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Department of Planning & Zoning

MAR 08 2016

Zoning Evaluation Division

January 13, 2016

Elizabeth D. Baker
Walsh, Colucci, Lubeley & Walsh, P.C.
2200 Clarendon Boulevard, Suite 1300
Arlington, VA 22201

RE: Rezoning Application RZ 2010-PR-022

Dear Ms. Baker:

Enclosed you will find a copy of an Ordinance adopted by the Board of Supervisors at a regular meeting held on January 12, 2016, granting Rezoning Application RZ 2010-PR-022 in the name of the TMG Solutions Plaza Land, L.P. The Board's action rezones certain property in the Providence District from the C-4, SC, and HC Districts to the PTC, SC, and HC Districts to permit mixed use development with an overall Floor Area Ratio (FAR) up to 5.33 and approval of the conceptual and final development plans. The subject property is located in the S.W. quadrant of the intersection of Westpark Drive and Greensboro Drive, and N. of Solutions Drive on approximately 18.10 acres of land, [Tax Map 29-3 ((15)) 4D1, 4E1, 4F1, 4G, 7A1, 7B1, 7C1, and 7E1], subject to the proffers dated December 21, 2015.

Please note that on October 7, 2015, the Planning Commission (PC) approved Final Development Plan Application FDP 2010-PR-022, subject to the development conditions dated September 9, 2015. On December 3, 2015, the PC approved Final Development Plan Application FDP 2010-PR-022-02, subject to development conditions dated December 3, 2015.

The Board also:

- Waived Section 2-505 of the Zoning Ordinance (ZO) to permit structures and vegetation on a corner lot as shown on the Conceptual Development Plan/Final Development Plan (CDP/FDP).
- Modified Section 2-506 of the ZO to allow for a parapet wall, cornice or similar projection to exceed the height limit established by more than three (3) feet as may be indicated on the FDP to screen mechanical equipment.
- Modified Paragraph 3E of Section 10-104 of the ZO, which limits fence height to seven feet, to permit a maximum fence height of 14 feet around outdoor recreational courts and fields shown on an FDP.

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- Modified Paragraph 4 of Section 11-202 of the ZO requiring a minimum distance of 40 feet of a loading space in proximity to drive aisles, to that shown on the CDP/FDP.
- Waived Section 11-302 of the ZO to allow a private street to exceed 600 feet in length as shown on the CDP.
- Waived Paragraph 8 of Section 13-202 of the ZO to modify the peripheral landscaping requirements for the interim surface parking lots to that which are shown on the CDP/FDP.
- Waived Paragraph 5 of Section 13-203 of the ZO to modify the peripheral landscaping requirements for the surface parking lots that will remain on an interim basis to that which are shown on the CDP/FDP.
- Waived Section 16-403 of the ZO to permit a public improvement plan for public streets and park spaces without the need for an FDP.
- Waived Section 17-201 of the ZO, to not require the provision of a service road along Leesburg Pike.
- Modified Section 17-201 of the ZO to permit the streetscape and on-road bike lane system shown on the CDP/FDP in place of any trails and bike trails shown for the subject property on the Comprehensive Plan.
- Waive Paragraph 3 of Section 17-201 of the ZO to provide any additional interparcel connections to adjacent parcels beyond that shown on the CDP/FDP and as proffered.
- Waived Paragraph 4 of Section 17-201 of the ZO to not require further dedication, construction, or widening of existing roads beyond that which is indicated on the CDP/FDP and proffers.
- Waived Paragraph 7 of Section 17-201 of the ZO to permit the applicant to establish parking control signs and parking meters along private streets within and adjacent to the development.
- Modified Section 12-0508 of the Public Facilities Manual (PFM) to allow for tree preservation target deviations as justified by PFM 12-0508.3A(1) and 3A(3).

- Modified Section 12-0510 of the PFM to permit trees located in rights-of-way and easements to count toward the 10-year tree canopy requirement subject to the proffered replacement provisions.

Sincerely,



Catherine A. Chianese
Clerk to the Board of Supervisors

Cc: Chairman Sharon Bulova
Supervisor Linda Smyth, Providence District
Tim Shirocky, Acting Director, Real Estate Division, Dept. of Tax Administration
Barbara Berlin, Director, Zoning Evaluation Division, DPZ
Diane Johnson-Quinn, Deputy Zoning Administrator, Dept. of Planning and Zoning
Thomas Conry, Dept. Manager – GIS - Mapping/Overlay
Michael Davis, Section Chief, Transportation Planning Division
Donald Stephens, Transportation Planning Division
Department of Highways-VDOT
Sandy Stallman, Park Planning Branch Manager, FCPA
Charlene Fuhrman-Schulz, Development Officer, DHCD/Design Development Division
Jill Cooper, Executive Director, Planning Commission
Ajay Rawat, Coordinator, Facilities Planning, Fairfax County Public Schools
Karyn Moreland, Chief Capital Projects Sections, Dept. of Transportation

At a regular meeting of the Board of Supervisors of Fairfax County, Virginia, held in the Board Auditorium in the Government Center at Fairfax, Virginia, on the 12th day of January, 2016, the following ordinance was adopted:

**AN ORDINANCE AMENDING THE ZONING ORDINANCE
PROPOSAL NUMBER RZ 2010-PR-022**

WHEREAS, TMG Solutions Plaza Land, L.P, filed in the proper form an application requesting the zoning of a certain parcel of land herein after described, from the C-4, SC, and HC Districts to PTC, SC, and HC Districts

WHEREAS, at a duly called public hearing the Planning Commission considered the application and the propriety of amending the Zoning Ordinance in accordance therewith, and thereafter did submit to this Board its recommendation, and

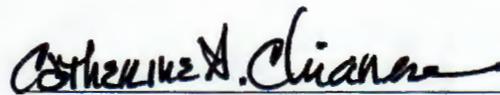
WHEREAS, this Board has today held a duly called public hearing and after due consideration of the reports, recommendation, testimony and facts pertinent to the proposed amendment, the Board is of the opinion that the Ordinance should be amended,

NOW, THEREFORE, BE IT ORDAINED, that that certain parcel of land situated in the Providence District, and more particularly described as follows (see attached legal description):

Be, and hereby is, zoned to the PTC, SC, and HC Districts, and said property is subject to the use regulations of said PTC, SC, and HC Districts, and further restricted by the conditions proffered and accepted pursuant to Va. Code Ann., 15.2-2303(a), which conditions are in addition to the Zoning Ordinance regulations applicable to said parcel, and

BE IT FURTHER ENACTED, that the boundaries of the Zoning Map heretofore adopted as a part of the Zoning Ordinance be, and they hereby are, amended in accordance with this enactment, and that said zoning map shall annotate and incorporate by reference the additional conditions governing said parcel.

GIVEN under my hand this 12th day of January, 2016.



Catherine A. Chianese
Clerk to the Board of Supervisors

DEC 23 2015

Zoning Evaluation Division

PROFFERS

RZ 2010-PR-022

December 21, 2015

TMG Solutions Plaza Land, L.P.

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Exhibit 1 – Limit of Proposed Easement

Exhibit 2 – Tysons Library Proffer

PROFFERS

TMG Solutions Plaza Land, L.P.

RZ 2010-PR-022

December 21, 2015

Pursuant to Section 15.2-2303(A) of the Code of Virginia (1950, as amended) and Section 18-204 of the Zoning Ordinance of Fairfax County (1978, as amended), the property owners and the Applicant, for themselves and their successors and/or assigns (hereinafter referred to as the "Applicant"), hereby proffer that the development of the parcels under consideration and shown on the Fairfax County tax maps as Tax Map 29-3 ((15)) 4D1, 4E1, 4F1, 4G, 7A1, 7B1, 7C1, and 7E1 (collectively, the "Property") shall be in accordance with the following conditions if, and only if, Rezoning application 2010-PR-022 (this "Rezoning") is granted.

GENERAL

1. Conceptual Development Plan. The Property shall be developed in substantial conformance with the certain elements of The Boro Conceptual Development Plan ("CDP") dated October 1, 2010 and revised through August 28, 2015, prepared by VIKA, Incorporated, FXFOWLE Architects, LLP, Gensler Architecture, Design & Planning, P.C., Shalom Baranes Associates, P.C., and LandDesign, Inc. The proffered elements of the CDP are limited to the grid of streets, the general location of the points of access, buildings and build-to-lines, the mix of uses, minimum and maximum gross floor area (GFA), minimum and maximum building heights, the general quality and character of the streetscape, the amount and general location and quality of urban park land, and only a future amendment to such elements shall require a subsequent Conceptual Development Plan Amendment ("CDPA") or Proffered Condition Amendment ("PCA"). Other elements of the CDP may be adjusted or modified with approval of future Final Development Plans ("FDPs") in accordance with the provisions set forth in Section 16-402 of the Fairfax County Zoning Ordinance (the "Ordinance").
2. Minor Modifications. Minor modifications to the proffered elements of the CDP may be permitted when necessitated by sound engineering or that may become necessary as part of FDP approval or final site design or engineering, pursuant to Section 16-403(4) of the Ordinance.
3. Declarations/Owners Associations. The Applicant shall cause the recordation of one or more declarations creating an umbrella owners' association ("UOA") and as necessary, condominium owners' associations ("COA") or declarations of covenants and agreements dealing with the governance of maintenance and operation of the Property or other governance documents which will legally bind the Property, (collectively referred to as the "Governance Documents"). Such Governance Documents shall be prepared, be legally effective and recorded prior to the issuance of the first Non-Residential Use

Permit ("Non-RUP") or Residential Use Permit ("RUP") for new construction shown on the CDP. The respective Governance Documents (including budgets provided in any offering or sale materials) shall specify the various proffer and maintenance obligations set forth in these Proffers, including the maintenance of certain streets, associated sidewalks and streetscapes, and site amenities such as, but not limited to, the publicly accessible park areas as well as funding, implementation and monitoring of the TDM program. Purchasers shall be advised in writing of these obligations, and other restrictions, prior to entering into a contract of sale, whether purchasing residential or commercial property.

PROPOSED DEVELOPMENT

4. Existing and Interim Development.

- A. The Property is developed with four existing office buildings which contain approximately 899,440 square feet, a structured parking garage, and surface parking lots (collectively, the "Existing Development"). The Existing Development is shown on Sheets C-4, C-5 and C-6 of the CDP and may remain in operation in its current form. In the event that only a portion of the Property is redeveloped subject to an approved FDP and site plan, the portions of the Property not subject to the FDP may continue in operation as shown on Sheets C-4, C-5 and C-6. The Applicant may make minor modifications to the Existing Development and may secure site plans approvals and building permits for, and make interior and exterior improvements to, the Existing Development shown on Sheets C-4, C-5 and C-6 without the need for a CDPA or FDP.
- B. Any use permitted in the PTC District, exclusive of residential and hotel uses, may also be permitted as a use in the existing buildings subject to the Use Limitations in Section 6-505 of the Ordinance, as may be modified or waived, and the provisions of Paragraph A above.
- C. Commercial off-street parking may be provided on an interim basis in the existing parking areas on the Property without approval of an FDP as described in Proffer 49.

5. Proposed Development.

- A. The maximum gross floor area ("GFA") permitted on the Property is 4,250,000 square feet (the "Proposed Development"). The Proposed Development will supplement and partially replace the Existing Development.
- B. The Proposed Development may include all permitted uses in the Planned Tysons Corner Urban ("PTC") District, subject to limitations in Section 6-505 of the Ordinance, the development tabulations on Sheet C-2A of the CDP (the "Development Tabulations") and these Proffers. However, adult book stores, adult mini motion picture theatres, and commercial nudity establishments shall not be permitted.

- C. The Retail use category provided in the Development Tabulations may include any non-residential use permitted by-right, by special exception or by special permit in the PTC District exclusive of office and hotel uses. Such Retail uses shall be located as generally shown on Sheets A-1.01 and A-1.02 of the CDP as may be refined and adjusted with the FDP for each building as further described in Proffer 6 and shall generally be designed to activate the streetscape as set forth in Proffer 14. Notwithstanding what is shown in the Development Tabulations, the Applicant reserves the right to convert up to an additional 100,000 square feet of designated Office, Residential, and/or Hotel Uses to Retail use, provided such spaces are designated on an approved FDP.
- D. A maximum of 1,995,610 square feet of GFA on the Property may be allocated to office uses and/or other high trip generating uses. For the purposes of these Proffers, "other high trip generating uses" shall include a retail sales establishment with greater than 58,000 square feet of GFA, a health club with greater than 63,000 square feet of GFA, and/or a theatre with greater than 45,000 square feet of GFA. Notwithstanding what is shown on the Development Tabulations, the Applicant reserves the flexibility to convert up to an 60,000 square feet of space designated for Residential Use in Blocks A and B to Office Use, provided such conversion is shown on an approved FDP or site plan and the overall maximum of 1,995,610 square feet of GFA of office and/or other high trip generating uses on the Property is maintained.
- E. Uses allowed by special exception or special permit in the PTC District may be authorized through a separate special exception or special permit process without the need for a PCA or CDPA, as determined by the Zoning Administrator.
6. Final Development Plans. FDPs for the subject site shall be in substantial conformance with the CDP and these proffers. FDPs approved for individual building sites on the Property shall establish the maximum GFA and the minimum and maximum number of residential units for each building within the limits established by these Proffers and the CDP. The specific GFA and number of residential units for each building shall be established at final site plan. If the maximum GFA or maximum number of dwelling units approved with the FDP is less than the maximums shown on the CDP, the excess GFA or dwelling units may be utilized in another building or building(s) within the Property provided: (1) the excess GFA or dwelling units can be accommodated within the maximum building height for the building utilizing the excess GFA or dwelling units as shown on the CDP; (2) the minimum building height for the building providing the excess GFA or dwelling units as shown on the CDP is maintained; and (3) FDP(s) or FDPA(s) for the applicable building(s) transferring and utilizing the excess GFA are approved.

In addition, the following information shall be provided with each FDP.

- A. Tabulations. A tabulation indicating the development status of all property subject to this Rezoning shall be provided with each FDP and site plan submitted for the Property. The tabulation shall include a listing of all existing buildings to remain

and proposed buildings, along with the GFA, uses, final building heights, and parking approved on the CDP, FDP and site plan as may be applicable. The tabulation shall identify the reassignment of any excess GFA (as compared with what was originally shown on the applicable CDP) and shall be updated with each subsequent FDP and site plan approved for the Property.

- B. Tree Canopy Calculations. A tabulation indicating the tree canopy calculations of all property subject to this rezoning to be updated with each subsequent FDP, FDPA and site plan approved for the Property.
- C. TDM Supplement. A copy of the previous TDM Annual Report, if available, to determine progress toward attaining TDM goals and any planned modifications to the TDM program.
- D. Functional Drawings/Sight Distances. Functional drawings to include proposed right-of-way lines associated with public streets; vehicular sight distance lines at all intersections within, and adjacent to, the FDP area overlaid on the Landscape Plan, and details with respect to utilities and/or vegetation conflicts with building entrances and/or intersections as presented on the CDP.
- E. Utilities. Approximate location of existing and proposed utilities to serve the area of the FDP including the location of utility vaults, electrical vaults, stormwater management facilities and related access/maintenance points overlaid on the Landscape Plan. Modifications to the location of utility vaults, electrical vaults, stormwater management facilities and related access/maintenance points shown on the FDP may be with the final site plan approval provided such modifications are made in consultation with the Department of Planning and Zoning ("DPZ"), the Fairfax County Department of Transportation ("FCDOT"), and the Office of Community Revitalization ("OCR").
- F. Proposed Uses. A list of proposed uses and demonstration of how such uses meet the applicable "Use Limitations" of Section 6-505 of the Ordinance.
- G. Architectural Elements. A wind tunnel analysis for buildings proximate to each other that exceed 300 feet in height, as well as specific information on architectural elements as provided in Proffers 10 and 11.
- H. Build-to-Lines. Refinement of the build-to-lines based on proposed uses, location of possible outdoor dining areas, and identification of awnings and canopies that extend beyond the building zone.
- I. Streetscape. A graphic depiction of, and any adjustments to, the activated streetscape elements as provided in Proffer 14 and refinement of, and adjustments to, streetscape elements as provided in Proffer 25.
- J. Garage Treatments. Proposed parking garage façade treatments as provided in Proffer 12.

- K. Loading/Trash/Service Area Treatment. Proposed loading/trash/service area treatments.
 - L. Landscaping. Detailed landscape plans as provided in Proffer 24.
 - M. Streetscape Furnishings. Submission of a "Streetscape Furnishing and Materials Plan" as provided in Proffer 25.
 - N. Interim Conditions. Identification of specific proposed interim conditions within the FDP area and outside the FDP area.
 - O. Phasing. Identification of specific proposed phased improvements in accordance with Proffer 7 and those generally set forth on the phasing-related exhibits provided on Sheets L-11.0 through L-11.7A of the CDP (collectively, the "Phasing Exhibits").
 - P. Parks and Recreation. Specific park details, site amenities and substitute recreation facilities as provided in Proffer 61.
 - Q. Residential Amenities. Specific facilities and amenities to be provided for each residential building.
 - R. Provisions for Bicycles and Buses. Bicycle parking, storage and bicycle lane dimensions as provided in Proffer 40 and Proffer 41, and location and general design of bus shelter(s), if any.
 - S. Parking Spaces. Refinement of the number of parking spaces as provided in Proffer 47; details, to the extent known, as to when tandem spaces and/or valet parking will be utilized; and assuming parking ratios in early phases exceed the maximum ratios allowed, a description and/or tabulation in the statement of justification discussing how the subject FDP and preceding FDPs are achieving the Comprehensive Plan's recommendations for phased parking such that at the build-out of the Property the maximum parking rates are not exceeded as provided in Proffer 48.
 - T. Stormwater Management. Identification of specific stormwater management facilities as provided in Proffer 68 and a tabulation showing the impact of the FDP implementation on the retention and/or reuse of the first inch of rainfall on the Property.
 - U. Fencing. Identification of proposed fencing, walls, screening or barriers serving active recreational uses on roofs (limited to a maximum of 14 feet) and adjacent to streets that exceed seven (7) feet in height.
7. Development Phasing. The Applicant shall construct the grid of streets and provide pedestrian improvements, public parks, private amenities and public facilities on the Property in conjunction with the redevelopment of each building in accordance with the Phasing Exhibits and as further described in these Proffers. Development may proceed in

any order provided that each building provides the phasing conditions depicted on the Phasing Exhibits, except as may be otherwise limited by these Proffers. Where a proffer establishes an obligation that applies to a building or building site, reference to "Applicant" in such proffer shall mean the party undertaking the development of such building. Adjustments to the phasing may be approved with FDP approvals without the requirement for a PCA or CDPA, provided the adjustments do not materially adversely affect the other phases.

In addition, interim improvements as outlined in Proffer 26C shall be substantially complete and in place commensurate with the construction of each building, unless: 1) a site plan for the permanent building to be constructed in the area of the interim improvements has been approved and bonded; or 2) the Zoning Administrator agrees to a later date for completion in keeping with Proffer 72.

8. Fire Marshal Evaluation. The Applicant has coordinated the layouts depicted on the CDP with the Fire Marshal. Changes to the CDP and future FDPs shall be permitted without the requirement for a CDPA in response to the review of site plans by the Fire Marshal, including adjustments to tree locations, the streetscape and perimeter building areas as necessary to allow for required emergency vehicle access, provided such modifications are made in consultation with the Department of Planning and Zoning ("DPZ"), the Fairfax County Department of Transportation ("FCDOT"), and the Office of Community Revitalization ("OCR") and are in substantial conformance with the CDP, FDPs and these Proffers.
9. Festivals, Fairs or Similar Activities. The Applicant, or its designee, shall be permitted to operate festivals, fairs or similar activities, including, without limitation, farmers' markets and food vendors, on the Property, either in the interim surface parking lots or within publicly-accessible privately owned open spaces, including portions of the private streets/pedestrian ways. The Applicant shall coordinate with the Zoning Administrator regarding the issuance or approval of a temporary special permit as may be required under the Zoning Ordinance, which may include the establishment of an annual permit for continuing or seasonal events. In addition, the Applicant reserves the right to periodically close portions of the private transportation network for said activities.

ARCHITECTURAL AND URBAN DESIGN

10. Architecture. The architectural treatment of all buildings within the Proposed Development shall create a sense of identity and place, and shall create human scale through the use of unifying elements such as materials, textures, color, window treatments, decorative details, lighting, and landscaping. Buildings shall be designed with high quality architecture and building materials that, at the time an individual FDP is approved, are typically used on the exterior of Class A office buildings and residential, retail and hotel buildings of a similar quality. The architectural treatment of Building C2 shall ensure that facades have visual interest through techniques to reduce bulk and mass; use of decorative panels, screens, or artwork; or other treatments to be determined with approval of the FDP for Building C2. FDPs shall include a wind tunnel analysis for buildings proximate to each other that exceed 300 feet in height, specific design

information on building materials, architecture, and specific features designed to activate streetscapes.

Each FDP shall specify the building materials, architecture and specific features designed to activate streetscapes as further describe in Proffer 14. Architectural plans, elevations, illustrations, materials and heights may be revised subsequent to CDP and FDP approval as a result of final architectural and engineering design, provided the quality of design remains in substantial conformance with that shown on the CDP and subsequent FDPs and as set forth in these proffers, as determined by DPWES in consultation with DPZ and OCR without the need for a formal administrative determination.

11. Build-to-Lines. Build-to-lines ("BTL") have been established as depicted on the CDP, to create an urban, pedestrian-oriented environment where buildings are located close to the street and pedestrian/streetscape areas are located between the buildings and the streets. In general, building facades are intended to be configured in such a way as to provide a continuous street wall along this line, but modifications to either side of the BTL shall be permitted provided such are in general conformance with the CDP and are shown on an approved FDP. For example, a canopy/park overlook above the entrance to the Block E garage from Madison Street projects into the streetscape. In general, awnings and other architectural canopies attached to the building frontage that project out from the BTLs shall not extend beyond the building zone, except as may be shown on an approved FDP. At the time of FDP approval, the Applicant shall identify possible locations along the street level for expanded areas for outdoor dining adjacent to cafes and restaurants and shall provide appropriate building zones for such uses as well as the proffered minimum clear zone for the sidewalk. Outdoor dining shall not extend in to the clear pedestrian sidewalk as described in Proffer 25.
12. Parking Structures. Above ground parking shall incorporate uses or screening at the ground level so as to provide a pleasant and attractive design/experience along the streetscape. To that end, new above grade parking structures shall either (1) incorporate an active layer of occupied space, including retail uses, residential dwellings or associated amenity spaces, offices or public uses at the ground level as depicted on the CDP; (2) be architecturally treated as depicted on an approved FDP; or (3) utilize landscaping/green screening, decorative material compatible with the architecture, or wall art to screen the garage areas from street view. Parking structure façade design features and materials shall be depicted on the FDP for review and approval. Alternate garage façade treatments may be permitted with FDP approval.
13. Building Height. Building heights, as measured from the average grade, shall not be less than the minimum heights or greater than the maximum heights identified for each building in the Development Tabulations. Building heights shall be refined with each FDP and the final height shall be determined at the time of site plan approval. To ensure a varied and interesting skyline, Buildings E1 and E2 shall have a minimal height differential of four (4) floors. Structures that are excluded from the maximum height regulations as set forth in Sect. 2-506 of the Ordinance may be constructed to a height not to exceed thirty five (35) feet above the roof level of the top floor of the building. All building penthouses and rooftop structures shall be integrated into the architecture of the

building, and the height and extent of any rooftop penthouse (including any rooftop parapet, wall or fencing in excess of that permitted by the Zoning Ordinance) shall be provided on the FDP.

14. Activated Streetscapes and Ground Floor Elements. Activated streetscapes shall be provided by designing and constructing streetscapes and exterior facades of ground floor areas adjacent to streets as generally described below. Modifications and further refinements may be permitted with the approval of FDPs.

A. Route 7 shall be designed with:

- (i) a generally continuous eight (8) foot wide open landscape amenity panel with the potential to provide bio-retention adjacent to Route 7 including street trees and medium sized deciduous and evergreen shrubs to provide separation from the travel lanes (an exception being in the area of the bus lay-by as described in Proffer 43);
- (ii) a ten (10) foot wide clear pedestrian sidewalk;
- (iii) a variable width building zone, which for portions of the frontage is a minimum of twelve (12) feet wide, with a second row of street trees, stairs/ramps mitigating grade changes, and opportunities for outdoor seating/dining within the building zone (an exception being in the area of the bus lay-by as described in Proffer 43);
- (iv) the ground floor of Building E2 having an average floor to floor height of 16 feet to accommodate retail and/ or office uses where such uses are shown on the CDP;
- (v) commercial entries and/or commercial lobbies with recessed and/or welcoming entries incorporating awnings or canopies as appropriate;
- (vi) functioning entry doors into such applicable uses with a maximum separation of 100 feet or greater if shown on an approved FDP or as may be permitted by the Zoning Administrator;
- (vii) a minimum of 40% transparent glazing of the street wall up to a height of 12 feet above the adjacent sidewalk with building entrance openings and display windows considered to meet a portion of the transparency guidelines;
- (viii) the above grade garage between Building E2 and Station Place screened using changes in topography and extensive landscaping;
- (ix) a small plaza (Media Place) at the corner of Route 7 and Station Place as conceptually shown on Sheet L-5.2 of the CDP but subject to modification at the time of FDP approval; and

- (x) an urban park (Technology Plaza) at Route 7 and Madison Street as conceptually shown on Sheet L-5.2 of the CDP but subject to modification at the time of FDP approval.

B. Westpark Drive between Greensboro Drive and Park Avenue shall be designed with:

- (i) a generally continuous eight (8) foot wide open landscape amenity panel with the potential to provide bio-retention adjacent to Westpark Drive including street trees and medium sized deciduous and evergreen shrubs to provide separation from the travel lanes;
- (ii) interruption of the open landscape amenity panel in the vicinity of the Circulator stop and shelter;
- (iii) an eight (8) foot wide clear pedestrian sidewalk;
- (iv) a variable width building zone (minimum four (4) feet in width) that will provide additional hardscape, opportunities for outdoor seating/dining, and/or landscaped areas adjacent to the building;
- (v) non-residential uses and/or residential lobbies at the corner of Westpark Drive and Greensboro Drive, both corners of Westpark Drive and Boro Place, and the corner of Westpark Drive and Park Avenue with a minimum of 40% transparent glazing up to a height of 12 feet above the adjacent sidewalk. Building entrance openings shall be considered to meet a portion of the transparency guidelines;
- (vi) residential façades to include a percentage of transparent glazed facades typical of windows required for dwelling; and
- (vii) if any individual residential units have direct access to the streetscape, they shall utilize design features to provide interior privacy (such as by having a ground floor elevation above the sidewalk grade).

C. Greensboro Drive shall be designed with:

- (i) an eight (8) foot wide landscape amenity panel adjacent to Greensboro Drive;
- (ii) an eight (8) foot wide clear pedestrian sidewalk;
- (iii) a variable width building zone (minimum four (4) feet in width) that will provide additional hardscape and opportunities for outdoor seating/dining adjacent to ground floor non-residential uses and hardscape/landscaped areas adjacent to residential uses;

- (iv) ground floors along Block A having a minimum floor to floor height of 14 feet and ground floors along Block C having an average floor to floor height of 16 feet to accommodate non-residential uses and/or residential lobbies; and
- (v) entries and lobbies with recessed and/or welcoming entries incorporating awnings or canopies as appropriate.
- (vi) For the block between Solutions Drive and Madison Street, the building facades shall include: functioning entry doors into applicable uses with a maximum separation of 75 feet (with the exception of the hotel use in Building C1), or greater if shown on an approved FDP or as may be permitted by the Zoning Administrator; and a minimum of 40% transparent glazing of the street wall up to a height of 16 feet above the adjacent sidewalk. Building entrance openings shall be considered to meet a portion of the transparency guidelines.
- (vii) For the block between Madison Street and Westpark Drive, the building facades, but not the parking structures and entrances associated with said buildings, shall include: a minimum of 30% transparent glazing of the street wall up to a height of 16 feet above the adjacent sidewalk (with building entrance openings considered to meet a portion of the transparency guidelines); architectural screening of any above grade garages; and screening of the loading/trash/service areas from public view through the use of roll down doors or similar treatment.

D. Solutions Drive shall be designed with:

- (i) a minimum six (6) foot wide landscape amenity panel;
- (ii) a six (6) foot wide clear pedestrian sidewalk;
- (iii) a variable width building zone (minimum four (4) feet in width) that will provide additional hardscape/landscape areas and opportunities for outdoor seating/dining adjacent to the buildings;
- (iv) retail uses at the corners of Greensboro Drive and Park Avenue as shown on the CDP with ground floors having an average floor to floor height of 16 feet to accommodate non-residential uses;
- (v) an at-grade public park/plaza (Atrium Park) between Buildings C2 and C3 as conceptually shown on Sheet L-3.3 of the CDP, but subject to modification at the time of FDP approval;
- (vi) screening of any above grade parking structure along Solutions Drive with architectural systems designed to limit or block views into the garage spaces; and

- (vii) screening of the loading/trash/service areas from public view through the use of roll down doors or similar treatment.

E. Park Avenue from Westpark Drive to Solutions Drive shall be designed with:

- (i) an eight (8) foot wide landscape amenity panel;
- (ii) an eight (8) foot wide clear pedestrian sidewalk;
- (iii) a variable width building zone (minimum four (4) feet in width) adjacent to buildings (not park spaces) that provides additional hardscape adjacent to ground floor non-residential uses with opportunities for outdoor seating/dining and hardscape/landscaped areas adjacent to residential uses;
- (iv) the ground floor of Building C3 having an average floor to floor height of 16 feet and a minimum of 40% transparent glazing of the street wall up to a height of 16 feet above the adjacent sidewalk. Building entrance openings shall be considered to meet a portion of the transparency requirements;
- (v) the ground floors of Buildings B1 and, B2 having an average floor to floor height of 16 feet and a minimum of 35% transparent glazing of the street wall with building entrance openings shall be considered to meet a portion of the transparency requirements; and
- (vi) screening of the loading/trash/service areas from public view through the use of roll down doors or similar treatment.

F. Park Avenue from Solutions Drive to Station Place shall be designed with

- (i) a four (4) to six (6) foot wide clear pedestrian sidewalk (varies due to existing transformer and fire exit stairs); and.
- (ii) a streetscape treatment in the area of Ideation Park as shown on Sheet L5.2 of the CDP.

In the event the Park Avenue alignment is shifted northward in the future, the Applicant shall reconstruct the streetscape on its Property in keeping with the Urban Design Guidelines, to the degree feasible.

G. Madison Street shall be designed with:

- (i) a minimum six (6) foot wide landscape amenity panel;
- (ii) a six (6) foot wide clear pedestrian sidewalk;
- (iii) a variable width building zone (minimum four (4) feet in width) adjacent to buildings (not park spaces) that will provide additional hardscape

adjacent to ground floor non-residential uses and hardscape/landscaped areas adjacent to residential uses;

- (iv) a streetscape treatment in the area of Technology Plaza, Magnetic Park and in front of Building C1 entrance as shown on Sheets L-5.1 and L-5.2 of the CDP;
- (v) non-residential uses and/or residential lobby/amenity uses as shown on the CDP with a minimum of 40% of the retail/hotel/lobby/amenity façades constructed with transparent glazing up to a height of 16 feet above the adjacent sidewalk. Building entrance openings shall be considered to meet a portion of the transparency requirements;
- (vi) residential facades to include a percentage of transparent glazed facades typical of windows required for dwelling units;
- (vii) if any individual residential units have direct access to the streetscape, they shall utilize design features to provide interior privacy (such as by having a ground floor elevation above the sidewalk grade);
- (viii) screening of the loading/trash/service areas from public view through the use of roll down doors or similar treatment; and
- (ix) screening of the above grade parking structures with a combination of architectural systems designed to limit or block views into the garage spaces, changes in topography and/or extensive landscaping.

H. Boro Place shall be designed with:

- (i) a minimum eight (8) foot wide landscape amenity panel, which may accommodate outdoor dining between the street trees;
- (ii) an eight (8) foot wide clear pedestrian sidewalk;
- (iii) a variable width building zone (minimum four (4) feet in width) adjacent to buildings that will provide additional hardscape adjacent to ground floor non-residential uses and may accommodate outdoor seating/dining;
- (iv) the ground floors of Buildings A3 and B3 having an average floor to floor height of 16 feet to accommodate ground floor non-residential uses;
- (v) functioning entry doors into applicable uses with a maximum separation of 75 feet, or greater if shown on an approved FDP or as may be permitted by the Zoning Administrator; and
- (vi) a minimum of 40% transparent glazing of the street wall up to a height of 16 feet above the adjacent sidewalk. Building entrance openings shall be considered to meet a portion of the transparency requirements.

- I. Station Place (western side in its ultimate condition) shall be designed with:
- (i) a five (5) foot wide landscape amenity panel;
 - (ii) an eight (8) foot wide clear pedestrian sidewalk, except at fire exit stairs;
 - (iii) a streetscape treatment in the area of Media Place as shown on Sheet L5.2 of the CDP; and
 - (iv) screening of the loading/trash/service areas from public view through the use of roll down doors or similar treatment.
15. Hotel Arrival Areas. Buildings B2 and C1 include options for both hotel and residential uses. At the time of FDP(s) for Buildings B2 and C1, the use of the building(s) shall be defined. The Applicant shall provide details for the each building's entrance and may propose to alter the entrance/drop-off area associated with each building to meet the needs of the building use, without the need for a CDPA.
16. Telecommunications Equipment. Telecommunications equipment may be placed on the proposed residential and non-residential buildings' rooftops. Any such facilities must comply with the applicable requirements of the Ordinance and be screened and/or setback sufficiently from the perimeter of the roof and penthouse such that they are not visible from the surrounding streets at street level. Other screening measures may be used such as including the facilities as part of the architecture of the buildings, utilizing compatible colors, or employing telecommunication screening material and flush mounted antennas. Telecommunication equipment may also be architecturally integrated onto the facades of the buildings where necessary to ensure on-street and/or open space coverage.
17. Blocks A, B and C Loading/Trash/Service Area.
- A. Particular care shall be taken to mitigate the view of the loading/trash/service area serving these blocks along Westpark Drive, Park Avenue, Greensboro Drive and Solutions Drive and ensure that the loading area can accommodate safe and convenient pedestrian passage. The architectural treatment and integration of the loading door shall be in general conformance with the character shown on the CDP, or as may be refined at the time of FDP approval. At the time of FDP submission for buildings within these blocks, the Applicant shall provide detailed designs for the loading door treatment and demonstrate the door's integration with the first floor and general façade architectural detailing of the building in keeping with the design character shown on the CDP. At the time of FDP submission, the Applicant shall make efforts to minimize the width of the loading door to the extent feasible, without the need for a PCA or CDPA. The FDP shall also include details of the streetscape treatment (paving patterns, bollards, signage) designed to provide visual cues to the pedestrian of the potential loading activity.
 - B. At the time of FDP submission for Building C1, the Applicant shall consider an alternate loading location to the Solutions Drive loading shown on the CDP. Should an alternate location be identified that is mutually acceptable to the

Applicant, the County and VDOT, the Applicant shall provide loading for Building C1 in the alternate location, close one of the loading areas on Solutions Drive, and retrofit the loading area in to retail space. Such relocation of the loading for Building C1 shall not require a PCA or CDPA.

BUILDING PRACTICES

18. Residential Building Certifications.

- A. The Applicant shall include, as part of the building plan submission for any residential building to be constructed on the Property, a list of specific credits within the project's registered version of the U.S. Green Building Council's Leadership in Energy and Environmental Design New Construction ("LEED@-NC") rating system, or other LEED rating system determined to be applicable by the U.S. Green Building Council ("USGBC"), or its equivalent (as determined by the Applicant and Fairfax County), that the Applicant anticipates attaining. All references herein to LEED-NC include both LEED-NC or its equivalent as determined by the Applicant and the County and all references to USGBC include the applicable equivalent agency.

Except as otherwise provided below in Paragraph E as an alternative, a LEED or equivalent-accredited professional (the "LEED-AP") who is also a professional engineer or architect shall provide certification statements at the time of building plan review confirming that the items on the list will meet at least the minimum number of credits necessary to attain LEED-NC certification of the building.

- B. The Applicant shall designate the Chief of Environment and Development Review Branch ("EDRB") of DPZ as a team member in the USGBC's LEED Online system. This team member will have privileges to review the project status and monitor the progress of all documents submitted by the project team, but will not be assigned responsibility for any LEED credits and will not be provided with the authority to modify any documentation or paperwork.
- C. Prior to building plan approval for the building to be constructed, the Applicant shall post a "green building escrow" in the form of cash or a letter(s) of credit from a financial institution acceptable to DPWES as defined in the Fairfax County Public Facilities Manual ("PFM"), in the amount of \$2.00/square foot of GFA, as shown on the approved site plan. This green building escrow shall be in addition to and separate from other bond requirements and will be released upon demonstration of attainment of LEED-NC certification, by the USGBC, under the project's registered version of the LEED-NC rating system or other LEED rating system determined, by the USGBC, to be applicable to each building. The provision to EDRB of documentation from the USGBC that each building has attained LEED-NC certification will be sufficient to satisfy this commitment.
- D. At the time LEED-NC certification is demonstrated to EDRB, the escrowed funds and/or letter(s) of credit shall be released to the Applicant.

If prior to bond extension, reduction or final bond release for the applicable building site, whichever occurs first, the Applicant provides to EDRB documentation demonstrating that LEED-NC certification for the building has not been attained but that the building has been determined by the USGBC to fall within three (3) points of attainment of LEED-NC certification, 50% of the green building escrow will be released to the Applicant; the other 50% will be released to Fairfax County and will be posted to a fund within the County budget supporting implementation of county environmental initiatives. If the certification is still in progress at the time of application for bond extension or reduction, which given the construction timelines associated with the Proposed Development there is the potential for multiple bond extensions or reductions prior to the Proposed Development's completion, the time frame for the provision of the documentation described above shall be automatically extended to the time of the next bond extension or reduction. However, the documentation must be provided prior to the final bond release for the applicable building site.

If prior to bond extension, reduction or final bond release for the applicable building site, whichever occurs first, the Applicant fails to provide documentation to EDRB demonstrating attainment of LEED-NC certification or the Applicant provides documentation demonstrating that the building has fallen short of LEED-NC certification by three (3) points or more, the entirety of the escrow for that building will be released to Fairfax County and will be posted to a fund within the County budget supporting implementation of County environmental initiatives. If the certification is still in progress at the time of application for bond extension or reduction, which given the construction timelines associated with the Proposed Development there is the potential for multiple bond extensions or reductions prior to the Proposed Development's completion, the time frame for the provision of the documentation described above shall be automatically extended to the time of the next bond extension or reduction. However, the documentation must be provided prior to the final bond release for the applicable building site.

- E. As an alternative to the actions outlined in the Paragraphs A, C and D above, the Applicant may choose at its sole discretion to pursue a certification level higher than LEED-NC, in which case the LEED-AP will provide certification statements at the time of building plan review confirming that the items on the list of specific credits will meet at least the minimum number of credits necessary to attain LEED-NC Silver certification.

Prior to building plan approval for the building to be constructed, the Applicant shall submit documentation to EDRB, regarding the USGBC's preliminary review of design-oriented credits in the LEED program. This documentation will demonstrate that the building is anticipated to attain a sufficient number of design-related credits that, along with the anticipated construction-related credits, will be sufficient to attain LEED-NC Silver certification. Under this alternative, the Applicant is not required to provide a "green building escrow" unless the Applicant fails to provide the above referenced documentation that the building is anticipated to attain LEED-NC Silver certification.

Prior to final bond release of each building site, the Applicant shall submit documentation to EDRB, confirming the status of LEED certification.

- F. As an alternative to the actions outlined in the Paragraphs A, C, D and E above, if applicable and if the project meets the eligibility criteria for the rating system, the Applicant may select, subject to EDRB approval, an alternate residential rating system such as Earth Craft, or the 2012 National Green Building Standard (NGBS) using the ENERGY STAR® Qualified Homes path for energy performance that may be implemented without an escrow. If one of the alternate residential rating systems listed herein is selected as an alternative to the previous paragraphs, the Applicant shall note the selected system and provide a completed checklist of the anticipated options to be pursued for the specified rating system at the time of site plan and building plan review. The Applicant shall demonstrate attainment of the selected certification from a rater recognized through the selected process prior to the bond extension, reduction or final bond release of each building site, whichever occurs first. If the certification is still in progress at the time of application for bond extension or reduction, which given the construction timelines associated with the Proposed Development there is the potential for multiple bond extensions or reductions prior to the Proposed Development's completion, the time frame for the provision of the documentation described above shall be automatically extended to the time of the next bond extension or reduction. However, the documentation must be provided prior to the final bond release for the applicable building site.

19. Non-Residential Building Certifications.

- A. The Applicant shall include, as part of the building plan submission for any non-residential building to be constructed on the Property, a list of specific credits within the project's registered version of the U.S. Green Building Council's Leadership in Energy and Environmental Design Core and Shell ("LEED®-CS") rating system, or other LEED rating system determined to be applicable by the USGBC, or its equivalent (as determined by the Applicant and Fairfax County), that the Applicant anticipates attaining. All references herein to LEED-CS include both LEED-CS or its equivalent as determined by the Applicant and the County and all references to USGBC include the applicable equivalent agency.

Except as otherwise provided below in Paragraph E as an alternative, the LEED-AP shall provide certification statements at the time of building plan review confirming that the items on the list will meet at least the minimum number of credits necessary to attain LEED-CS Silver certification of the building.

- B. The Applicant shall designate the Chief of EDRB as a team member in the USGBC's LEED Online system. This team member will have privileges to review the project status and monitor the progress of all documents submitted by the project team, but will not be assigned responsibility for any LEED credits and

will not be provided with the authority to modify any documentation or paperwork.

- C. Prior to building plan approval for the building to be constructed, the Applicant shall post a "green building escrow" in the form of cash or a letter(s) of credit from a financial institution acceptable to DPWES as defined in the PFM, in the amount of \$2.00/square foot of GFA, as shown on the approved site plan. This green building escrow shall be in addition to and separate from other bond requirements and will be released upon demonstration of attainment of LEED-CS Silver certification, by the USGBC, under the project's registered version of the LEED-CS rating system or other LEED rating system determined, by the USGBC, to be applicable to each building. The provision to EDRB of documentation from the USGBC that each building has attained LEED-CS Silver certification will be sufficient to satisfy this commitment.
- D. At the time LEED-CS Silver certification is demonstrated to EDRB, the escrowed funds and/or letter(s) of credit shall be released to the Applicant.

If, prior to bond extension, reduction or final bond release for the applicable building site plan, whichever occurs first, the Applicant provides to EDRB documentation demonstrating that LEED-CS Silver certification for the building has not been attained but that the building has been determined by the USGBC to fall within three (3) points of attainment of LEED-CS Silver certification, 50% of the green building escrow will be released to the Applicant; the other 50% will be released to Fairfax County and will be posted to a fund within the County budget supporting implementation of county environmental initiatives. If the certification is still in progress at the time of application for bond extension or reduction, which given the construction timelines associated with the Proposed Development there is the potential for multiple bond extensions or reductions prior to the Proposed Development's completion, the time frame for the provision of the documentation described above shall be automatically extended to the time of the next bond extension or reduction. However, the documentation must be provided prior to the final bond release.

If prior to bond extension, release or final bond release for the applicable building site plan, whichever occurs first, the Applicant fails to provide documentation to the EDRB demonstrating attainment of LEED-Silver certification or the Applicant provides documentation demonstrating that the building has fallen short of LEED-CS Silver certification by three (3) points or more, the entirety of the escrow for that building will be released to Fairfax County and will be posted to a fund within the County budget supporting implementation of County environmental initiatives. If the certification is still in progress at the time of application for bond extension or reduction, which given the construction timelines associated with the Proposed Development there is the potential for multiple bond extensions or reductions prior to the Proposed Development's completion, the time frame for the provision of the documentation described above shall be automatically extended to the time of the next bond extension or

reduction. However, the documentation must be provided prior to the final bond release.

- E. As an alternative to the actions outlined in the Paragraphs A, C and D above, the Applicant may choose at its sole discretion to pursue a certification higher than LEED-CS Silver, in which case the LEED-AP will provide certification statements at the time of building plan review confirming that the items on the list of specific credits will meet at least the minimum number of credits necessary to attain LEED-CS Gold pre-certification.

Prior to building plan approval for the building to be constructed, the Applicant shall submit to EDRB documentation from the USGBC demonstrating that LEED Gold precertification under the Core and Shell program has been attained for that building. Under this alternative, the Applicant is not required to provide a "green building escrow" unless the Applicant fails to provide the above referenced documentation that the building is anticipated to attain LEED-CS Gold certification.

However, if the Applicant is unable to provide the precertification documentation prior to the building permit approval but does anticipate receiving the documentation prior to the attainment of the certification, the Applicant may, prior to the issuance of the building permit, post an escrow identical to the one described in Paragraph C above. This escrow will be released upon submission of the documentation to EDRB from the USGBC demonstrating that the building is anticipated to attain a sufficient number of credits to attain LEED Gold certification.

20. Energy Sustainability. To promote efficient, renewable and sustainable energy practices, the Applicant shall provide the following:
- A. Electric Vehicle Charging Infrastructure. A minimum of four (4) electric vehicle recharging station that serves eight (8) parking spaces and conduit to facilitate additional future recharging stations in each parking garage.
 - B. Energy and Water Data. To the extent there are master electric, gas and water meters for entire buildings, upon request by the County the Applicant shall provide to the County aggregated non-proprietary energy and water consumption data, as practicable, for each building and the entire Property.
21. Noise Attenuation. The Applicant has submitted a Traffic Noise Analysis and Mitigated Noise Analysis of the Property prepared by Phoenix Noise & Vibration, LLC dated April 21, 2011. The analysis indicates that projected traffic noise will be greater than a day-night averaged noise level ("Ldn") of 65 decibels ("dBA") for some residential buildings exposed to Route 7, Westpark Drive, Greensboro Drive and the elevated Metrorail. The Applicant shall submit refined interior noise studies, prepared by a qualified acoustical consultant, at the time of building plan submission(s) to determine exactly what, if any, noise attenuation measures are needed reduce the interior DNL to no more 45 dBA for

residential and hotel buildings. Such studies shall be submitted to EDRB for approval and to DPWES for information only and shall additionally notify the Chief of EDRB by letter that such submission has been made. Failure by the EDRB to review and respond to the Applicant within 60 days of receipt of a refined interior noise study shall be deemed approval of such study. Based on the findings of the studies, the Applicant shall show noise impacted areas on the site plan(s) and shall construct the applicable building(s) with the appropriate noise attenuation measures and materials to ensure compliance with the interior DNL limit of 45 dBA for residential or hotel units or 50 dBA for office development.

Based on the findings of the refined interior noise studies, the Applicant shall provide the following noise attenuation measures, unless otherwise modified by the findings of the refined interior noise studies.

- A. In order to reduce interior noise to a level of approximately 45 dBA Ldn, dwelling units and hotel units anticipated by the studies to be impacted by traffic noise having levels projected to be between 65 and 70 dBA Ldn shall be constructed with the following acoustical measures:
- (i) Exterior walls shall have a laboratory sound transmission class (STC) rating of at least 39.
 - (ii) Doors and glazing shall have a laboratory STC rating of at least 28 unless glazing constitutes more than 20% of any residential façade exposed to noise levels of 65 to 70 dBA Ldn. If glazing constitutes more than 20% of an exposed residential façade, then the glazing shall have a STC rating of up to 39 as dictated by the percent of glass.
 - (iii) All surfaces shall be sealed and caulked in accordance with methods approved by the American Society for Testing and Materials ("ASTM") to minimize sound transmission.
- B. In order to reduce interior noise to a level of approximately 45 dBA Ldn, dwelling units and hotel units anticipated by the studies to be impacted by traffic noise through windows and walls having levels projected to be between 70 and 75 dBA Ldn shall employ the following acoustical measures:
- (i) Exterior walls shall have a laboratory sound transmission class (STC) rating of at least 45.
 - (ii) Doors and glazing shall have a laboratory STC rating of at least 37 unless glazing constitutes more than 20% of any residential façade exposed to noise levels of up to 75 dBA Ldn. If glazing constitutes more than 20% of an exposed residential façade, then the glazing shall have a STC rating of up to 45 as dictated by the percent of glass.
 - (iii) All surfaces shall be sealed and caulked in accordance with methods approved by ASTM to minimize sound transmission.

- C. In order to reduce interior noise to a level of approximately of 50 dBA Ldn, office units anticipated by the studies to be impacted by traffic noise levels projected to be between 70 and 75 dBA Ldn shall be constructed with the following acoustical measures:
- (i) Exterior walls shall have a laboratory sound transmission class (STC) rating of at least 39.
 - (ii) Doors and glazing shall have a laboratory STC rating of at least 28 unless glazing constitutes more than 20% of any façade exposed to noise levels of 70 to 75 dBA Ldn. If glazing constitutes more than 20% of an exposed façade, then the glazing shall have a STC rating of up to 39 as dictated by the percent of glass.
 - (iii) All surfaces shall be sealed and caulked in accordance with methods approved by the ASTM to minimize sound transmission.

22. Notification of Exterior Noise Levels. The Applicant shall notify potential tenants or purchasers of individual residential units with balconies, either in the lease or sales contract, that exterior noise levels may exceed 65 dBA, as may be applicable, which is the policy established by Fairfax County for outdoor recreation in residential areas impacted by high noise levels.
23. Bird-Friendly Design Elements. In an effort to reduce bird injury and death due to in-flight collisions with buildings, the Applicant shall include one or more bird friendly design elements, as determined by the Applicant, in the architectural plans of each building on the Property. The bird friendly design elements may include, but not be limited to, the use of color, texture, opacity, fritting, frosting, patterns, louvers, screens, interior window treatments, or ultraviolet materials that are visible to birds, the angling of outside lights, curbing of excessive or unnecessary night-time illumination in commercial buildings, reduction of bird attracting vegetation, the use of decoys, and breaking of glass swaths. Upon the issuance of a building permit for each building, the provisions of this Proffer shall be deemed satisfied as to such building.

SITE DESIGN AND AMENITIES

24. Conceptual Landscape Plan. The CDP includes a conceptual landscape plan for the Property consisting of an overall plan and details regarding streetscapes, plazas, publicly accessible park areas, courtyards and private amenity areas. As part of subsequent FDP approvals, more detailed landscape plans for each building phase shall be provided in general conformance with the concepts included on Sheets L-5.1 and L-5.2 with adjustments permitted so long as the quality of the landscaping remains consistent with that shown on the CDP.

As part of the site plan submission for each building phase, the Applicant shall submit to the Urban Forestry Division of the DPWES for review and approval a detailed landscape plan that is in substantial conformance with the quantity and quality of plantings and

materials landscaping shown on the approved FDP, and shall include, among other things, irrigation information, design details for tree wells and other similar planting areas on structures and along streets. These details shall include the composition of planting materials, methods for providing suspended pavement over tree root zones to prevent soil compaction, and methods for ensuring the viability of plantings on structures. Adjustments to the type and location of plantings shall be permitted to avoid conflicts with utilities and other site engineering considerations.

25. Streetscaping. Streetscaping shall be installed throughout the Property as conceptually illustrated on Sheets L-10.0 through L-10.3. Streetscape elements shall include: a landscape amenity panel located immediately behind the face of curb; a clear pedestrian sidewalk adjacent to the landscape amenity panel; and a building zone between the pedestrian sidewalk and the face of the building that is designed to allow access to the building, and/or additional landscaping adjacent to residential uses and also storefront browsing, outdoor display, outdoor dining, and similar uses adjacent to Retail uses. Streetscaping elements may be adjusted at the time of FDP approval provided the quality of the streetscape and minimum clear sidewalks are consistent with that shown on the CDP.
- A. Street Trees. Tree planting sites are set forth on the CDP, subject to revisions as may be approved on the FDP, at site plan review by the UFMD or necessitated by providing bus stop shelters, clear zone requirements, etc. The Applicant shall retain the services of a certified arborist or Registered Consulting Arborist to monitor the design and inspect the planting of the street trees and shall notify UFMD in writing or by electronic mail no later than three business days prior to tree pit construction to allow for County inspection. Where minimum planting widths of 8 feet are not provided, structural cell technology, or other measures acceptable to UFMD, shall be used to satisfy the following specifications for all planting sites:
- (i) A minimum of 4 feet open surface width and 16 square feet open surface area for Category III and Category IV trees, with the tree located in the center of the open area, or as an option a grated covering of the open surface area as may be approved with the FDP;
 - (ii) A minimum rooting area of 8 feet wide (may be achieved with techniques to provide un-compacted soil below hardscape areas within the pedestrian realm), with no barrier to root growth within four feet of the base of the tree;
 - (iii) A minimum soil depth of four (4) feet as measured to the shallow most point of the tree pit as more specifically depicted in the tree planting details found on Sheets L-12.0 through L-12.4 of the CDP;
 - (iv) Minimum soil volume for Category III and Category IV trees (as defined in Table 12.19 of the PFM) shall be 700 cubic feet per tree for single trees, but may be reduced where utility locations preclude meeting such

requirement. Soil volume shall be as close to 700 cubic square feet as possible, given the specific circumstances; and no less than 400 cubic feet. For two trees planted in a contiguous planting area, a total soil volume of at least 600 cubic feet per tree shall be provided. For three or more trees planted in a contiguous area, the soil volume shall equal at least 500 cubic feet per tree. A contiguous area shall be any area that provides root access and soil conditions favorable for root growth throughout the entire area.

- (v) Soil specifications in planting sites shall be provided in the planting notes to be included in all site plan submissions;
- (vi) All shade trees shall be a maximum of 3 inches in caliper at the time of planting unless otherwise approved by UFMD; all flowering trees shall be a minimum of 2 inch caliper at the time of planting; and all new evergreen trees shall be a minimum of eight (8) feet in height at the time of planting; and,
- (vii) Street trees planted within existing utility easements that are removed to facilitate repairs of utilities in these easements shall be replaced.

B. Non-Invasive Plant Materials. Invasive species, as defined by the PFM, shall not be used within the streetscape and landscaped open space areas.

C. Utility Locations. Utilities, including, but not limited to water, sanitary sewer and storm sewer utility lines, shall be installed within the street network to the maximum extent feasible as determined by DPWES or shall be placed in locations that do not conflict with the landscaped open space areas and streetscape elements shown on the CDP and/or subsequent FDP as determined by DPWES. If there is no other option, utilities may be placed within open space or streetscape areas provided that the long-term health of trees and other plantings is ensured by the provision of sufficient soil volume as shown on the CDP, as determined by the UFMD. A conceptual utility plan shall be overlaid on the landscape plan submitted in the FDP. Adjustments to the type and location of plantings and the use of raised planters shall be permitted to avoid conflicts with utilities and other site engineering considerations. If at the time of site plan approval, street trees shown on the FDP are in conflict with existing or proposed utilities and alternative locations for the street trees satisfactory to UFMD cannot be accommodated, the Applicant shall modify the location of utilities to ensure that the trees shown on the FDP can be provided.

Maintenance access points to SWM Facilities and electric vaults beneath the streetscape shall be located outside of the clear pedestrian walkway zone of the streetscape to the extent feasible. If the access points must be located in the walkway zone, they shall be designed as a lift out panel with the same paving materials as the walkway (subject to ADA requirements), be flush with the walkway, and meet ADA accessibility requirements. These maintenance points shall be shown on each FDP.

- D. Sight Distance Considerations. Sight distance requirements shall be provided with the landscape plan submitted with each FDP, so as to identify and avoid conflicts with street tree locations. If determined at the time of site plan review that street tree locations conflict with sight distance requirements, the Applicant shall investigate whether limited pruning or minor adjustments to the locations of street trees will alleviate sight distance concerns. In the event VDOT does not approve the tree locations even after the changes anticipated above, the Applicant shall be permitted to relocate the affected street tree without the need for confirmation from DPZ, subject to approval by UFMD. If the deleted street tree(s) result in a tree canopy below 10% on the Property, the street tree(s) must be accommodated in another location on the Property, as approved by DPZ in consultation with UFMD.
- E. Streetscape Furnishings, Materials and Lighting. Unified and high quality streetscape materials shall be provided and may include, but not be limited to, unit pavers, seat walls, tree space edging, lighting, traffic signal poles, benches, trash receptacles and other hardscape elements. A Streetscape Furnishing and Materials Plan shall be provided as part of all FDPs. These plans shall include general product information and approximate locations of furnishings and materials to be located in the streetscape between the building face and the curb, and in other public realm open spaces. Materials, furnishings, and lighting shall be compatible with those already identified in the Tysons Corner Urban Design Guidelines ("UDG") dated January 24, 2012, as may be amended and or modified and shall be coordinated with any streetscape design efforts put forth by the Tysons Partnership, but shall not be subject to approval by Tysons Partnership.
- All streetscape lighting shall be energy efficient. All on-site, outdoor and parking garage lighting shall not exceed that permitted under the Outdoor Lighting Standards of Section 14-900 of the Ordinance. All parking lot and building mounted security lighting shall utilize full cut-off fixtures. Recessed lighting shall be directionally shielded to mitigate the impact on the adjacent properties.
- F. Signage and Wayfinding. Signage for the Property shall be provided in accordance with the requirements of Article 12 of the Ordinance. Alternatively, the Applicant may seek approval of a Comprehensive Sign Plan ("CSP"). The placement of all signage on existing/planned public streets shall be coordinated with VDOT for review and approval. Wayfinding signage and elements may be provided as part of a larger CSP for the Tysons area. Such wayfinding signage shall be coordinated with the Tysons Partnership so to facilitate a consistent wayfinding and signage system, but shall not be subject to approval by Tysons Partnership. Wayfinding shall provide direction to locations of prominent attractions, parks, cultural arts destinations, and other public amenities.
- G. Maintenance. The Applicant or UOA shall maintain and replace in-kind all pedestrian realm elements within the Proposed Development. The pedestrian realm includes all areas between the back of curb and the back of the building

zone whether located within the public right-of-way or on private land with public access easements. The Applicant shall enter into the appropriate agreement, in a form approved by the Office of the County Attorney, with the County (or other public entity, as needed) to permit the Applicant to perform such maintenance. An alternative maintenance agreement, such as a Business Improvement District, may be entered into upon written agreement of both the County and the Applicant without the requirement for a PCA. Maintenance commitments include, but are not limited to:

- (i) All plantings including trees, shrubs, perennials, and annuals;
- (ii) All associated irrigation elements;
- (iii) All hard surfaces;
- (iv) All streetscape furnishings including benches, bike racks, trash and recycling receptacles and non-standard structures;
- (v) All lighting fixtures, poles and brackets;
- (vi) All non-VDOT standard sign posts, traffic signal poles, pedestrian signal poles, mast arms, signal heads and control boxes;
- (vii) Snow removal;
- (viii) Leaf removal;
- (ix) Trash, recycling and litter removal;
- (x) Decorative and structural retaining walls;
- (xi) Special drainage features, such as Low Impact Design facilities; and
- (xii) All urban park amenities including horticultural care, maintenance of all water features, irrigation, lighting, furnishings, paving, and art.

Phasing of streetscaping is provided within the context of individual building phases as depicted on the Phasing Exhibits. As determined at the time of FDP approval, where the final streetscape design cannot be fully implemented during certain phases of development, the Applicant shall provide interim streetscape improvements as described in Proffer 26C.

26. Interim Conditions and Standards. Due to the size of the Proposed Development and the time anticipated for its build-out, phased redevelopment may result in various interim conditions on the Property. Many of the anticipated interim conditions are identified on the Phasing Exhibits. At the time of FDP submission, the Applicant shall identify the specific proposed interim conditions within the FDP area and outside the FDP area and shall ensure such conditions provide reasonable pedestrian connections, vehicular

circulation, temporary streetscaping and landscaping, public park treatments, and screening/treatment of exposed/partially complete above grade parking structures.

- A. If an interim condition/phase includes partial demolition of an existing structure, the FDP for that phase shall include all or a portion of the existing structure as necessary to ensure revisions to parking and on-site circulation for the existing structure are adequate.
- B. If interim improvements not located on the Property are contemplated with any FDP, such FDP shall specify how and when such improvements are to be constructed. In the event the Applicant is unable to acquire the right-of-way and/or easements necessary to construct such interim improvements through a cooperative agreement with the owners, the Applicant shall request in writing that Fairfax County acquire the easements or rights-of-way by means of its condemnation powers as described in Proffer 71. At the time of FDP approval, it shall also be determined what course of action shall be required of the Applicant should the County elect not to use, or is unsuccessful in its attempt to use, its condemnation powers.
- C. Interim conditions shall generally comply with the following general standards provided that the improvements are acceptable to Fairfax County, VDOT, and all other utility companies as may be appropriate:
 - (i) Construction of interim sidewalks a minimum of a five (5) feet in width and installation of interim street lights along the interim sidewalks, as needed to ensure a safe, convenient pedestrian path to the Metro Station
 - (ii) Installation of street trees, with a minimum size of 2 inch caliper, approximately every 50 feet, to the extent feasible as determined by UFM based on existing conditions and utility easements. Interim street tree planting shall not be required to meet the minimum planting width/area standard for permanent street trees.
 - (iii) Provision of interim designs for publicly accessible open spaces shall include interim landscaping, pedestrian pathways, seating, signage, lighting and recreational facilities as determined at FDP.
 - (iv) Provision of peripheral and interior parking lot landscaping in accordance with Article 13-203 of the Ordinance for interim surface parking lots, unless waived or modified at the time of FDP or site plan approval.
 - (v) Application of a screening system (which may be removable) where above grade garage structures that will be interior when later phases are complete are exposed at phase lines. This screening system shall be applied to all levels above grade and shall be composed of an architecturally designed system that may reflect basic architectural lines of the permanent facades, and that shall partially obscure the garage view from outside the garage until the next phase is constructed. The use of temporary art works as a

part of the screening system shall also be considered as part of the interim screening system. The specific screening system to be utilized for each building shall be determined at the time of FDP approval and graphically depicted on the FDP. Alternate temporary garage screening may be approved with FDP approval.

- (vi) Grading and seeding of areas on the Property where existing improvements are removed to accommodate a portion of the Proposed Development, and are not scheduled to commence construction within 18 months.
- (vii) Where appropriate, provision of attractive temporary construction fencing, which may include public art, signage or wayfinding elements. Signage shall be in keeping with Article 12 of the Ordinance or alternatively in accordance with an approved Comprehensive Sign Plan.

TRANSPORTATION IMPROVEMENTS

27. Grid of Streets. The Applicant shall construct and place into operation a new grid of streets throughout the Property including portions of streets identified on the CDP as Park Avenue, Madison Street, Boro Place and Station Place and shall make improvements to existing public streets identified as Greensboro Drive, Westpark Drive and Solutions Drive. For the purposes of these Proffers, Route 7, Greensboro Drive, Park Avenue and Boro Place shall be considered to run east to west, and Westpark Drive, Madison Street, Solutions Drive and Station Place shall be considered to run north to south. The functional classification of the streets is provided below:

Street	Classification
Route 7 (Leesburg Pike)	Low Speed Boulevard
Greensboro Drive	Avenue
Westpark Drive	Avenue
Park Avenue	Collector
Solutions Drive	Local
Station Place	Collector
Madison Street	Local
Boro Place	Local (private)

- A. Public Streets and Right-of-Way. The Applicant shall dedicate right-of-way along the Property's frontage for Greensboro Drive, Westpark Drive, Park Avenue, Solutions Drive, Station Place and SAIC Street (the "Public Streets"), to a point inclusive of the landscape amenity panel and the sidewalk or to such standard as may be approved on the FDP. All improvements proposed to Public Streets herein shall be subject to VDOT approval and be designed to be in general conformance with the standards included in Attachment D (*Transportation Design Standards for Tysons Corner Urban Center*) of the Memorandum of

Agreement approved by the Board of Supervisors on September 13, 2011, as may be amended (the "Design Standards"), subject to modifications/waivers as may be granted.

