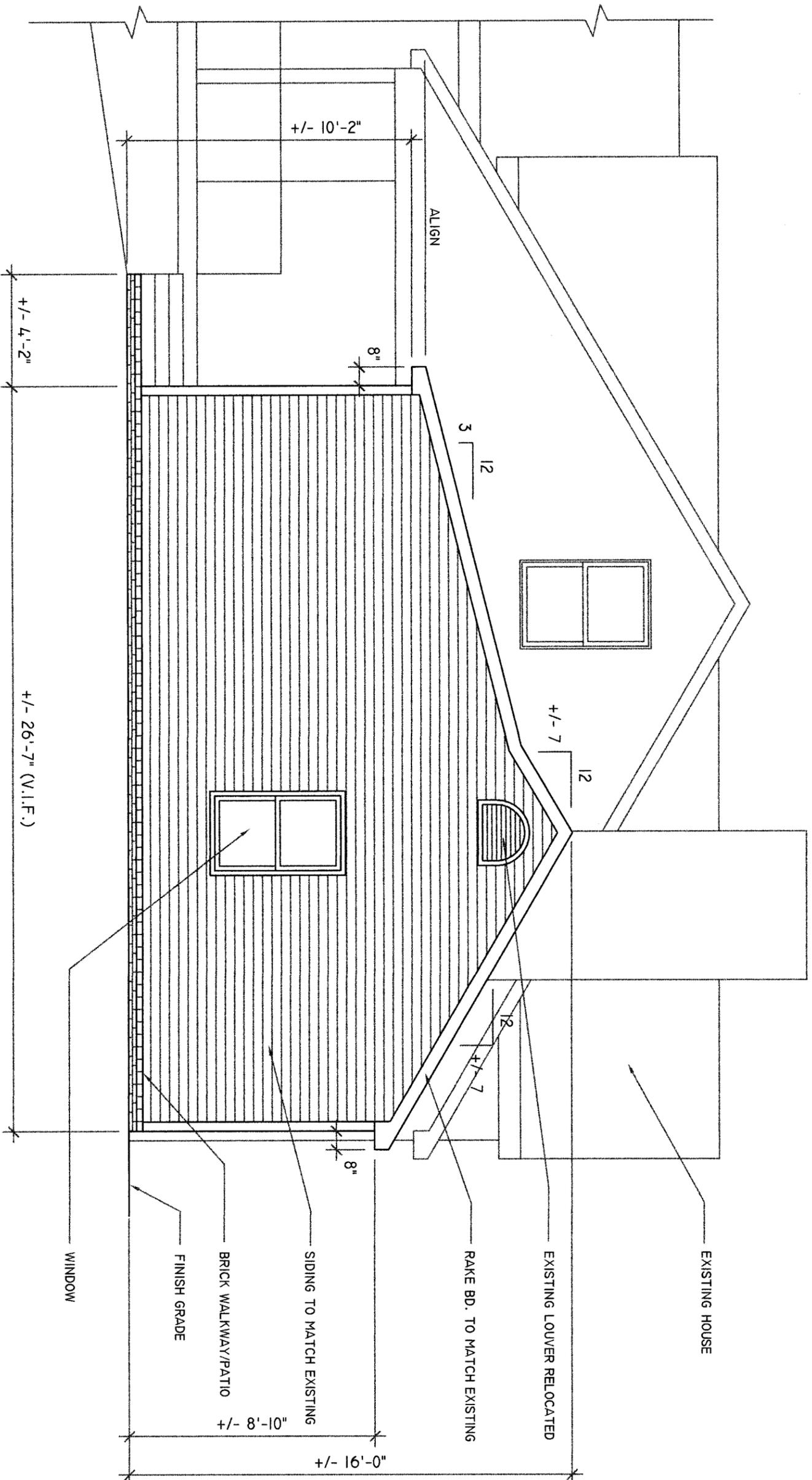
| | | |
|---|------------|--|
| ARCHITECT GARY M. ZICKAFOOSE 5830 BETHEL ROAD ALEXANDRIA, VIRGINIA 22310 (703) 960-5245 | | GARAGE ADDITION 10910 BELMONT BOULEVARD FLOOR PLAN & SPECIFICATIONS |
| DATE: | 06-27-15 | |
| SCALE: | | |
| DRAWN: | GMZ | |
| JOB: | | |
| SHEET NO. | A-1 | OF 4 |



FRONT ELEVATION

SCALE: 1/4" = 1'-0"

| | | |
|--|--|---|
| DATE: 06-27-15 SCALE: DRAWN: GMZ JOB: | GARAGE ADDITION 10910 BELMONT BOULEVARD | ARCHITECT GARY M. ZICKAFOOSE 5830 BETHEL ROAD ALEXANDRIA, VIRGINIA 22310 (703) 960-5245 |
| | FRONT ELEVATION | |
| SHEET NO. A-2 OF 4 | | |



RECEIVED
 Department of Planning & Zoning

JUL 21 2015

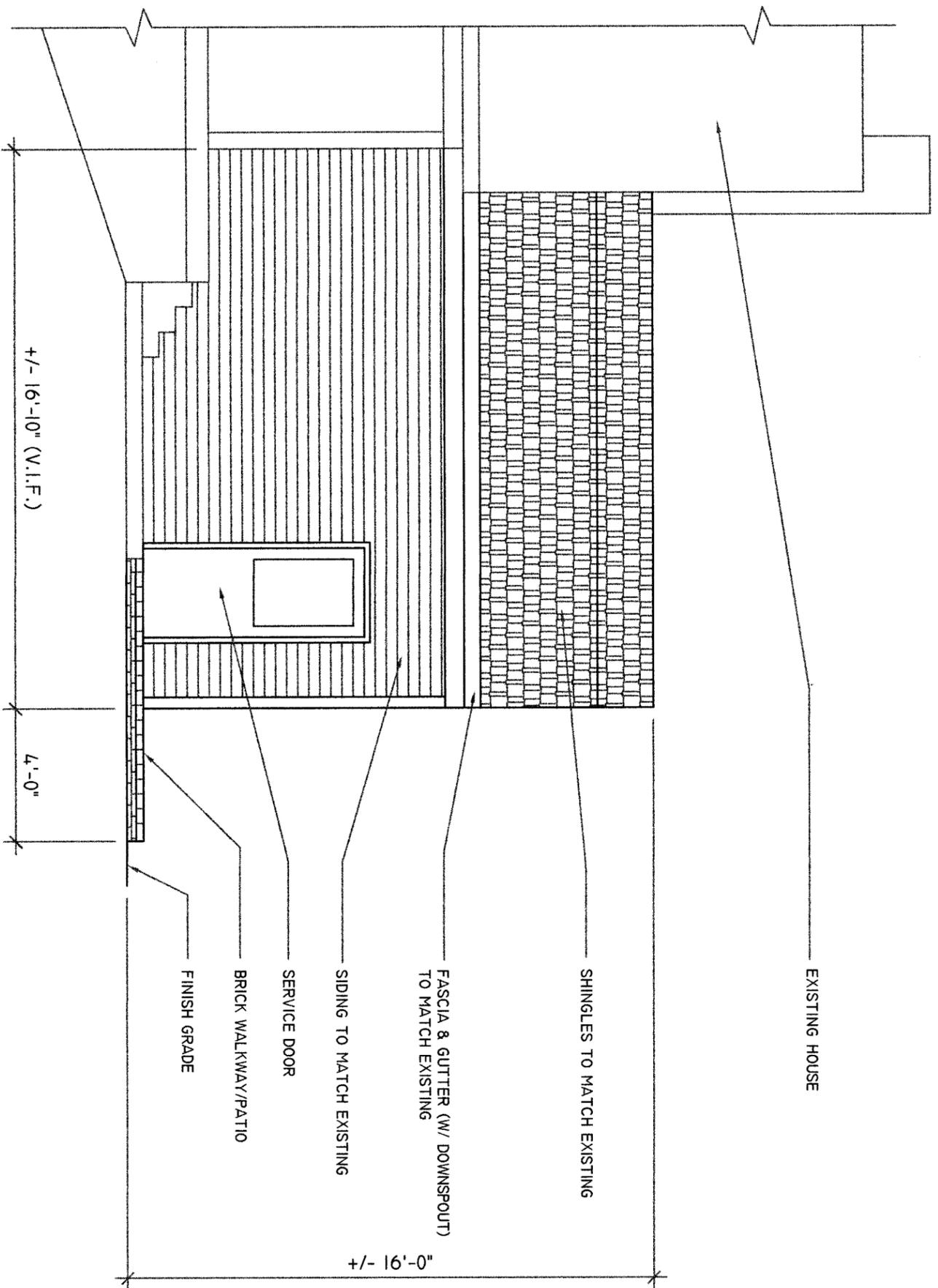
Zoning Evaluation Division

LEFT SIDE ELEVATION

SCALE: 1/4" = 1'-0"

| | | |
|--|------------|---|
| GARAGE ADDITION 10910 BELMONT BOULEVARD | | ARCHITECT GARY M. ZICKAFOOSE 5830 BETHEL ROAD ALEXANDRIA, VIRGINIA 22310 (703) 960-5245 |
| FRONT ELEVATION | | |
| DATE: 06-27-15 | JOB: | |
| SCALE: | DRAWN: GMZ | |
| SHEET NO. | | |
| A-3 OF 4 | | |

