



APPLICATION ACCEPTED: September 8, 2015
PLANNING COMMISSION: February 17, 2016

County of Fairfax, Virginia

February 4, 2016

STAFF REPORT

APPLICATION CSP B-846-03

HUNTER MILL DISTRICT



APPLICANT: Reston Heights Residential I, LLC

PRESENT ZONING: PRC: Planned Residential Community District

PARCELS: 17-3 ((21)) 1, 2A, 3A, 4A, and 5A

SITE AREA: 9.96 acres

PLAN MAP: Residential Planned Community

PROPOSAL: To approve a Comprehensive Sign Plan for a mixed use project

STAFF RECOMMENDATIONS:

Staff recommends approval of CSP B-846-03, subject to the proposed development conditions contained in Appendix 1.

It should be noted that it is not the intent of staff to recommend that the Planning Commission, in adopting any conditions proffered by the owner, relieve the applicant/owner from compliance with the provisions of any applicable ordinances, regulations, or adopted standards.

It should be further noted that the content of this report reflects the analysis and recommendation of staff; it does not reflect the position of the Planning Commission.

The approval of this Comprehensive Sign Plan does not interfere with, abrogate or annul any easements, covenants, or other agreements between parties, as they may

Nick Rogers, AICP

Excellence * Innovation * Stewardship
Integrity * Teamwork * Public Service

Department of Planning and Zoning
Zoning Evaluation Division
12055 Government Center Parkway, Suite 801
Fairfax, Virginia 22035-5509
Phone 703-324-1290 FAX 703-324-3924
www.fairfaxcounty.gov/dpz



apply to the property subject to this application

For information, contact the Zoning Evaluation Division, Department of Planning and Zoning, 12055 Government Center Parkway, Suite 801, Fairfax, Virginia 22035-5505, (703) 324-1290.



Americans with Disabilities Act (ADA): Reasonable accommodation is available upon 48 hours advance notice. For additional information on ADA call (703) 324-1334 or TTY 711 (Virginia Relay Center).

Comprehensive Sign Plan

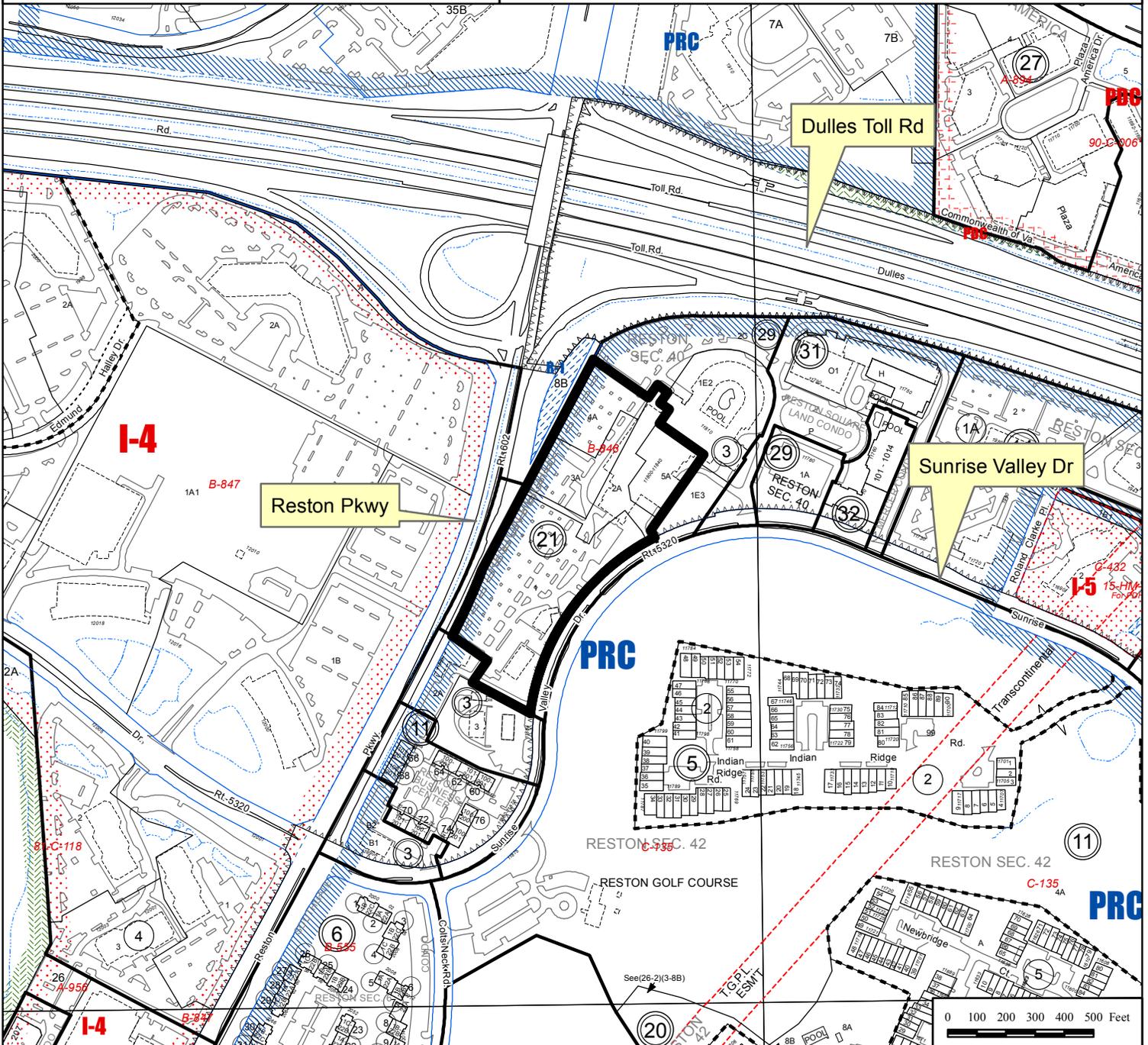
CSP -B-846-03



Applicant: RESTON HEIGHTS RESIDENTIAL I, LLC
Accepted: 09/08/2015
Proposed: COMPREHENSIVE SIGN PLAN
Area: 9.96 AC; DISTRICT - HUNTER MILL

Zoning Dist Sect: WEST SIDE OF SUNRISE VALLEY DRIVE,
LOCATED: APPROXIMATELY 1,050 FEET FROM ITS
INTERSECTION WITH RESTON PARKWAY PRC

Zoning:
Overlay Dist:
Map Ref Num: 017-3- /21/ /0001 /21/ /0002A /21/
/0003A /21/ /0004A /21/ /0005A



February 2, 2016

RESTON HEIGHTS

COMPREHENSIVE SIGN PLAN

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INTRODUCTION

INTRODUCTION

Reston’s legacy as one of the nation’s first planned communities lives on in Reston Heights, a vibrant town center featuring a diverse mix of modern contemporary and warehouse industrial architecture to be integrated with existing architecture. Located just south of the Dulles Toll Road at the intersection with Reston Parkway, the project is in close proximity to Dulles International Airport, Reston, and Tysons Corner. It is within one mile of the Wiehle-Reston East Metro station on the Silver Line and will be within walking distance of the upcoming Reston Town Center station.

This development will breathe new life into the Sunrise Valley Drive area, which is largely taken up by surface parking lots today. It will transform the area into a retail destination with a vibrant pedestrian-friendly environment to complement the existing office and hotel components. The site will be unified by a dramatic and lively streetscape and landscaping plan. Playful elements will contrast with the sophisticated residential architecture to create an immersive experience with various public programming amenities. The goal of the exterior signage and wayfinding is to create a unique and cohesive district for the project and surrounding community.

The intent of this comprehensive sign plan is to ensure that the signage throughout Reston Heights is of a size, scale, design, and quality appropriate to its location on and around the individual buildings and the overall site. Signs are a necessary means of visual communication for public convenience and are most effective when organized into a comprehensive system. A properly conceived sign plan reflects the owner’s concern and sense of responsibility for public safety while also enhancing the image and use of the development. The proposed comprehensive sign plan accommodates multiple uses within the same site and accounts for changing tenants, changing market conditions, and periodic renovations over time. This document establishes sign design standards in order to maintain flexibility while also preserving the overall character and consistency of the site’s signage.

GENERAL DESIGN CRITERIA

Quality materials that are durable are encouraged for all signs within Reston Heights. These may include the use of cast, weathered, polished, or painted metal; brick or concrete block masonry; plaster; durable faux wood products; and high-quality fiberglass or acrylics. Glass or ceramic elements may be used as accent materials. Vinyl or mesh fabrics may be used for banners. Signage should be designed as a cohesive family with complementary materials. Materials that minimize maintenance are strongly encouraged. Graphics should incorporate textural, sculptural, and dimensional qualities. Signs may be illuminated with internal lighting, external lighting, or a combination of both. All lighting, whether internal or external to the sign, should be adequately screened to avoid glares and not project onto surrounding roads or otherwise impair vision. All types of electrical hardware, wiring, or equipment such as transformers and cabinets must be integrally incorporated into the sign design and must be hidden from view. External lighting fixtures may be featured as a design element. All methods of construction must be concealed from view or designed as an integrated detail within the signs. All signs must be structurally sound, self-supporting, and fully integrated with landscape elements.

PROHIBITED MATERIALS

- Asphalt siding
- Paper or cardboard
- Vinyl (except on banners or applied on glass)
- Smoked or opaque glass may be used as accent elements only. Reflective glass is not permitted.
- Crushed stone or gravel (maybe be used in adjacent landscaping)
- Non-durable materials

PROHIBITED CHARACTERISTICS

- A sign must not be shaped like a traffic sign, be illuminated in a pattern or lighting combination that resembles a traffic signal, or otherwise interfere with traffic safety.
- A sign must not contain or be illuminated by flashing, revolving, or intermittent lights or lights of changing intensity.
- Internally illuminated cabinet signs are not permitted. Letters or logos may be internally illuminated.

VERTICAL LOGO ORIENTATION



RESTON
HEIGHTS

HORIZONTAL LOGO ORIENTATION



BRAND COLORS

CMYK: 0/0/0/100

CMYK: 0/80/85/100

CMYK: 50/0/20/100

CMYK: 0/18/100/0

TYPOGRAPHY

HELVETICA NEUE LIGHT

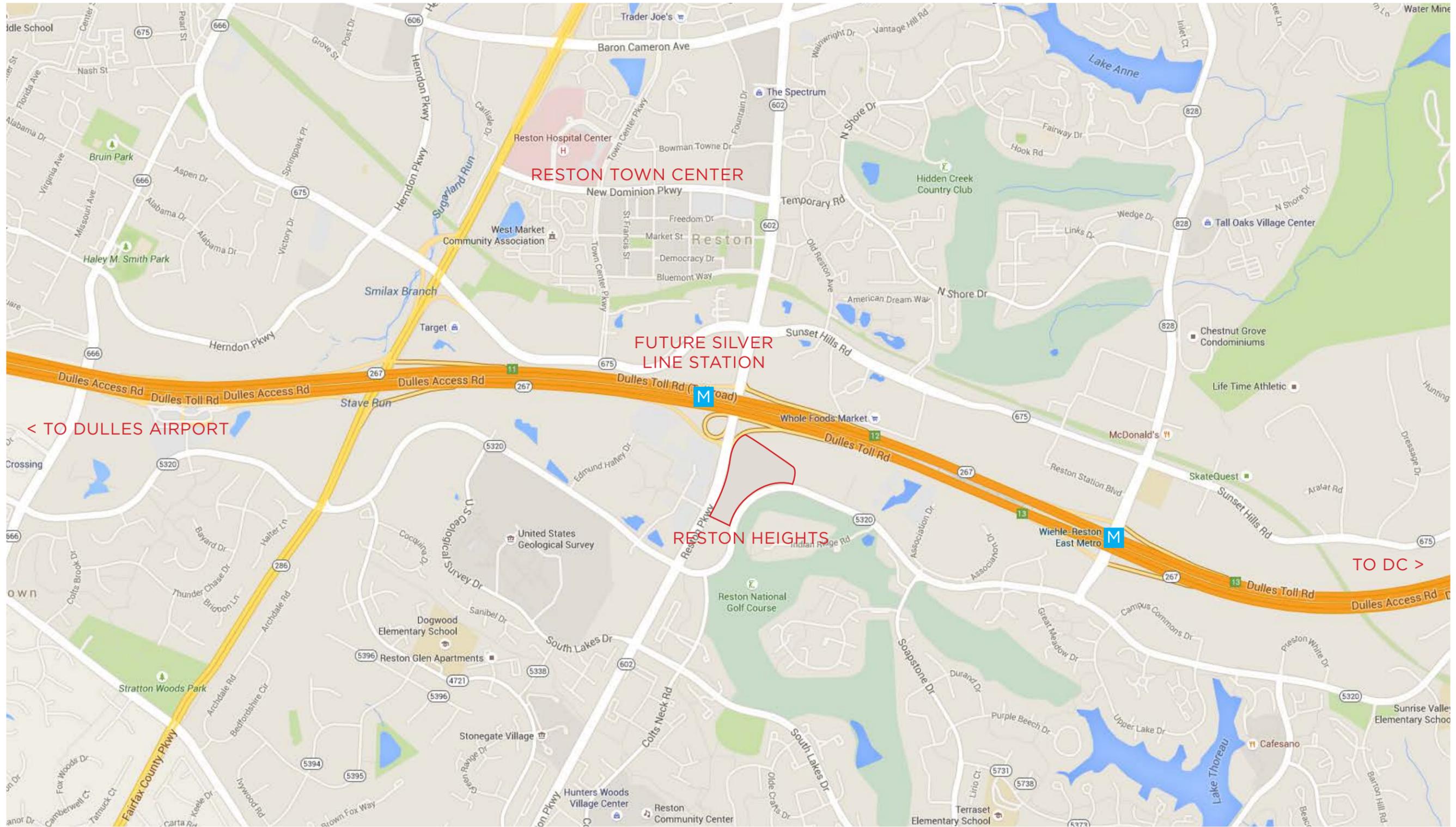
The quick brown fox jumps over the lazy dog.

HELVETICA NEUE BOLD

The quick brown fox jumps over the lazy dog.

PATTERN EXAMPLE

this is life
elevated



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**WAYFINDING STRATEGY +
SITE SIGNAGE DESIGN**



MASTER KEY

- PROJECT ID/TENANT MONUMENT (A)
- PROJECT ID GATEWAY MARKER (B)
- INTL TOWER/RETAIL MONUMENT (C)
- SITE DIRECTORY (D)
- PARKING SIGNAGE (E)
- ▲ TRAILBLAZING SIGNAGE (F)
- PROJECT IDENTITY BANNER (G)
- INTL TOWER TENANT MONUMENT (H)
- FUTURE RESIDENTIAL MONUMENT (TBD)
- TRAFFIC FLOW
- PARKING GARAGE
- RETAIL
- EXISTING OFFICE BUILDING
- RESIDENTIAL

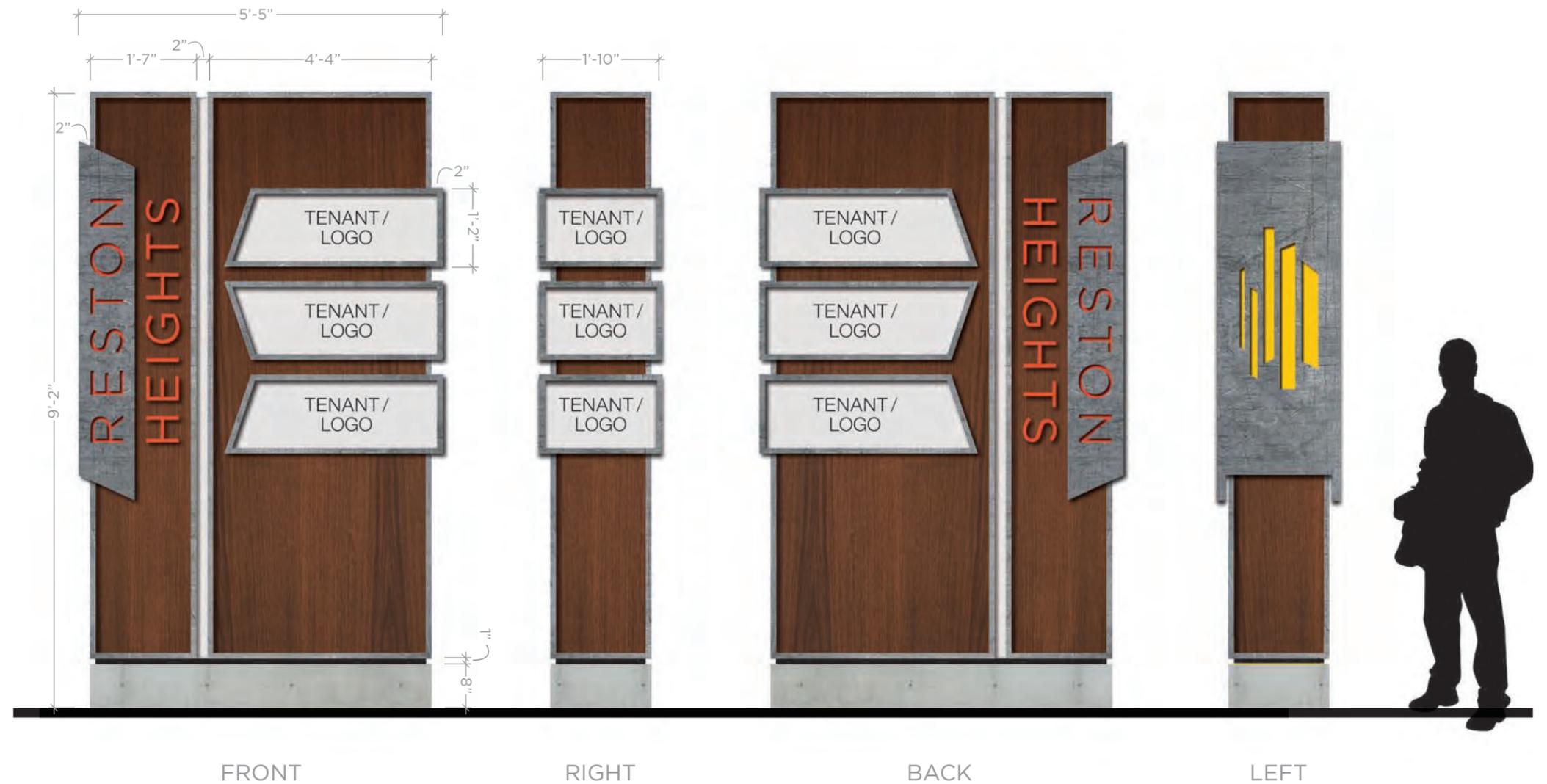
GENERAL NOTES

1. PLAN REFLECTS SIGN LOCATIONS AFTER CONSTRUCTION HAS BEEN COMPLETED
2. THIS PLAN SHOWS PROBABLE LOCATIONS FOR THESE SIGNS. LOCATIONS ARE SUBJECT TO CHANGE DUE TO FINAL DESIGN AND ENGINEERING REQUIREMENTS.
3. THE SIGNS SHALL BE BUILT IN SUBSTANTIAL CONFORMANCE WITH THE DESIGNS ILLUSTRATED IN THIS SIGN PACKAGE, FINAL DESIGN CHANGES BASED ON ENGINEERING OF SIGNS MAY OCCUR, BUT WILL NOT SUBSTANTIALLY ALTER THE DESIGN.