The Applicant shall work diligently with VDOT and Fairfax County during the FDP and site plan approval processes to ensure that the Public Streets and the area of the landscape amenity panel/sidewalk can be accepted by VDOT as public streets. The Applicant shall dedicate and convey in fee simple right-of-way including the area of the landscape amenity panel/sidewalk to the Board of Supervisors at the time of site plan approval, with the following exceptions:

- (i) If at the time of site plan approval it is determined that stormwater management facilities, electric vaults or other similar facilities proposed to be located beneath the landscape amenity panel/sidewalk prevent VDOT and/or Fairfax County from accepting the landscape amenity panel/sidewalk within the right-of-way, the Applicant shall provide dedication measuring 18 inches from the proposed face of curb line and shall grant a public sidewalk and utility easement in a form acceptable to the Office of the County Attorney, over the area of the amenity panel/sidewalk. This easement shall allow for the installation of signage necessary for safety and operation of the street as well as parking regulation equipment by VDOT and/or the County. In addition, the Applicant shall provide easements within the amenity panel for bus pads and shelters as determined at the time of FDP or site plan.
- (ii) If at the time of site plan approval it is unclear whether stormwater management facilities, electric vaults or other similar facilities proposed to be located beneath the landscape amenity panel/sidewalk will be acceptable to VDOT and/or Fairfax County, the Applicant shall provide dedication measuring 18 inches from the proposed face of curb line at the time of site plan approval and shall reserve for potential future dedication the landscape amenity panel and sidewalk areas. A temporary public access easement in a form acceptable to the County Attorney shall be recorded over the reserved landscape amenity panel/sidewalk areas until such time as such areas are dedicated. Conveyance of the amenity panel/sidewalk areas to the Board of Supervisors shall occur following construction of the street and streetscape improvements and final street acceptance inspection by Fairfax County and/or VDOT subject to the stipulations in these Proffers.
- (iii) Should it be determined following final street acceptance inspection that the landscape amenity panel and sidewalk areas are not acceptable to VDOT and/or the County to be included in the right-of-way, the reservation of potential future dedication of the landscape amenity panel and sidewalk areas shall be released and a public sidewalk and utility easement, in a form acceptable to the County Attorney, shall be granted in its place. This easement shall allow for the installation of signage

necessary for safety and operation of the street as well as parking regulation equipment by VDOT and/or the County. In addition, the Applicant shall provide easements within any privately-owned amenity panel/sidewalk area for bus shelters identified on the CDP or any subsequent FDP, as determined at the time of site plan.

- B. Definition of Construct. For purposes of this Proffer "construct" shall mean that the committed road improvement is open to use by the public for travel whether or not the improvement has been accepted for maintenance by the state.
 - C. Naming. The Applicant reserves the right to provide different names for the streets than those shown on the CDP.
 - D. Street/Sidewalk Closures. The Applicant may temporarily close part or all of any streets or sidewalks to accommodate construction activity on the Property provided safe and adequate pedestrian and vehicular access is maintained.
 - E. Parking Lanes. The Applicant shall provide on-street parking throughout the limits of the Property as generally located on the CDP. The County and VDOT may restrict parking on Park Avenue during peak commuting periods (typically 6:00 to 9:00 AM and 4:00 to 7:00 PM), in order to provide for turning movements to/from the public and/or private street network or to provide additional travel lanes. If requested by the County and/or VDOT, the Applicant shall install signs restricting parking subject to VDOT approval.
28. Greensboro Drive. The Applicant shall construct improvements along the Property's Greensboro Drive frontage measuring 35 feet from the existing centerline to the face of curb to accommodate a half section of four lanes of traffic (two lanes in each direction) with a dedicated bike lane and on-street parking. The final design of the improvements to Greensboro Drive as generally described above shall be further refined in conjunction with the submission of any FDP and all site plans for those portions of the Property fronting Greensboro Drive and construction shall be provided concurrent with the development of buildings with frontage on Greensboro Drive.
29. Westpark Drive. The Applicant shall construct improvements to Westpark Drive as follows:
- A. Frontage improvements along the Property's Westpark Drive frontage, measuring 48 feet from the existing centerline to the face of curb to accommodate a half section of six lanes of traffic (three lanes in each direction) with a dedicated bike lane. The curb lane shall act as a combination right turn lane and Circulator lane as referenced in Proffer 42. The final design of the improvements to Westpark Drive as generally described above shall be further refined in conjunction with the submission of any FDP and all site plans for those portions of the Property fronting Westpark Drive and construction shall be provided concurrent with the development of any building with frontage on Westpark Drive.

- B. Reconstruction of the existing median located between Greensboro Drive and International Drive to provide an exclusive left turn lane to Greensboro Drive and extend the existing left turn bay at International Drive, as shown on the inset on Sheet C-7, and as may be approved by VDOT. In conjunction with the improvements to the left turn lane the Applicant shall reconstruct the traffic signal at this intersection in conformance with VDOT standards including pedestrian enhancements as may be required by VDOT. Such median and signal reconstruction shall be provided concurrent with the construction of Building A1 or A2, whichever is constructed first.
30. Solutions Drive. The Applicant shall construct improvements along the Property's Solutions Drive frontage measuring 18.5 feet from the existing centerline to the face of curb to accommodate a half section of two lanes of traffic (one lane in each direction) and on-street parking. The final design of the improvements to Solutions Drive as generally described above shall be further refined in conjunction with the submission of any FDP and all site plans for those portions of the Property fronting Solutions Drive and construction shall be provided concurrent with the development of buildings with frontage on Solutions Drive.
31. Park Avenue.
- A. Park Avenue between Westpark Drive and Solutions Drive. The Applicant shall construct Park Avenue through the Property connecting Westpark Drive with Solutions Drive as follows:
- (i) If not previously constructed or designed by others, then in conjunction with the submission of the site plan for Building B1, B2, C3, E1 or E2, whichever occurs first, the Applicant shall submit a Public Improvement Plan for the ultimate improvement of Park Avenue generally from Westpark Drive to Solutions Drive (the "Park Avenue Road Plan"). The Park Avenue Road Plan shall be coordinated with the applicant in adjacent rezoning application RZ 2013-PR-009, or its successors and assigns (collectively "the RZ-2013-PR-009 Property"). In conjunction with the RZ-2013-PR-009 Property, the Applicant shall be responsible for the construction of Park Avenue between Westpark Drive and Madison Street ("Park Avenue West"). The Applicant shall solely be responsible for the construction of Park Avenue between Madison Street and Solutions Drive ("Park Avenue East"). Park Avenue shall be constructed as generally reflected on CDP Sheets C-7, C-7B and C-7C consistent with the Phasing Sheets and the typical section presented on CDP Sheet C-16A. The final design of the improvements to Park Avenue as generally described above shall be determined in conjunction with the submission of the site plans for those portions of the Property along Park Avenue. The Applicant reserves the right, in its sole discretion, to complete such ultimate improvements as a single public road improvement or in separate segments, as long as at least the improvements for the respective individual building have been constructed consistent with the Phasing

Sheets, except where modified by FDP. Park Avenue West shall be constructed and complete prior to the issuance of the first RUP or Non-RUP for Buildings B1 or B2, whichever occurs first. Park Avenue East shall be constructed and complete prior to the issuance of the first Non-RUP for Buildings C3, E1 or E2, whichever occurs first.

- (ii) If Park Avenue West is to be constructed by the RZ-2013-PR-009 Property prior to the Applicant's obligation to construct as stated above, then upon written demand by Fairfax County, the Applicant shall dedicate and convey right-of-way and ancillary easements necessary to facilitate such construction by the RZ-2013-PR-009 Property at no cost, provided: (a) sufficient interim access to/from the existing on-site uses is constructed as needed and maintained at all times; and (b) such improvements to the Property are minimized and coordinated with the Applicant prior to site plan approval for Park Avenue West. In addition, should the ultimate improvements to this Park Avenue West be constructed by the RZ-2013-PR-009 Property, the Applicant shall demonstrate that it has provided fifty percent (50%) of the cost of designing and constructing Park Avenue West to the owners of the RZ-2013-PR-009 Property prior to issuance of building permits for either Buildings B1, B2, E1 or E2, whichever occurs first. The specific streetscape improvements, as reflected on the Phasing Sheets along the Buildings B1 and B2 frontages shall be constructed by the Applicant with the development of those building sites.

B. Park Avenue between Solutions Drive and Station Place. The Applicant shall construct Park Avenue through the Property connecting Solutions Drive with Station Place as follows:

- (i) Between Solutions Drive and Station Place, Park Avenue shall remain generally as constructed with a section measuring 22 feet from face of curb to face of curb accommodating two travel lanes. It is anticipated that the future redevelopment of adjacent properties will provide additional lanes, and that the street will be re-stripped to accommodate two lanes of traffic (one in each direction), two parking lanes with the ability to convert the parking lanes to through lanes in peak periods, and on-street bicycle lanes in each direction and may result in adjustments to the curb line to accommodate an enhanced streetscape.
- (ii) If in the future Park Avenue between Solutions Drive and Station Place is designed and approved for construction on an alignment north of the existing street section, then the Applicant shall dedicate all necessary right-of-way and reasonable easements to accommodate construction of the new alignment by others and shall reconstruct the streetscape on its Property.

C. The Park Avenue/Solutions Drive intersection shall be designed as shown on Sheet C-7 and constructed by the Applicant concurrent with the construction of

Park Avenue from Madison Street to Solutions Drive. This design contemplates VDOT's potential closure of an existing point of access serving adjacent property identified on the 2015 Fairfax County tax maps as 29-3 ((15)) 3C ("Parcel 3C") and construction of a new entrance on Park Avenue to serve Parcel 3C. Refinement of this design shall occur with the FDP for Building C-3 or E-1, whichever occurs first. Should VDOT approve the closure, the Applicant shall construct the closure. Should VDOT not require closure of the existing Parcel 3C entrance, or should permission from the owner of Parcel 3 not be attainable, the Applicant shall work with FCDOT and VDOT to develop an alternative intersection design; acceptance of which shall not necessitate a PCA or CDPA.

32. Station Place

- A. If not previously constructed by others, then in conjunction with the submission of the site plan for Building E1 or E2, whichever occurs first, the Applicant shall submit a Public Improvement Plan (the "Station Place Road Plan") for the construction of Station Place from Leesburg Pike to Park Avenue. The Station Place Road Plan shall be coordinated with the applicant in adjacent rezoning case RZ 2011-PR-005, or its successors and assigns (collectively "the RZ-2011-PR-005 Property"). Station Place shall be designed with an ultimate section measuring 41 feet from face of curb to face of curb to accommodate three lanes of traffic and a bicycle lane on one side of the street as depicted on Sheets C-7, C-7E and C-16A of the CDP, with lane assignments and striping determined at site plan. The Applicant shall construct the ultimate section of Station Place from Leesburg Pike to Park Avenue provided necessary off-site right-of-way or easements from adjacent parcels identified on the 2013 Fairfax County tax maps as Tax Map 29-3 ((1)) 65 and 71A (the "Parcels 65 and 71A") and 29-3 ((15)) 3C (the "Parcel 3C") can be acquired through cooperative agreements with the owners of the Parcels 65A, 71C and 3C.

In the event the Applicant is unable to acquire the rights-of-way and/or easements necessary to construct the ultimate section of Station Place through cooperative agreements with the owners of Parcels 65A, 71C and 3C, then the Applicant shall submit a written request to Fairfax County in accordance with Proffer 71.

- B. In the event the County elects not to use its powers of condemnation to acquire those off-site rights-of-way and/or easements to facilitate the construction of the ultimate section of Station Place, then the Applicant shall be relieved of its obligation to construct the ultimate section and instead be permitted to construct a reduced interim section of Station Place as follows:
- (i) Provided the necessary rights-of-way and/or easements are available from Parcels 65 and 71A, the Applicant shall construct an interim section of Station Place depicted as "Interim Station Place Road Configuration – The Boro & Tysons Central" on Sheet C-7F.

- (ii) Should the necessary rights-of-way and/or easements not be available from Parcels 65A, 71C and 3C, the Applicant shall construct an interim section of Station Place depicted as "Interim Station Place Road Configuration – The Boro Only Road" on Sheet C-7F, and subject to VDOT approval, install stop controls for the service drive approach to Station Place. In this event, the Applicant shall reserve the right-of-way for the ultimate design of Station Place and shall escrow with DPWES the difference between the costs of constructing the "Interim Station Place Road Configuration – The Boro & Tysons Central" and the "Interim Station Place Road Configuration – The Boro Only Road" to facilitate the future construction by others. In addition, should future improvements to Station Place result in adjustments to the streetscape on the west side of Station Place, the Applicant shall reconstruct the streetscape along its frontage.
- C. The final design of the ultimate section or either interim sections shall be further refined in conjunction with the submission of any FDP and site plans for Buildings E1 or E2.
- D. Construction of Station Place shall be provided concurrent with the development of Building E1 or E2, whichever occurs first consistent with the Phasing Sheets.
- E. The Applicant shall relocate/abandon in place the existing stormwater management vault located under the area of future Station Place prior to street acceptance by VDOT.
- F. If Station Place is constructed by the RZ-2011-PR-005 Property prior to the Applicant's obligation to construct as stated above, then the Applicant, upon written demand by Fairfax County, shall dedicate and convey right-of-way and ancillary easements necessary to facilitate such construction by others provided: (a) sufficient interim access to/from the existing on-site uses is constructed as needed and maintained at all times; and (b) such improvements to the Property are minimized and coordinated with the Applicant prior to site plan approval for Station Place. In addition, should the ultimate improvements to this section of Station Place be constructed by the RZ-2011-PR-005 Property, the Applicant shall demonstrate that it has provided its share of the cost of the ultimate improvements along the Property's frontage (such that the Applicant's share and the RZ 2011-PR-005 Property's share equal 100 percent of the cost of Station Place) prior to site plan approval for the Buildings E1 or E2, whichever occurs first. The specific streetscape improvements, as reflected on the Phasing Sheets along the Station Place frontage shall be constructed by the Applicant with the development of the applicable building sites.

33. Madison Street.

- A. Madison Street shall be designed with a section measuring 38 feet from face of curb to face of curb to accommodate two lanes of traffic (one lane in each

direction) with parallel curbside parking on both sides of the street. South of Park Avenue, the Applicant shall construct Madison Street with two travel lanes and one parking lane, with the second lane of parking to be provided by others with the development of the RZ-2013-PR-009 Property.

- B. In order to preclude vehicles exiting the Property on southbound Madison Street from turning left at the Leesburg Pike/Gosnell Road/Westpark Drive intersection, the Applicant shall:
- (i) Install signage at the Madison Street approach to Leesburg Pike prohibiting vehicles exiting the Property on southbound Madison Street from turning left at the Leesburg Pike/Gosnell Road intersection during peak hours (6:00 to 9:00 AM and 4:00 to 7:00 PM). Such signage shall be subject to VDOT approval and shall be installed by the Applicant before Madison Street is open to the public, unless the signage has been installed previously by others.
 - (ii) Three (3) years following the issuance of the first RUP or Non-RUP for buildings in Blocks A or B, or Buildings E1 or E2, whichever occurs first, the Applicant shall conduct a safety assessment of the Madison Street connection onto Leesburg Pike and submit such assessment to FCDOT and VDOT no later than 3 months after the same for their review. If VDOT and/or FCDOT determine that a channelized median at the Madison Street approach to Leesburg Pike is required to mitigate any identified safety concerns, then the Applicant shall install such a median subject to VDOT review and approval. If FCDOT and VDOT, after reviewing the safety assessment, determine a channelized median is not warranted at this location, then any further obligation to build a channelized median shall be null and void.
- C. The final design of the improvements to Madison Street as generally described above shall be further refined in conjunction with the submission of any FDP and the site plans for those portions of the Property fronting Madison Street. Construction of Madison Street shall be provided concurrent with the development of the first building in Blocks A, B, or E.
- D. If an improvement to the section of Madison Street between Park Avenue and Leesburg Pike is constructed by the RZ-2013-PR-009 Property prior to the Applicant's obligation to construct as stated above, then the Applicant upon written demand by Fairfax County, shall dedicate and convey right-of-way and ancillary easements necessary to facilitate such construction by the RZ-2013-PR-009 Property at no cost provided: (a) sufficient interim access to/from the existing on-site uses is constructed as needed and maintained at all times; and (b) such improvements to the Property are minimized and coordinated with the Applicant prior to site plan approval for the improvement of this section of Madison Street.

In addition, should the ultimate improvements to this section of Madison Street be constructed by the RZ-2013-PR-009 Property, the Applicant shall demonstrate that it has provided its share of the cost of designing and constructing Madison Street between Park Avenue and Leesburg Pike to the RZ-2013-PR-009 Property (such that the Applicant's share and the RZ 2013-PR-009 Property's share equal 100 percent of the cost) prior to issuance of the first RUP or Non-RUP for the first building in Blocks A, B, or E.. The specific streetscape improvements, as reflected on the Phasing Sheets along the Madison Street frontages shall be constructed by the Applicant with the development of the applicable building sites.

34. Boro Place. Boro Place shall be designed and constructed within the Property from Westpark Drive to Madison Street with a section measuring 34 feet from face of curb to face of curb to accommodate two lanes of traffic (one lane in each direction) with parking lanes and bulb-outs as generally depicted on Sheets C-7A and C-16A of the CDP. Boro Place shall be privately owned and maintained with parking permitted under the street. It shall be constructed and maintained to the standards contained in the PFM. The Applicant shall grant a public access easement over Boro Place, in a form acceptable to the Office of the County Attorney.

Boro Place shall be constructed concurrent with the development of Buildings A3 or B3, whichever occurs first as shown on the Phasing Exhibits.

35. Traffic Signals.

- A. The Applicant shall conduct warrant studies for the intersections of Westpark Drive/Park Avenue, Greensboro Drive/Madison Street, and Greensboro Drive/Solutions Drive within twelve (12) months after the issuance of the initial RUP or Non-RUP for any new building on the Property constructed concurrently with, or after, the construction of the applicable intersection.
- B. The Applicant shall conduct a warrant study for the intersection of Park Avenue/Solutions Drive within twelve (12) months after the issuance of the initial RUP or Non-RUP for any of Buildings B1, B2, C2, C3, E1 and E2 constructed concurrently with, or after, the construction of the Park Avenue/Solutions Drive intersection.
- C. The Applicant shall conduct a warrant study for the intersection of Park Avenue/Madison Street within twelve (12) months after the issuance of the initial RUP or Non-RUP for any new building constructed on the Property concurrent with, or after, the construction of the Park Avenue/Madison Street intersection in its ultimate configuration as shown on the CDP.
- D. If a signal is deemed warranted at any of these intersections by VDOT after having reviewed the warrant study and approving the same for installation, then such traffic signals, including pedestrian enhancements as may be required by VDOT, shall be designed, equipped and installed by the Applicant, utilizing any

escrowed contributions for the signal received by the County, no later than five (5) years after approval of the warrant.

- E. For any signal warranted by VDOT, the Applicant shall provide VDOT with the requisite traffic signal plans for review and approval. All right-of-way associated with signal equipment (poles, equipment boxes, etc.) on the Property not already dedicated shall be reserved for dedication in fee simple to the Board of Supervisors in accordance with Proffer 27.
 - F. If the County, upon request of the Applicant or on its own initiative, determines that such signal installations as proffered will be detrimental to traffic operations, the Zoning Administrator may (1) agree to a later date for completion of the traffic signal installation(s) or (2) permit the Applicant to proceed without the signal installations.
 - G. If a signal at any of the identified intersections is not warranted within twenty-four (24) months after the issuance of the initial RUP or Non-RUP for the last new building to be constructed on the Property, then the Applicant's obligation to construct such signal is deemed null and void and the Applicant shall instead escrow money towards the cost of future signalization of any applicable intersection(s) by others based on the Applicant's pro-rata traffic share. The escrow amount to be provided by the Applicant for each intersection is as follows:
 - (i) Westpark Drive/Park Avenue: \$100,000
 - (ii) Park Avenue/Solutions Drive: \$175,000
 - (iii) Greensboro Drive/ Madison Street: \$100,000
 - (iv) Greensboro Drive/Solutions Drive: \$75,000
 - (v) Park Avenue/Madison Street: \$225,000
36. Leesburg Pike Signal Optimization. Concurrent with the approval of the first site plan for the second new building to be constructed on the Property, the Applicant shall contribute a total of \$25,000.00 to be used to modify the signal timings in the Route 7 corridor between Route 123 and the Dulles Access Road. If at time of site plan submission for the sixth (6th) new building on the Property, signal timing modifications have not been requested by VDOT for the Route 7 corridor, the County may utilize those funds for other transportation improvements/enhancements in the Tysons Central 7 District.
37. Tysons Grid of Streets Transportation Fund. The Applicant shall provide a contribution of \$1,042 for each residential unit and \$6.71 for each square foot of new non-residential space constructed on the Property to Fairfax County for the Tysons Grid of Streets Transportation Fund. The contribution associated with each building shall be paid on or before the issuance of each initial RUP or Non-RUP for the subject building based on the actual GFA of non-residential space and/or the actual number of residential units in the

building. This contribution shall not apply to any public-use facilities constructed on the Property, including the library or alternate public use described in Proffer 65. The amount due with each building shall be adjusted for all creditable expenditures described herein.

The Applicant shall receive and deduct such credits against the contributions that would otherwise be due to the Tysons Grid of Streets Transportation Fund in keeping with the Guidelines for the Tysons Grid of Streets Transportation Fund endorsed by the Board of Supervisors on January 8, 2013. Specifically, the Applicant may request credits for:

- A. Costs incurred by the Applicant in the acquisition of off-site right-of-way and associated easements, including costs borne by the Applicant associated with any Fairfax County condemnation actions, for the construction of off-site public streets, off-site intersection improvements and off-site signal installations;
- B. Costs incurred by the Applicant for the construction of all or a part of off-site public streets, (not including costs of the Property's frontage improvements);
- C. Costs incurred by the Applicant for the construction of any additional lanes at, or modifications to, the intersection of Route 7 with Westpark Drive/Gosnell Road.

38. Tysons-wide Transportation Contributions – Table 7 Improvements. The Applicant shall contribute the sum of \$5.87 per square foot of new non-residential space and \$1,042 for each residential unit constructed on the Property to Fairfax County for the Tysons-wide Transportation Fund. This contribution shall not apply to any public-use facilities constructed on the Property, including the library or alternate public use described in Proffer 65. The contribution associated with each building shall be paid on or before the issuance of each initial RUP or Non-RUP for the subject building based on the actual GFA of non-residential space and/or the actual number of residential units in the building. The Applicant shall receive and deduct such credits against the contributions that would otherwise be due to the County for the Tysons-wide Transportation Fund in keeping with the Guidelines for the Tysons-wide Transportation Fund endorsed by the Board of Supervisors on January 8, 2013.

39. Route 7 Improvement. The Applicant shall provide a contribution toward the construction of improvements to Route 7 to accommodate a future State Street crossing, or other access improvement, equal to \$0.07 for each square foot of building constructed on the Property. Said contribution to Fairfax County shall be made upon site plan approval for each new building and shall be based on the site plan approved GFA for each building.

BICYCLE AND BUS FACILITIES, AND PEDESTRIAN IMPROVEMENTS

40. Bicycle Circulation. In combination with the street and streetscape improvements identified in these Proffers, the Applicant shall provide on-street bicycle lanes and associated signage along the Property's frontages with Westpark Drive and Greensboro

Drive and along Station Place and Park Avenue as shown on the CDP and as may be adjusted with approval of FDPs. Such striping shall be subject to approval by VDOT.

41. Bicycle Parking. The Applicant shall provide bicycle racks and bike storage areas throughout the Property, the specific locations of which shall be determined at the time of FDP approval. The bike racks shall be of a design compatible with the UDG and approved by FCDOT. The total number of bike parking/storage spaces shall be consistent with those shown in Table 4 – Bicycle Parking Ratios for Urban Mixed Use Centers, of the Tysons Corner Center section of the Comprehensive Plan.
42. Circulator. It is anticipated that the proposed circulator will operate on Westpark Drive within a joint right turn and circulator lane adjacent to the curb. If at the time of FDP and/or site plan approval for Building A1, it is determined that a circulator stop should be located along the Building A1's Westpark Drive frontage, the Applicant shall provide the necessary easements and construct a circulator shelter within the A1 building façade in the general location shown on Sheets C-7A and L-7.0 of the CDP. The specific shelter design and timing of installation shall be determined at time of FDP approval.
43. Bus Lay-by. The Applicant shall construct a bus lay-by area on Route 7 just west of Media Place as generally shown on Sheet C-7E of the CDP. The details of the lay-by area will be determined at FDP for Building E2 and will be constructed with the construction of Building E2.

The Applicant shall be entitled to utilize any escrowed contributions for the lay-by bus bay received by the County or any future escrowed contributions received by the County within ten (10) years of installation of the lay-by bus bay by the Applicant. Should the lay-by bus bay be constructed by others prior to the obligation of the Applicant to do so, the Applicant shall, prior to the issuance of the first Non-RUP for Building E2, escrow 50% of the cost of designing and constructing the lay-by bus bay with the County for disbursement to the constructing party. In the event FCDOT and/or WMATA determine that a lay-by bus bay will not be needed, then the Applicant's obligation to provide or partially fund the lay-by bus bay shall be deemed null and void and any escrowed contributions shall be returned to the Applicant.

44. Bus Shelters. Bus shelter locations shall be evaluated for feasibility at the time of FDP and site plan approval in consultation with FCDOT. Identified bus shelter locations shall be primarily located within the landscape amenity panel of the streetscape, and may necessitate adjustments to street tree locations and other street furnishings to that shown on the CDP. An alternate location for a bus shelter outside the landscape amenity panel may be approved at FDP, if determined appropriate. Should a bus shelter location be determined appropriate at the time of site plan approval, the Applicant shall install said shelter.
45. Marked Crosswalks. The Applicant shall install marked pedestrian crosswalks at all signalized intersections adjoining the Property and at other locations as shown on an approved FDP, subject to VDOT approval.

46. Pedestrian Bridge to Metro Station. The Applicant shall design and construct an elevated pedestrian bridge from the Solutions Promenade Plaza south of Existing Building F2 connecting to the Greensboro Metro Station pedestrian bridge east of Station Place as depicted on Sheet C-7E of the CDP. The Applicant has entered in to an agreement with MWAA/WMATA to permit the bridge. It is anticipated that additional permits/easements/agreements with VDOT will be necessary to construct the bridge, which the Applicant shall diligently pursue. Provided the necessary permits/agreements are approved by VDOT, the Applicant shall construct the bridge concurrently with the construction of Building E2 and Solutions Promenade.

PARKING

47. Zoning Ordinance Requirements. Parking on the Property shall be provided in accordance with the parking requirements for the PTC District set forth in Section 6-509 and Article 11 of the Fairfax County Ordinance, and as shown on the CDP. Portions of the Property located outside the ¼ mile radius from the Greensboro Metro Station shall be parked at the rates established in Section 6-509 for land located between 1/8 and ¼ mile from a metro station. The Applicant reserves the right to seek a Special Exception at the time of FDP to provide additional parking spaces for office, retail, and residential uses over the Zoning Ordinance maximums for all uses. The exact number of spaces to be provided and use of tandem parking spaces shall be refined with approval of FDPs and determined at the time of site plan approval based on the specific uses, number of residential units and bedroom mix. Tandem parking spaces shall not be counted toward the minimum parking requirement for residential uses. If changes in the mix of uses or bedroom mix result in parking greater than that anticipated on the CDP, the additional parking spaces shall be accommodated within the proposed parking structures, without increasing the height or mass of the parking structures.

The Applicant reserves the right to provide parking at different rates as may be permitted by a future amendment to the Zoning Ordinance. Optional use of revised rates shall not require a CDPA or PCA, provided there is no increase in the size or maximum height of above-ground parking structures.

48. Phasing of Parking. Parking shall be provided in phases concurrent with development of the Property. Parking spaces in excess of the maximum parking rates set forth in the Ordinance may be provided in the early phases of development of the Property, provided that at the build-out of the Property the maximum parking rates are not exceeded. A parking tabulation for the entire Property shall be provided with each FDP and site plan for the Property. Required off-street parking spaces and loading spaces for an individual building need not be provided on the parcel on which the building is located, but shall be provided within the Property and conveniently accessed as shown on an FDP.

The existing office building on Block A which will remain for an interim period of time, may continue to park at the parking rates applicable in the non-PTC zoning districts, or may elect to reduce the number of off-street parking spaces to a number between the rates for non-PTC zoned properties and the applicable minimum rates specified for the PTC District.

49. Commercial Off-Street Parking. The Applicant may provide commercial off-street parking on an interim basis in existing surface lots and/or in existing parking garages on the Property without approval of an FDP. Commercial off-street parking may be provided on an interim basis in new surface lots on the Property with approval of an FDP. Interim commercial off-street parking shall be deemed to be in general conformance with the CDP. Prior to the issuance of a Non-RUP for commercial off-street parking in existing surface lots and/or existing parking garages, or at the time of FDP approval for commercial off-street parking in new surface lots, the Applicant shall provide to VDOT and FCDOT an operational traffic analysis ("Operational Analysis") of points of access to the parking site. Such Operational Analyses shall be limited to an assessment of those driveways and/or turn lanes serving the particular parking site. Any establishment of interim surface commercial off-street parking facilities shall provide interim improvements as set forth in Proffer 26 and shall meet Ordinance peripheral and interior parking lot landscaping requirements, unless waived or modified. This parking shall be in addition to the permitted parking for the proposed uses on the Property.
50. Parking Spaces along Streets.
- A. Private Streets. On-street parking shall be provided on the private streets as generally shown on the CDP and as may be adjusted at the time of FDP and/or site plan approval. Such on-street parking may be used meet the parking requirements of the Zoning Ordinance, so long as such spaces are striped and meet the dimension requirements of the PFM, subject to receiving approval of any necessary waivers and/or modifications. However, parking on private streets may not be used to meet the parking requirements for Workforce Dwelling Units. Parking on private streets may be restricted through appropriate signage or such other means as determined appropriate by the Applicant, and on-street parking spaces along any private streets and future public streets prior to dedication, that otherwise are not required to satisfy the parking requirements may be used as temporary or short term parking, car-sharing parking and/or similar uses.
- B. Public Streets. On-street parking spaces along the public street frontages shall be constructed as generally shown on the CDP and as may be adjusted at the time of FDP and/or site plan approval. If requested by the County and/or VDOT, signs shall be installed that restrict the use of those public on-street parking spaces. Public on-street parking spaces would be in addition to the total number of parking spaces required by the Zoning Ordinance.
51. Parking/Loading Stipulations.
- A. The Applicant shall be permitted to install and maintain parking controls and/or fencing on its existing surface parking lots, without the requirement for a FDP, in order to control Metro-related parking by the general public. Pedestrian circulation on the Property shall not be unduly impeded by such fencing.

- B. The Applicant shall appoint, and continuously employ, a dockmaster to oversee the management of loading operations for Block A. It shall be the dockmaster's responsibility to: 1) minimize loading conflicts with pedestrian movements; and 2) manage the deliveries of retail and residential uses.
- C. Access to the loading area for Blocks E and F located on Station Place shall be limited to right turns in and out during peak traffic times defined as 7:30 a.m. to 9:30 a.m. and 4:00 p.m. to 7:00 p.m. weekdays. At such time as the connection of Station Place to Leesburg Pike is completed and open to traffic, the Applicant shall appoint, and continuously employ, a dockmaster to oversee the management of loading operations for Buildings E1, E2, F1, F2, and F3. It shall be the dockmaster's responsibility to: 1) minimize loading conflicts with pedestrian movements; and 2) restrict scheduled deliveries on Station Place during peak traffic times to right turns in and out. Delivery restrictions, including limitations on the hours of delivery, may be modified through a development condition at the time of FDP approval without the need for a PCA or CDPA.
- D. The lease rates of parking spaces shall be "unbundled" from the lease rate of the individual rental dwelling units; meaning a unit's lease rate shall be exclusive of parking costs.

52. Future Parking Revisions.

- A. Ordinance Revisions. The Applicant reserves the right to provide parking at revised rates as may be permitted by a future amendment to the Fairfax County Ordinance. Optional use of revised rates shall not require a CDPA or PCA, provided there is no increase in the size or height of above-grade parking structures.
- B. Increases. The Applicant reserves the right to seek a special exception for an increase in parking for the Property; such special exception application shall not require a CDPA or PCA, provided there is no increase in the size or height of above-grade parking structures.

TRANSPORTATION DEMAND MANAGEMENT

53. Tysons Transportation Management Association. The Applicant shall contribute to Fairfax County money for the funding of a transportation management association (the "TMA") as outlined below, which has been established for the Tysons Corner Urban Center:

- A. The Applicant shall make a one-time contribution to the TMA based on a participation rate of \$0.10 per gross square foot of new office uses and \$0.05 per gross square foot of new residential uses to be constructed on the Property.
- B. Twenty five percent (25%) of the total contribution to the TMA shall be paid upon site plan approval for the first new residential or office building to be constructed on the Property. The remaining 75% shall be contributed in three (3)

equal installments of 25% each and paid at the time of issuance of the first initial RUP or Non-RUP for each of the first three (3) new residential or office buildings to be constructed on the Property but in any event no later than ten (10) years from the date of rezoning approval.

- C. The Applicant may, in its sole discretion, join or otherwise become associated with the TMA established for the purpose of administering TDM programs in the Tysons Corner Urban Center and transfer some functions of this TDM Program to the TMA. Further, if determined by FCDOT that a proactive, private TDM program is no longer necessary, the TDM structure in Proffer 54 may be rendered null and void in whole or in part, without the need for a PCA.

54. Transportation Demand Management. The Applicant shall fund, implement and administer a transportation demand management program for the Property as described in this Proffer (the "TDM Program"). It is intended that the first new building to be constructed on the Property will initiate implementation of what will become a Property-wide TDM program that later buildings to-be-constructed on the Property will join.

- A. Implementation Plan. The proffered elements of the TDM Program as set forth below are more fully described in the *The Boro Transportation Demand Management Plan* prepared by Wells + Associates, Inc. dated February 2015 (the "TDM Plan") as may be amended. It is the intent of this Proffer that the TDM Plan adapt over time to respond to the changing transportation related circumstances of the Property, the surrounding community and the region, as well as to technological and/or other improvements, all with the objective of meeting the trip reduction goals as set forth herein. Accordingly, modifications, revisions, and supplements to the TDM Plan as may be approved by the FCDOT can be made without the need for a PCA provided that the TDM Plan continues to reflect the proffered elements of the TDM Program as set forth below.
- B. Responsible Party. The Applicant, or any successor other than the UOA or its equivalent, shall remain obligated under this Proffer until such time as three consecutive post Stabilization trip counts reveal that the applicable vehicle trip reduction goals are being met (the "Applicant Control Period"). At the end of the Applicant Control Period, the UOA or equivalent shall become obligated under this Proffer and Applicant, or any successor other than the UOA or equivalent, shall have no further obligation with respect to this Proffer.
- C. Definitions. For purposes of this Proffer, "Stabilization" shall be deemed to occur one-year following issuance of the last initial RUP or Non-RUP for the final new office or residential building to be constructed on the Property. "Pre-stabilization" shall be deemed to occur any time prior to Stabilization.
- D. Trip Reduction Objective. The objective of this TDM Program shall be to reduce the vehicle trips generated by new residents and new office tenants of the Property, during weekday peak hours, by meeting the percentage vehicle trip reductions set forth below. These trip reduction percentages shall be multiplied

by the total number of vehicle trips that would be expected to be generated by the uses developed on the Property as determined by the application of the Institute of Traffic Engineers, 8th Edition, *Trip Generation* rates and/or equations (the "ITE Trip Generation"), and the number of trips determined by the product of such equation shall be referred to herein as the "Maximum Trips After Reduction". For purposes of this calculation, the maximum number of dwelling units or GFA proposed to be constructed in each new residential or new office building on the Property as determined at the time of site plan approval for each building shall be applied to the calculation described in the preceding sentence. The target reductions shall be as follows:

Tysons-wide development level	Target Reduction	
	Blocks A through C	Block E
Up to 65 million SF of GFA	35%	45%
65 million SF of GFA	40%	50%
84 million SF of GFA	45%	55%
90 million SF of GFA	48%	58%
96 million SF of GFA	50%	60%
105 million SF of GFA	53%	63%
113 million SF of GFA	55%	65%

The trip reduction goals outlined above are predicated on the achievement of specific development levels within the Tysons Corner Urban Center as anticipated in the Comprehensive Plan. Prior to undertaking trip measurements, the TDM Program Manager ("TPM") shall, in consultation with the County, provide a summary of the then existing development levels in Tysons Corner (based on RUPs and Non-RUPS issued) in order to determine the appropriate vehicle trip reduction goal.

If through an amendment to the Comprehensive Plan, the Board of Supervisors should subsequently adopt a goal for trip reductions that is lower than that committed to in this Proffer, then the provisions of this Proffer shall be adjusted accordingly without requiring a PCA.

- E. TDM Program Components – Property-Wide. The TDM Program shall include, but not necessarily be limited to, the following Property-wide components, each of which is more fully described in the TDM Plan.
- (i) Property-wide TDM Program Management.
 - (ii) TDM Program Branding.
 - (iii) Transportation Program Web Site.
 - (iv) Promotion of Real-time Transit Information.
 - (v) Site-based Transportation Access Guides.
 - (vi) Customized Commute Profiles.
 - (vii) Bicycle Accommodations.
 - (viii) Vehicle Parking Management.
- F. TDM Program Components – New Residential. The TDM Program shall include, but not necessarily be limited to, the following residential components, each of which is more fully described in the Implementation Plan.
- (i) Residential Transportation Coordinator(s).
 - (ii) Business Center or facilities to accommodate teleworking.
 - (iii) Metrorail SmarTrip cards and Try Transit campaign for new residents.
 - (iv) Live/work/play marketing to new tenants.
- G. TDM Program Components – New Office. The TDM Program shall include, but not necessarily be limited to, the following new office components, each of which is more fully described in the Implementation Plan.
- (i) On-site Office Transportation Coordinator(s)
 - (ii) SmarTrip Cards and Try Transit Campaign for office employees
 - (iii) Advising as to pretax benefit programs, alternative work schedules, and other County and regionally based TDM programs.
- H. Process of Implementation. The TDM Program shall be implemented as follows, provided that modifications, revisions, and supplements to the implementation process as set forth herein as may be approved by the FCDOT can be made without the need for a PCA.

- (i) TDM Program Manager ("TPM"). If not previously appointed, the Applicant shall appoint and continuously employ, or cause to be employed, a TPM for the Property. If not previously appointed, the TPM shall be appointed by the Applicant no later than sixty (60) days after the issuance of the first building permit for the first new building to be constructed on the Property. During the initial stages of development, the TPM duties may be part of other duties associated with the appointee. The Applicant shall notify FCDOT and the District Supervisor in writing within 10 days of the appointment of the TPM. Thereafter the Applicant shall do the same within ten (10) days of any change in such appointment. Following the termination of the Applicant Control Period, the UOA shall be responsible for employment of the TPM.
- (ii) TDM Work Plan, Annual Report and TDM Budget. The TPM shall prepare and submit to FCDOT an initial TDM Work Plan ("TDMWP") and Budget no later than 180 days after issuance of the first building permit for the first new building on the Property. The TDMWP shall include, at a minimum:
- a. Details as to the components of the TDM program that will be put into action that year;
 - b. Any revisions to the budget needed to implement the program for the coming calendar year;
 - c. A summary of the currently existing/approved development levels in the Tysons Corner Urban Center in consultation with the County (based on RUPS and Non-RUPs issued) in order to determine the appropriate vehicle trip reduction goals;
 - d. A determination of the applicable Maximum Trips After Reduction for the Property;
 - e. Provision of the specific details associated with the monitoring and reporting requirements; and
 - f. Submission of the results of any Person Surveys and Vehicular Traffic Counts conducted on the Property.

The TDMWP shall be reviewed by FCDOT. If FCDOT has not responded with any comments within sixty (60) days after submission then the TDMWP shall be deemed approved and the TDM program shall be implemented. If FCDOT responds with comments on the TDMWP, then the TPM will meet with FCDOT staff within fifteen (15) days of receipt of the County's comments. Thereafter but in any event, no later than thirty (30) days after the meeting, the TPM shall submit such revisions to the TDMWP as discussed and agreed to with FCDOT and begin implementation of the approved program.

Each calendar year thereafter, but no later than February 1, the TPM shall submit a report which summarizes the results of the previous year's TDM Program, incorporates any new construction on the Property, proposes modifications or enhancements to program elements, and establishes a budget to cover the costs of implementation of the program for the succeeding year (the "Annual Report"). The Annual Report and TDM Budget shall be submitted to FCDOT and reviewed in the same manner as outlined above for the TDMWP and TDM Budget. The expected annual amounts of the Budget are further described in Section 4 of the TDM Plan.

- (iii) Coordination with RZ 2013-PR-009. At such time as the adjacent parcel identified as 2015 Fairfax County Tax Map 29-3 ((15)) 8 (the "adjacent property"), which is the subject of approved application RZ 2013-PR-009, implements a TDM Program, the Applicant shall coordinate its TDM programmatic efforts with the adjacent property, as appropriate, under one Administrative Group ("AG"). The AG will appoint a single TDM Program Manager ("Joint TPM") who will be responsible for submitting a collective Annual Report for both properties. The Joint TPM may or may not be the same individual designated as the Applicant's TDM Program Manager in accordance in Paragraph H (i) and whose duties are described elsewhere in this Proffer. The Joint TPM shall serve as the FCDOT point of contact for both developments and the Applicant shall notify FCDOT of the appointment of the Joint TPM in accordance with the timing requirements outlined in Paragraph H (i).

The collective Annual Report shall contain those elements described in Paragraph H (ii) for each individual development and, additionally, shall include a description of the internal trip reductions achieved between the two properties under the AG. Each applicant shall be responsible for preparing its individual TDM Budget, as described in Paragraph H (ii), and each TDM Budget shall be included with the collective Annual Report submitted by the Joint TPM.

Notwithstanding the above, the Applicant is in no way responsible for the implementation and success of the TDM Program associated with the adjacent property and any remedial measures and/or penalties associated with the adjacent property are not the responsibility of this Applicant.

- I. TDM Account. The Applicant, through the TPM, shall establish a separate interest bearing account with a bank or other financial institution qualified to do business in Virginia as approved by Fairfax County (the "TDM Account") within 30 days after approval of the Annual Report. All interest earned on the principal shall remain in the TDM Account and shall be used by the TPM for TDM purposes. The TDM Account shall be funded solely by the Applicant, through the TPM, until the end of the Applicant Control Period. At the end of the Applicant Control Period, a line item for the TDM Account shall be included in the UOA, or its equivalent, budget. The governing documents that establish and control the

development shall provide that the TDM Account shall not be eliminated as a line item in the governing budget and that funds in the TDM Account shall not be utilized for purposes other than to fund TDM strategies/programs and/or specific infrastructure needs as may be approved in consultation with FCDOT.

Funding of the TDM Account shall be in accordance with the budget for the TDM Program elements to be implemented in a given year. In no event shall the TDM Budget for the Property overall be required to exceed \$158,500 and in no event shall an individual building's obligation to fund the TDM Budget exceed the proportion set forth in the Implementation Plan (these amounts shall be adjusted annually as specified in Proffer 73). The TPM shall provide written documentation to FCDOT demonstrating the establishment of the TDM Account within ten (10) days of its establishment. The TDM Account shall be replenished annually thereafter following the establishment of each year's TDM Budget. The TDM Account shall be managed by the TPM.

- J. TDM Remedy Fund. The "TDM Remedy Fund" is an account in to which the Applicant shall, through the TPM, deposit remedy payments as required to be paid pursuant to the this Proffer. The TPM may withdraw funds from the Remedy Fund for the implementation of additional TDM program elements/incentives associated with Solutions Plaza in consultation with FCDOT.

Funds from the TDM Remedy Fund shall be drawn upon only for purposes of immediate need for TDM funding and may be drawn on prior to any TDM Budget adjustments as may be required. To secure the Applicant's obligations to make payments into the TDM Remedy Fund, the Applicant shall provide the County with a letter of credit or a cash escrow as further described below.

Prior to the issuance of the first RUP or Non-RUP for each new building on the Property, the Applicant (or its successor owner or developer, but not the UOA) shall:

- (i) Establish the TDM Remedy Fund, if not previously established by the TPM, and
- (ii) Deliver to the County a clean, irrevocable letter of credit issued by a banking institution approved by the County or escrow cash in an interest-bearing account with an escrow agent acceptable to DPWES to secure the Applicant's obligations to make payments into the TDM Remedy Fund (the "Letter(s) of Credit or Cash Escrow(s)"). The Letter(s) of Credit or Cash Escrow(s) shall initially be issued in an amount equal to \$0.40 for each square foot of new office GFA and \$0.30 for each gross square foot of residential GFA shown on the approved site plan for each new building on the Property. Until the Letter of Credit or Cash Escrow for each new building shall have been posted, the figures in the preceding sentence shall be adjusted annually from the first day of the calendar month following the date on which the first RUP or Non-RUP, as the case may be, for the

first new building within the Property has been issued and shall change on each anniversary as specified in Proffer 73. The Letter(s) of Credit or Cash Escrow(s) shall name the Applicant/TPM as the beneficiary and shall permit partial draws or a full draw. The foregoing stated amount(s) of the Letter(s) of Credit or Cash Escrow(s) shall be reduced by the sum of any and all previous draws under the Letter(s) of Credit or Cash Escrow(s).

- K. TDM Incentive Fund. The "TDM Incentive Fund" is an account into which the Applicant, through the TPM, shall deposit contributions to fund a multimodal incentive program for initial purchasers/lessees within the Solutions Plaza development. Such contributions shall be made one time on a building by building basis at the rate of \$0.02 per gross square foot of new office or residential uses to be constructed on the Property at the time of issuance of the first initial RUP or Non-RUP for each building.
- L. TDM Penalty Fund. The "TDM Penalty Fund" is an account in to which the Applicant shall, through the TPM, deposit penalty payments as may be required to be paid pursuant to the this Proffer for non-attainment of trip reduction goals. The County may withdraw funds from the TDM Penalty Fund for the implementation of additional TDM program elements/incentives and/or congestion management in Tysons Corner. To secure the Applicant's obligations to make payments into the TDM Penalty Fund, the Applicant shall provide the County with a letter of credit or a cash escrow as further described below.

Prior to the issuance of the first RUP or Non-RUP for each new building on the Property, the Applicant (or its successor owner or developer, but not the UOA) shall:

- (i) Establish the TDM Penalty Fund, if not previously established by the TPM, and
- (ii) Deliver to the County a clean, irrevocable letter of credit issued by a banking institution approved by the County or escrow cash in an interest-bearing account with an escrow agent acceptable to DPWES to secure the Applicant's obligations to make payments into the TDM Penalty Fund (the "Letter(s) of Credit or Cash Escrow(s)"). The Letter(s) of Credit or Cash Escrow(s) shall initially be issued in an amount equal to \$0.10 for each square foot of new office GFA and \$0.05 for each gross square foot of residential GFA shown on the approved site plan for each new building on the Property. Until the Letter of Credit or Cash Escrow for each new building shall have been posted, the figures in the preceding sentence shall escalate annually from the first day of the calendar month following the date on which the first RUP or Non-RUP, as the case may be, for the first new building within the Property has been issued and shall change on each anniversary of said date as specified in Proffer 73. The Letter(s) of Credit or Cash Escrow(s) shall name the County as the beneficiary and shall permit partial draws or a full draw. The foregoing stated amount(s) of the

Letter(s) of Credit or Cash Escrow(s) shall be reduced by the sum of any and all previous draws under the Letter(s) of Credit or Cash Escrow(s) and payments by the Applicant (or the TPM) into the TDM Penalty Fund.

- M. Monitoring. The Applicant shall verify that the proffered trip reduction goals are being met through the provision of Person Surveys and/or Vehicular Traffic counts of new residential and new office uses and/or other such methods as may be reviewed and approved by FCDOT. The results of such Person Surveys and Vehicular Traffic Counts shall be provided to FCDOT as part of the Annual Reporting process. Person Surveys shall be conducted and Vehicular Traffic Counts collected for the Property one year following issuance of the final initial RUP or Non-RUP for the first new residential or office building to be constructed on the Property.

Person Surveys shall be conducted every three (3) years and Vehicular Traffic Counts shall be collected annually until the results of three consecutive annual traffic counts show that the applicable Maximum Trips After Reduction for the Property are not exceeded. At such time as three consecutive traffic counts show that the applicable Maximum Trips After Reduction for the Property has not been exceeded, the Applicant Control Period associated with the Property shall terminate. At such time and notwithstanding the provisions below, Person Surveys and Vehicular Traffic Counts shall thereafter be provided every five (5) years. Notwithstanding the aforementioned, at any time prior to or after Stabilization, FCDOT may suspend such Person Surveys and/or Vehicular Traffic Counts if conditions warrant such.

N. Remedies and Penalties

- (i) Pre-Stabilization. If the TDM program monitoring reveals that the Maximum Trips After Reduction for the Property is exceeded, then the Applicant shall meet and coordinate with FCDOT to address, develop and implement such remedial measures as may be identified in the Implementation Plan and Annual Report.

- a. Such remedial measures shall be funded by the Remedy Fund, as may be necessary, and based on the expenditure program that follows:

Maximum Trips Exceeded	Remedy Expenditure
Up to 1%	No Remedy needed
1.1% to 3%	1% of Remedy fund
3.1% to 6%	2% of Remedy Fund
6.1% to 10%	4% of Remedy Fund
Over 10%	8% of Remedy Fund

- b. If the results of the Vehicular Traffic Counts conducted during Pre-Stabilization show that the trip reduction goals have been met site-

wide for three (3) consecutive years in accordance with the goals outlined on the table below, then a portion of the Remedy Fund as outlined in the same table below shall be released back to the building owner(s). The amount released will be relative to the amount contributed by those buildings constructed and occupied at the time of Vehicular Traffic Counts. Any funds remaining in the Remedy Fund after such release will be carried over to the next consecutive three (3) year period.

Up to 65,000,000 Square Feet of GFA in Tysons		65-84,000,000 Square Feet of GFA in Tysons		84-90,000,000 Square Feet of GFA in Tysons	
Meet or Exceed Trip Goal for 3 years by:	Cumulative % Remedy Fund Returned	Meet or Exceed Trip Goal for 3 years by:	Cumulative % Remedy Fund Returned	Meet or Exceed Trip Goal for 3 years by:	Cumulative % Remedy Fund Returned
0% - 4.9%	30%	0.0% - 4.9%	50%	0.0% - 4.9%	65%
5% - 10%	50%	5% - 10%	65%	5% - 8%	80%
10.1% - 15%	65%	10.1% - 13%	80%	8.1% - 10%	90%
15.1% - 18%	80%	13.1% - 15%	90%	>10%	100%
18.1 - 20%	90%	>15%	100%		
>20%	100%				
90-96,000,000 Square Feet of GFA in Tysons		96-113,000,000 Square Feet of GFA in Tysons		113,000,000+ Square Feet of GFA in Tysons	
Meet or Exceed Trip Goal for 3 years by:	Cumulative % Remedy Fund Returned	Meet or Exceed Trip Goal for 3 years by:	Cumulative % Remedy Fund Returned	Meet or Exceed Trip Goal for 3 years by:	Cumulative % Remedy Fund Returned
0.0% - 4.9%	80%	0.0% - 4.9%	90%	> 0.0%	100%
5% - 8%	90%	5%	100%		
>8%	100%				

- c. There is no requirement to replenish the TDM Remedy Fund at any time. Any cash left in the Remedy Fund will be released to the TPM for final distribution to the owners once three consecutive annual Vehicular Traffic Counts conducted after Stabilization show that the trip reduction goals have been met.

(ii) Following Stabilization. If the TDM program monitoring reveals that the Maximum Trips After Reduction for the Property is exceeded, then the TPM shall meet and coordinate with FCDOT to address, develop and implement such remedial measures as may be identified in the Implementation Plan and Annual Report and funded by the Remedy Fund as may be necessary commensurate with the extent of deviation from the Maximum Trips After Reduction goal and as set forth in accordance with the expenditure schedule outlined above.

- a. If the results of the Vehicular Traffic Counts conducted upon Stabilization show that the trip reduction goals have been met site-wide for three (3) consecutive years in accordance with the goals outlined in the table above, then any remaining Remedy Funds shall be released back to the building owners through the TPM.
- b. If despite the implementation of remedial efforts, the applicable Maximum Trips After Reduction (based on the development levels then existing) are still exceeded after three (3) consecutive years, then, in addition to addressing further remedial measures as set forth in this Proffer, the TPM shall be assessed a penalty according to the following:

Exceeded Trip Goals	Penalty
Less than 1%	No Penalty Due
3.1% to 6%	10% of Penalty Fund
6.1% to 10%	15% of Penalty Fund
Over 10%	20% of Penalty Fund

Penalties may be incurred in subsequent Stabilization years during the Applicant Control Period when the applicable Maximum Trips After Reduction for the Property continue to be exceeded and provided there are funds still available in the TDM Penalty Fund.

- (iii) The Applicant shall make the payments required by this Proffer into the TDM Penalty Fund upon written demand by the County, and the County shall be authorized to withdraw the amounts on deposit in the TDM Penalty Fund. If the Applicant fails to make the required penalty payment to TDM Penalty Fund within thirty (30) days after written demand, the County shall have the ability to withdraw the penalty amount directly from the Letter(s) of Credit or Cash Escrow(s).
- (iv) The maximum amount of penalties associated with the Property, and the maximum amount the Applicant shall ever be required to pay pursuant to the penalty provisions of this Proffer, including prior to and after Stabilization, shall not in the aggregate exceed the amount of the Letter(s) of Credit or Cash Escrow(s) determined and computed pursuant to the provisions above. There is no requirement to replenish the TDM Penalty

Fund at any time. Upon the end of the Applicant Control Period, the Letter(s) of Credit and/or any cash left in the Cash Escrow(s) shall be released to the Applicant.

- O. Additional Trip Counts. If an Annual Report indicates that a change has occurred that is significant enough to reasonably call into question whether the applicable vehicle trip reduction goals are continuing to be met, then FCDOT may require the Applicant (or UOA after termination of the Applicant Control Period) to conduct additional Trip Counts (pursuant to the methodology set forth in the Implementation Plan) within 90 days to determine whether in fact such objectives are being met. If any such Trip Counts demonstrate that the applicable vehicle trip reduction goals are not being met, then the Applicant or UOA shall meet with FCDOT to review the TDM strategies in place and to develop modifications to the TDM Plan to address the surplus of trips.
 - P. Review of Trip Reduction Goals. At any time concurrent with remedial actions and/or the payment of penalties as outlined above, the Applicant may request that FCDOT review the vehicle trip reduction goals established for the Property and set a revised lower goal for the Property consistent with the results of such surveys and traffic counts provided for by this Proffer. In the event a revised lower goal is established for the Property, the Maximum Trips After Reduction shall be revised accordingly for the subsequent review period.
 - Q. Continuing Implementation. At the termination of the Applicant Control Period, the UOA shall bear sole responsibility for continuing implementation of the TDM Program and compliance with this Proffer. The UOA shall continue to administer the TDM Program in the ordinary course in accordance with this Proffer including submission of Annual Reports.
 - R. Notice to Owners. All owners of the Property shall be advised of the TDM Program set forth in this Proffer. UOA members shall be informed of their funding obligations pursuant to the requirements of this Proffer prior to the purchase of units and the requirements of the TDM Program, including the annual contribution to the TDM Program (as provided herein), shall be included in all initial purchase documents and within the UOA documents.
 - S. Enforcement. If the TPM fails to timely submit a report to FCDOT as required by this Proffer, the TPM shall have sixty (60) days within which to cure such violation. If after such sixty (60) day period the TPM has not submitted the delinquent report, then the Applicant shall be subject to a penalty of \$100 per day not to exceed \$36,500 for any one incident. Such penalties shall be payable to Fairfax County to be used for transit, transportation, or congestion management improvements within the vicinity of the Property.
55. Block F Existing Office Uses. As provided in Proffer 54, certain components of the TDM Plan are applicable to and would benefit the existing office uses on Block F. The TPM shall make available information on those components to those existing uses. Such

uses shall not however be subject to monitoring/remediation nor will penalties be assessed against the existing uses on Block F.

56. Transportation Demand Management for Retail/Service/Hotel Uses. Certain components of the TDM Plan are applicable to and will benefit the proposed retail/hotel uses on the Property. Therefore, the Applicant shall provide an additional TDM program that is tailored to specifically serve the Retail/Service/Hotel Uses (the "Retail/Service/Hotel TDM Program"). In no event will monitoring or penalties be assessed against the Retail/Service/Hotel Uses, which may be established on the Property.
57. Intelligent Transportation Systems. To optimize safe and efficient travel in Tysons, the Applicant shall incorporate and maintain a system (or utilize a third party source) that provides pertinent traffic and transit information that allows users to make informed travel decisions. This information shall be provided at initial occupancy of each building. The delivery of this information shall be made convenient for building occupants and visitors, such as via computer, cell phone, monitors, or similar technology. Such devices may provide, but not be limited to, information on the following:
- A. Traffic conditions, road hazards, construction work zones, and road detours.
 - B. Arrival times and delays on Metrorail, Tysons Circulator, and area bus routes.
 - C. Bus stops pre-wired for real-time arrival/departures information.

The Applicant shall work with FCDOT and/or the Tysons Partnership to identify sources and facilitate electronic transmittal of data. Furthermore, the Applicant shall participate in efforts to implement any future dynamic traffic management program for the Tysons area.

AFFORDABLE/WORKFORCE HOUSING

58. Affordable Dwelling Units. If required by the provisions of Part 8 of Article 2 of the Ordinance, Affordable Dwelling Units ("ADUs") shall be provided pursuant to said regulations unless modified by the ADU Advisory Board.
59. Workforce Dwelling Units. In addition to any ADUs that may be required pursuant to these Proffers, the Applicant shall also provide for-sale and/or rental housing units on the Property in accordance with the Board of Supervisors' Tysons Corner Urban Center Workforce Dwelling Unit Administrative Policy Guidelines dated June 22, 2010. Workforce Dwelling Units ("WDUs") shall be provided such that the total number of ADUs, if any, plus the total number of WDUs results in not less than twenty percent (20%) of the total residential units constructed as part of the Proposed Development. For all dwelling units constructed on the Property, the 20% applies to the total number of dwelling units to be constructed in that portion of the proposed development. If ADUs are provided in the development, both the ADUs and the ADU bonus units shall be deducted from the total number of dwelling units on which the WDU calculation is based.

The WDUs generated by each residential rental building on the Property shall be provided within said building. The Applicant reserves the right to provide WDUs associated with for-sale condominiums as rental units in the residential rental buildings on the Property, provided that RUPs shall not be issued for more than seventy-five percent (75%) of the total number of condominiums until such time as RUPs have been issued for at least seventy-five percent (75%) of the associated WDUs in the rental building, or such later date as may be determined by the Zoning Administrator pursuant to Proffer 72. The WDUs shall have a bedroom mix similar to that provided in the market rate units of the building in which they are located. Additionally, in the event that parking spaces are guaranteed to be made available for lease to individual market rate dwelling units, at least one (1) parking space shall be made available for lease by each ADU and/or WDU.

Notwithstanding the foregoing, the Applicant reserves the right to enter into a separate binding written agreement with the appropriate Fairfax County agency as to the terms and conditions of the administration of the WDUs following approval of this Application. Such an agreement shall be on terms mutually acceptable to both the Applicant and Fairfax County and may occur after the approval of this Application. Neither the Board of Supervisors nor Fairfax County shall be obligated to execute such an agreement. If such an agreement is executed by all applicable parties, then the WDUs shall be administered solely in accordance with such an agreement and the provisions of this Proffer as it applies to WDUs shall become null and void. Such an agreement and any modifications thereto shall be recorded in the land records of Fairfax County.

60. Non-Residential Contribution for Workforce Housing. For new office and hotel buildings to be constructed on the Property, the Applicant shall select, within their sole discretion, one of the following two options for contributing toward the provision of affordable and/or workforce housing within Tysons Corner. These contributions shall be made to the Board of Supervisors to be deposited in a specific fund to be used solely for this purpose within Tysons Corner and shall be payable at the time of issuance of the Non-RUPs for new office or hotel buildings constructed on the Property. The options shall consist of either (i) a one-time contribution of \$3.00 for each square foot of GFA of new office or hotel use excluding any ground floor retail/services uses and public uses, or (ii) an annual contribution of \$0.25 for each square foot of GFA of new office or hotel excluding any ground floor retail/services uses and public uses continuing for a total of sixteen (16) years. Contributions commitments under this Proffer shall not apply to existing Buildings F1, F2 and F3.

PARKS AND RECREATIONAL FACILITIES

61. Publicly Accessible Parks. The Applicant shall provide a variety of park space on the Property that will be open and accessible to the public as depicted on the CDP. For areas that are not specifically dedicated to the Board of Supervisors for park purposes, the Applicant shall retain the area(s) in fee simple, record public access easement(s) ensuring that the park space is open to the public for periods of time consistent with traditional Fairfax County parks; and provide for perpetual private maintenance. The Applicant shall also work with the Fairfax County Park Authority ("FCPA") to plan and coordinate

activities and events within the publicly accessible park areas, particularly Magnetic Park. A wayfinding and signage system shall be developed in coordination with FCPA at the time of building plan approval or CSP approval, whichever occurs first, to ensure the public can easily identify and access all publicly accessible park spaces, with particular emphasis placed on the area above the street level identified as Energy Park. The wayfinding signs shall be installed by the Applicant concurrent with park construction.

The variety and quantity of recreational facilities and amenities provided in the publicly accessible parks shall generally follow the Public Urban Park Programming list found on Sheet L-3.0. This shall serve as a guide, but the recreational facilities and amenities to be provided shall be subject to refinement and adjustment at the time of FDP and site plan, provided they result in a similar variety and level of physical activity.

The construction of the publicly accessible parks shall occur in phases as generally shown on the Phasing Exhibits and described below, with adjustments permitted with FDP approval. The following publicly accessed parks shall be provided as identified on Sheet L-3.0 of the CDP:

- A. Media Place (Public Park 1) – This street level park of approximately 6,800 square feet is located at the corner of Route 7 and Station Place. As shown on Sheet L-5.2 of the CDP, this urban plaza in close proximity to the metro station includes hardscaping, landscaping, outdoor seating, landmark elevator kiosk, potential bike share station and vendor kiosk, and sculptural landscaping elements. More specific details shall be determined at time of FDP approval for Building E2 and construction shall be concurrent with the development of Building E2.
- B. Solutions Promenade (Public Park 2) – Extending from Park Avenue to Route 7 in both Blocks E and F, this approximate 72,900 square foot park includes a treed promenade, specialty paving, landscaping, a variety of outdoor seating, and interactive sculptural elements. Well marked public access to Solutions Promenade is provided through a monumental staircase from Route 7, an elevator kiosk in Media Place, and a pedestrian bridge connection from the Greensboro Metro station bridge as described in Proffer 46. Additional stairs/elevators may be provided to meet building code requirements or other design considerations. The design details depicted on Sheet L-5.2 may be adjusted at time of FDP approval for Buildings E1 and E2. Construction of portions of Public Park 2 shall occur with the construction of Buildings E1 and E2 as determined at FDP.
- C. Energy Park (Public Park 3) – Accessed from Solutions Promenade, this approximate 33,200 square foot park offers active recreational facilities such as a playground, labyrinth, bocce court, game tables and sport court. The design details depicted on Sheet L-5.2 may be adjusted at time of FDP approval for Buildings E1 and E2 and construction of this park shall occur with the construction of Buildings E1 and E2, whichever occurs last.