RECEIVED
Department of Planning & Zoning
JUL 21 2015
Zoning Evaluation Division



REAR ELEVATION

SCALE: 1/4" = 1'-0"

| | | |
|---------------------------------|--|---|
| DATE: 06-27-15 | | ARCHITECT GARY M. ZICKAFOOSE 5830 BETHEL ROAD ALEXANDRIA, VIRGINIA 22310 (703) 960-5245 |
| SCALE: | | |
| DRAWN: GMZ | | GARAGE ADDITION 10910 BELMONT BOULEVARD FRONT ELEVATION |
| JOB: | | |
| SHEET NO. A-4 OF 4 | | |



10910 Belmont Blvd as seen from Belmont Blvd
5/28/2015





Right Rear Yard Shed
8/11/2015



Right Rear Yard Wall and Patio
8/11/2015



Right Rear Yard Patio, Wall, and Shed
8/11/2015





10910 Belmont Blvd as seen from Rear Yard
5/28/2015



10908 Belmont Blvd as seen from 10910 Belmont Blvd Rear Yard
5/28/2015



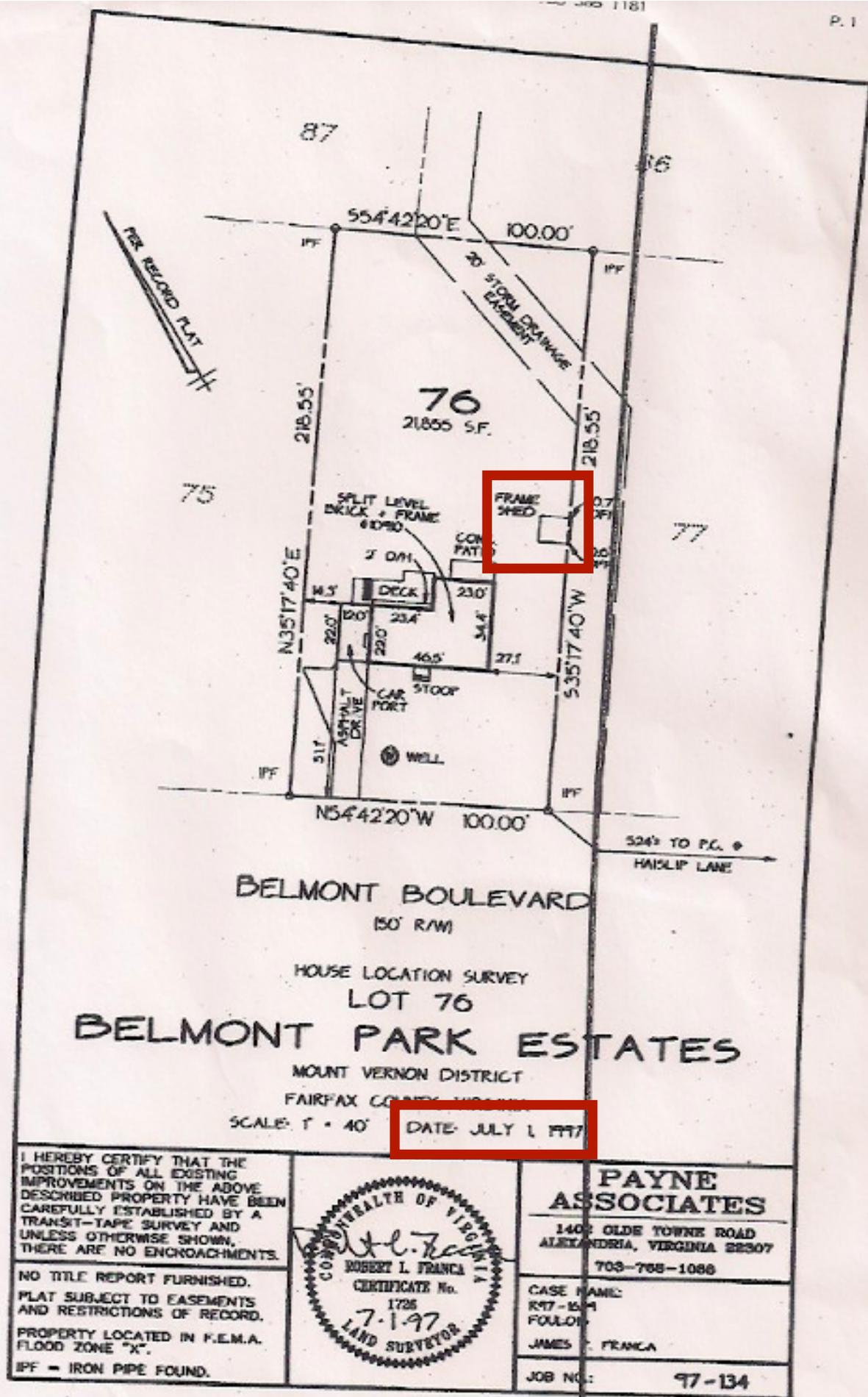
10908 Belmont Blvd as seen from 10910 Belmont Blvd Rear Yard
5/28/2015



<image005.jpg><image006.jpg><image007.jpg><image008.jpg>









**Left Rear Yard Fence and Wall
8/11/2015**



Rear Yard Wall
8/11/2015



Center Rear Yard Stone Wall
8/11/2015



Right Rear Yard Fence
8/11/2015



Right Rear Yard Fence and Shed
8/11/2015

Application No.(s): SP 2015-MV-135
(county-assigned application number(s), to be entered by County Staff)

SPECIAL PERMIT/VARIANCE AFFIDAVIT

DATE: July 23, 2015 131008
(enter date affidavit is notarized)

I, William B. Foulois, Trustee, do hereby state that I am an
(enter name of applicant or authorized agent)

(check one) applicant
 applicant's authorized agent listed in Par. 1(a) below

and that, to the best of my knowledge and belief, the following is true:

1(a). The following constitutes a listing of the names and addresses of all **APPLICANTS, TITLE OWNERS, CONTRACT PURCHASERS, and LESSEES** of the land described in the application,* and, if any of the foregoing is a **TRUSTEE,**** each **BENEFICIARY** of such trust, and all **ATTORNEYS** and **REAL ESTATE BROKERS**, and all **AGENTS** who have acted on behalf of any of the foregoing with respect to the application:

(NOTE: All relationships to the application listed above in **BOLD** print must be disclosed. Multiple relationships may be listed together, e.g., **Attorney/Agent, Contract Purchaser/Lessee, Applicant/Title Owner**, etc. For a multiparcel application, list the Tax Map Number(s) of the parcel(s) for each owner(s) in the Relationship column.)

| NAME (enter first name, middle initial, and last name) | ADDRESS (enter number, street, city, state, and zip code) | RELATIONSHIP(S) (enter applicable relationships listed in BOLD above) |
|---|---|--|
| William B. Foulois, Trustee, The William B. Foulois Trust, for the benefit of Mara E. Foulois | 10910 Belmont Blvd, Mason Neck, VA 22079 | Applicant/Title Owner |
| Mara E. Foulois, Trustee, The Mara E. Foulois Trust, for the benefit of William B. Foulois | 10910 Belmont Blvd, Mason Neck, VA 22079 | Applicant/Title Owner |

(check if applicable) There are more relationships to be listed and Par. 1(a) is continued on a "Special Permit/Variance Attachment to Par. 1(a)" form.

* In the case of a condominium, the title owner, contract purchaser, or lessee of 10% or more of the units in the condominium.

** List as follows: Name of trustee, Trustee for (name of trust, if applicable), for the benefit of: (state name of each beneficiary).