OVERVIEW

- approximately 5'-5" x 9'-2" x 1'-10"
- faux wood finish framed by weathered metal
- edge-lit weathered metal panel with letters and logo cut out to show through to painted metal wraps around front, back, and left side
- edge-lit push-through acrylic letters with painted metal faces
- internally lit vertical reveal
- tenant signage in weathered metal frames with internally lit text and logos on an opaque white background wrap around right side
- concrete base



PROJECT IDENTITY/TENANT MONUMENT (SIGN TYPE A)

1/2" = 1'-0" | 13

OVERVIEW

- approximately 5'-5" x 9'-2" x 1'-10"
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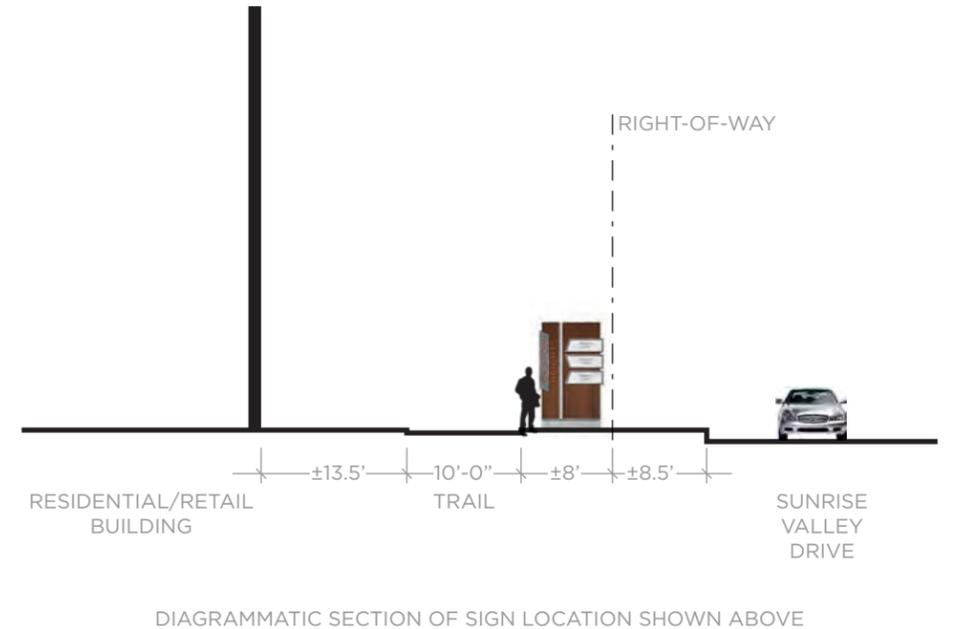
FRONT

RIGHT

This sign type will be internally illuminated. All lighting will be indirect and will not project onto surrounding roads or otherwise impair vision.

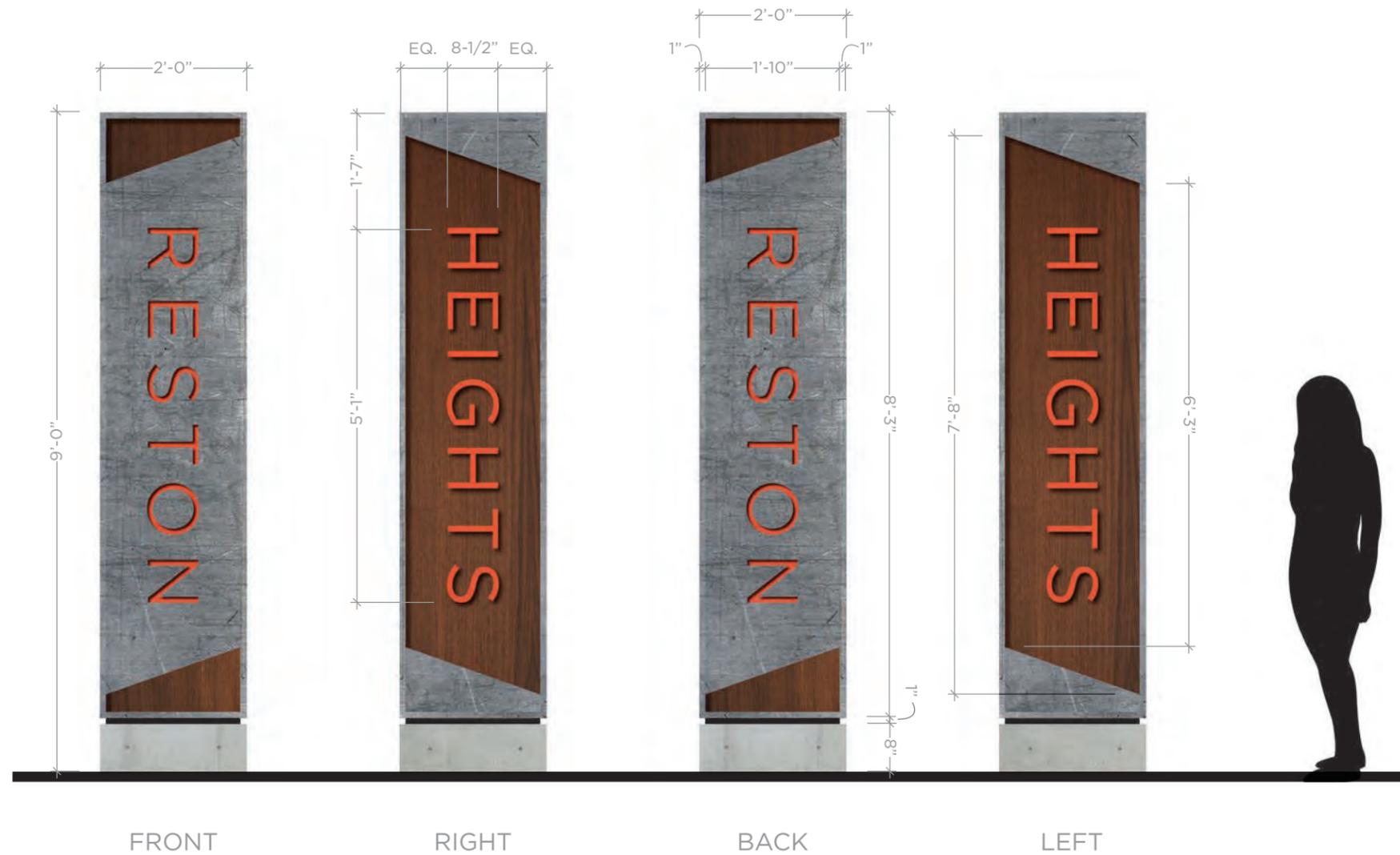
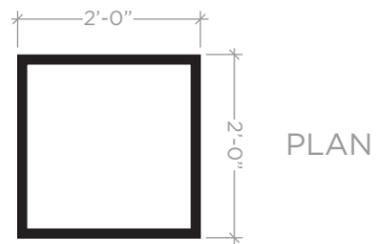


Sign locations shown to the right are approximate. Final locations will be determined in the field and fully coordinated with traffic control signage to avoid conflicts. Red dashed lines indicate the area in which the sign may be located, which may be adjusted or relocated as required to avoid conflicts with site distance triangles. All signs will be clear of the 10'-0" trail along Sunrise Valley Drive (shown in red to the right), and will be located such that they do not impede pedestrian and/or bicycle travel. All signs will be located outside of the public right-of-way. Plans, sections, and sign footprints are not shown to scale.



OVERVIEW

- approximately 2'-0" x 9'-0" x 2'-0"
- faux wood finish framed by edge-lit weathered metal
- edge-lit weathered metal panels on front and back have letters cut out to show through to painted metal
- faux wood on right and left sides have edge-lit push-through acrylic letters with painted metal faces
- concrete base



OVERVIEW

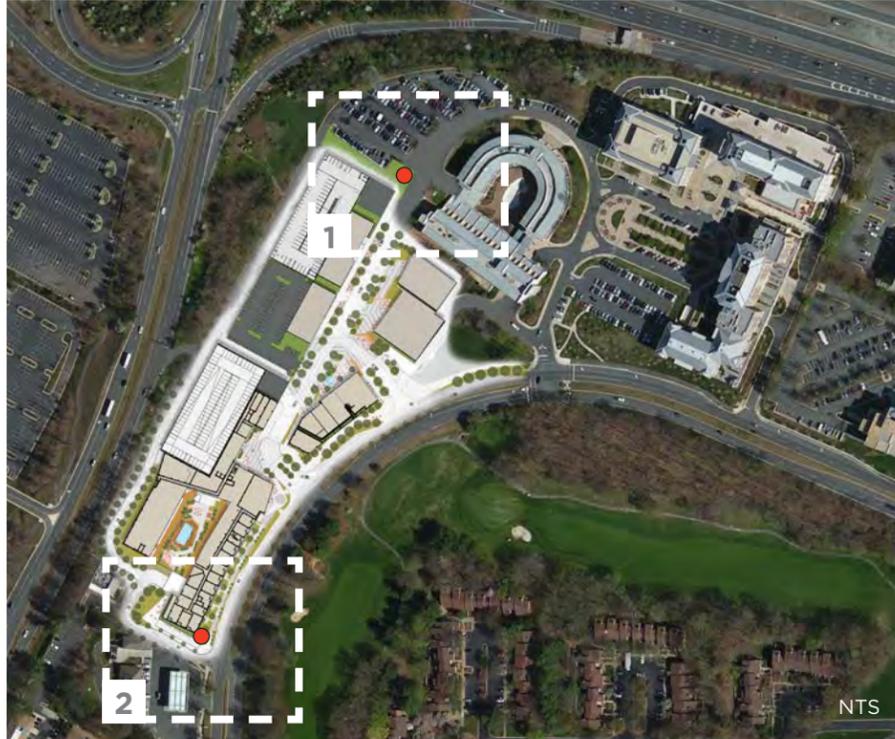
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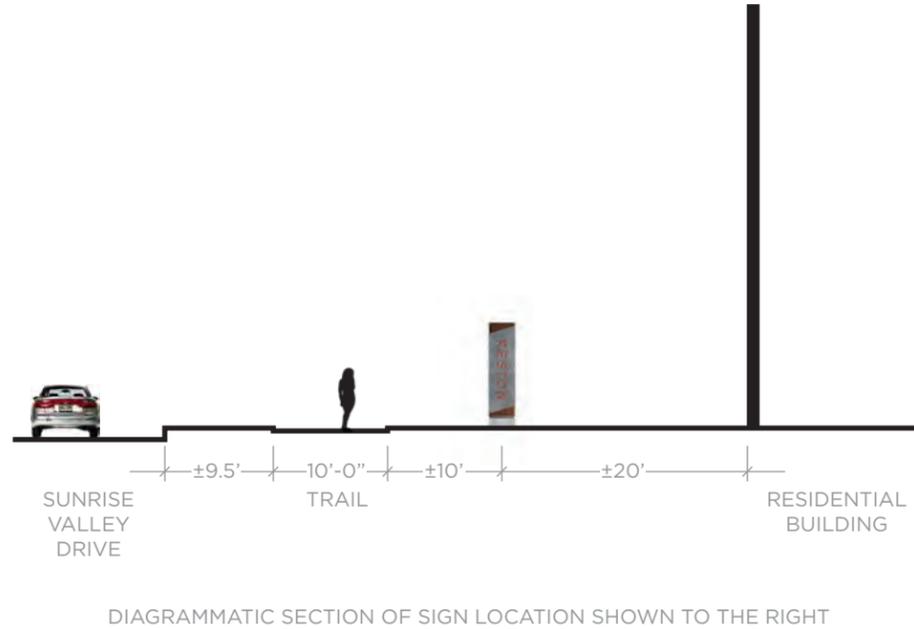
FRONT

RIGHT

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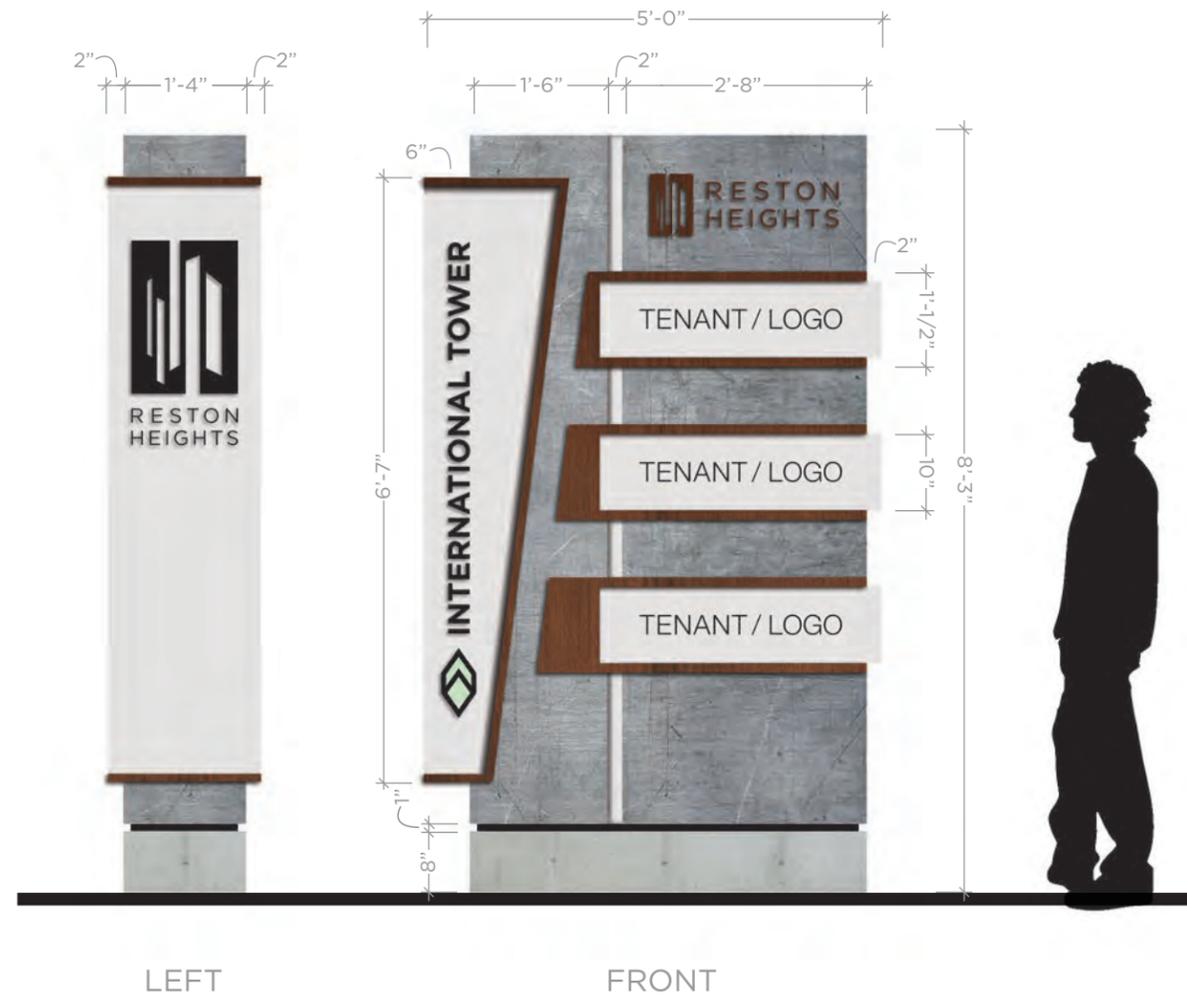


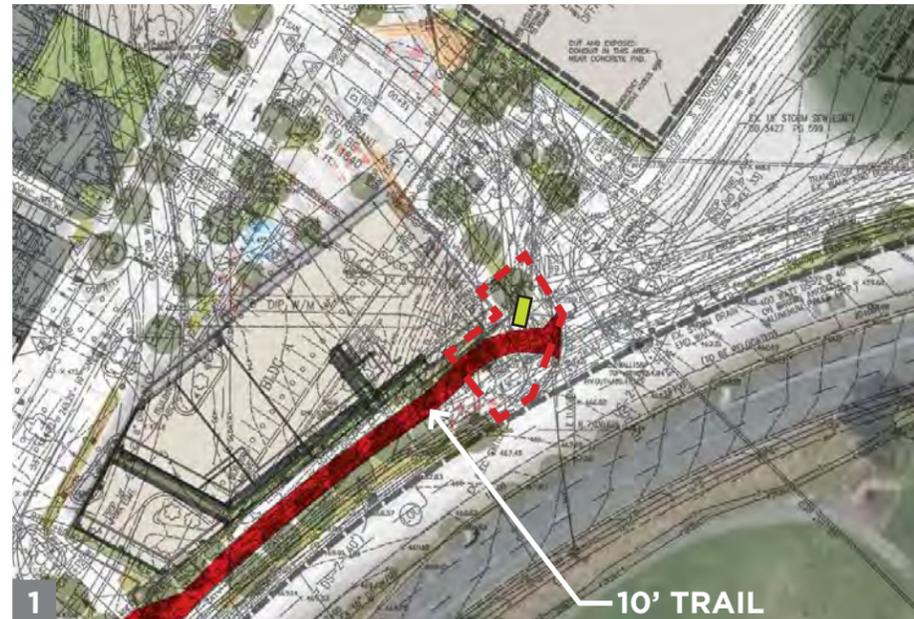
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OVERVIEW

- approximately 5'-0" x 8'-3" x 1'-8"
- one-sided sign with logo/graphic on left edge
- weathered metal cabinet
- edge-lit push-through acrylic logo with faux wood face
- internally lit panels (text and logos printed/applied as graphics) wrap around edge
- faux wood frame/panel details
- internally lit vertical reveal
- concrete base

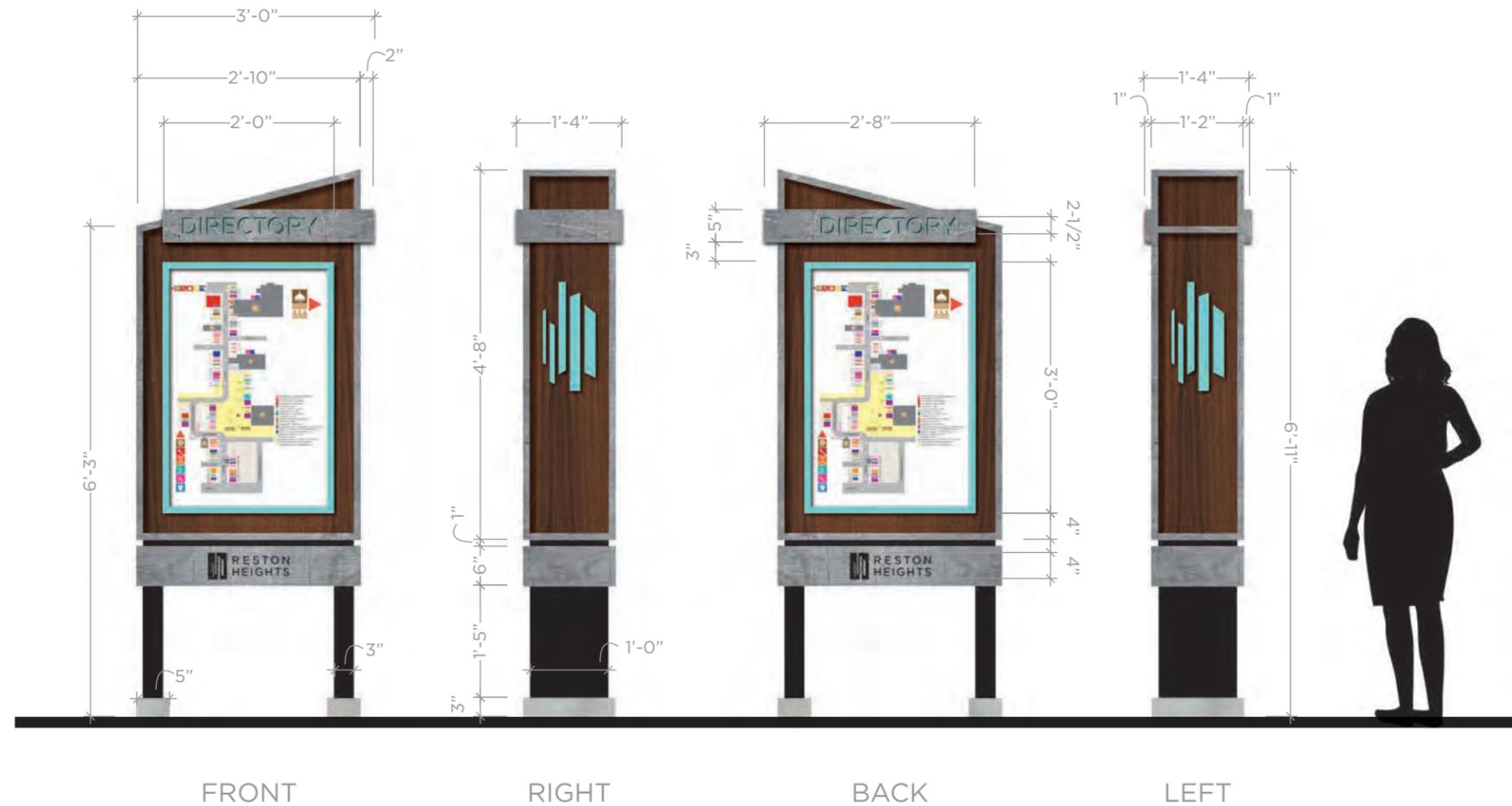




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OVERVIEW

- approximately 3'-0" x 6'-11" x 1'-4"
- faux wood finish framed by weathered metal
- edge-lit weathered metal panel with letters cut out to show through to painted metal wraps around front, back, and right side
- internally lit panels with printed/applied graphics framed by painted metal on front and back
- map shown is for illustrative purposes only; design of graphics is to be determined
- edge-lit push-through acrylic letters and logo with painted metal faces
- concrete base