- D. Technology Plaza (Public Park 4) – This street level plaza, approximately 11,500 square feet in size, is located adjacent to Route 7 at the corner with Madison Street. It is designed to provide a gathering place related to Building E-2. A highly visible stairway provides another point of access from Route 7 to the upper level parks of Solutions Promenade and Energy Park. Public Park 4 may include, but not be limited to, multiple seating areas, specialty paving, a water feature and landscaping. More specific details shall be determined at time of FDP approval for Building E2 and construction shall be concurrent with the development of Building E2.
- E. Magnetic Park (Public Park 5) – This street level urban park, approximately 32,900 square feet in size, is located at the intersection of Park Avenue and Madison Street. The design for this urban park may include, but not be limited to, an open lawn area, an outdoor gathering/performance space, a retail kiosk (Building C4), interactive fountains, sculpture, landscaped areas and a variety of fixed and movable outdoor seating as shown on Sheet L-5.1. The C4 kiosk, if provided, shall be between of 750 and 1,500 square feet in size. Structured parking may be constructed beneath this park to serve adjacent buildings. A pedestrian connection through adjacent Atrium Park (Public Park 6) will provide access to the Magnetic Park from Solutions Drive. The design details depicted on Sheet L-5.1 may be adjusted at time of FDP approval for Buildings C2 and construction of this park shall occur with the construction of Buildings C2 and C3 as identified in the Phasing Exhibits.
- F. Atrium Park (Public Park 6) – This urban park extends from Solutions Drive to Magnetic Park. Street level access is provided from Solutions Drive and Magnetic Park. The design details depicted on Sheet L-5.1 may be adjusted at time of FDP approval for Building C-2 or C-3. The construction of Atrium Park shall occur with the construction of Building C-2.
- G. Ideation Park (Public Park 7) – This street level park located south of Park Avenue between Building E1 and existing Buildings F1 and F2 is approximately 9,700 square feet in size. This park represents a new design of an existing open space area and results in a mixture of hardscape, lawn panel, specialty plantings, sculptural elements, tables, chairs and benches as depicted on Sheets L-5.2. Wireless fidelity (Wi-Fi) capability shall be included as an activation element. More specific details shall be determined at time of FDP approval for Building E1 and construction shall be concurrent with the development of Building E1.
62. Private Park Space. In addition to the publically accessible parks described in the proffer above, the Applicant shall provide private park space as listed on Sheet L-3.0. Active recreational uses, such as a children's play area, jogging track, outdoor recreational lawn games (bocce, badminton, croquet), or the equivalent, shall be provided within the private park space in Block A. Specific details and amenities to be provided in these private park spaces shall be determined at time of FDP for the applicable building, however, the design of the private park spaces may be revised at the time final site plan and building permit approval provided the type, quality, and quantity of the amenities identified on the

FDP are provided. Construction of the private parks shall be concurrent with the development of each building.

63. Amenities and Facilities for Residents. The Applicant shall provide on-site recreational facilities for the future residents of the Property. Pursuant to Paragraph 2 of Section 6-110 and Paragraph 2 of Section 16-404 of the Ordinance regarding developed recreational facilities, the Applicant shall expend a minimum of \$1700 per market-rate and workforce residential unit on such recreation facilities. Prior to final bond release for the Property, the balance of any funds not expended on-site, as determined by DPWES shall be contributed to the Fairfax County Board of Supervisors for the provision of recreation facilities serving Tysons Corner.

The specific facilities and amenities to be provided for each individual residential building or shared between two or more buildings shall be determined at the time of FDP approval and provided concurrent with construction of the individual residential buildings. Amenities to be provided may include, but not be limited to:

- A. Private exterior recreational areas/courtyards to be provided on the ground level, the upper level of the parking podiums and/or the roof level (which may be the same as the private park spaces in Proffer 62), to include, but not be limited to seating areas, walking paths, specialty landscaping, lawn areas, hardscape areas, passive recreation areas, and swimming pools;
- B. Clubroom(s) for community gatherings;
- C. Media/entertainment center(s); and
- D. Fitness center(s) with exercise equipment such as stationary bikes, treadmills, weight machines, free weights, etc. and/or sports courts.

64. Athletic Field Contribution. To address the Comprehensive Plan's recommendations for the provision of athletic fields in Tysons, the Applicant shall provide, or cause to be provided, on property identified among the Fairfax County 2015 tax assessment records as 39-2 ((1)) part 13D and part 13E ("Part Parcels 13D and 13E"), one full-size rectangular athletic field with a synthetic all-weather turf, netting and/or fencing, two player benches, field striping, two sets of goals (both football and soccer goals), and field lights consistent with Fairfax County Park Authority (FCPA) specifications (the "Athletic Field") and adequate parking spaces as determined by FCPA staff and as shown on the Generalized Development Plan (GDP) and Special Exception Plat (SE Plat) associated with PCA 75-7-004-03 and SE 2015-PR-021 (collectively, the "Athletic Field Facilities"). The land area to support the Athletic Field Facilities is generally shown on Exhibit 1 (the "Athletic Field Site"). The Athletic Field, including overrun areas, shall measure approximately 392 feet in length by 212 feet in width, with a slight reduction in the overrun area in the northeast corner of the field as shown on the GDP and SE Plat associated with PCA 75-7-004-03 and SE 2015-PR-021.

The final design of the Athletic Field shall be determined in coordination with the FCPA. Prior to commencing construction of the field, the Applicant shall meet with FCPA to ensure that the proposed design of these facilities meet or exceed all applicable FCPA standards for comparable County facilities. In addition, the Applicant shall enter into, or cause to be executed, an agreement with FCPA, in a form acceptable to the County Attorney, setting forth the details of the easement dedication, facility construction, parking and perpetual maintenance responsibilities of the Athletic Field Facilities. The owner of the Athletic Field Site shall retain fee simple ownership of the Athletic Field Site and record a public access easement over the Athletic Field Site in keeping with the agreement with FCPA. FCPA shall be responsible for maintenance and future replacement of the Athletic Field, standard FCPA field lights, and associated netting and fencing and the owner of the Athletic Field Site shall be responsible for maintenance of the remainder of the Athletic Field Site as designated on the GDP and SE Plat for PCA 75-7-004-03 and SE 2015-PR-021, and as may be subsequently amended.

This above referenced athletic field contribution will fully satisfy the athletic field expectation of the Proposed Development on the Property as well as the proposed development associated with RZ 2013-PR-009. It is anticipated that the Athletic Field Facilities will require approval of PCA 75-7-004-03 and SE 2015-PR-021, which the owner of the Athletic Field Site shall diligently pursue.

A. Athletic Field Facilities Construction.

- (i) Should PCA 75-7-004-03 and SE 2015-PR-021 be approved by the Board of Supervisors on or before June 30, 2016, the Applicant shall construct the Athletic Field Facilities and meet the minimum requirements for issuance of a Non-RUP for the Athletic Field, as established in Section 18-704 of the Zoning Ordinance, prior to the issuance of any RUPs or Non-RUPs for the second new building to be constructed on the Property (for clarity, in Block A there are three buildings identified as A1, A2 and A3; in Block B there are three buildings identified as B1, B2 and B3; in Block C there are four buildings, identified as C1, C2, C3 and C4; and in Block E there are two buildings identified and E1 and E2) or such later time as may be determined by the Zoning Administrator pursuant to Proffer 72.
- (ii) A public use easement to the benefit of Fairfax County shall be recorded in a form approved by the County Attorney over the Athletic Field Site, as generally shown on Exhibit 1, prior to bond release for the Athletic Field Facilities, or such time as may be extended in accordance with the provisions of Proffer 72.

- B. Athletic Field Escrow Account. In the event PCA 75-7-004-03 and SE 2015-PR-021 are not approved by the Board of Supervisors on or before June 30, 2016, then prior to the issuance of any RUPs or Non-RUPs for the new second building to be constructed on the Property, the Applicant shall establish an interest-bearing escrow account and place the amount of \$12,000,000 in escrow pursuant to the terms of an escrow agreement in a form mutually acceptable to Fairfax County

and the Applicant (the "Athletic Field Escrow Account") to secure the future purchase of land and the construction of a full-size field to fully satisfy the athletic field expectation of the Proposed Development on the Property as well as the proposed development associated with RZ 2013-PR-009.

The escrow agreement shall stipulate that upon thirty (30) days written notice from Fairfax County, the Applicant shall release the funds in the Athletic Field Escrow Account, including any accrued interest, to Fairfax County or its designee for use in the acquisition, design and construction of athletic fields serving the Tysons Area.

- C. Notwithstanding the foregoing, if a decision on PCA 75-7-004-03 and SE 2015-PR-021 does not occur by June 30, 2016, the timeframes specified in Par. B above may be extended by Fairfax County at its sole discretion. However, in the event, PCA 75-7-004-03 and SE 2015-PR-021 are not decided by June 30, 2017, the Applicant shall meet its athletic field contribution commitment through the implementation of Par. B above.
- D. Should part or all of Parcels 13D and 13E be the subject of a rezoning, special exception of special permit action in the future, the Athletic Field Facilities, Athletic Field Site, and associated public use easement may be reconfigured without the need for a PCA associated with this Rezoning.

PUBLIC FACILITIES

65. Community Library. To address the Comprehensive Plan's recommendations regarding the provision of public facilities in Tysons Corner, the Applicant shall design, permit, construct and dedicate to Fairfax County or its designee, space within Building E2, or alternatively within Building E1, to house a new Fairfax County Community Library. Notwithstanding what is listed in the Development Tabulations on Sheet C-2, the Community Library shall consist of approximately 19,000 square feet of GFA and up to 25 designated exclusive parking spaces, including required accessible spaces (the "New Library"). Additional dedicated spaces may be made available to the County at the Applicant's discretion at then market prices. The Applicant shall further maintain at least 50 parking spaces as unreserved spaces available to users of the New Library. At the Applicant's sole election, the unreserved spaces may also be utilized by other users of the Proposed Development and the general public on a first-come, first-served basis. The unreserved spaces may include up to 10 parking spaces certified for the handicapped parking under the Americans with Disabilities Act. The Applicant shall be permitted to charge the same parking fees for users of the New Library as for other users of these unreserved spaces.

Determination of whether the New Library is to be provided in Building E1 or E2 shall be made by Fairfax County prior to submission of the first FDP application submission for either Building E1 or E2. The Applicant shall provide written notice to the County, specifically the Providence District Supervisor, the Director of the Fairfax County Public Library ("FCPL") and DPZ, stating that the Applicant intends to file a FDP, requesting

determination by the County of whether the New Library should be provided with the subject FDP, and containing the text **"REQUIRES RESPONSE IN 60 DAYS"** in bolded, caps lock text on the first page. The County shall have sixty (60) days to elect, in its sole discretion, either to (A) deliver a written notice to the Applicant electing to include the New Library in the FDP, or (B) deliver a written notice to the Applicant electing not to include the New Library in the FDP, in which latter case the New Library shall then be included in the FDP for the other building. Failure to respond in sixty (60) days shall be deemed that the County has elected not to have the New Library included in the subject FDP. Should the County elect to have the New Library included in the FDP, the Applicant shall submit the FDP application within six months of receipt of the County's written notice, or within an alternate time period mutually agreed upon by the Applicant and the County.

The New Library shall be provided on one or two floors and have pedestrian access from Solutions Promenade for the Building E2 location or from Park Avenue for the Building E1 location. Access from the parking garage shall be provided through the building's main lobby or as may be mutually agreed upon by the Applicant and the County. The design shall endeavor to include an open, airy, light filled entry way and shall accommodate community gathering and polling spaces. The parking garage design shall include a separate staff entrance directly from the garage into the library (or as otherwise mutually agreed to at FDP), book drop, and appropriate wayfinding signage. Access to a loading space in the garage shall also be provided. The mechanical system shall be determined at building permit, with the acknowledgement of the County's preference for a separate system. The New Library shall be provided in accordance with the following:

- A. Specifications for the New Library. The New Library shall be designed and constructed in accordance with, and to include those items identified in, both the "Fairfax County Library Design Manual Adjusted for Tysons Library Proffers, dated April 2015" and the "Guidelines for Architects and Engineers, County of Fairfax, Virginia, Department of Public Works and Environmental Services, dated February 2015", as such Design Manual and Guidelines may be amended through the date of design and construction as a result of changes in applicable federal, state and/or local codes, (collectively, the "Library Standards"), or to such other standards or specifications as may otherwise be mutually agreed upon by the Applicant and the County. In all instances, the New Library shall be designed and constructed in keeping with the level of detail and quality exhibited in other publicly funded Fairfax County community libraries then in existence or under construction. The New Library space shall be provided as finished space as described in the Library Standards; however, it is understood that furnishings, fixtures and equipment ("FF & E") that are specified in the Library Standards to be furnished and installed by the general contractor shall be the responsibility of the Applicant and FF & E that are specified in the Library Standards to be furnished and installed by the owner or owner-contracted provider shall be the responsibility of the County; except that the furnishing and installation of all library shelving units shall be the responsibility of the County.

B. Design Coordination. The Applicant shall coordinate the design of the New Library with the Building Design and Construction Division of DPWES ("BDCD") and FCPL as follows:

- (i) Final Development Plan. Prior to submission of an FDP for Building E1 and/or E2 to DPZ, the Applicant shall submit a draft of the FDP to BDCD and FCPL for their proprietary review and approval of the aspects of the FDP related to the New Library.
- (ii) Site Plan. Prior to submission of a site plan for the building in which the New Library is to be located to Land Development Services Division of DPWES, the Applicant shall submit a draft of the site plan to BDCD and FCPL for their proprietary review and approval of the aspects of the site plan related to the New Library.
- (iii) Construction Documents. During the preparation of the Construction Documents for the building in which the New Library is to be located and prior to submission for building permit approval, the Applicant shall submit 35% Construction Documents, and later 95% Construction Documents, to BDCD and FCPL for their proprietary review and approval of the aspects of the Construction Documents related to the New Library.
- (iv) Review Process. In each event of submission to, and review and approval by, BDCD and FCPL as provided above, the following shall apply:
 - a. The phrase "related to the New Library" in the preceding paragraphs B (i) through B (iii) shall be construed to apply to, among other things, elements of the building in which the New Library is to be located and the related infrastructure necessary for the operation of the New Library.
 - b. The phrase "35% Construction Documents" in the preceding paragraph B (iii) shall be construed to include drawings and specifications that describe and fix the project's architectural, structural, mechanical, plumbing, and electrical systems.
 - c. BDCD and FCPL shall respond in writing to the Applicant as soon as possible but no later than within thirty (30) days of its receipt of plan submissions, either approving such plans or setting forth specific comments to the same. In the latter event, the Applicant shall prepare a revised submission, subject to a fifteen (15) day BDCD/FCPL review period, and the process shall continue with 15-day review periods until the submission is approved by BDCD and FCPL. BDCD and/or FCPL failure to timely respond shall not be deemed the approval of such agency or obviate the requirement for such agency's approval.

- d. BDCD and FCPL approval of submissions under this Paragraph B shall not be unreasonably withheld, conditioned or delayed.
 - e. BDCD and FCPL review shall be cumulative, with the scope of review limited by the scope of previous comments and approval(s), such that in no event (i) shall comments on the site plan or construction documents require an amendment to the FDP, nor (ii) shall comments on the construction documents require an amendment to the site plan; provided, however, that any comment noting a failure of the submittal to conform the Library Standards shall not be so limited.
 - f. If any County comment to the New Library design deviates from the FCPL standards and would result in an incremental expense to the Applicant (including, but not necessarily limited to, design, financing/carry and/or construction costs), the Applicant shall have no obligation to incorporate such comment/change unless the County has first agreed to reimburse the Applicant for such incremental expense, as reasonably determined by the Applicant and the County.
 - g. Each request for BDCD and FCPL approval under this paragraph shall be addressed to the Director of the respective agency and accompanied by an explanatory cover letter and a copy of this Proffer.
 - h. Notwithstanding the requirement of BDCD and FCPL approval under this paragraph, the Applicant may submit its FDP, Site Plan(s) and Construction Documents for regulatory review upon submission of such documents to BDCD and FCPL; provided, however, that Applicant shall update its regulatory submission to reflect the BDCD and FCPL approved version of such submission.
- C. Additional Development Requirements. In connection with the design, permitting, contracting and construction of the New Library, the Applicant agrees that the following requirements shall apply:
- (i) The contract with the general contractor for the construction of the New Library shall be based upon the appropriate Standard Form of Agreement Between Owner and Contractor and associated General Conditions published by the *American Institute of Architects*.
 - (ii) The Applicant shall cause the general contractor to provide payment and performance bonds, each for the entire New Library contract sum and naming the County as a dual obligee on such bond. It is understood that the payment and performance bonds of the general contractor required by this provision eliminate the need for the Applicant to provide any other

bond for the benefit of the County related to the completion of the New Library; provided, however, this does not eliminate the Applicant's responsibility to provide public improvement bonds required for sidewalks, streets and other public improvements set forth in the site plan that includes the New Library, the construction of which are not covered by the payment and performance bonds of the general contractor which is completing the New Library.

- (iii) Until such time as the New Library is conveyed to the County in accordance with Paragraph D, the Applicant shall obtain and maintain in full force and effect, with financially responsible insurers authorized to transact insurance business in the Commonwealth of Virginia, in commercially reasonable amounts, (i) a standard policy of commercial general liability insurance covering its activities with regard to the New Library, ii) automobile liability insurance for all owned, hired, and non-owned vehicles, and (ii) all legally required insurance coverage related to their employees including, but not limited to, Workers Compensation and Employer's liability coverage. The County shall be included as an additional insured on the commercial general liability and automotive policies through an endorsement, to the extent of its interest in the New Library, subject to the reasonable review and approval of the County.
- (iv) Applicant shall cause the contract with its design professionals and the general contractor to contain provisions related to warranties, guaranties, insurance, indemnities, notice claims, and retainage typical in the Northern Virginia area for commercial contracts of the general size and scope of the subject project. The warranty period shall be not less than one (1) year from final completion, and the County shall be included as an additional insured on any insurance policies required of the general contractor or, to the extent possible, the design professionals, and indemnitee under any indemnity required of the contractor or design professionals. The contract shall expressly provide that such warranties shall run to the benefit of the County following lease of the New Library to the County.
- (v) For a period of one (1) year following conveyance of the New Library to the County, the Applicant shall, upon notice, correct and remedy at its expense any damage to the New Library caused by the fault, negligence, gross negligence or intentionally tortious act or omission occurring prior to such conveyance of any officer, director, or employee of the Applicant. The obligations of the Applicant under this warranty shall not extend to the proportion of damage to the New Library caused by the fault, negligence, gross negligence or intentionally tortious act or omission of any third party, including, without limitation, the County or its separate contractor(s) and their employees, agents and/or representatives.
- (vi) The contract with the general contractor shall include customary provisions regarding the documentation to be provided in conjunction with

draw requests, including, without limitation, back-up invoices or subcontractor draws and lien waivers.

- (vii) If requested by BDCD, the Applicant shall afford representatives of BDCD reasonable access to the construction site to monitor construction activity and the condition of the New Library. Further, the Applicant agrees to invite BDCD to participate in the construction process, as it may relate to the New Library in the following areas:
- a. Quality control and safety inspections by representatives of BDCD;
 - b. Attendance in design and construction progress meetings and site walk-throughs;
 - c. Review/comment of proposed design revisions or changes to the construction contract affecting the New Library;
 - d. Review/comment on requests for information (RFIs) and submissions to the extent they relate to deviations from the design specifications for the New Library;
 - e. Participation in the development of the punch list and in final acceptance of punch list work for the New Library;
 - f. Participation in final acceptance of the New Library; and
 - g. Review/comment of all submittals, testing, and inspection reports related to the New Library.

The Applicant shall reasonably accommodate any comments provided by BDCD. In particular, the Applicant shall accommodate any comments if a failure to do so would result in the New Library not being constructed in a good and workmanlike manner in substantial conformance with the approved site plan and construction documents.

For purposes of clarity, the construction monitoring effort set forth in the preceding sentence inures to the benefit of the County in its proprietary capacity and is separate and distinct from the County regulatory inspection process. Any construction monitoring effort undertaken by the County/BDCD as provided herein shall be at the County's sole risk, cost and expense, and the County shall be solely liable for any loss, damage or injury caused by such effort and the County shall promptly restore, at its sole cost and expense, any damage to the New Library caused by such effort.

- (viii) The Applicant's construction contract shall:

- a. Carry builder's risk insurance and, if the County elects to provide additional funding pursuant to subsection B(iv)(f) above, require the contractor to carry commercial property insurance in a commercially reasonable amount and to name the "Board of Supervisors to Fairfax County, Virginia" as loss payee with regard to the additional funding;
 - b. Require the contractor to provide payment and performance bonds, each for the entire New Library contract sum and naming the "Board of Supervisors of Fairfax County, Virginia" as a dual obligee on such bond;
 - c. Permit the County, in its proprietary capacity, to inspect the New Library during construction;
 - d. Include warranties from the contractor as set forth in Sections 4.6.1, 9.3.3, and 13.2 of the Fairfax County Form General Conditions, such sections attached hereto as Exhibit 2, as may be amended by mutual agreement between the Applicant and the Office of the County Attorney;
 - e. Include Section 9.8 (including all subsections) of such General Conditions, also attached at Exhibit 2, as may be amended by mutual agreement between the Applicant and the Office of the County Attorney, including County inspection rights on substantial completion of the New Library, one-year post-completion guarantee, and guarantee bond;
 - f. Require that copies of all RFIs, submittals, as-built plans, and operating and maintenance manuals related to the New Library be provided to the County; and
 - g. Name the County as a third-party beneficiary of any construction contract related to the New Library, which rights shall survive completion and/or termination of such contract.
- D. Construction of New Library. The Applicant shall construct the New Library in substantial conformance with the approved FDP, Site Plan, Construction Documents and these Proffers. The Applicant shall install those fixtures and equipment within the New Library as set forth in the Library Standards and with a level of detail in keeping with that exhibited in other publicly funded Fairfax County libraries then in existence or under construction. The Applicant shall provide written notice to the County that Applicant considers the New Library substantially complete, whereupon the County shall conduct an inspection of the New Library and provide the Applicant a list of reasonable "punch list" items to be completed by the Applicant after occupancy by the County; the failure to include any items on such list does not alter the responsibility of the Applicant to

fully construct the New Library in accordance with the approved FDP, Site Plan, and Construction Documents. The Applicant shall promptly complete the items identified on the "punch list". For purposes of this Proffer, "substantially complete(d)" shall mean the date, when: (i) in the reasonable determination of the County, construction of the New Library, necessary portions of remainder of the building in which the New Library is located, and the related infrastructure is sufficiently complete such that the County can safely occupy and utilize the New Library for its intended use, subject only to certain unfinished items of construction that are not necessary for the issuance of occupancy permits or the safe use of the New Library for its intended use; and (ii) all required governmental inspections applicable to the construction have been conducted and occupancy permits have been issued by the necessary authorities.

E. Delivery of New Library/Parking. Following the County's inspection of the New Library, the Applicant, shall:

- (i) Deliver a lease reasonably acceptable to the County making the New Library available for a period of fifty (50) years rent-free. Following conclusion of the initial 50 year lease, the Applicants shall offer the County two-5 year lease renewal options rent-free. Operating expenses as typically included in a commercial lease for a Class A office building in Northern Virginia (including, but not limited to, building repair and maintenance costs), real estate taxes, if any, utility costs and cleaning costs associated with the New Library shall be the responsibility of the County. The Applicant agrees to separately meter or sub-meter water and electricity for the New Library. The lease shall further provide for a fair allocation of capital improvement expenses. The Applicant shall also be obligated to enforce to a commercially reasonable extent any and all warranty, guaranty, and indemnity obligations under the construction contract and any design contract for any defects in the design or construction of the New Library.
- (ii) Said lease shall be delivered to the County prior to the earlier of (a) issuance of an initial Non-RUP for more than 175,000 square feet of other non-Public Library uses in the building which the New Library is located and (b) issuance of an initial Non-RUP for more than 50% of the non-Public Library square feet in said building. To facilitate tracking and compliance, the Applicant shall provide a running tabulation of all initial Non-RUPs and associated square footage for the building in which the New Library is located with each application for an initial Non-RUP. Further, delivery under the lease of the New Library space to the County shall be a condition of bond release for the building in which the New Library is located.

F. Cash Contribution by Others. The applicant in approved rezoning application RZ 2013-PR-009 (the "RZ 2013-PR-009 Applicant") proffered contributions of \$2,234,000, subject to adjustments based on changes in the Consumer Price

Index, toward the design and construction of the New Library on the Property. Applicants in future rezoning applications may also proffer contributions to the design and construction of the New Library. Together, the contributions by the RZ 2013-PR-009 Applicant and other applicants constitute the "Library Contributions".

- (i) Following the Applicant's delivery of the New Library to the County, the Applicant shall provide a written notice to the Director of DPWES advising that the New Library has been delivered to the County and requesting release of the Library Contributions. Ninety (90) days from the date the County's receipt of the written notice, the County shall, to the extent permitted by law, release the Library Contributions and any accrued interest then received by the County to the then fee simple owner of the building housing the New Library. It is understood that any such funds held by an escrow agent shall not be considered to have been received by the County. However, within ninety (90) days from the date the County's receipt of the Applicant's written notice, the County shall request the release of any Library Contributions and any accrued interest then held by an escrow agent and, upon receipt, shall promptly pay them to the fee simple owner of the building housing the New Library.
 - (ii) Any Library Contributions, including any accrued interest, that are received by the County subsequent to the Applicant's delivery of the New Library shall, to the extent permitted by law, be given by the County to the then fee simple owner of the building housing the New Library within ninety (90) days from the date of the Applicant's written notice to the Director of DPWES requesting release of said Library Contributions. With regard to any Library Contributions then held by an escrow agent, the County shall request release of such funds and, upon receipt, shall promptly pay them to the fee simple owner of the building housing the New Library.
- G. Approvals Generally. Any approval of BDCD and FCPL or any other County department or agency given in such department or agency's proprietary capacity shall not be deemed the approval of, or entitle the Applicant to approval of, the County in its governmental and/or regulatory capacity.
- H. Other Alternatives.
- (i) Should it be determined by the County at time of FDP for either Building E1 and/or E2 that a New Library is no longer needed in this location, the space shall be provided for another public/community use. Public/community use of this space shall be limited to museums, art galleries/studios, theatres, educational facilities, cultural centers, County or State offices or other uses mutually agreed upon by the Applicant and the County. The specifications for the alternate public use shall be

established with the FDP approval for Building E1 and/or Building E2 and shall not require a PCA and/or a CDPA.

- (ii) The Applicant may at its sole discretion offer to provide the New Library in a building on the Property other than Buildings E1 or E2. Prior to submission of an FDP for the building in which the Applicant proposes to locate the New Library, the Applicant shall meet with the Providence District Supervisor, DPZ, BDCD and FCPL to determine if the alternate location is agreeable to the County.
- (iii) The Applicant reserves the right to enter into a separate binding written agreement with Fairfax County as to the terms and conditions of constructing and leasing/conveying a New Library following approval of this Rezoning. Such an agreement shall be on terms mutually acceptable to both the Applicant and Fairfax County. Neither the Fairfax County nor the Applicant shall be obligated to execute such an agreement. If such an agreement is executed by all applicable parties, then the construction/provision of a new library shall be solely in accordance with such an agreement and the provisions of this Proffer shall become null and void.

66. Public School Contribution. Per the Residential Development Criteria Implementation Motion adopted by the Board of Supervisors on September 9, 2002, as revised, the Applicant shall contribute \$11,749 per expected student (based on a ratio of 0.100 students per residential unit) to the Fairfax County School Board to be utilized for capital improvements to schools that any students generated by the Property will attend. Such contribution shall be made prior to the issuance of the first RUP for each residential building and shall be based on the actual number of dwelling units built in each building.

If, prior to site plan approval for the respective residential buildings, Fairfax County should modify, on a county-wide basis, the expected ratio of students per subject multi-family unit or the amount of the contribution per student, the amount of the contribution shall be modified for that building to reflect the then current ratio and/or contribution. If the County should decrease the ratio or contribution amount, the amount of the contribution shall be decreased to reflect the current ratio and/or contribution. This contribution is not subject to the provisions of Proffer 73.

67. Fire Department Contribution. The Applicant shall contribute \$20,000 to Fairfax County for the cost of preemptive devices on two traffic signals along the travel route from the Tysons Corner Fire and Rescue Station 29 to the Property. Fifty percent (50%) of the contribution shall be paid upon site plan approval for each of the first two new residential or office buildings to be constructed on the Property.

STORMWATER MANAGEMENT

68. Stormwater Management.

- A. Stormwater Management ("SWM") measures for the Property shall be designed to protect receiving waters downstream of Tysons Corner by reducing runoff from impervious surfaces using a progressive approach. This progressive approach shall, to the maximum extent practicable, subject to the determination of the Department of Public Works and Environmental Services (DPWES), retain on-site and/or reuse the first inch of rainfall for all new buildings constructed on the Property. Proposed SWM and Best Management Practice ("BMP") facilities shall follow a tiered approach as identified by the County which may include infiltration facilities (where applicable), rainwater harvesting/detention vaults, runoff reducing and other innovative BMPs.

Plans submitted subsequent to this rezoning shall identify the use of certain Low Impact Development ("LID") techniques that will aid in runoff volume reduction and promote reuse throughout the site. As a part of the LID techniques proposed, the Applicant shall provide green roofs both intensive and/or extensive, bio-retention (traditional and urban) areas, soil amendments, dry swales, pervious hardscapes/streetscapes, and infiltration.

Additionally, the SWM facilities shall be designed to accommodate not just the pre-developed (existing) peak release rates, but also strive to preserve and/or improve the pre-developed (existing) runoff volumes and reduce pollutant runoff as contemplated within the stormwater management-related credits of the project's registered version, or the most current version, of the U.S. Green Building Council's applicable Leadership in Environmental Education and Design (LEED[®]) rating system (e.g., for LEED-NC 2009, the Stormwater Design-Quantity Control and Stormwater Design-Quality Control credits [Sustainable Sites 6.1 and 6.2]). The above noted SWM Facilities shall be designed, to the maximum extent practicable, to meet the requirements of the stormwater management-related credits of the project's registered version or the most current version of the U. S. Green Building Council's applicable LEED rating system for each building/phase of the development based upon the LEED Boundary identified with each building/phase.

- B. At the time of each FDP, the Applicant shall provide calculations for that phase showing the proposed volume reductions and shall work cooperatively with DPWES and DPZ to ensure that the stormwater management measures that would be sufficient to meet the requirements of the aforementioned LEED credits will be provided and that the first inch of rainfall will be retained or reused to the maximum extent practicable. Supporting information shall be included, as part of each FDP submission, that is of sufficient detail, subject to DPWES's determination in coordination with the Environment and Development Review Branch of DPZ, to demonstrate the viability of the proposed stormwater

management strategy for the area subject to the FDP. This information shall include the following:

- (i) For any BMP involving infiltration of water into the ground, soil testing information documenting that the soil will be able to support the proposed infiltration measure(s).
 - (ii) For any measure involving storage and reuse of stormwater runoff, documentation supporting assumed levels of water usage.
- C. The requirements of Paragraph B may be met on an individual building basis (to include consideration of any associated parking, roadway and/or courtyard areas) or be based upon the total area of the Property. Extended detention facilities and extended release techniques may be used to augment the proposed volume reductions. It is further understood that interim or temporary SWM and BMP measures may be required during any interim phase of the Proposed Development.

Each FDP shall include the location and preliminary design of the SWM facilities including the access points to underground vaults. Access points, detailed at the time of FDP, shall be located outside of the landscape amenity panel and sidewalk zone of the streetscape.

- D. With each subsequent site plan, the Applicant shall provide refined calculations illustrating conformance with the proposed volume reductions shown on the FDP. The specific SWM facilities shall be determined at the time of site plan, and as may be approved by the DPWES. While it is anticipated that compliance with the goal of retaining and/or reusing the first inch of rainfall and meeting the requirements of the aforementioned LEED credits will be confirmed at site plan by utilizing the proposed retention credits identified by the County as part of its stormwater spreadsheet, the Applicant reserves the right to utilize any combination of LID measures (existing and future) to meet this goal, subject to the review and approval of DPWES. Similarly, if all other County suggested stormwater alternatives have been attempted and the off-site alternatives are not permitted by VDOT, the Applicant reserves the right to over detain the runoff from a one-inch rainfall to a release rate that mimics that of a "good" forested condition.

Where it is the Applicant's intent to use a rainwater harvesting system ("RWHS") for stormwater credit, variations in reuse water demand may create fluctuations in draw down of the RWHS tank(s). If storage time will exceed 10 days, due to seasonal variation in demand, the Applicant shall have the right to discharge excess volumes off site during non-rainfall periods in a manner and at release rates as allowed by the PFM or as approved by the Director of DPWES. To the extent practicable, such discharges shall mimic release rates from a good forested condition for a significant majority of rainfall events, and/or excess volume shall be directed to other facilities using a "treatment train" approach, if possible, as

approved by the Director of DPWES. If for any reason the designed dedicated end use(s) becomes unavailable because of some change, the Applicant shall provide an approved alternative end use or install a properly designed BMP treatment system to achieve runoff reduction and treatment of the runoff.

- E. The Applicant shall make stormwater management improvements to existing Buildings F1, F2, and F3 in order to capture and reuse on-site the first 0.39 inch of rainfall, through one or more techniques which may include, but not be limited to, extensive green roofs, permeable pavers, bio-retention tree pits, and rainwater harvesting. Implementation of the stormwater management improvements shall be complete prior to issuance of the first Non-RUP for Building E1 or E2, whichever occurs last.
69. Tree Replacement. As shown on the CDP, the Applicant is requesting a modification of PFM Section 12-0505.6B to allow for trees located above any proposed percolation trench or bio-retention area to count toward the 10-year tree canopy requirement. In the event that any of the said trees may need to be removed for maintenance or repair of those facilities, the Applicant shall replace removed trees as determined by the UFMD to sustain the 10-year canopy UFMD to sustain the 10-year canopy.

MISCELLANEOUS

70. Metrorail Tax District Buyout for Certain Residential Uses. At least sixty days prior to registration with the Common Interest Community Board of any residential condominium documents that would change the use of all or any portion of the Property that either i) is zoned to permit multi-family residential use but is not yet used for that purpose or ii) from use as a multi-family residential real property that is primarily leased or rented to residential tenants or other occupants by an owner who is engaged in such a business, in either case therefore taxable for purposes of the now existing Phase I Dulles Rail Transportation Improvement District (the "Phase I District") to a use that is not subject to the Phase I District tax, the Applicant shall provide a written notice to the Director of the Real Estate Division of the Fairfax County Department of Tax Administration advising that the Applicant intends to register such condominium documents for that portion of the Property. Prior to registering the condominium documents, the Applicant shall pay to Fairfax County a sum equal to the then-present value of Phase I District taxes estimated by the County to be lost as a result of that change in use.
71. Condemnation Procedures. The development of the Property in accordance with these Proffers may require the acquisition of property, rights-of-way and/or easements from parcels that are not part of the Property (collectively referred to as "Off-Site Parcels"). The Applicant shall use its good faith efforts and offer a reasonable fair market value for said property, right-of-way and/or easements. In the event the Applicant is not able to acquire the property, rights-of way and/or easements from Off-Site Parcels necessary to fulfill the obligations described herein, the Applicant shall demonstrate its efforts in writing and submit a written request to Fairfax County to acquire the property, rights-of way and easements by means of its condemnation powers.

In conjunction with any such request, the Applicant shall forward to the appropriate County agency: (a) plat, plans and profiles showing the necessary property, rights-of way and/or easements to be acquired; (b) an appraisal, prepared by a MAI (Member of the Appraisal Institute) independent appraiser approved by the County, of the value of the property, rights-of way and/or easements to be acquired and of all damages, if any, to the residue of the Off-Site Parcels; (c) a sixty (60) year title search certificate of Off-Site Parcels from which the property, rights-of way and/or easement is to be acquired; and (d) cash in an amount equal to appraised value of the property, rights-of-way and easements and of all damages to the residue of the Off-Site Parcels; and (e) a copy of written offers and counteroffers and evidence of owners refusal of such offers and counteroffers. In the event the Owner of the Off-Site Parcels are awarded more than the appraised value of the Off-Site Parcels and of the damages to the residue in a condemnation suit, the Applicant shall pay the amount of the award in excess of cash amount to the County within fifteen (15) calendar days of said award. It is understood that the Applicant, upon demand, shall pay all other costs incurred by the County in acquiring the easements to the County.

Prior to and during any potential condemnation proceedings, the Applicant, its successors and assigns, shall be permitted, at its own risk, to submit, process and receive approval of the Site Plan and related subdivision plat(s), easement plats, development permits, building plan approvals and building permits for other portions of the Property.

72. Zoning Administrator Consideration. Notwithstanding the foregoing, upon demonstration by the Applicant that, despite diligent efforts or due to factors beyond the Applicant's control, the required improvements proffered have been delayed (due to, but not limited to an inability to secure necessary permission for utility relocations and/or VDOT approval for traffic signals, etc.) beyond the timeframes specified, the Zoning Administrator may agree to a later time for completion of these improvement(s).
73. Adjustment in Contribution Amounts. All monetary contributions, except as may be further specified in these Proffers, shall adjust on a yearly basis from the base month of January 2017 and change effective each January 1 thereafter, as permitted by Virginia State Code Section 15.2-2303.3.
74. Advanced Density Credit. Advanced density credit is reserved consistent with the provisions of the Fairfax County Ordinance for all eligible dedications described herein or as may be required by Fairfax County or VDOT.
75. Severability. Pursuant to Section 18-204 of the Ordinance, any portion of the Property may be the subject of a proffered condition amendment ("PCA"), Special Exception ("SE"), Special Permit ("SP"), or Final Development Plan Amendment ("FDPA") without joinder and/or consent of the owners of the other portions of the Property, provided that such PCA, SE, SP or FDPA does not materially adversely affect the other phases. Previously approved zoning applications applicable to the balance of the Property that is not the subject of such a PCA, SE, SP or FDPA shall otherwise remain in full force and effect.

76. Successors and Assigns. These Proffers will bind and inure to the benefit of the Applicant and their successors and assigns. Each reference to "Applicant" in this proffer statement shall include within its meaning and shall be binding upon Applicant's successor(s) in interest and/or the owners from time to time of any portion of the Property during the period of their ownership. Once portions of the Property are sold or otherwise transferred, the associated proffers become the obligation of the purchaser or other transferee and shall no longer be binding on the seller or other transferee. With respect to any portion of the Property subject to a COA, the COA shall have liability for performance of any applicable proffers, but not the individual condominium owners.
77. Counterparts. These Proffers may be executed in one or more counterparts, each of which when so executed and delivered shall be deemed an original, and all of which taken together shall constitute but one and the same instrument.

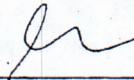
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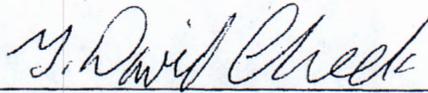
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TAX MAP 29-3 ((15)) 4D1, 7A1, 7B1, 7C1, 7E1

TMG SOLUTIONS PLAZA LAND, L.P.,
a Delaware limited partnership

By: Meridian Realty Partners I GP, L.L.C.,
a Delaware limited liability company,
as its general partner



By: Gary E. Block
Its: Managing Director



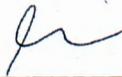
By: G. David Cheek
Its: President

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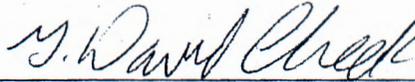
CO-TITLE OWNER OF TAX MAP
29-3 ((15)) 4D1, 7A1, 7B1, 7C1, 7E1

THE BORO I DEVELOPER, L.P.,
a Delaware limited partnership

By: Meridian Realty Partners I GP, L.L.C.,
a Delaware limited liability company,
as its general partner



By: Gary E. Block
Its: Managing Director



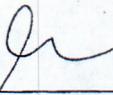
By: G. David Cheek
Its: President

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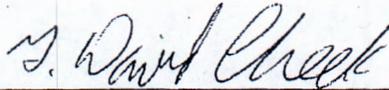
CO-TITLE OWNER OF TAX MAP
29-3 ((15)) 4D1, 7A1, 7B1, 7C1, 7E1

THE BORO I-C DEVELOPER, L.L.C.,
a Delaware limited partnership

By: Meridian Realty Partners I GP, L.L.C.,
a Delaware limited liability company,
as its manager



By: Gary E. Block
Its: Managing Director



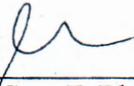
By: G. David Cheek
Its: President

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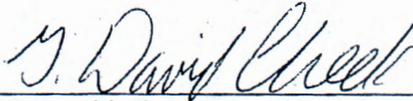
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29-3 ((15)) 4D1, 7A1, 7B1, 7C1, 7E1

THE BORO II DEVELOPER, L.P.,
a Delaware limited partnership

By: Meridian Realty Partners I GP, L.L.C.,
a Delaware limited liability company,
Its general partner



By: Gary E. Block
Its: Managing Director



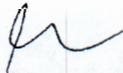
By: G. David Cheek
Its: President

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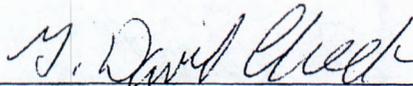
CO-TITLE OWNER OF TAX MAP
29-3 ((15)) 4D1, 7A1, 7B1, 7C1, 7E1

THE BORO II-C DEVELOPER, L.P.,
a Delaware limited partnership

By: Meridian Realty Partners I GP, L.L.C.,
a Delaware limited liability company,
Its general partner



By: Gary E. Block
Its: Managing Director



By: G. David Cheek
Its: President

(SIGNATURES CONTINUE ON NEXT PAGE)

TITLE OWNER OF TAX MAP 29-3 ((15)) 4E1

TMG SOLUTIONS PLAZA 1, L.L.C.,
a Delaware limited liability company

By: TMG Solutions Plaza REIT 1, L.L.C.,
a Delaware limited liability company, its Manager

By: Meridian Realty Partners TE I, L.P.,
a Delaware limited partnership, Its Manager

By: Meridian Realty Partners I GP, L.L.C.,
a Delaware limited liability company, its General Partner



By: Gary E. Block
Its: Managing Director



By: G. David Cheek
Its: President

(SIGNATURES CONTINUE ON NEXT PAGE)

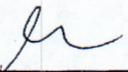
TITLE OWNER OF TAX MAP 29-3 ((15)) 4F1

TMG SOLUTIONS PLAZA 3, L.L.C.,
a Delaware limited liability company

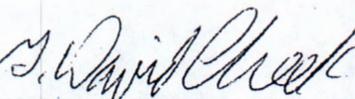
By: TMG Solutions Plaza REIT 3, L.L.C.,
a Delaware limited liability company, its Manager

By: Meridian Realty Partners TE I, L.P.,
a Delaware limited partnership, Its Manager

By: Meridian Realty Partners I GP, L.L.C.,
a Delaware limited liability company, its General Partner



By: Gary E. Block
Its: Managing Director



By: G. David Cheek
Its: President

(SIGNATURES CONTINUE ON NEXT PAGE)

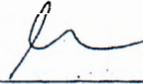
TITLE OWNER OF TAX MAP 29-3 ((15)) 4G

TMG SOLUTIONS PLAZA 2, L.L.C.,
a Delaware limited liability company

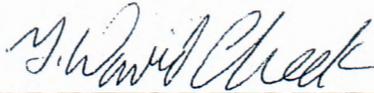
By: TMG Solutions Plaza REIT 2, L.L.C.,
a Delaware limited liability company, its Manager

By: Meridian Realty Partners TE I, L.P.,
a Delaware limited partnership, Its Manager

By: Meridian Realty Partners I GP, L.L.C.,
a Delaware limited liability company, its General Partner



By: Gary E. Block
Its: Managing Director



By: G. David Check
Its: President

(SIGNATURES END)

RZ 2010-PR-022 – Proffers Exhibit 2

4.6.1 The Contractor warrants to the Owner that all materials and equipment furnished under this Contract will be new unless otherwise specified, and that all workmanship will be of first class quality, free from faults and defects and in conformance with the Contract Documents and all other warranties and guaranties specified therein. Where no standard is specified for such workmanship or materials, they shall be the best of their respective kinds. All Work not conforming to these requirements, including products not properly approved and authorized, may be considered defective.

9.3.3 The Contractor warrants that title to all Work, materials and equipment covered by an Application for Payment will pass to the Owner either by incorporation into the construction or upon the receipt of payment by the Contractor, whichever occurs first, free and clear of all liens, claims, security interests or encumbrances, hereinafter referred to as "liens"; and that no Work, materials or equipment covered by an Application for Payment will have been acquired by the Contractor or by any other person performing Work at the site or furnishing materials and equipment for the Project, subject to an agreement under which an interest therein or an encumbrance thereon is retained by the seller or otherwise imposed by the Contractor or such other person.

9.8 SUBSTANTIAL COMPLETION AND GUARANTEE BOND

9.8.1 Unless otherwise specified in Article 9.9, when the Contractor considers that the Work, or a designated portion thereof which is acceptable to the Owner, is substantially complete as defined in Article 8, the Contractor shall request in writing that the A/E and the Owner perform a Substantial Completion inspection. Prior to such inspection the Contractor shall complete to the Owner's satisfaction all Prerequisites to Substantial Completion as required in the Contract Documents.

9.8.2 The Owner shall determine whether the project is substantially complete and shall compile a punch list of items to be completed or corrected. The failure to include any items on such list does not alter the responsibility of the Contractor to complete all Work in accordance with the Contract Documents.

9.8.3 When the Owner on the basis of his inspection determines that the Work or a designated portion thereof is substantially complete, the A/E will then prepare a Certificate of Substantial Completion which shall establish the Date of Substantial Completion and shall state the responsibilities of the Owner and the Contractor for security, maintenance, heat, utilities, damage to the Work and insurance. The Certificate of Substantial Completion shall be submitted to the Owner and the Contractor for their written acceptance of the responsibilities assigned to them in such Certificate.

9.8.4 The Contractor shall have forty five (45) calendar days from the Date of Substantial Completion to complete all items on the punch list to the satisfaction of the Owner. The Owner shall have the option to correct or otherwise resolve any and all punch list items not completed by the Contractor within forty five (45) calendar days from the Date of Substantial Completion by utilizing its own forces or by hiring others. The cost of such correction or resolution of remaining punch list items by the Owner or others shall be deducted from the final payment to the Contractor.

9.8.5 Guarantees and warranties required by the Contract Documents shall commence on the Date of Substantial or Final Completion of the Work, or designated portion thereof, unless otherwise provided in the Certificate of Substantial or Final Completion, or the Contract Documents. Provided, however, that if Contractor does not complete certain punch list items within this time period, specified in 9.8.4, all warranties and guarantees for such incomplete Punch List items shall become effective upon issuance of final payment for the project.

9.8.5.1 The Contractor shall guarantee for a term of one (1) year from the date of Substantial and/or Final Completion, as appropriate, (unless otherwise provided for in the Certificate(s) of Substantial or Final Completion or the Contract Documents): (1) the quality and stability of all materials equipment and Work; (2) all the Work against defects in materials, equipment or workmanship; and (3) all shrinkage, settlement or other faults of any kind which are attributable to defective materials or workmanship. The Contractor shall provide the Owner with a written extended warranty for any equipment, system, system component, or any other component of the Work that has not been shown to perform to the full satisfaction of the Owner and that has been the subject of repeated service calls during the one (1) year guarantee term. Such extended warranty shall be for a minimum of one hundred twenty calendar days (120) days or such other length of time as deemed acceptable to the Owner. The Contractor shall remedy at his own expense, when so notified in writing to do so by the Owner, and to the satisfaction of the Owner, the Work or any part thereof that does not conform to any of the warranties and guaranties described in the Contract Documents.

9.8.5.2 In order to make good the guarantee as herein required, the Contractor shall deposit with the Owner, before Final Payment or release of retainage, a Guarantee Bond(s) issued by a surety licensed to do business in Virginia and otherwise acceptable to the Owner, for the faithful performance of the guarantee. Said Bond(s) shall be for a period of one (1) year, in accordance with the Certificate(s) of Substantial or Final Completion and in the amount of five percent (5%) of the final gross value of the Contract.

9.8.5.3 The Contractor shall start repairs during the guarantee period, within five (5) working days after the receipt of notice from the Owner and if the Contractor shall fail to start such repairs within the said five (5) working days, the Owner may employ such other person or persons as it may deem proper to make such repairs and pay the expenses thereof out of any sum retained by it; provided nothing herein contained shall limit the liability of the Contractor or his surety to the Owner for non-performance of the Contractor's obligations at any time.

Contractor shall start repairs immediately when such repairs are required for the operation of the facility or for the safety of its occupants.

9.8.6 The issuance of the Certificate of Substantial Completion does not indicate final acceptance of the project by the Owner, and the Contractor is not relieved of any responsibility for the project except as specifically stated in the Certificate of Substantial Completion.

9.8.7 Upon Substantial Completion of the Work, or designated portion thereof, and upon application by the Contractor and certification by the A/E, the Owner shall make payment, reflecting adjustment in retainage, if any, for such Work or portion thereof, as provided in the Contract Documents.

9.8.8 Should the Owner determine that the Work or a designated portion thereof is not substantially complete, he shall provide the Contractor a written notice stating why the project or designated portion is not substantially complete. The Contractor shall expeditiously complete the Work and shall re-request in writing that the Owner perform a substantial completion inspection.

13.2 WARRANTY AND CORRECTION OF WORK

13.2.1 The Contractor guarantees and warrants to the Owner all work as follows:

.1 That all materials and equipment furnished under this Contract will be new and the best of its respective kind unless otherwise specified;

.2 That all Work will be of first-class quality and free of omissions and faulty, poor quality, imperfect or defective material or workmanship;

.3 That the Work shall be entirely watertight and leakproof in accordance with all applicable industry customs and practices, and shall be free of shrinkage and settlement which are attributable to defective materials or workmanship;

.4 That the Work, including but not limited to, mechanical and electrical machines, devices and equipment shall be fit and fully usable for its intended and specified purpose and shall operate satisfactorily with ordinary care;

.5 That consistent with requirements of the Contract Documents the Work shall be installed and oriented in such a manner as to facilitate unrestricted access for the operation and maintenance of fixed equipment; and

.6 That the Work will be free of abnormal or unusual deterioration which occurs because of poor quality materials or workmanship.

13.2.2 All Work not conforming to guarantees and warranties specified in the Contract Documents, including products not properly approved and authorized, may be considered defective. If required by the Owner, the Contractor shall furnish satisfactory evidence as to the kind and quality of materials and equipment.

13.2.3 The Contractor shall within five (5) working days after receipt of written notice from the Owner during the performance of the Work, reconstruct, replace or correct all Work rejected by the A/E or Owner as defective, as failing to conform to the Contract Documents, or as not in accordance with the guarantees and warranties specified in the Contract Documents whether observed before or after Substantial Completion and whether or not fabricated, installed or completed. The Contractor shall bear all costs of inspection and/or testing required to verify such rejected work. The Contractor shall bear all costs of reconstructing, replacing or correcting, reinspecting and/or retesting such rejected Work, including compensation for the A/E's additional services made necessary thereby.

13.2.4 If, within one (1) year after the Date of Substantial or Final Completion of the Work or designated portion thereof or within one (1) year after acceptance by the Owner of designated equipment or within such longer period of time as may be prescribed by law or by the terms of any applicable special warranty required by the Contract Documents, any of the Work is found to be defective, not in accordance with the Contract Documents, or not in accordance with the guarantees and warranties specified in the Contract Documents, the Contractor shall correct it within five (5) working days after receipt of a written notice from the Owner to do so unless the Owner has previously given the Contractor a written acceptance of such condition. This obligation shall survive termination of the Contract. The Owner shall give such notice promptly after discovery of the condition. In the event that the correction of the condition is deemed by the Owner to impact the operation of the facility, the Contractor shall initiate the correction immediately after receipt of a written notice from the Owner.

13.2.5 Subject to limitation as prescribed by law, if at any time deficiencies in the Work are discovered which are found to have resulted from fraud or misrepresentation, or an intent or attempt to defraud the Owner by the Contractor, any Subcontractor or Supplier, the Contractor will be liable for replacement or correction of such Work and any damages which Owner has incurred related thereto, regardless of the time limit of any guarantee or warranty.

13.2.6 Any materials or other portions of the Work, installed, furnished or stored on site which are not of the character or quality required by the specifications, or are otherwise not acceptable to the Owner, shall be immediately removed and replaced by the Contractor to the satisfaction of the Owner, when notified to do so by the Owner.

13.2.7 If the Contractor fails to correct defective or nonconforming Work as required by Articles 13.2.3 and 13.2.4, or if the Contractor fails to remove defective or nonconforming Work from the site, as required by Article 13.2.6, the Owner may elect to either correct such Work or remove and store materials and equipment at the expense of the Contractor. If the Contractor does not pay the cost of such removal and storage within ten (10) days thereafter, the Owner

may upon ten additional days written notice sell such Work at auction or at private sale and shall account for the net proceeds thereof, after deducting all the costs that should have been borne by the Contractor, including compensation for the A/E's additional services made necessary thereby. If such proceeds of sale do not cover all costs which the Contractor should have borne, the difference shall be charged to the Contractor and an appropriate Change Order shall be issued. If the payments then or thereafter due the Contractor are not sufficient to cover such amount, the Contractor shall pay the difference to the Owner.

13.2.8 The Contractor shall bear the cost of making good all work of the Owner, separate contractors or others, destroyed or damaged by such correction or removal required under this Article.

AUG 31 2015

Zoning Evaluation Division

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VKA NUMBER V8221X
SHEET C-1

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- C-2 NOTES & WAIVERS
- C-2A GCP TABULATIONS
- C-3 EXISTING CONDITIONS
- C-4 EXISTING CONDITIONS
- C-5 EXISTING CONDITIONS
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- C-7 OVERALL CONCEPTUAL DEVELOPMENT PLAN
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- C-9 STORMWATER MANAGEMENT MAP
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- C-10 SWM COMPUTATIONS GOAL II AND SUPPORTING DATA
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- C-12 STORMWATER MANAGEMENT DETAILS
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- C-14 BLOCK B STORMWATER COMPUTATION
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- L-8.2 PERSPECTIVES
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- L-12.1 TREE DETAILS
- L-12.2 TREE DETAILS
- L-12.3 TREE DETAILS
- L-12.4 TREE DETAILS

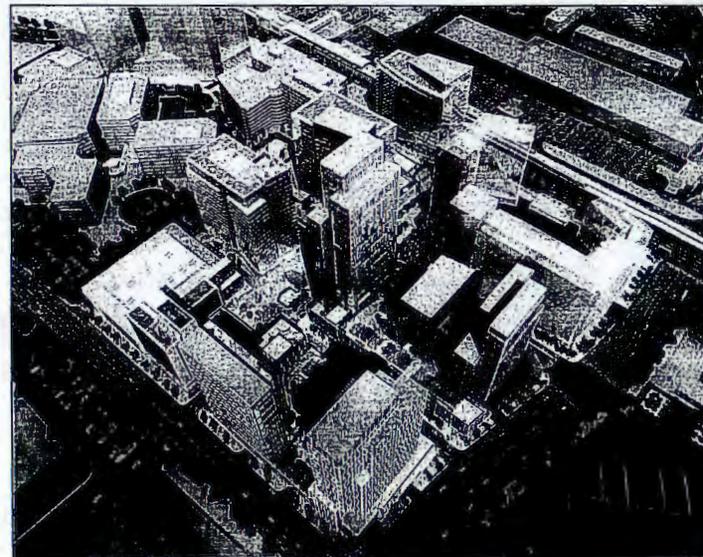
LANDSCAPE ARCHITECTURE

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- L-7.2 ELEVATIONS
- L-7.3 ELEVATIONS

THE BORO RZ-2010-PR-022 CONCEPTUAL DEVELOPMENT PLAN

PROVIDENCE DISTRICT FAIRFAX COUNTY, VIRGINIA

OCTOBER 1, 2010
 REVISION: NOVEMBER 17, 2010
 ACCEPTED: DECEMBER 14, 2010
 REVISION: JUNE 30, 2011
 REVISION: JULY 16, 2012
 REVISION: OCTOBER 22, 2012
 REVISION: FEBRUARY 19, 2013
 REVISION: JULY 1, 2013
 REVISION: APRIL 7, 2014
 REVISION: FEBRUARY 20, 2015
 REVISION: MAY 22, 2015
 REVISION: JULY 22, 2015
 REVISION: AUGUST 28, 2015