Application No.(s): _____
(county-assigned application number(s), to be entered by County Staff)

SPECIAL PERMIT/VARIANCE AFFIDAVIT

DATE: July 23, 2015
(enter date affidavit is notarized)

131008

1(b). The following constitutes a listing*** of the **SHAREHOLDERS** of all corporations disclosed in this affidavit who own 10% or more of any class of stock issued by said corporation, and where such corporation has 10 or less shareholders, a listing of all of the shareholders:

(NOTE: Include **SOLE PROPRIETORSHIPS, LIMITED LIABILITY COMPANIES, and REAL ESTATE INVESTMENT TRUSTS** herein.)

CORPORATION INFORMATION

NAME & ADDRESS OF CORPORATION: (enter complete name, number, street, city, state, and zip code)

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below:

NAMES OF SHAREHOLDERS: (enter first name, middle initial, and last name)

(check if applicable) There is more corporation information and Par. 1(b) is continued on a "Special Permit/Variance Attachment 1(b)" form.

*** All listings which include partnerships, corporations, or trusts, to include the names of beneficiaries, must be broken down successively until (a) only individual persons are listed or (b) the listing for a corporation having more than 10 shareholders has no shareholder owning 10% or more of any class of stock. ***In the case of an APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE* of the land that is a partnership, corporation, or trust, such successive breakdown must include a listing and further breakdown of all of its partners, of its shareholders as required above, and of beneficiaries of any trusts. Such successive breakdown must also include breakdowns of any partnership, corporation, or trust owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER or LESSEE* of the land. Limited liability companies and real estate investment trusts and their equivalents are treated as corporations, with members being deemed the equivalent of shareholders; managing members shall also be listed.*** Use footnote numbers to designate partnerships or corporations, which have further listings on an attachment page, and reference the same footnote numbers on the attachment page.

Application No.(s): _____
(county-assigned application number(s), to be entered by County Staff)

SPECIAL PERMIT/VARIANCE AFFIDAVIT

DATE: July 23, 2015
(enter date affidavit is notarized)

131008

1(c). The following constitutes a listing*** of all of the **PARTNERS**, both **GENERAL** and **LIMITED**, in any partnership disclosed in this affidavit:

PARTNERSHIP INFORMATION

PARTNERSHIP NAME & ADDRESS: (enter complete name, number, street, city, state, and zip code)

(check if applicable) The above-listed partnership has no limited partners.

NAMES AND TITLE OF THE PARTNERS (enter first name, middle initial, last name, and title, e.g. **General Partner, Limited Partner, or General and Limited Partner**)

(check if applicable) There is more partnership information and Par. 1(c) is continued on a "Special Permit/Variance Attachment to Par. 1(c)" form.

*** All listings which include partnerships, corporations, or trusts, to include the names of beneficiaries, must be broken down successively until: (a) only individual persons are listed or (b) the listing for a corporation having more than 10 shareholders has no shareholder owning 10% or more of any class of stock. *In the case of an APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE* of the land that is a partnership, corporation, or trust, such successive breakdown must include a listing and further breakdown of all of its partners, of its shareholders as required above, and of beneficiaries of any trusts. Such successive breakdown must also include breakdowns of any partnership, corporation, or trust owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE* of the land. Limited liability companies and real estate investment trusts and their equivalents are treated as corporations, with members being deemed the equivalent of shareholders; managing members shall also be listed.* Use footnote numbers to designate partnerships or corporations, which have further listings on an attachment page, and reference the same footnote numbers on the attachment page.

Application No.(s): _____
(county-assigned application number(s), to be entered by County Staff)

SPECIAL PERMIT/VARIANCE AFFIDAVIT

DATE: July 23, 2015
(enter date affidavit is notarized)

131008

1(d). One of the following boxes **must** be checked:

In addition to the names listed in Paragraphs 1(a), 1(b), and 1(c) above, the following is a listing of any and all other individuals who own in the aggregate (directly and as a shareholder, partner, and beneficiary of a trust) 10% or more of the **APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE*** of the land:

Other than the names listed in Paragraphs 1(a), 1(b), and 1(c) above, no individual owns in the aggregate (directly and as a shareholder, partner, and beneficiary of a trust) 10% or more of the **APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE*** of the land.

2. That no member of the Fairfax County Board of Zoning Appeals, Planning Commission, or any member of his or her immediate household owns or has any financial interest in the subject land either individually, by ownership of stock in a corporation owning such land, or through an interest in a partnership owning such land.

EXCEPT AS FOLLOWS: (NOTE: If answer is none, enter "NONE" on the line below.)

NONE

(check if applicable) There are more interests to be listed and Par. 2 is continued on a "Special Permit/Variance Attachment to Par. 2" form.

SPECIAL PERMIT/VARIANCE AFFIDAVIT

DATE: July 23, 2015 131008
(enter date affidavit is notarized)

3. That within the twelve-month period prior to the public hearing of this application, no member of the Fairfax County Board of Zoning Appeals, Planning Commission, or any member of his or her immediate household, either directly or by way of partnership in which any of them is a partner, employee, agent, or attorney, or through a partner of any of them, or through a corporation in which any of them is an officer, director, employee, agent, or attorney or holds 10% or more of the outstanding bonds or shares of stock of a particular class, has, or has had any business or financial relationship, other than any ordinary depositor or customer relationship with or by a retail establishment, public utility, or bank, including any gift or donation having a value of more than \$100, singularly or in the aggregate, with any of those listed in Par. 1 above.

EXCEPT AS FOLLOWS: (NOTE: If answer is none, enter "NONE" on line below.)

NONE

(NOTE: Business or financial relationships of the type described in this paragraph that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings. See Par. 4 below.)

(check if applicable) There are more disclosures to be listed and Par. 3 is continued on a "Special Permit/Variance Attachment to Par. 3" form.

4. **That the information contained in this affidavit is complete, that all partnerships, corporations, and trusts owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE* of the land have been listed and broken down, and that prior to each and every public hearing on this matter, I will reexamine this affidavit and provide any changed or supplemental information, including business or financial relationships of the type described in Paragraph 3 above, that arise on or after the date of this application.**

WITNESS the following signature:

(check one) William B. Foulis
 Applicant Applicant's Authorized Agent

William B. Foulis, Trustee
(type or print first name, middle initial, last name, and title of signee)

Subscribed and sworn to before me this 23rd day of July 2015 in the State/Comm. of VIRGINIA, County/City of FAIRFAX.

[Signature]
Notary Public

My commission expires: 08/31/2018



AAHD EL BACHIRI
NOTARY PUBLIC
COMMONWEALTH OF VIRGINIA
MY COMMISSION EXPIRES AUG. 31, 2018
COMMISSION # 7597619

BUILDING PERMIT AMENDMENT APPLICATION

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 FAIRFAX COUNTY, VIRGINIA
 PERMIT APPLICATION CENTER
 12055 Government Center Parkway, 2nd Floor
 Fairfax, Virginia 22035-5504
 Phone: (703) 222-0801

(PLEASE PRINT OR TYPE)

JOB LOCATION: PERMIT # 0117230720
 ADDRESS 10910 BELMONT BLVD
 LOT # 76 BUILDING _____
 FLOOR _____ SUITE _____
 SUBDIVISION BELMONT PARK ESTATES

OWNER INFORMATION: OWNER TENANT
 NAME MR. & MRS. BILL FOLBIS
 ADDRESS 10910 BELMONT BLVD
 CITY LOFTON STATE VA ZIP 22075
 TELEPHONE 703-550-2385

APPLICANT: Martin B. Jarvis

ESTIMATED COST OF CONSTRUCTION \$6,000.
 (Cost of change, not total construction costs)

- AMENDMENT REQUESTED:**
- CHANGE HOUSE TYPE FROM _____ TO _____
 - RELOCATE HOUSE ON LOT
 - FINISH BASEMENT
 - ADD DECK/PORCH/SUNROOM
 - ADD GARAGE
 - ADD CARPORT
 - DELETE _____
 - CHANGE MECHANICS' LIEN INFORMATION:
 DESIGNATED MECHANICS' LIEN AGENT:
 NAME: _____
 ADDRESS: _____

NONE DESIGNATED: PHONE: _____
 OTHER: (PLEASE SPECIFY)
ADD STAIR ROOM
SUN ROOM INTO EXISTING
BREAKFAST NOOK AS PER
PLAN

AMENDED PERMIT # 0117230721
 DO NOT WRITE IN THIS SPACE - COUNTY USE ONLY
 PLAN # W-01-02743
 TAX MAP # 118-1-1021/0076

| ROUTING | DATE | APPROVED BY: |
|-----------------|---------------|--------------|
| ZONING | <u>7-5-01</u> | <u>WJ</u> |
| SITE PERMITS | | |
| SANITATION | | |
| HEALTH DEPT. | | |
| BUILDING REVIEW | <u>7-5-01</u> | <u>YJC</u> |

FEE \$ 20.00
 APPROVED FOR ISSUANCE OF AMENDMENT
 BY S. J. DATE 7/5/01

ZONING REVIEW: _____ ZONING CLASS _____

| | |
|--------------|----------------------------|
| YARDS: | REMARKS: |
| FRONT _____ | <u>Relocate</u> |
| FRONT _____ | <u>stairs from</u> |
| L SIDE _____ | <u>East breakfast nook</u> |
| R SIDE _____ | <u>to sun room.</u> |
| REAR _____ | <u>No change in</u> |
| | <u>foot print</u> |

GRADING AND DRAINAGE REVIEW

Soils: # _____ A B C
 AREA TO BE DISTURBED (Total Sq Ft) _____
 ADD'L IMPERVIOUS AREA (Added sq. ft) _____

STAMPS:

(SEE REVERSE SIDE OF APPLICATION)

REMARKS:
plot not veg'd
as attached

Any and all information and/or stamps on the reverse side of this form are a part of this application and must be complied with. I hereby certify that I have authority of the owner to make this application for amendment, that the information is complete and correct, and that the construction and/or use will conform to the building code, the Zoning Ordinance and other applicable laws and regulations which relate to the property.