SITE DIRECTORY (SIGN TYPE D)

1/2" = 1'-0" | 21

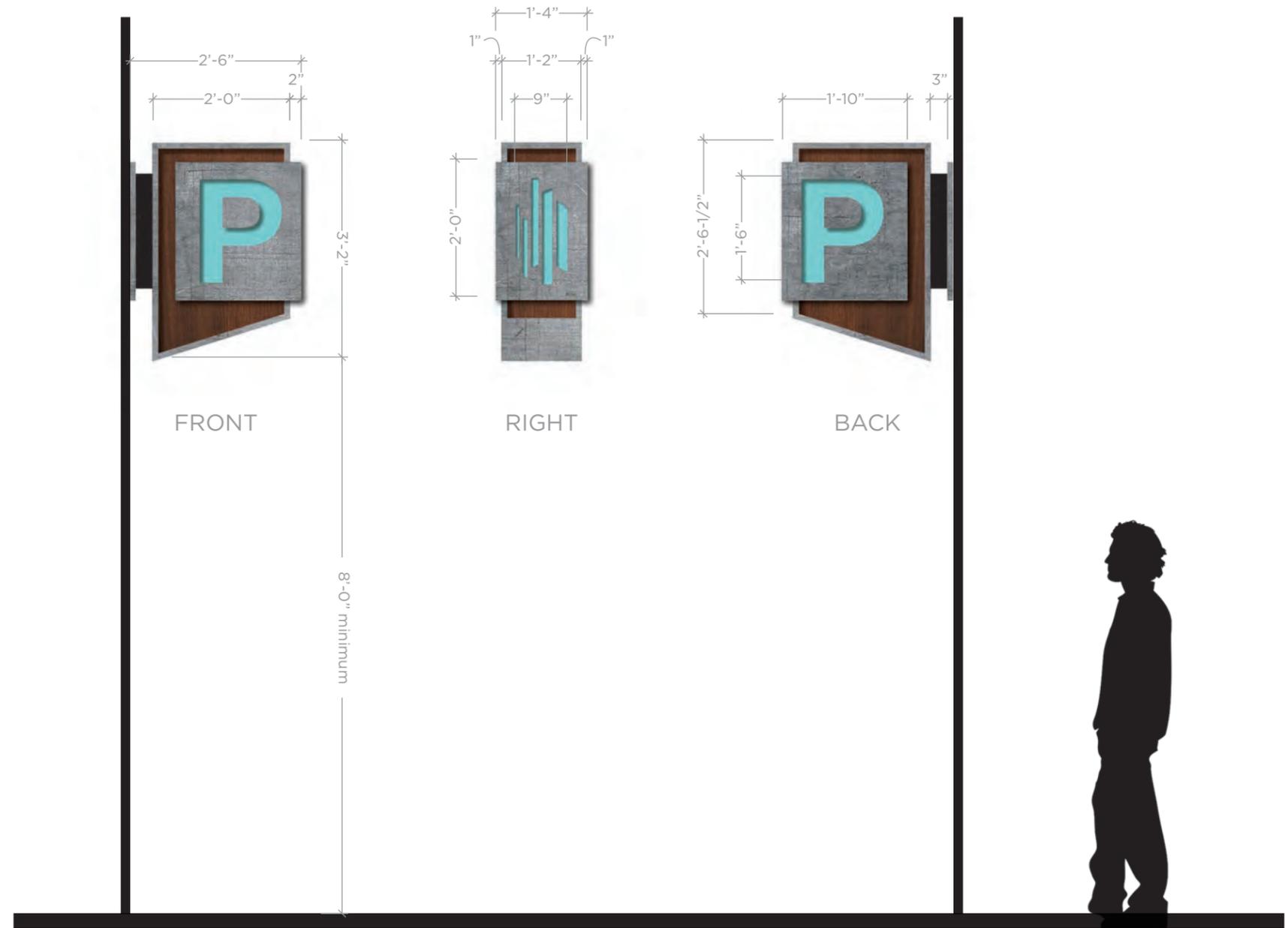


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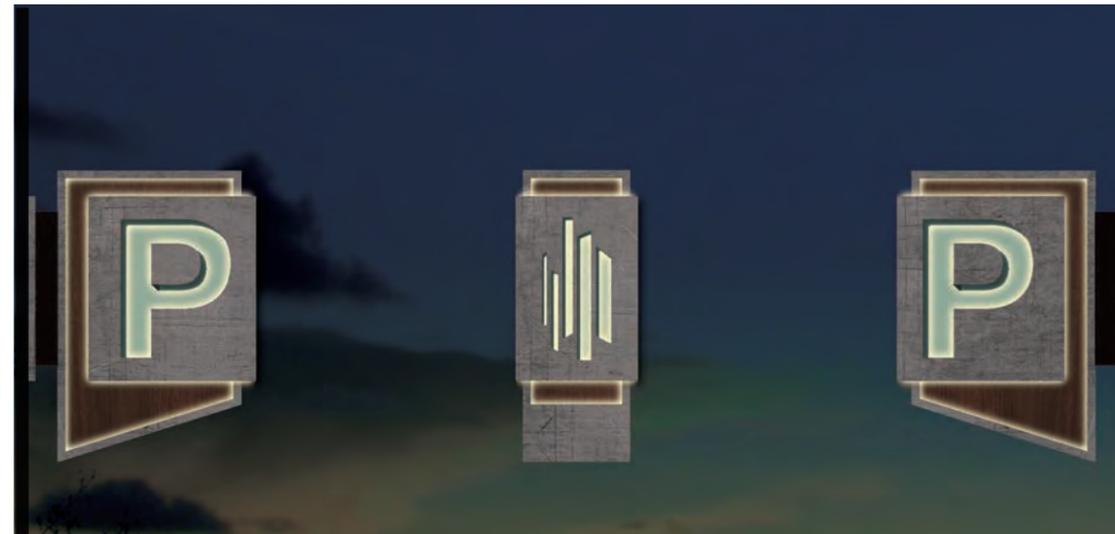
OVERVIEW

- approximately 2'-6" x 3'-2" x 1'-4"
- faux wood finish framed by weathered metal
- edge-lit weathered metal panel with "P" cut out to show through to painted metal wraps around front, back, and right side
- painted metal support and weathered metal fastener
- to be mounted a minimum of 8'-0" above grade



OVERVIEW

- approximately 2'-6" x 3'-2" x 1'-4"
- faux wood finish framed by weathered metal
- edge-lit weathered metal panel with "P" cut out to show through to painted metal wraps around front, back, and right side
- painted metal support and weathered metal fastener
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FRONT

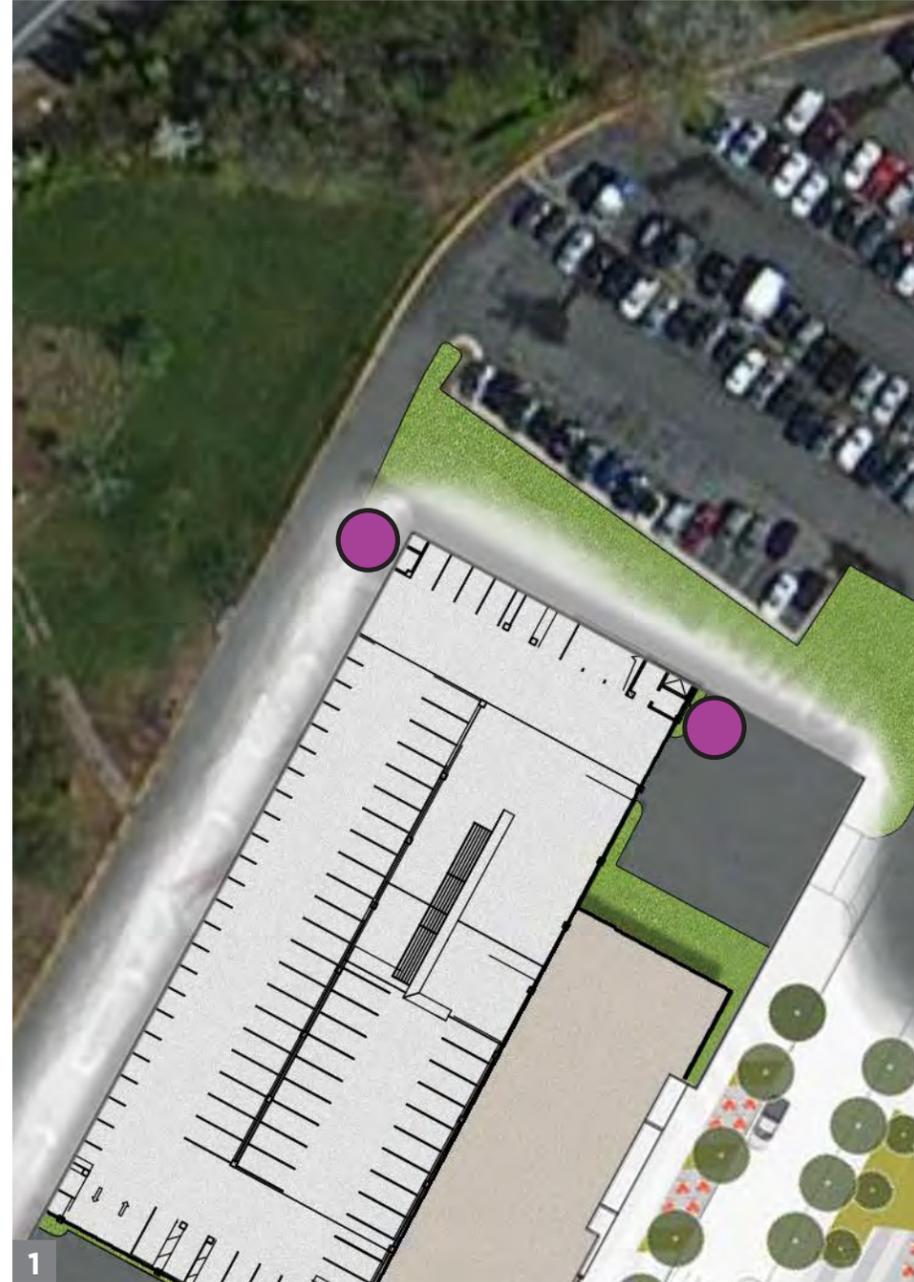
RIGHT

BACK

This sign type will be internally illuminated. All lighting will be indirect and will not project onto surrounding roads or otherwise impair vision.



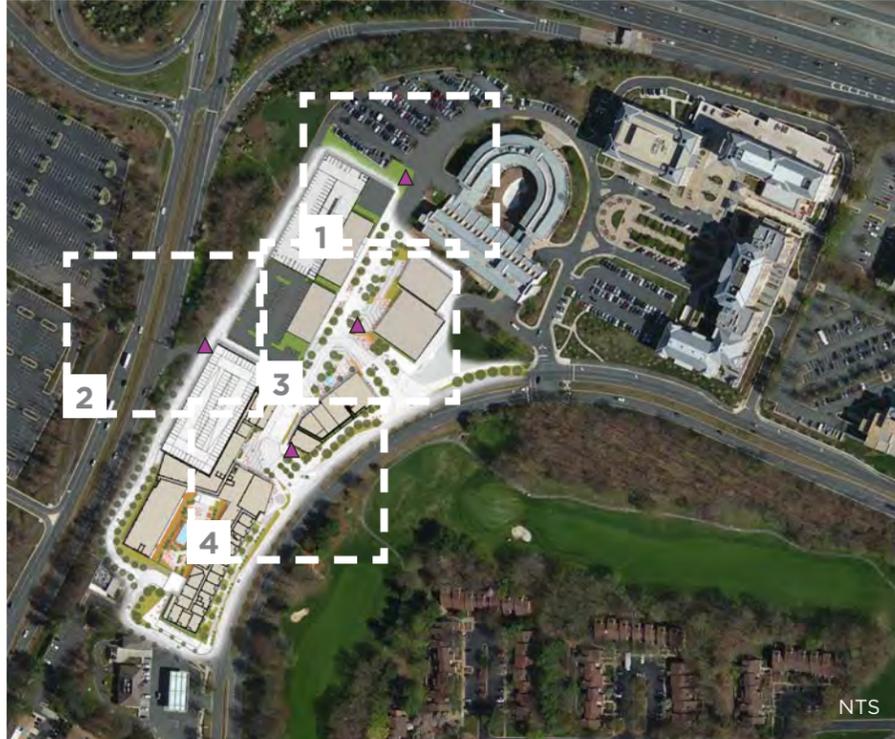
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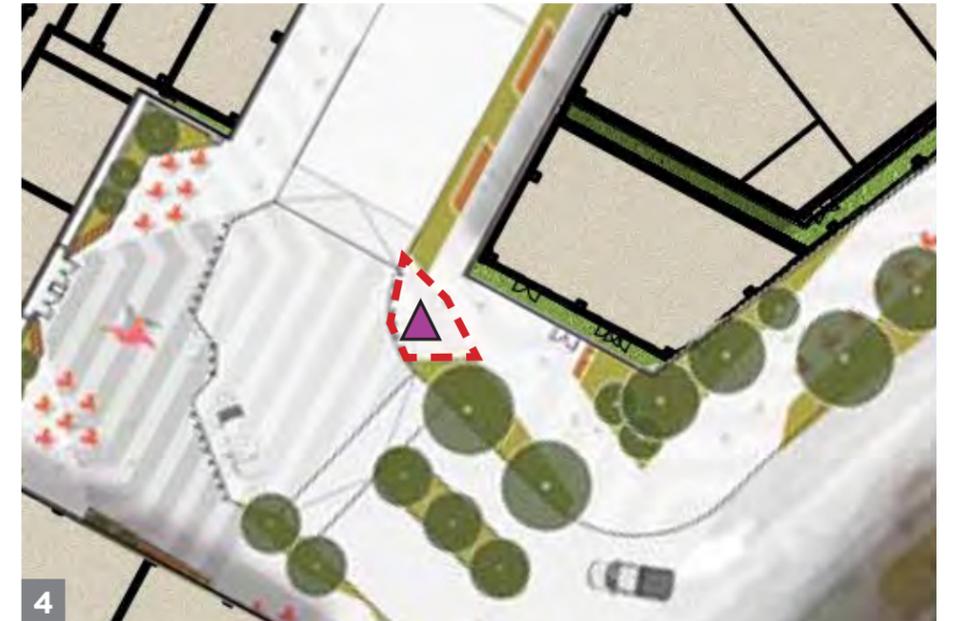
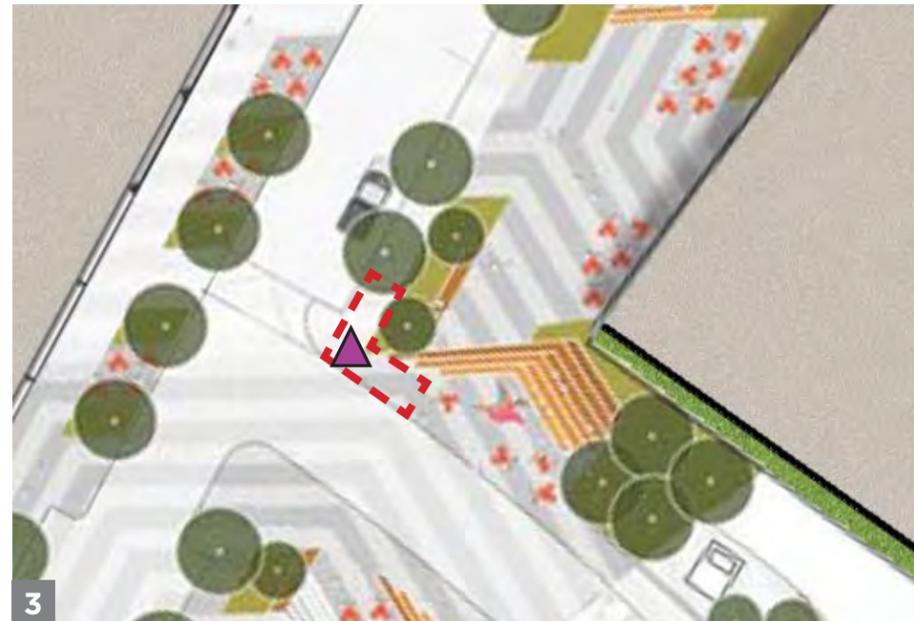
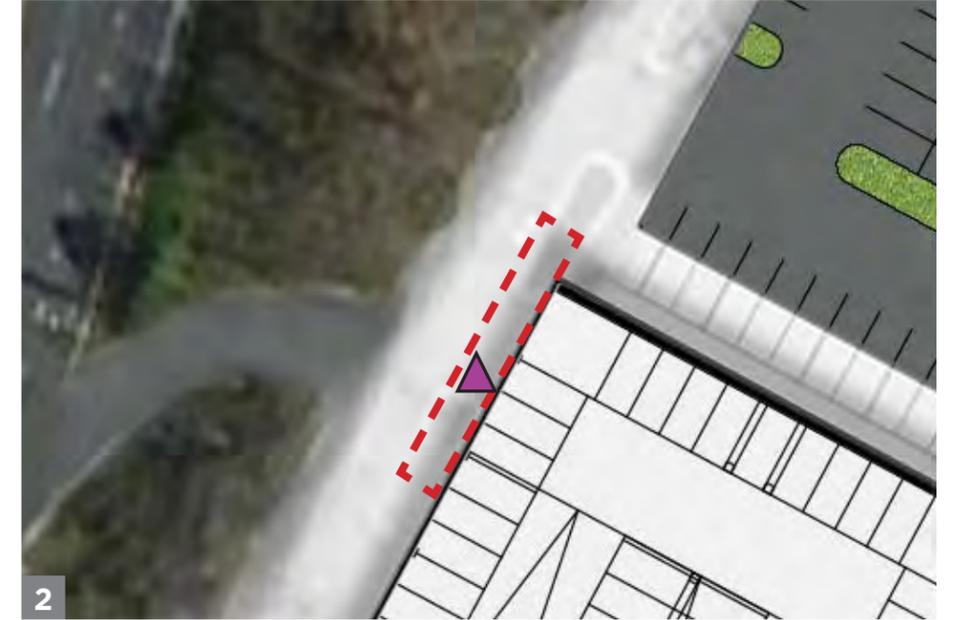
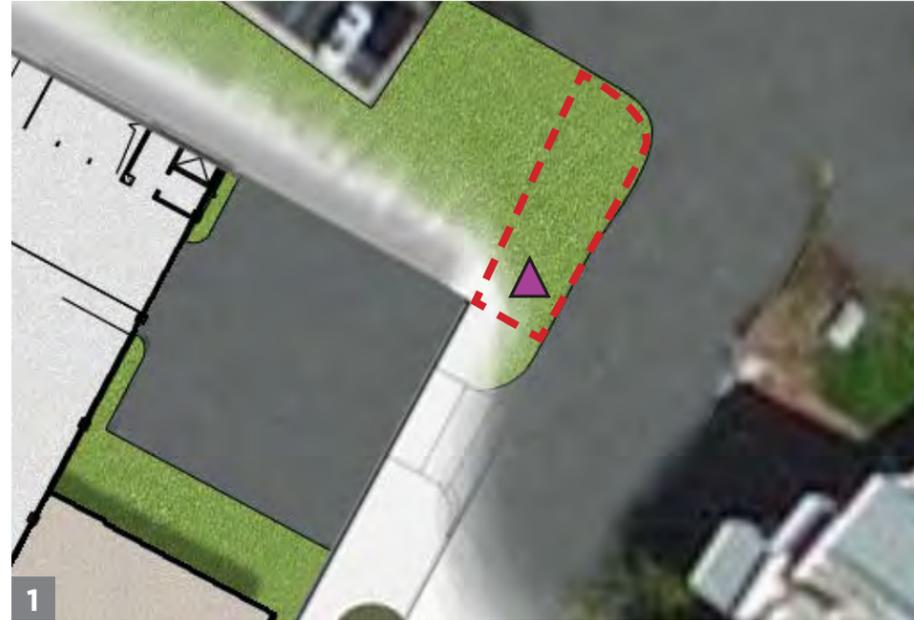