CONCEPTUAL DEVELOPMENT RENDERING

TAX MAP NO. 29-3 ((15)) PARCEL NO.
4D1, 4E1, 4F1, 4G, 7A1, 7B1, 7C1, AND 7E1



NOTES

- THE SUBJECT PROPERTY SHOWN HEREON IS IDENTIFIED AS FAIRFAX COUNTY TAX MAP NO. 029-15-0007A, 029-15-0007B, 029-15-0007C, 029-15-0007D, 029-15-0007E, 029-15-0007F, 029-15-0007G, 029-15-0007H, 029-15-0007I, 029-15-0007J, 029-15-0007K, 029-15-0007L, 029-15-0007M, 029-15-0007N, 029-15-0007O, 029-15-0007P, 029-15-0007Q, 029-15-0007R, 029-15-0007S, 029-15-0007T, 029-15-0007U, 029-15-0007V, 029-15-0007W, 029-15-0007X, 029-15-0007Y, 029-15-0007Z, 029-15-0007AA, 029-15-0007AB, 029-15-0007AC, 029-15-0007AD, 029-15-0007AE, 029-15-0007AF, 029-15-0007AG, 029-15-0007AH, 029-15-0007AI, 029-15-0007AJ, 029-15-0007AK, 029-15-0007AL, 029-15-0007AM, 029-15-0007AN, 029-15-0007AO, 029-15-0007AP, 029-15-0007AQ, 029-15-0007AR, 029-15-0007AS, 029-15-0007AT, 029-15-0007AU, 029-15-0007AV, 029-15-0007AW, 029-15-0007AX, 029-15-0007AY, 029-15-0007AZ, 029-15-0007BA, 029-15-0007BB, 029-15-0007BC, 029-15-0007BD, 029-15-0007BE, 029-15-0007BF, 029-15-0007BG, 029-15-0007BH, 029-15-0007BI, 029-15-0007BJ, 029-15-0007BK, 029-15-0007BL, 029-15-0007BM, 029-15-0007BN, 029-15-0007BO, 029-15-0007BP, 029-15-0007BQ, 029-15-0007BR, 029-15-0007BS, 029-15-0007BT, 029-15-0007BU, 029-15-0007BV, 029-15-0007BW, 029-15-0007BX, 029-15-0007BY, 029-15-0007BZ, 029-15-0007CA, 029-15-0007CB, 029-15-0007CC, 029-15-0007CD, 029-15-0007CE, 029-15-0007CF, 029-15-0007CG, 029-15-0007CH, 029-15-0007CI, 029-15-0007CJ, 029-15-0007CK, 029-15-0007CL, 029-15-0007CM, 029-15-0007CN, 029-15-0007CO, 029-15-0007CP, 029-15-0007CQ, 029-15-0007CR, 029-15-0007CS, 029-15-0007CT, 029-15-0007CU, 029-15-0007CV, 029-15-0007CW, 029-15-0007CX, 029-15-0007CY, 029-15-0007CZ, 029-15-0007DA, 029-15-0007DB, 029-15-0007DC, 029-15-0007DD, 029-15-0007DE, 029-15-0007DF, 029-15-0007DG, 029-15-0007DH, 029-15-0007DI, 029-15-0007DJ, 029-15-0007DK, 029-15-0007DL, 029-15-0007DM, 029-15-0007DN, 029-15-0007DO, 029-15-0007DP, 029-15-0007DQ, 029-15-0007DR, 029-15-0007DS, 029-15-0007DT, 029-15-0007DU, 029-15-0007DV, 029-15-0007DW, 029-15-0007DX, 029-15-0007DY, 029-15-0007DZ, 029-15-0007EA, 029-15-0007EB, 029-15-0007EC, 029-15-0007ED, 029-15-0007EE, 029-15-0007EF, 029-15-0007EG, 029-15-0007EH, 029-15-0007EI, 029-15-0007EJ, 029-15-0007EK, 029-15-0007EL, 029-15-0007EM, 029-15-0007EN, 029-15-0007EO, 029-15-0007EP, 029-15-0007EQ, 029-15-0007ER, 029-15-0007ES, 029-15-0007ET, 029-15-0007EU, 029-15-0007EV, 029-15-0007EW, 029-15-0007EX, 029-15-0007EY, 029-15-0007EZ, 029-15-0007FA, 029-15-0007FB, 029-15-0007FC, 029-15-0007FD, 029-15-0007FE, 029-15-0007FF, 029-15-0007FG, 029-15-0007FH, 029-15-0007FI, 029-15-0007FJ, 029-15-0007FK, 029-15-0007FL, 029-15-0007FM, 029-15-0007FN, 029-15-0007FO, 029-15-0007FP, 029-15-0007FQ, 029-15-0007FR, 029-15-0007FS, 029-15-0007FT, 029-15-0007FU, 029-15-0007FV, 029-15-0007FW, 029-15-0007FX, 029-15-0007FY, 029-15-0007FZ, 029-15-0007GA, 029-15-0007GB, 029-15-0007GC, 029-15-0007GD, 029-15-0007GE, 029-15-0007GF, 029-15-0007GG, 029-15-0007GH, 029-15-0007GI, 029-15-0007GJ, 029-15-0007GK, 029-15-0007GL, 029-15-0007GM, 029-15-0007GN, 029-15-0007GO, 029-15-0007GP, 029-15-0007GQ, 029-15-0007GR, 029-15-0007GS, 029-15-0007GT, 029-15-0007GU, 029-15-0007GV, 029-15-0007GW, 029-15-0007GX, 029-15-0007GY, 029-15-0007GZ, 029-15-0007HA, 029-15-0007HB, 029-15-0007HC, 029-15-0007HD, 029-15-0007HE, 029-15-0007HF, 029-15-0007HG, 029-15-0007HH, 029-15-0007HI, 029-15-0007HJ, 029-15-0007HK, 029-15-0007HL, 029-15-0007HM, 029-15-0007HN, 029-15-0007HO, 029-15-0007HP, 029-15-0007HQ, 029-15-0007HR, 029-15-0007HS, 029-15-0007HT, 029-15-0007HU, 029-15-0007HV, 029-15-0007HW, 029-15-0007HX, 029-15-0007HY, 029-15-0007HZ, 029-15-0007IA, 029-15-0007IB, 029-15-0007IC, 029-15-0007ID, 029-15-0007IE, 029-15-0007IF, 029-15-0007IG, 029-15-0007IH, 029-15-0007II, 029-15-0007IJ, 029-15-0007IK, 029-15-0007IL, 029-15-0007IM, 029-15-0007IN, 029-15-0007IO, 029-15-0007IP, 029-15-0007IQ, 029-15-0007IR, 029-15-0007IS, 029-15-0007IT, 029-15-0007IU, 029-15-0007IV, 029-15-0007IW, 029-15-0007IX, 029-15-0007IY, 029-15-0007IZ, 029-15-0007JA, 029-15-0007JB, 029-15-0007JC, 029-15-0007JD, 029-15-0007JE, 029-15-0007JF, 029-15-0007JG, 029-15-0007JH, 029-15-0007JI, 029-15-0007JJ, 029-15-0007JK, 029-15-0007JL, 029-15-0007JM, 029-15-0007JN, 029-15-0007JO, 029-15-0007JP, 029-15-0007JQ, 029-15-0007JR, 029-15-0007JS, 029-15-0007JT, 029-15-0007JU, 029-15-0007JV, 029-15-0007JW, 029-15-0007JX, 029-15-0007JY, 029-15-0007JZ, 029-15-0007KA, 029-15-0007KB, 029-15-0007KC, 029-15-0007KD, 029-15-0007KE, 029-15-0007KF, 029-15-0007KG, 029-15-0007KH, 029-15-0007KI, 029-15-0007KJ, 029-15-0007KL, 029-15-0007KM, 029-15-0007KN, 029-15-0007KO, 029-15-0007KP, 029-15-0007KQ, 029-15-0007KR, 029-15-0007KS, 029-15-0007KT, 029-15-0007KU, 029-15-0007KV, 029-15-0007KW, 029-15-0007KX, 029-15-0007KY, 029-15-0007KZ, 029-15-0007LA, 029-15-0007LB, 029-15-0007LC, 029-15-0007LD, 029-15-0007LE, 029-15-0007LF, 029-15-0007LG, 029-15-0007LH, 029-15-0007LI, 029-15-0007LJ, 029-15-0007LK, 029-15-0007LL, 029-15-0007LM, 029-15-0007LN, 029-15-0007LO, 029-15-0007LP, 029-15-0007LQ, 029-15-0007LR, 029-15-0007LS, 029-15-0007LT, 029-15-0007LU, 029-15-0007LV, 029-15-0007LW, 029-15-0007LX, 029-15-0007LY, 029-15-0007LZ, 029-15-0007MA, 029-15-0007MB, 029-15-0007MC, 029-15-0007MD, 029-15-0007ME, 029-15-0007MF, 029-15-0007MG, 029-15-0007MH, 029-15-0007MI, 029-15-0007MJ, 029-15-0007MK, 029-15-0007ML, 029-15-0007MN, 029-15-0007MO, 029-15-0007MP, 029-15-0007MQ, 029-15-0007MR, 029-15-0007MS, 029-15-0007MT, 029-15-0007MU, 029-15-0007MV, 029-15-0007MW, 029-15-0007MX, 029-15-0007MY, 029-15-0007MZ, 029-15-0007NA, 029-15-0007NB, 029-15-0007NC, 029-15-0007ND, 029-15-0007NE, 029-15-0007NF, 029-15-0007NG, 029-15-0007NH, 029-15-0007NI, 029-15-0007NJ, 029-15-0007NK, 029-15-0007NL, 029-15-0007NM, 029-15-0007NO, 029-15-0007NP, 029-15-0007NQ, 029-15-0007NR, 029-15-0007NS, 029-15-0007NT, 029-15-0007NU, 029-15-0007NV, 029-15-0007NW, 029-15-0007NX, 029-15-0007NY, 029-15-0007NZ, 029-15-0007OA, 029-15-0007OB, 029-15-0007OC, 029-15-0007OD, 029-15-0007OE, 029-15-0007OF, 029-15-0007OG, 029-15-0007OH, 029-15-0007OI, 029-15-0007OJ, 029-15-0007OK, 029-15-0007OL, 029-15-0007OM, 029-15-0007ON, 029-15-0007OO, 029-15-0007OP, 029-15-0007OQ, 029-15-0007OR, 029-15-0007OS, 029-15-0007OT, 029-15-0007OU, 029-15-0007OV, 029-15-0007OW, 029-15-0007OX, 029-15-0007OY, 029-15-0007OZ, 029-15-0007PA, 029-15-0007PB, 029-15-0007PC, 029-15-0007PD, 029-15-0007PE, 029-15-0007PF, 029-15-0007PG, 029-15-0007PH, 029-15-0007PI, 029-15-0007PJ, 029-15-0007PK, 029-15-0007PL, 029-15-0007PM, 029-15-0007PN, 029-15-0007PO, 029-15-0007PP, 029-15-0007PQ, 029-15-0007PR, 029-15-0007PS, 029-15-0007PT, 029-15-0007PU, 029-15-0007PV, 029-15-0007PW, 029-15-0007PX, 029-15-0007PY, 029-15-0007PZ, 029-15-0007QA, 029-15-0007QB, 029-15-0007QC, 029-15-0007QD, 029-15-0007QE, 029-15-0007QF, 029-15-0007QG, 029-15-0007QH, 029-15-0007QI, 029-15-0007QJ, 029-15-0007QK, 029-15-0007QL, 029-15-0007QM, 029-15-0007QN, 029-15-0007QO, 029-15-0007QP, 029-15-0007QQ, 029-15-0007QR, 029-15-0007QS, 029-15-0007QT, 029-15-0007QU, 029-15-0007QV, 029-15-0007QW, 029-15-0007QX, 029-15-0007QY, 029-15-0007QZ, 029-15-0007RA, 029-15-0007RB, 029-15-0007RC, 029-15-0007RD, 029-15-0007RE, 029-15-0007RF, 029-15-0007RG, 029-15-0007RH, 029-15-0007RI, 029-15-0007RJ, 029-15-0007RK, 029-15-0007RL, 029-15-0007RM, 029-15-0007RN, 029-15-0007RO, 029-15-0007RP, 029-15-0007RQ, 029-15-0007RR, 029-15-0007RS, 029-15-0007RT, 029-15-0007RU, 029-15-0007RV, 029-15-0007RW, 029-15-0007RX, 029-15-0007RY, 029-15-0007RZ, 029-15-0007SA, 029-15-0007SB, 029-15-0007SC, 029-15-0007SD, 029-15-0007SE, 029-15-0007SF, 029-15-0007SG, 029-15-0007SH, 029-15-0007SI, 029-15-0007SJ, 029-15-0007SK, 029-15-0007SL, 029-15-0007SM, 029-15-0007SN, 029-15-0007SO, 029-15-0007SP, 029-15-0007SQ, 029-15-0007SR, 029-15-0007SS, 029-15-0007ST, 029-15-0007SU, 029-15-0007SV, 029-15-0007SW, 029-15-0007SX, 029-15-0007SY, 029-15-0007SZ, 029-15-0007TA, 029-15-0007TB, 029-15-0007TC, 029-15-0007TD, 029-15-0007TE, 029-15-0007TF, 029-15-0007TG, 029-15-0007TH, 029-15-0007TI, 029-15-0007TJ, 029-15-0007TK, 029-15-0007TL, 029-15-0007TM, 029-15-0007TN, 029-15-0007TO, 029-15-0007TP, 029-15-0007TQ, 029-15-0007TR, 029-15-0007TS, 029-15-0007TT, 029-15-0007TU, 029-15-0007TV, 029-15-0007TW, 029-15-0007TX, 029-15-0007TY, 029-15-0007TZ, 029-15-0007UA, 029-15-0007UB, 029-15-0007UC, 029-15-0007UD, 029-15-0007UE, 029-15-0007UF, 029-15-0007UG, 029-15-0007UH, 029-15-0007UI, 029-15-0007UJ, 029-15-0007UK, 029-15-0007UL, 029-15-0007UM, 029-15-0007UN, 029-15-0007UO, 029-15-0007UP, 029-15-0007UQ, 029-15-0007UR, 029-15-0007US, 029-15-0007UT, 029-15-0007UU, 029-15-0007UV, 029-15-0007UW, 029-15-0007UX, 029-15-0007UY, 029-15-0007UZ, 029-15-0007VA, 029-15-0007VB, 029-15-0007VC, 029-15-0007VD, 029-15-0007VE, 029-15-0007VF, 029-15-0007VG, 029-15-0007VH, 029-15-0007VI, 029-15-0007VJ, 029-15-0007VK, 029-15-0007VL, 029-15-0007VM, 029-15-0007VN, 029-15-0007VO, 029-15-0007VP, 029-15-0007VQ, 029-15-0007VR, 029-15-0007VS, 029-15-0007VT, 029-15-0007VU, 029-15-0007VV, 029-15-0007VW, 029-15-0007VX, 029-15-0007VY, 029-15-0007VZ, 029-15-0007WA, 029-15-0007WB, 029-15-0007WC, 029-15-0007WD, 029-15-0007WE, 029-15-0007WF, 029-15-0007WG, 029-15-0007WH, 029-15-0007WI, 029-15-0007WJ, 029-15-0007WK, 029-15-0007WL, 029-15-0007WM, 029-15-0007WN, 029-15-0007WO, 029-15-0007WP, 029-15-0007WQ, 029-15-0007WR, 029-15-0007WS, 029-15-0007WT, 029-15-0007WU, 029-15-0007WV, 029-15-0007WW, 029-15-0007WX, 029-15-0007WY, 029-15-0007WZ, 029-15-0007XA, 029-15-0007XB, 029-15-0007XC, 029-15-0007XD, 029-15-0007XE, 029-15-0007XF, 029-15-0007XG, 029-15-0007XH, 029-15-0007XI, 029-15-0007XJ, 029-15-0007XK, 029-15-0007XL, 029-15-0007XM, 029-15-0007XN, 029-15-0007XO, 029-15-0007XP, 029-15-0007XQ, 029-15-0007XR, 029-15-0007XS, 029-15-0007XT, 029-15-0007XU, 029-15-0007XV, 029-15-0007XW, 029-15-0007XX, 029-15-0007XY, 029-15-0007XZ, 029-15-0007YA, 029-15-0007YB, 029-15-0007YC, 029-15-0007YD, 029-15-0007YE, 029-15-0007YF, 029-15-0007YG, 029-15-0007YH, 029-15-0007YI, 029-15-0007YJ, 029-15-0007YK, 029-15-0007YL, 029-15-0007YM, 029-15-0007YN, 029-15-0007YO, 029-15-0007YP, 029-15-0007YQ, 029-15-0007YR, 029-15-0007YS, 029-15-0007YT, 029-15-0007YU, 029-15-0007YV, 029-15-0007YW, 029-15-0007YX, 029-15-0007YY, 029-15-0007YZ, 029-15-0007ZA, 029-15-0007ZB, 029-15-0007ZC, 029-15-0007ZD, 029-15-0007ZE, 029-15-0007ZF, 029-15-0007ZG, 029-15-0007ZH, 029-15-0007ZI, 029-15-0007ZJ, 029-15-0007ZK, 029-15-0007ZL, 029-15-0007ZM, 029-15-0007ZN, 029-15-0007ZO, 029-15-0007ZP, 029-15-0007ZQ, 029-15-0007ZR, 029-15-0007ZS, 029-15-0007ZT, 029-15-0007ZU, 029-15-0007ZV, 029-15-0007ZW, 029-15-0007ZX, 029-15-0007ZY, 029-15-0007ZZ
- THE HORIZONTAL DATUM IS VCS 88. SEE SHEET C-4.
- THE TOPOGRAPHY SHOWN HEREON WAS FIELD VERIFIED BY VIKI VIRMANA, LLC AND THE CONTOUR INTERVAL IS TWO (2) FEET. SEE SHEET C-3, NOTE 1 FOR SOURCE OF TOPOGRAPHIC INFORMATION.
- THE BOUNDARY INFORMATION WAS PREPARED BY VIKI VIRMANA, LLC.
- THE PROPERTY IS LOCATED IN THE NORTH BAY DISTRICT OF THE TYBONS CENTRAL 7 DISTRICT OF THE TYBONS CORNER URBAN CENTER OF THE FAIRFAX COMPREHENSIVE PLAN.
- PUBLIC WATER AND SEWAGE TRENCHES ARE AVAILABLE AND WILL BE EXTENDED TO SERVE THE DEVELOPMENT.
- STORM WATER MANAGEMENT AND BMP FACILITIES FOR THE PROPOSED DEVELOPMENT WILL BE PROVIDED ON SITE AND WILL BE CONSTRUCTED AS A BELOW GROUND SYSTEM. HOWEVER, THE APPLICANT RESERVES THE RIGHT TO PROVIDE TEMPORARY STORM WATER MANAGEMENT AND BMP FACILITIES ON SITE DURING PHASE CONSTRUCTION OF THE OVERALL DEVELOPMENT. IN EITHER CASE AN ASSOCIATE STORM DRAINAGE SYSTEM WILL BE PROVIDED IN ACCORDANCE WITH THE PUBLIC UTILITIES MANUAL, STANDARDS AND DESIGN CRITERIA OF FAIRFAX COUNTY. THESE FACILITIES MAY INCLUDE, BUT ARE NOT LIMITED TO, INFILTRATION FACILITIES OR UNDERGROUND TRENCHES. SUCH TEMPORARY FACILITIES SHALL BE DESIGNED AND CONSTRUCTED TO MEET THE CURRENT FAIRFAX COUNTY SWPPP STANDARDS IN EFFECT AT THE TIME OF CONSTRUCTION FOR THE SPECIFIED FACILITY. NO DRY SWM POND FACILITIES ARE PROPOSED AS PERMANENT OR INTERIM FACILITIES.
- TO THE BEST OF OUR KNOWLEDGE, NO DRIVE SETBACKS OR STRUCTURES MARKING A BURIAL SITE ARE PRESENT ON THE SUBJECT PROPERTY.
- TO THE BEST OF OUR KNOWLEDGE, NO HAZARDOUS OR TOXIC SUBSTANCES ARE KNOWN TO EXIST ON THE SUBJECT PROPERTY.
- THERE ARE NO EXISTING RESIDENTIAL STRUCTURES ON THE PARCELS.
- THE ENTIRE SUBJECT PROPERTY IS LOCATED WITHIN AN R2 ZONE, NO FLOODPLAIN, R.P.A. OR ENVIRONMENTAL QUALITY CORRIDOR CURRENTLY EXIST ON THIS PROPERTY.
- DEVELOPMENT WILL COMMENCE UPON COMPLETION OF ALL REQUIRED FAIRFAX COUNTY PLAN PROCESSING AND APPROVALS. ADDITIONALLY, THE TIMING OF THE DEVELOPMENT REMAINS SUBJECT TO CHANGE DUE TO PROPRIETARY, ESTATE MARKET FACTORS.
- THE DEVELOPMENT CONFORMS TO THE PROVISIONS OF ALL APPLICABLE STANDARDS WITH THE EXCEPTION OF WAIVERS AND MODIFICATIONS REQUESTED ON THIS SHEET AND AS REFLECTED ON SHEET S-1.
- LANDSCAPED OPEN SPACE AREAS SHOWN HEREON MAY BE MODIFIED, IN CONFORMANCE WITH ASSOCIATED PROFFERS, AT THE TIME OF FINAL DEVELOPMENT PLAN.
- THE BUILDING FOOTPRINTS, GARAGES, PLAZAS, PARKS AND ROADS REPRESENTED HEREON ARE APPROXIMATE AND ARE BEING PROVIDED FOR ILLUSTRATIVE PURPOSES ONLY. THESE FEATURES MAY BE ALTERED, MOVED OR INCREASED OR DECREASED IN SIZE OR QUANTITY AT THE TIME OF FINAL DEVELOPMENT PLAN WITHOUT THE NEED TO AMEND THE COP SO LONG AS THE APPROVED PAR AND LOT COVER DO NOT EXCEED THE NUMBERS PROVIDED IN THE CHARTS ON SHEET C-3. THE BUILD TO LINES ESTABLISHED CANNOT BE REDUCED.
- ADDITIONAL SITE FEATURES SUCH AS PLAZAS, GAZEBOS, FENCING CORNERS, TRELLISES, ENTRANCE SIGNS, LIGHTS AND/OR WALLS NOT REPRESENTED HEREON MAY BE PROVIDED AT THE TIME OF FINAL DEVELOPMENT PLAN.
- SEE LANDSCAPE DRAWINGS FOR PROPOSED RIGHT-OF-WAY DEDICATION LINES (SHEETS L-16 THROUGH L-23).
- THE PROPOSED DEVELOPMENT ON THE SUBJECT PROPERTY WILL NOT HAVE ANY ADVERSE EFFECT ON ADJACENT OR NEIGHBORING PROPERTIES.
- THE PROJECT WILL MEET THE PARKING REQUIREMENTS AS SET FORTH IN THE PTC ZONE PER ARTICLE 8 OF THE ZONING ORDINANCE. REQUIRED PARKING SHALL BE PROVIDED IN A COMBINATION OF ABOVE AND BELOW GRADE PARKING STRUCTURES AND ALONG PRIVATE DRIVE AND GARAGE DOCS. THE NUMBER OF PARKING SPACES HEREON WILL BE ADJUSTED AT SITE PLAN BASED ON THE ACTUAL AMOUNT OF GFA FOR OFFICE, HOTEL, RESIDENTIAL AND/OR SECONDARY USE.
- SIGNAGE WILL BE PROVIDED IN ACCORDANCE WITH THE ZONING ORDINANCE OR A COMPREHENSIVE SIGN PLAN.
- THERE ARE NO RECORDS ABSENT ON NATURAL FEATURES ON THIS SITE WORTHY OF DELINEATION.
- TRANSITIONAL SCREENING AGAINST ADJACENT PROPERTIES IS NOT REQUIRED AS SET FORTH IN Z.O. SEC. 13-202 AND THE SUPPLEMENTAL SCREENING AND BARBER MATRIX.
- APPLICANT RESERVES THE RIGHT TO PROVIDE INTERIOR SURFACE PARKING, IN CONFORMANCE WITH SECTION 8-208 D OF THE ZONING ORDINANCE, IN THOSE AREAS RESERVED FOR FUTURE DEVELOPMENT AS THE PHASING OF DEVELOPMENT PROGRESSES.
- THERE ARE NO EXISTING UTILITY ABOVE GRADE BARREMENTS HAVING A WIDTH OF TWENTY (20) FEET OR MORE, THERE ARE NO MAJOR UNDERGROUND UTILITY BARREMENTS LOCATED ON THIS SITE.
- APPLICANT RESERVES THE RIGHT TO DETERMINE THE FINAL GFA OF EACH BUILDING WITH THE FDP, AS THE GFA MAY BE FURTHER REFINED AT SITE PLAN.
- THE SUBJECT PROPERTY MAY BE SUBDIVIDED IN THE FUTURE FOR THE PURPOSE OF SALE, JOINT VENTURE, OR PHASING. ANY PROPOSED SUBDIVISION SHOWN ON COP MAY BE MODIFIED AS NECESSARILY BY THE DIRECTOR OF DPWS WITHOUT REQUIRING MODIFICATION OF THE COP PLAN OR PRELIMINARY PLAN.
- ACCESSORY USES AS IDENTIFIED UNDER ARTICLE 8 OF THE ZONING ORDINANCE MAY BE PROVIDED WITHOUT REQUIRING MODIFICATION OF THE COP, THESE USES MAY INCLUDE BUT ARE NOT LIMITED TO THE FOLLOWING:
 - ACCESSORY STRUCTURES
 - FLAG POLES
 - FENCES
 - CORNICES, CANOPIES, AWNINGS, EAVES AND OTHER SIMILAR FEATURES
 - OPEN FIRE BALCONIES, FIRE ESCAPES, UNCOVERED STAIRS AND STOOPS
 - AIR CONDITIONERS, HEAT PUMPS, EXHAUST GENERATORS AND OTHER SIMILAR EQUIPMENT
 - BAY WINDOWS, ORNLS AND ORNAMENTS
 - ACCESSIBILITY IMPROVEMENTS AND LAY ANY PARKING SPACE IN FRONT OF THE PROPOSED BUILDINGS
 - OUTDOOR PATIOS NOT OVER (4) FOUR FEET IN HEIGHT ABOVE THE FINISHED GRADE
 - DECORATIVE WALLS FOR LANDSCAPING NOT OVER 3 FEET IN HEIGHT ABOVE THE FINISHED GRADE
 - OUTDOOR CAVE BEATING AREAS (TO BE SHOWN ON THE FDP)
- ALL PRIVATE STREETS SHALL BE DESIGNED TO MEET P.M. CRITERIA. THE DESIGN ASPECT SHALL BE DETERMINED AT TIME OF FDP.
- PHASING MAY BE UNDERTAKEN IN ANY SEQUENTIAL ORDER (STAND ALONE OPTION).
- AREAS OF SHARED PARKING, MANAGED PARKING OR TANDUM PARKING SHALL BE DEMONSTRATED ON THE FDP.
- FINAL LIMITS OF CLEARING AND GRADING SHALL BE DETERMINED AT SITE PLAN. LIMITS OF CLEARING AND GRADING MAY NOT NECESSARILY INCLUDE WORK WITHIN THE RIGHT-OF-WAY, IF SEPARATE P 1 PLANS HAVE BEEN SUBMITTED. RETAINING WALL LOCATIONS AND HEIGHTS SHALL BE DETERMINED AT SITE PLAN.
- ALL PAVEMENT MARKINGS, INCLUDING BUT NOT LIMITED TO CROSSWALKS, LAKE USE, PARKING, ETC. SHOWN ARE SUBJECT TO VDOT REVIEW & APPROVAL.
- PARKING LANES SHOWN ARE SUBJECT TO VDOT REVIEW & APPROVAL.
- ARCHITECTURAL BUILDING AND LANDSCAPE ARCHITECTURAL FEATURES AND ILLUSTRATIONS PROVIDED HEREON ARE SUBJECT TO CHANGE WITH FDP AND SITE PLAN. THE EXACT LOCATION, SHAPE AND SIZE OF THE PROPOSED BUILDINGS AND PARKING STRUCTURES SHOWN ON THE GRAPHIC ARE SUBJECT TO ADJUSTMENT AND REFINEMENT WITH FINAL, ENGINEERING AND ARCHITECTURAL DESIGN SO LONG AS THEY REMAIN IN SUBSTANTIAL CONFORMANCE WITH THE REPRESENTATIONS ON THE APPROVED COP.
- TREE ROOT BARRIERS WILL BE PROVIDED FOR TREE PITS ADJACENT TO TRAVEL WAYS.
- ALL EXISTING SIGNAL MODIFICATION OR NEW SIGNALS ARE SUBJECT TO VDOT APPROVAL.
- ON-STREET HANDICAPPED SPACE LOCATION SUBJECT TO VDOT REVIEW AT SITE PLAN.
- THE APPLICANT RESERVES THE RIGHT TO PROVIDE INTERNAL LOADING SPACES (WITHIN BUILDINGS) IN ADDITION TO THOSE SHOWN ON THE COP. PROVIDED THEY DO NOT SUBSTANTIALLY IMPACT THE STREETSCAPE SHOWN HEREON OR SUBSTANTIALLY INCREASE THE WIDTH OF THE LOADING ENTRANCE.

PFM WAIVERS REQUESTED

- MODIFICATION OF SECTION 13-010 PLANTING:
 - REDUCTION IN THE MINIMUM PLANTING AREA FROM EIGHT (8) FEET, TO A MINIMUM OF FOUR (4) FE

PARKING NOTES

Primary Use	Parking Permitted/Provided < 1/4 Mile to Metro		Parking Permitted/Provided 1/4 - 1/2 Mile to Metro	
	Min	Max	Min	Max
Office	0	1.8/1,000 GFA	0,0	2.0/1,000 GFA
Hotel	0	1.0 / key	0,0	1.0 / key
Retail/Service	0	0/1000 GFA, excluding the first 5,000 GFA	0	0/1000 GFA, excluding the first 5,000 GFA
Multifamily Res.				
0-1 BR	1 / unit	1.3A unit	1.5A unit	1.5A unit
2 BR	1 / unit	1.6A unit	1.8A unit	1.8A unit
3 BR	1 / unit	1.9A unit	2.1A unit	2.1A unit

- Parking will be provided in accordance with Section 8-009 of the Zoning Ordinance, which is restated here for the primary uses on the CDP. At the time of final site plan, parking will be provided based on the specific uses, GFA, number of units, mix of use.
- For the small amount of land area located more than 1/4 mile from the metro station, parking will be provided in keeping with the rates for areas between 1/4 and 1/2 mile of a metro station.
- Parking spaces in excess of the maximum parking rates set forth in the Zoning Ordinance may be provided in the early phases of development, provided that at the build-out, the maximum parking rates are not exceeded.

LAND USE MIX

Use	GFA Ranges By Use	Development Scenario	Percentage of Total [1]
Office	1,333,840 - 1,995,610	1,867,000	44%
Hotel	0 - 640,000	250,000	6%
Residential	1,175,000 - 2,500,000	1,785,000	41%
Retail	143,000 - 430,000	368,000	9%
TOTAL	2,651,840 - 4,250,000	4,250,000	100%

[1] Percentages are based on one potential development scenario.

INTENSITY TIERS AND FAR [1]

Intensity Tiers	Land Area and Density Credits	GFA	FAR
1 < 1/4 mile	263,796 SF	~900,000 [2]	3.42
2 1/4 - 1/2 mile	467,397 SF	~2,750,000 [3]	5.89
3 1/2 - 1/2 mile	67,051 SF	~600,000 [4]	8.95
TOTAL	798,244 SF	4,250,000	5.33

- Intensity calculations are based on one development scenario and are for illustrative purposes only.
- Includes Buildings F1, F2 and F3, and a portion of Building E2.
- Includes Buildings B2, C1, C2, C3, C4, E1 and portions of Buildings A1, A2, A3, B1, B3 and E2.
- Includes portions of Building A1, A2, A3, B1, and B3.

NOTES

- The heights of individual buildings "shown" on the CDP are conceptual and may be adjusted provided the height for an individual building is not less than the minimum height or greater than the maximum height listed for that building. Building height is measured from average grade and does not include mechanical penthouses and architectural features. See proffers.
- The numbers of stories are conceptual and may be adjusted at FDP and final site plan.
- Retail uses include any use permitted in PTC, exclusive of office, hotel and residential uses. Retail uses may include high trip generating uses as set forth in the proffers. GFA associated with residential buildings includes both dwelling units and associated amenity spaces.
- Building B2 may be developed as: 1) a residential building or 2) a mixed hotel/residential building, provided the minimum and maximum building heights are maintained and a minimum GFA of 340,000 SF and a maximum GFA of 550,000 SF are provided.
- Building C1 may be developed as: 1) a hotel building with or without retail/service uses; 2) a residential building with retail/service uses; or 3) any combination of these uses, provided the minimum and maximum building heights are maintained and a minimum GFA of 125,000 SF and a maximum GFA of 350,000 SF are provided.
- 17,000 GFA of proposed public facility space will be provided in Building E2 in compliance with the proffers. In accordance with the Comprehensive Plan, the floor area of a public facility does not count toward a development's allowable GFA and FAR and thus this 17,000 SF is not included in the building GFA or overall GFA or FAR.
- Includes 595,840 GFA of existing office uses in Buildings F1, F2, and F3; up to 30,000 square feet of which may be converted to retail use.
- Twenty percent (20%) of all dwelling units will be Workforce Dwelling Units (WDUs). The actual number of WDUs will be determined at final site plan based on the total number of dwelling units provided.
- Additional loading may be provided as identified at time of FDP and/or final site plan provided the revision does not negatively impact the streetscape or substantially increase the width of the loading entrance.
- The minimum GFA for the Property is 2,653,840 and the maximum GFA is 4,250,000. The sum of the maximum GFA for the office, hotel, residential and retail uses is greater than the overall maximum GFA for the Property. The Applicant reserves the right to construct a mix of uses such that the minimum and maximum GFA for each building is maintained, the maximum GFA for office does not exceed 1,995,610 and the maximum GFA for the Property does not exceed 4,250,000.

DEVELOPMENT TABULATIONS

Block/ Building	Building Height (ft.) [1]			Stories [2]	Use [3]	GFA by Use		Dwelling Units	WDUs [8]	Loading [9]
	Min.	Max.	Shown			Min.	Max.			
Block A										
A Retail	See Proffers				retail	25,000 - 110,000				2
A1	280	340	340	28 - 34	residential	365,000 - 515,000		350 - 390	70 - 78	1
A2	250	310	310	22 - 31	residential	150,000 - 310,000		100 - 170	20 - 34	1
A3 Base	50	103	93	5 - 9						
A3 Mid-Rise	120	160	160	12 - 16	residential	100,000 - 170,000		110 - 150	22 - 30	1
Block B										
B Retail See Proffers										
B1	255	310	290	25 - 31	residential	360,000 - 520,000		335 - 425	67 - 85	1
B2 [4]	315	395	375	28 - 38	residential	340,000 - 550,000		300 - 400	60 - 80	1
					hotel	220,000 - 290,000				
					residential	120,000 - 260,000		100 - 150	20 - 30	
B3	50	100	85	5 - 9	residential	80,000 - 115,000		80 - 125	18 - 25	1
Block C										
C1 [5]	110	275	202	10 - 25	hotel	125,000 - 350,000				1
					retail	0 - 23,000				
	110	250	n/a	10 - 25	residential	125,000 - 350,000		100 - 350	20 - 70	
					retail	8,000 - 23,000				
	160	345	n/a	16 - 35	hotel	100,000 - 200,000				
					residential	100,000 - 225,000		100 - 225	20 - 45	
					retail	0 - 8,000				
C2	80	140	110	3 - 8	retail	70,000 - 160,000				1
C3	175	300	264	12 - 23	office	250,000 - 450,000				1
					retail	4,000 - 53,500				
C4	18	23	18	1	retail	750 - 1,500				
Block E										
E1	150	400	312	11 - 38	office	250,000 - 615,000				2
					retail	10,000 - 21,000				
E2	175	400	204	14 - 38	office	260,000 - 610,000				2
					retail	10,000 - 16,000				
					public facility [6]	17,000				
Block F										
Existing F1			156	14	office					4
Existing F2			104	8	office	573,840 - 595,840 [7]				
Existing F3			113	9	office					
F1, F2, F3					retail	0 - 30,000 [7]				
TOTAL FOR ALL BLOCKS [10]						2,651,840 - 4,250,000	1,086 - 2,010	217 - 402	20	
					office	1,333,840 - 1,995,610				
					hotel	0 - 640,000				
					residential	1,175,000 - 2,500,000				
					retail [3]	143,000 - 430,000				
					public facility [6]	17,000				

VIFA
 ENGINEERS & PLANNERS & ARCHITECTS & SURVEYORS & ESTIMATORS & DESIGN
 VIFA VIRGINIA, LLC
 1000 COMMONWEALTH AVENUE, SUITE 2100
 FARMAX COUNTY, VIRGINIA 22024
 (703) 444-7700
 WWW.VIFA.COM

THE BORO
 PROVIDENCE DISTRICT
 FARMAX COUNTY, VIRGINIA

CDP TABULATIONS

VIFA REVISIONS
 NOVEMBER 17, 2010
 JUNE 30, 2011
 JULY 18, 2012
 OCTOBER 22, 2012
 FEBRUARY 16, 2013
 JULY 1, 2013
 APRIL 7, 2014
 FEBRUARY 20, 2015
 MAY 22, 2015
 JULY 22, 2015
 AUGUST 28, 2015

DATE: MAY 5, 2010
 DES. RRC DWL ARC
 SCALE: N/A
 PROJECT/FILE NO. W021X
 SHEET NO. C-2A

NOTES:

- THE SUBJECT PROPERTIES SHOWN HEREON ARE IDENTIFIED AS FAIRFAX COUNTY TAX MAP NO. 029-3-13-0007A1, 029-3-13-0007B1, 029-3-13-0007C1, 029-3-13-0007E1, 029-3-13-0008A1, 029-3-13-0008E1, 029-3-13-0009F1, AND 029-3-13-0009G1 AND ARE ZONED C-4.
- THE HORIZONTAL DATUM SHOWN HEREON IS REFERENCED TO VIRGINIA COORDINATE SYSTEM OF 1983 (VCS 83) AND IS BASED ON A GPS SURVEY PERFORMED BY VWA ON APRIL 8, 2010.
- THE INFORMATION SHOWN HEREON IS A COMPILATION OF RECORD INFORMATION, GIS DATA AND A FIELD RUN SURVEY.
- THE PROPERTIES SHOWN HEREON ARE NOW IN THE NAME OF LEIDOS ENTERPRISE PROPERTIES, LLC AS RECORDED IN DEED BOOK 23298 AT PAGE 1228, TWO SOLUTIONS PLAZA 1, L.L.C. AS RECORDED IN DEED BOOK 23298 AT PAGE 1228, AND TWO SOLUTIONS PLAZA 3, L.L.C. AS RECORDED IN DEED BOOK 23298 AT PAGE 1228 ALL AMONG THE LAND RECORDS OF FAIRFAX COUNTY, VIRGINIA.
- THE PROPOSED IMPROVEMENTS SHOWN HEREON, ASSOCIATED WITH THE OVERHEAD ROUTE #7 PEDESTRIAN CONNECTION AND TYPERS CENTRAL 7 STATION ARE BASED ON PLANS PREPARED BY WATA (SHRILAKSHI EXTENSION TO BENKE AVE TYPERS CENTRAL 7 STATION MASTER SITE PLAN DATED: 7/20/07) SHEET NO. MD-A-011.
- TOPOGRAPHIC INFORMATION SHOWN HEREON IS BASED ON AN AERIAL SURVEY PROVIDED TO VWA, INC. BY AERIO-METRO AND BASED ON CONTROL PHOTOGRAPHS DATED MARCH 2002 AT 1:10:00, AND SUPPLEMENTAL FIELD TOPOGRAPHY FILED RECORDED BY VWA, INC. OCTOBER 7, 2010, AND SUPPLEMENTAL FIELD TOPOGRAPHIC SURVEYS PERFORMED BY VWA VIRGINIA, L.L.C. LAST FIELD DATE 3/29/2014. THE VERTICAL DATUM IS REFERENCED TO NATIONAL GEODETIC VERTICAL DATUM OF 1988 (NGVD 88). CONTROL INTERVAL IS 3.27.
- THE EXISTING CONDITIONS SURVEY WAS COMPLETED UNDER AND IN DIRECT RESPONSIBLE CHARGE OF FRANKLIN E. JENKINS, L.S. FROM AN ACTUAL GROUND SURVEY MADE UNDER HIS SUPERVISION THAT THE ORIGINAL DATA WAS OBTAINED ON MARCH 2002, AND THAT THE SURVEY MEETS MINIMUM HORIZONTAL AND VERTICAL ACCURACY STANDARDS UNLESS OTHERWISE NOTED.

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHD BND	CHORD
C1	38.00'	28.00'	87.00°	28.00'	28.00' E/W	38.00'
C2	21.00'	28.00'	48.113°	11.11'	27.92324' W	20.41'
C3	148.72'	90.00'	188.013°	48.624'	318.324' W	148.47'
C4	104.36'	110.00'	171.00°	33.82'	104.32' E/W	104.32'
C5	110.82'	110.82'	90.00°	35.44'	102.92' E/W	110.82'
C6	78.31'	117.82'	37.82°	26.77'	108.57' E/W	78.32'
C7	81.42'	88.00'	57.00°	28.30'	101.56' E/W	80.50'

PROPERTY TABULATION:

PARCEL	AREA	OR	DENSITY ZONE	PROPOSED ZONE
* PARCEL A1	48,418 SQ. FT.	OR 1.11147 AC.	C-4	PTC
* PARCEL A2	83,854 SQ. FT.	OR 1.88588 AC.	C-4	PTC
* PARCEL B	171,368 SQ. FT.	OR 3.91870 AC.	C-4	PTC
* PARCEL C	172,209 SQ. FT.	OR 3.92208 AC.	C-4	PTC
* PARCEL E	220,897 SQ. FT.	OR 5.07111 AC.	C-4	PTC
* PARCEL F1	52,524 SQ. FT.	OR 1.19088 AC.	C-4	PTC
* PARCEL F2	38,437 SQ. FT.	OR 0.87948 AC.	C-4	PTC
* PARCEL F3	83,552 SQ. FT.	OR 1.91417 AC.	C-4	PTC

TOTAL APPLICATION AREA 788,255 SQ. FT. OR 18.10662 AC.

DENSITY CREDITS:

DENSITY CREDIT	2,243 SQ. FT.	OR 0.05149 AC.	(D.B. 14079 PG. 687)
DENSITY CREDIT	2,321 SQ. FT.	OR 0.05328 AC.	(D.B. 21477 PG. 1085)
DENSITY CREDIT	4,825 SQ. FT.	OR 0.11077 AC.	(D.B. 21477 PG. 1085)
TOTAL AREA DENSITY CREDITS	9,389 SQ. FT.	OR 0.21554 AC.	

TOTAL APPLICATION AREA INCLUDING DENSITY CREDITS 788,244 SQ. FT. OR 18.32818 AC.



VWA
 VIRGINIA WATER AND WASTE ASSOCIATION
 1100 GREENSBORO PIKE, SUITE 200, FARMERSVILLE, VIRGINIA 22101
 (703) 441-7777
 WWW.VWA.COM

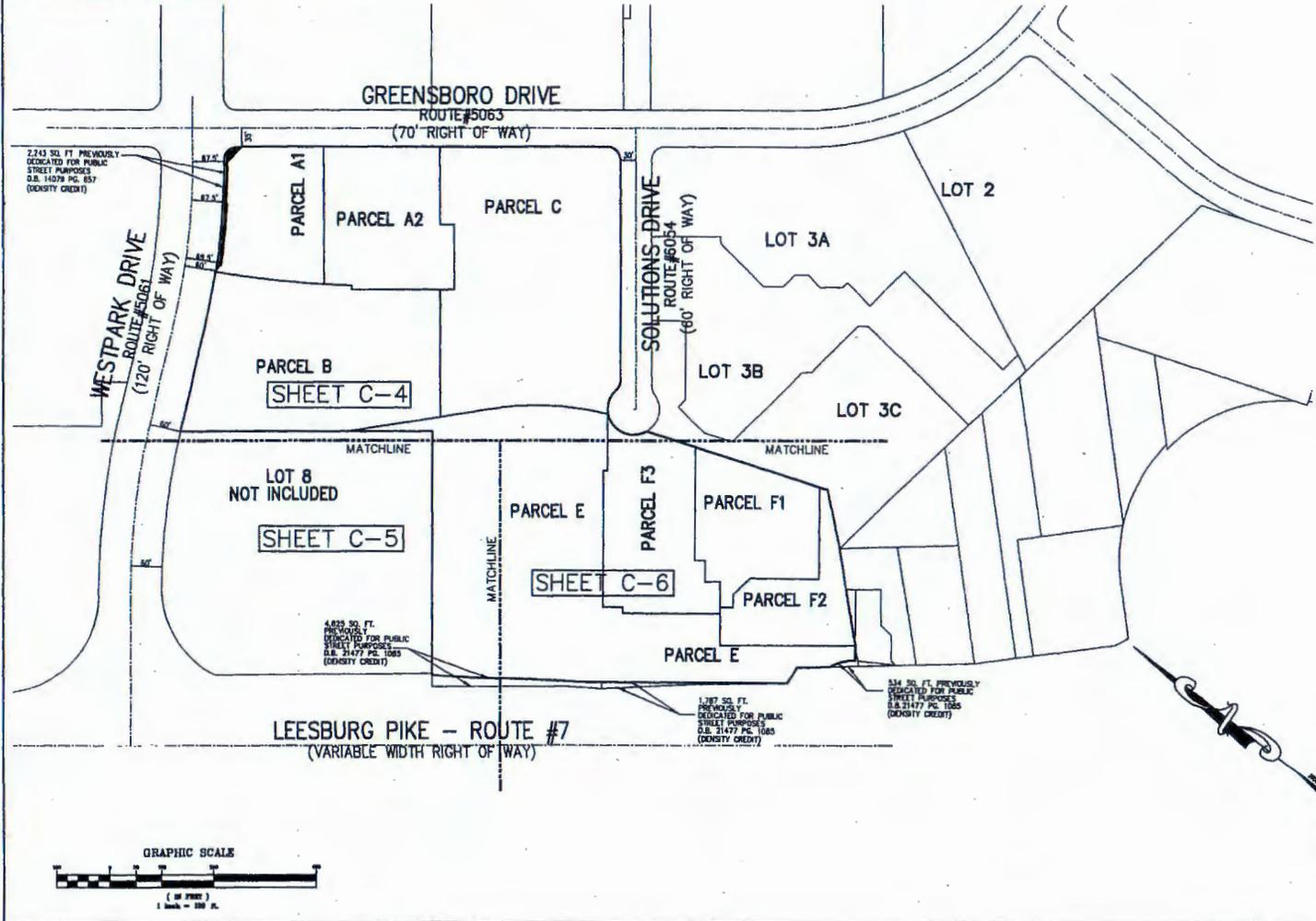
THE BORO
 PROVIDENCE DISTRICT
 FAIRFAX COUNTY, VIRGINIA

EXISTING CONDITIONS

VWA REVISIONS

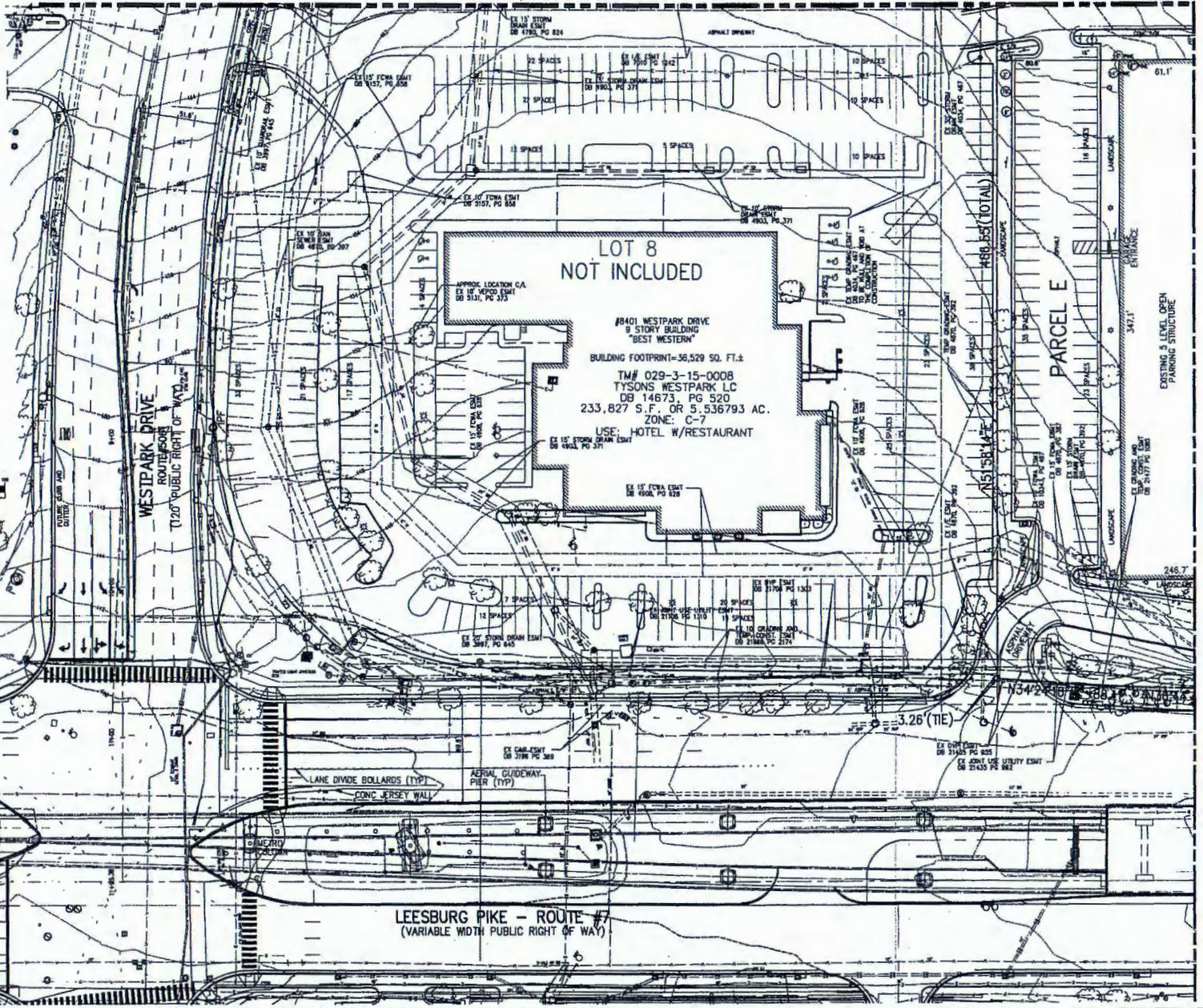
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FEBRUARY 20, 2015	
5/22/2015	
JULY 22, 2015	
AUGUST 28, 2015	

DATE: OCT. 1, 2010
 DES. JMS DWM LMK
 SCALE: 1" = 100'
 PROJECT/FILE NO. 8021X-SV
 SHEET NO. C-3



- LEGEND:**
- BUILDING LINE
 - ELECTRICAL CONDUIT
 - EDGE OF PAVEMENT
 - FENCE LINE
 - NATURAL GAS CONDUIT
 - OVERHEAD WIRES
 - TELEPHONE/COMMUNICATIONS CONDUIT
 - PROPERTY LINES
 - PUBLIC UTILITIES EXHIBITS
 - SANITARY SEWER CONDUIT
 - STORM DRAIN CONDUIT
 - WATER CONDUIT
 - STORM DRAIN MANHOLE
 - CATCH BASIN RW
 - PELETS
 - CURB INLET
 - SANITARY MANHOLE
 - SANITARY CLEANOUT
 - WATER METER
 - WATER MANHOLE
 - WATER VALVE
 - FIRE HYDRANT
 - FIRE DEPARTMENT CONNECTION
 - IRRIGATION CONTROL VALVE
 - WELL
 - WSO
 - T-SIGN POST
 - WOOD POST
 - SIGN PIPE FOUND
 - REBAR FOUND
 - PINNAC FOUND
 - DRILL HOLE FOUND
 - BENCHMARK
 - ELECTRICAL MANHOLE
 - ELECTRICAL JUNCTION BOX
 - CITY POLE
 - LIGHT POLE
 - GROUND LIGHT
 - UTILITY POLE
 - PHONE MANHOLE
 - PHONE PEDESTAL
 - CABLE TELEVISION PEDESTAL
 - GAS VALVE
 - GAS MANHOLE
 - GAS MANNER
 - HEATING CONTROL BOX
 - TRAFFIC SIGNAL POLE
 - TREE
 - HANDICAP
 - PARKING METER
 - HVAC UNIT
 - UNKNOWN UTILITY MANHOLE
 - BOLLARD
 - COLUMN
 - CENTERLINE
 - CURB AND GUTTER
 - TRANSFORMER
 - ASPHALT
 - EASEMENT
 - BLDG. BUILDING
 - RCP REINFORCED CONCRETE PIPE
 - CORRUGATED METAL PIPE
 - R/W RIGHT-OF-WAY
 - H/C HANDICAP RAMP
 - BTD BOOK
 - PAGE
 - TRANSFORMER
 - BRL BUILDING RESTRICTION LINE

MATCHLINE - SEE SHEET C-4



MATCHLINE - SEE SHEET C-6

VIA
 ARCHITECTS & PLANNERS
 1000 UNIVERSITY BLVD., SUITE 1000
 FAIRFAX COUNTY, VA 22031
 (703) 441-7800 FAX (703) 781-7787
 WWW.VIA-CORP.COM

THE BORO
 PROVIDENCE DISTRICT
 FAIRFAX COUNTY, VIRGINIA

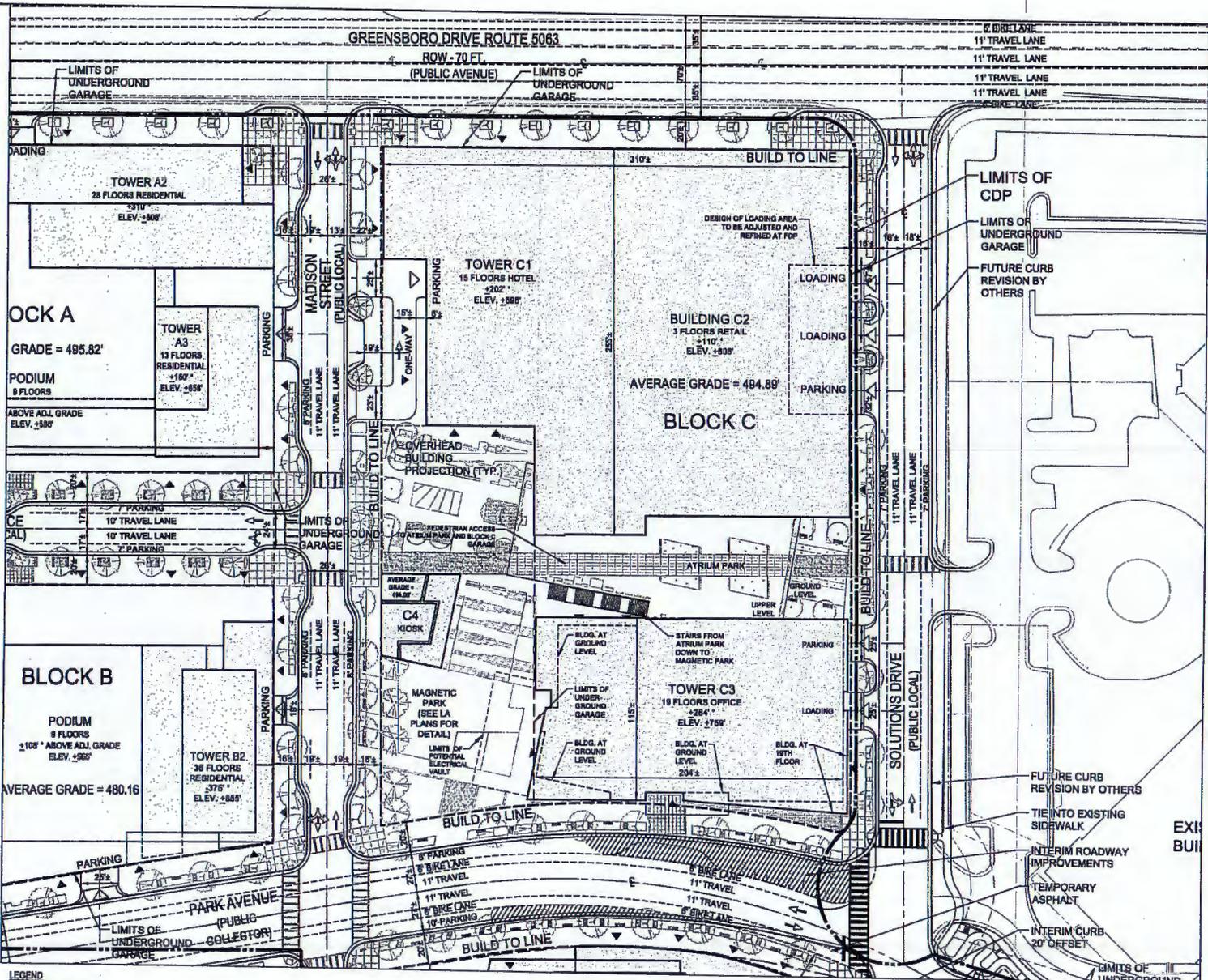
EXISTING CONDITIONS

VIA REVISIONS

NOV. 17, 2010
JUNE 30, 2011
JULY 18, 2012
OCTOBER 22, 2012
FEBRUARY 16, 2013
JULY 1, 2013
APRIL 7, 2014
FEBRUARY 20, 2015
5/22/2015
JULY 22, 2015
AUGUST 28, 2015

DATE: OCT. 1, 2010
DES. AM DWN LMG
SCALE: 1" = 30'
PROJECT/FILE NO. 6021A-SV
SHEET NO. C-5





VIVA

ENGINEER & PLANNER IN LANDSCAPE ARCHITECTURE & INFRASTRUCTURE & SUSTAINABLE DESIGN

VIVA, VIRGINIA, LLC
1000 COMMONWEALTH BLVD., SUITE 200, FARMERS MARKET CENTER, MANASSAS, VIRGINIA, 20108
TEL: 703.441.5555 FAX: 703.441.5555
WWW.VIVA.COM

THE BORO
PROVIDENCE DISTRICT
FAIRFAX COUNTY, VIRGINIA

CONCEPTUAL DEVELOPMENT PLAN
BLOCK C

VIVA REVISIONS

NOVEMBER 17, 2010
JUNE 30, 2011
JULY 18, 2012
OCTOBER 22, 2012
FEBRUARY 13, 2013
JULY 1, 2013
APRIL 7, 2014
FEBRUARY 20, 2015
MAY 22, 2015
JULY 27, 2015
AUGUST 28, 2015

DATE: MAY 4, 2016

DESIGNER	DRW
RC	ARC

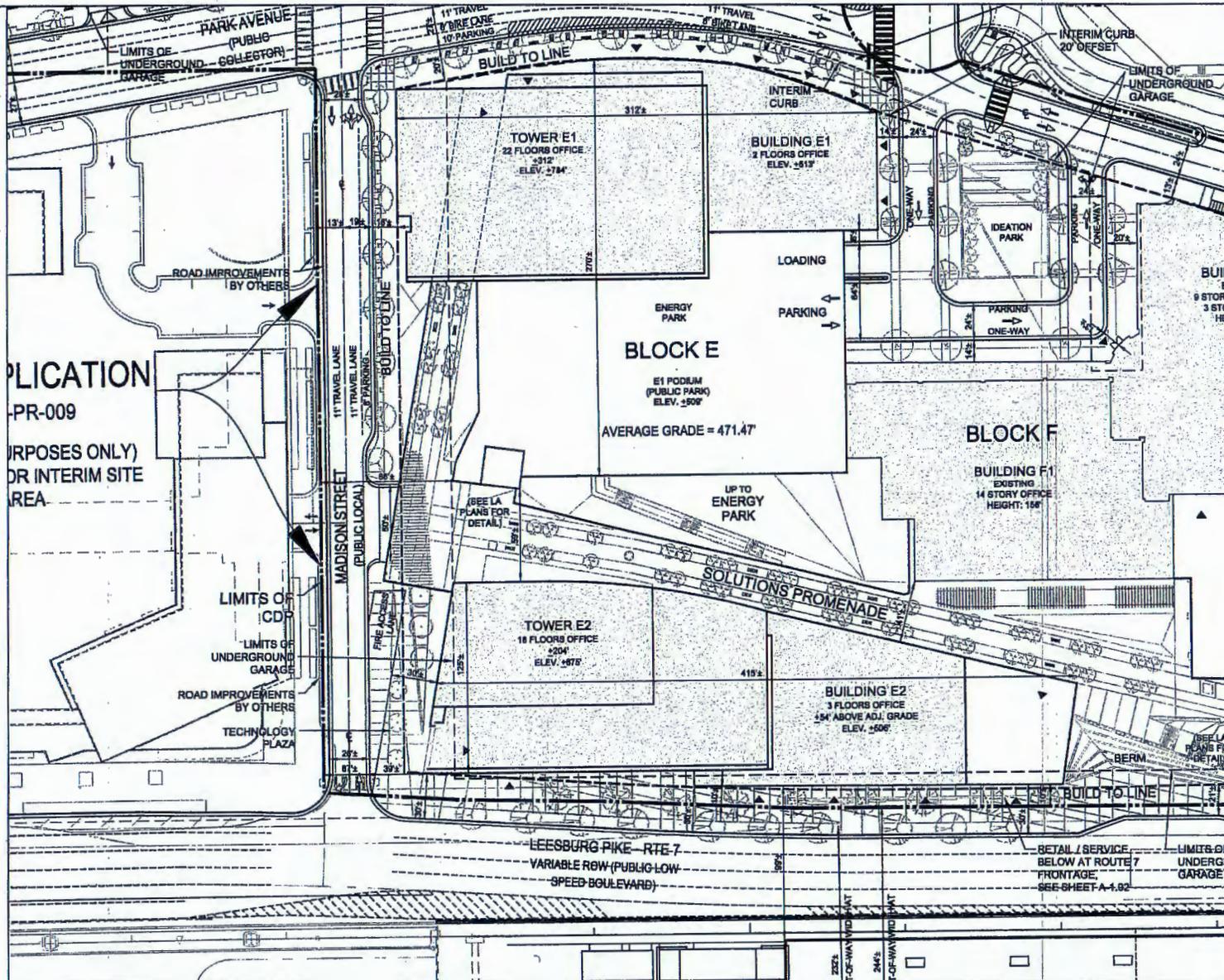
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PROJECT/FILE NO. V6021X

SHEET NO. C-7C



VIVA PROJECTS, VIRGINIA, LLC, 1000 COMMONWEALTH BLVD., SUITE 200, FARMERS MARKET CENTER, MANASSAS, VIRGINIA, 20108



VIKA
VIKA ARCHITECTS & PLANNERS
ARCHITECTS & PLANNERS IN LANDSCAPE ARCHITECTURE & SUSTAINABLE DESIGN
VIKA ARCHITECTS & PLANNERS, LLC
1400 WEST 10TH AVENUE, SUITE 200 • FORT COLLINS, COLORADO, 80526
(970) 226-1000 • FAX: (970) 226-1001
WWW.VIKAA.COM

THE BORO
PROVIDENCE DISTRICT
FAIRFAX COUNTY, VIRGINIA

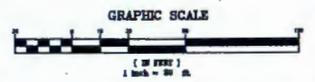
CONCEPTUAL
DEVELOPMENT PLAN
BLOCK E

VIKA REVISIONS

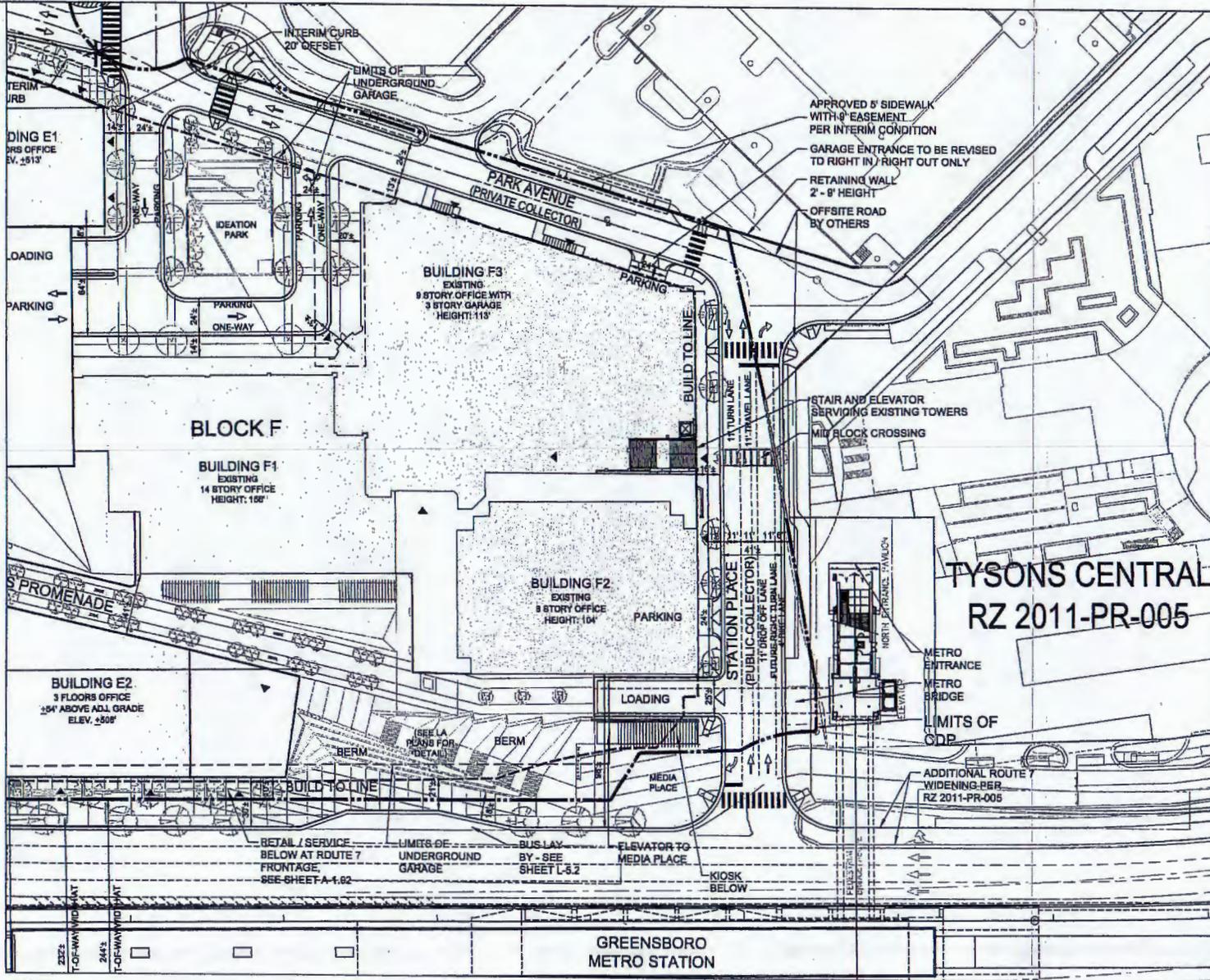
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MAY 22, 2015
JULY 22, 2015
AUGUST 28, 2015

DATE: MAY 4, 2010
DES: RJC
ARC: ARC

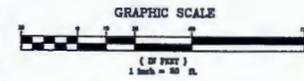
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PROJECT/FILE NO. VR021X
SHEET NO. C-70



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- LEGEND**
- ▲ PEDESTRIAN ACCESS
 - ◀ VEHICULAR ACCESS
 - BUILD TO LINE
 - - - UNDERGROUND GARAGE LIMITS
 - PROPERTY LINE
 - ★ SEE SHEET SA FOR RANGE



VIVA
 ENGINEERS & PLANNERS & LANDSCAPE ARCHITECTS & SURVEYORS & SUSTAINABLE DESIGN
 1000 WISCONSIN AVE. SUITE 2000 W TYSONS CENTER, VIRGINIA 22102
 (703) 441-1234
 WWW.VIVA-VA.COM

THE BORO
 PROVIDENCE DISTRICT
 FAIRFAX COUNTY, VIRGINIA

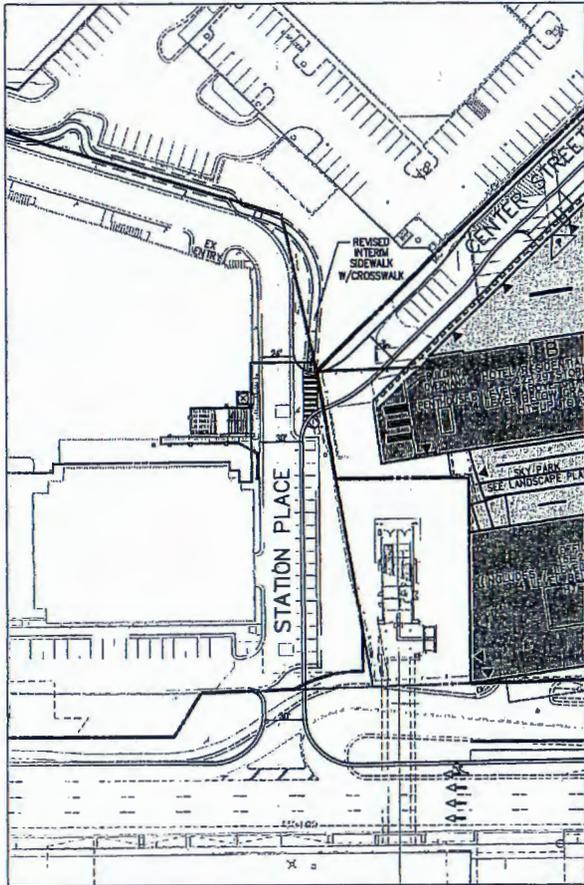
CONCEPTUAL DEVELOPMENT PLAN
BLOCK F

VIVA REVISIONS

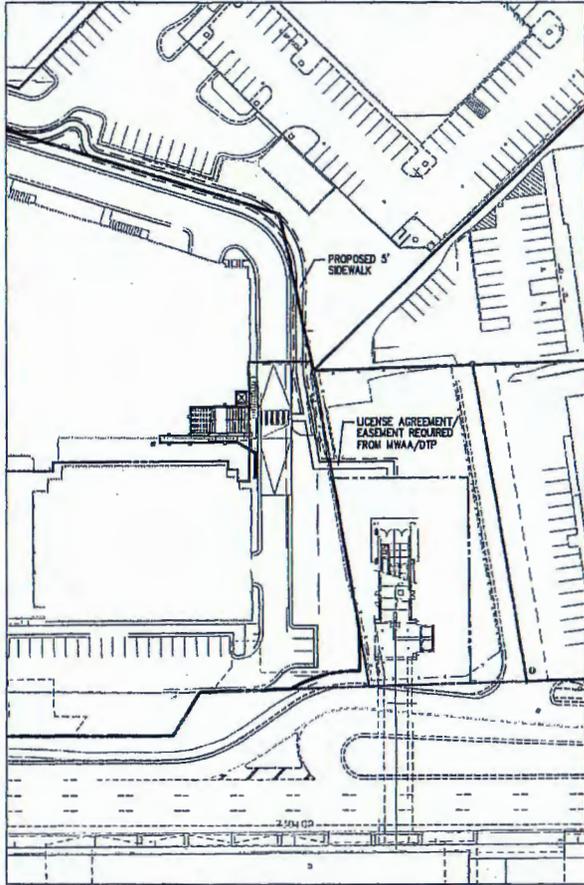
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JULY 16, 2012
OCTOBER 22, 2012
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FEBRUARY 26, 2015
MAY 22, 2015
JULY 23, 2015
AUGUST 26, 2015

DATE: MAY 4, 2010
 DES. RRC DYN. ARC
 SCALE: 1"=30'
 PROJECT/FILE NO. VEG21X
 SHEET NO. C-7E

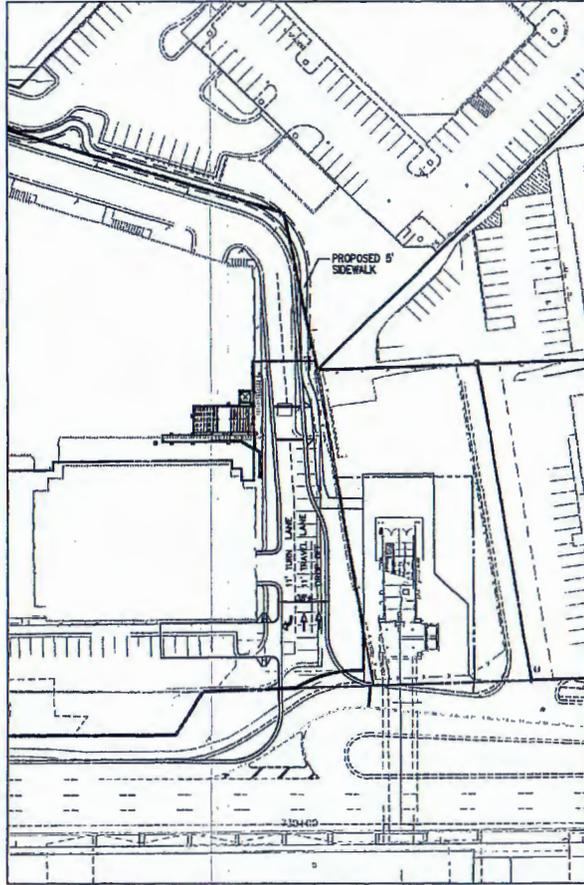
VIVA PROJECTS/PLANNING/DESIGN/CONCEPT DEVELOPMENT PLAN/VEG21X/DATE: Aug. 27 2015 TIME: 03:08 PM



INTERIM STATION PLACE ROAD CONFIGURATION:
THE BORO & TYSONS CENTRAL



STATION PLACE PEDESTRIAN CONNECTION ONLY

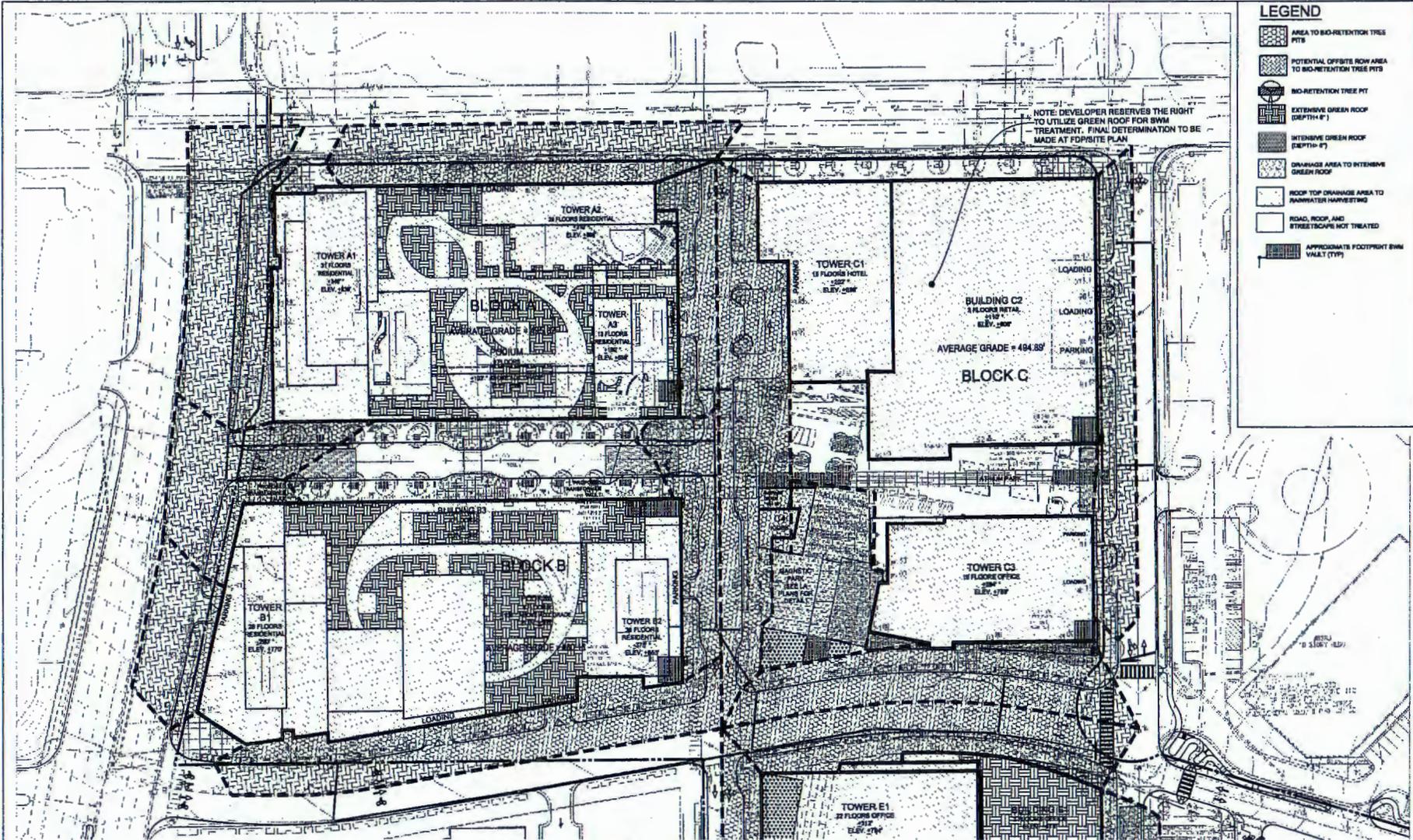


INTERIM STATION PLACE ROAD CONFIGURATION:
THE BORO ONLY ROAD

VIVA REVISIONS

NOVEMBER 17, 2010
JUNE 30, 2011
JULY 18, 2012
OCTOBER 22, 2012
FEBRUARY 16, 2013
JULY 1, 2013
APRIL 7, 2014
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MAY 22, 2015
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DATE: MAY 4, 2010	
DES. RJC	DWN. ARC
SCALE: N/A	
PROJECT/FILE NO. V8021X	
SHEET NO. C-7F	



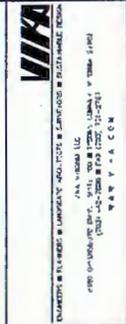
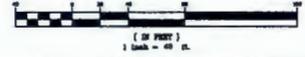
- LEGEND**
- AREA TO BIO-RETENTION TREE PITS
 - POTENTIAL OFFSITE ROW AREA TO BIO-RETENTION TREE PITS
 - BIO-RETENTION TREE PIT
 - EXTENSIVE GREEN ROOF (DEPTH 6")
 - INTENSIVE GREEN ROOF (DEPTH 8")
 - DRAINAGE AREA TO INTENSIVE GREEN ROOF
 - ROOF TOP DRAINAGE AREA TO RAINWATER HARVESTING
 - ROAD, ROOF, AND STREETSCAPE NOT TREATED
 - APPROXIMATE FOOTPRINT SWM VAULT (TYP)

NOTE: DEVELOPER RESERVES THE RIGHT TO UTILIZE GREEN ROOF FOR SWM TREATMENT. FINAL DETERMINATION TO BE MADE AT FIDWISITE PLAN.