Martin B. Jarvis 7/4/01
 Signature of Owner, or Agent Date

Notary Signature _____ Date _____
 (Notarization required if owner is not present at time of application)

MARTIN B. JARVIS, JR
 Printed Name and Title

BUILDING PERMIT APPLICATION

FAIRFAX COUNTY OFFICE OF BUILDING CODE SERVICES
PERMIT APPLICATION CENTER

13455 Commonwealth Parkway, 1st Floor 703-222-4444
Fairfax, Virginia 22035-5091

PERMIT # 01122B 0720

FOR INSPECTIONS CALL 703-222-0455 (see back for more information)

DO NOT WRITE IN THIS SPACE - COUNTY/USE ONLY
PLAN # 01-01-02743
TAX MAP # 18-1-02-0016

| ROUTING | DATE | APPROVED BY |
|-----------------|---------|-------------|
| LICENSING | | |
| ZONING | | |
| SITE PERMITS | 5/23/01 | KEV |
| HEALTH DEPT | 5-29-01 | KEV |
| BUILDING REVIEW | 5-29-01 | KEV |
| SANITATION | | |
| FIRE MARSHAL | | |
| ASBESTOS | | |
| PROFFERS | | |

FEE
FILING FEE
AMOUNT DUE = 50.00

BUILDING PLAN REVIEW
REVIEWER # OF HOURS
REVISION FEES \$
FIRE MARSHAL FEES \$
FIXTURE UNITS PLAN LOC: J R

APPROVED FOR ISSUANCE OF BUILDING PERMIT
(LOG OUT)
BY S. G. DATE 5/26/01

ZONING REVIEW ZONING CLASS RE
USE SFD-57
ZONING CASE #
GROSS FLOOR AREA OF TENANT SPACE 76

| | | | | |
|------------------|---------|------------------------------|-----------------------------|----------------------------|
| YARDS: | GARAGE | 1 <input type="checkbox"/> | 2 <input type="checkbox"/> | 3 <input type="checkbox"/> |
| FRONT | OPTIONS | YES <input type="checkbox"/> | NO <input type="checkbox"/> | |
| FRONT <u>NE</u> | REMARKS | <u>Build Sun Porch</u> | | |
| L SIDE <u>L</u> | | <u>w/ stairs</u> | | |
| R SIDE <u>L</u> | | | | |
| REAR <u>100T</u> | | | | |

GRADING AND DRAINAGE REVIEW
SOILS # 44 A B C
HISTORICAL DISTRICT
AREA TO BE DISTURBED (TOTAL SQ FT) 412.20
ADD'L IMPERVIOUS AREA (ADDED SQ FT) 179.20
PLAN # APPR. DATE

STAMPS
ESMT, FF, 2500, EX MATC
(See reverse side of application) OK

REMARKS
10 Piles installed
NOT APPROVED BY THE HEALTH DEPT
OK now w/ HEALTH DEPT. (KEV)

FILL IN ALL APPROPRIATE INFORMATION IN THIS COLUMN
(PLEASE PRINT OR TYPE)

JOB LOCATION
ADDRESS 10910 Belmont Blvd.
LOT # 70 BUILDING
FLOOR SUITE
SUBDIVISION Belmont Park Est. 7
TENANT'S NAME

OWNER INFORMATION OWNER TENANT
NAME Mr & Mrs. Bill Fowler
ADDRESS 10910 Belmont
CITY Lorton STATE VA ZIP 22079
TELEPHONE 703-550-2385

CONTRACTOR INFORMATION SAME AS OWNER
CONTRACTORS MUST PROVIDE THE FOLLOWING:
COMPANY NAME JARVIS BUILDERS INC.
ADDRESS 10808 Harky Rd
CITY Lorton STATE VA ZIP 22079
TELEPHONE 703-550-9199
STATE CONTRACTORS LICENSE # 2705-0380990
COUNTY BPOL # 212932

APPLICANT Martin Jarvis

DESCRIPTION OF WORK
Sun Porch as per
Plans / NO Heater/Cooling

HOUSE TYPE SFD
ESTIMATED COST OF CONSTRUCTION 12,000.
BLDG AREA (SQ FT OF FOOTPRINT) 148 #
USE GROUP OF BUILDING R4
TYPE OF CONSTRUCTION SB
SEWER SERVICE PUBLIC SEPTIC OTHER
WATER SERVICE PUBLIC WELL OTHER

DESIGNATED MECHANICS' LIEN AGENT
(Residential Construction Only)
NAME
ADDRESS

NONE DESIGNATED PHONE

| CHARACTERISTICS FOR NEW SFD, TH, APT & CONDOS | |
|---|----------------|
| # KITCHENS | EXTER. WALLS |
| # BATHS | INTER. WALLS |
| # HALF BATHS | ROOF MATERIAL |
| # BEDROOMS | FLOOR MATERIAL |
| # OF ROOMS | FIN. BASEMENT |
| # STORIES | HEATING FUEL |
| BUILDING HEIGHT <u>24</u> | HEATING SYSTEM |
| BUILDING AREA | # FIREPLACES |
| BASEMENT | |

Any and all information and/or stamps on the reverse side of this form are a part of this application and must be complied with. I hereby certify that I have authority of the owner to make this application, that the information is complete and correct, and that the construction and/or use will conform to the building code, the zoning ordinance and other applicable laws and regulations which relate to the property.

Martin Jarvis 5/23/01
Signature of Owner or Agent Date
MARTIN B. JARVIS, JR.
Printed Name and Title

(Notarization of signature is required if owner is listed as the contractor and is not present at time of application)

NOTARIZATION (if required)
State (or territory or district) of _____
County (or city) of _____, to wit: I, _____, a Notary Public in the State and County aforesaid, do certify that _____ whose name is signed to this application, appeared before me in the State and County aforesaid and executed this affidavit. Given under my hand this _____ day of _____, 20____. My commission expires the _____ day of _____, 20____.
(Notary Signature)

BUILDING PERMIT APPLICATION

DEPARTMENT OF ENVIRONMENTAL MANAGEMENT
 FAIRFAX COUNTY, VIRGINIA
 PERMIT APPLICATION CENTER
 12055 Government Center Parkway, 2nd Floor
 Fairfax, Virginia 22035-5504
 (703) 222-0801

PERMIT # 973031

FOR INSPECTIONS CALL: (703) 222-0455

FILL IN ALL APPROPRIATE INFORMATION IN THIS COLUMN
 (PLEASE PRINT OR TYPE)

JOB LOCATION:

ADDRESS 10910 Belmont Blvd
 LOT # 46 BUILDING _____
 FLOOR _____ SUITE _____
 SUBDIVISION Belmont Park Estates
 TENANT'S NAME _____

OWNER INFORMATION: OWNER TENANT

NAME Mr. & Mrs. Poulos
 ADDRESS 10910 Belmont Blvd
 CITY Lorton STATE VA ZIP 22079
 TELEPHONE (703) 550-2305

CONTRACTOR INFORMATION:

CHECK IF SAME AS OWNER
 COMPANY NAME Jarvis Builders, Inc.
 ADDRESS 10808 Harley Road
 CITY Lorton STATE VA ZIP 22079
 TELEPHONE (703) 550-9199
 LOCAL CONTRACTOR LICENSE # _____
 STATE CONTRACTORS LICENSE # 038019-A
 COUNTY BUSINESS ACCOUNT # 01-3787
 APPLICANT Jarvis Builders, Inc. General Agent

DESCRIPTION OF WORK

Add Addition nd per Plans. Add New Roof
Repair Carnort Framing, add new roof.
replace Wood Deck.