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OVERVIEW

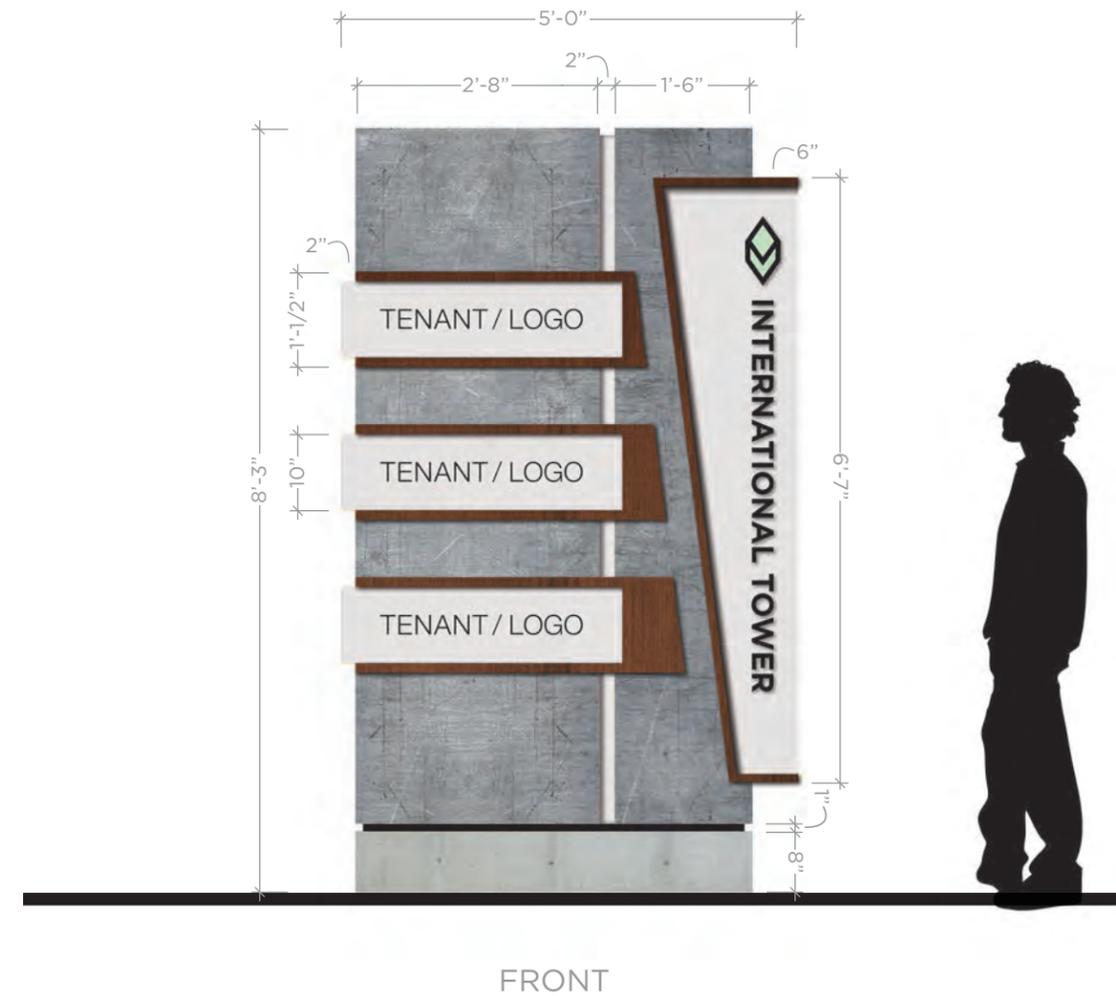
- maximum 3'-0" x 6'-0"; eighteen (18) square feet
- screenprint or digital print on durable fabric, canvas, or vinyl
- banners may be attached to private light poles along internal streets
- banners shall be mounted a minimum of 10'-0" above grade
- each private light pole may feature a pair of banners totaling a maximum of thirty-six (36) square feet
- exact locations and quantities of banners are to be determined
- banners are not illuminated
- designs are to be changed seasonally or at landlord's discretion, and will convey overall project branding
- banners shall not feature advertising for specific retailers or products



Images shown here are for illustrative purposes only and are not intended to be representative of final designs, which are to be determined.

OVERVIEW

- approximately 5'-0" x 8'-3" x 1'-8"
- similar to sign type C (page 19) but without the project logo
- weathered metal cabinet
- internally lit panels (text and logos printed/applied as graphics) wrap around each side
- faux wood frame/panel details
- internally lit vertical reveal
- concrete base



RETAIL SIGNAGE DESIGN

GENERAL GUIDELINES FOR TENANTS

Each Reston Heights tenant will have the flexibility to design a sign package that communicates its brand effectively. Signage is suggested for all elevations facing public areas which feature retail tenants. Since the final tenants and their locations are unknown at this time, elevations of the buildings have been marked with general areas where tenants may elect to locate their signs. Tenant signs will vary in size, materials, and colors. Retail tenant signs will be evaluated on how well the signage integrates into the architectural storefront.

All tenants must obtain any and all required permits for their signage. Further, all signs and graphics are subject to the approval of the landlord's CSP prior to seeking permits in accordance with Article 12 of the Fairfax County Zoning Code. Drawings and specifications of all applications of lighting and signage are to be submitted in writing to the landlord.



MATERIALS, METHODS, AND DESIGN

Quality materials that are durable and eco-friendly are encouraged. These may include: cast, weathered, polished, or painted metal; painted, stained, natural, or faux wood; cast stone and carved natural stone; glazed and ceramic tile; etched, cut, edge-lit, or stained glass; high-quality acrylics; and high-quality canvas or other fabrics.

All methods of attachment must be concealed from view or designed as an integral detail. All signs must be structurally supported through the storefront and shall not penetrate the building shell except in areas provided by the landlord and noted herein.

Graphics should incorporate textural, sculptural, and dimensional qualities. Creating creative and unique graphics while maintaining consistency is favorable.

ILLUMINATION

Signage is typically intended to capture the customer's attention; therefore, it is recommended that the design of the signs take day and nighttime visibility into account to enhance recognition. Retail signs at Reston Heights may be internally or externally illuminated. All types of electrical hardware, wiring, or equipment such as cabinets and transformers shall be concealed or designed as an integrated detail within the signs. All signs must comply with Part 9 of Article 14 of the Fairfax County Zoning Code.

PERMITTED TYPES AND AREA OF ALLOWABLE SIGNAGE

A combination of signage should be used to articulate individual store expression and maximize visibility. Signage elements may include flat sign panels, fabricated dimensional sign panels, fabricated dimensional lettering, window graphics, projecting blade signs, and awning graphics. A variety of sign types may be employed on any storefront, provided the sum of their areas does not exceed the maximum allowable signage area for that specific tenant. The maximum allowable signage area for any tenant under 10,000 square feet in size is two (2) times the linear frontage for that tenant or two hundred (200) square feet of signage area, whichever is smaller. Tenants with a gross area between 10,000 square feet and 19,999 square feet will be permitted two hundred (200) square feet of signage. Tenants with a gross area between 20,000 square feet and 29,999 square feet will be permitted three hundred (300) square feet of signage. Tenants with a gross area of 30,000 square feet or larger will be permitted four hundred fifty (450) square feet of signage. The maximum size for any one sign for tenants 10,000 square feet or larger shall be two hundred (200) square feet. All signs and graphics, whether used alone or in combination, are subject to both landlord and Fairfax County approval. Tenants assume responsibility for obtaining permits and approval prior to installation.

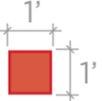
PROHIBITED SIGN MATERIALS AND CHARACTERISTICS

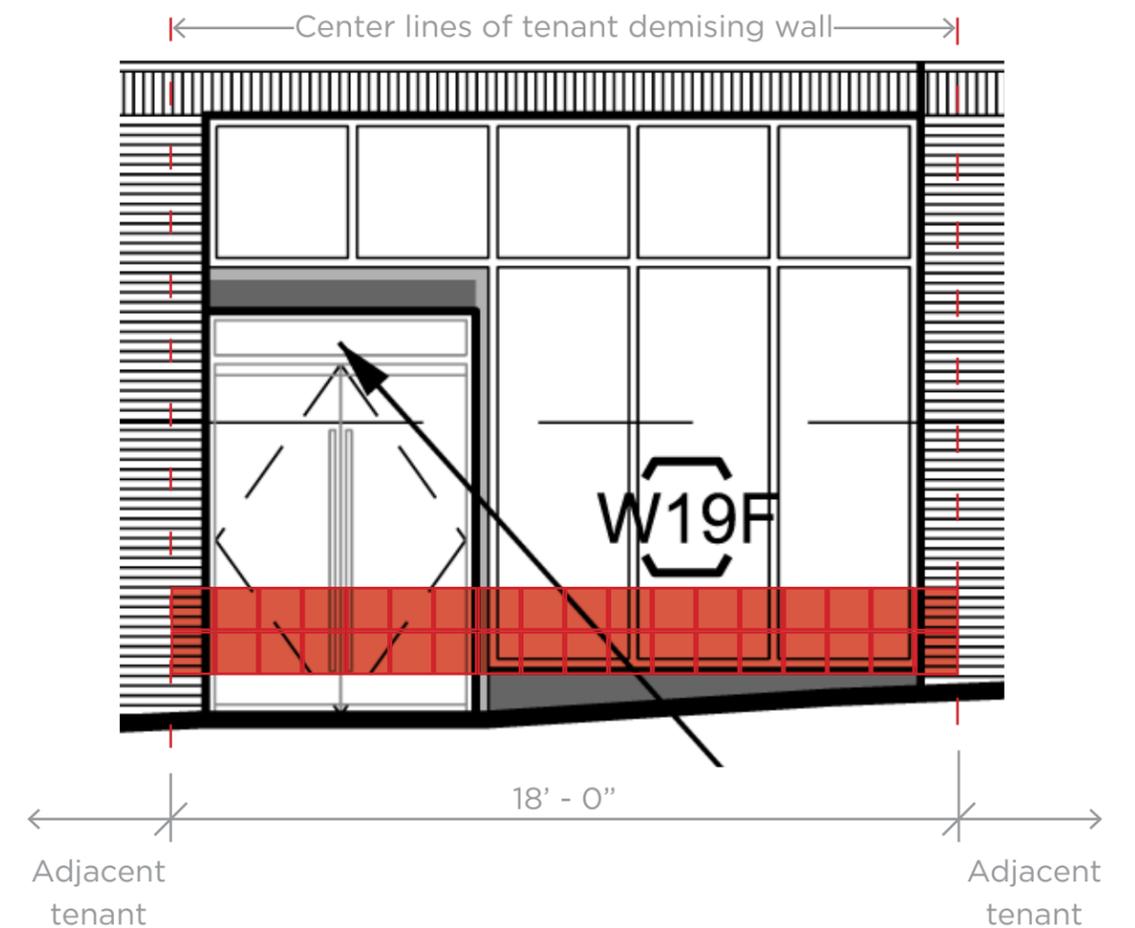
- Etching of the storefront glazing
- Paper or cardboard
- A sign must not be shaped like a traffic sign, be illuminated in a pattern or lighting combination that resembles a traffic signal, or otherwise interfere with traffic safety.
- A sign must not contain or be illuminated by flashing, revolving, or intermittent lights or lights of changing intensity.
- A sign must not be wind activated or have moving parts.
- Signs that have characters which are changed manually or electronically must not be changed more than once each day. This includes a sign that gives the appearance or illusion of movement or a written or printed message.
- Tenants may not locate any portion of their allowable signage away from their space; all tenant signage must be affixed to an exterior wall occupied by that specific tenant.

CALCULATING MAXIMUM SIGN AREA

Measure the linear width of the storefront to the tenant demising walls. Calculate two (2) square feet for each linear foot of this frontage. This is the total signage area permitted by the tenant. The sum of the areas of all allowable signs must not exceed the total allowable signage area.

Total signage area:
 $18' \times (2 \text{ SF/foot}) = 36 \text{ SF}$

1 linear foot = 



WALL SIGNAGE GUIDELINES

Wall-mounted signs are the most common way that shops and restaurants convey their identity and will likely be the primary identification for retail tenants at Reston Heights. They should be easily read, of appropriate size, and include the retailer's logo and typeface. They should be visually appealing and made of high quality materials that can withstand all weather conditions.

- Wall signs should be securely attached to the storefront and should not project more than 12" from the facade.
- Signs must be located carefully and should not block windows, decorative elements, or doors.
- Signs should be located in the upper section of a storefront but must remain below the level of the cornice or second story window sills where applicable.
- The top of the sign may not be higher than the floor of the lowest residential level over the ground-floor retail.
- Text should be at least 10" in height to ensure legibility. Text should be no more than 30" in height.
- Wall-mounted signs may not exceed one hundred (100) square feet each except for tenants with an area of 10,000 square feet or greater.
- Wall-mounted signs shall not be longer than 80% of the linear frontage of the storefront bay to which they are attached.
- Wall-mounted signs may be used in conjunction with other types building-mounted signs, provided the total area for all signs does not exceed the maximum allowable area for each tenant.
- Timing of illumination of tenant signage will be subject to the control of the landlord and is to be determined.



PROJECTING SIGNAGE GUIDELINES

Due to their orientation perpendicular to the sidewalk, a projecting sign is an excellent opportunity for retail tenants to grab the attention of approaching pedestrians. By displaying the retailer's name, logo, colors, and/or icon, projecting signs create visual interest and add an additional layer of information, color, and texture to any storefront design.

- Projecting signs should not extend more than 42" from a facade and must allow at least seven (7) feet of clear passage on the sidewalk below.
- Projecting signs should not be located above the level of the cornice or second story window sills where applicable.
- Signs shall not project over a public right-of-way.
- Signs projecting at a 90° angle to the building shall only count the area of one side toward the maximum allowable signage area.
- Projecting signs with non-parallel sides shall count the area of both sides toward the maximum allowable signage area if the angle between the sides is greater than 45°.
- Hardware used to mount projecting signs should be visually appealing, durable, and well-maintained.
- Projecting signs may be used in conjunction with other types building-mounted signs, provided the total area for all signs does not exceed the maximum allowable area for each tenant.



WINDOW SIGNAGE GUIDELINES

Window signs are painted or professionally adhered directly to the storefront glazing or hung behind. For the purposes of this document, didactic brand information and graphic treatments will be dealt with differently. Brand information on windows is effective in conveying basics about a retailer's operation such as their name, logo, and store hours. Window graphic treatments are useful in extending a retailer's brand identity, creating a mood, and highlighting promotions. Suggested fabrication materials include gold or silver leaf, cut vinyl, silk screening, and painted graphics. Window signs can be changed but should always complement the overall storefront design.

- Most window signs are applied directly to the interior of the glass. Alternatively, they can be made of high quality materials and hung on the inside of the window.
- Didactic brand information may not cover more than 20% of a shop's windows. Window graphic treatments do not count toward maximum allowable signage totals but may not completely obscure merchandise displays.
- Window signage may only be illuminated with indirect lighting.
- Brand information is permitted only within a range of one foot above the bottom of the window to the height of the top of the door.
- Sign permits are required for permanent window signage, which should be limited to two (2) per storefront.
- Window signs may be used in conjunction with building-mounted signs, provided the total area for all signs does not exceed the maximum allowable area for each tenant.



WINDOW BRANDED INFORMATION

WINDOW GRAPHIC TREATMENTS

AWNING SIGNAGE GUIDELINES

Awning signs are versatile and provide flexibility for storefront design along with providing shelter on the streetscape for pedestrians. Canopy signs will be considered a type of awning for the purposes of this document. Each storefront may have an unlimited number of awnings; however, the total signage area for the combined awnings shall not exceed the maximum allowable signage or utilize more than 25% of the total awning area. As with window signage, graphic treatments do not count towards maximum allowable totals provided they do not include a representation of the tenant's logo or icon.

- No more than 25% of the awning area may be covered with didactic brand information.
- Awning signage should be permanently adhered to the awning material through stitching or screenprinting.
- Awnings may not be directly illuminated from beneath the awning canopy.
- Ends of awnings may be either open or enclosed.
- When visible, as with open-ended awnings, hardware used to mount awnings should be visually appealing, durable, and well-maintained.
- Awnings must allow at least seven (7) feet of clear passage on the sidewalk below.
- Awning signs may be used in conjunction with other types building-mounted signs, provided the total area for all signs does not exceed the maximum allowable area for each tenant.





MASTER KEY

- ACCEPTABLE LOCATIONS FOR RETAIL SIGNAGE
- PARKING GARAGE
- RETAIL
- EXISTING OFFICE BUILDING
- RESIDENTIAL

GENERAL NOTES

1. PLAN REFLECTS ACCEPTABLE RETAIL LOCATIONS AFTER CONSTRUCTION HAS BEEN COMPLETED. TENANTS MAY NOT LOCATE ANY PORTION OF THEIR ALLOWABLE SIGNAGE AWAY FROM THEIR SPACE; ALL TENANT SIGNAGE MUST BE AFFIXED TO AN EXTERIOR WALL OCCUPIED BY THAT SPECIFIC TENANT.
2. FRONTAGE ALONG RESTON PARKWAY WILL BE LIMITED TO SIGNAGE ONLY FOR ANCHOR TENANTS, 10,000 SQUARE FEET OR LARGER. ANCHOR TENANTS WILL BE PERMITTED ONE (1) SIGN ON RESTON PARKWAY NOT TO EXCEED TWO HUNDRED (200) SQUARE FEET.
3. SIGNAGE LOCATIONS ARE SHOWN FOR CONCEPTUAL PURPOSES ONLY AND ARE NOT INDICATIVE OF SIZE OR FINAL PLACEMENT, WHICH WILL BE DETERMINED IN THE FIELD AND COULD VARY IN LOCATION
4. FINAL DESIGN, MATERIALS, AND PRODUCTION METHODS OF ALL SIGNS ARE TO BE DETERMINED





Acceptable Locations
for Wall Signs

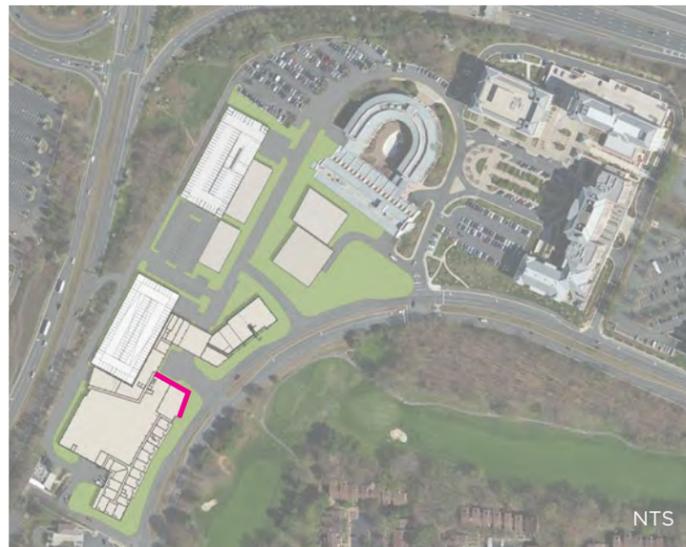
Acceptable Locations
for Window Signs

Acceptable Locations
for Projecting Signs

Acceptable Locations
for Awning Signs

NOTE: Tenants may not locate any portion of their allowable signage away from their space; all tenant signage must be affixed to an exterior wall occupied by that specific tenant.

NOTE: Frontage along Reston Parkway will be limited to signage only for anchor tenants, 10,000 square feet or larger. Anchor tenants will be permitted one (1) sign on Reston Parkway not to exceed two hundred (200) square feet, and the total number of signs on this elevation shall not exceed two (2) signs.



Acceptable Locations
for Wall Signs

Acceptable Locations
for Window Signs

Acceptable Locations
for Projecting Signs

Acceptable Locations
for Awning Signs

NOTE: Tenants may not locate any portion of their allowable signage away from their space; all tenant signage must be affixed to an exterior wall occupied by that specific tenant.