MATCHLINE CONTINUATION SEE SHEET C-9A



GRAPHIC SCALE



THE BORO
PROVIDENCE DISTRICT
FAIRFAX COUNTY, VIRGINIA

**STORMWATER
MANAGEMENT MAP**

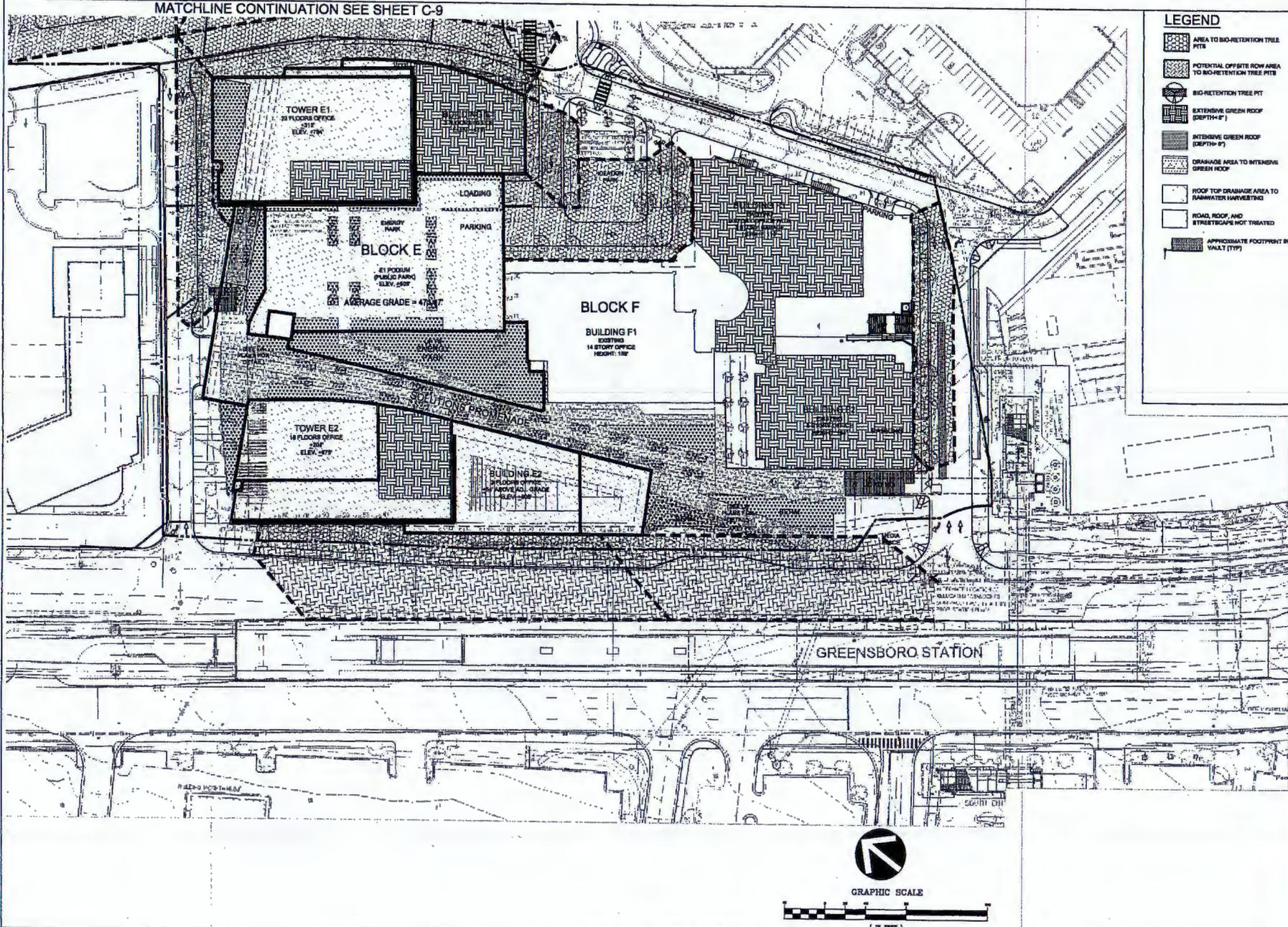
VIVA REVISIONS

NOVEMBER 17, 2010	
JUNE 30, 2011	
JULY 16, 2013	
OCTOBER 23, 2013	
FEBRUARY 20, 2014	
JULY 1, 2013	
APRIL 7, 2014	
FEBRUARY 20, 2015	
MAY 22, 2015	
JULY 23, 2015	
AUGUST 28, 2015	

DATE:	MAY 4, 2010
DES:	RNC
CHK:	ANC
SCALE:	1"=40'
PROJECT/FILE NO.:	V0021X
SHEET NO.:	C-9

VIVA CONSULTANTS, INC. 1700 GARDNER DRIVE, SUITE 100, FARMINGTON, CT 06030, USA. PHONE: 860.634.1100, FAX: 860.634.1101, WWW.VIVACON.COM

MATCHLINE CONTINUATION SEE SHEET C-9



- LEGEND**
- AREA TO BIO-RETENTION TREE PITS
 - POTENTIAL OFF-SITE ROW AREA TO BIO-RETENTION TREE PITS
 - BIO-RETENTION TREE PIT
 - EXTENSIVE GREEN ROOF (DEPTH=4")
 - INTENSIVE GREEN ROOF (DEPTH=8")
 - DRAINAGE AREA TO INTENSIVE GREEN ROOF
 - ROOF TOP DRAINAGE AREA TO RAINWATER HARVESTING
 - ROAD, ROOF, AND STREETSCAPES NOT TREATED
 - APPROXIMATE FOOTPRINT BROW VAULT (TYP)

VKA
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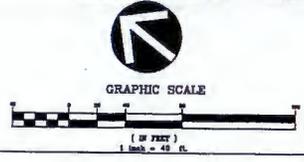
THE BORO
 PROVIDENCE DISTRICT
 FAIRFAX COUNTY, VIRGINIA

**STORMWATER
 MANAGEMENT MAP**

VKA REVISIONS

NOVEMBER 17, 2010
JUNE 30, 2011
JULY 18, 2012
OCTOBER 22, 2012
FEBRUARY 16, 2013
JULY 1, 2013
APRIL 7, 2014
FEBRUARY 20, 2015
MAY 22, 2015
JULY 22, 2015
AUGUST 26, 2015

DATE:	MAY 4, 2010
DES.:	RRC
OWN.:	ARR
SCALE:	1"=40'
PROJECT/FILE NO.:	VS021X
SHEET NO.:	C-9A



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TYSON'S CORNER COMPREHENSIVE PLAN STORMWATER CONFORMANCE CHECKLIST NARRATIVE

THE PURPOSE OF THIS NARRATIVE IS TO DETAIL THE PROCESS BY WHICH THE SUBJECT SITE MEETS, EXCEEDS, OR PROVIDES TO THE MAXIMUM EXTENT PRACTICABLE THE RUNOFF REDUCTION REQUIREMENTS OF THE TYSON'S CORNER COMPREHENSIVE PLAN.

COMPREHENSIVE PLAN STORMWATER MANAGEMENT GOALS:

THIS STORMWATER MANAGEMENT NARRATIVE EXPLAINS HOW THIS PLAN PROPOSES TO MEET THE STORMWATER REQUIREMENTS OF THE TYSON'S CORNER COMPREHENSIVE PLAN. THIS NARRATIVE DESCRIBES THE VARIOUS STRATEGIES BY WHICH THE VARIOUS GOALS ARE TO BE MET (E.G. VEGETATIVE ROOF, URBAN BIO-RETENTION, RAINFLOWER HARVESTING ETC.) AS WELL AS THOSE STRATEGIES WE EVALUATED BUT WERE UNABLE TO IMPLEMENT DUE TO SITE CONSTRAINTS.

COMPREHENSIVE PLAN STORMWATER MANAGEMENT GOALS	RESPONSE
STORMWATER SUCCESSORS AND WATER QUALITY CONTROLS FOR DEVELOPMENT SHOULD BE DESIGNED TO RETURN WATER INTO THE EXISTING URBAN SYSTEMS SUITABLE OR REUSE IT, WHERE ALLOWED, TO THE EXTENT PRACTICABLE. REDUCTION OF STORMWATER RUNOFF VOLUME IS THE SINGLE MOST IMPORTANT STORMWATER DESIGN OBJECTIVE FOR URBAN AREAS.	INFILTRATION FACILITIES HAVE NOT BEEN PROVIDED WITH THE ESP APPLICATION. THE LOCATION FOR SUCH FACILITIES FOR THIS PROJECT ARE IDENTIFIED FOR SEVERAL REASONS INCLUDING PROPOSED FUTURE RIGHT-OF-WAY DEDICATIONS AND THE UNDERGROUND GARAGE, AS WELL AS THE SOLS FOUND IN THIS AREA OF TYSON'S.
AT A MINIMUM, THE FIRST INCH OF RAINFALL SHOULD BE CAPTURED AND CONTROLLED THROUGH INFILTRATION, STORAGE, RETENTION AND/OR REUSE. IN AN URBAN SITE, THE RETENTION GOALS OF THE FIRST INCH OF RAINFALL IS DEMONSTRATED NOT TO BE FULLY ACHIEVABLE. ALL AVAILABLE MEASURES SHOULD BE IMPLEMENTED TO THE EXTENT POSSIBLE IN ORDER TO SUPPORT THE GOALS OF THE FIRST INCH OF RAINFALL.	THE TARGET GOAL OF THE RUNOFF REDUCTION METHOD IS TO CAPTURE AND CONTROL THE FIRST INCH OF RAINFALL. TO THIS EXTENT, THREE MAIN STORMWATER MANAGEMENT STRATEGIES HAVE BEEN UTILIZED: VEGETATIVE ROOF, URBAN BIO-RETENTION (TREE PITS), AND URBAN BIO-RETENTION (TREE PITS). <ul style="list-style-type: none"> VEGETATIVE ROOFS HAVE BEEN DESIGNED PER DCR SPEC #1 AND ARE USED TO TREAT BOTH VEGETATIVE AND NON-VEGETATIVE ROOF AREAS. RAINFLOWER HARVESTING HAS BEEN DESIGNED PER DCR SPEC #2 AND THE URBAN BIO-RETENTION TREE PITS HAVE BEEN DESIGNED PER DCR SPEC #3 AND #4. THESE TREE PITS ARE UTILIZED TO TREAT THE DOWNSTREET RAINFALL AS WELL AS THE SURROUNDING STREETSCAPE. RUNOFF COMPUTATIONS HAVE BEEN PROVIDED THAT VERIFY THE REQUIRED STORAGE HAS BEEN MET FOR EACH ALTERNATIVE. EACH OF THESE PRACTICES COMBINED YIELD AN UNITS RETAINED RAINFALL DEPTH OF 1.81 INCHES (PLEASE NOTE THAT THE RUNOFF REDUCTION ACHIEVED ACTUALLY IS 2.0 INCHES IF CREDIT IS ALLOWED FOR THE LEED RAINFALL EVENT). ALL AREAS OF THE SITE THAT HAVE THE POTENTIAL FOR A GREEN ROOF HAVE BEEN UTILIZED FOR SUCH PURPOSES. URBAN DESIGN GUIDELINES, MEED FOR PERFORMANCE, AND SIGNATURE URBAN ARCHITECTURE PRELUDE THE ABILITY TO KEEP ALL ROOF FLAT AND AVAILABLE FOR BUILT PURPOSES. WHILE THE BALCONY OF THE STREETS HAVE BIO-RETENTION TREE PITS LOCATED ON THEM, PORTIONS OF THOSE ROADS CORRESPOND TO THE STREET ELEVATION, AND THEREFORE HAVE STEEP TOPOGRAPHY, OR DUE TO URBAN DESIGN ARE DESIGNED NOT DESIRABLE DO NOT. BEYOND THESE CONSTRAINTS, A TOTAL CONTROLLED AREA OF 14.14 ACRES OR 79% OF THE SITE HAS BEEN IDENTIFIED AND DESIGNATED "TO THE MAXIMUM EXTENT PRACTICABLE" WE HAVE MET THE TYSON'S CORNER COMPREHENSIVE PLAN GOAL TO RETAIN/TREAT THE FIRST INCH OF RAINFALL.
REDEVELOPMENT PROJECTS IN TYSON'S CORNER SHOULD INCORPORATE INNOVATIVE STORMWATER MANAGEMENT STRATEGIES IN A MANNER THAT WILL, FIRST AND FOREMOST, MEET AND EXCEED THE STORMWATER RUNOFF VOLUME AND QUALITY GOALS OF THE COMPREHENSIVE PLAN FOR THE REMAINING FOUNDATION THAT CANNOT BE COMPLETELY CAPTURED.	PLEASE NOTE THAT BLOCKS A, B, C, AND E REPRESENT NEW CONSTRUCTION WHILE BLOCK F IS CONSIDERED ONE OF THE EXISTING BUILDINGS TO REMAIN. THE TOTAL DEPTH OF RAINFALL CAPTURED TO MEET THE GOALS OF THE BEST MANAGEMENT PRACTICE (BMP) IS 1.81 INCHES. A SMALL TAKE CREDIT FOR OFF-SITE AREAS. PLEASE NOTE THE COMPUTATIONS ON SHEET C-10. A BREAKDOWN BY BLOCK OF THE RAINFALL RETAINED ON EACH BLOCK IS LISTED BELOW.
AT A MINIMUM, STORMWATER MANAGEMENT MEASURES THAT ARE SUFFICIENT TO ATTAIN BOTH THE STORMWATER DESIGN QUANTITY CONTROL AND STORMWATER DESIGN-QUALITY CONTROL CREDITS OF THE MOST CURRENT VERSION OF THE LEED-NC OR LEED-C RATING SYSTEM (OR THE EQUIVALENT OF THESE CREDITS) SHOULD BE PROVIDED. IF, ON A GIVEN SITE, THE ATTAINMENT OF THE STORMWATER DESIGN LEED CREDITS (OR EQUIVALENT) IS DEMONSTRATED NOT TO BE FULLY ACHIEVABLE, ALL AVAILABLE MEASURES SHOULD BE IMPLEMENTED TO THE EXTENT POSSIBLE TO SUPPORT THE GOAL.	THE RUNOFF REDUCTION PRACTICES SHALL BE USED IN CONFORMANCE WITH THE DCR SPECIFICATION THAT GOVERNS THEM. THE VEGETATIVE ROOF, RAINFLOWER HARVESTING SYSTEM, AND URBAN BIO-RETENTION HAVE BEEN DESIGNED IN ACCORDANCE WITH THEIR RESPECTIVE SPECIFICATION.
EQUIVALENT APPROACHES MAY INCORPORATE COORDINATED STORMWATER MANAGEMENT OR MULTIPLE DEVELOPMENT SITES AND/OR OFF-SITE CONTROLS. ADDITIONAL STORMWATER MANAGEMENT MEASURES SHOULD BE ENCOURAGED.	LEED STORMWATER CREDITS 6.1 AND 6.3 SHALL BE OBTAINED THROUGH THE USE OF THE VEGETATIVE ROOF, RAINFLOWER HARVESTING SYSTEM, EXTENDED DETENTION VAULTS, AND THE URBAN BIO-RETENTION (TREE PITS). EACH PRACTICE PROVIDES BOTH QUANTITY AND QUALITY CONTROL. FOR LEED CREDIT #1 THE VOLUME BASED COMPUTATIONS PROVIDED USE A SITE IMPERMEABILITY OF 0.045 (LESS THAN 5% AS IS IN THE EXISTING CONDITION ON SITE). FOR THE PEAK RATE RELEASE COMPUTATIONS THE SITE IS ASSUMED TO BE LEED 5+ (MORE THAN 5% INCLUSIVE) WITH EXISTING INFILTRATION FACILITIES ON SITE WHICH REDUCE THE SITE PEAK RELEASE RATE TO THAT OF AN UNDERLYING CONDITION (E.G. 10% IMPERMEABILITY). FOR CREDIT #3 TREATMENT ON SITE MAY BE SUPPLEMENTED BY MANUFACTURED BMP FILTRATION FACILITIES OR SITS AT TIME OF FINAL SITE PLAN.
THE BEST MANAGEMENT PRACTICES (BMP) SHOULD BE PROVIDED FOR IN THE STREET DESIGN VIA THE URBAN BIO-RETENTION (TREE PITS). THESE TREE PITS SHOULD BE BOTH QUANTITY AND QUALITY CONTROL, AS OUTLINED BY DCR SPEC #4.	LOW IMPACT DEVELOPMENT (LID) TECHNIQUES ARE PROVIDED FOR IN THE STREET DESIGN VIA THE URBAN BIO-RETENTION (TREE PITS). THESE TREE PITS SHOULD BE BOTH QUANTITY AND QUALITY CONTROL, AS OUTLINED BY DCR SPEC #4.
STABILIZATION OF DEGRADED STREAMS OR DEVELOPMENT SITES SHOULD BE PURSUED WHERE FEASIBLE. RESTORATION AND STABILIZATION TECHNIQUES THAT INCORPORATE ECOLOGICAL AND AESTHETICALLY BENEFICIAL, VEGETATED APPROACHES ARE PREFERRED. OFF-SITE SPOUTS TO RETURN RUNOFF TO STREAMS IN TYSON'S CORNER SHOULD ALSO BE INCORPORATED WHERE FEASIBLE AND INTENDED TO IMPROVE STORMWATER MANAGEMENT CONTROLS SUPPLEMENTED TO ALLOW FOR IMPROVEMENTS TO THE HABITAT AND RECREATIONAL VALUE OF STREAMS IN TYSON'S CORNER THROUGH NATURAL RESTORATION PROCESSES AND/OR THROUGH RESTORATION PROJECTS.	THIS SUBJECT APPLICATION DOES NOT PROPOSE OFFSITE OR SHARED STORMWATER ALTERNATIVES.

COMPREHENSIVE PLAN IMPLEMENTATION

THE TYSON'S CORNER COMPREHENSIVE STORMWATER MANAGEMENT PLAN SHALL BE IMPLEMENTED VIA THE USE OF URBAN BIO-RETENTION (TREE PITS), RAINFLOWER HARVESTING SYSTEM, AND VEGETATIVE ROOFS. THE ROADWAY R-O-W AND STREETSCAPE SHALL BE CONTROLLED, WHERE POSSIBLE, BY TREE PITS THAT ARE STRATEGICALLY PLACED TO MAXIMIZE RUNOFF INTERCEPTION. EACH BUILDING'S ROOF AREA SHALL BE CONTROLLED BY A VEGETATIVE ROOF THAT HAS BEEN DESIGNED TO TREAT BOTH VEGETATIVE AND NON-VEGETATIVE AREAS AND/OR RAINFLOWER HARVESTING. BELOW IS A BREAKDOWN OF THE IMPLEMENTATION ITEMS ON THE STORMWATER CONFORMANCE CHECK LIST:

- > THE COMPUTATIONS PROVIDED ON SHEET C-10 CALCULATE THE REQUIRED TREATMENT VOLUME OF 1" OF RAINFALL OVER THE ENTIRE SITE COP AREA REGARDLESS OF ROW DEDICATION.
- > THIS SUBJECT APPLICATION PROPOSES NO NEW OR INNOVATIVE BMP'S NOT PREVIOUSLY IDENTIFIED BY THE COUNTY. HOWEVER, THIS APPLICATION DOES NOT PREVENT THE COUNTY FROM IDENTIFYING NEW BMP'S THAT MAY BE APPLICABLE TO THE STORMWATER MANAGEMENT DESIGN FOR THIS SITE SHALL INCLUDE PRACTICES THAT ARE DOCUMENTED IN THE DCR RUNOFF REDUCTION MANUAL AND THOSE APPROVED AND USED IN OTHER JURISDICTIONS OF THE COUNTRY.
- > ACCESS TO THE STORMWATER BMP FACILITIES SHALL BE PROVIDED FOR BY ROOF TOP ACCESS FOR THE VEGETATIVE ROOFS AND STREET ACCESS FOR THE TREE PITS AND RAINFLOWER HARVESTING SYSTEM.
- > THE TREE PITS, RAINFLOWER SYSTEM, AND VEGETATIVE ROOFS SHALL BE PRIVATELY MAINTAINED.
- > THE DESIGN SHALL CREATE A SAFE ENVIRONMENT FOR THE PUBLIC. THE EXTENSIVE VEGETATIVE ROOF AREAS AND RAINFLOWER HARVESTING SYSTEM SHALL NOT HAVE PUBLIC ACCESS WHEREAS THE TREE PITS SHALL BE PROVIDED WITH A GRATE OR FENCE TO PREVENT PEDESTRIAN CONFLICTS AND AS MENTIONED PREVIOUSLY WHERE EXCESSIVE TRAFFIC IS EXPECTED BIO-RETENTION TREE PITS HAVE NOT BEEN PROVIDED TO AVOID IMPEDING PEDESTRIAN MOVEMENT AND/OR CREATE A SAFETY HAZARD. INTENSIVE GREEN ROOFS WILL BE DESIGNED AS PART OF THE ROOFTOP AMENITIES AND WILL NOT CREATE A SAFETY CONCERN.
- > THIS PROJECT SHALL BE CONSTRUCTED IN PHASES. EACH PHASE SHALL HAVE INDEPENDENT SWL CONTROLS THAT MEET THE GOALS OF THE TYSON'S CORNER COMPREHENSIVE PLAN.
- > CERTAIN PFM REQUIREMENTS SHALL NEED TO BE WAIVED IN ORDER TO MEET THE OVERALL CONCEPT OF THE PFC COMPREHENSIVE PLAN. A DETAILED LIST OF WAIVERS IS AS FOLLOWS:

1. A MODIFICATION OF SECTION 12-0310 TO PERMIT A REDUCTION IN THE MINIMUM PLANTING AREA FROM EIGHT (8) FEET, TO A MINIMUM OF FOUR (4) FEET IN ORDER FOR TREES TO SATISFY THE TREE COVER REQUIREMENT. REFER TO THE LANDSCAPE PLANS HEREIN FOR A GRAPHIC OF THE PROPOSED PLANTING AREA.
 2. ALL REQUIRED DEVIATIONS OF PFM SECTION 6-1208.3F TO ALLOW FOR ANY DETENTION FACILITY LOCATED WITHIN A BUILDING OR GARAGE STRUCTURE TO BE GOVERNED BY BUILDING CODE REQUIREMENTS FOR ACCESS AND MAINTENANCE.
 3. ALL REQUIRED DEVIATIONS OF PFM SECTION 6-1307.2E TO SET THE MINIMUM HORIZONTAL SETBACKS FROM BUILDING FOUNDATIONS BE REDUCED TO SIX (6) FEET IN ORDER TO FACILITATE INSTALLATION OF BIO-RETENTION SYSTEMS IN AN URBAN ENVIRONMENT SET FORTH IN THE TYSON'S CORNER DESIGN GUIDELINES.
 4. ALL REQUIRED DEVIATIONS OF PFM SECTION 6-1317.3F TO ALLOW INSTALLATION OF BIO-RETENTION FACILITIES IN THE VICINITY OF LOADING DOCKS, VEHICLE MAINTENANCE AREAS OR OUTDOOR STORAGE AREAS TO ACCOMMODATE THE URBAN ENVIRONMENT SET FORTH IN THE TYSON'S CORNER DESIGN GUIDELINES.
 5. ALL REQUIRED DEVIATIONS OF PFM SECTION 6-1308.2C TO ALLOW INSTALLATION OF TREE BOX FILTERS IN THE VICINITY OF LOADING DOCKS, VEHICLE MAINTENANCE AREAS OR OUTDOOR STORAGE AREAS TO ACCOMMODATE THE URBAN ENVIRONMENT SET FORTH IN THE TYSON'S CORNER DESIGN GUIDELINES.
- > SWL VAULTS AND/OR RAINFLOWER HARVESTING SYSTEM SHALL EXTEND BEYOND THE BUILDING FACE WHERE IT SHALL NOT ADVERSELY IMPACT LANDSCAPING OR THE SIDEWALK ZONE.
 - > A 4'X4' ACCESS DOOR SHALL BE PROVIDED FOR THE VAULT MAINTENANCE.

DESIGN OF BEST MANAGEMENT PRACTICES

INFILTRATION BMP'S
 INFILTRATION BMP'S HAVE NOT BEEN PROVIDED ON THIS SITE DUE TO CONSTRAINTS SUCH AS PROPOSED RIGHT OF WAY, UNDERGROUND GARAGES, AND POOR SOIL.

RAINFLOWER HARVESTING
 RAINFLOWER HARVESTING HAS BEEN PROVIDED FOR THE COMMERCIAL BUILDINGS WITHIN THIS SITE. RAINFLOWER HARVESTING HAS BEEN DESIGNED PER DCR SPEC #1 IN THE DESIGN INCLUDING A FIRST FLUSH BYPASS AND AN OVERFLOW SYSTEM WHICH SHALL DRAIN TO A PROPOSED STORM SEWER SYSTEM. THE SYSTEM SHALL FEED THE ROOF TOP COOLING TOWERS AND ANY ADDITIONAL RAINFLOWER REUSE DEMANDS TO INCLUDE BUT NOT LIMITED TO IRRIGATION, EQUIPMENT WASHING AND EXTERIOR WASHING. THE DESIGN MAY REQUIRE OVERSIZING TO PROVIDE STORMWATER TREATMENT.

RUNOFF REDUCTION PRACTICES
 THE PROPOSED RUNOFF REDUCTION PRACTICES SHALL INCLUDE VEGETATIVE ROOFS, RAINFLOWER HARVESTING, AND URBAN BIO-RETENTION (TREE PITS). BELOW IS A BREAKDOWN OF THE RUNOFF REDUCTION PRACTICES ITEMS ON THE STORMWATER CONFORMANCE CHECK LIST:

- > RUNOFF REDUCTION BMP'S IN THE FORM OF URBAN BIO-RETENTION (TREE PITS) SHALL BE PROVIDED WITH UNDER-DRAINS AND A SUBSURFACE STONE LAYER AS DETAILED IN DCR SPEC #3
- > BOTH THE BIO-RETENTION TREE PITS AND VEGETATIVE ROOF SYSTEM SHALL CONFORM TO DCR SPEC #1 AND #2 RESPECTIVELY.
- > AS MENTIONED EARLIER DUE TO SITE CONSTRAINTS THE ENTIRE 1.6" OF RAINFALL COULD NOT BE CAPTURED/CONTROLLED. THE PROPOSED PLAN CAN ACCOUNT FOR 1.81" (1.2" WHEN CONSIDERING THE LEED EVENT) AS CAN BE SEEN ON THE TYSON'S STORMWATER CONFORMANCE SPREADSHEET (SEE SHEET C-10).
- > **THE 1" INNOVATIVE BMP'S (ACCEPTED IN OTHER JURISDICTIONS)**
 IT IS UNDERSTOOD THAT THE INNOVATIVE IMPLEMENTATION/COMPLICATION OF THE DCR SPEC #3 FOR INTENSIVE GREEN ROOF TO ALLOW ADJACENT HEDICAPES AREAS TO BE SET FLOW INTO THE PERVIOUS AREAS SHALL BE CONSIDERED A TRIP BMP. THE DESIGN OF THE TREATMENT PROVIDED BY THESE FACILITIES FOLLOWS THE DESIGN GUIDELINES PROVIDED IN DCR SPEC #3 WITH SPECIAL DETAIL PROVIDED FOR THE BEST FLOW OF APPROXIMATE WATER TO THE FACILITY FOR TREATMENT. IN ADDITION, IT SHOULD BE NOTED THIS TECHNIQUE OF DIRECTING POUING HEDICAPES AREA TO INTENSIVE GREEN ROOF AREAS ON THE SAME POOLING LEVEL, FOR TREATMENT AND RETENTION WAS ACCEPTED AND IMPLEMENTED AS A STANDARD PRACTICE IN COSTRITA COSTA COUNTY, CALIFORNIA IN 2006.

- <http://www.cdm.com/usa/california/costa-county>
- <http://www.cdm.com/usa/california/costa-county>
- > **THE 1" INNOVATIVE BMP'S (NON-APPROVED)**
 THERE ARE NO OTHER BP APPROACHES REQUESTED.

OFFSITE OR SHARED FACILITIES
 CURRENTLY THE SUBJECT APPLICATION DOES NOT PROPOSE THE USE OF SHARED BWM FACILITIES. HOWEVER, AS MENTIONED ABOVE, THE APPLICATION RESERVES THE RIGHT TO IMPLEMENT OFFSITE TREATMENT IN THE FORM OF TREATMENT OF EXISTING PUBLIC ROW.

CONFORMANCE WITH COMPREHENSIVE PLAN STORMWATER GOALS
 IT IS THE BELIEF OF THE UNDERSIGNED ENGINEER THAT THIS SITE PLAN ADEQUATELY HANDLES, TO THE MAXIMUM EXTENT POSSIBLE, THE RUNOFF REDUCTION REQUIREMENTS OF THE TYSON'S CORNER COMPREHENSIVE PLAN. BELOW IS SUMMARY OF THE RUNOFF REDUCTION PRACTICES UTILIZED IN THE STORMWATER MANAGEMENT PLAN AND THEIR CONFORMANCE TO THE OVERALL GOAL OF THE COMPREHENSIVE STORMWATER MANAGEMENT PLAN FOR THIS SUBJECT APPLICATION.

- > AS MENTIONED PREVIOUSLY THE PROPOSED DESIGN SHALL NOT CONTROL/CAPTURE THE FIRST ENTIRE 1.6" OF RAINFALL. THIS SUBJECT APPLICATION PROPOSES TO CONTROL CAPTURE, TO THE MAXIMUM EXTENT PRACTICABLE, THE FIRST INCH (THE ACTUAL AMOUNT CONTROLLED IS 1.2" WHEN CONSIDERING THE LEED EVENT) OF RAINFALL.
- > THE PROPOSED DESIGN SHALL OPTIMIZE, TO THE MAXIMUM EXTENT FEASIBLE, RUNOFF REDUCTION VIA THE EMPLOYMENT OF VEGETATIVE ROOF, RAINFLOWER HARVESTING SYSTEMS, AND URBAN BIO-RETENTION (TREE PITS). TEN OF THE TOTAL SITE AREA IS CAPTURED ALONG WITH 4.2" (THE ACTUAL AMOUNT CONTROLLED IS 1.2" WHEN CONSIDERING THE LEED EVENT) OF THE FIRST 1 INCH OF RAINFALL.
- > AS MENTIONED PREVIOUSLY SITE CONSTRAINTS HAVE LIMITED THE USE OF MANY BMP'S PRACTICES (DISCONNECTION, INFILTRATION ETC.)
- > THE PROPOSED DESIGN DOES HELP CONTROL PEAK FLOW BY REDUCING THE RUNOFF VOLUME AND AS SUCH THE PEAK DISCHARGE IS REDUCED. ADDITIONALLY, POTENTIAL DOWNSTREAM HARVESTING VAULT LOCATIONS HAVE BEEN SHOWN AT THE TIME OF PRELIMINARY ENGINEERING IT IS FOUND TO BE NECESSARY TO FURTHER REDUCE THE PEAK RELEASE RATES OF THE 1ST AND 10TH DESIGN STORMS.
- > STREET RUNOFF HAS BEEN ADDRESSED VIA THE USE OF URBAN BIO-RETENTION (TREE PITS) THAT ARE DESIGNED IN ACCORDANCE WITH DCR SPEC #3
- > STREAM STABILIZATION AND RESTORATION HAS NOT BEEN PROVIDED WITH THIS SUBJECT APPLICATION DUE TO THE NEED OF A COMPREHENSIVE STREAM RESTORATION PROGRAM.
- > THIS SUBJECT APPLICATION SHALL CONFORM TO THE PFM'S BWM REQUIREMENTS FOR ADEQUATE OUTFALL, DETENTION, WATER QUALITY, AND OVERLAND RELIEF. SEE SHEETS C-8 THRU C-10 FOR DETAILS.

SUPPLEMENTAL INFORMATION/JUSTIFICATION REQUEST

WHILE IT IS NOT PRACTICABLE TO RETAIN ALL OF THE SUBJECT SITE, INCLUDING AREAS OF THE SITE PERIPHERY, DUE TO VARIOUS CONSTRAINTS INCLUDING SITE GRADING, OTHER COMPREHENSIVE PLAN REQUIREMENTS, AND VOT REQUIREMENTS, COMPLIANCE WITH THE COMPREHENSIVE PLAN GOAL FOR CAPTURE/RETAIN/NO THE FIRST 1-INCH RAIN EVENT CAN NOT BE MET EVEN WITH CAPTURE/OFFSITE AREAS. IF THE RUNOFF REDUCTION MEASURES AND/OR COMPUTATIONS SHOWN HEREIN ARE NOT APPROVED BY DPWS, THE APPLICANT WILL WORK WITH THE COUNTY TO RETAIN THE FIRST 1-INCH OF RAINFALL TO THE EXTENT PRACTICABLE IN ACCORDANCE WITH THE COMPREHENSIVE PLAN GOAL.

IN FURTHERANCE OF THE APPLICANT'S COMMITMENTS HEREIN AND WHILE IT INTENDS TO MEET THE 1-INCH RETENTION GOAL USING THE TECHNIQUES SHOWN, IT RESERVES THE RIGHT TO UTILIZE ANY COMBINATION OF LID (EXISTING AND FUTURE) MEASURES TO MEET THIS GOAL, SUBJECT TO THE REVIEW AND APPROVAL OF DPWS AT TIME OF SITE PLAN.

RECOGNIZING THAT RUNOFF REDUCTION TECHNOLOGIES ARE RELATIVELY NEW AND STILL EVOLVING, THE APPLICANT'S FINAL DESIGN DEVELOPMENT AND/OR DPWS COMMENTS ON THE SITE PLAN MAY RESULT IN CHANGES TO THE LID MEASURES SHOWN ON THE COP AND/OR FDP, INCLUDING, BUT NOT LIMITED TO, ELIMINATION OR ADDITION OF MEASURES SO LONG AS THESE CHANGES DO NOT AFFECT THE GRID OF STREETS, THE GENERAL LOCATION OF THE POINTS OF ACCESS TO EACH BLOCK, THE GENERAL LOCATION OF THE BUILDING, THE BUILD-TO-LINES, THE MINIMUM AMOUNT AND GENERAL LOCATION OF PUBLICLY-ACCESS URBAN PARK LAND AS MAY BE APPLICABLE FOR EACH BLOCK AND THE GENERAL QUALITY AND CHARACTER OF THE STREETSCAPE ALONG THE PUBLIC AND PRIVATE STREETS WITHIN AND ADJUTING THE SUBJECT PROPERTY AND AS OTHERWISE SPECIFIED IN THE PROFFERS.

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THE BORO
 PRODUCTIONS, INC.
 FAYATX COUNTY, VIRGINIA

STORMWATER MANAGEMENT NARRATIVES

VIFA REVISIONS

NOVEMBER 17, 2010	NOVEMBER 17, 2010
JUNE 20, 2011	JUNE 20, 2011
JULY 18, 2012	OCTOBER 23, 2012
FEBRUARY 14, 2013	FEBRUARY 14, 2013
JULY 1, 2013	JULY 1, 2013
APRIL 7, 2014	APRIL 7, 2014
FEBRUARY 20, 2015	MAY 22, 2015
MAY 22, 2015	MAY 22, 2015
JULY 22, 2015	AUGUST 28, 2015
AUGUST 28, 2015	

DATE: MAY 4, 2015
 DES: [] DWN: []
 INC: [] AIC: []
 SCALE: N/A
 FILE NO. []
 PROJECT/FILE NO. []
 SHEET NO. C-10A

PART I: LEED COMPUTATIONS

PART II: PFM COMPLIANCE

EXISTING CONDITION

WYTR-10 PRINTED PAGE FILE	END OF INPUT DATA LEFT	WYTR-20 PRINTED PAGE FILE	END OF INPUT DATA LEFT
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WYTR-10: VERSION 1.10	0	WYTR-20: VERSION 1.10	0
COMPUTATION PLACE (COP)	0.00	COMPUTATION PLACE (COP)	0.00
EXISTING CONDITIONS		EXISTING CONDITIONS	
IMP-AREA:		IMP-AREA:	
RECEIVED OUTLET	0.000	PROPOSED OUTLET	0.000
SYSTEM REACH:		SYSTEM REACH:	
STORM ANALYSIS:		STORM ANALYSIS:	
1-YR	3.2	1-YR	3.2
2-YR	2.7	2-YR	2.7
STRUCTURE MATING:		STRUCTURE MATING:	
GLOBAL OUTPUT:	0.00	GLOBAL OUTPUT:	0.00
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2	TTTT	2	TTTT

PROPOSED CONDITION

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WYTR-10: VERSION 1.10	0	WYTR-20: VERSION 1.10	0
COMPUTATION PLACE (COP)	0.00	COMPUTATION PLACE (COP)	0.00
EXISTING CONDITIONS		EXISTING CONDITIONS	
IMP-AREA:		IMP-AREA:	
RECEIVED OUTLET	0.000	PROPOSED OUTLET	0.000
SYSTEM REACH:		SYSTEM REACH:	
STORM ANALYSIS:		STORM ANALYSIS:	
1-YR	3.2	1-YR	3.2
2-YR	2.7	2-YR	2.7
STRUCTURE MATING:		STRUCTURE MATING:	
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EXISTING CONDITIONS: NAME OF PRINTED PAGE FILE: 1250.DAT

STORM 1-YR	AREA OR REACH	CHALLENGE	RAIN	GAGE	HEIGHT	PEAK FLOW	BASE	BASE
	(SQ MI)	(FT)	(IN)	(IN)	(CFS)	(CFS)	(CFS)	(CFS)
RECEIVED	0.000	1.770	11.93	51.64	1018.45			

WYTR-20 PRINTED PAGE FILE: 1250.DAT
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EXISTING CONDITIONS: NAME OF PRINTED PAGE FILE: 1250.DAT

STORM 1-YR	AREA OR REACH	CHALLENGE	RAIN	GAGE	HEIGHT	PEAK FLOW	BASE	BASE
	(SQ MI)	(FT)	(IN)	(IN)	(CFS)	(CFS)	(CFS)	(CFS)
RECEIVED	0.000	1.770	11.93	51.64	1018.45			

TOTAL RUNOFF VOLUME (EXISTING CONDITIONS)
1 YR STORM: 18.11 AC @ 1.10 IN = 123.81 CU FT
2 YR STORM: 18.11 AC @ 0.90 IN = 162.81 CU FT

TOTAL RUNOFF VOLUME (PROPOSED CONDITIONS)
1 YR STORM: 18.11 AC @ 0.80 IN = 145.31 CU FT
2 YR STORM: 18.11 AC @ 0.60 IN = 107.91 CU FT

LEED CREDIT 6.1 REQUIREMENTS

THE SITE HAS EXISTING DETENTION FACILITIES (ON SITE) WHICH HAVE BEEN DESIGNED TO MEET THE PEAK RELEASE RATE OF THE UNDEVELOPED PLOT (COP) BEFORE THE EXISTING DEVELOPMENT WAS CONSTRUCTED. IT IS FOR THIS REASON THE SITE IS CONSIDERED AS "UNDEVELOPED" OR LESS THAN 50% IMPROVED FOR THE PEAK RELEASE RATE COMPUTATIONS (CASE 1). THIS THE PEAK DISCHARGE RATE FOR THE 1-YR AND 2-YR 24-HOUR DESIGN STORM SHALL NOT EXCEED THE EXISTING RATE.

SINCE THERE ARE NO EXISTING STORMWATER VOLUME CONTROLS FOR THE SITE THE POST-DEVELOPMENT VOLUME FOR THE 2-YEAR STORM MUST BE REDUCED BY 20% RELATIVE TO THE EXISTING CONDITIONS VOLUME (CASE 2). THEREFORE, ANY ADDITIONAL STORAGE REQUIRED SHALL BE MET WITH RUNOFF REDUCTION PRACTICES.

2-YEAR STORM (VOLUME REQUIREMENTS)

ALLOWABLE LEED VOLUME REDUCTION = 167.91 CU FT @ 0.60 IN = 110.34 CU FT

REQUIRED LEED VOLUME REDUCTION = 167.91 CU FT @ 0.60 IN = 110.34 CU FT

1-YR AND 2-YEAR STORM (PEAK DISCHARGE REQUIREMENTS)

ALLOWABLE PEAK RELEASE RATE = 1-YR STORM: 0.80 CFS/SQ FT @ 1.10 IN = 10.17 CFS

ALLOWABLE PEAK RELEASE RATE = 2-YR STORM: 0.60 CFS/SQ FT @ 0.90 IN = 7.27 CFS

LEED CREDIT 6.1 NARRATIVE

THE VOLUME REDUCTION REQUIREMENTS OF LEED CREDIT 6.1 SHALL BE MET VIA THE RUNOFF REDUCTION TECHNIQUES DEPICTED ON SHEET C-9 THRU C-14 AND CALCULATED ON SHEETS 13 THRU C-18. AS CAN BE SEEN THE TOTAL STORAGE VOLUME PROVIDED IS EQUAL TO THE SUM OF THE STORAGE PROVIDED TO DETAIN THE FIRST 1" OF RAINFALL AND ANY ADDITIONAL STORAGE PROVIDED BY THE VARIOUS RUNOFF REDUCTION PRACTICES. AS CAN BE SEEN IN THE COMPUTATIONS ON SHEET C-18, APPROXIMATELY 75.00 CU FT OF ADDITIONAL STORAGE HAS BEEN PROVIDED TO HELP MEET THE LEED REQUIREMENT OF RUNOFF VOLUME REDUCTION (THIS VOLUME DOES NOT INCLUDE THE STORAGE PROVIDED IN THE OFFSITE BIO-RETENTION TREE PITS THAT TREAT ROUTE 7, WESTPARK DR., GREENSBORO DR., AND SOLUTIONS PLAZA PARKING). AS CAN BE SEEN, THE RUNOFF REDUCTION PROVIDED IS GREATER THAN WHAT IS REQUIRED TO MEET THE LEED ALLOWABLE RELEASE. THUS, LEED 6.1 REQUIREMENTS HAVE BEEN MET.

THE LEED PEAK ALLOWABLE RELEASE RATE SHALL BE MET VIA RUNOFF REDUCTION PRACTICES AND/OR STORMWATER MANAGEMENT VAULTS LOCATED THROUGHOUT THE SITE.

LEED 6.2 NARRATIVE

LEED CREDIT 6.2 SHALL REQUIRE THIS SITE TO TREAT THE STORMWATER RUNOFF FROM 50% OF THE AVERAGE ANNUAL RAINFALL (1.1" FOR HARD WATERSHEDS WITH A IMP) CAPABLE OF REDUCING 80% OF THE AVERAGE ANNUAL POST-DEVELOPMENT SUSPENDED SOLIDS (TSS). AS CAN BE SEEN IN THE COMPUTATIONS BELOW, THIS CREDIT SHALL BE MET VIA THE VARIOUS RUNOFF REDUCTION PRACTICES PROVIDED, THROUGH MANUFACTURED SYSTEMS, AND/OR A COMBINATION THEREOF.

NOTE:

1. FINAL LEED BOUNDARY TO BE DETERMINED AT TIME OF FINAL SITE PLAN

2. SEE PROFFERS FOR REQUIRED LEED VERSION COMPLIANCE.

LEED 556.2 (WATER QUALITY) COMPUTATIONS

SWAMP TYPE	LOCATION	IN SENSIT	DRAINAGE AREA	PERCENT SITE TREATED	TSS REMOVAL EFFICIENCY (%)	SOURCE OF TSS REMOVAL DATA	WEIGHTED AVERAGE TSS REMOVAL EFF. (%)
RAINWATER HARVESTING	HIGH ROOFS	NO	0.70	87.00%	90.00%	VA SWM HANDBOOK	33.30%
CURB EXTENSIONS	ON-SITE	NO	3.50	19.87%	90.00%	VA SWM HANDBOOK	17.84%
BIOTEN WOOD	POODUM COURTYARD	NO	0.70	28.57%	70.00%	VA SWM HANDBOOK	14.41%
EXT. DETENTION VAULTS	ON-SITE	NO	3.50	19.87%	75.00%	VA SWM HANDBOOK	34.49%
TOTAL WEIGHTED AVERAGE TSS REMOVAL EFFICIENCY							80.34%

NOTE: LEED AREA IS THE COP LIMITS, 18.11 AC.

PFM ALLOWABLE RELEASE RATE

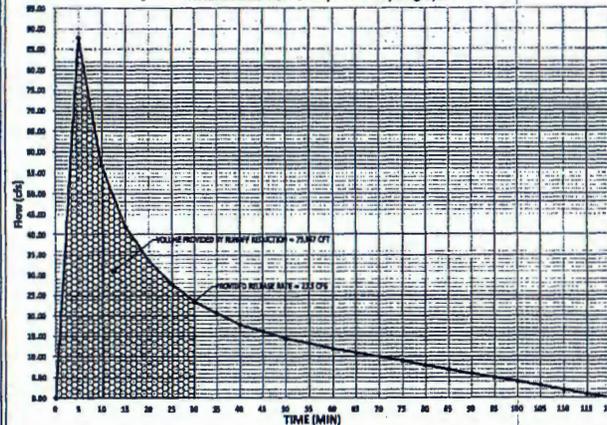
PER COUNTY CODE 23A-4-400, POST-DEVELOPED RELEASE RATE FOR THE 2-YEAR AND 10-YEAR STORM MUST NOT EXCEED THE EXISTING CONDITIONS RELEASE RATE. PLEASE NOTE THAT THE EXISTING SITE DOES HAVE STORMWATER MANAGEMENT CONTROLS IN PLACE (ON-SITE SWM VAULTS) THEREFORE THE PRE-DEVELOPMENT RELEASE RATE IS BASED ON A 1" FACTOR OF 0.30 (GRASS). SEE COMPUTATION ON THIS SHEET FOR ALLOWABLE 2YR AND 10YR RATES.

PFM PROVIDED RELEASE RATE

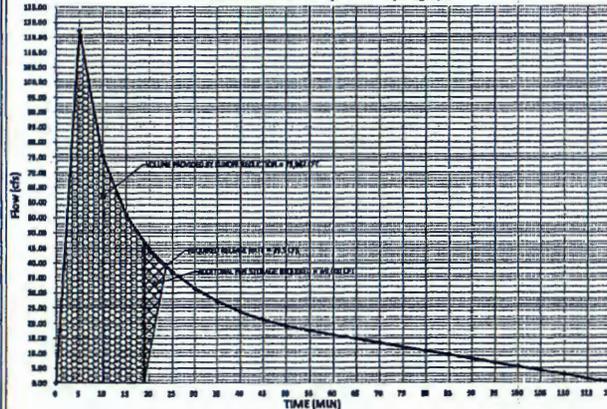
THE TOTAL STORAGE VOLUME PROVIDED IS EQUAL TO THE SUM OF THE STORAGE PROVIDED TO DETAIN THE FIRST 1" OF RAINFALL (19.28 CFS) AND ANY ADDITIONAL STORAGE PROVIDED BY THE VARIOUS RUNOFF REDUCTION PRACTICES. AS CAN BE SEEN IN THE COMPUTATIONS ON SHEETS C-9-C-18 THE TOTAL STORAGE PROVIDED ON SITE TO MEET THE PFM RELEASE RATE IS 30.28 CFS (1" RAINFALL REDUCTION) + ADDITIONAL LID VOLUME = 75.97 CFS.

AS CAN BE SEEN, BY MEETING THE REQUIRED VOLUME FOR THE FIRST INCH OF RAINFALL AND WITH THE ADDITIONAL RUNOFF REDUCTION PROVIDED BY THE GREEN ROOF, AND THESE PITS THE PEAK RELEASE RATE IS REDUCED BELOW THE ALLOWABLE RELEASE RATE FOR THE 2-YR AND 10-YR STORM. IN ADDITION, APPROXIMATELY 8.00 CFS OF STORAGE MAY BE PROVIDED IN A SEPARATE CHAMBER OF THE LEEDRELEASE VAULT OR STACKED ON TOP OF THE LEED RUNOFF VOLUME AS INDICATED IN THE DETAIL ON SHEET C-11 FOR REDUCTION OF THE PEAK RELEASE RATE FOR 2YR AND 10YR STORMS, AS EACH PHASE OF THE DEVELOPMENT IS BUILT.

GREENSBORO PLACE - 2 yr Storm Hydrograph



GREENSBORO PLACE - 10 yr Storm Hydrograph



EXISTING CONDITIONS (EXISTING FACILITY)	PROPOSED DEVELOPMENT (ON-SITE)	PROPOSED DEVELOPMENT (OFF-SITE)
Area: 18.11 Ac	Area: 0.00 Ac	Area: 0.00 Ac
Cp: 0.30	Cp: 0.00	Cp: 0.00
Tp: 5.00 min	Tp: 5.00 min	Tp: 5.00 min
Qp: 20.00 cfs	Qp: 0.00 cfs	Qp: 0.00 cfs
Qp: 30.00 cfs	Qp: 0.00 cfs	Qp: 0.00 cfs
Qp: 117.19 cfs	Qp: 0.00 cfs	Qp: 0.00 cfs



THE BORO
PROVIDENCE DISTRICT
FAIRFAX COUNTY, VIRGINIA

LEED/PMF STORMWATER
MANAGEMENT
COMPUTATIONS

VIKA REVISIONS
NOVEMBER 17, 2010
JUNE 30, 2011
JULY 18, 2012
OCTOBER 22, 2012
FEBRUARY 16, 2013
JULY 1, 2013
APRIL 2, 2014
FEBRUARY 20, 2015
MAY 22, 2015
JULY 23, 2015
AUGUST 20, 2015

DATE: MAY 4, 2016
DES: RRC DWN, ARC
SCALE: NA
PROJECT/FILE NO.: V6021X
SHEET NO.: C-11

BEST MANAGEMENT PRACTICE COMPLIANCE

Virginia Stormwater Management Manual (Revised) - 6/18/2014

Site Data Summary

Project Number: 14-001

Site Land Cover Summary

	A Soils	B Soils	C Soils	D Soils	Total	% of Total
Forest (acres)	0.00	0.28	0.00	0.00	0.28	1.97
Turf (acres)	0.00	0.35	0.00	0.00	0.35	2.71
Impervious (acres)	0.00	18.84	0.00	0.00	18.84	85.32
					20.47	100.00

Site Use

Site Use	0.92
Peak Development Treatment Volume (10 ³ gal)	6872
Peak Development TP Load (lb/yr)	63.31
Peak Development TN Load (lb/yr)	395.11
Total TP Load Reductions Required (lb/yr)	8.67

Total Runoff Volume Reduction (TVR)

Total Runoff Volume Reduction (10 ³ gal)	38377
Total TP Load Reductions Achieved (lb/yr)	10
Total TN Load Reductions Achieved (lb/yr)	72.82
Adjusted Peak Development TP Load (lb/yr)	35.06
Adjusted Peak Development TN Load (lb/yr)	171.95

Drainage Area Summary

	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	Total
Forest (acres)	0.28	0.00	0.00	0.00	0.00	0.28
Turf (acres)	0.35	0.00	0.00	0.00	0.00	0.35
Impervious (acres)	18.84	0.00	0.00	0.00	0.00	18.84
						20.43

Drainage Area Compliance Summary

	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	Total
TP Load Red. (lb/yr)	10.15	0.00	0.00	0.00	0.00	10.15
TN Load Red. (lb/yr)	72.82	0.00	0.00	0.00	0.00	72.82

Drainage Area A Summary

	A Soils	B Soils	C Soils	D Soils	Total	% of Total
Forest (acres)	0.00	0.28	0.00	0.00	0.28	1.97
Turf (acres)	0.00	0.35	0.00	0.00	0.35	2.71
Impervious (acres)	0.00	18.84	0.00	0.00	18.84	85.32
					20.43	

BMP Selection

Practice	Credit Area (acres)	Downstream Practice
2.A. To Rainwater Harvesting (Spec 04)	Impervious area captured	6.7

Total Impervious Cover Treated (acres)

Total Impervious Cover Treated (acres)	0.74
Total Turf Area Treated (acres)	0.00
Total TP Load Reduction Achieved in D.A. A (lb/yr)	10.15
Total TN Load Reduction Achieved in D.A. A (lb/yr)	72.82

Channel and Flood Protection

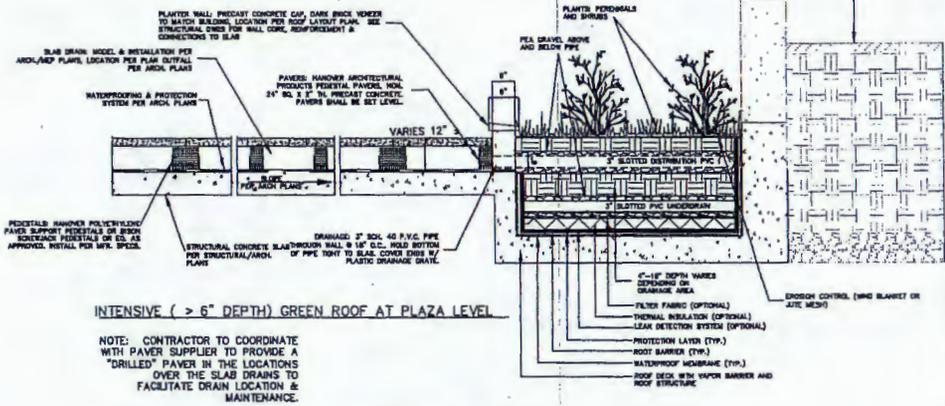
	10-year storm Adjusted CN	2-year storm Adjusted CN	10-year storm Adjusted CN	10-year storm Adjusted CN
Target Rainfall Event (in)	2.64	3.17	4.63	
D.A. A CN	87	94	95	95
D.A. B CN	5	6	6	6
D.A. C CN	5	6	6	6
D.A. D CN	5	6	6	6

BMP NARRATIVE

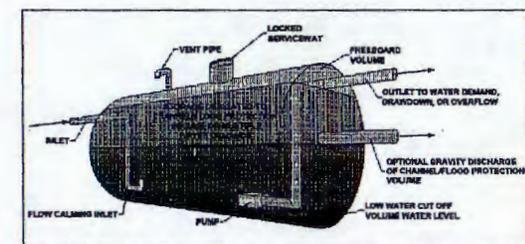
THIS PROJECT IS CLASSIFIED AS AN DEVELOPMENT UNDER COUNTY CODE 124-4-SEVENTEEN AND IT IS ANTICIPATED THAT THERE WILL BE A NET INCREASE IN IMPERVIOUS COVER. HOWEVER, THE FINAL DEVELOPMENT SHALL BE PROVIDED AT SITE PLAN. RAINWATER HARVESTING, GREEN ROOF SYSTEMS, AND URBAN BIO-RETENTION WILL BE USED TO ACHIEVE THE REQUIRED PHOSPHORUS REDUCTION. NO NUTRIENT CREDITS ARE REQUIRED. PLEASE NOTE THAT THE REGIONAL POND DISTO HAS BEEN DESIGNED TO PROVIDE PHOSPHORUS REMOVAL FOR THIS SITE AND IF ON-SITE BMP TECHNIQUES FAIL TO MEET THE REQUIRED REDUCTION RATE THE APPLICANT RESERVES THE RIGHT TO UTILIZE THIS REGIONAL POND. SEE COMPLIANCE COMPUTATIONS ABOVE.

BMP NOTE:

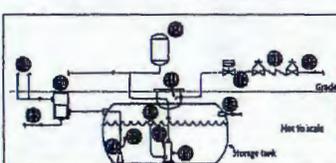
THE DEVELOPMENT PROPOSED ON THE SUBJECT SITE WILL PROVIDE THE PHOSPHORUS REDUCTION RATE AS REQUIRED BY ARTICLE 4 OF CHAPTER 124 OF THE COUNTY CODE. AT A MINIMUM, THE DEVELOPER RESERVES THE RIGHT TO UTILIZE LID TECHNIQUES (PER THE DESIGN SPECIFICATION OF THE VIRGINIA STORMWATER BMP CLEARINGHOUSE AND AS PROVIDED BY THE PPM) OR THE USE OF MANUFACTURED BMPs IN ACCORDANCE WITH THE BMP CLEARINGHOUSE, OR A COMBINATION THEREOF. FINAL DESIGN, LOCATION AND TYPES OF BMP SYSTEMS SHALL BE ESTABLISHED WITH FINAL CONSTRUCTION PLANS AND MAY BE REVISED TO ALTERNATES ALLOWED BY THE PPM.