HOUSE TYPE _____
 ESTIMATED COST OF CONSTRUCTION 76,450.00
 BLDG AREA (SQ FT OF FOOTPRINT) 212
 USE GROUP OF BUILDING R-4
 TYPE OF CONSTRUCTION 5B

SEWER SERVICE: PUBLIC SEPTIC OTHER
 WATER SERVICE: PUBLIC WELL OTHER
 OTHER PLEASE SPECIFY _____

DESIGNATED MECHANICS' LIEN AGENT:
 (Residential Construction Only)

NAME: _____
 ADDRESS: _____
 NONE DESIGNATED: PHONE: _____

CHARACTERISTICS FOR NEW SFD, TH, APT & CONDOS:

| | |
|---------------------------|-----------------------|
| # KITCHENS _____ | EXTER. WALLS _____ |
| # BATHS _____ | INTER. WALLS _____ |
| # HALF BATHS _____ | ROOF MATERIAL _____ |
| # BEDROOMS _____ | FLOOR MATERIAL _____ |
| # OF ROOMS _____ | FIN. BASEMENT _____ % |
| # STORIES _____ | HEATING FUEL _____ |
| BUILDING HEIGHT <u>23</u> | HEATING SYSTEM _____ |
| BUILDING AREA _____ | # FIREPLACES _____ |
| BASEMENT _____ | |

DO NOT WRITE IN THIS SPACE - COUNTY USE ONLY

| | | |
|-----------------------|------------|--------------------|
| PLAN # _____ | | |
| TAX MAP # _____ | | |
| ROUTING _____ | DATE _____ | APPROVED BY: _____ |
| ZONING _____ | | |
| SITE PERMITS _____ | | |
| SANITATION _____ | | |
| HEALTH DEPT. _____ | | |
| FIRE MARSHAL _____ | | |
| BUILDING REVIEW _____ | | |
| LICENSING _____ | | |
| ASBESTOS _____ | | |

FEE \$ _____
 FILING FEE \$ _____
 AMOUNT DUE \$ _____

BUILDING PLAN REVIEW
 REVIEWER _____ # OF HOURS _____
 REVISION FEES \$ _____
 FIRE MARSHAL FEES \$ _____
 FIXTURE UNITS _____ PLAN LOC: J R

APPROVED FOR ISSUANCE OF BUILDING PERMIT
 BY _____ DATE _____

ZONING REVIEW: _____ ZONING CLASS R-4
 USE _____
 ZONING CASE # _____

GROSS FLOOR AREA OF TENANT SPACE _____
 YARDS: FRONT W/L GARAGE: 1 2 3
 FRONT _____ OPTIONS: YES NO
 L SIDE 206 REMARKS: 110' deep
 R SIDE 27 must be be
 REAR 25' and 10'

GRADING AND DRAINAGE REVIEW
 SOILS: # 54-144 A B C
 HISTORICAL DISTRICT _____
 AREA TO BE DISTURBED (TOTAL SQ FT) _____
 ADD'L IMPERVIOUS AREA (ADDED SQ FT) _____
 PROFFERS _____
 PLAN # _____ APPR. DATE _____

STAMPS:

 (See reverse side of application)

REMARKS:
110' deep
8' high
blat 105

Any and all information and/or stamps on the reverse side of this form are a part of this application and must be complied with. I hereby certify that I have authority of the owner to make this application, that the information is complete and correct, and that the construction and/or use will conform to the building code, the zoning ordinance and other applicable laws and regulations which relate to the property.

Signature of Owner or Agent: _____ Date: 10/20/03
 Printed Name and Title: _____

Notary Signature _____ Date _____
 (Notarization required if owner not present at time of application)

DETAILED
Division of
Inspection Services
Approved

1st City Admin, Deck, can port repair
By VHE
Date 10-30-97

APPROVED SUBJECT TO NOTATIONS SHOWN

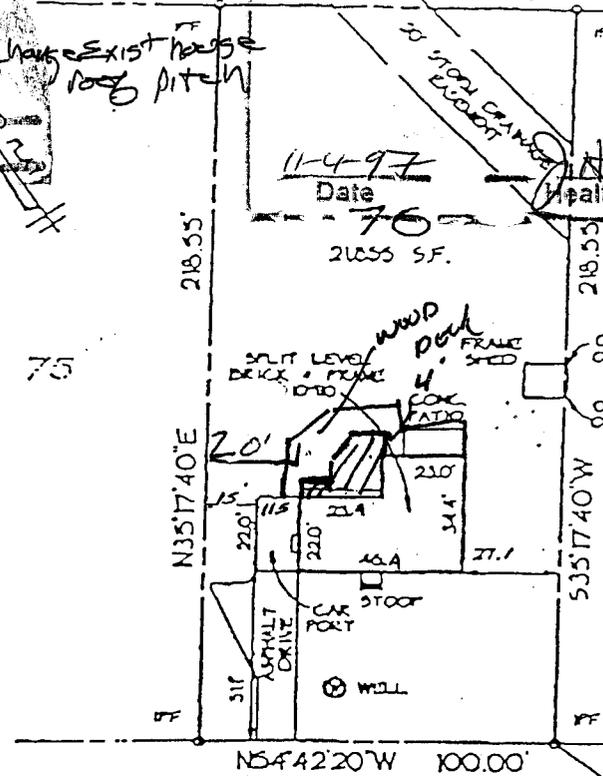
FAIRFAX COUNTY HEALTH DEPARTMENT

5544220'E 100.00'

See note on footer deck detail - if footers are new must be installed deeper as shown

11-4-97 Date Health Official

REQUIRED
EXTERIOR AND INTERIOR PERIMETER FOUNDATION DRAINS
CONNECTED THROUGH FOUNDATION/OUTLETED TO DAYLIGHT
(X) Gravity Flow Outlets
(X) Sump Pump
SHOW DRAIN AND OUTLET DETAIL ON PLANS



FOOTINGS AND PIERS MUST BE PLACED ON COMPACTED MATERIAL
DAMP PROOFING/WATER PROOFING REQUIRE ACCORDANCE WITH CABO AND BOCA CODES

BELMONT BOULEVARD

50' R/W

BACKFILL ON WALLS MUST BE NON-EXPANSIVE, FREE DRAINING MATERIAL ADEQUATELY SLOPED TO PREVENT PONDING OF WATER AROUND THE STRUCTURE.

HOUSE LOCATION SURVEY
LOT 76

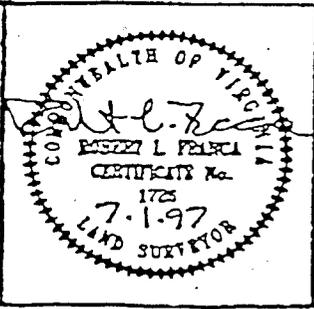
BELMONT PARK ESTATES

MOUNT VERNON DISTRICT
FAIRFAX COUNTY, VIRGINIA

SCALE: 1" = 40' DATE: JULY 1, 1997

NTS

I HEREBY CERTIFY THAT THE POSITIONS OF ALL EXISTING IMPROVEMENTS ON THE ABOVE DESCRIBED PROPERTY HAVE BEEN CAREFULLY ESTABLISHED BY A TRANSIT-TAPE SURVEY AND UNLESS OTHERWISE SHOWN, THERE ARE NO ENCROACHMENTS.
NO TITLE REPORT FURNISHED.
PLAT SUBJECT TO EASEMENTS AND RESTRICTIONS OF RECORD.
PROPERTY LOCATED IN FEMA FLOOD ZONE "X".
PF = IRON PIPE FOUND.