Acceptable Locations
for Wall Signs

Acceptable Locations
for Window Signs

Acceptable Locations
for Projecting Signs

Acceptable Locations
for Awning Signs

NOTE: Tenants may not locate any portion of their allowable signage away from their space; all tenant signage must be affixed to an exterior wall occupied by that specific tenant.



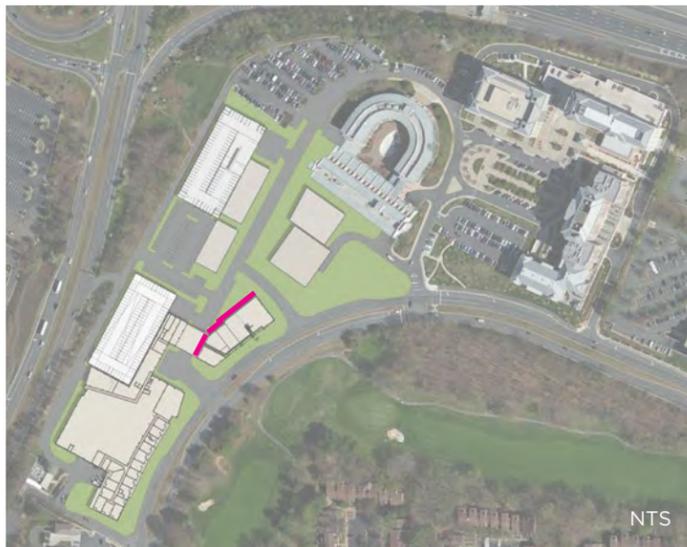
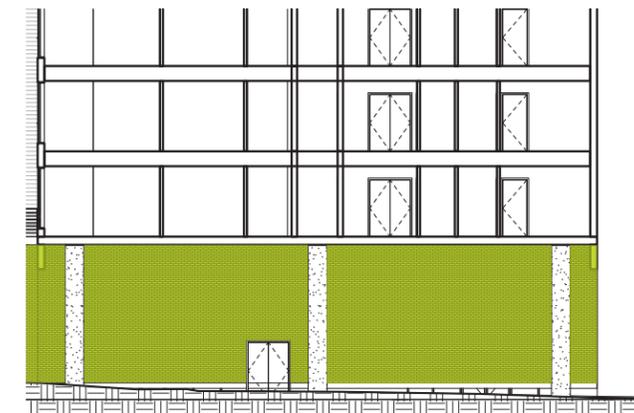
Acceptable Locations
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Acceptable Locations
for Window Signs

Acceptable Locations
for Projecting Signs

Acceptable Locations
for Awning Signs

NOTE: Tenants may not locate any portion of their allowable signage away from their space; all tenant signage must be affixed to an exterior wall occupied by that specific tenant.



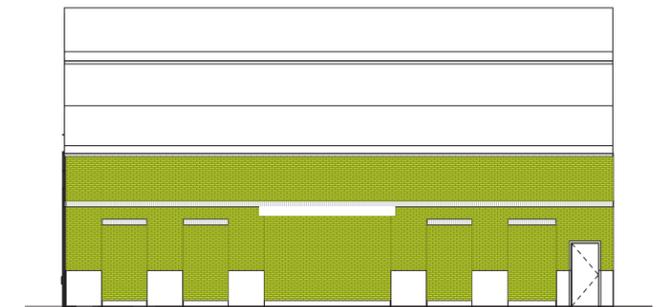
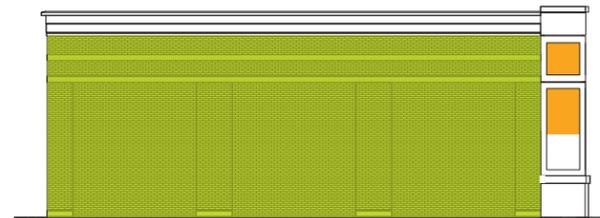
Acceptable Locations
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for Window Signs

Acceptable Locations
for Projecting Signs

Acceptable Locations
for Awning Signs

NOTE: Tenants may not locate any portion of their allowable signage away from their space; all tenant signage must be affixed to an exterior wall occupied by that specific tenant.



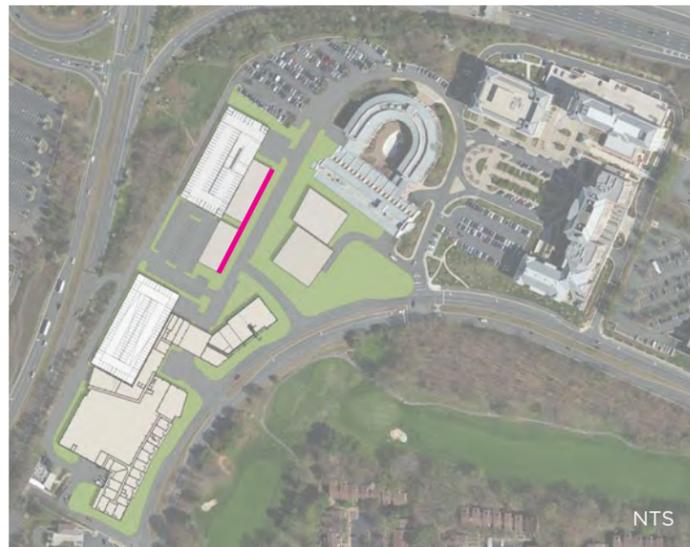
Acceptable Locations
for Wall Signs

Acceptable Locations
for Window Signs

Acceptable Locations
for Projecting Signs

Acceptable Locations
for Awning Signs

NOTE: Tenants may not locate any portion of their allowable signage away from their space; all tenant signage must be affixed to an exterior wall occupied by that specific tenant.



Acceptable Locations
for Wall Signs

Acceptable Locations
for Window Signs

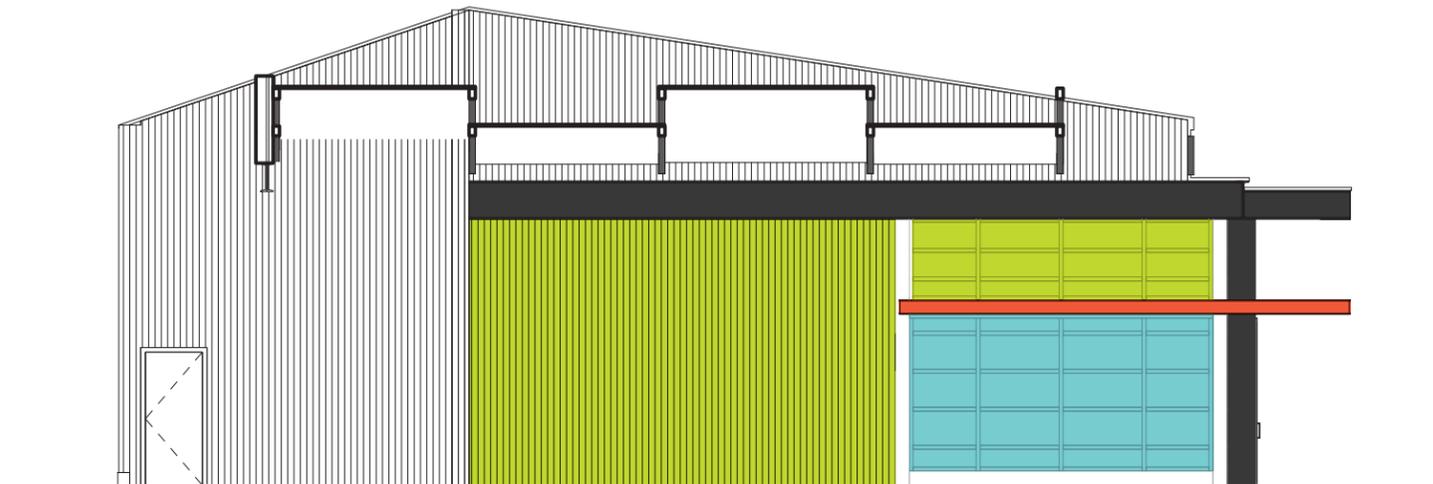
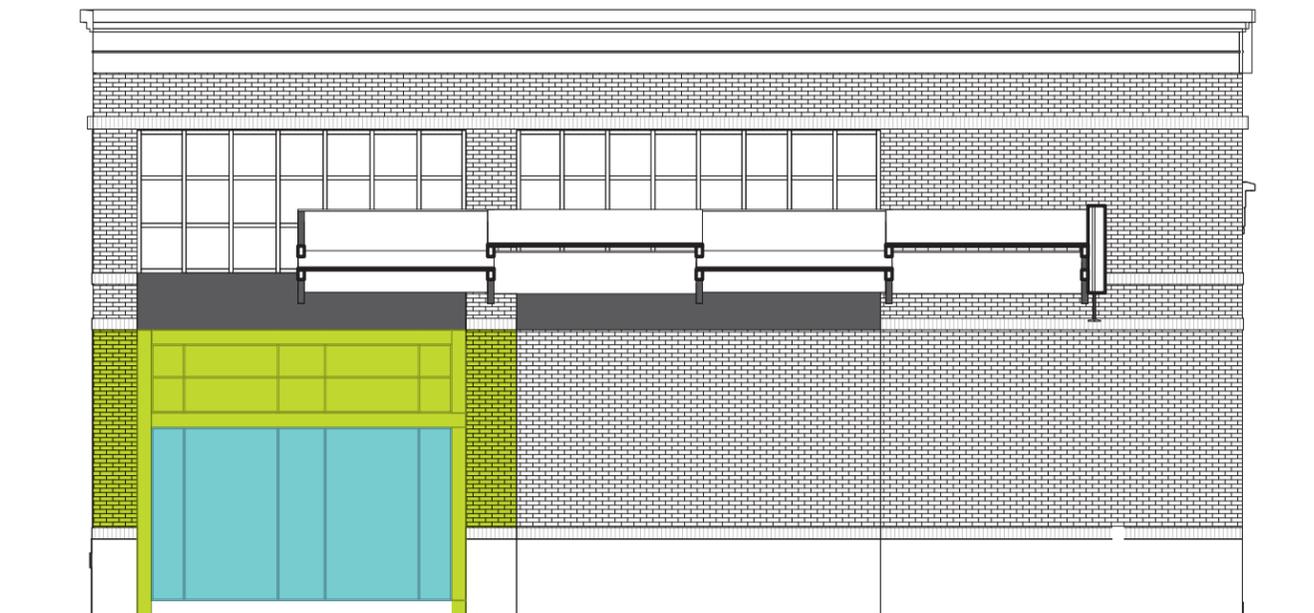
Acceptable Locations
for Projecting Signs

Acceptable Locations
for Awning Signs

NOTE: Tenants may not locate any portion of their allowable signage away from their space; all tenant signage must be affixed to an exterior wall occupied by that specific tenant.

ACCEPTABLE RETAIL SIGNAGE LOCATIONS

NOT TO SCALE | 45



Acceptable Locations
for Wall Signs

Acceptable Locations
for Window Signs

Acceptable Locations
for Projecting Signs

Acceptable Locations
for Awning Signs

NOTE: Tenants may not locate any portion of their allowable signage away from their space; all tenant signage must be affixed to an exterior wall occupied by that specific tenant.



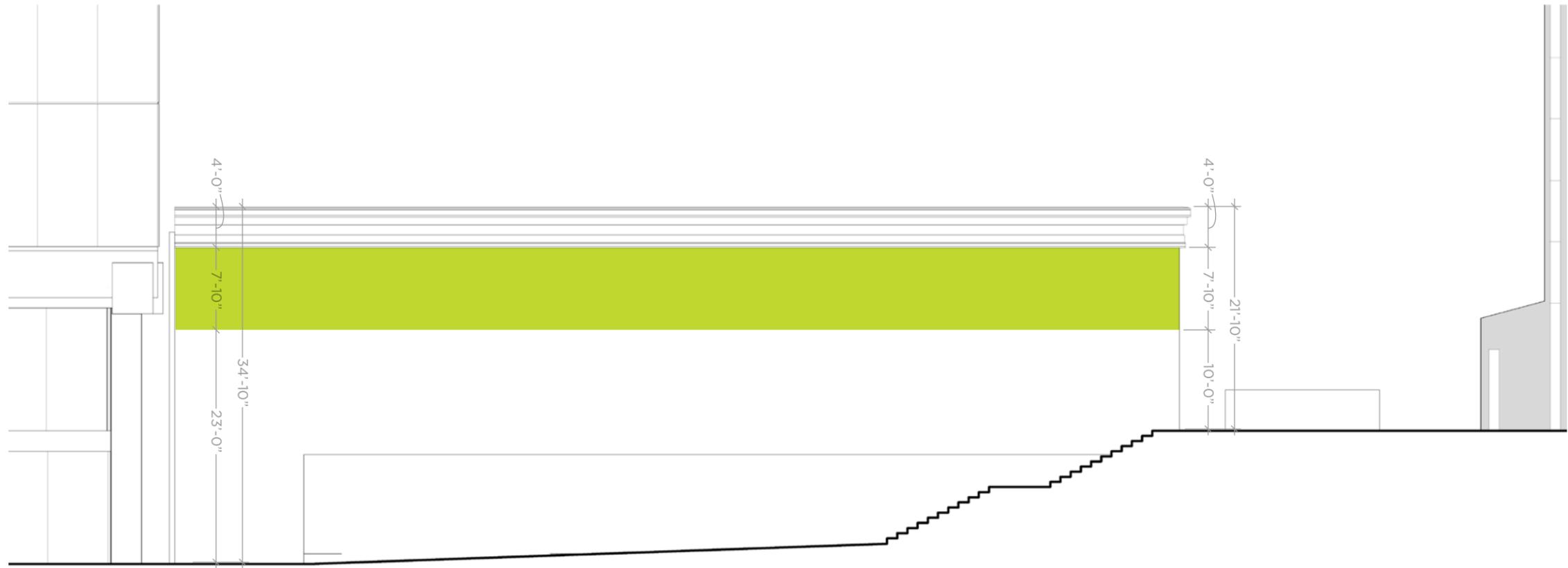
Acceptable Locations
for Wall Signs

Acceptable Locations
for Window Signs

Acceptable Locations
for Projecting Signs

Acceptable Locations
for Awning Signs

NOTE: Tenants may not locate any portion of their allowable signage away from their space; all tenant signage must be affixed to an exterior wall occupied by that specific tenant.



Acceptable Locations
for Wall Signs

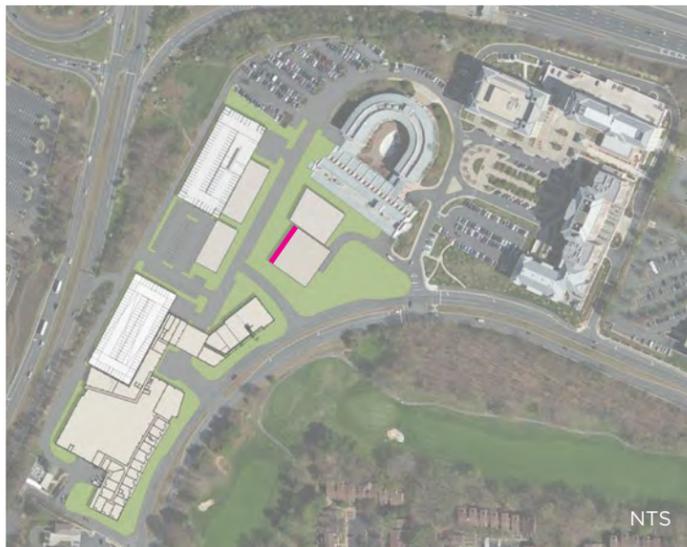
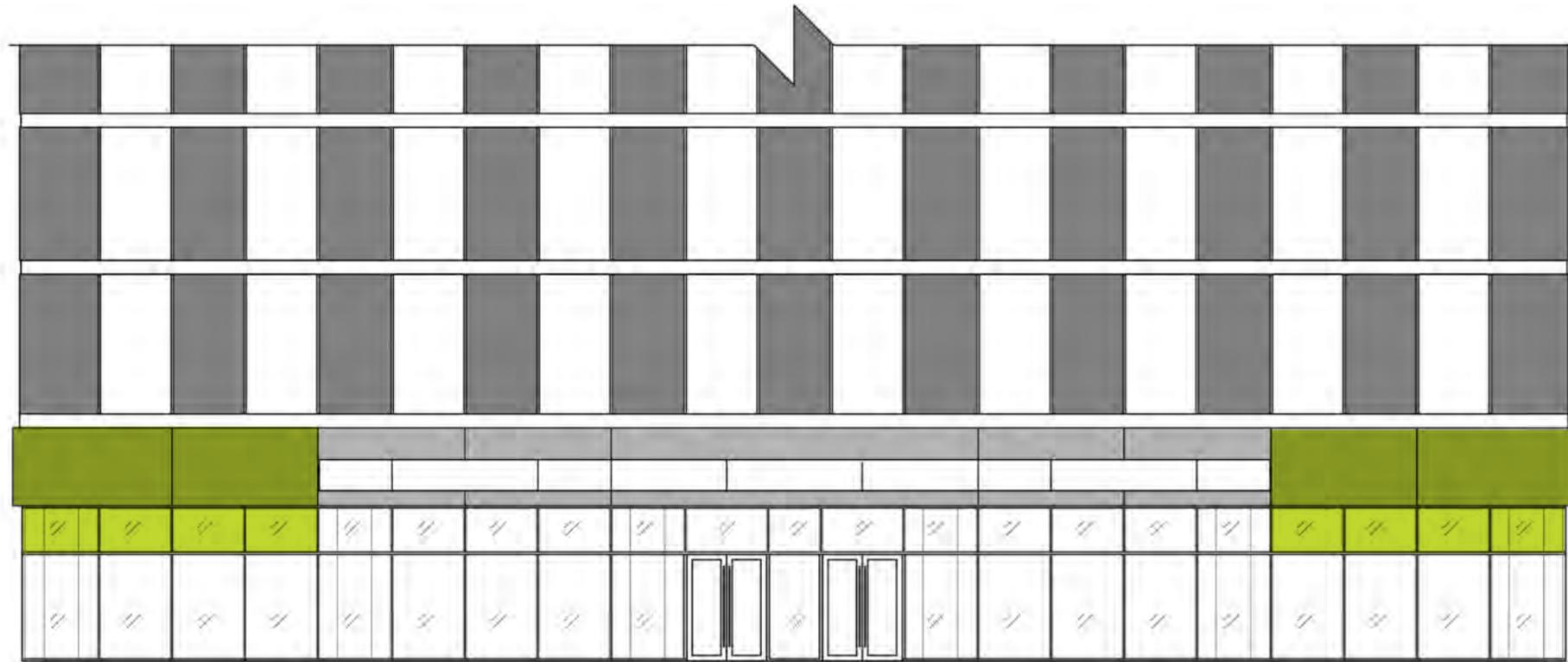
Acceptable Locations
for Window Signs

Acceptable Locations
for Projecting Signs

Acceptable Locations
for Awning Signs

NOTE: Tenants may not locate any portion of their allowable signage away from their space; all tenant signage must be affixed to an exterior wall occupied by that specific tenant.

NOTE: Signage on this elevation will be limited to one (1) per tenant for up to three (3) tenants located within this building, for a maximum total of three (3) signs. Each individual sign shall not exceed two hundred (200) square feet.



Acceptable Locations
for Wall Signs

Acceptable Locations
for Window Signs

Acceptable Locations
for Projecting Signs

Acceptable Locations
for Awning Signs

NOTE: Tenants may not locate any portion of their allowable signage away from their space; all tenant signage must be affixed to an exterior wall occupied by that specific tenant.

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TEMPORARY SIGNAGE

TEMPORARY SIGNAGE PERMITS

Temporary signs not requiring a permit shall conform to Article 12 of the Fairfax County Zoning Ordinance with the exception of the conditions specifically listed here.

RETAIL LEASING SIGNS

In addition to the temporary sign(s) located on the property, temporary signs of a maximum of fifty (50) square feet advertising the lease of retail spaces shall be permitted for any and all empty storefronts during such time as those retail spaces are vacant. The design and content of these signs shall be under the exclusive control of the landlord.

RETAIL STOREFRONT GRAPHICS

Temporary retail graphics are permitted for any and all empty storefronts during such time as those retail spaces are vacant. These banners will feature retail-oriented graphics and overall project branding or messaging. Retail banners are to be designed for placement behind storefront glass and shall fit wholly within the vacant storefront. The design and content of these banners shall be under the exclusive control of the landlord and shall not include specific tenant information or advertising.