TIER II INTENSIVE GREEN ROOF DETAIL

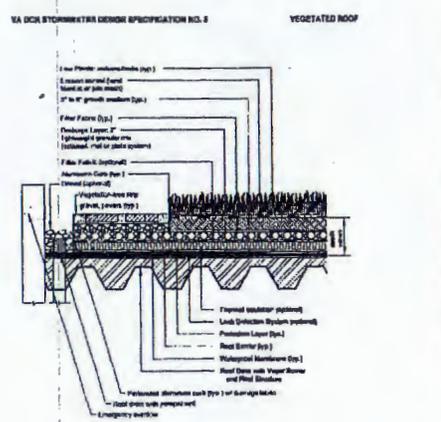


- NOTES:
1. FINAL NUMBER, SHAPE, SIZE, LOCATION, AND DESIGN OF STORMWATER MANAGEMENT VAULTS ARE SUBJECT TO CHANGE AT THE TIME OF FINAL ENGINEERING.
 2. SUPPORT AND REINFORCING FOR VAULTS IS STRUCTURAL ENGINEERING PLANS.
 3. OUTFALL MAY BE FURNISHED AS REQUIRED WITH FINAL SITE PLAN.



1. Rainfall surface and collection system (roof drains, gutters, etc.)
2. Pre-treatment (screening, fine trash catches, filters, etc.)
3. Discharge of excess or diverted flow built to overflow or downstream practice
4. Flow entering inlet
5. Floating (closed) flow submersible pumps
6. Low water cut off float switch
7. Checkflow to secondary runoff reduction downstream runoff reduction or elevated retention BMP, or stormwater system
8. Manual back-up water supply
9. Built flow prevention
10. Float switch to control water levels
11. Inlet gate
12. Inlet gate
13. Inlet gate
14. Pressure tank

SWM/REUSE VAULT TYPICAL DETAIL



TYPICAL EXTENSIVE GREEN ROOF DETAIL

SEE LANDSCAPE PLAN FOR URBAN BIO-RETENTION (TREE PIT)

VIVA
VIVA CONSULTANTS LLC
1415 WEST 10TH ST
FAIRFAX COUNTY, VA 22031
TEL: 703-711-3787
WWW.VIVA-CO.COM

THE BORO
PROVIDENCE DISTRICT
FAIRFAX COUNTY, VIRGINIA

STORMWATER
MANAGEMENT DETAILS

VKA REVISIONS	
NOVEMBER 17, 2010	
JUNE 30, 2011	
JULY 19, 2012	
OCTOBER 22, 2012	
FEBRUARY 16, 2013	
JULY 1, 2013	
APRIL 7, 2014	
FEBRUARY 20, 2015	
MAY 22, 2015	
JULY 22, 2015	
AUGUST 28, 2015	
DATE: MAY 4, 2010	
DES. RRC	DWN, ARC
SCALE:	N/A
PROJECT/FILE NO.	V821X
SHEET NO.	C-12

DATE: Aug. 27 2015 TIME: 12:46 PM

RUNOFF REDUCTION SIZING COMPUTATIONS

Tyson's Corner Comprehensive Plan Stormwater Conformance Spreadsheet - Beta Version 4-18-2012

Site Name: **THE BORO - CDP**

Runoff A Units	Runoff B Units (100' x 100' to 1000' x 1000')	Runoff C Units (1000' x 1000' to 10000' x 10000')	Runoff D Units (10000' x 10000' to 100000' x 100000')	Runoff E Units (100000' x 100000' to 1000000' x 1000000')
0.00	0.00	0.00	0.00	0.00
0.00	0.00	0.00	0.00	0.00
0.00	0.00	0.00	0.00	0.00
D.A. Total (acres) 0.00				

Runoff from 1" Rainfall (in) = 0.00

Site Inflow Units (gallons)

Apply Runoff Reduction Practices	Description of Area	Roof Area Contributing to Runoff (sq. ft.)	Design Rainfall for Runoff (in)	Site Volume Captured by Practices (cu ft.)	Runoff Reduction % Credit from Continuous Simulation Model	Runoff % (per Year Model)	Runoff % (per Year Model)	Volume Reduced by Practices (cu ft.)	Total Volume Received by Practices (cu ft.)	Annual Drydown (gallons)	Annual Clean Volume (gallons)	Runoff Reduction Vol (cu ft.)	Remaining Volume (cu ft.)	Downstream Practices
Apply Runoff Reduction Practices	ROOF ROOF	1,32	1.49	6,397	Runoff Reduction % Credit from Continuous Simulation Model	80%	0	0	6,397	21,300	68,000	2,824	2,796	
Apply Runoff Reduction Practices	VEGETATED AREA	0.00	N/A	1,741	Subtotal 100% of provided storage vol.	100%	N/A	1,741	N/A	3,267	1,741	0	0	
Subtotal to Economic Model, Estimated Total Runoff at Curb Extension (Urban Stormwater)		0.00	N/A	3,997	Subtotal 100% of provided storage vol.	100%	0	3,997	N/A	8,198	3,997	0	0	
Totals:		1.32	1.49	6,397								2,824	2,796	

Total Drainage Area Treated (acres): **0.00** Runoff Reduction Volume Achieved for Drainage Area A (cubic feet): **2,824**

Tyson's Corner Green Roof Sizing Chart (CDP)

NUMBER OF ROOF PANELS	INTENSIVE/EXTENSIVE (SQ. FT.)	DA (VEGETATIVE) (SQ. FT.)	DA (NON-VEGETATIVE) (SQ. FT.)	R _v	T _v	SURFACE AREA (SQ. FT.)	SOIL	MSMA	T _v
Medium	EXTENSIVE	11780	0	0.95	1724	21790	6	0.30	3287
Totals:		11780	0		1724	21790			3287

Notes: Sizing based on DCR Special 2
 R_v = (R_v / 100) * (R_v / 100)
 T_v = (T_v / 100) * (T_v / 100)

Tyson's Corner Curb Extension Sizing Chart (NON-SITE)

CURB EXTENSION #	DA (Ac.)	SURFACE AREA (SQ. FT.)	R _v	T _v	SURFACE AREA (SQ. FT.)	POUNDING	SOIL	GRAVEL	POUNDING	SOIL	GRAVEL	T _v
MANHOLE 10'	0.26	480	0.95	397	700	0	4	1	1	0.25	0.4	363
GREENHOUSE 20'	0.15	290	0.95	117	2130	6	4	1	1	0.25	0.4	409
WETPARK 0.08	153	0.95	810	800	0	4	1	1	0.25	0.4	1130	
TOTALS =		0.50	960	1724	3630							8863

Notes: Sizing based on DCR Special 2-A
 R_v = (R_v / 100) * (R_v / 100)
 T_v = (T_v / 100) * (T_v / 100)

Tyson's Corner Curb Extension Sizing Chart (OFF-SITE)

CURB EXTENSION #	DA (Ac.)	SURFACE AREA (SQ. FT.)	R _v	T _v	SURFACE AREA (SQ. FT.)	POUNDING	SOIL	GRAVEL	POUNDING	SOIL	GRAVEL	T _v
Windpark 0.48	828	0.95	3995	800	0	4	1	1	0.25	0.4	1895	
GREENHOUSE 0.18	360	0.95	1350	1350	0	4	1	1	0.25	0.4	1035	
TOTALS =		0.77	1328	2685	2685							2930

Notes: Sizing based on DCR Special 2-A
 R_v = (R_v / 100) * (R_v / 100)
 T_v = (T_v / 100) * (T_v / 100)
 ALL POTENTIAL PORTIONS OF THIS POTENTIAL OFFSITE TREATMENT AREA SHALL BE TAKEN CREDIT FOR TO ADEQUATELY OFFSET RAINFALL CONTROL CAPACITY TO MEET THE GOALS OF THE TYSON'S CORNER STORMWATER MANAGEMENT COMPREHENSIVE PLAN. MAXIMUM AMOUNT OF POTENTIAL OFFSITE TREATMENT CREDIT IS APPROXIMATELY 0.32"

CONCEPTUAL RAINWATER HARVESTING COMPUTATIONS

Block A RESIDENTIAL - 460,000 GSF Curb Drainage Area = 1.32 AC						AVERAGE SUMMER DEMAND (GPD/1000 GSF)	
Month	June	July	August	September	October	January	100
Average Daily Demand (Gallons)	48,000	48,000	48,000	18,400	18,400	18,400	100
Average Daily Demand (Cubic Feet)	6,400	6,400	6,400	2,460	2,460	2,460	100
1.4" Rainfall Event Analysis							
1.4" Rainfall Event Volume (Cubic Feet)	6,372	6,372	6,372	6,372	6,372	6,372	RES. GSF
Days in 6 or more 1.4" Volume	1.04	1.04	1.04	2.89	2.89	2.89	480,000
NOAA Historical Annual Data Analysis							
Average Monthly Rainfall (Inches)	4.07	3.57	3.78	3.31	3.07	3.05	CISTERN DRAINAGE AREA (AC)
Average Monthly Rainfall (Cubic Feet)	58,802	51,608	55,122	49,980	44,710	44,834	3.52
Average Daily Rainfall (Cubic Feet)	660	531	584	528	476	471	AVERAGE DAILY COOLING TOWER DEMAND (GALLONS)
Typical daily demand versus availability	-5,398	-5,398	-5,346	-3,853	-3,965	-1,968	83,308

NOTE: PRELIMINARY DEMAND IS BASED ON THE AVERAGE OF SUMMER AND WINTER MONTHS WHICH ARE RESPECTIVELY THE PERIODS OF HIGHEST AND LOWEST COOLING TOWER MAKEUP DEMAND. FINAL COMPUTATIONS TO BE PROVIDED AT TIME OF ASPE PLAN.

NOTE: ALL STORMWATER MANAGEMENT FACILITIES WILL BE PROTECTIVELY FENCED AND A PROTECTIVE AGREEMENT WILL BE REQUIRED BEFORE THE CONSTRUCTION PLAN IS APPROVED.



THE BORO
PROVIDENCE DISTRICT
FAIRFAX COUNTY, VIRGINIA

BLOCK A
STORMWATER
COMPUTATION

VIXA REVISIONS

NOVEMBER 17, 2010
JUNE 20, 2011
JULY 18, 2012
OCTOBER 23, 2012
FEBRUARY 19, 2013
MAY 1, 2013
APRIL 7, 2014
FEBRUARY 26, 2015
MAY 22, 2015
JULY 22, 2015
AUGUST 26, 2015

DATE: MAY 4, 2010
 DES: [] DWN: []
 RIC: [] ANC: []
 SCALE: N/A
 PROJECT FILE NO: V06212
 SHEET NO: C-13

CONCEPTUAL RAINWATER HARVESTING COMPUTATIONS

Screening Plan
PRELIMINARY/CONCEPTUAL
2/11/2015

Estimated Cooling Tower makeup water requirements

	Block C		
	C1 - Hotel	C2 - Cinema	C3 - Office
Jan	111,829	107,795	211,767
Feb	105,709	101,852	186,418
Mar	126,422	122,308	404,933
Apr	130,007	132,787	418,933
May	146,594	172,279	488,399
Jun	134,823	106,893	367,883
Jul	137,004	121,545	328,762
Aug	209,130	143,308	362,055
Sep	178,026	108,130	303,020
Oct	134,680	104,137	300,828
Nov	91,071	88,136	211,098
Dec	91,071	88,136	211,098
Annual	1,802,405	1,484,251	3,431,836

TOTAL = 3,078,984 GAL/YEAR
AVG. STORAGE = 26,711 GAL/DAY

RUNOFF REDUCTION SIZING COMPUTATIONS

Tyson's Corner Comprehensive Plan Stormwater Conformance Spreadsheet - Beta Version 4-18-2012

Site Name: THE BORO - CDP

Drainage Area C Post-Development Land Cover

	HSG A soils	HSG B Soils	HSG C Soils	HSG D Soils	Totals
Forest / Preserved Open Space	0.00	0.00	0.00	0.00	0.00
Managed Turf	0.00	0.14	0.00	0.00	0.14
Impervious Cover	0.00	3.86	0.00	0.00	3.86

D.A. Total (acres) 4.82

Rf (R) 0.20
Rf (Impervious) 0.95

Runoff from 1" Rainfall (cfs) = 13,218

Apply Runoff Reduction Practices	Description of Area	Roof Area Contributing to RWH (sq)	Design Rainfall for RWH (ft)	Max Volume Received by Practice (ft³)	RWHs Credit	Input % RfR from Model	% Credit	Volume Received from Upstream Practices (cfs)	Total Volume Received by Practice (cfs)	Avg Daily Downflow (gallons)	Estimate RWH Pct % Credit			
											Available Storm Volume (gallons)	Runoff Reduction Vol (cfs)	Remaining Volume (cfs)	Downstream Practice
Rooftop Rainwater Harvesting	HIGH ROOFS	3,022	1.40	9,778	Estimate Runoff Reduction % Using Spreadsheet	80%	0	0	9,778	24,711	75,000	9,200	47%	
Apply Runoff Reduction Practices	Description of Area	Impervious Cover in Contributing D.A. (ac)	Managed Turf in Contributing D.A. (ac)	Max Volume Received by Practice (ft³)	Description of Credit	% Credit	Volume Received from Upstream Practices (ft³)	Total Volume Received by Practice (ft³)	Surface Area of Practice (ft²)	Storage Vol Provided by Practice (ft³)	Runoff Reduction Vol (ft³)	Remaining Volume (ft³)	Downstream Practice	
Vegetated Road	ON PLAZA	0.14	N/A	500	Subtract 100% of provided storage vol.	100%	N/A	500	N/A	1,450	500	0		
Disconnection to Stormwater Planter, Extended Tree Pit, or Curb Extension (Urban Stormwater)	Scapescape & Road (Curb-side only)	1.12	N/A	3,880	Subtract 100% of provided storage vol.	100%	N/A	3,880	N/A	4,860	3,880	0		
		Totals:	3.89	0.00										
		Total Drainage Area Treated (acres):	3.89											

Runoff Reduction Volume Achieved for Drainage Area A (cubic feet): 13,218

Tyson's Corner Green Roof Slope Chart (COP)

GREEN ROOF NUMBER	INTENSIVE/EXTENSIVE	DA (VEGETATIVE) [SQ.FT.]	DA (NON-VEGETATIVE) [SQ.FT.]	Tv [INCHES]	Tv [FEET]	SURFACE AREA [SQ.FT.]	SOIL [INCHES]	MEDIA [INCHES]	Tv [FEET]
1	INTENSIVE	3745	5225	0.95	710	3745	13	0.50	1124
TOTAL		3745	5225		710	3745			1124

N/A
Note: Slope based on DCE Speed 3
Tv [FEET] = 12" * DA [SQ.FT.]
Tv [PROVIDED] = Surface Area * Soil Depth * Porosity / 12

Tyson's Corner Curb Extension Slope Chart (COT-S1X)

CURB EXTENSION #	DA [Ac.]	SURFACE AREA [SQ.FT.]	Tv [INCHES]	Tv [FEET]	SURFACE AREA [SQ.FT.]	POROSITY	SOIL [INCHES]	GRAVEL [INCHES]	POWDER [INCHES]	SOIL [INCHES]	GRAVEL [INCHES]	Tv [FEET]
MADISON ST.	0.91	3320	0.95	2277	1425	0	4	1	1	0.25	0.4	1895
PAINE AVE.	0.49	1718	0.95	1053	1167	6	4	1	1	0.25	0.4	2112
TOTALS =	1.41	5038		3330	2592							4007

N/A
Note: Slope based on DCE Speed 3-A
SA [SQ.FT.] = Tv² * 12
Tv [PROVIDED] = 12" * SA [SQ.FT.]
Tv [PROVIDED] = SUM OF STORAGE

Tyson's Corner Curb Extension Slope Chart (COT-S1E)

CURB EXTENSION #	DA [Ac.]	SURFACE AREA [SQ.FT.]	Tv [INCHES]	Tv [FEET]	SURFACE AREA [SQ.FT.]	POROSITY	SOIL [INCHES]	GRAVEL [INCHES]	POROSITY	SOIL [INCHES]	GRAVEL [INCHES]	Tv [FEET]
SOLUTIONS DRIVE	0.35	1279	0.95	1307	341	6	4	1	1	0.25	0.4	648
TOTALS =	0.35	1279		1307	341							648

N/A
Note: Slope based on DCE Speed 3-A
SA [SQ.FT.] = Tv² * 12
Tv [PROVIDED] = 12" * SA [SQ.FT.]
Tv [PROVIDED] = SUM OF STORAGE



THE BORO
PROJECT LOCATION
FAYETTE COUNTY, VIRGINIA

**BLOCK C
STORMWATER
COMPUTATION**

VIKA REVISIONS

NOVEMBER 17, 2010
JUNE 30, 2011
JULY 19, 2012
OCTOBER 23, 2012
FEBRUARY 15, 2013
JULY 1, 2013
APRIL 7, 2014
FEBRUARY 20, 2015
MAY 22, 2015
JULY 23, 2015
AUGUST 26, 2015

DATE: MAY 4, 2010
DES. DWG.
SAC. DWG.
SCALE: N/A
PROJECT/FILE NO.: V0221X
SHEET NO.: C-15

NOTE: ALL STORMWATER MANAGEMENT FACILITIES WILL BE PERMANENTLY MAINTAINED AND A PRIVATE MAINTENANCE AGREEMENT WILL BE REQUIRED BEFORE THE CONSTRUCTION PLAN IS APPROVED.

Runoff Reduction Sizing Computations
 Tysons Corner Comprehensive Plan Stormwater Conformance Spreadsheet - Beta Version 4-18-2012

Site Name: THE BORO - CDP

Drainage Area II Post-Development Land Cover	MSD A Units	MSD B Units	MSD C Units	MSD D Units	Totals
Forest / Preserved Open Space	0.00	0.00	0.00	0.00	0.00
Managed Turf	0.00	0.15	0.00	0.00	0.15
Impervious Cover	0.00	0.00	0.00	0.00	0.00
D.A. Total (acres)					0.15

Runoff from 1" Rainfall (c) = 11,139

Apply Runoff Reduction Practices	Description of Area	Impervious Cover in Contributing D.A. (ac)	Managed Turf in Contributing D.A. (ac)	Max Volume Retained by Practices (c)	Description of Credit	% Credit	Volume Retained from Impervious Practices (c)	Estimate RVR for % Credit				
								Total Volume Retained by Practices (c)	Storage Vol Provided by Practices (c)	Runoff Reduction Vol (c)	Flowing Volume (c)	
Vegetated Roof	Extensive (1.8" depth and 0.30 porosity)	0.07	N/A	3,000	Subtract 100% of provided storage vol.	100%	264	3,000	N/A	4,368	3,203	0
Disconnection to Stormwater Plenum, Extended Tree Pit, or Curb Extension (Non Stormwater)	Stormwater & Road (Curb only)	0.23	N/A	770	Subtract 100% of provided storage vol.	100%	0	770	N/A	1,078	770	0
Totals:								1.00	0.00	0.00	0.00	0.00

Total Drainage Area Treated (acres): 0.15

Runoff Reduction Volume Achieved for Drainage Area A (cubic feet): 3,203

Tysons Corner Green Roof Sizing Chart (CDP)

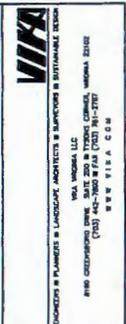
GREEN ROOF NUMBER	INTENSIVE/EXTENSIVE	DA (VEGETATIVE) (SFT)	DA (NON-VEGETATIVE) (SFT)	Rv	Tv	SURFACE AREA (SFT)	SOIL DEPTH (IN)	MEDIA DEPTH (IN)	Tv (SFT)
1	EXTENSIVE	3743	0	0.95	2985	3743	4.5	0.30	438
Total		3743	0		2985	3743			438

Note: Sizing based on DCR Section 5
 Rv=REQ'D-1"Rv/DA/12
 Tv=PROV'D-1"Rv/DA/12

Tysons Corner Curb Extension Sizing Chart (ON-SITE)

CURB EXTENSION #	DA (Ac)	SURFACE AREA (SFT)	Rv	Tv	PROV'D (SFT)	PONDING DEPTH (INCH)	SOIL DEPTH (FT)	OSAVEL DEPTH (FT)	PONDING VOLUME (CY)	SOIL VOLUME (CY)	OSAVEL VOLUME (CY)	Tv (CY)
STATION #1	0.22	270	0.95	79	260	6	4	1	1	0.25	0.4	125
STATION #2	0.09	340	0.95	180	160	6	4	1	0.25	0.4	201	
TOTALS =		0.31	610		420				0.50	0.8	326	

Note: Sizing based on DCR Section 9-A
 Rv=REQ'D/12
 Tv=PROV'D/12



THE BORO
 PROGRESSIVE DISTRICT
 FAIRFAX COUNTY, VIRGINIA

BLOCK F
STORMWATER
COMPUTATION

VIA REVISIONS

DATE	DESCRIPTION
NOVEMBER 17, 2010	
MAY 26, 2011	
MAY 16, 2012	
OCTOBER 23, 2013	
FEBRUARY 19, 2013	
MAY 1, 2013	
APRIL 7, 2014	
FEBRUARY 26, 2015	
MAY 22, 2015	
MAY 22, 2016	
AUGUST 26, 2015	

DATE: MAY 4, 2018
 DES: BRC DWG: ARC
 SCALE: N/A
 PROJECT/FILE NO.: V02181
 SHEET NO.: C-15B

NOTE:
 ALL STORMWATER MANAGEMENT FACILITIES WILL BE PERMANENTLY MAINTAINED AND A PRIVATE MAINTENANCE AGREEMENT WILL BE REQUIRED BEFORE THE CONSTRUCTION PLAN IS APPROVED.



OUTFALL DESCRIPTIONS

THIS WATERSHED MAP INCLUDES THE COP SITE AREA PLUS CONTRIBUTING SUBURBS AS SHOWN ON THIS PLAN. THE ADEQUACY OF OUTFALL FOR THIS COP IS BASED UPON THE PREMISE THAT AN ADEQUATE OUTFALL IS IN PLACE OR WILL BE IN PLACE AT THE TIME OF FINAL SITE PLAN. AT THIS TIME THERE ARE NO APPLICABLE DOWNSTREAM DRAINAGE COMPLAINTS. THERE ARE TWO SEPARATE OUTFALLS FOR THIS SITE, BOTH ARE CLOSED CHANNELS AND RUN EAST-WEST TO THE SAME DISCHARGE POINT (THE REQUIREMENT OF OLD COUNTY ROAD SPRING BRANCH). THE FIRST OUTFALL CROSSES LESLIE ROAD VIA AN EXISTING 48" RCP PIPE WHERE IT PASSES THROUGH THE EXISTING POND 7 PLAZA AND BECOMES A 48" RCP. IT THEN PASSES THROUGH EXISTING OLD COUNTY ROAD (RT. 197) AND THEN ENTERS AN OPEN NATURAL CHANNEL, OLD COUNTY ROAD SPRING BRANCH AT POINT 'B' AND IS CONVEYED TO THE WEST UNDER DALLAS TOLL ROAD (RT. 287).

THE SECOND OUTFALL CROSSES LESLIE ROAD VIA AN EXISTING 36" RCP PIPE WHERE IT PASSES THROUGH THE EXISTING POND 7 PLAZA AND EVENTUALLY BECOMES AN EXISTING 36" RCP PIPE. FROM HERE IT PASSES THROUGH EXISTING OLD COUNTY ROAD (RT. 197) AND THEN ENTERS AN OPEN NATURAL CHANNEL, OLD COUNTY ROAD SPRING BRANCH, ALSO AT POINT 'B' WHERE IT IS CONVEYED WITH THE FIRST OUTFALL AND FLOWS WEST UNDER DALLAS TOLL ROAD (RT. 287). THE CONTRIBUTING DRAINAGE AREA FOR APPROXIMATELY 1.5 HOURS TALL IS INDICATED POINT 'B'. AT POINT 'B', THE STUDY AREA INDICATED ON THIS SHEET, THE DRAINAGE AREA IS APPROXIMATELY 654 AC., WHICH IS GREATER THAN ONE SQUARE MILE (260 AC) THEREFORE MEETING THE REQUIREMENTS OF THE ZONING ORDINANCE FOR THE DESCRIPTION OF THE OUTFALL.

PLEASE NOTE THAT AT SITE PLAN IT IS ANTICIPATED THE EXTENT OF THE ADEQUATE OUTFALL REVIEW SHALL BE 150' DOWN STREAM OF POINT 'A' AS SHOWN ON THE MAP AS THIS IS WHERE THE CONTRIBUTING DRAINAGE AREA FROM THE SITE SHALL MEET A COMPARISON AREA THAT REPRESENTS A COMPLIANCE OF AT LEAST 80% OR MORE PER COUNTY CODE SECTION 124-4-4.

IT IS ASSURED THAT ANY STORM DRAIN PIPES OR CONDUITS SYSTEMS INTO WHICH SITE RUNOFF WILL BE CONVEYED HAVE SUFFICIENT CAPACITY AND ARE THEREFORE ADEQUATE. AT SITE PLAN CHANNEL PROTECTOR AND FLOOD PROTECTOR REQUIREMENTS SHALL BE ADDRESSED FOR APPLICABLE COUNTY CODE SECTION 124-4-4.

SUMMARY /CONCLUSION:

IT IS THE OPINION OF VIKI, INC. THAT THIS PROJECT WILL HAVE NO ADVERSE EFFECT ON CHARGE FLOODING OF ANY DOWN STREAM PROPERTY OR STRUCTURE AND THAT THE OUTFALL IS ADEQUATE.

LEGEND

- SITE AREA
- SUB AREA DRAINAGE LINE



VIKA
 ENGINEERS & PLUMBERS & LANDSCAPE ARCHITECTS & SURVEYORS & SUSTAINABLE DESIGN
 VIKI, INC.
 1500 WEST 10TH AVENUE, SUITE 100
 DENVER, COLORADO, 80202
 (303) 733-1100 FAX (303) 733-1101
 WWW.VIKI.A.COM

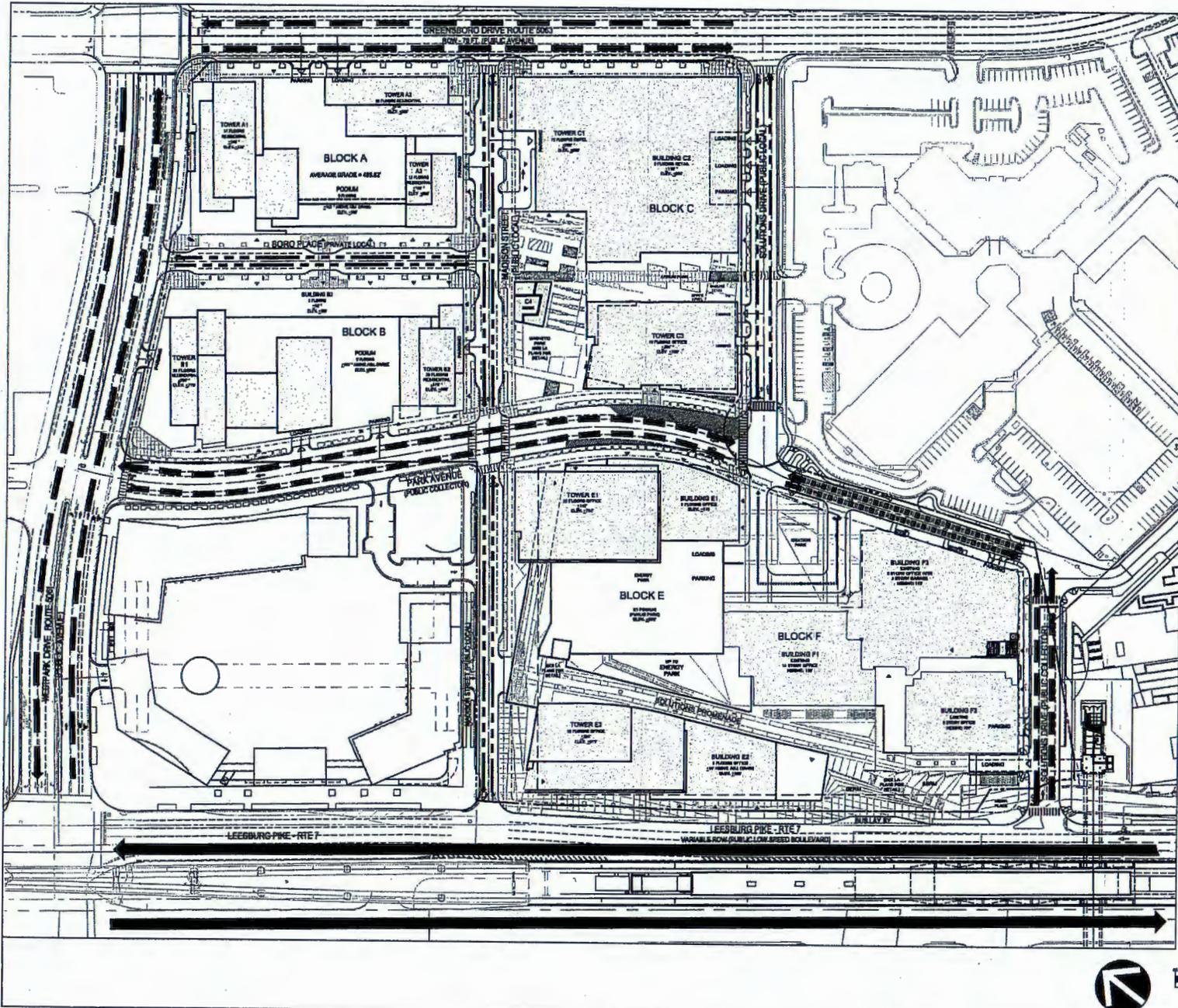
THE BORO
 PROMENADE DISTRICT
 FAIRFAX COUNTY, VIRGINIA

ADEQUATE OUTFALL
DRAINAGE AREA AND MAP

VIKA REVISIONS

NOVEMBER 17, 2010
JUNE 30, 2011
JULY 18, 2012
OCTOBER 22, 2012
FEBRUARY 16, 2013
JULY 1, 2013
APRIL 7, 2014
FEBRUARY 20, 2015
MAY 22, 2015
JULY 23, 2015
AUGUST 28, 2015

DATE: MAY 4, 2010
 DES: RRC DWR
 DRW: ARC
 SCALE: 1"=500'
 PROJECT/FILE NO: V0201X
 SHEET NO: C-15C



- LEGEND**
- BOULEVARD
 - AVENUE
 - COLLECTOR
 - LOCAL STREET
 - PRIVATE ALLEY
 - INTERM STREET (PRIVATE COLLECTOR)
 - VDOT LIMIT OF MAINTENANCE
 - VDOT R.O.W.



WKA
 CONSULTING ENGINEERS & ARCHITECTS
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 FAIRFAX COUNTY, VIRGINIA 22031
 (703) 440-7000 FAX (703) 791-1977
 WWW.WKA.COM

THE BORO
 PROVIDENCE DISTRICT
 FAIRFAX COUNTY, VIRGINIA

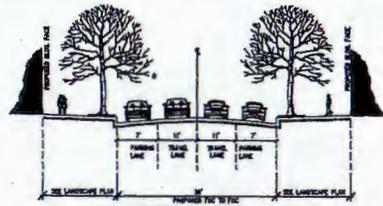
TRAFFIC CIRCULATION PLAN

WKA REVISIONS

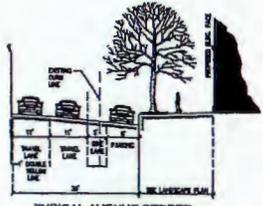
NOVEMBER 17, 2010
JUNE 30, 2011
JULY 16, 2012
OCTOBER 23, 2012
FEBRUARY 19, 2013
JULY 1, 2013
APRIL 3, 2014
FEBRUARY 20, 2015
MAY 22, 2015
JULY 23, 2015
AUGUST 28, 2015

DATE: MAY 4, 2010
 DES: D96L
 INC: ARC
 SCALE: 1"=40'
 PROJECT/FILE NO.: VE021X
 SHEET NO.: C-15

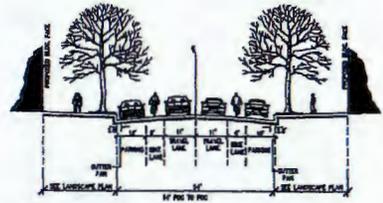
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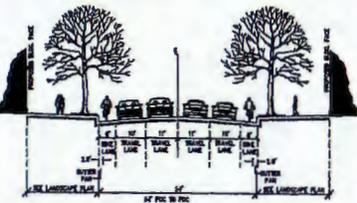
SOLUTIONS DRIVE
(PUBLIC LOCAL ROAD)



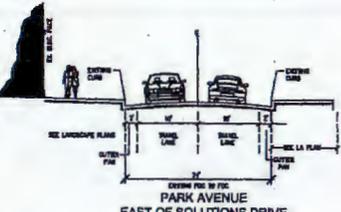
TYPICAL AVENUE STREET
GREENSBORO DRIVE WIDENING
(PUBLIC)



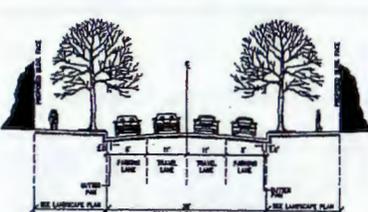
PARK AVENUE (AT BLOCKS C & E)
2 LANE COLLECTOR OPTION (PUBLIC)



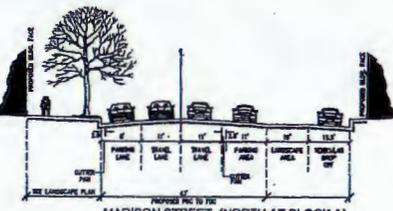
PARK AVENUE (AT BLOCKS C & E)
4 LANE COLLECTOR OPTION (PUBLIC)



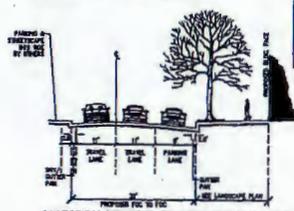
PARK AVENUE
EAST OF SOLUTIONS DRIVE
(PRIVATE COLLECTOR)



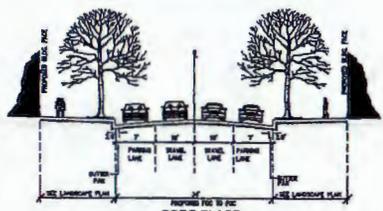
MADISON STREET (NORTH AT BLOCK B)
(PUBLIC LOCAL ROAD)



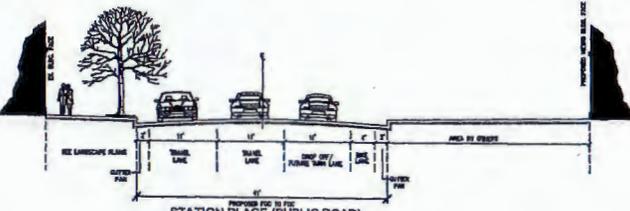
MADISON STREET (NORTH AT BLOCK A)
(PUBLIC LOCAL ROAD)



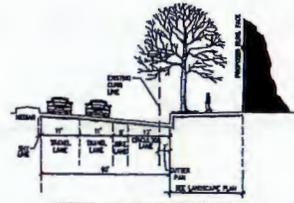
MADISON STREET (SOUTH OF PARK AVE.)
(PUBLIC LOCAL ROAD)



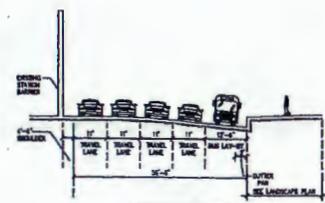
BORO PLACE
(PRIVATE LOCAL ROAD)



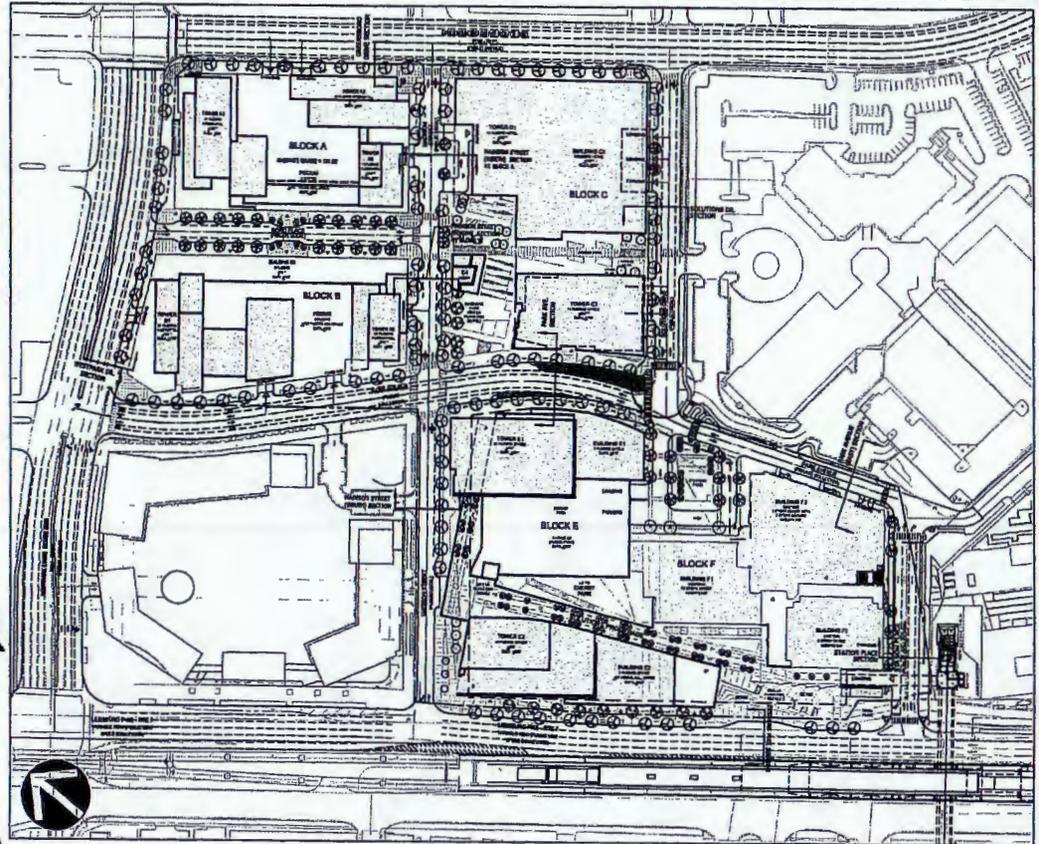
STATION PLACE (PUBLIC ROAD)



WESTPARK DRIVE WIDENING
AVENUE STREET (PUBLIC)



LEESBURG PIKE
BOULEVARD (PUBLIC)



VIVA
VIVA ARCHITECTS & PLANNERS, INC.
1000 WEST MAIN STREET, SUITE 200
FAIRFAX COUNTY, VIRGINIA 22031
WWW.VIVA.AA.COM

THE BORO
PROVIDENCE DISTRICT
FAIRFAX COUNTY, VIRGINIA

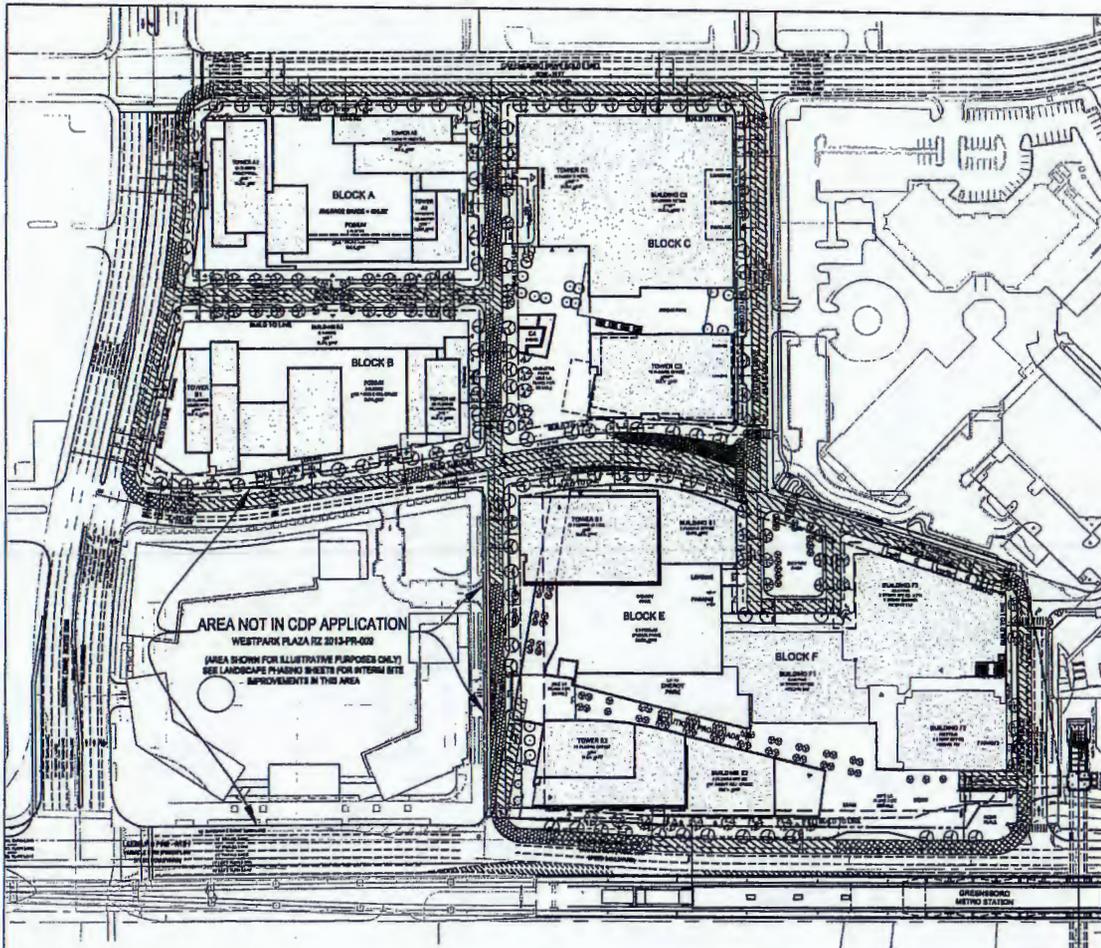
TRAFFIC CIRCULATION PLAN -
TYPICAL STREET SECTIONS

VIVA REVISIONS

NOVEMBER 17, 2010
JUNE 30, 2011
JULY 16, 2013
OCTOBER 22, 2013
FEBRUARY 19, 2013
JULY 1, 2013
APRIL 7, 2014
FEBRUARY 20, 2015
MAY 22, 2015
JULY 23, 2015
AUGUST 28, 2015

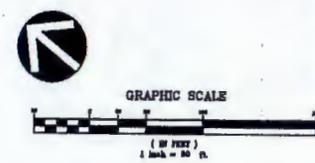
DATE: MAY 4, 2010
DES: RRC DWN: ARC
SCALE: N/A
PROJECT/FILE NO.: WSD21X
SHEET NO.: D-18A

FILED: \Users\Project\WestVary\CP\WestVary.dwg (User: rrc) DATE: Aug 27 2015 TIME: 03:39 PM



FIRE ACCESS CHECKLIST

- 1) ALL ROADS PROPOSED BY THE PROJECT, AS WELL AS ADJOINING ROADS; THE CLASSIFICATIONS OF THE ROADS (I.E. ARTERIAL, COLLECTOR, ETC.) SHOULD BE NOTED. *(PROVIDED)*
- 2) LOCATION AND DIMENSIONS OF ALL FIRE ACCESS LANES AND TURNAROUNDS; VEHICLE ACCESS TO THE REAR OF BUILDINGS, INCLUDING INTERIOR COURTYARDS FOR STICK-BUILT DONUT-SHAPED BUILDINGS, NEEDS TO BE SHOWN. *(PROVIDED)*
- 3) ARROW DIAGRAMS INDICATING WHERE EMERGENCY VEHICLES CAN ACCESS BUILDINGS. *(PROVIDED)*
- 4) DIMENSIONS OF THE DISTANCE BETWEEN THE PORTIONS OF THE ROADWAY THAT ARE ACCESSIBLE TO FIRE TRUCKS AND THE FACADES OF THE BUILDINGS. THE TARGET DISTANCE IS BETWEEN 15 AND 30 FEET SEPARATION. *(PROVIDED)*
- 5) IMPROVEMENTS PLANNED FOR THE AREA BETWEEN THE PORTIONS OF THE ROADWAY THAT ARE ACCESSIBLE TO FIRE TRUCKS AND THE FACADES OF THE BUILDINGS, INCLUDING PARKING LANES, GARAGE PODIUMS, LANDSCAPED AREAS, STEEP SLOPES, SIDEWALKS, PLAZAS, YARDS, OUTDOOR SEATING AREAS, STEPS, PLANTERS, SCULPTURES, ETC. *(TO BE PROVIDED AT FDP)*
- 6) CLEAR IDENTIFICATION OF BUILDING FOOTPRINTS, CANTILEVERED EXTENSIONS, PENTHOUSES, BALCONIES, PATIOS, ETC. *(TO BE PROVIDED AT FDP)*
- 7) HEIGHTS OF THE PROPOSED BUILDINGS; FOR BUILDINGS WITH MULTIPLE HEIGHTS DUE TO STEP BACKS, THE HEIGHT AND NUMBER OF STORIES OF EACH BUILDING SEGMENT SHOULD BE CLEARLY NOTED. *(PROVIDED)*
- 8) LOCATION OF OVERHEAD UTILITY LINES. UTILITIES SHALL BE UNDERGROUND UPON COMPLETION OF EACH PHASE/BLOCK.
- 9) IDENTIFICATION OF CONSTRUCTION TYPE FOR EACH BUILDING; FOR MULTIPLE BUILDINGS LOCATED ON A SINGLE GARAGE PODIUM, THE CONSTRUCTION TYPE FOR EACH BUILDING MUST BE IDENTIFIED - THE GARAGE PODIUM CAN BE IDENTIFIED AS A BLOCK, WITH EACH BUILDING IDENTIFIED SEPARATELY. EACH PORTION OF STRUCTURE WITH A DIFFERENT CONSTRUCTION TYPE IS CONSIDERED A SEPARATE BUILDING. STRUCTURES THAT ARE SEPARATED BY A FIRE WALL ARE ALSO CONSIDERED SEPARATE BUILDINGS. *(PROVIDED)*
- 10) TYPE OF BUILDING SKIN MATERIAL (COMBUSTIBLE/NON-COMBUSTIBLE), TYPE OF SPRINKLERS (TYPE 13; IF 13R PLEASE EXPLAIN), AND ROOF TYPE (CLASS A PREFERRED). *(PROVIDED)*
- 11) LOCATION OF PROPOSED BUILDING ENTRANCES, BOTH PEDESTRIAN AND VEHICULAR; ACCESS DOORS AND ELEVATORS, INCLUDING MEDEVAC ELEVATORS, SHOULD BE SHOWN ON THE FDP. ALSO, ANY INTERIOR ROUTES AVAILABLE FOR EMERGENCY VEHICLE USE, SUCH AS SUITABLY SIZED DRIVEWAYS THROUGH PARKING GARAGES AND COURTYARDS, SHOULD BE DELINEATED. *(TO BE PROVIDED AT FDP)*
- 12) LOADING AREAS AND WHETHER THEY ARE ACCESSIBLE TO EMERGENCY VEHICLES. *(PROVIDED)*
- 13) ACCESS TO ACTIVE COURTYARDS (ESPECIALLY WITH POOLS, TENNIS COURTS, ETC.) NEEDS TO BE SHOWN - HOW WILL THE MEDICAL STAFF GET THERE, WITH THEIR EQUIPMENT, QUICKLY? *(TO BE PROVIDED AT FDP)*

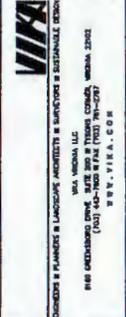


- DENOTES FIRE ACCESS AREA ACCESSIBLE TO AERIAL (5% SLOPE OR LESS)
- DENOTES FIRE ACCESS AREA WITH SLOPE GREATER THAN 6%
- DENOTES VEHICULAR ACCESS ONLY (I.E. FURTHER THAN 30' FROM BLDG FACE)
- INTERIM FIRE ACCESS AREA
- PODIUM
- TOWER
- 15' BUILDING OFFSET
- 30' BUILDING OFFSET

BLOCK A1	A3	A4 (REDUCED TO B)	B1	B2	BLOCK C1	C1	C2	C3	C4	C5
TYPE OF CONSTRUCTION	1A	1A	1A	1A	1A	1A	1A	1A	1A	1A
NUMBER OF STORIES	31 MAX	31 MAX	28 MAX	28 MAX	44-207'	18	44-207'	44-207'	44-207'	44-207'
BUILDING HEIGHT	44-240' 0" MAX	44-240' 0" MAX	150,000 SF MAX	150,000 SF MAX	480,000	44-207'	44-207'	44-207'	44-207'	44-207'
BUILDING SF	18,000 SF MAX	18,000 SF MAX	150,000 SF	150,000 SF	480,000	44-207'	44-207'	44-207'	44-207'	44-207'
FULLY SPRINKLED PER NFPA 13	YES	YES	YES	YES	YES	YES	YES	YES	YES	YES
SPRINKLER TYPE	13	13	13	13	13	13	13	13	13	13
FIRE WALL RATING	3	3	3	3	1 HR	3	3	3	3	3
OCCUPANCY GROUP	R-2	R-2	M, R-2	M, R-2	R-1, M, & B-2					

NOTES:

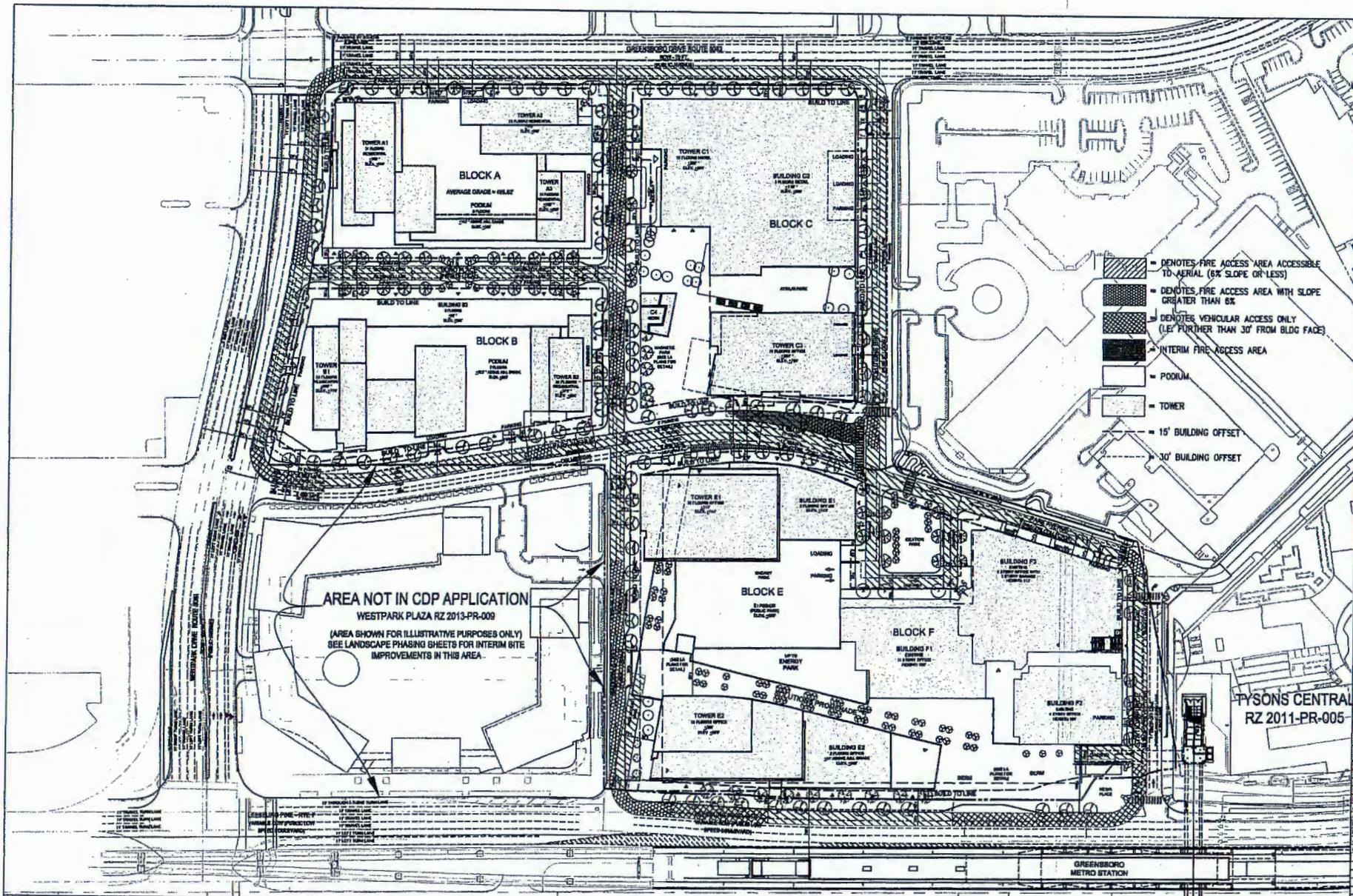
1. ALL AREAS IDENTIFIED AS FIRE LANES, FIRE DEPARTMENT TURNAROUNDS, FIRE DEPARTMENT ACCESS AREA OR OTHER RESTRICTED AREAS WILL HAVE SIGNS, PAINT, STORAGE AND OTHER REQUIRED IDENTIFICATION INSTALLED AS REQUIRED PRIOR TO STRUCTURE OCCUPANCY.
2. THE CONSTRUCTION OF ALL BUILDINGS AND STRUCTURES WILL FULLY COMPLY WITH FIRE PROTECTION AND FIRE ACCESS REQUIREMENTS LISTED IN THE STATEWIDE BUILDING CODE, THE FAIRFAX COUNTY PUBLIC FACILITIES MANUAL, AND THE STATEWIDE FIRE PREVENTION CODE AS AMENDED BY FAIRFAX COUNTY INCLUDING ALL FIRE LANE MARKINGS.
3. THE THREE EXISTING TOWERS IN BLOCK F WERE DESIGNED AS ONE BUILDING FOR FIRE CODE PURPOSES WITH A CONSOLIDATED FIRE CONTROL ROOM AND CONSOLIDATED FDG CONNECTIONS IN FRONT OF EXISTING TOWERS 1. SEE SITE PLAN # 023-SP-07.



THE BORO
PROVIDENCE DISTRICT
FAIRFAX COUNTY, VIRGINIA

FIRE ACCESS PLAN

VIKA REVISIONS	
NOVEMBER 17, 2010	
JUNE 30, 2011	
JULY 16, 2012	
OCTOBER 22, 2012	
FEBRUARY 19, 2013	
MAY 1, 2013	
APRIL 7, 2014	
FEBRUARY 20, 2015	
MAY 22, 2015	
JULY 22, 2015	
AUGUST 28, 2015	
DATE: MAY 4, 2010	
DES. RRC	OWN. ARC
SCALE: 1"=80'	
PROJECT/FILE NO. VBO21X	
SHEET NO. C-18	



VVA REVISIONS

NOVEMBER 17, 2010
JUNE 26, 2011
JULY 16, 2012
OCTOBER 22, 2012
FEBRUARY 15, 2013
JULY 1, 2013
APRIL 7, 2014
FEBRUARY 10, 2015
MAY 22, 2015
JULY 22, 2015
AUGUST 26, 2015

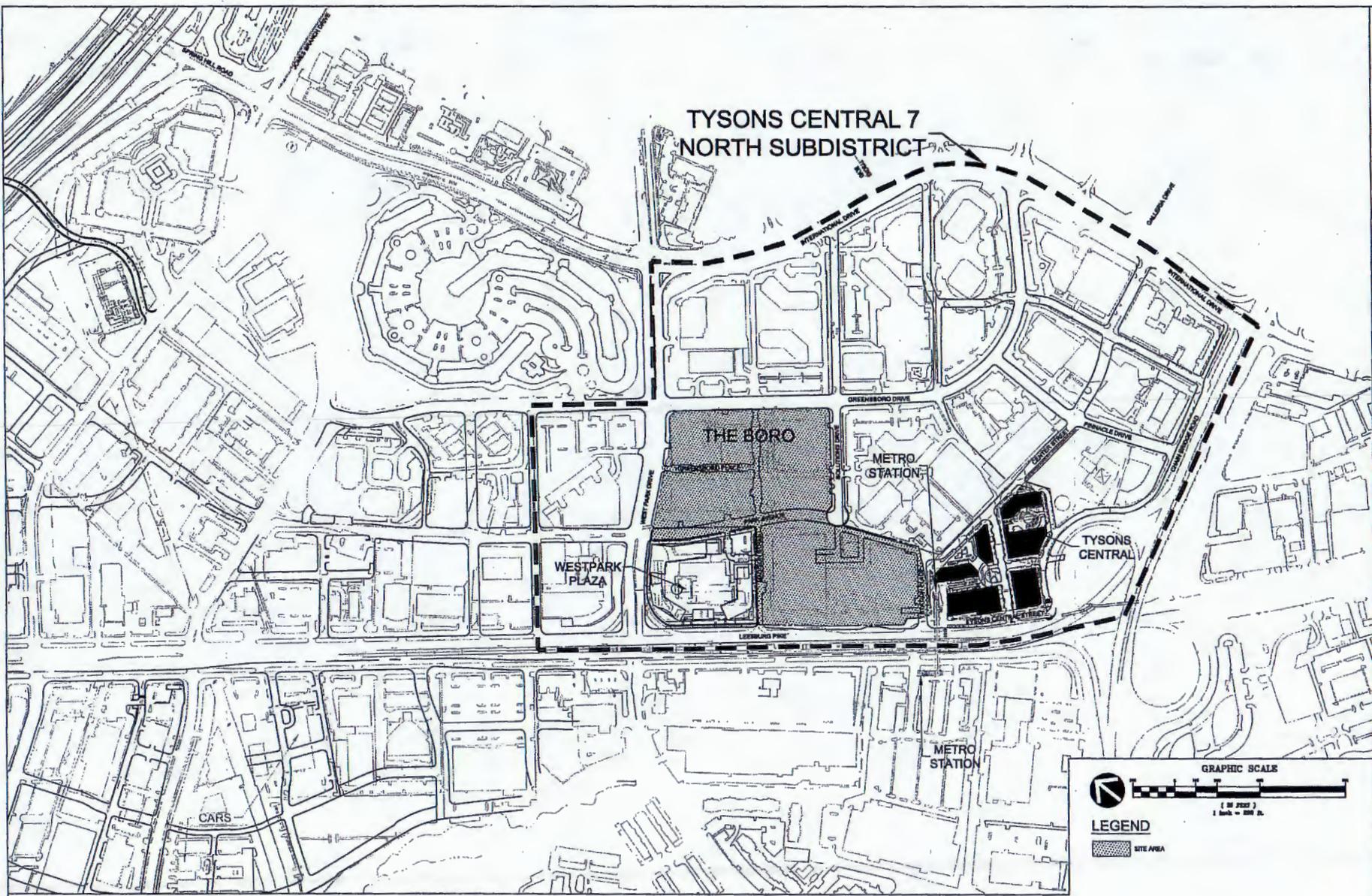
DATE: MAY 4, 2010

DES.	DWA
ARC	ARC

SCALE: 1"=60'
 PROJECT/FILE NO. W021X
 SHEET NO. C-15A



TYSONS CENTRAL 7
NORTH SUBDISTRICT



LEGEND
 SITE AREA

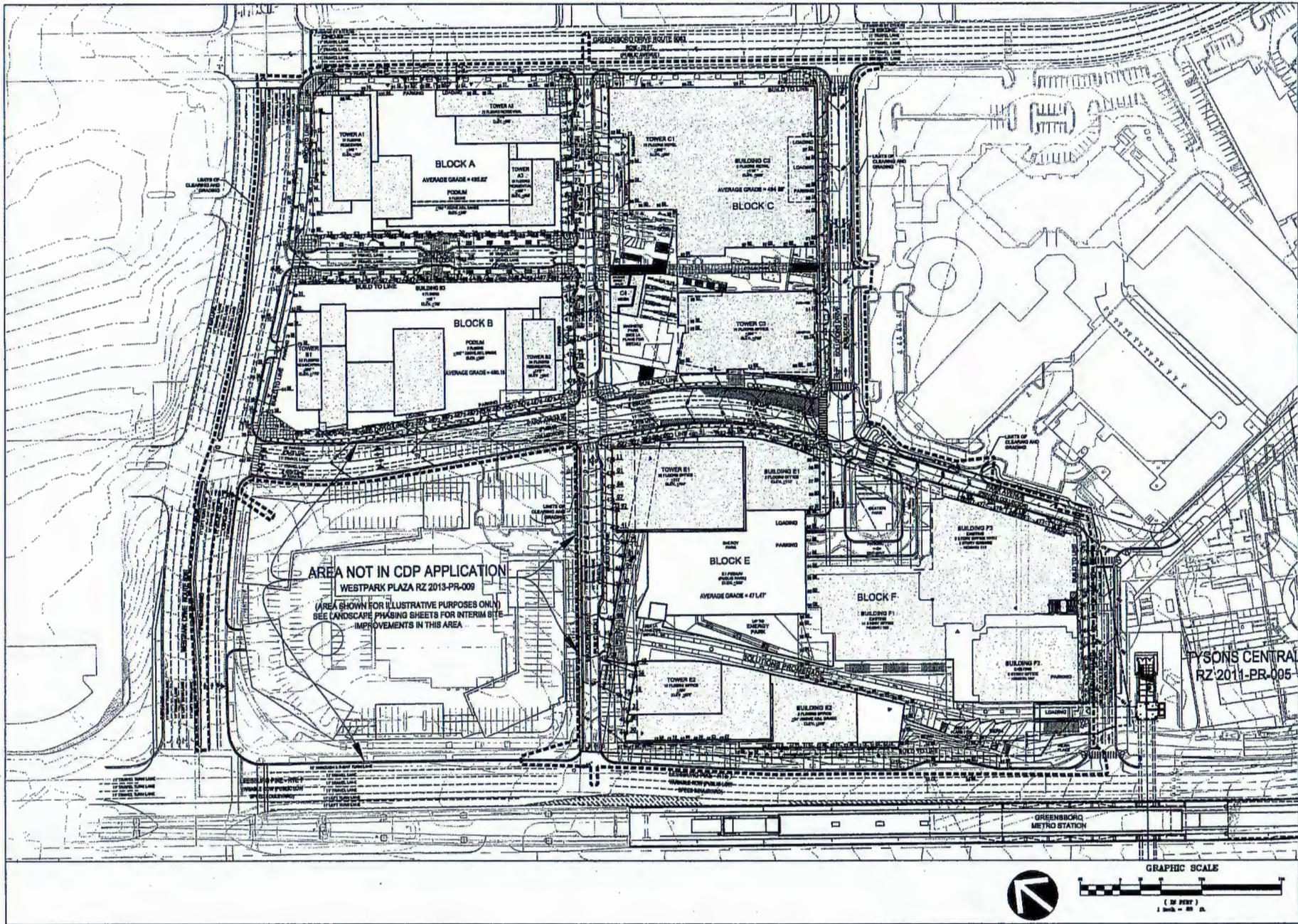
VIFA
 VICKI ANDERSON LLC
 1400 WILSON BLVD., SUITE 200
 FALLS CHURCH, VA 22034
 TEL: 703-752-7272
 WWW.VIFA.COM

THE BORO
 PROWSENCE DISTRICT
 FAIRFAX COUNTY, VIRGINIA

OVERALL ROAD GRID

VIFA REVISIONS

NOVEMBER 17, 2010		
JUNE 30, 2011		
APRIL 15, 2013		
OCTOBER 22, 2013		
FEBRUARY 19, 2015		
APRIL 1, 2015		
APRIL 7, 2014		
FEBRUARY 20, 2015		
MAY 22, 2015		
JULY 22, 2015		
AUGUST 28, 2015		
DATE: MAY 4, 2010		
DES: RRC	DWG: ARC	
SCALE: 1"=200'		
PROJECT/FILE NO. V8221X		
SHEET NO. C-18		



VIVA
CONCEPTS & PLANNING ARCHITECTS & SUSTAINABLE DESIGN
VIVA ARCHITECTS, LLC
8400 GREENSBORO BLVD., SUITE 200 W. TYSONS CENTER, VIRGINIA 22102
(703) 441-1100