PAYNE ASSOCIATES
1402 OLDE TOWNE ROAD
ALEXANDRIA, VIRGINIA 22307
703-768-1060
CASE NAME: R17-10-1 FOLLOWS
JAMES FRANKA
JOB NO.: 97-134

OCT-28-1997 14:57

783 385 1181
10 30 97

73%

P.01

TOTAL P.01

COUNTY OF FAIRFAX, VIRGINIA

OFFICE OF THE BUILDING INSPECTOR

Application for building Permit

| MAP REFERENCE | | | |
|---------------|------------|--------------|---------------|
| PLAT NUMBER | Subd. Des. | Blk. or Sec. | PARCEL OR LOT |
| | | | |

| |
|------------------------------|
| CENSUS TRACT NO. <u>8-15</u> |
| DATE <u>4/2 1959</u> |
| PERMIT NO. <u>26414</u> |

To: BUILD Alter or Repair Add to Demolish Move

JOB LOCATION

DIRECTIONS

Route _____
 Street Belmont Blvd
 Lot No. 76
 Subdivision Belmont Park Estates Block _____ Section _____

OWNER

Name WANEFIELD Construction Corp.
 Address 2330 Wilson Blvd
 City Arlington Va Tel. No. JA-2-1434

ARCHITECT ENGINEER

Name Edward Pitt
 Address 2330 Wilson Blvd
 City Arlington Va State Reg. No. _____

CONTRACTOR

Name Same as Owner
 Address _____
 City _____ State Reg. No. _____

DESCRIPTION

For: Residential Institutional
 Commercial Industrial
 No. of Bldgs. 1 Type Split Level - A LEVEL
 No. of Units _____ Est. Const. Cost \$ 17,000.00
 No. of Kitchens 1 No. of Stories 1 1/2
 No. of Baths 2 1/2 Ht. of Building 19'6" Ft.
 No. of Rooms 7 Total Area 19,437 G.F.
 (Exclude Kit. & Bath)
 Basement Slab Crawl FILL Soil
 Footing Size 10" x 20" Depth from Finish Grade 2'6" Ft.
 Material of Exterior Walls Concrete Block 1st Floor Brick
 2nd Floor Brick & Frame Other _____
 Material of Interior Walls Plaster
 HEAT: Gas Oil Hot Air Hot Water
 Boiler Air Conditioner Sprinkler
 ROOF: Flat Pitch Shed
 SEWAGE: Public Community Septic Tank Pit Privy None
 WATER: Public Individual Well None
 Remarks: _____

AUTHORIZATION

I hereby certify that I have the authority to make this application, that the information given is correct, and that the use and construction shall conform to the County Health Regulations, the Building and Zoning Ordinances, and private deed restrictions, if any, which are imposed on the property.

Phone No. JA-2-1434 Date April 2 1959 Signature of Owner or Auth. Agent John W. Lane

PLAN APPROVAL

Use Group of Building L-31 Area of Bldg. 4250 sq ft @ 0.07 per Sq. Ft. \$ _____
 Type of Construction 4-15 Area of Bldg. 4250 sq ft @ _____ per Sq. Ft. \$ 30.00
 Fire District _____ Total Each Bldg. \$ _____
 Date Checked 4/2 1959 By aw TOTAL FEE \$ 125.00
 Approved by Building Inspector [Signature]

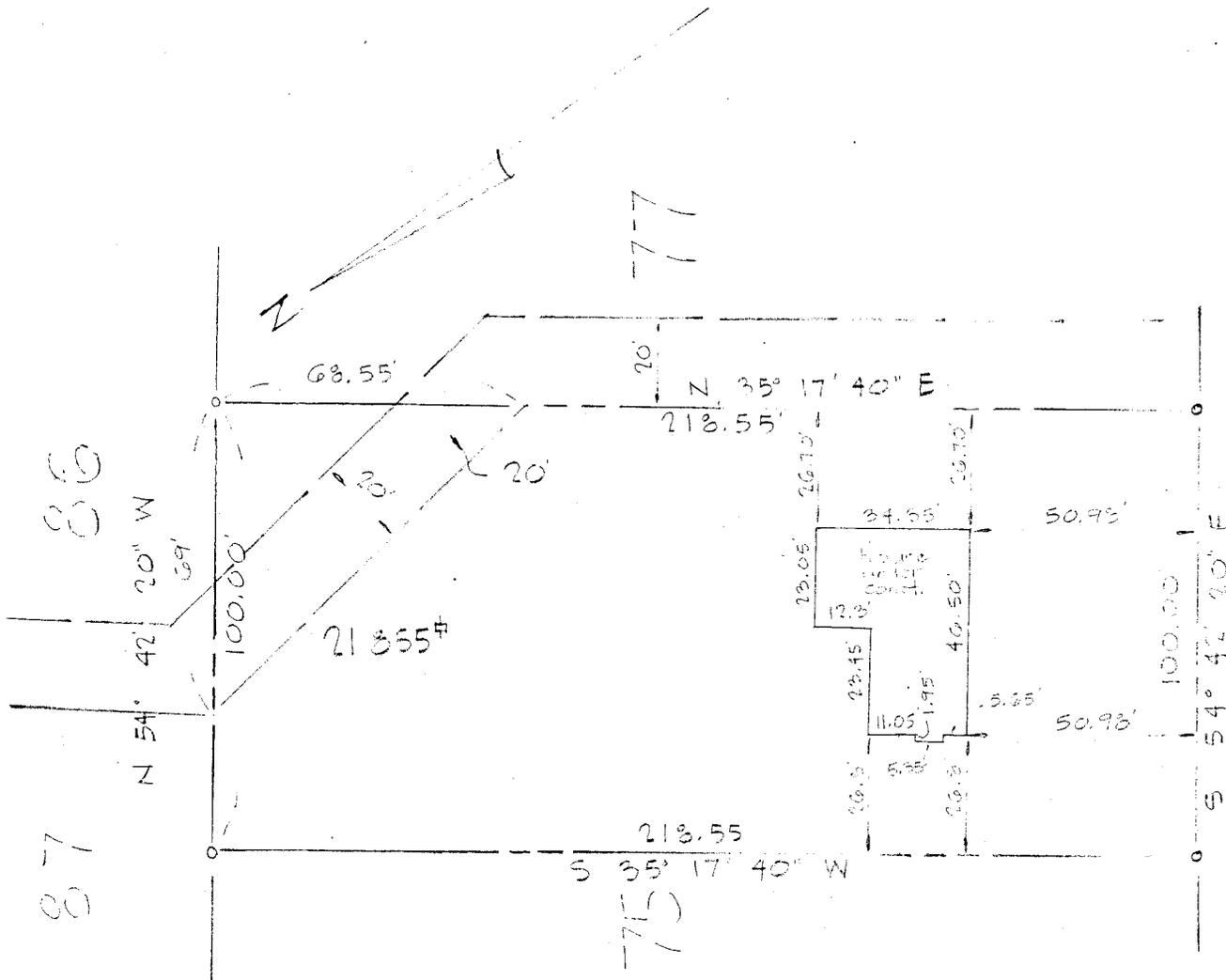
| ROUTING | OFFICE | | Rm. No. | DATE | APPROVAL | REMARKS |
|-------------------------------------|-------------------------------------|-------------|---------|-------------|-------------------------------------|---------|
| | <input checked="" type="checkbox"/> | Land Office | 112 | 4/2/59 | [Signature] | |
| <input checked="" type="checkbox"/> | Zoning Administrator | 210 | 4/2/59 | [Signature] | | |
| <input checked="" type="checkbox"/> | Health Officer | Rt. 237 | | | Health and Welfare Bldg. on Rt. 237 | |
| <input type="checkbox"/> | Sanitary Engineer | Bsmt | | | | |
| <input checked="" type="checkbox"/> | Finance Office | 120 | | | | |
| <input checked="" type="checkbox"/> | Building Inspector | 203 | | | Return to secure Bldg. Permit | |

CERTIFICATION

Supervisor of Assessments _____
 Property is listed in name of Belmont Park Estates
 Magisterial District Wt. Vernon Deed Book Reference 1544-643
 Authorization: John W. Lane

ZONING

Subdivision Belmont Park Est Lot No. 76 Block _____ Section _____ Zone Agric
 No. Acres or Sq. Ft. _____
 Street Address Belmont Blvd
 LOT SIZE: Front 100' Right Side 218' Left Side 218' Rear 100'
 Use of Bldg. Dwelling + c.p. Use after Alteration _____ No. Families one
 Set Back: Front 5' Rt. Side 26' Left Side 6' Rear 25' Authorization [Signature]



BELMONT BLVD. PARKWAY

House Location Survey

Lot 76

BELMONT PARK ESTATES

MT. VERNON MAB. DIST
FAIRFAX COUNTY
VIRGINIA

1" = 40'