TEMPORARY TENANT SIGNAGE

Each retail tenant may be permitted both a temporary “Coming Soon” banner prior to that tenant’s opening and a temporary “Now Open” banner immediately following their opening; each type must be a maximum of fifty (50) square feet. These temporary banners may be permitted anywhere on the tenant’s retail storefront. “Coming Soon” banners announcing a tenant may be permitted on the storefront of the tenant’s space for the duration of construction of the interior. Once open, “Now Open” banners announcing the new tenant may be permitted on that tenant’s storefront for a period of thirty (30) days immediately following the tenant’s opening. Advertisements of sales, merchandise, or seasonal promotions may be displayed inside storefront windows for a period not to exceed forty-five (45) consecutive days, and may not completely obscure merchandise displays. The design and content of these signs shall be subject to landlord approval and control.



TEMPORARY WAYFINDING

Temporary wayfinding signs may be utilized to facilitate vehicular and pedestrian flow throughout the site during periods of construction or during special events which require street closures or overflow parking sites. These may include event and/or project identity information including logos and graphics as well as relevant text and directionals. Any such signs shall be limited to a maximum of 10' in height if freestanding.

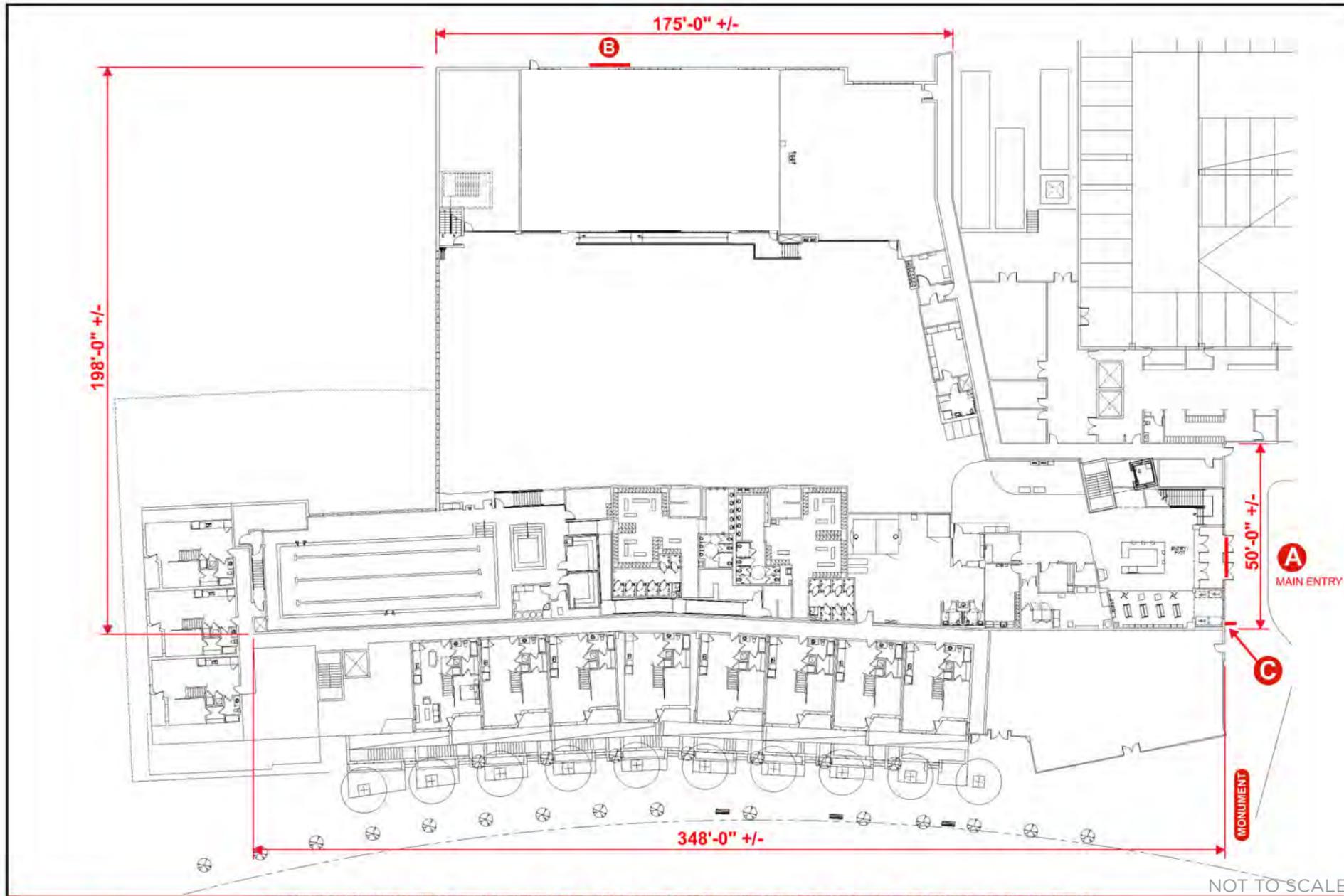


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APPENDIX

Sign Type/Name	Number of Locations	Maximum Size and Area	Total Area of Sign Type	Allowable Area by Zoning	Notes
Sign Type A Project Identity/Tenant Monument	2 locations (see page 13)	Free-standing sign 5'-5" x 9'-2" x 1'-10" overall 61.5 square feet per sign (w/o base)	123 square feet	160 square feet (80 SF maximum per sign) Par. 3 of Sect. 12-206	Proposed sign within overall allowable height limit of 20'-0"; sign includes project logo along one edge.
Sign Type B Project ID Gateway Marker	2 locations (see page 16)	Free-standing sign 2'-0" x 9'-0" x 2'-0" overall 33 square feet per sign (w/o base)	66 square feet	160 square feet (40 SF maximum per sign) Par. 13A of Sect. 12-203	Proposed sign within overall allowable height limit of 20'-0"; signs proposed to be oriented diagonally at project entrances.
Sign Type C Intl. Tower/Retail Monument	1 location (see page 19)	Free-standing sign 5'-0" x 8'-3" x 1'-8" overall 50 square feet per sign (w/o base)	50 square feet	120 square feet (40 SF maximum per sign) Par. 13A of Sect. 12-203	Proposed sign within overall allowable height limit of 20'-0"; signs proposed at entrances to project.
Sign Type D Site Directory	2 locations (see page 21)	Free-standing sign 3'-0" x 6'-11" x 1'-4" overall sign area: 3'-0" x 5'-3" 16 square feet per sign (w/o base)	32 square feet	30 square feet (15 SF maximum per sign) Par. 13C of Sect. 12-203	Proposed sign within overall allowable height limit of 8'-0"; sign supports not included in overall area; sign includes project logo along edges.
Sign Type E Parking Signage	6 locations (see page 23)	Projecting sign 2'-6" x 3'-2" x 1'-4" overall 8 square feet	48 square feet	12 square feet (2 SF maximum per sign) Par. 2G of Sect. 12-103	Signs for the direction and convenience of vehicular traffic on the site; building mounted with an area of 8 square feet per sign face.
Sign Type F Trailblazing Signage	4 locations (see page 27)	Free-standing sign 6'-4"x 10'-4" x 6'-4" overall sign area varies (2'-0" x 3'-0" max per side) 22 square feet max	88 square feet maximum area	12 square feet (2 SF maximum per sign) Par. 2G of Sect. 12-103	Signs for the direction and convenience of the public have a maximum area of 2 square feet per sign; proposed at major decision points within the project; sign post not included in overall area.
Sign Type H Intl. Tower Tenant Monument	1 location (see page 30)	Free-standing sign 5'-0" x 8'-3" x 1'-8" overall 38 square feet per sign (w/o base)	38 square feet	20 square feet (20 SF maximum per sign) Par. 13B of Sect. 12-203	Proposed sign within overall allowable height limit of 20'-0"; sign proposed in plaza near office entrance.

Sign Type/Name	Number of Locations	Maximum Size and Area	Total Area of Sign Type	Allowable Area by Zoning	Notes
Retail Signage	Varies (see pages 32 to 49)	Varies by tenant* 1,340 linear feet inline retail 35,700 SF anchor tenant Tenant 9,999 sf or less: 2x linear frontage or 200 sf Tenant 10,000 to 19,999 sf or less: 200 sf Tenant 20,000 to 29,999 sf or less: 300 sf Tenant 30,000 or greater: 450 sf	3,130 square feet total + additional anchor tenant signage* 2,680 SF (2 SF/linear foot for inline retail) 450 SF for anchor tenant A signage area TBD* signage area TBD* *See page 33 for a further description of allowable retail tenant signage.	2,518 square feet total 1,340 linear feet at 1.5 SF/linear foot 260 SF for tenant with 210 feet of frontage 248 SF for tenant with 198 feet of frontage Par. 9 of Sect. 12-203	Zoning allows 1.5 square feet of signage per linear foot up to 100 linear feet and 1 square foot of signage for each linear foot over 100 linear feet.
Existing Office Signage	A) Location of two existing top-of-building signs to remain as allowable signage locations; and B) Location of existing sign on east ground floor façade to remain as allowable signage location	A) Two top-of-building sign areas permitted for 250 SF each; B) east façade sign permitted for 30 SF	530 square feet total: 500 SF for top-of-building signage; 30 SF for east façade sign	165 square feet (based on 115 LF of frontage on Sunrise Valley Drive) Par. 8 of Sect. 12-203	Signage as described here is currently approved and permitted for 530 SF, with two (2) top-of-building signs each with an area of 250 SF and a 30 SF sign on the east façade; this document proposes no change to existing signage.
Future Office Signage (TBD)	Varies (TBD)	Varies by tenant 650 linear feet total	700 square feet	700 square feet Par. 8 of Sect. 12-203	Proposed signage allowance conforms to existing zoning: 1.5 square feet for first 100 linear feet, and 1.0 square feet for each linear foot thereafter.
Future Residential Signage (TBD)	1 location (see page 12)	Free-standing sign: Dimensions TBD 30 square feet per sign (w/o base) Rental/Sales Office Sign: Dimensions TBD 4 square feet per sign	34 square feet	34 square feet (30 SF maximum per sign) Par. 4 & 5 of Sect. 12-202	Proposed freestanding sign will be within overall allowable height limit of 8'-0"; rental/sales office sign will be building- mounted near entrance.



PROPOSED SIGNAGE AREA

Sign A:	73.4 SF
Sign B:	165.0 SF
Sign C:	22.8 SF
Total:	261.2 SF

DRAWING IS FOR CONCEPTUAL PURPOSES ONLY. DUE TO CONSTRUCTION CONSTRAINTS, SIZES AND OR LAYOUTS MAY CHANGE SLIGHTLY.

I.D. ASSOCIATES

1771 INDUSTRIAL ROAD · DOTHAN, ALABAMA · 36303
 PH (888) 303-5534 · FAX (334) 836-1401
 www.idassociatesinc.com

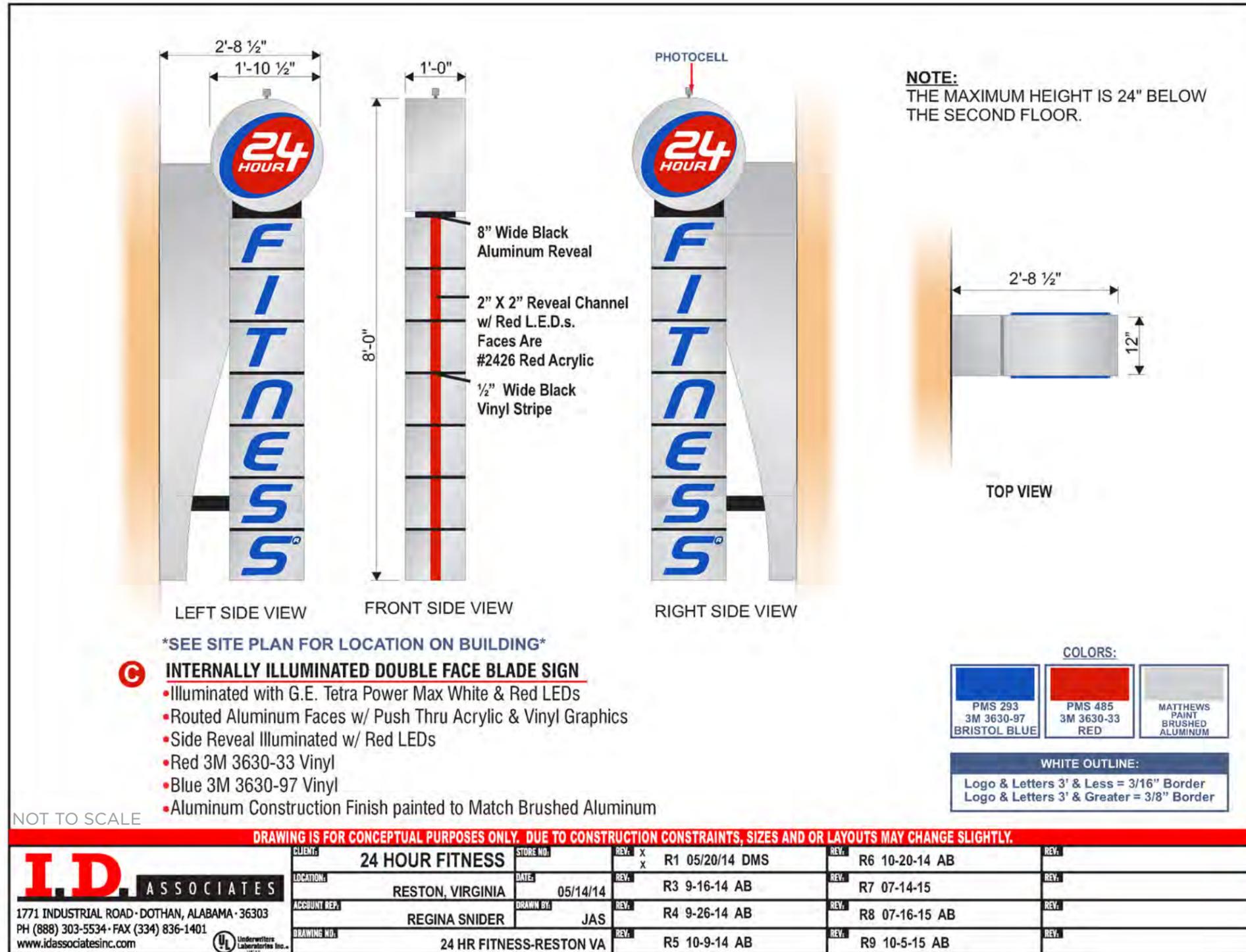
CLIENT:	24 HOUR FITNESS	STORE NO.:		REV.:	X	R1 05/20/14 DMS	REV.:	R6 10-20-14 AB	REV.:	
LOCATION:	RESTON, VIRGINIA	DATE:	05/14/14	REV.:	X	R3 9-16-14 AB	REV.:	R7 07-14-15	REV.:	
ACCOUNT REP.:	REGINA SNIDER	DRAWN BY:	JAS	REV.:		R4 9-26-14 AB	REV.:	R8 07-16-15 AB	REV.:	
DRAWING NO.:	24 HR FITNESS-RESTON VA			REV.:		R5 10-9-14 AB	REV.:	R9 10-5-15 AB	REV.:	





24 HOUR FITNESS SIGNAGE





DESCRIPTION OF THE APPLICATION

The applicant, Reston Heights Residential I, LLC, has requested the approval of a Comprehensive Sign Plan (CSP) for its Reston Heights mixed use project between Reston Parkway and Sunrise Valley Drive. The CSP would include 28 signs of varying sizes in addition to 3,130 square feet of sign area exclusively for identifying retail tenants. A reduced copy of the CSP is included at the beginning of this staff report. A copy of the applicant's statement of justification is included in Appendix 2.

LOCATION AND CHARACTER

The 9.96 acre site is located approximately one half mile south of the Reston Town Center, along the eastern side of Reston Parkway. Other than the existing 183,190 square foot Reston International Center office building, there are no other structures on site as the applicant is implementing the approved mixed use redevelopment of the subject properties.

The property currently has vehicular access points along Sunrise Valley Drive, and an approved access from Reston Parkway. To the northeast, the property is bordered by the Sheraton Reston Hotel, the Westin Reston Heights Hotel, the 300-unit Mercer condominium building, and a 130,000 square foot office building. Beyond these four buildings to the north is the Dulles Toll Road.

The Reston National Golf Course is located to the east across Sunrise Valley Drive. The property is bordered on the south by a Popeye's fast food establishment, an Exxon service station, and approximately 56,000 square feet of office condominiums. These properties, along with those to the northeast previously mentioned, are zoned PRC.

BACKGROUND

On October 11, 1972, the Board of Supervisors approved SP-75 for additional sign area in excess of the 200 square foot maximum per sign permitted by the Zoning Ordinance at that time. The Board's action permitted two signs for the Reston International Center each measuring 250 square feet.

On July 9, 2013, the Board of Supervisors approved PRCA B-846 for a mixed-use redevelopment of the subject property¹. The PRCA Plan shows the existing Reston International Center office building and a 15-story addition of new office space with ground floor retail space. Four new buildings for the site would constitute 498 dwelling units, 145,000 square feet of retail space and 675,000 square feet of office space. The five buildings would result in a 2.8 Floor Area Ratio (FAR) for the approved development on site.

¹ For more information on the approved site layout, the staff report for PRCA B-846 can be accessed by visiting <http://ldsnet.fairfaxcounty.gov/ldsnet/ldsdfw/4416119.PDF>.

DESCRIPTION OF THE COMPREHENSIVE SIGN PLAN

Section 12-210 of the Zoning Ordinance allows the Planning Commission to approve a Comprehensive Sign Plan for Planned District developments to provide greater flexibility than the standard sign provisions contained in Article 12. The applicant’s CSP proposes 28 signs to identify the residential and commercial buildings, and to direct visitors to where particular tenants are located. Figure 1 shows the overall location of each of these signs.