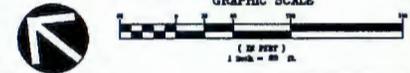
THE BORO
PROVIDENCE DISTRICT
FAUPEX COUNTY, VIRGINIA

CONCEPTUAL GRADING / AVERAGE GRADE EXHIBIT

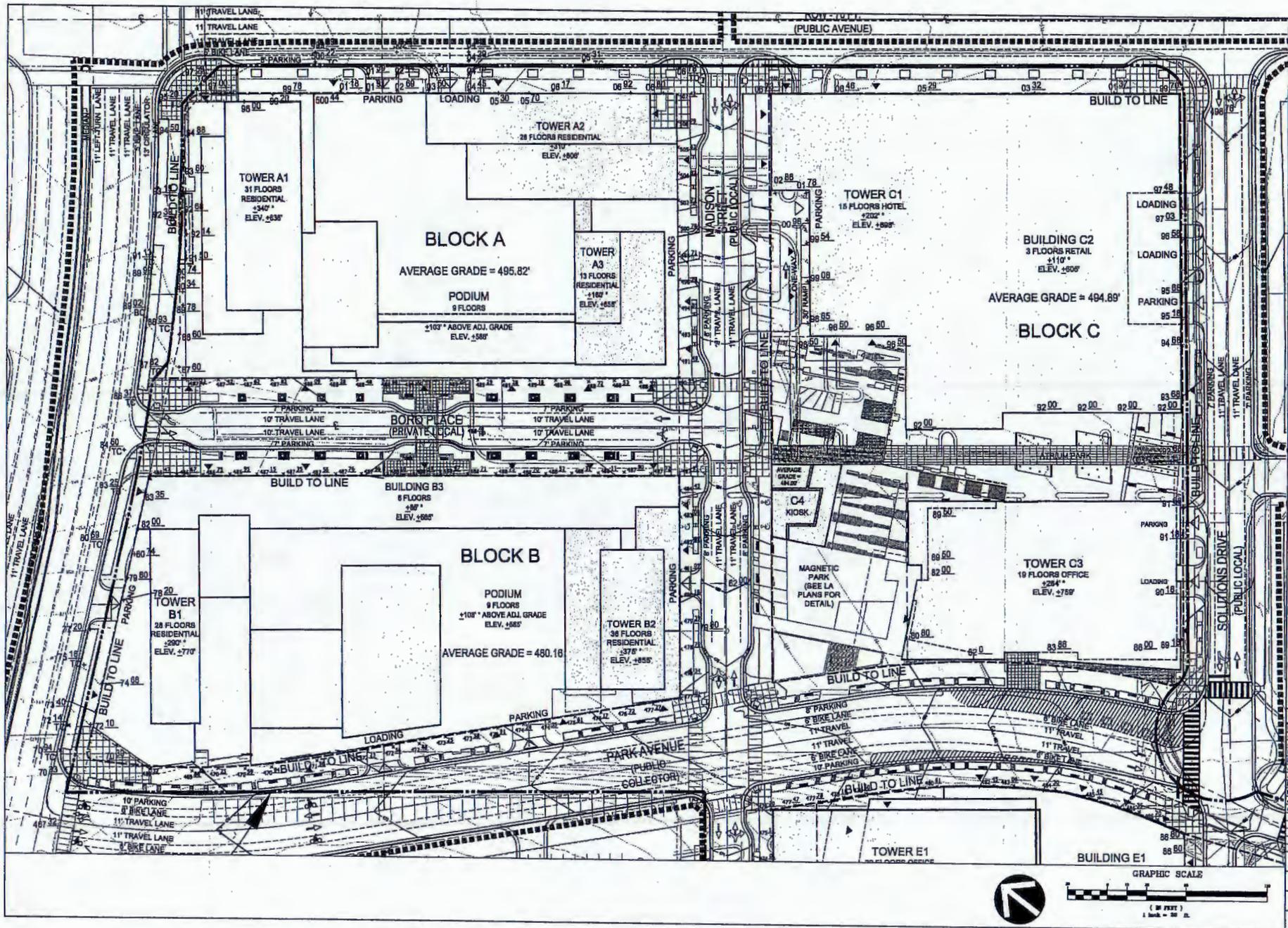
VIVA REVISIONS

NOVEMBER 17, 2010
MARCH 20, 2011
MAY 16, 2011
OCTOBER 23, 2011
FEBRUARY 16, 2012
MAY 1, 2012
APRIL 7, 2014
FEBRUARY 26, 2015
MAY 22, 2015
JULY 22, 2015
AUGUST 26, 2015

DATE: MAY 4, 2010
DES. AUC. DWG. AUC.
SCALE: 1"=60'
PROJECT/FILE NO. 160212
SHEET NO. C-20



VIVA ARCHITECTS, LLC
 8400 GREENSBORO BLVD., SUITE 200 W. TYSONS CENTER, VIRGINIA 22102
 (703) 441-1100




 ENGINEERS & PLANNERS & LANDSCAPE ARCHITECTS & SURVEYORS & SUSTAINABLE DESIGN
 VIKI WARDEN LLC
 1100 CRENSHAW DRIVE, SUITE 200, WASHINGTON, INDIANA 46783
 (765) 834-1111, FAX (765) 834-1112

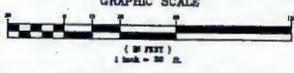
THE BORO
 PROVIDENCE DISTRICT
 FAIRFAX COUNTY, VIRGINIA

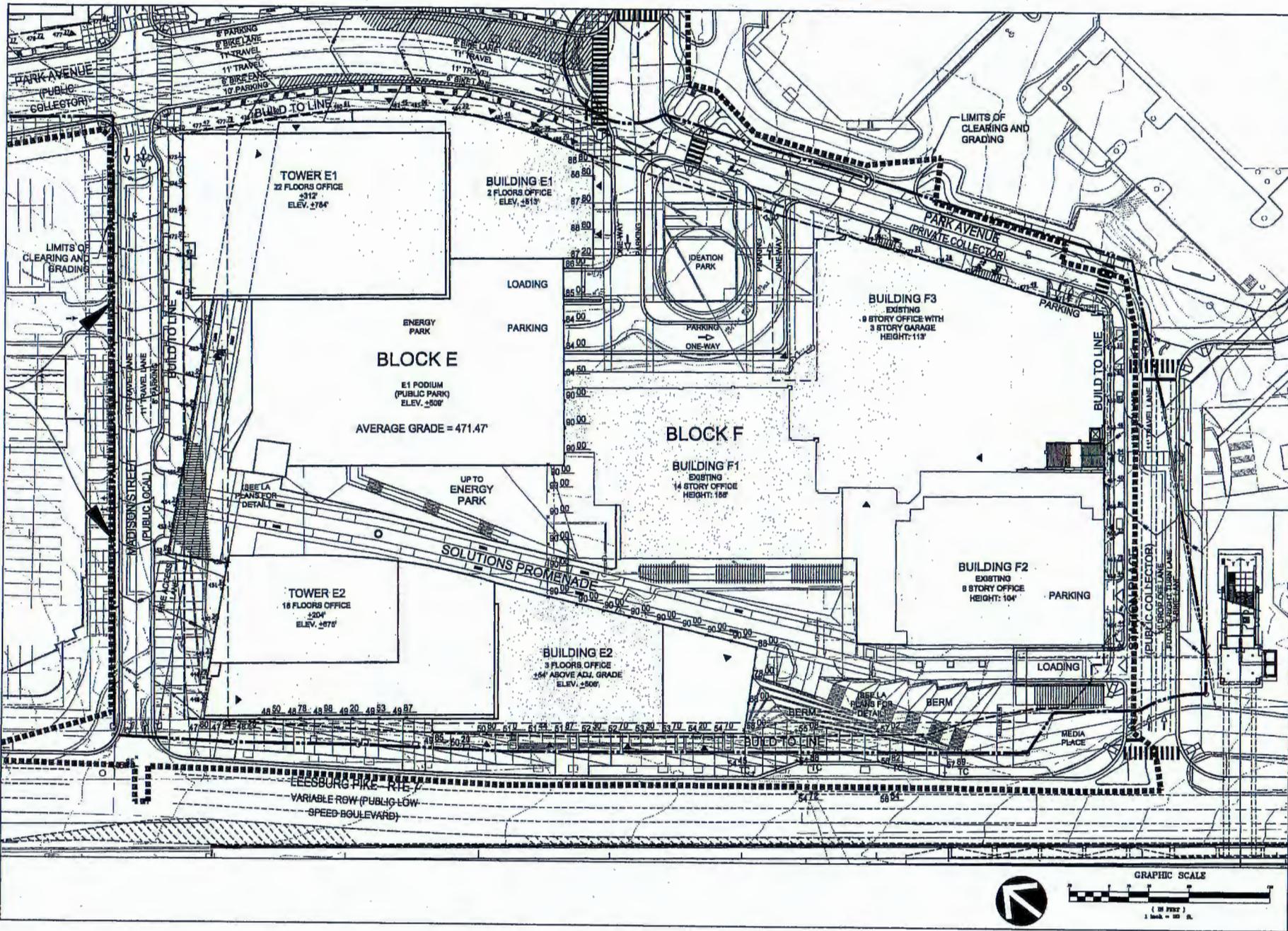
CONCEPTUAL GRADING DETAIL

VIKA REVISIONS

NOVEMBER 17, 2010
APRIL 23, 2011
JULY 16, 2012
OCTOBER 27, 2012
FEBRUARY 18, 2013
JULY 1, 2013
APRIL 7, 2014
FEBRUARY 20, 2015
MAY 23, 2015
JULY 23, 2015
AUGUST 28, 2015

DATE: MAY 4, 2010
 DES: RRC DWG: ARC
 SCALE: 1"=30'
 PROJECT/FILE NO. V8021K
 SHEET NO. C-20A





VIA
 VIKI VIKARIAN LLC
 ARCHITECTS & PLANNERS IN LANDSCAPE ARCHITECTURE & SUSTAINABLE DESIGN
 4100 ENCOURAGEMENT DRIVE, SUITE 200 IN TOWERS CENTER, WINDHAM, VIRGINIA 22192
 (703) 442-7800 IN FAX (703) 794-7707
 WWW.VIA-LLC.COM

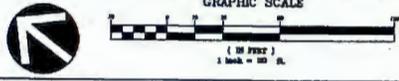
THE BORO
 PROVIDENCE DISTRICT
 FAIRFAX COUNTY, VIRGINIA

CONCEPTUAL GRADING DETAIL

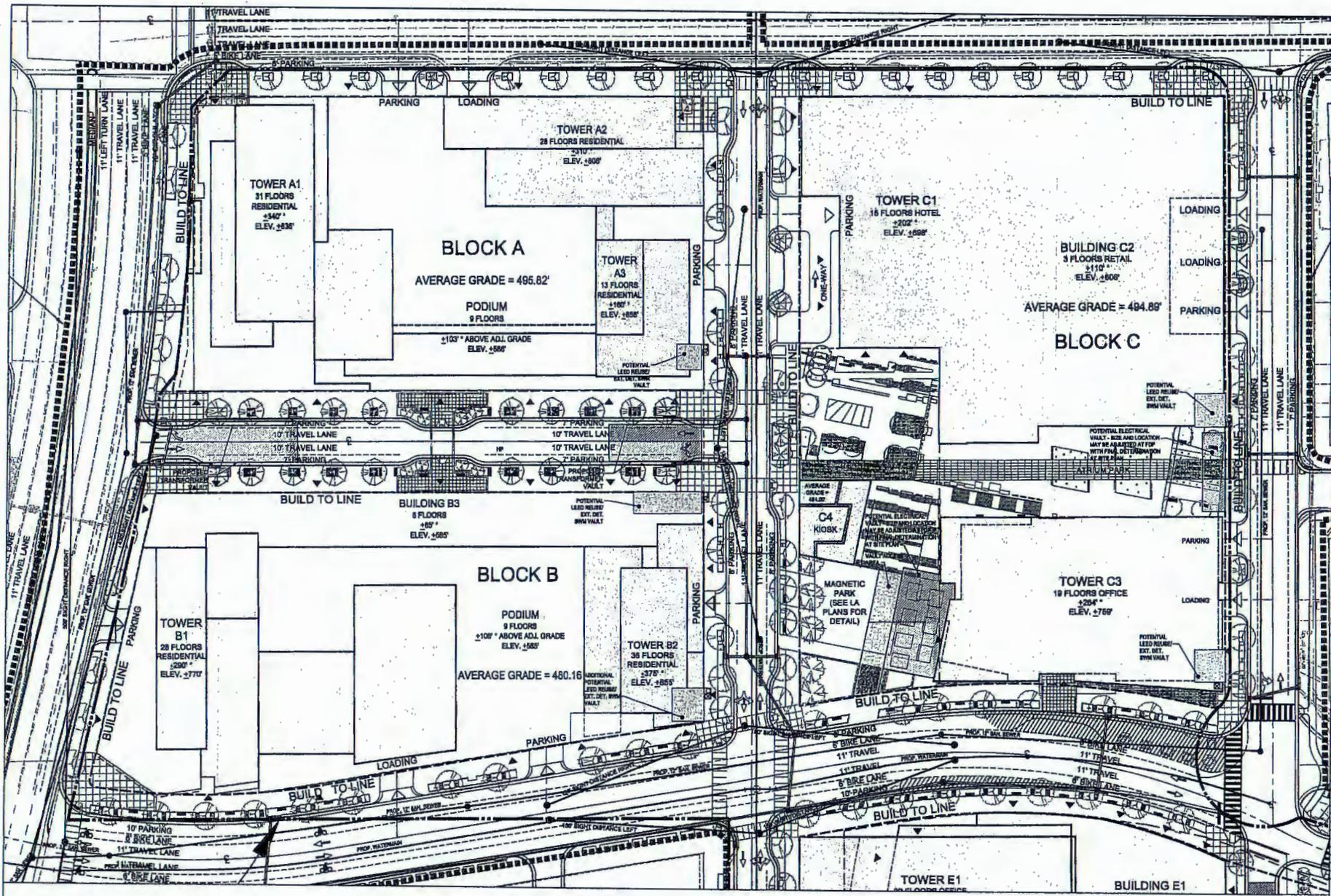
VIA REVISIONS

NOVEMBER 17, 2010
JUNE 26, 2011
JULY 16, 2011
OCTOBER 22, 2011
FEBRUARY 15, 2012
JULY 1, 2013
APRIL 7, 2014
FEBRUARY 20, 2015
MAY 22, 2015
JULY 22, 2015
AUGUST 19, 2015

DATE: MAY 4, 2016
 DES: [] DRW: []
 SCALE: 1"=30'
 PROJECT/PLR NO.: V022X
 SHEET NO.: C-20B



FILED: \Users\jviki\My Documents\Projects\The Boro\ConceptualGrading_V022X.dwg DATE: May 28, 2015 TIME: 10:52 AM



VVA
 ARCHITECTS & PLANNERS
 1000 W. MAIN ST. SUITE 200
 FARMERSVILLE, VA 22434
 (540) 426-1111
 WWW.VVA-VA.COM

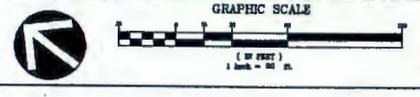
THE BORO
 PROVIDENCE DISTRICT
 FAIRFAX COUNTY, VIRGINIA

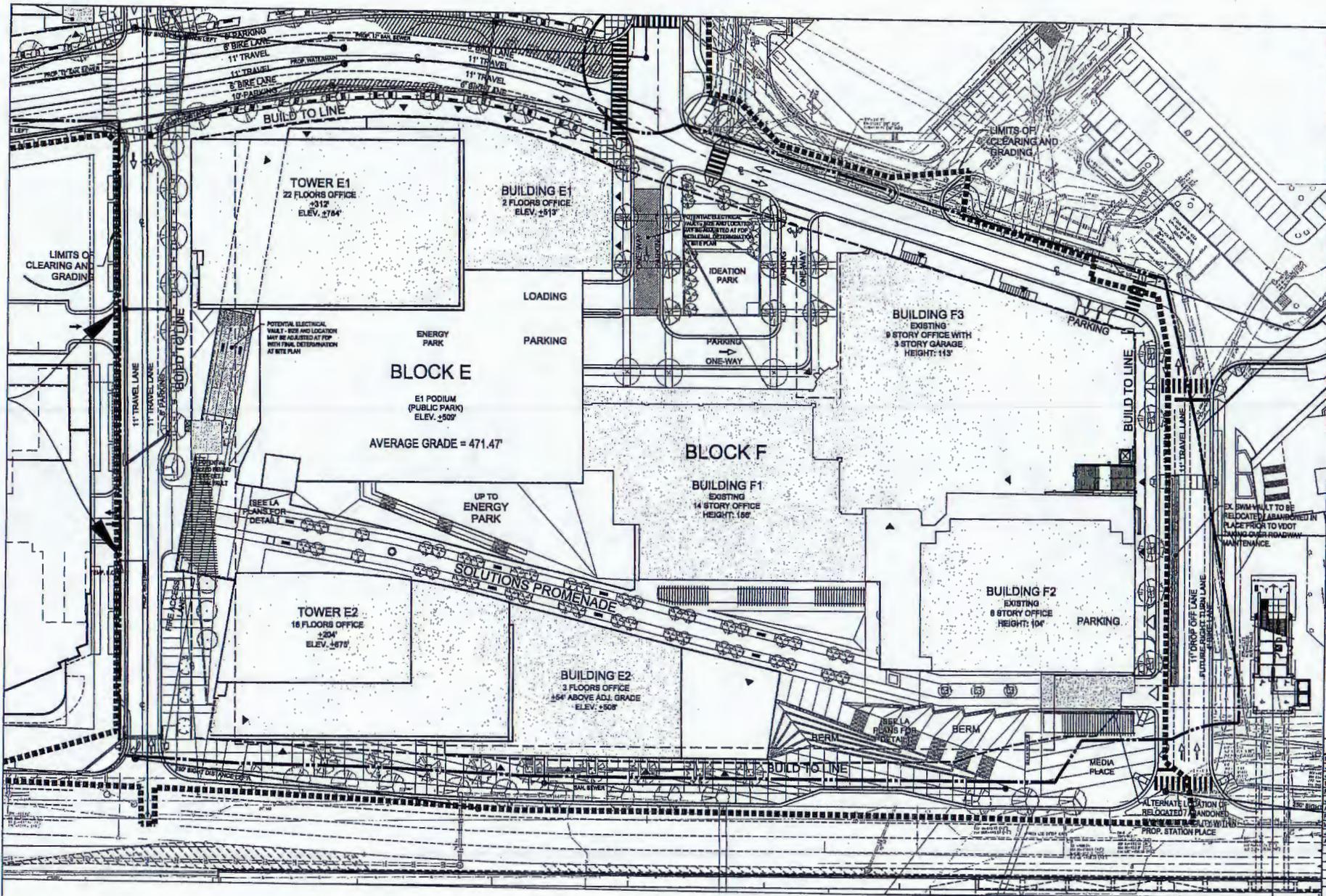
UTILITY PLAN DETAIL

VVA REVISIONS

NO.	DATE	DESCRIPTION
1	NOVEMBER 17, 2010	ISSUE FOR PERMIT
2	JUNE 30, 2011	REVISED FOR PERMIT
3	JULY 16, 2011	REVISED FOR PERMIT
4	OCTOBER 12, 2012	REVISED FOR PERMIT
5	FEBRUARY 16, 2013	REVISED FOR PERMIT
6	JULY 1, 2013	REVISED FOR PERMIT
7	APRIL 7, 2014	REVISED FOR PERMIT
8	FEBRUARY 20, 2015	REVISED FOR PERMIT
9	MAY 23, 2015	REVISED FOR PERMIT
10	JULY 23, 2015	REVISED FOR PERMIT
11	MARCH 26, 2015	REVISED FOR PERMIT

DATE: MAY 6, 2015
 DES: [] ARC: [] DWG: []
 SCALE: 1"=30'
 PROJECT/FILE NO.: W0023X
 SHEET NO.: C-21A





VKA
 ENGINEERS IN PLANNING & LANDSCAPE ARCHITECTURE & SUSTAINABLE DESIGN
 V&A V&A LLC
 1000 S. WASHINGTON BLVD., SUITE 200 W. TRIANGLE CENTER, WASHINGTON, VIRGINIA 22202
 (703) 400-3800 # FAX (703) 751-1977
 P.E. # 11544 - G.E. # 1

THE BORO
 PROVIDENCE DISTRICT
 FAIRFAX COUNTY, VIRGINIA

UTILITY PLAN DETAIL

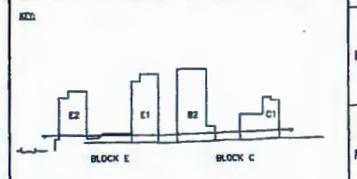
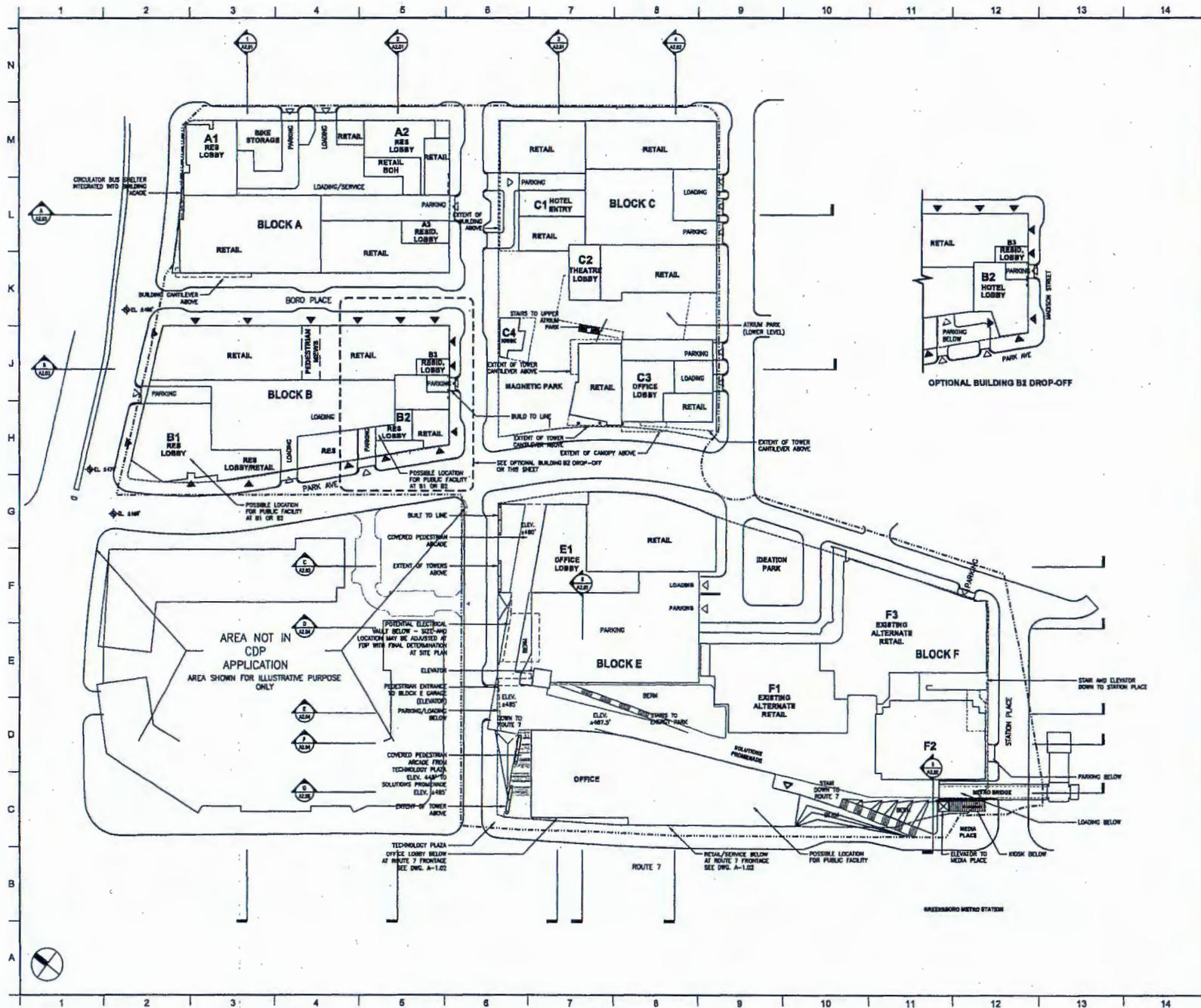
VKA REVISIONS

NOVEMBER 17, 2010
JUNE 30, 2011
JULY 16, 2013
OCTOBER 22, 2012
FEBRUARY 19, 2013
JULY 1, 2013
APRIL 7, 2014
FEBRUARY 20, 2015
MAY 22, 2015
JULY 23, 2015
AUGUST 28, 2015

DATE: MAY 4, 2016
 DES: RRC DWN: ARC
 SCALE: 1"=30'
 PROJECT/FILE NO. V6021X
 SHEET NO. C-218



V&A V&A LLC 1000 S. WASHINGTON BLVD., SUITE 200 W. TRIANGLE CENTER, WASHINGTON, VIRGINIA 22202 (703) 400-3800 # FAX (703) 751-1977 P.E. # 11544 - G.E. # 1



- PLAN SECTION KEY**
- NOTES:**
1. Grades are approximate and subject to change with final engineering.
 2. Building heights do not include mechanical penthouses which may project +/- 30'-0" above roof level.
 3. Pedestrian entrances subject to change.

- LEGEND:**
- ▶ Pedestrian Entrance
 - ▷ Vehicular (Loading/Loading) Entrance
 - Built to Line
 - Property Line



NO.	REVISIONS / SUBMISSIONS	DATE
11	CDP Resubmission	06.26.2010
10	CDP Resubmission	07.23.2010
09	CDP Resubmission	08.23.2010
08	CDP Resubmission	09.29.2010
07	CDP Resubmission	04.20.2014
06	CDP Resubmission	07.21.2010
05	CDP Resubmission	02.19.2013
04	CDP Resubmission	10.22.2012
03	CDP Resubmission	07.17.2012
02	CDP Resubmission	06.30.2011
01	CDP Resubmission	11.18.2010
00	CDP Submission	03.15.2014

FXFOWLE

FOR MORE INFORMATION, PLEASE VISIT OUR WEBSITE: WWW.FXFOWLE.COM OR CONTACT US BY TELEPHONE AT 703.279.1000

VKA, Inc.
 1818 Greenway Drive, Suite 200 | Tyngsboro, VA 22646 | TEL: 703.279.1000
LANDDESIGN
 200 South Peyton Street | Alexandria, VA 22304 | TEL: 703.279.1000

THE BORO TYSONS, VA

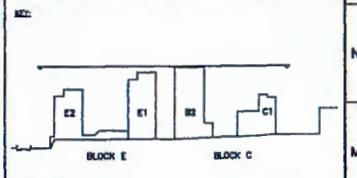
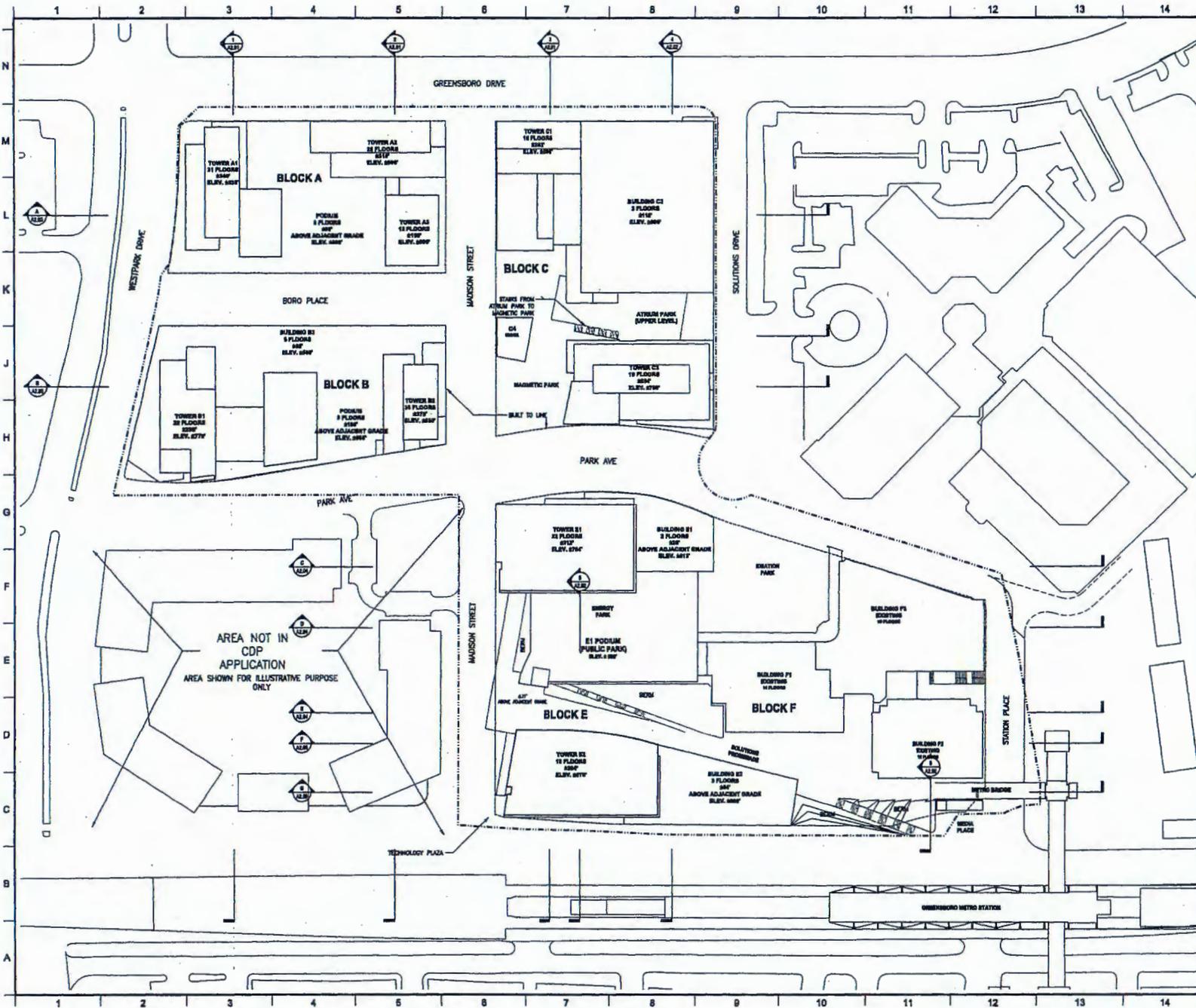
UPPER GROUND FLOOR PLAN AT PARK AVE.

APPROVED TITLE:

DRN:	DRN:	Project No.:
DATE:	DATE:	TITLE:
BY:	BY:	DATE:
CHECKED:	CHECKED:	DATE:
DATE:	DATE:	DATE:

DANIEL KAPLAN
 License No. 616251
 ARCHITECT

A-1.01



- NOTES:**
- Grades are approximate and subject to change with final engineering.
 - Building heights do not include mechanical penthouses which may project +/- 2'-0" above roof level.
 - Building heights and numbers of floors shown are illustrative and may be adjusted provided the minimum and maximum building heights shown in the development intent/drawings are maintained.

- LEGEND:**
- ▬ Penetration Entrance
 - ▤ Vestibule (working/loading) Entrance
 - Built to Line
 - Property Line

NO.	REVISION / DESCRIPTION	DATE
12	CCP Finalization	05.28.2010
11	CCP Finalization	02.22.2010
10	CCP Finalization	04.28.2010
09	CCP Finalization	03.25.2010
08	CCP Finalization	04.27.2010
07	CCP Finalization	02.01.2010
06	CCP Finalization	02.18.2010
05	CCP Finalization	10.22.2010
04	CCP Finalization	07.07.2010
03	CCP Finalization	04.28.2010
02	CCP Finalization	11.18.2010
01	CCP Finalization	10.01.2010

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FXFOWLE ARCHITECTS, LLP | 300 SOUTH PULASKI STREET, SUITE 1000 | CHARLOTTE, NC 28202 | PHONE: 704.375.1000

VISA, Inc.
400 Westmoreland Street, Suite 200 | Greensboro, NC 27401 | PHONE: 336.833.1000

LAND DESIGN
200 South Pulaski Street | Charlotte, NC 28202 | PHONE: 704.375.1000

THE BORO TYSONS, VA

DRAWING TITLE

ROOF PLAN

DATE: 12.21.2010

SCALE: 1/8" = 1'-0"

PROJECT NO.: 12061210

DATE PLOTTED: 12/21/2010

PLotted By: [Signature]

Checked By: [Signature]

Drawn By: [Signature]

DATE: 12.21.2010

SCALE: 1/8" = 1'-0"

A-1.03

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- NOTES:**
1. Grades are approximate and subject to change with final engineering.
 2. Parking will be provided in keeping with Paragraph 1 of Section 8-108 of the zoning Ordinance.
 3. Surface parking lots currently used on lots of Blocks A, B, C and E and some on Blocks C and F. With development of the Property over time, surface lots will be replaced with a combination of below-grade and above-grade parking structures, on-street parking spaces, and additional surface lots.
 4. Due to existing topographic conditions, the numbers and levels of parking above-grade can vary. This is represented generally on this sheet and more specifically in the elevations shown on Sheets A-101 - A-202. Differences in parking structures are shown generally on Sheet A-101 and are subject to change with FSP approval.
 5. A minimum of one loading space will be provided for each residential building. A minimum of two loading spaces will be provided for each office and/or hotel building. Based on market experience, one to two spaces are adequate for the size of commercial and residential building proposed. The general location of loading spaces is shown on Sheet A-101 and is subject to change with FSP approval.
 6. The Applicant reserves the right to utilize tandem parking with FSP approval and to utilize visit parking for hotels, eating establishments and similar uses.
 7. The limited amount of proposed parking supports the Applicant's TOD goals and strategic plan to reduce single-occupancy vehicles and encourage use of transit.
 8. Below grade parking may extend within the building zone.

10	CSP Revisions	08.28.2010
11	CSP Revisions	07.23.2010
12	CSP Revisions	08.28.2010
13	CSP Revisions	04.07.2014
14	CSP Revisions	07.21.2013
15	CSP Revisions	08.18.2013
16	CSP Revisions	10.20.2013
17	CSP Revisions	07.17.2013
18	CSP Revisions	08.30.2011
19	CSP Revisions	11.18.2010
20	CSP Submittal	12.01.2010

DATE: 12/01/2010

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ARCHITECTS

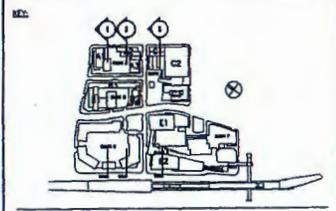
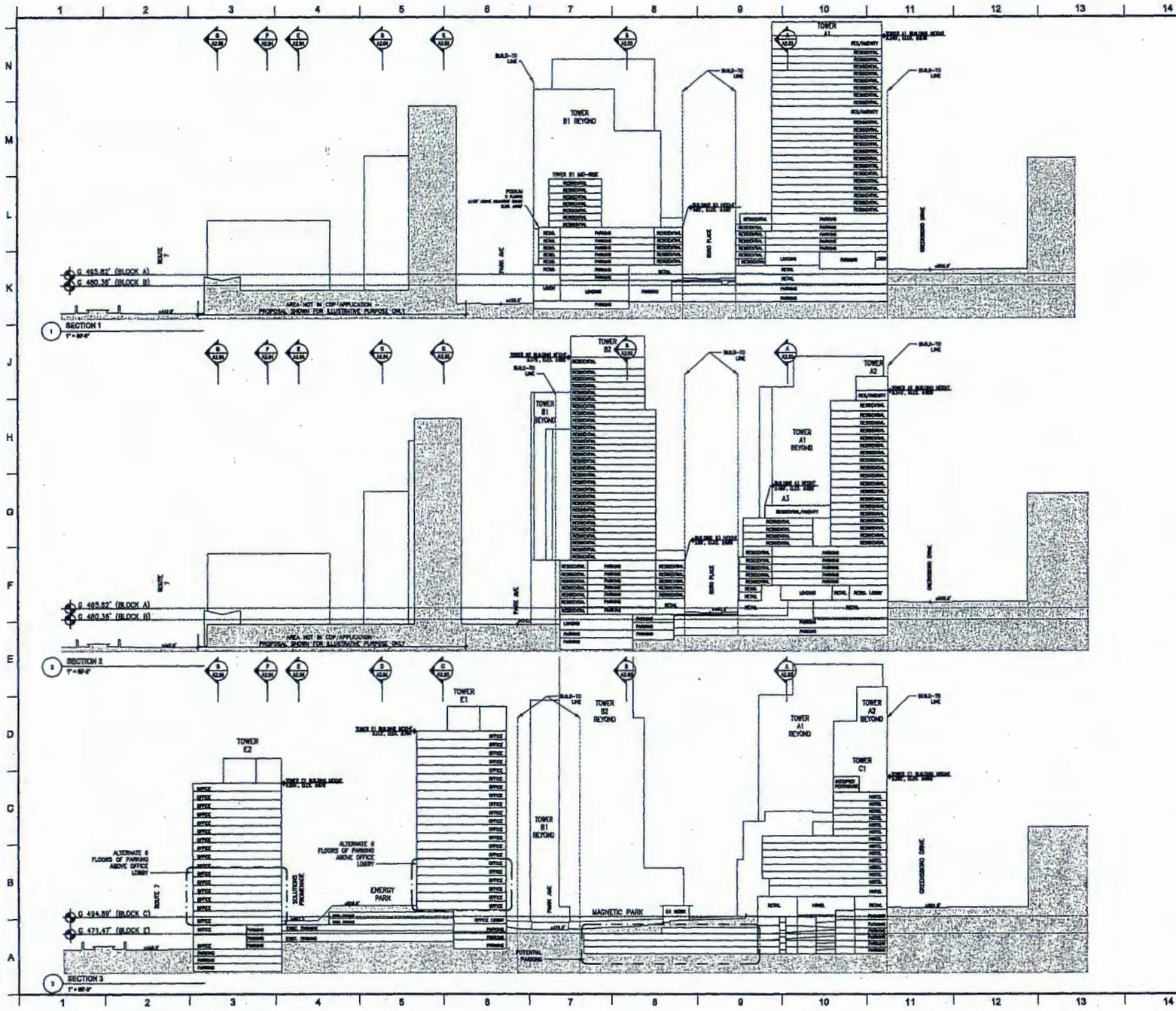
VWA, Inc.
 4300 Old Dominion Blvd, Suite 200 | Tysons, VA 22102 | 703.441.7000
LANDDESIGN
 200 North Point Street | Alexandria, VA 22304 | 703.646.7744

THE BORO TYSONS, VA

PARKING PLANS

	Date: 12/01/2010 Time: 11:20:00 AM	Project No.: 101031030 Draw No.: P1010303 Drawing No.:
--	---------------------------------------	--

A-1.04



- NOTES:**
1. Grades are approximate and subject to change with final engineering.
 2. Building heights do not include mechanical penthouses which may project +/- 2'-0" above roof level.
 3. Building heights and numbers of floors shown are illustrative and may be adjusted provided the minimum and maximum building heights shown in the development submissions are maintained.

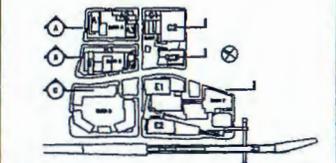
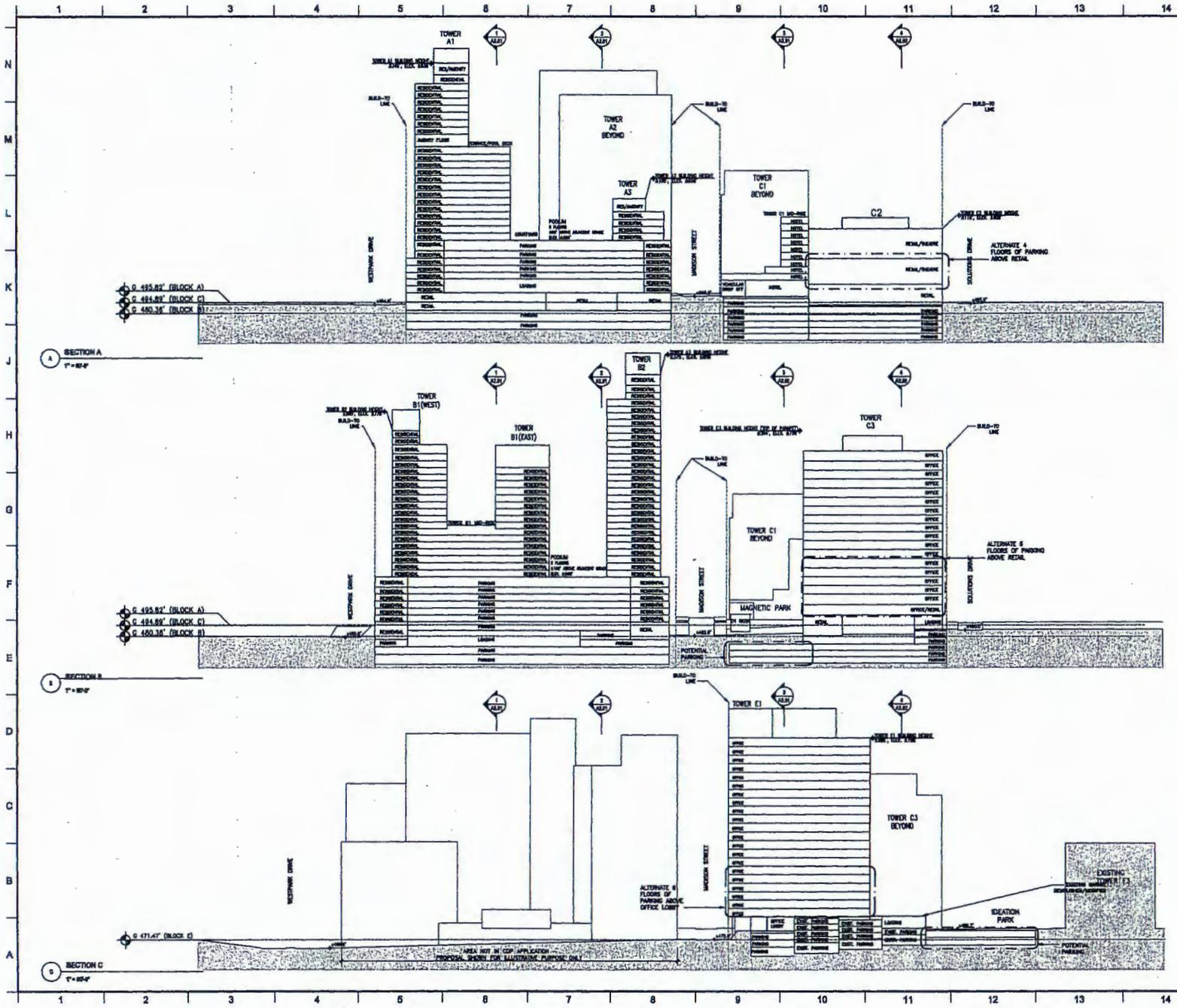
NO.	CCP Presentation	DATE
10	CCP Presentation	08.28.2016
11	CCP Presentation	07.22.2016
08	CCP Presentation	08.23.2015
06	CCP Presentation	02.26.2015
05	CCP Presentation	04.27.2014
07	CCP Presentation	07.21.2013
08	CCP Presentation	02.18.2013
09	CCP Presentation	10.03.2012
04	CCP Presentation	07.17.2012
09	CCP Presentation	06.20.2011
02	CCP Presentation	11.16.2010
01	CCP Submission	10.21.2010

FX FOWLE
 FOWLE ARCHITECTS, LLP IS AN EQUAL OPPORTUNITY AND AFFIRMATIVE ACTION EMPLOYER.
 VISA, Inc.
 1900 Commonwealth Blvd, Suite 200 | Tyngsboro, VA 22129 | TEL: 540.726.7200
LANDDESIGN
 500 South Poplar Street | Alexandria, VA 22314 | TEL: 540.726.7200

THE BORO TYSONS, VA
 PREPARED BY:

SITE SECTIONS

DATE: 11/21/2016
 DRAWN BY: DANIEL S. FOWLE
 CHECKED BY: JEFFREY J. FOWLE
 PROJECT NO.: 16-001
 SHEET NO.: A-2.01



- NOTES:
- Grids are approximate and subject to change with final engineering.
 - Building heights do not include mechanical penthouses which may project +/- 2'-0" above roof level.
 - Building heights and numbers of floors shown are illustrative and may be adjusted provided the minimum and maximum building heights shown in the development illustrations are maintained.

NO.	REVISION / DESCRIPTION	DATE
10	CCP Re-submission	08.28.2014
11	CCP Re-submission	07.22.2014
10	CCP Re-submission	04.22.2014
09	CCP Re-submission	03.20.14
08	CCP Re-submission	04.07.2014
07	CCP Re-submission	03.21.2014
06	CCP Re-submission	03.18.2014
05	CCP Re-submission	10.22.2013
04	CCP Re-submission	07.17.2013
03	CCP Re-submission	03.05.2013
02	CCP Re-submission	11.18.2010
01	CCP Submission	10.01.2010

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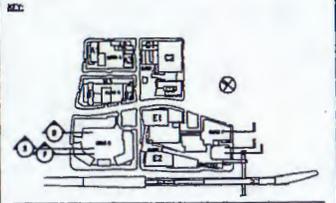
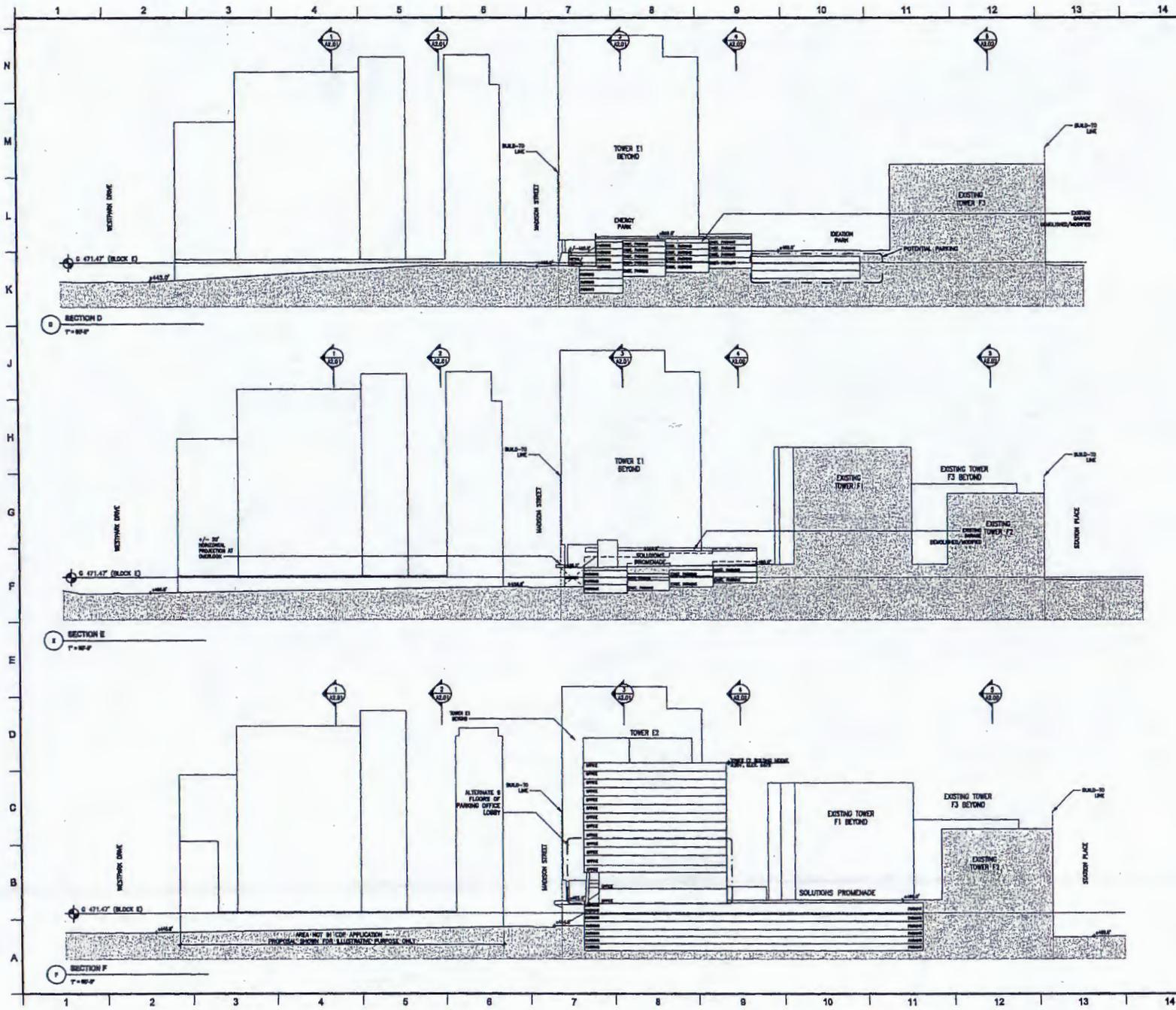
VKIA, Inc.
 1700 Dominion Blvd, Suite 200 | Tysons, VA 22186 | 703.442.2000
 LANDDESIGN
 399 South Poplar Street | Alexandria, VA 22314 | 703.646.1704

THE BORO TYSONS, VA

SITE SECTIONS

	Drawn	Potential
	DD	TOTTELLO
	Checked	Proj. Mgr.
	ATP	PLUMMER
	Reviewed	Building No.
	JL	
	Date	
	08.28.2014	
	Scale	
	1"=50'-0"	

A-2.03



- NOTES:**
1. Grades are approximate and subject to change with final engineering.
 2. Building heights do not include mechanical penthouses which may project 4'-37" above roof level.
 3. Building heights and numbers of floors shown are illustrative and may be adjusted provided the minimum and maximum building heights shown in the development conditions are maintained.

NO.	REVISIONS / SUBMITTALS	DATE
11	CDP Reconsideration	06.28.2018
10	CDP Reconsideration	07.23.2018
09	CDP Reconsideration	08.23.2018
08	CDP Reconsideration	02.28.2018
07	CDP Reconsideration	04.27.2014
06	CDP Reconsideration	07.21.2015
05	CDP Reconsideration	03.18.2015
04	CDP Reconsideration	10.23.2012
03	CDP Reconsideration	07.17.2012
02	CDP Reconsideration	06.26.2011
01	CDP Reconsideration	11.18.2010

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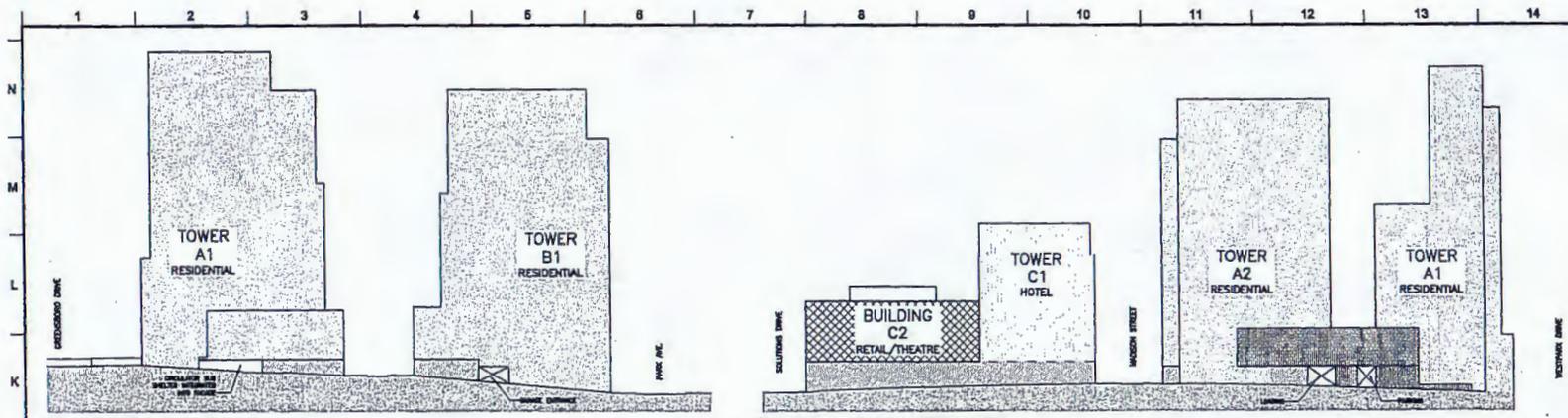
VFA, Inc.
 8000 Woodstone Drive, Suite 200 | Tysons, VA 22186 | 703.441.9900
LANDDESIGN
 200 Rock Paper Stone | Alexandria, VA 22304 | 703.441.3700

THE BORO TYSONS, VA

SITE SECTIONS

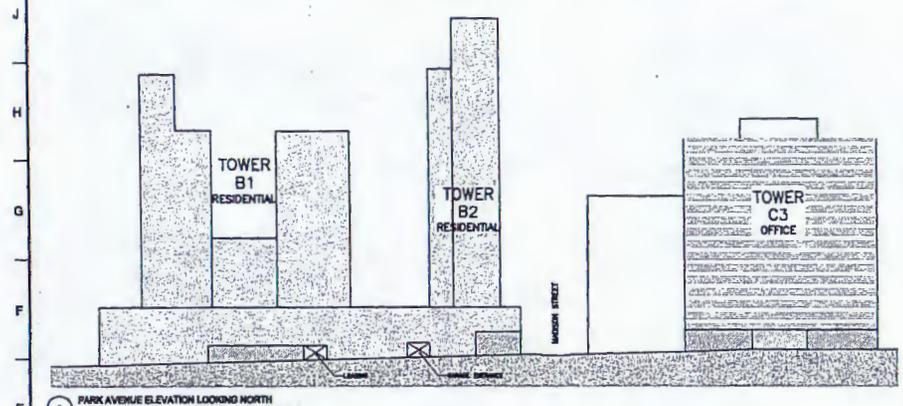
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	JYP	JYP	1001120
	Approved:	Approved:	Scale:
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A-2.04

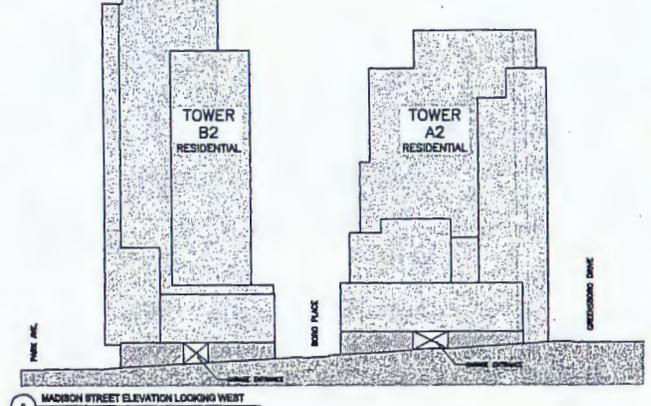


A WESTPARK DRIVE ELEVATION LOOKING EAST
1" = 30'-0"

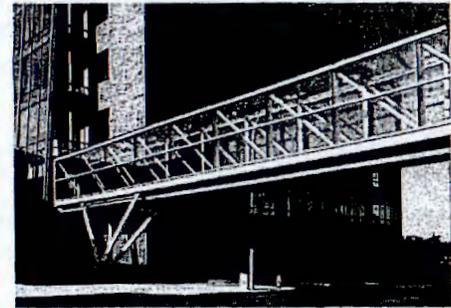
B GREENSBORO DRIVE ELEVATION LOOKING SOUTH
1" = 30'-0"



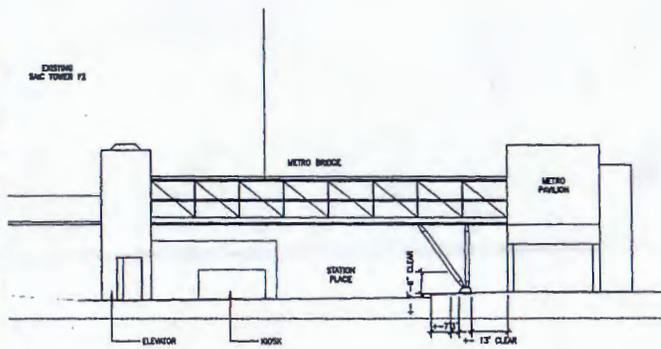
C PARK AVENUE ELEVATION LOOKING NORTH
1" = 30'-0"



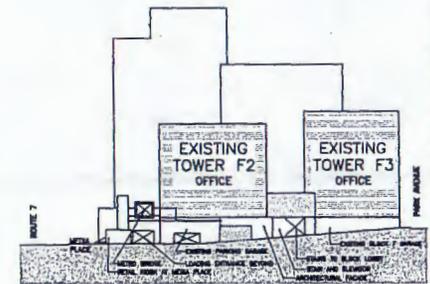
D MADISON STREET ELEVATION LOOKING WEST
1" = 30'-0"



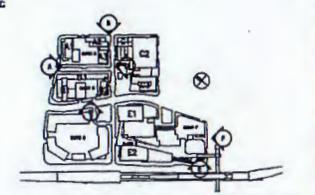
E PRECEDENT FOR METRO BRIDGE
1" = 30'-0"



F METRO BRIDGE ELEVATION
1" = 30'-0"



G STATION PLACE LOOKING WEST
1" = 30'-0"



- NOTES:**
1. Grades are approximate and subject to change with final engineering.
 2. Building heights do not include mechanical penthouses which may project +/- 35'-0" above roof level.
 3. Building heights and numbers of floors shown are illustrative and may be adjusted, provided the minimum and maximum building heights shown in the development schedule are maintained.

- LEGEND:**
- RESIDENTIAL
 - RETAIL/SERVICE
 - RETAIL/THEATRE
 - COMMERCIAL/OFFICE
 - OFFICE LOBBY
 - SCREENED PARKING
 - LANDSCAPE BERM
 - HOTEL

10	CCP Floodplain	06.29.2010
09	CCP Floodplain	07.22.2010
08	CCP Floodplain	06.22.2010
07	CCP Floodplain	03.25.2010
06	CCP Floodplain	04.07.2010
05	CCP Floodplain	07.01.2010
04	CCP Floodplain	05.19.2010
03	CCP Floodplain	10.22.2010
02	CCP Floodplain	08.26.2011
01	CCP Floodplain	11.16.2010

DR. REYNOLDS | BARRINGER DATE

FXFOWLE

INTERNATIONAL ARCHITECTS, LLP | 300 WEST 10TH STREET, SUITE 200 | DENVER, CO 80202 | TEL: 303.733.8800

VSA, Inc.
2000 Exchange Drive, Suite 200 | Tyngsboro, MA 01776 | TEL: 978.270.0000
LANDDESIGN
200 South Park Street | Alexandria, VA 22304 | TEL: 703.779.9100

THE BORO TYSONS, VA
DESIGNED BY

STREET ELEVATIONS

SEAL

DANIEL
10.14.11
L.A. No. 014271
ARCHITECT

Scale: 1" = 30'-0"

DATE: 11.16.2010

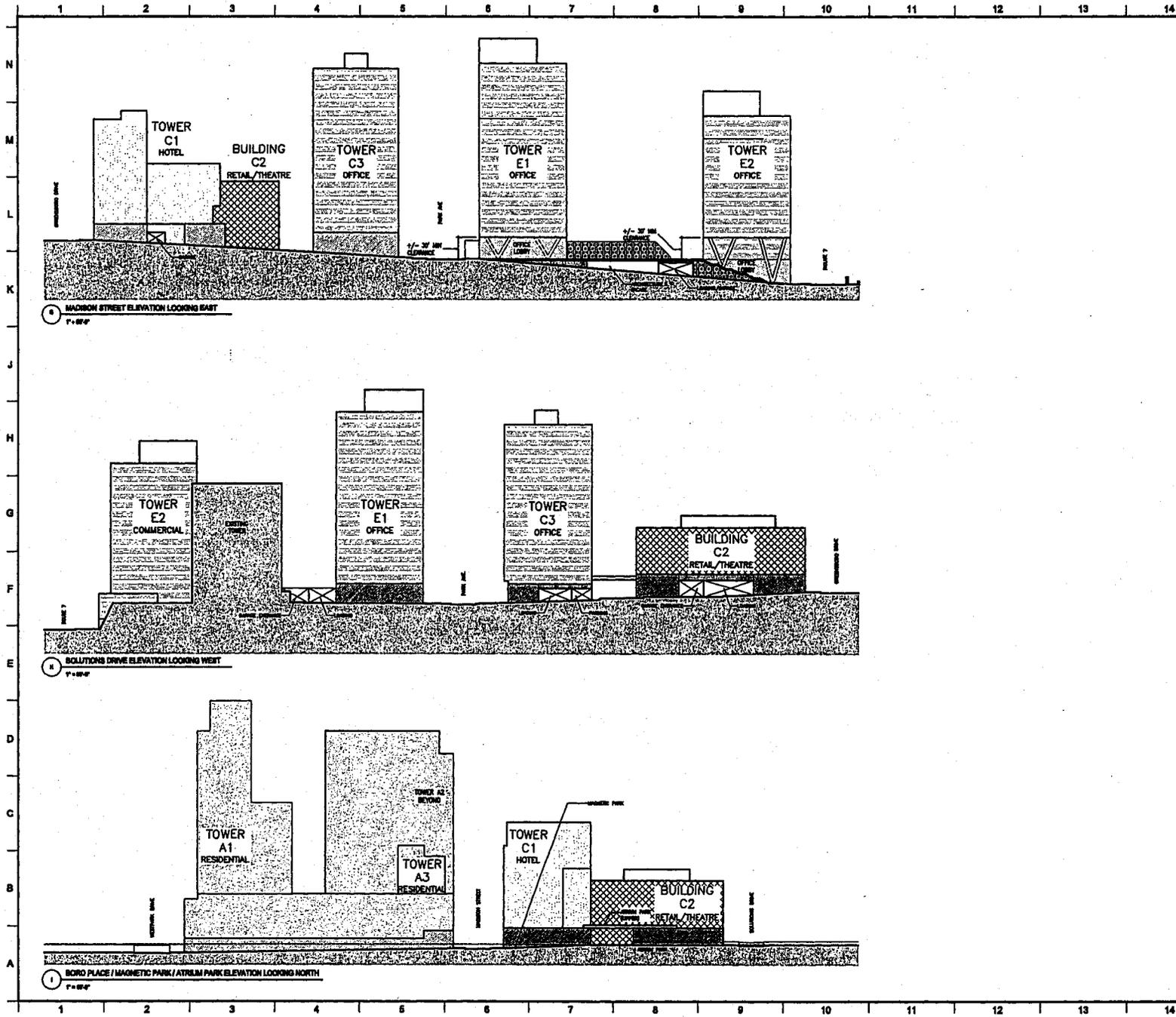
PROJECT: THE BORO TYSONS - VA

SECTION: STREET ELEVATIONS

DRWING: DRW

11/16/2010

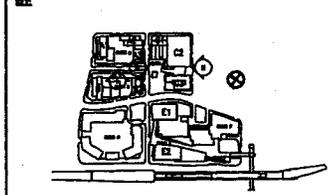
A-2.06



1 MADISON STREET ELEVATION LOOKING EAST
7'-0" @ 1"

2 SOLUTIONS DRIVE ELEVATION LOOKING WEST
7'-0" @ 1"

3 BORO PLACE / MAGNETIC PARK / ATRIUM PARK ELEVATION LOOKING NORTH
7'-0" @ 1"



- NOTES:**
1. Elevations are approximate and subject to change with final engineering.
 2. Building heights do not include mechanical penthouses which may project +/- 2'-0" above roof level.
 3. Building heights and numbers of floors are illustrative and may be adjusted provided the minimum and maximum building heights shown in the development regulations are maintained.