April 22, 1959

BERRY ENGINEERS
VIENNA, VIRGINIA

Edwin C. Berry
Civil Engineer & Land Surveyor

FINAL APPROVAL
ZONING ADMINISTRATOR
DATE **DEC 9 1959**


Land Development Information History: FIDO - ELECTRIC R - 153620116

 Welcome EHALEY | [logout](#)
Permit Information

| | | | |
|------------------------------|--|--------------------------|-------------------|
| Permit Number: | 153620116 | Application Date: | |
| Permit Type: | ELECTRIC RESIDENTIAL | Tax Map: | 118-1 ((02)) 0076 |
| Job Address: | 010910 BELMONT BV LORTON , VA 22079-3823 | Permit Status: | Permit Issued |
| Location: | | Bldg: | Floor: Suite: |
| Subdivision: | BELMONT PARK ESTATES | Permit Fee: | |
| Magisterial District: | MOUNT VERNON | | |
| Subcensus Tract: | | | |
| AP (Tenant) Name: | | | |
| Work Description: | install gas generator & automatic transfer switch; install circuit & fixtures to existing shed | | |
| Type of Work: | NEW INSTALLATION | | |
| Building Use: | SFD - SINGLE FAMILY DWELLING | | |
| Standard: | IR12 - IRC 2012 | | |
| Plan Number: | | | |
| Parent Permit: | | | |
| ISIS Permit: | | | |
| Type of Const: | | | |
| Use Group: | | | |
| Comments: | | | |

 Link to FIDO record : [153620116](#)
Owner Information

| | |
|-----------------|------------------------------------|
| Owner: | FOULOIS WILLIAM BERNARD TR |
| Address: | 10910 BELMONT BLVD |
| City: | MASON NECK State: VA Zip: 22079 |
| Phone: | (703)405-5836 x |

Contractor Information

| | | | |
|--------------------|---------------------|-----------------------|--|
| Name: | OWNER IS CONTRACTOR | BPOL License: | |
| Address: | | State License: | |
| City: | State: VA Zip: | Trade Reg.: | |
| Phone: | (999)999-9999 x0000 | | |
| Trade Name: | | | |

Applicant Information

| | |
|-------------------|-------------|
| Applicant: | |
| Address: | |
| City: | State: Zip: |
| Phone: | |

Other Contact Information

Contact:
 Address:
 City: State: Zip:
 Phone:

Inspections**Inspection - R FINAL - FINAL INSPECTION - 6971107**

| Insp Type | Insp Date | Insp Name | Partial? | Insp Result | Re-Fee | Comments |
|-----------|------------|----------------|----------|-------------|--------|---|
| R FINAL | 2015-12-29 | BRETT BREEDING | N | Passed | NO | ganerac generator using over a year at time of inspection |

Inspection - R ELECTRIC - RES ELECTRICAL CONCEALMENT INSPECTION - 6971108

| Insp Type | Insp Date | Insp Name | Partial? | Insp Result | Re-Fee | Comments |
|------------|-----------|-----------|----------|-------------|--------|----------|
| R ELECTRIC | | | N | None | NO | |

Reviews

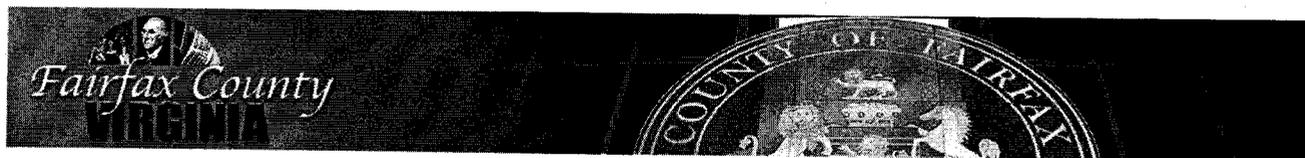
There were no reviews.

Contact Fairfax County: [Phone](#), [Email](#) or [Twitter](#) | **Main Address:** 12000 Government Center Parkway, Fairfax, VA 22035
Technical Questions: [Web Administrator](#)

[ADA Accessibility](#)|[Website Accessibility](#)

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Land Development Information History: FIDO - PLUMBING R - 153620118
Welcome EHALEY | [logout](#)**Permit Information**

| | | | |
|------------------------------|---|--------------------------|-------------------|
| Permit Number: | 153620118 | Application Date: | |
| Permit Type: | PLUMBING/GAS RESIDENTIAL | Tax Map: | 118-1 ((02)) 0076 |
| Job Address: | 010910 BELMONT BV LORTON , VA 22079-3823 | Permit Status: | Permit Issued |
| Location: | | Bldg: | Floor: Suite: |
| Subdivision: | BELMONT PARK ESTATES | Permit Fee: | |
| Magisterial District: | MOUNT VERNON | | |
| Subcensus Tract: | | | |
| AP (Tenant) Name: | | | |
| Work Description: | install gas piping for generator | | |
| Type of Work: | NEW INSTALLATION | | |
| Building Use: | SFD - SINGLE FAMILY DWELLING | | |
| Standard: | IR12 - IRC 2012 | | |
| Plan Number: | | | |
| Parent Permit: | | | |
| ISIS Permit: | | | |
| Type of Const: | | | |
| Use Group: | | | |
| Comments: | | | |

Link to FIDO record : [153620118](#)**Owner Information**

Owner: FOULOIS WILLIAM BERNARD
TR

Address: 10910 BELMONT BLVD
City: MASON NECK **State:** VA
Zip: 22079

Phone: (703)405-5836 x

Contractor Information

Name: OWNER IS CONTRACTOR

Address:

City: **State:** VA **Zip:**

Phone: (999)999-9999 x0000

Trade Name:

BPOL License:

State License:

Trade Reg.:

Applicant Information

Applicant:

Address:

City: **State:** **Zip:**

Phone:

Other Contact Information

Contact:

Address:

City:

State: Zip:

Phone:

Inspections**Inspection - R FINAL - FINAL INSPECTION - 6971109**

| Insp Type | Insp Date | Insp Name | Partial? | Insp Result | Re-Fee | Comments |
|-----------|------------|----------------|----------|-------------|--------|---------------------------------------|
| R FINAL | 2015-12-29 | BRETT BREEDING | N | Passed | NO | copper tubing i conduit for generator |

Inspection - R PLUMBING - RES PLUMBING CONCEALMENT INSPECTION - 6971110

| Insp Type | Insp Date | Insp Name | Partial? | Insp Result | Re-Fee | Comments |
|------------|-----------|-----------|----------|-------------|--------|----------|
| R PLUMBING | | | N | None | NO | |

Reviews

There were no reviews.

Contact Fairfax County: [Phone](#), [Email](#) or [Twitter](#) | **Main Address:** [12000 Government Center Parkway, Fairfax, VA 22035](#)
Technical Questions: [Web Administrator](#)

[ADA Accessibility](#)|[Website Accessibility](#)

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8-006 General Standards

In addition to the specific standards set forth hereinafter with regard to particular special permit uses, all special permit uses shall satisfy the following general standards:

1. The proposed use at the specified location shall be in harmony with the adopted comprehensive plan.
2. The proposed use shall be in harmony with the general purpose and intent of the applicable zoning district regulations.
3. The proposed use shall be such that it will be harmonious with and will not adversely affect the use or development of neighboring properties in accordance with the applicable zoning district regulations and the adopted comprehensive plan. The location, size and height of buildings, structures, walls and fences, and the nature and extent of screening, buffering and landscaping shall be such that the use will not hinder or discourage the appropriate development and use of adjacent or nearby land and/or buildings or impair the value thereof.
4. The proposed use shall be such that pedestrian and vehicular traffic associated with such use will not be hazardous or conflict with the existing and anticipated traffic in the neighborhood.
5. In addition to the standards which may be set forth in this Article for a particular group or use, the BZA shall require landscaping and screening in accordance with the provisions of Article 13.
6. Open space shall be provided in an amount equivalent to that specified for the zoning district in which the proposed use is located.
7. Adequate utility, drainage, parking, loading and other necessary facilities to serve the proposed use shall be provided. Parking and loading requirements shall be in accordance with the provisions of Article 11.
8. Signs shall be regulated by the provisions of Article 12; however, the BZA, under the authority presented in Sect. 007 below, may impose more strict requirements for a given use than those set forth in this Ordinance.

8-903 Standards For All Group 9 Uses

In addition to the general standards set forth in Sect. 006 above, all Group 9 special permit uses shall satisfy the following standards:

1. All uses shall comply with the lot size and bulk regulations of the zoning district in which located, except as may be qualified below.
2. All uses shall comply with the performance standards specified for the zoning district in which located.
3. Before establishment, all uses, including modifications or alterations to existing uses, shall be subject to the provisions of Article 17, Site Plans, or other appropriate submission as determined by the Director.