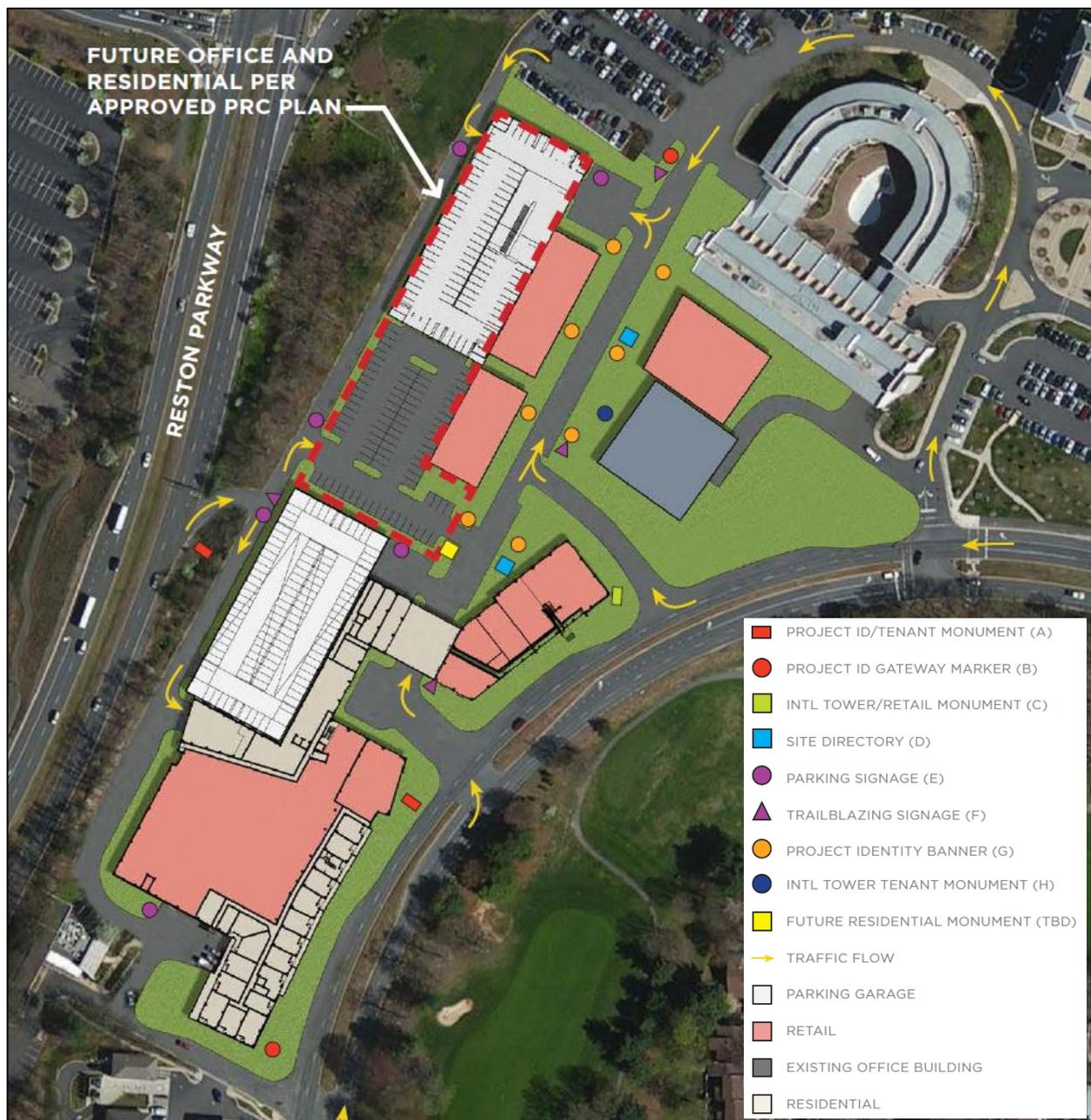


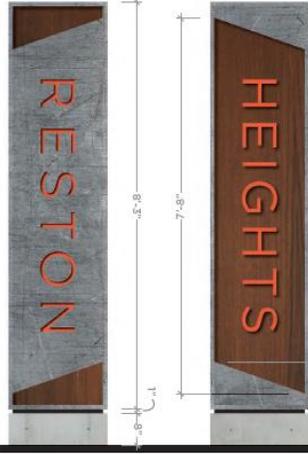
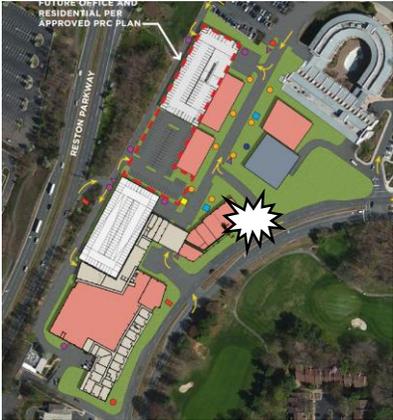
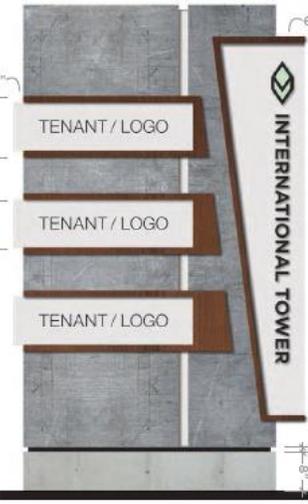
Figure 1: The CSP identifies each of the proposed signs and their respective locations (Source: JBG Companies/Streetsense, January 20, 2015)

The Zoning Evaluation Division (ZED) selected CSP B-846-03 as the case number for this CSP as the application was preceded by two other CSPs within the original 44.79 acres rezoned by the Board of Supervisors with B-846 in 1969. The first, CSP B-846, was accepted for review on March 17, 2004, deferred indefinitely on July 28, 2004, and dismissed on December 2, 2010. This CSP was related to signs for the adjacent Reston Square development to the northeast of the subject property, without the adjacent Sheraton Reston Hotel. CSP B-846-02 was approved by the Planning Commission on October 29, 2009 and governs the signs displayed throughout Reston Square, including the Sheraton Reston Hotel.

Monument Signs

The applicant would use a series of monument signs to identify the Reston Heights project. Two of these signs, labelled Sign Type A in the CSP, would be located at the primary access points on Reston Parkway and Sunrise Valley Drive. These signs would identify anchor tenants within Reston Heights. Two additional monument signs (Sign Type B) would be located at the northern and southern end of the subject property, without the additional sign area for tenant identification. The proposed CSP includes two signs identifying the Reston International Center office building. One sign, labelled as Sign Type C, would be located on Sunrise Valley Drive. The second sign, Sign Type H, would be along the site’s central retail plaza and identify the office building and individual office tenants. The applicant has requested 30 square feet for a sign for the approved 385-unit multifamily residential building, along with 4 square feet for a residential leasing sign. These signs are outlined below in Table 1.

Table 1 – Proposed Monument Signs				
Label	Sign Area Allowed by Art. 12	Proposed Sign Area	Sign Copy (Pages Found in CSP)	Location
A - Project Identity/ Tenant Monument	160 sf. (80 sf. max per sign) (12-206, Par. 3)	123 sf. (66.5 sf. max on two signs)	 <p>Sheets 13-15</p>	

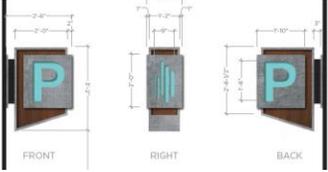
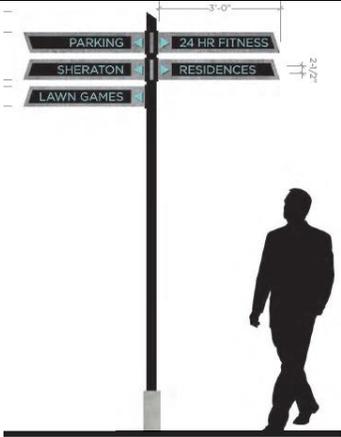
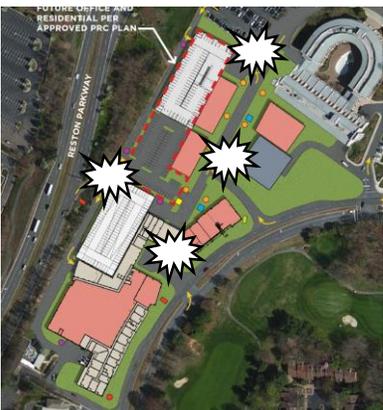
<p>B - Project ID Gateway Marker</p>	<p>160 sf. (40 sf. max per sign) (12-203, Par. 13A)</p>	<p>66 sf. (33 sf. max on two office park signs)</p>	 <p>Sheets 16-18</p>	
<p>C - Intl. Tower/ Retail Monument</p>	<p>20 sf. (20 sf. max per sign); 1 sign permitted per office building in close proximity</p>	<p>55 sf.</p>	 <p>Sheets 19-20</p>	
<p>H - Intl. Tower Tenant Monument</p>	<p>(12-203, Par. 13B)</p>	<p>50 sf.</p>	 <p>Sheet 30</p>	

<p>Future Residential Sign</p>	<p>12 sf. for free-standing sign; 4 sf. for building-mounted sign (12-202, Par. 2, 4, and 5)</p>	<p>34 sf.</p>	<p>Not depicted in CSP</p>	
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Wayfinding Signs

The CSP includes two signs (Sign Type D) that would provide pedestrians with an overall map of the site’s layout, with each sign located along the central retail plaza. The applicant would use Sign Type E, measuring 8 square feet each, above each parking garage entrance to identify where motorists can enter and exit the underground parking facilities. In addition, the applicant has shown four locations (Sign Type F) for directional signs to guide pedestrians to key off-site and on-site landmarks and businesses proximate to Reston Heights. Table 2 shows the proposed wayfinding signs.

<p>Table 2 – Proposed Wayfinding Signs</p>				
<p>Label</p>	<p>Sign Area Allowed by Art. 12</p>	<p>Proposed Sign Area</p>	<p>Sign Copy</p>	<p>Location</p>
<p>D - Site Directory</p>	<p>30 sf. (15 sf. max per sign) (12-203, Par. 13C)</p>	<p>30 sf. (15 sf. max on two signs)</p>	<p>Sheets 21-22</p>	

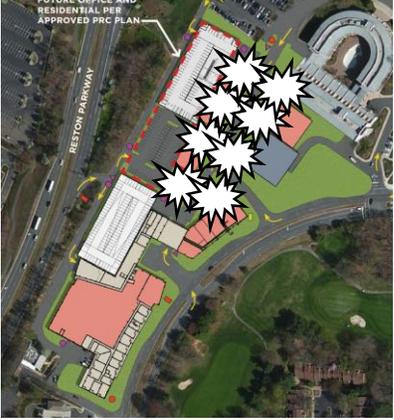
<p>E - Parking Signage</p>	<p>12 sf. (2 sf. max per sign) (12-103, Par. 2G)</p>	<p>48 sf. (8 sf. max on six signs)</p>	 <p>FRONT RIGHT BACK</p> <p>Sheets 23-26</p>	 <p>FUTURE OFFICE AND RESIDENTIAL PER APPROVED PRC PLAN</p> <p>RESTON PARKWAY</p>
<p>F - Trailblazing Signage</p>	<p>16 sf. (4 sf. max per sign) (12-203, Par. 13C)</p>	<p>88 sf. (22 sf. max on four signs)</p>	 <p>3'-0"</p> <p>PARKING 24 HR FITNESS</p> <p>SHERATON RESIDENCES</p> <p>LAWN GAMES</p> <p>Sheets 27-28</p>	 <p>FUTURE OFFICE AND RESIDENTIAL PER APPROVED PRC PLAN</p> <p>RESTON PARKWAY</p>

Other Signs

The applicant intends to use banners on the light poles along the central retail plaza. According to Sheet 29 of the CSP, the applicant would not use the banners for advertising of specific retailers or products, but would instead “convey overall project branding” and be changed “seasonally, or at the landlord’s discretion.”

The sign matrix on Sheets 54 and 55 includes sign area for office tenants. The applicant would carry forward the existing 530 square feet of sign area for the Reston International Center office building, and set aside an additional 700 square feet of building-mounted sign area for a second office building identified as Building D on the approved 2013 PRCA Plan. Table 3 on the following page gives specific information on these signs, while Figure 2 identifies the location of Building D on page 8.

Table 3 – Other Proposed Signs

Label	Sign Area Allowed by Art. 12	Proposed Sign Area	Sign Copy	Location
<p>G - Project Identity Banners</p>	<p>Not a permitted sign per Article 12</p>	<p>144 sf. (18 sf. max on eight signs)</p>	 <p>Sheet 29</p>	
<p>Existing Office Sign Area</p>	<p>165 sf. (based on 115 feet of Sunrise Valley Drive frontage) (12-203, Par. 8)</p>	<p>530 sf. (250 sf. for two existing building-mounted signs along top parapet, and 30 sf. for east facade)</p>	<p>“Reston International Center”; approved and permitted with SP-75 in 1972; no changes proposed to existing signs Referenced in the Signage Matrix on Sheet 57</p>	
<p>Future Office Sign Area</p>	<p>700 sf. (based on 650 feet of Sunrise Valley Drive frontage) (12-203, Par. 8)</p>	<p>700 sf.</p>	<p>Not depicted in CSP</p>	<p>Not depicted in CSP</p>

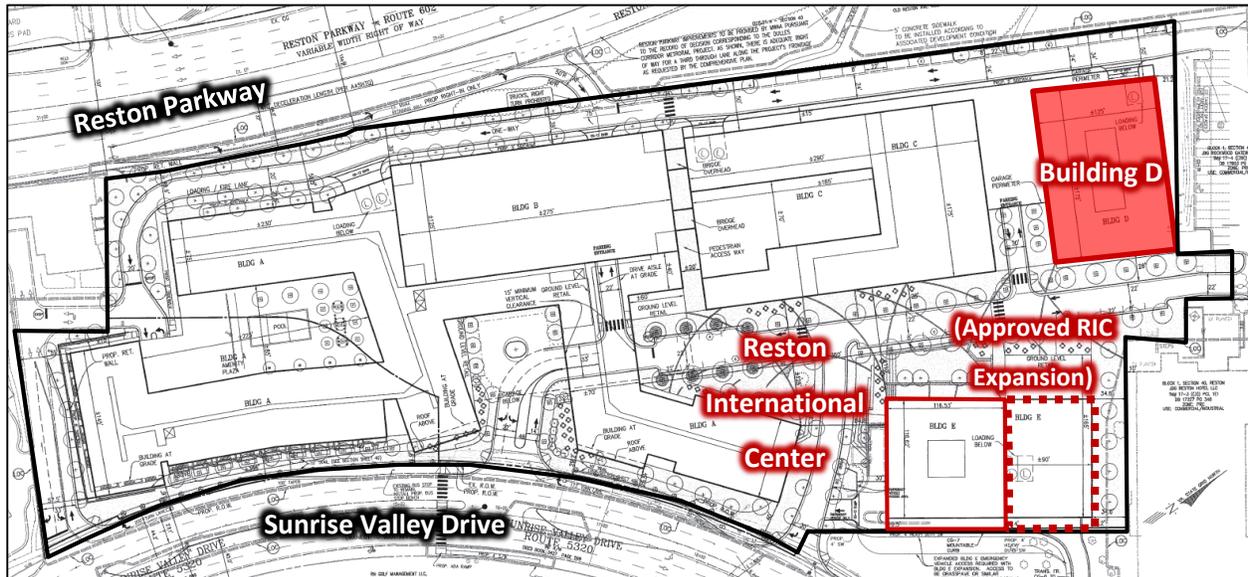


Figure 2: Building D as shown on the approved PRCA Plan. The applicant has requested 700 square feet of sign area for this building, but has not depicted sign locations or sizes for this building’s signs in the CSP. (Source: Urban, Ltd., March 15, 2013)

Temporary Signs

Sheets 52 and 53 of the CSP outline the applicant’s plans for using temporary signs² within the approved development. The applicant would use temporary signs no more than 50 square feet advertising the lease of retail space for empty storefronts. This would include temporary graphics, such as banners behind storefront glass with “overall project branding or messaging,” and would not include specific tenant information or advertising. Other uses for these temporary signs would be advertising a tenant’s near term occupancy or recent opening, with such signs limited to 30 days after opening. Advertisements of sales, merchandise, or seasonal promotions would be limited to no more than 45 days. The applicant intends to use temporary signs for wayfinding during periods of construction or during special events.

Retail Signs

Sheets 32-49 of the CSP focus on guidelines, procedures, and options for retail tenant signs. The CSP encourages tenants to use durable sign materials, and prohibits a number of unattractive sign materials and characteristics on Sheet 33. Individual

² Temporary signs not governed by a CSP are regulated by Section 12-103 of the Zoning Ordinance. Examples of temporary signs that do not require sign permits, but must still comply with Zoning Ordinance regulations for size, placement, and time limits, include historic markers, address numbers, warnings against public hunting, and signs announcing such happenings as “Grand Opening,” “Under New Management,” and “Going Out of Business.” This last group of signs may be freestanding or building-mounted, no more than 20 square feet in area, not be posted for a period of time exceeding 14 days.

tenants would be able to install signs out of a requested total of 2,680 square feet of sign area; each tenant would be able to use between 200-450 square feet of sign area depending on the square footage of the retail space leased to the tenant³. Tenants would be limited to no more than 200 square feet for one individual sign, except for an anchor tenant identified in the signage matrix, which would be allotted 450 square feet. The applicant's total square footage for retail tenant sign area would be 3,130. Figure 3 on Page 10 shows the retail sign locations that the applicant intends to use, as identified on Sheet 38 of the CSP.

The CSP details the methodology for calculating a tenant's maximum sign area. Additional guidelines are included for signs located along walls, projecting from storefronts, within windows, and on awnings. Sheets 39-48 show which portions of the building facades would and would not be acceptable retail sign locations. Figure 4 on Page 11 shows the applicant's methodology for locating retail signs. In particular, the Reston Parkway frontage shown on Sheet 39 would only be available to anchor tenants, which are defined as tenants leasing a minimum of 10,000 square feet. Anchor tenants would be permitted one sign along Reston Parkway no larger than 200 square feet. The CSP makes a similar restriction to the approved addition to the Reston International Center and its façade facing Sunrise Valley Drive. A maximum of three tenants would be able to affix one sign each to this side of the building, and each sign could not exceed 200 square feet.

The CSP includes the greatest detail for the signs intended for 24 Hour Fitness, an anticipated anchor tenant which would have a total of 261 square feet of sign area as shown on Sheets 58-61. Two signs, one of which would project from the building façade, would be located at the main entrance to the health club near Sunrise Valley Drive, and a third sign would be viewable from Reston Parkway.

3 Section 12-203, Paragraph 9 of the Zoning Ordinance would regulation the amount of retail sign area a tenant could have if the applicant chose not to submit a CSP. Building-mounted signs on buildings housing more than one tenant where each tenant has its own outside entrance(s) shall not exceed 1.5 square feet of sign area for each linear foot of building frontage occupied by each tenant. The maximum allowable sign area for any one tenant shall not exceed 200 square feet. The maximum may be exceeded when a tenant has building frontage that results in an allowable sign area greater than 200 square feet and occupies an area with more than one perimeter wall containing a main entrance for use by the general public, may place a maximum of 200 square feet of allowable sign area on each such perimeter wall; however, in no instance shall the square footage of signage on any such wall exceed one and one-half (1 1/2) times the length of such wall.

According to the linear feet of building frontage calculated by the applicant, the Zoning Ordinance would permit a maximum of 2,518 square feet of retail sign area.

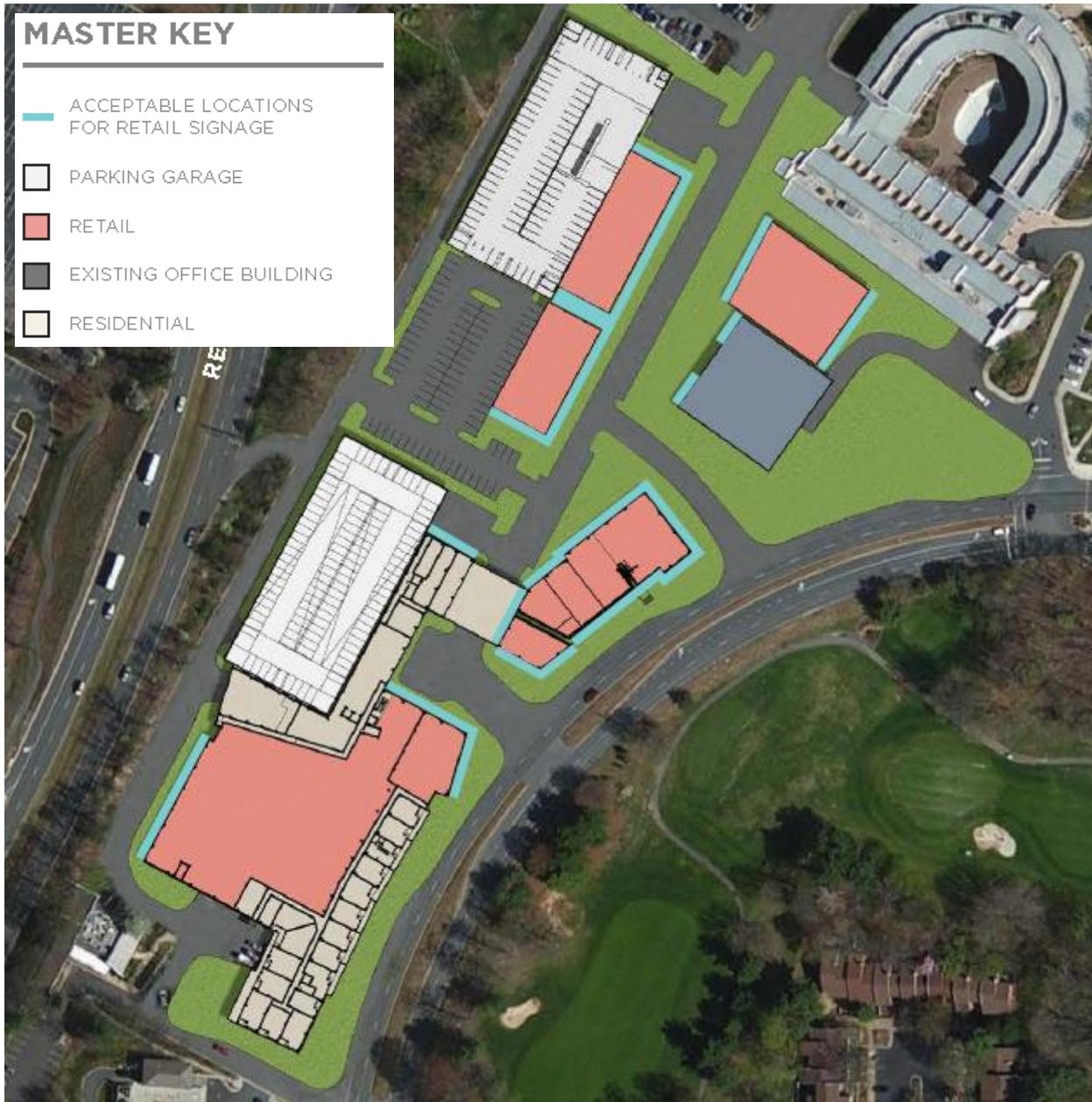


Figure 3: The CSP proposes retail signs to be potentially located along the facades depicted above, as shown on Sheet 38. (Source: JBG Companies/Streetsense, January 20, 2015)



Figure 4: Sheet 40 of the CSP is one of the sheets showing where and what type of retail sign would be permitted on the individual building facades. (Source: JBG Companies/Streetsense, January 20, 2015)

ZONING ORDINANCE PROVISIONS

Conformance with Standards for Comprehensive Sign Plans (Sect. 12-210)

The Zoning Ordinance requires Comprehensive Sign Plans to be in scale and harmonious with the planned development on the site and shall be so located and sized as to ensure convenience to the visitor, user or occupant of the development. Signage

in a CSP should not add to street clutter or otherwise detract from the planned unit nature of the development and the purposes of architectural and urban design elements.