8-914 Provisions for Approval of Reduction to the Minimum Yard Requirements Based on Error in Building Location

The BZA may approve a special permit to allow a reduction to the minimum yard requirements for any building existing or partially constructed which does not comply with such requirements applicable at the time such building was erected, but only in accordance with the following provisions:

1. Notwithstanding Par. 2 of Sect. 011 above, all applications shall be accompanied by ten (10) copies of a plat and such plat shall be presented on a sheet having a maximum size of 24" x 36", and one 8 ½" x 11" reduction of the plat. Such plat shall be drawn to a designated scale of not less than one inch equals fifty feet (1" = 50'), unless a smaller scale is required to accommodate the development. Such plat shall be certified by a professional engineer, land surveyor, architect, or landscape architect licensed by the State of Virginia and such plat shall contain the following information:
 - A. Boundaries of entire property, with bearings and distances of the perimeter property lines and of each zoning district.
 - B. Total area of the property and of each zoning district in square feet or acres.
 - C. Scale and north arrow, with north, to the extent feasible, oriented to the top of the plat and on all supporting graphics.
 - D. Location of all existing structures, with dimensions, including height of any structure and penthouse, and if known, the construction date(s) of all existing structures.
 - E. All required minimum yards to include front, side and rear, and a graphic depiction of the angle of bulk plane, if applicable, and the distances from all existing structures to lot lines.
 - F. Means of ingress and egress to the property from a public street(s).
 - G. For nonresidential uses, the location of parking spaces, indicating minimum distance from the nearest property line(s).
 - H. If applicable, the location of well and/or septic field.
 - I. For nonresidential uses, a statement setting forth the maximum gross floor area and FAR for all uses.
 - J. Location of all existing utility easements having a width of twenty-five (25) feet or more, and all major underground utility easements regardless of width.
 - K. Seal and signature of professional person certifying the plat.

In addition, the application shall contain a statement of justification explaining how the error in building location occurred and any supportive material such as aerial photographs, Building Permit applications, County assessments records, a copy of the contract to build the structure which is in error, or a statement from a previous owner indicating how the error in building location occurred.

2. The BZA determines that:
 - A. The error exceeds ten (10) percent of the measurement involved, or
 - B. The error is up to ten (10) percent of the measurement involved and such reduction or modification is requested in conjunction with the approval of a special permit for another use or application for a variance on the property, or is in conjunction with another special permit for an error in building location on the property that exceeds ten (10) percent of the measurement involved, and
 - C. The noncompliance was done in good faith, or through no fault of the property owner, or was the result of an error in the relocation of the building subsequent to the issuance of a Building Permit, if such was required, and
 - D. Such reduction or modification will not impair the purpose and intent of this Ordinance, and
 - E. It will not be detrimental to the use and enjoyment of other property in the immediate vicinity, and
 - F. It will not create an unsafe condition with respect to both other property and public streets, and
 - G. To force compliance with the minimum yard requirements or location regulations would cause unreasonable hardship upon the owner.
 - H. The reduction or modification will not result in an increase in density or floor area ratio from that permitted by the applicable zoning district regulations.
3. In granting such a reduction under the provisions of this Section, the BZA shall allow only a reduction necessary to provide reasonable relief and may, as deemed advisable, prescribe such conditions, to include landscaping and screening measures, to assure compliance with the intent of this Ordinance.
4. Upon the granting of a reduction for a particular building in accordance with the provisions of this Section, the same shall be deemed to be a lawful building.

5. The BZA shall have no power to waive or modify the standards necessary for approval as specified in this Section.

8-922 Provisions for Reduction of Certain Yard Requirements

The BZA may approve a special permit to allow a reduction of certain yard requirements subject to all of the following:

1. Only the following yard requirements shall be subject to such special permit:
 - A. Minimum required yards, as specified in the residential, commercial, industrial and planned development districts in Articles 3, 4, 5 and 6, provided such yards are not subject to proffered conditions or development conditions related to yards and/or such yards are not depicted on an approved conceptual development plan, final development plan, development plan, special exception plat, special permit plat or variance plat.
 - B. Yard regulations for pipestem lots and lots contiguous to pipestem driveways set forth in Sect. 2-416.
 - C. Accessory structure location requirements set forth in Sect. 10-104.
 - D. Regulations on permitted extensions into a minimum required yard as set forth in Sect. 2-412.

Approval of a reduction of yard requirements specified in Paragraphs A, B and C above shall not result in any yard that is less than fifty (50) percent of the requirement and shall not result in any yard of less than five (5) feet, as measured from the lot line to the closest point of the proposed structure.

Approval of a reduction of yard requirements specified in Par. D above shall not result in an extension that exceeds the applicable distances set forth in Sect. 2-412 by more than fifty (50) percent. Where no extension is permitted by the provisions of Sect. 2-412, the BZA shall not approve a special permit that results in a structure that extends into a minimum required yard by more than fifty (50) percent.

2. Such reduction shall not result in the placement of a detached accessory structure in a front yard where the placement of such accessory structure is not otherwise permitted in that yard.

3. This special permit shall only apply to those lots that contain a principal structure and use that complied with the minimum yard requirements in effect when the use or structure was established.
4. The resulting gross floor area of an addition to an existing principal structure may be up to 150 percent of the total gross floor area of the principal structure that existed at the time of the first yard reduction request. In such instance, if a portion of the principal structure is to be removed, no more than fifty (50) percent of the gross floor area of the existing principal structure at the time of the first yard reduction shall be removed.
5. The resulting gross floor area of an existing accessory structure and any addition to it shall be clearly subordinate in purpose, scale, use and intent to the principal structure on the site.
6. The BZA shall determine that the proposed development will be in character with the existing on-site development in terms of the location, height, bulk and scale of the existing structure(s) on the lot.
7. The BZA shall determine that the proposed development is harmonious with the surrounding off-site uses and structures in terms of location, height, bulk and scale of surrounding structures, topography, existing vegetation and the preservation of significant trees as determined by the Director.
8. The BZA shall determine that the proposed development shall not adversely impact the use and/or enjoyment of any adjacent property with regard to issues such as noise, light, air, safety, erosion, and stormwater runoff.
9. The BZA shall determine that the proposed reduction represents the minimum amount of reduction necessary to accommodate the proposed structure on the lot. Specific factors to be considered include, but are not limited to, the layout of the existing structure; availability of alternate locations for the addition; orientation of the structure(s) on the lot; shape of the lot and the associated yard designations on the lot; environmental characteristics of the site, including presence of steep slopes, floodplains and/or Resource Protection Areas; preservation of existing vegetation and significant trees as determined by the Director; location of a well and/or septic field; location of easements; and/or preservation of historic resources.

10. The BZA may impose such conditions as it deems necessary to satisfy these criteria, including, but not limited to imposition of a maximum gross floor area, floor area ratio, lot coverage, landscaping and/or screening requirements.
11. Notwithstanding Par. 2 of Sect. 011 above, all applications shall be accompanied by fifteen (15) copies of a plat and such plat shall be presented on a sheet having a maximum size of 24" x 36", and one 8 ½" x 11" reduction of the plat. Such plat shall be drawn to a designated scale of not less than one inch equals fifty feet (1" = 50'), unless a smaller scale is required to accommodate the development. Such plat shall be certified by a professional engineer, land surveyor, architect, or landscape architect licensed by the State of Virginia. Such plat shall contain the following information:
 - A. Boundaries of entire property, with bearings and distances of the perimeter property lines, and of each zoning district.
 - B. Total area of the property and of each zoning district in square feet or acres.
 - C. Scale and north arrow, with north, to the extent feasible, oriented to the top of the plat and on all supporting graphics.
 - D. The location, dimension and height of any building, structure or addition, whether existing or proposed. In addition, for decks, the height of the finished floor above finished ground level.
 - E. All required minimum yards to include front, side and rear, a graphic depiction of the angle of bulk plane, if applicable, and the distances from all existing and proposed structures to lot lines.
 - F. Means of ingress and egress to the property from a public street(s).
 - G. For nonresidential uses, the location of parking spaces, indicating minimum distance from the nearest property line(s).
 - H. If applicable, the location of a well and/or septic field.
 - I. Existing and proposed gross floor area and floor area ratio.
 - J. Location of all existing utility easements having a width of twenty-five (25) feet or more, and all major underground utility easements regardless of width.

- K. The location, type and height of any existing and proposed landscaping and screening.
 - L. Approximate delineation of any floodplain designated by the Federal Insurance Administration, United States Geological Survey, or Fairfax County, the delineation of any Resource Protection Area and Resource Management Area, and the approximate delineation of any environmental quality corridor as defined in the adopted comprehensive plan, and, if applicable, the distance of any existing and proposed structures from the floodplain, Resource Protection Area and Resource Management Area, or environmental quality corridor.
 - M. Seal and signature of professional person certifying the plat.
12. Architectural depictions of the proposed structure(s) as viewed from all lot lines and street lines to include building materials, roof type, window treatment and any associated landscaping and/or screening shall be provided.