Monument Signs on Sunrise Valley Drive: Staff from both Zoning Evaluation Division (ZED) and the Office of Community Revitalization (OCR) outlined conflicts between the approved PRCA Plan's layout of a walkable, urban area and the freestanding, monument signs shown on the proposed CSP (Appendix 3). Staff recommends eliminating signs in close proximity to sidewalks, whether the sign is between the building and the sidewalk or whether the sign is between the sidewalk and the road. Given the pedestrian focus on Sunrise Valley Drive, with its approved shared use path at a minimum of 10 feet wide, staff recommends incorporating the sign copy from monument signs proposed for the Sunrise Valley Drive frontage onto the building facades.

The Fairfax County Department of Transportation (FCDOT) echoed this analysis (Appendix 4), highlighting the shared use path's diverted alignment at the site's primary access point with Sunrise Valley Drive. Although the approved Bicycle Master Plan recommends an on-road bike lane along Sunrise Valley Drive, the PRCA Plan's approval predates the adoption of the Bicycle Master Plan. Staff envisions pedestrians and cyclists using the approved shared use path, and the diversion around the proposed Sign A, coupled with potential conflicts with the approved building's overhang and a future bus shelter, does not have staff support. FCDOT expressed similar objections to Sign C.

Staff supports the usage of monument signs on site with lower projected pedestrian activity or the integration of the sign area into the approved building facades. Staff has proposed a development condition that would prohibit Sign Types A and C along Sunrise Valley Drive.

Sign Sizes and Frequency: Staff identified the sign area initially shown on Sheet 48 of the CSP as a potential source of incompatibility with the desired character for Sunrise Valley Drive. Staff called attention to the proposed size of three tenant signs that could potentially cover a total of 600 square feet, which would equal approximately 20% of the sign area for the entire CSP.

The applicant has further limited the potential sign location shown in Sheet 48 in response to staff's feedback. However, staff remains uncomfortable with supporting sign area on this façade other than for anchor retail tenants. Staff recommends that the Planning Commission adopt the recommended condition language that would prohibit sign area along this façade.

Administration and Implementation of CSP: To ensure adherence with established departmental processes for sign plan review, staff from the Zoning Administration Division's Zoning Inspections Branch (ZIB) were consulted during the CSP review (Appendix 5). ZIB recommended that the applicant submit a sign matrix calculation at the time of sign permits so that staff can more easily determine whether the sign permit application substantially conforms with the CSP and within the permitted maximum square footage. Staff has included a development condition that would require the applicant to submit a sign matrix for each building and for all freestanding signs.

ZIB staff identified a potential conflict between the banners shown on Sheet 29 and the required vertical clearance needed for fire access along the central retail plaza. Staff has included a development condition to address this conflict.

Future Residential and Office Signs: Sheet 57 of the CSP shows 700 square feet of sign area for the future office building identified as Building D in Figure 2. The applicant also includes 34 square feet of sign area to identify the approved residential building at the southern end of the site and its rental/sales office sign. The sign type, location, and size for these signs has not been included in the CSP.

Staff's preference would be for these sign details to be included in the CSP to determine whether these signs are in harmony with the others proposed signs and in conformance with the applicable provisions of Article 12. Staff has included a development condition that would incorporate the requested sign area into the CSP, but require a CSPA to ensure that the Planning Commission is approving future office signs in conformance with the CSP at large and not detracting from the overall planned unit nature. Given the minimal square footage requested for the residential sign area, staff has included a development condition to allow flexibility in incorporating it into the building façade without the need of a CSPA.

CONCLUSIONS AND RECOMMENDATIONS

Staff Conclusions

The applicant's CSP would accompany and augment the approved site design for Reston Heights with a sign selection that assists residents, employees, visitors, and retailers with their individual wayfinding and identification needs. However, the applicant's proposals for freestanding, monument signs along Sunrise Valley Drive would not be scaled to the more urban redevelopment approved for the subject property. These signs would be a departure from the approved planned development character, and create hazards for the non-automobile transportation modes within the corridor. The removal of these signs, or the implementation of building-mounted alternatives, achieves the necessary elements of a CSP that conforms to the applicable provisions of the Zoning Ordinance.

Recommendations

Staff recommends approval of CSP B-846-03 subject to the proposed development conditions contained in Appendix 1.

It should be noted that it is not the intent of staff to recommend that the Planning Commission, in adopting any development conditions, relieve the applicant/owner from compliance with the provisions of any applicable ordinances, regulations, or adopted standards.

It should be further noted that the content of this report reflects the analysis and recommendation of staff; it does not reflect the position of the Planning Commission.

The approval of this Comprehensive Sign Plan does not interfere with, abrogate or annul any easements, covenants, or other agreements between parties, as they may apply to the property subject to this application

APPENDICES

1. Draft Development Conditions
2. Applicant's Statement of Justification
3. Office of Community Revitalization Analysis
4. Department of Transportation Analysis
5. Zoning Inspections Branch Analysis

Proposed Development Conditions

CSP B-846-03

February 4, 2016

If it is the intent of the Planning Commission to approve CSP B-846-03 for a Comprehensive Sign Plan located at 17-3 ((21)) 1, 2A, 3A, 4A, and 5A, then pursuant to Section 12-210 of the Zoning Ordinance, staff recommends that the Planning Commission condition the approval by requiring conformance with the following development conditions:

1. This Comprehensive Sign Plan (CSP) is granted for and runs with the land indicated in this application and is not transferable to other land.
2. This CSP is granted to permit the signs, as depicted on the CSP submitted with this application dated January 12, 2016, which is entitled "Reston Heights | Comprehensive Sign Plan" prepared by Streetsense. Minor deviations in sign location, design and sign area may be permitted when the Zoning Administrator determines that such deviations are minor and are in substantial conformance with the Comprehensive Sign Plan.
3. Sign permits may only be issued for those signs shown in this CSP. The number, size and total sign area for each sign shall be consistent with the sign tabulations shown in the CSP.
4. All signs shall be generally consistent with the typography, materials and use of logos as indicated in the CSP. Sign copy, character, style, colors and logos may be modified so long as the size and location of the signs are consistent with the CSP.
5. Notwithstanding the signs shown in the CSP, the applicant shall be prohibited from installing Sign Types A, B, and C along the Sunrise Valley Drive property frontage. The applicant may integrate an identical amount of sign area into a building façade along Sunrise Valley Drive in a manner that substantially conforms to the dimensions and typography shown in the CSP.
6. Notwithstanding the sign area and notes shown on Sheet 48 of the CSP, signs shall be prohibited along the building façade depicted on Sheet 48.
7. Sign permits shall be obtained from the Department of Planning and Zoning's Zoning Administration Division for each sign erected pursuant to this CSP except those for which permits are not required pursuant to Article 12 of the Zoning Ordinance. The applicant shall be responsible for obtaining the required sign permits through established procedures, and no signs shall be installed prior to sign permit approval.
8. The applicant shall submit a sign matrix with each sign permit application that

identifies the tenant name, address, sign type, sign height, sign area, and Non-Residential Use permit number. The matrix shall include a calculation to demonstrate that the maximum sign area for the CSP, maximum sign area for the individual tenant, and the approved number of freestanding signs has not been exceeded.

9. Prior to the first installation of the banners shown on Sheet 29 of the CSP, the applicant shall submit a sign permit application that depicts the mounted height and location of the banners. Banners shall be a minimum of 10 feet above grade, except for banners projecting over roadways shall have a minimum vertical clearance of 15 feet.
10. Prior to the approval of a sign permit application for signs associated with the proposed office building identified as Building D on PRCA B-846 approved by the Board of Supervisors on July 9, 2013, the applicant shall submit a Comprehensive Sign Plan Amendment (CSPA) for the review and approval of the Planning Commission to ensure that the proposed signs are in conformance with the approved CSP and the applicable provisions of the Zoning Ordinance. The applicant shall obtain CSPA approval for such signs prior to obtaining sign permit approval from the Zoning Administrator.
11. Signs located along the building façade identified on Sheet 39 of the CSP may only be associated with retail tenants who occupy retail space sharing an exterior wall with the depicted building façade. The applicant shall limit retail tenants who affix signs to this façade to anchor tenants with a minimum of 10,000 square feet of gross floor area. The applicant shall be limited to no more than two signs for anchor tenants on this façade, with each sign not exceeding 200 square feet. The anchor tenant signs on this façade shall count toward an individual tenant's area of allowable sign area as described on Sheet 33 of the CSP.
12. As an alternative, the applicant may elect to install 34 square feet of building mounted sign area for the proposed residential building instead of the 30 square foot freestanding sign and the 4 square foot rental/sales office sign as outlined on Sheet 57 of the CSP. The building mounted sign area shall be located along the same façade as the primary entrance to the residential building.

The above-proposed conditions are staff recommendations and do not reflect the position of the Planning Commission unless and until adopted by the Commission. This approval, contingent on the above-noted conditions, shall not relieve the applicant from compliance with the provisions of any applicable ordinance, regulations, or adopted standards. Sign Permits must be obtained from Fairfax County for each and every sign erected pursuant to this Comprehensive Sign Plan. The applicant shall be responsible for obtaining the required Sign Permits through established procedures, and the sign plan shall not be valid until this has been accomplished.

SEP 08 2015

Zoning Evaluation Division

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ReedSmith

STATEMENT OF JUSTIFICATION

Reston Heights Comprehensive Sign Plan

Reston Heights Residential I, L.L.C. (owner of tax parcel 17-3-((21))-0001 and tax parcel 17-3-((21))-0002A (the "Applicant") for itself and on behalf of Reston Heights II, L.L.C. (owner of tax parcel 17-3-((21))-0003A) and AREP RIC, LLC (owner of tax parcel 17-3-((21))-0004A and tax parcel 17-3-((21))-0005A) (collectively, the "Title Owners"), proposes a Comprehensive Sign Plan to allow for a coordinated and comprehensive plan of signage for the mixed use Reston Heights project.

Background/Zoning

The "Reston Heights" project is located in the Hunter Mill District and consists of approximately 9.9633 acres zoned PRC, subject to the Development Conditions approved by the Board of Supervisors as part of Application PRCA-B-846 on July 9, 2013 (the "Development Conditions"). The project is being developed as a mixed use project consisting of residential, office and retail at a floor area ratio of 2.8 in accordance with the approved PRC Plan. The project will be centered around a major urban plaza, and will provide convenient access to the existing Wiehle Avenue metro station and the soon-to-be constructed Reston Town Center metro station. Existing development consists of one-story retail, which is to be demolished, and the approximately 183,000 square foot Reston International Center office building, which is to remain.

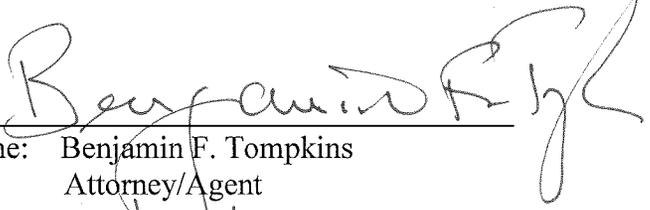
The Comprehensive Plan

The application property is located in the Reston Town Center Transit Station Area under the new Reston Transit Station Areas Comprehensive Plan Amendment adopted by the Board of Supervisors on February 11, 2014 and is more specifically part of the Reston Heights District. The new plan envisions the Transit Station Areas as high quality urban environments that are easily navigable by foot, bike and car. The Reston Heights District is designated Transit Station Mixed Use.

Proposal

The purpose of the Comprehensive Sign Plan is to provide a signage program that (i) is in scale and harmonious with the existing and planned development at Reston Heights, (ii) is so located and sized as to ensure convenience and appropriate wayfinding to the visitors, users and occupants of the Reston Heights project, while not adding to street clutter or otherwise detracting from the planned unit nature of the development and the high quality architectural and urban design elements of Reston Heights, (iii) provides greater flexibility in creating a unique, distinctive and state-of-the-art transit oriented development than is permitted under the conventional provisions of Article 12 of the Zoning Ordinance to take advantage of the projects location near two rail stations and the Dulles Airport Access/Toll Road, and (iv) enables individual users and tenants to have signage that expresses their individual and/or corporate identity while maintaining an overall unified program of signage.

The proposed signage plan will act as a placemaking tool and begin to establish the unique character of the Reston Heights District, while at the same time enhancing Reston's local and regional identity as Fairfax County's premiere planned community. Further, the signage will foster the urban design principles in the Comprehensive Plan and establish Reston Heights as a focal point for high-end development, maximizing the benefits of transit in Reston by improving connectivity with the surrounding community.

By: 
Name: Benjamin F. Tompkins
Its: Attorney/Agent
Date: 9/8/15



County of Fairfax, Virginia

MEMORANDUM

DATE: January 20, 2016

TO: Barbara Berlin, Director
Zoning Evaluation Division,
Department of Planning & Zoning

FROM: 
Barbara A. Byron, Director
Office of Community Revitalization

SUBJECT: Reston Heights
CSP B-846-03

The Office of Community Revitalization (OCR) has reviewed the plan set for the above referenced case dated December 28, 2015. The application is for a comprehensive sign plan for the Reston Heights development. The application is generally in conformance with urban design guidance in the Comprehensive Plan and good planning practice for design in a TOD area; however the following recommendations are offered for consideration:

1. Freestanding monument signs are not appropriate for walkable urban areas and should be eliminated, especially when located adjacent to the sidewalk or in the landscape amenity panel on pedestrian-focused streetscapes. If desired, identity signage could potentially be incorporated into the building architecture as permanent features or as temporary signage. As such,
 - a. The proposed Project Identity/Tenant Monument (sign type A, #2) located on Sunrise Valley Drive should be eliminated.
 - b. The proposed Project Identity/Tenant Monument (sign type B, #2) located on Sunrise Valley Drive should be eliminated or relocated to the building zone and incorporated into the building landscaping.
 - c. The proposed Project Identity/Tenant Monument (sign type C) located on Sunrise Valley Drive should be eliminated or relocated to the building zone and incorporated into the building landscaping.



Office of Community Revitalization
12055 Government Center Parkway, Suite 1048
Fairfax, VA 22035
703-324-9300, TTY 711
www.fcrevit.org

- d. A detailed plan should be provided to illustrate the location of the International Tower – Tenant Monument Sign (Sign Type H). The sign should be placed in the building zone and incorporated into the building landscaping.
-
2. Large tenant signage on the large blank facades facing Sunrise Valley Drive could cause visual clutter and be incompatible with the desired character of Sunrise Valley Drive. As currently shown, sufficient details are not provided and staff is unable to fully evaluate; however, the proposed maximum (three 200 sf. signs) appears to be too large without providing additional design details. Hand painted signage or a public art installation may be appropriate for this wall. This could be a good location for JBG’s mural project.
<https://www.washingtonpost.com/news/digger/wp/2015/12/10/washingtons-top-real-estate-developer-is-painting-murals-in-your-neighborhood-is-it-art-or-marketing-or-both/>
If signage is desired on this wall, additional design details or commitments should be provided for evaluation.

Cc. Nick Rogers, AICP, Staff Coordinator, DPZ
Tracy Strunk, AICP, Deputy Director, OCR
OCR Files

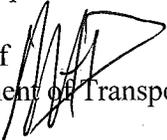


County of Fairfax, Virginia

MEMORANDUM

DATE: January 12, 2016

TO: Barbara Berlin, Director
Zoning Evaluation Division, Department of Planning & Zoning

FROM: Michael A. Davis, Acting Chief 
Site Analysis Section, Department of Transportation

FILE: CSP B-846-03

SUBJECT: Reston Heights Residential I, LLC
11800 & 11842 Sunrise Valley Drive, Reston VA
Tax Map: #17-3 ((21)) 1, 2A, 3A, 4A, 5A

This department has reviewed the subject application for the Comprehensive Sign Plan dated December 23, 2015 and offers the following comments:

When the PRCA application for this site, PRCA B-846, was approved by the Board of Supervisors our agency had recommended that an on-road bicycle lane be installed along Sunrise Valley Drive. We had also recommended a bus shelter be installed for the existing stop that is located near the site's main entrance on Sunrise Valley Drive. The final approved plan included a 10-foot shared use path in lieu of an on-road bicycle facility. It also did not provide a bus shelter only a bus stop pad and bench due to conflicts with the building architectural overhang design and the existing underground utilities.

The main concern with this signage proposal pertains to the proposed monument signage along Sunrise Valley Drive and the potential conflicts with the approved bicycle facility, pedestrian and bus stop improvements.

- The proposed Tenant Monument Sign A (9'-2" x 5'-5" x 1'-10") is located on a corner of the property that has several key bicycle, pedestrian and bus stop elements. The proposed signage should not impact these elements from a pedestrian or vehicle visibility standpoint or a safety standpoint given that bicycles and pedestrians will need to share the 10-foot path provided by the applicant. The shared use path seems to divert around the proposed sign pushing the path closer to the building/browsing zone. The cross section depicted on Page 15 does not show the building overhang and its relation to the 9'-2" tall proposed sign.
- The proposed International Tower/Retail Monument Sign C (8'-3" x 5' x 1'-8") also should not impede the 10-foot shared used path, the pedestrian walkway leading into the site, or pedestrian and vehicle visibility.

cc: Nicholas Rogers, DPZ-ZED
MAD/EAI



County of Fairfax, Virginia

MEMORANDUM

DATE: January 8, 2016

TO: Nick Rogers, AICP, Staff Coordinator
Zoning Evaluation Division

FROM: Bruce Miller, Zoning/Property Maintenance Inspector
Zoning Inspections Branch

SUBJECT: CSPA B-846-03

REFERENCE: Reston Heights
Zoning District: PRC
Mail Log Assignment

BT

Please find the following comments derived from my review of the attached documents:

- The administration of the CSPA would be greatly simplified if there is a condition in the CSPA that requires a matrix at the time of Sign Permit application. There should be a separate matrix for each building and one for all of the freestanding signs.
- The banners listed on Page 29 indicate a mounted height of 10' 0" above grade. Any signs that are projecting over roadways (especially fire lanes) must have a minimum vertical clearance of 15 feet.
- Page 33, in the section entitled "Prohibited Sign Materials and Characteristics," the following bullet should be revised as follows:

Signs that have characteristics which are changed manually or electronically must not be changed more than once a day. ~~This includes a sign that gives the appearance or the illusion of movement or a written or printed message.~~

The Matrix found on Page 54 contains the incorrect calculation of sign area. The sign area should be as follows:

Sign Type A 49.65 sf + 16.8 sf = 66.45 sf

Sign Type B 18 sf + 18 sf = 36 sf

Sign Type C 41.25 sf + 13.75 sf = 55 sf

Sign Type D 20.75 sf

Sign Type E 7.91 sf

Sign Type F (the applicants calculation is as good as any other on this type of sign).

Sign Type H 37.5 sf + 12.5 sf = 50 sf

These are all of the comments that I have as the applicant has addressed my earlier comments.