- LEGEND:**
- RESIDENTIAL
 - RETAIL/SERVICE
 - RETAIL/THEATRE
 - COMMERCIAL/OFFICE
 - OFFICE LOBBY
 - SCREENED PARKING
 - LANDSCAPE BERM
 - HOTEL

00	DDP Presentation	03.28.2013
01	DDP Presentation	03.28.2013
02	DDP Presentation	03.28.2013
03	DDP Presentation	04.07.2014
04	DDP Presentation	07.01.2015
05	DDP Presentation	05.16.2015
06	DDP Presentation	10.22.2015
07	DDP Presentation	06.26.2015
08	DDP Presentation	11.05.2016

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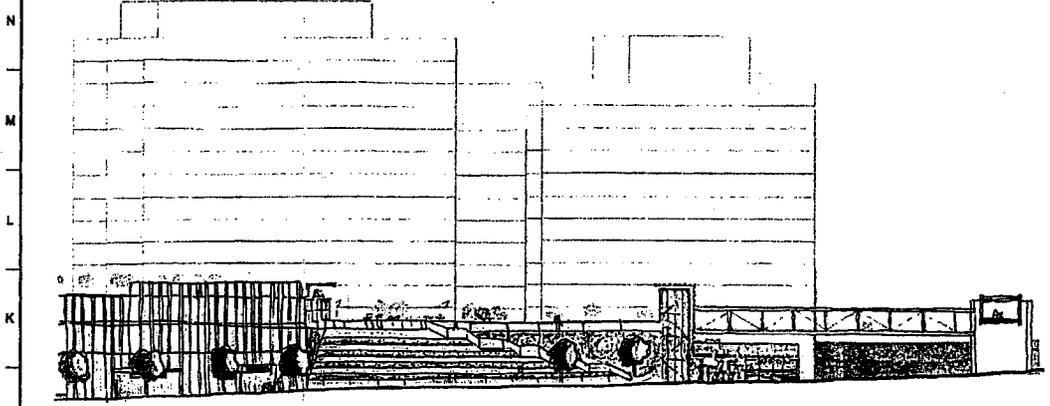
THE BORO TYSONS, VA
DRAWING TITLE

STREET ELEVATIONS

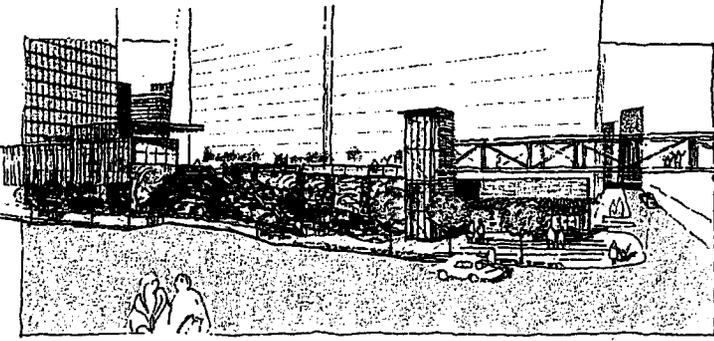
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	DATE	PROJECT	PROJECT NO.
	DATE	PROJECT	PROJECT NO.
	DATE	PROJECT	PROJECT NO.

A-2.07

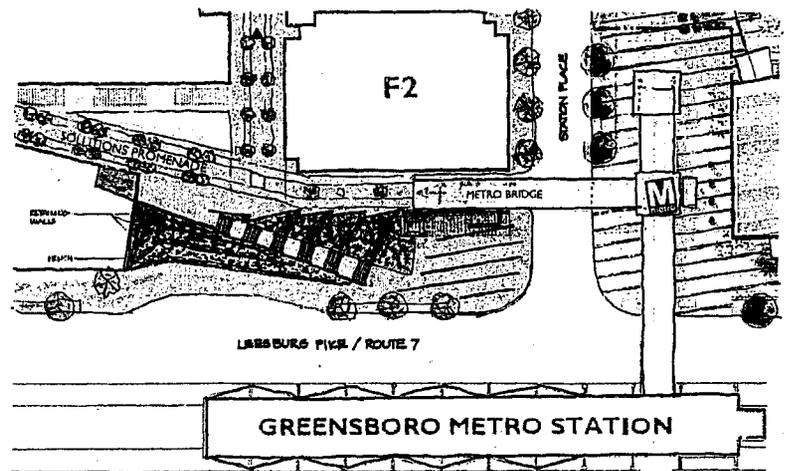
1 2 3 4 5 6 7 8 9 10 11 12 13 14



Ⓚ MEDIA PLACE CONCEPTUAL ELEVATION
N.T.A.



Ⓛ MEDIA PLACE CONCEPTUAL PERSPECTIVE
N.T.A.



Ⓜ MEDIA PLACE CONCEPTUAL PLAN SKETCH
N.T.A.

01	CDP Presentation	03.26.2016
02	CDP Presentation	05.23.2016
03	CDP Presentation	08.23.2016
04	CDP Presentation	04.27.2016
05	CDP Presentation	07.21.2016
06	CDP Presentation	08.19.2016
07	CDP Presentation	09.22.2016
08	CDP Presentation	09.29.2016
09	CDP Presentation	11.09.2016
10	CDP Presentation	

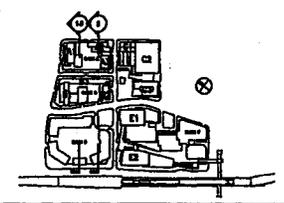
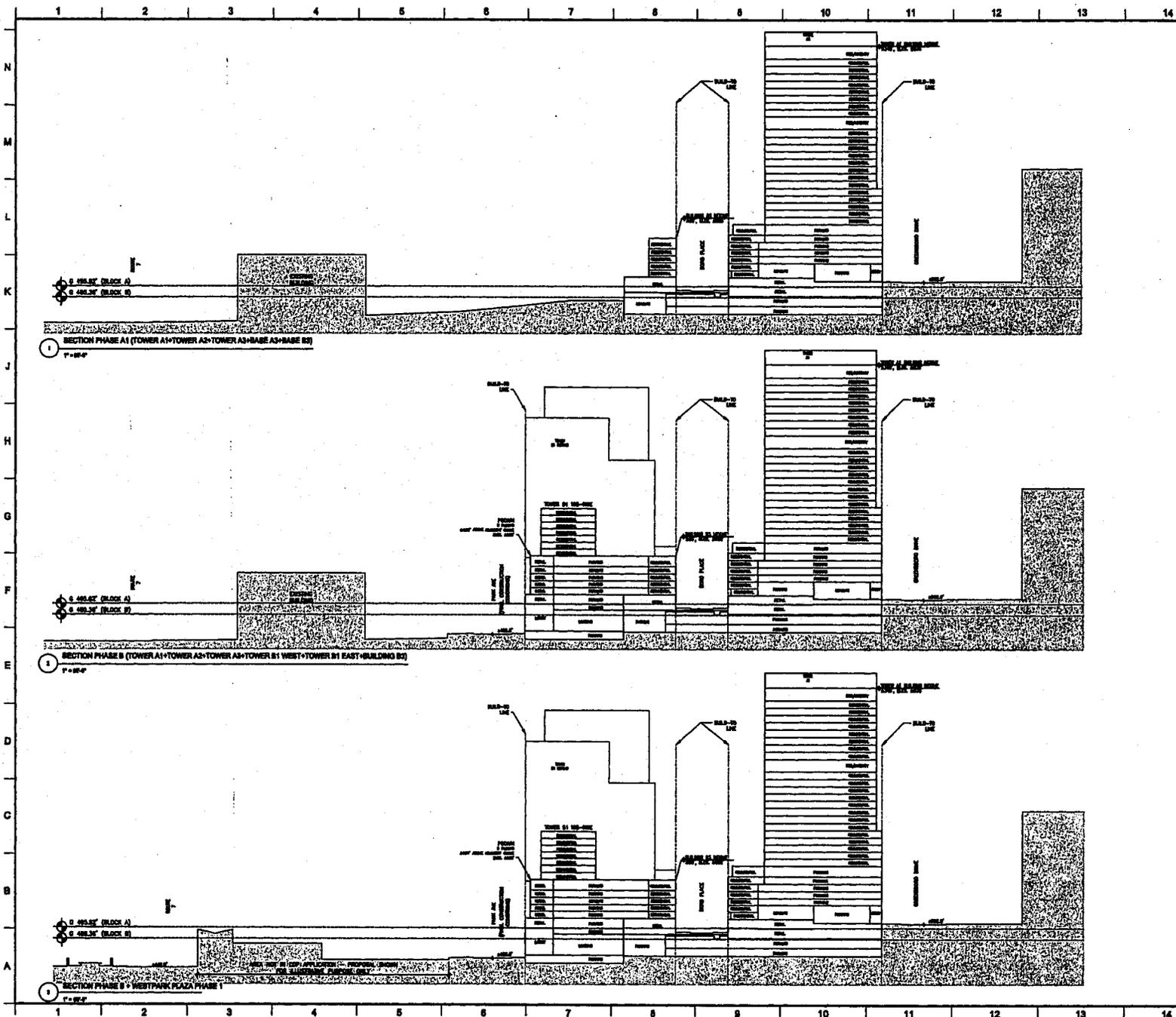
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THE BORO TYSONS, VA
UNDESIGNED TITLE

STREET ELEVATIONS

	Title: Architect Date: 05/27/2016 Scale: 1/8"=1'-0"	Project No.: 111-000000 Drawing No.: A-2.08	
	Prepared by: JS Checked by: JS Date: 05/27/2016	Title: Architect Date: 05/27/2016 Scale: 1/8"=1'-0"	Project No.: 111-000000 Drawing No.: A-2.08
	Daniel S. Scales L.A. No. 81-1216 State of North Carolina		Project No.: 111-000000 Drawing No.: A-2.08
	Daniel S. Scales L.A. No. 81-1216 State of North Carolina		Project No.: 111-000000 Drawing No.: A-2.08



NOTES:
 1. Grades are approximate and subject to change with final engineering.
 Refer to landscape drawings for plant by plan.
 2. Building heights and numbers of floors shown are illustrative and may be adjusted provided the minimum and maximum building heights shown in the development conditions are maintained.

11	CDP Final/Initial	05.25.2010
10	CDP Final/Initial	05.25.2010
09	CDP Final/Initial	02.20.2010
08	CDP Final/Initial	04.07.2010
07	CDP Submittal	01.25.2010
06	CDP Final/Initial	02.19.2010
05	CDP Final/Initial	10.22.2009
04	CDP Final/Initial	05.27.2009
03	CDP Final/Initial	04.20.2011
02	CDP Final/Initial	11.04.2009
01	CDP Submittal	08.01.2009
REV	REVISIONS/DESCRIPTION	DATE

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THE BORO
 TYSONS, VA

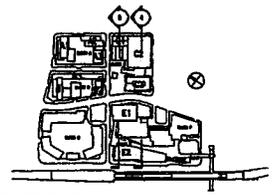
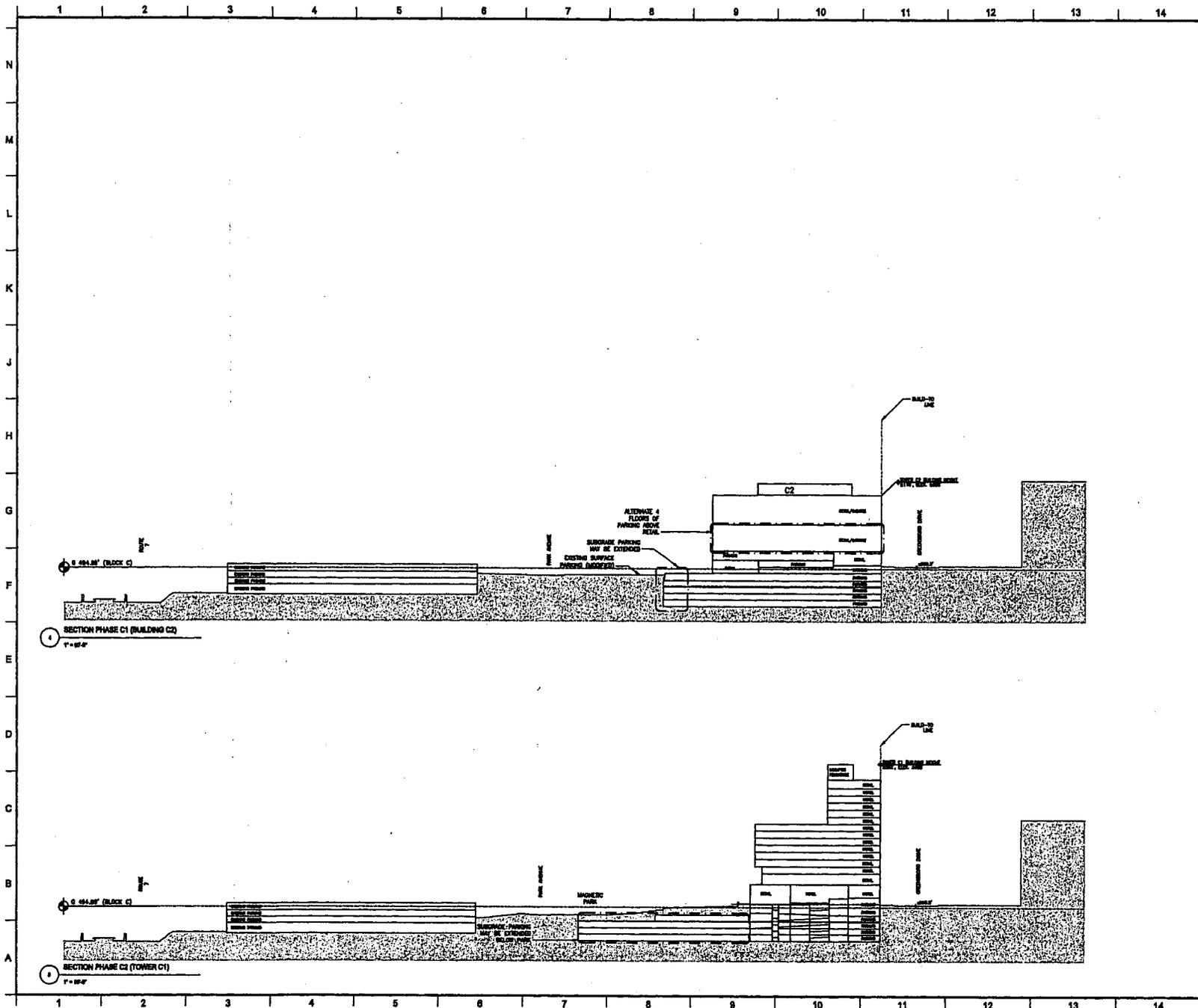
PHASING SECTIONS

DATE	CDP	PROJECT NO.
DESIGNED BY	PP	THE BORO TYSONS - SECTIONS.dwg
DRAWN BY	JL	DRAWING NO.
CHECKED BY	ML	
DATE	7/28/10	

SCALE: AS SHOWN

PROJECT NO. 10-1027

A-3.01



NOTES:

1. Grades are approximate and subject to change with final engineering.
2. Refer to landscape drawings for plant by phase.
3. Building heights and numbers of floors shown are illustrative and may be adjusted provided the minimum and maximum building heights shown in the development table below are maintained.

13	COP Residential	68.25.2010
11	COP Residential	67.25.2010
10	COP Residential	66.25.2010
09	COP Residential	65.25.2010
08	COP Residential	64.27.2014
07	COP Residential	63.29.2015
06	COP Residential	62.18.2015
05	COP Residential	60.23.2012
04	COP Residential	57.17.2012
03	COP Residential	56.26.2011
02	COP Residential	11.16.2010
01	COP Substation	10.91.2010
00	RESIDENCES (SUBSTATIONS)	0000

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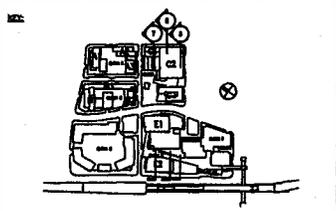
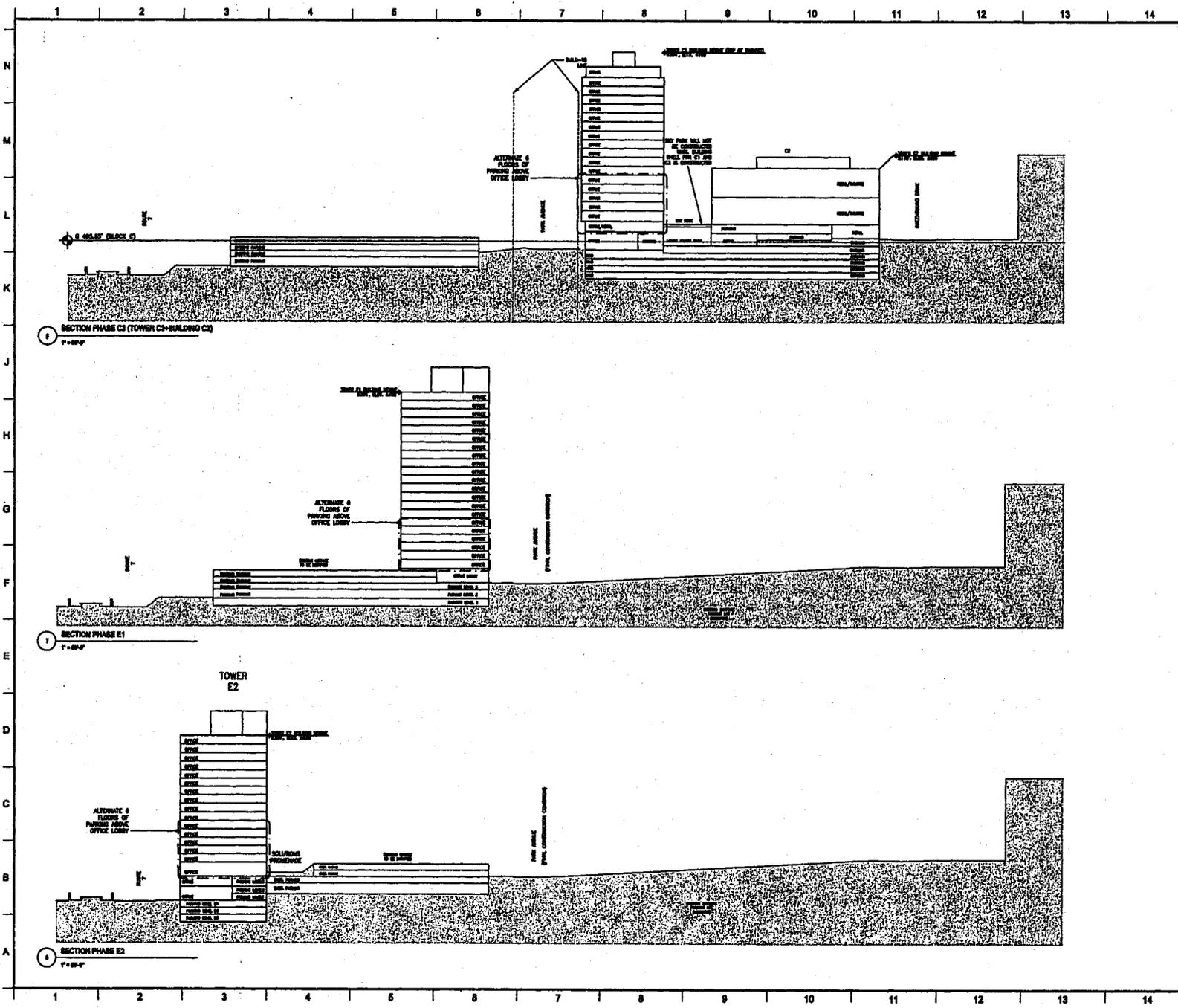
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 800 South Payne Street | Alexandria, VA 22314 | 703.682.7204

THE BORO TYSONS, VA

PHASING SECTIONS

DANIEL S. SMITH
 LICENSE NO. 61428
 STATE OF VIRGINIA

DATE: 01/11/2017
 TIME: 10:00 AM
 DRAWING NO: A-3.02



- NOTES:**
1. Details are approximate and subject to change with final engineering.
 2. Refer to landscape drawings for stone by plan.
 3. Building heights and structure of Tower E2 are illustrative and may be adjusted pending the submission and approval of building height shown in the development conditions are maintained.

12	CSP Penetration	05.26.2016
11	CSP Penetration	07.02.2016
10	CSP Penetration	02.22.2016
09	CSP Penetration	02.22.2016
08	CSP Penetration	04.07.2014
07	CSP Penetration	07.25.2010
06	CSP Penetration	02.19.2010
05	CSP Penetration	09.22.2012
04	CSP Penetration	07.17.2012
03	CSP Penetration	02.10.2011
02	CSP Penetration	11.16.2010
01	CSP Penetration	05.01.2010
00	REVISIONS / SUBMISSION	DATE

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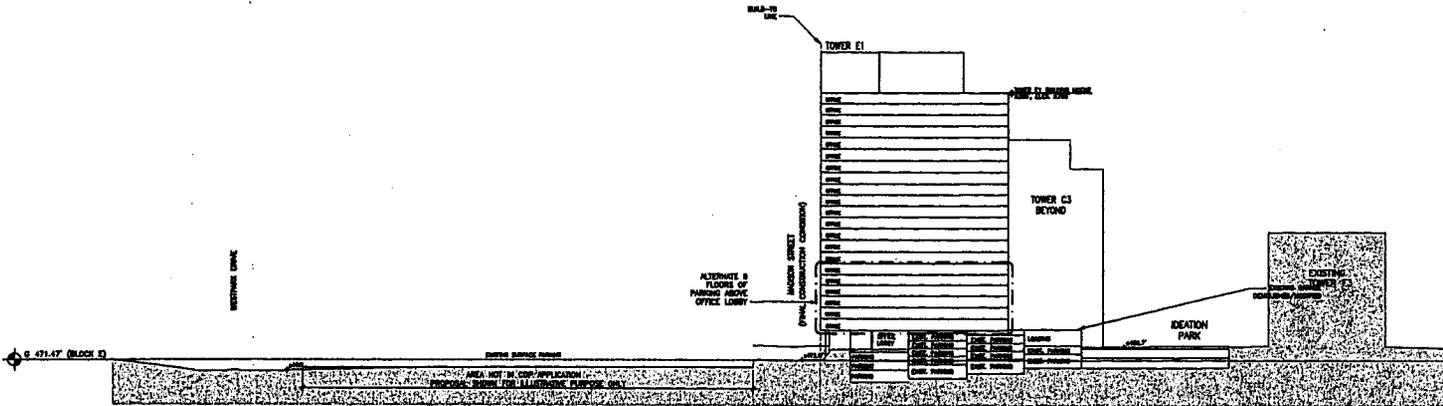
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 LANDOVERSHIRE
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THE BORO TYSONS, VA

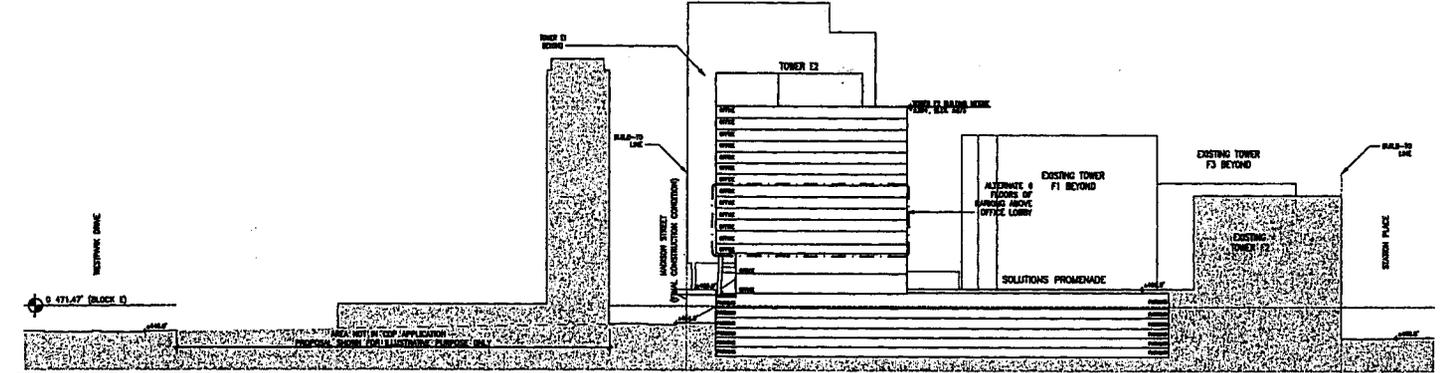
PHASING SECTIONS

DATE: 05/11/2016
 DRAWN BY: J. L. KAPLEY
 CHECKED BY: J. L. KAPLEY
 SCALE: 1/8" = 1'-0"

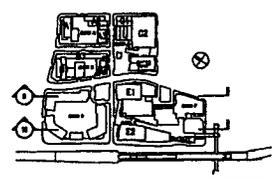
PROJECT: THE BORO TYSONS - SECTIONS
 SHEET: A-3.03



SECTION PHASE E1 (TOWER E1+WESTPARK PLAZA PHASE1)
T=82'-0"



SECTION PHASE E2 (TOWER E2+WESTPARK PLAZA PHASE1)
T=82'-0"



- NOTES:**
1. Grades are approximate and subject to change with final engineering.
 2. Refer to landscape drawings for plant by phase.
 3. Building heights and numbers of floors shown are illustrative and may be updated provided the minimum and maximum building heights shown in the development regulations are maintained.

12	COP Foundation	94.38.2016
11	COP Foundation	97.23.2016
10	COP Foundation	91.52.2016
09	COP Foundation	88.38.2016
08	COP Foundation	84.87.2014
07	COP Substation	97.21.2015
06	COP Foundation	92.15.2015
05	COP Foundation	14.23.2012
04	COP Foundation	97.17.2012
03	COP Foundation	94.38.2015
02	COP Foundation	11.05.2010
01	COP Substation	18.01.2010
00	REVISIONS (DRAWINGS)	00/00

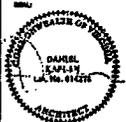
FX FOWLE

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300 South Payne Street | Alexandria, VA 22314 | 703.442.7200

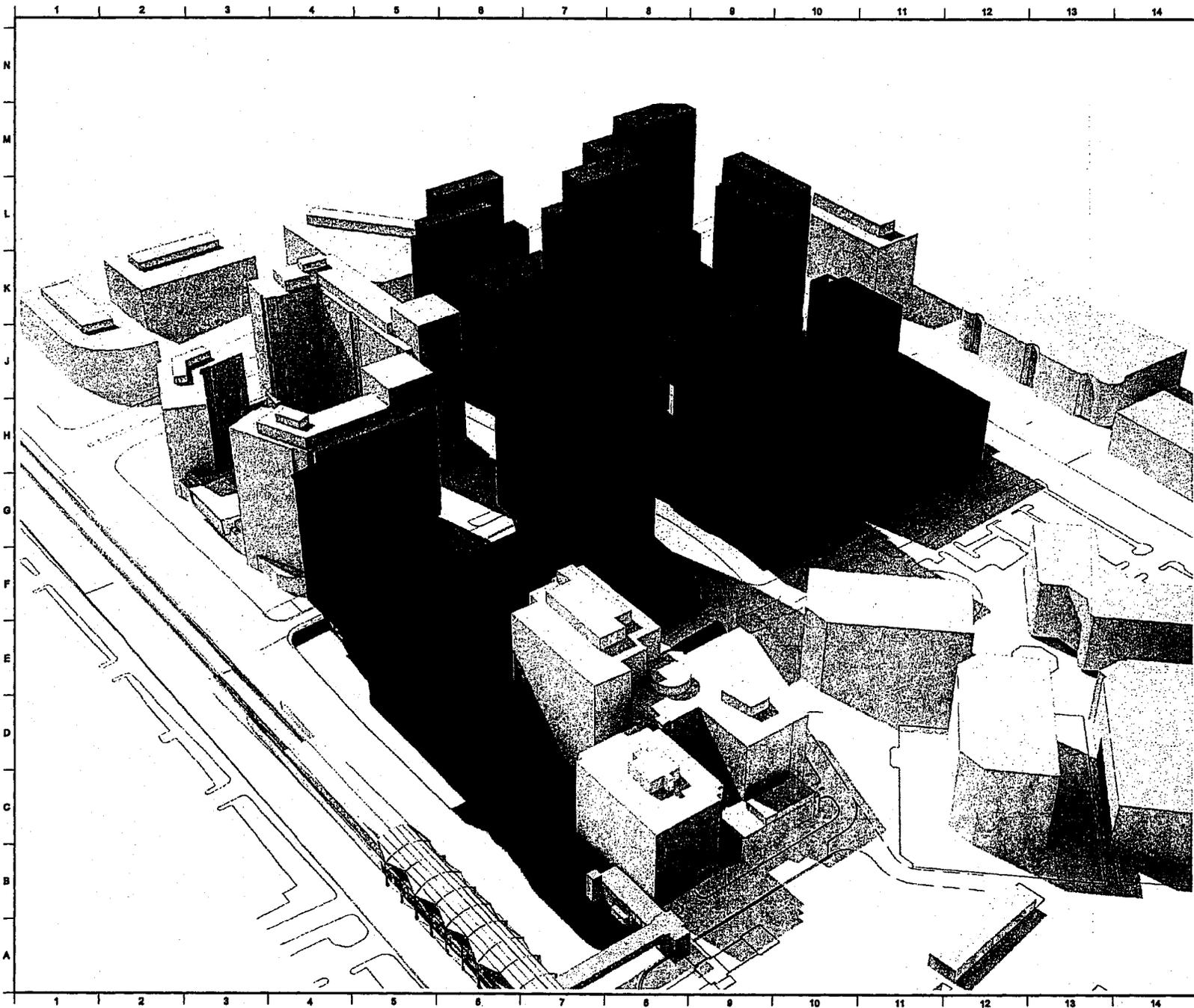
THE BORO TYSONS, VA

PHASING 101.0

PHASING SECTIONS



DATE: 11/11/2024
DRAWN BY: J. FOWLE
CHECKED BY: D. S. FOWLE
DATE: 11/11/2024
SCALE: AS SHOWN
SHEET NO.: A-3.04



- LEGEND**
- RESIDENTIAL
 - OFFICE
 - HOTEL
 - RETAIL
 - EXISTING BUILDING
 - PARK
 - RETAIL/ENTERTAINMENT

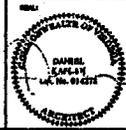
01	CDP Final/Revised	02.28.2010
02	CDP Final/Revised	07.28.2010
03	CDP Final/Revised	08.25.2010
04	CDP Final/Revised	08.25.2010
05	CDP Final/Revised	07.27.2010
06	CDP Final/Revised	08.19.2010
07	CDP Final/Revised	08.25.2010
08	CDP Final/Revised	07.17.2010
Revisions / Comments		DATE

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THE BORO TYSONS, VA

AERIAL VIEW

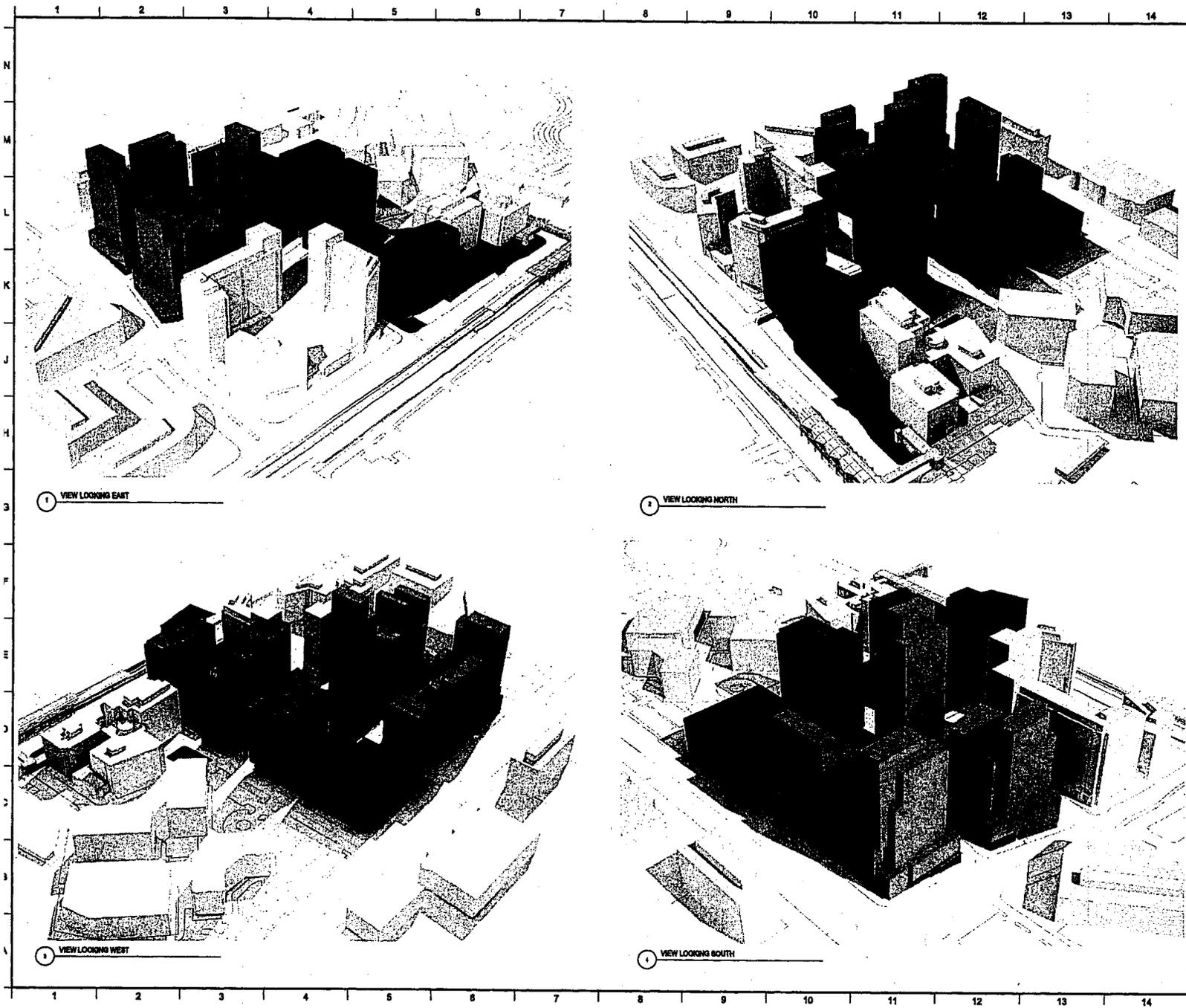


Scale: 1/8" = 1'-0"

DATE: 08/25/10

PROJECT: THE BORO TYSONS, VA

NO. A-4.01



1 VIEW LOOKING EAST

2 VIEW LOOKING NORTH

3 VIEW LOOKING WEST

4 VIEW LOOKING SOUTH

- LEGEND:**
- RESIDENTIAL
 - OFFICE
 - HOTEL
 - RETAIL
 - EXISTING BUILDING
 - PARKS
 - RETAIL/THEATRE

06	CDP Presentation	08.28.2018
07	CDP Presentation	07.22.2018
08	CDP Presentation	04.22.2018
09	CDP Presentation	03.20.2018
04	CDP Presentation	07.21.2013
05	CDP PRELIMINARY	06.16.2013
01	CDP PRELIMINARY	03.22.2012
01	CDP Presentation	07.17.2012
02	REVISIONS (REVISIONS)	SITE

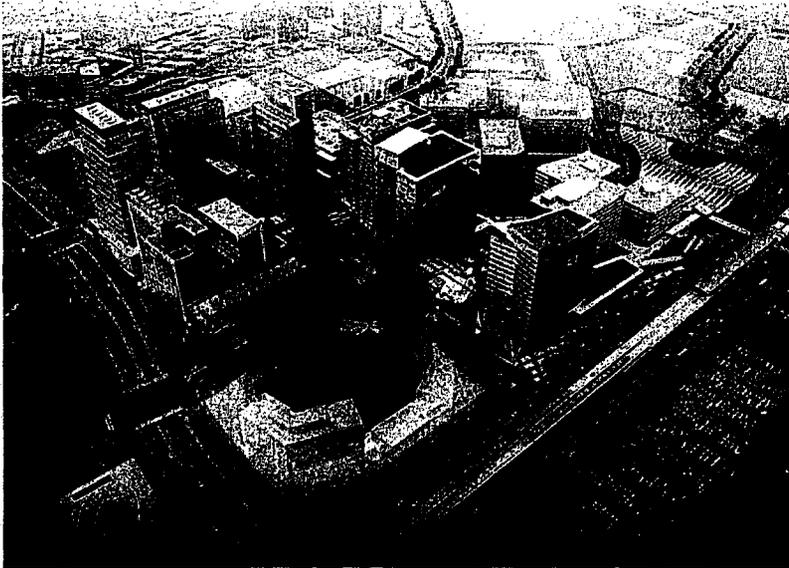
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THE BORO TYSONS, VA

VIEWS INTO THE SITE

	<input type="checkbox"/> DATE <input type="checkbox"/> SCALE <input type="checkbox"/> TITLE <input type="checkbox"/> DRAWN BY <input type="checkbox"/> CHECKED BY	<input type="checkbox"/> DATE <input type="checkbox"/> SCALE <input type="checkbox"/> TITLE <input type="checkbox"/> DRAWN BY <input type="checkbox"/> CHECKED BY
	A-4.02	
	© 2014 FX FOWLE ARCHITECTS, LLP ALL RIGHTS RESERVED	



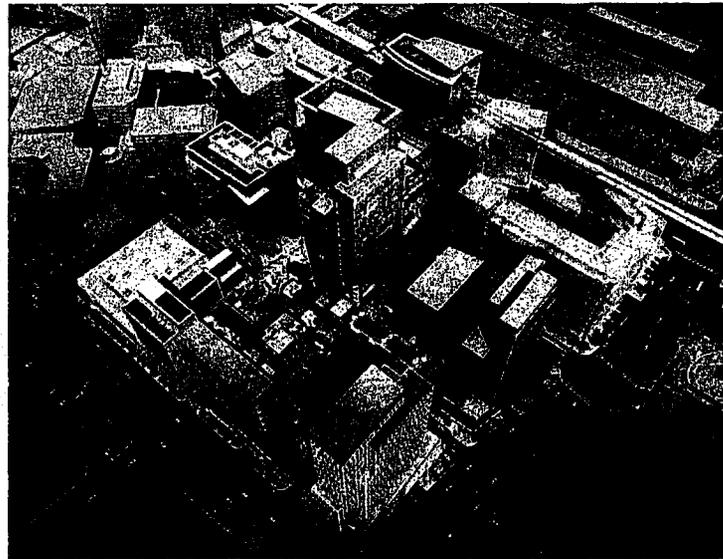
1 VIEW LOOKING EAST



1 VIEW LOOKING NORTH



1 VIEW LOOKING WEST



1 AERIAL VIEW

04	CDP Presentation	06.05.2010
05	CDP Presentation	07.25.2010
06	CDP Presentation	08.26.2010
07	CDP Presentation	09.29.2010
08	CDP Presentation	04.07.2011
09	CDP Presentation	07.21.2012

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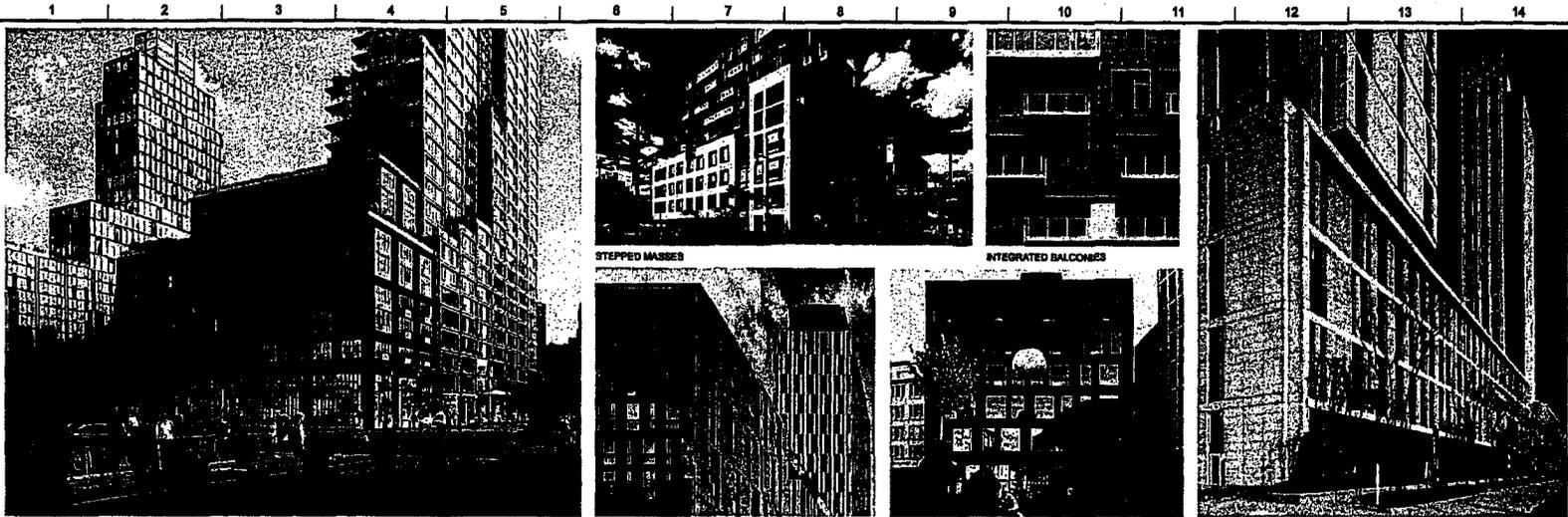
**THE BORO
 TYSONS, VA**

ILLUSTRATIVE RENDERINGS

01	02	03
04	05	06
07	08	09
10	11	12
13	14	15
16	17	18



A-4.03

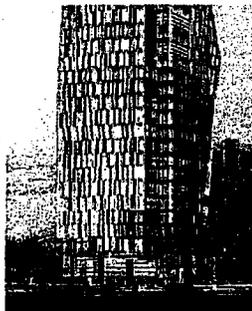


STEPPED MASSES
HIGH RISE RESIDENTIAL

Materials and details should support a scale and character commensurate with a walkable and welcoming neighborhood. Residential high rise design should provide a varied architectural expression within the building envelope to create visual interest and distinct identities

within the overall development. Building entrances should contribute to the pedestrian experience and enhance the public realm. Balconies and other architectural elements can be integrated into the building facade to add create visual interest but should be integrated with the design of

the facade. A variety of materials are appropriate. Masonry, terra cotta, architectural precast, metal panels and window wall systems should be considered for their color/finish as part of the overall palette of materials.



GLASS SKINNED



SOLAR RESPONSIVE



CRYSTALLINE MASSES



ARTICULATED FACADE



DISTINCTIVE FORMS

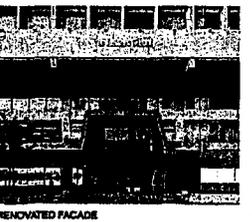


DISTINCTIVE FORMS

The towers should be designed as part of an overall composition with each individual tower responding to its specific context in massing, materials and detailing. The towers design should maximize access to view corridors through the site and allow each building to have a distinct identity within the overall composition. Towers should

have a clear mass articulation to meet the pedestrian realm. Tower design should be varied and avoid a uniform facade. Material selections for building elements should be considered for their aesthetic quality and integration with the overall project. The glass color and composition should be considered in relationship to other build-

ing materials and the glass transparency considered from both the interior and exterior. Parking should be screened and designed with careful attention to the composition of opening and voids.



RENOVATED FACADE



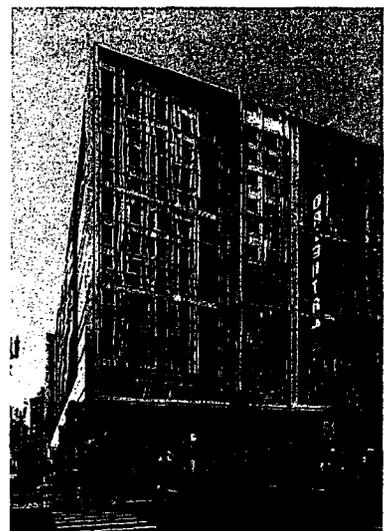
GRAND ENTRY



FRAMED GLASS FACADE



GRIDDED PATTERN



GRIDDED PATTERN

HOTEL
The hotel is in a prominent location in the project. The facade should be designed to respect the unique environment at each frontage. The south facade should be articulated to anchor the park and provide visual definition to the public realm. The hotel represents a semi-private realm and this should be expressed in a

warm and welcoming facade that relates to its context. Canopies and other techniques should be incorporated to protect visitors from the weather and to create a transition between the interior and exterior experiences.

NOTES:
1. Precedents are for illustrative purposes only. To illustrate general concepts and abstracted. They are subject to final architectural and engineering design.

07	CCP Presentation	08.28.2015
08	CCP Presentation	07.23.2015
09	CCP Presentation	06.23.2015
10	CCP Presentation	05.20.2015
11	CCP PRESENTATION	04.21.2015
12	CCP PRESENTATION	02.19.2015
13	CCP Presentation	01.22.2015
14	REVISIONS (COMMENTS)	01/25

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THE BORO TYSONS, VA
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DANIEL S. FOWLE
ARCHITECT
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ATLANTA, GA 30309
TEL: 404.770.1700

DATE: 10.21.2015
BY: [Signature]

SCALE: 1/8" = 1'-0"

A-4.04



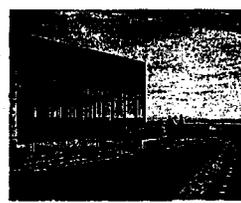
EXPRESSED PARLOUR LEVEL



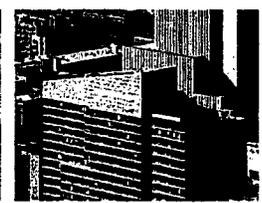
PEDESTRIAN SCALE



OCCUPIED ROOFTOPS



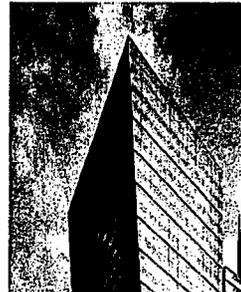
OCCUPIED ROOFTOPS



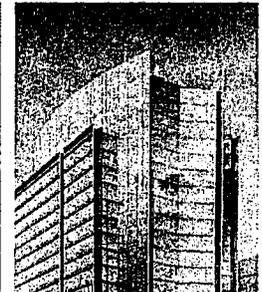
CELEBRATED SCREENWALL



SUPER-SCALE CANOPIES



SLOPED PROFILE



PLANES AND MASSSES

LOW RISE RESIDENTIAL

The low rise residential building should provide a continuous and varied streetscape. They should be designed to create an interesting pedestrian experience. Building entrances should be clearly articulated and defined with canopies or other elements. The first floor for ground

floor residential uses should be offset from adjacent sidewalks to provide permeability for residents. Steps, ramps, or ADA-compliance lifts for building access should not interfere with pedestrian activities and should be integrated with overall architectural expression. The low rise portions

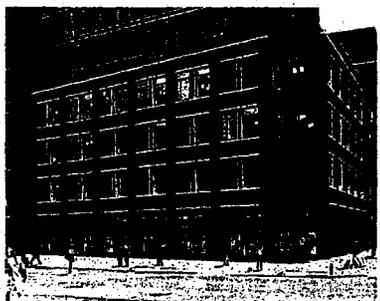
should define a distinctive building base with a change in materials or facade details that define and support a residential scale for the block.

BUILDING TOPS

Create distinctive towers by incorporating features such as parapets, cornices and unique tower tops and bulbous. Building tops should support an overall composition as well as provide individual profiles in the rhythm. The architectural expression of proposed buildings

should be integrally designed with parapets, cornices and bulbheads. Visible mechanical systems or other systems should be integrated into the overall architectural expression. Building tops should relate to the lower portions of mid-rises and towers and even the pedestrian realm by

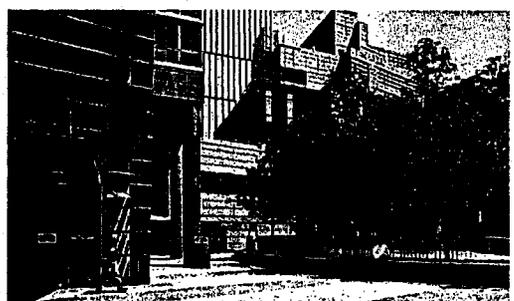
celebrating the vantage points of each tower.



PEDESTRIAN SCALED



INTEGRATED SIGNAGE AND LOUVER ZONES



SEAMLESS WITH PLAZA SPACES



INTEGRATED WITH BUILDING ENTRANCES

RETAIL / SERVICE

The retail/service storefronts will be an important component in establishing the overall character of the pedestrian realm. Retail/service storefronts should allow diversity and flexibility within a consistent framework. Signage can be part of a lively streetscape and should be considered in the design of the ground floor facades where retail/service

uses are permitted. Ground floor facades should relate to the upper floors of the building through materials, colors, and scale.



CANOPIES AND AWNINGS



MAXIMIZED TRANSPARENCY

NOTES:
1. Precedents are for illustrative purposes only. In illustrate general concepts and character. They are subject to final architectural and engineering design.

07	CDP Presentation	04.02.2015
08	CDP Presentation	07.22.2015
09	CDP Presentation	08.20.2015
10	CDP Presentation	08.20.2015
11	CDP Presentation	07.01.2015
12	CDP Presentation	05.16.2015
13	CDP Presentation	04.29.2015
14	Revisions (Continued)	01/15

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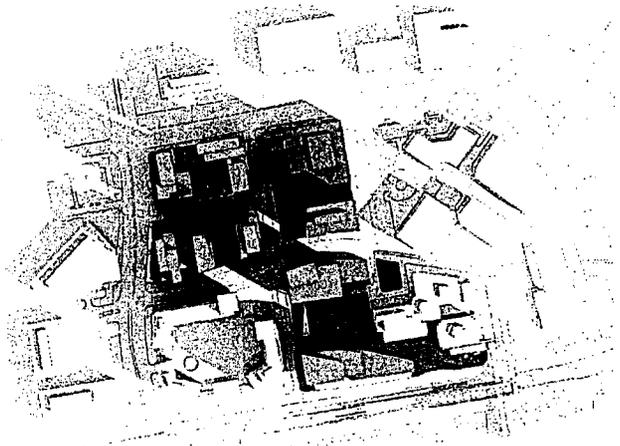
ARCHITECTURAL PRECEDENTS

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	Author:	Checked:	Plot No.:
	Designer:	Reviewed:	Working No.:
	Date:	Scale:	

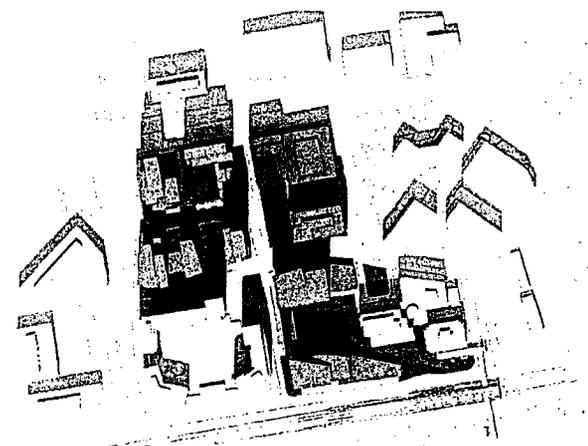
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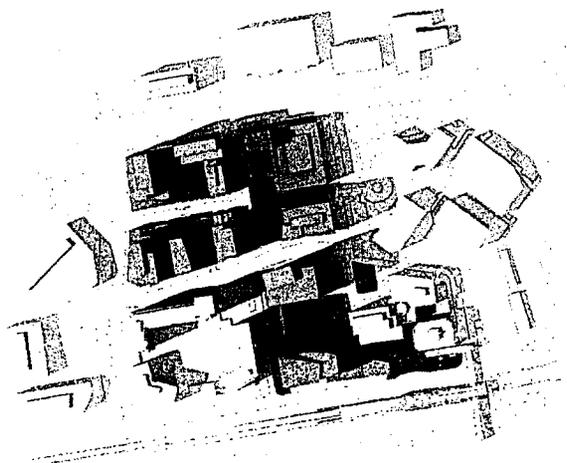
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1 MARCH 21 & SEPTEMBER 21 - 9 AM



2 MARCH 21 & SEPTEMBER 21 - 12 PM



3 MARCH 21 & SEPTEMBER 21 - 3 PM

1 2 3 4 5 6 7 8 9 10 11 12 13 14

- LEGEND**
- RESIDENTIAL
 - OFFICE
 - HOTEL
 - RETAIL
 - EXISTING BUILDING
 - PARKS
 - REHA./THEATRE

NO.	REVISIONS / SUBMITTALS	DATE
12	CCP Presentation	05.26.2010
11	CCP Presentation	07.23.2010
10	CCP Presentation	06.23.2010
09	CCP Presentation	02.26.2010
08	CCP Presentation	04.07.2010
07	CCP Presentation	07.01.2010
06	CCP Presentation	05.10.2010
05	CCP Presentation	07.17.2010
04	CCP Presentation	04.30.2011
03	CCP Presentation	11.10.2010
02	CCP Presentation	10.22.2010
01	CCP Presentation	06.01.2010

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**THE BORO
TYSONS, VA**

SHADE AND SHADOW STUDIES

DATE: 11.18.2010
DRAWN BY: DANIEL EARLE STY
CHECKED BY: [Signature]
DATE PLOTTED: 11.18.2010
DRAWING NO.: A-5.01



- LEGEND:
- RESIDENTIAL
 - OFFICE
 - HOTEL
 - RETAIL
 - EXISTING BUILDING
 - PARKS
 - RETAIL/THEATER

10	CDP Re-submission	08.28.2010
11	CDP Re-submission	07.22.2010
12	CDP Re-submission	08.23.2010
09	CDP Re-submission	02.28.2010
08	CDP Re-submission	04.07.2010
07	CDP Re-submission	07.01.2010
06	CDP Re-submission	02.18.2010
05	CDP Re-submission	07.17.2010
04	CDP Re-submission	08.30.2011
03	CDP Re-submission	11.16.2010
02	CDP Re-submission	10.22.2010
01	CDP Re-submission	10.01.2010

ALL REVISIONS | SUBMITTED | DATE

FX FOWLE

VFA, Inc.
 8700 Greenbush Drive, Suite 200 | Tyngsboro, VA 22645 | 703.443.7700
 LANDDESIGN
 200 South Poplar Street | Alexandria, VA 22304 | 703.836.7700

THE BORO TYSONS, VA

SHADE AND SHADOW STUDIES

	Client	Project No.
	Design	Draw No.
	Prepared	Drawing Date
	Date	

A-5.02



- LEGEND:**
- RESIDENTIAL
 - OFFICE
 - HOTEL
 - RETAIL
 - EXISTING BUILDING
 - PARKS
 - SCHOOL/THEATRE

NO.	REVISIONS / DESCRIPTION	DATE
10	CDP Reevaluation	02.26.2010
11	CDP Reevaluation	07.23.2010
12	CDP Reevaluation	08.23.2010
05	CDP Reevaluation	02.20.2010
06	CDP Reevaluation	04.07.2010
07	CDP Reevaluation	07.01.2010
08	CDP Reevaluation	05.19.2010
09	CDP Reevaluation	07.17.2010
04	CDP Reevaluation	04.28.2011
03	CDP Reevaluation	11.16.2010
02	CDP Reevaluation	04.20.2012
01	CDP Reevaluation	08.01.2010

FXFOWLE

FXFOWLE ARCHITECTS, LLP IS AN EQUAL OPPORTUNITY FIRM. WE ARE AN AIA AFFILIATED FIRM AND A LEED ACREDITED FIRM.

VKA, Inc.
 2000 Riverchase Blvd, Suite 200 | Tyngsboro, VA 22170 | 703.642.2200
LANDSCAPE DESIGN
 200 North Poplar Street | Alexandria, VA 22314 | 703.642.2200

THE BORO TYSONS, VA

SHADE AND SHADOW STUDIES

SCALE: 1/8" = 1'-0"

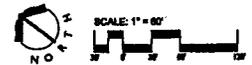
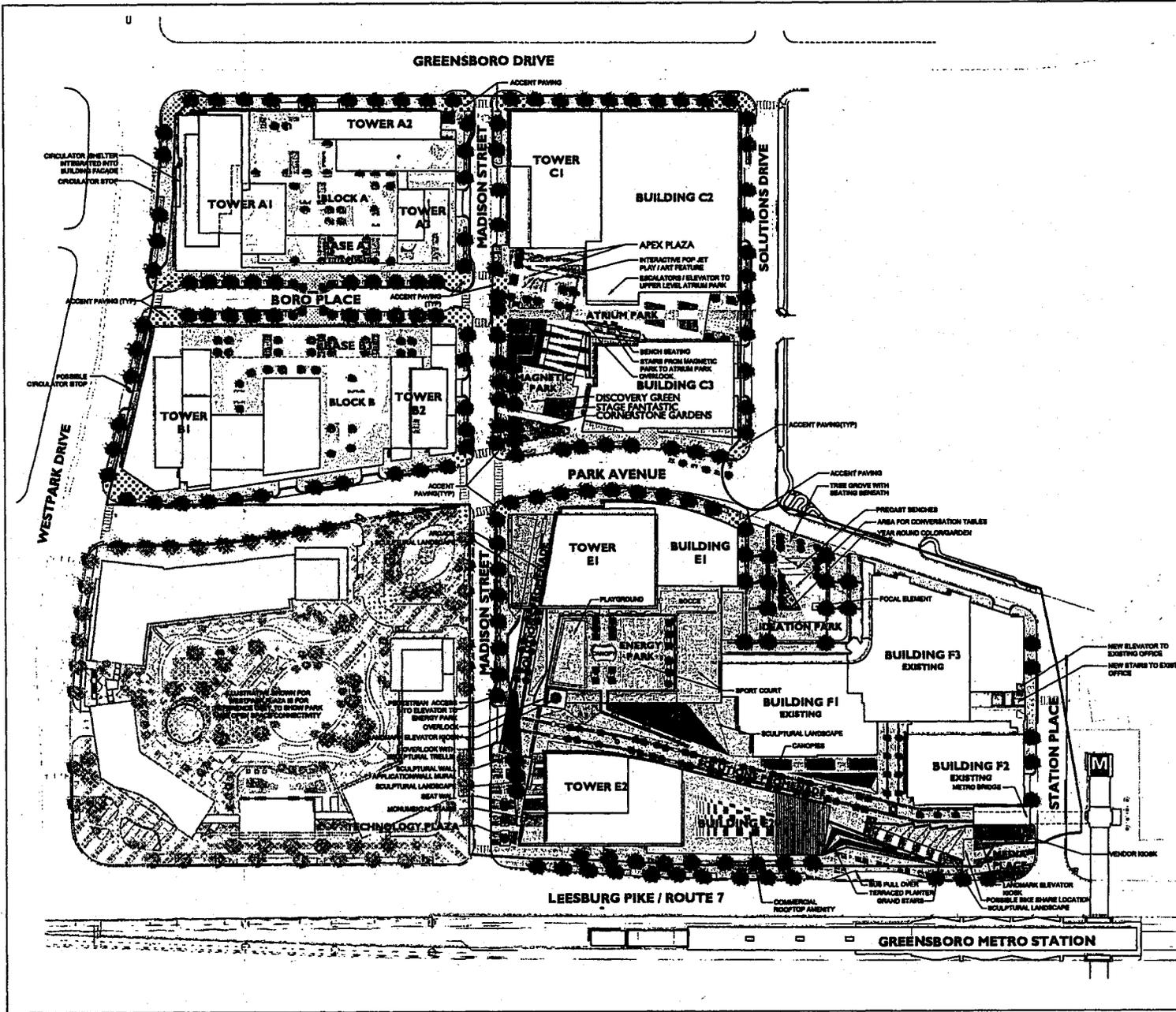
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 L.A. No. 01-0174

DATE: 11.18.2010

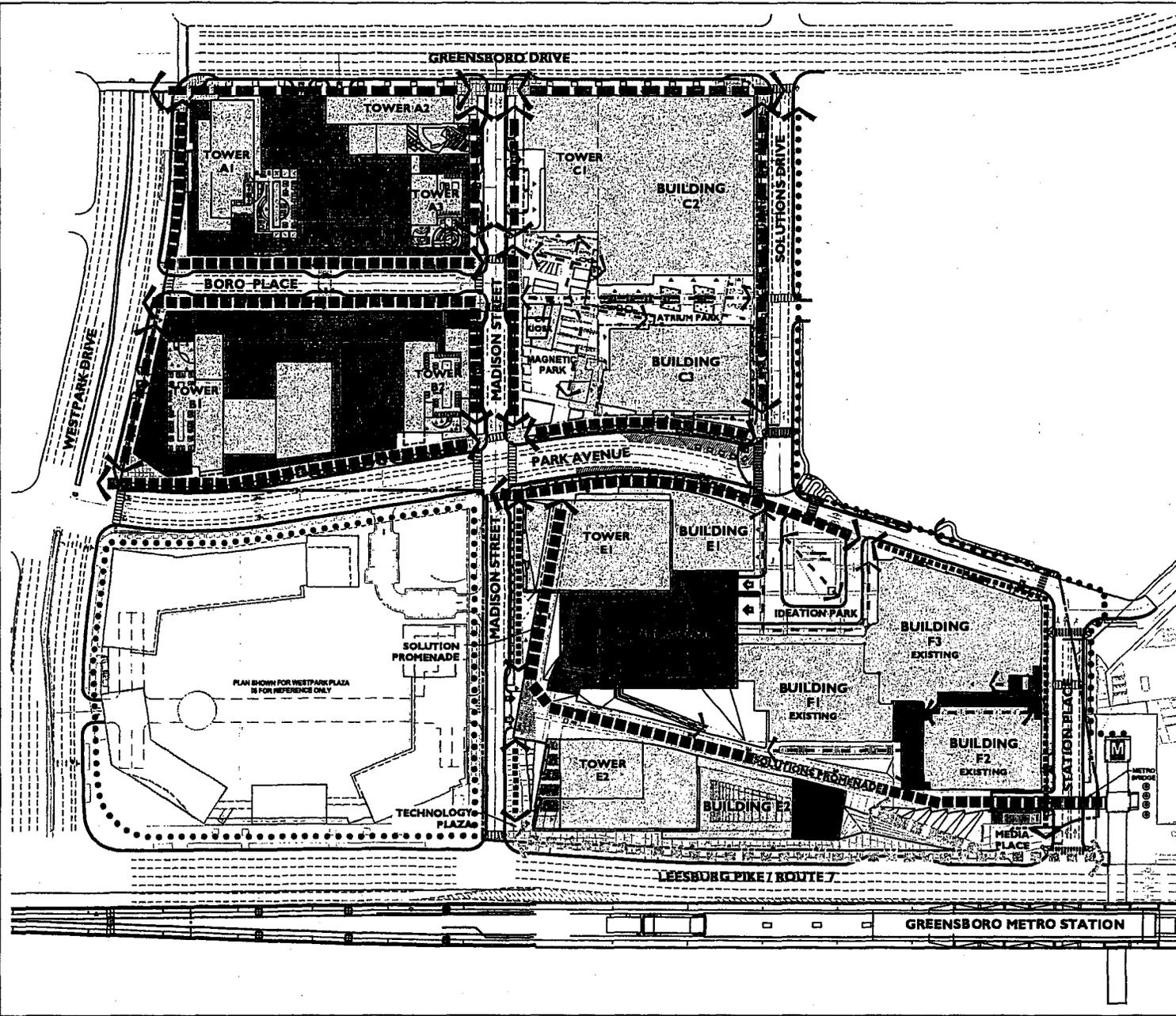
BY: [Signature]

Checked By: [Signature]
 Date: [Signature]
 Drawing No.: [Signature]

A-5.03



ALL DRAWINGS ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY AND ARE SUBJECT TO CHANGE PER FINAL ARCHITECTURE, CIVIL, AND SITE DESIGN. DRAWINGS ARE NOT FOR CONSTRUCTION.



LEGEND

- GATEWAY PEDESTRIAN CORRIDOR
 - PRIMARY PEDESTRIAN CORRIDOR
 - SECONDARY PEDESTRIAN CORRIDOR
 - TERTIARY PEDESTRIAN CORRIDOR
 - INTERIOR PEDESTRIAN CIRCULATION
 - BY OTHERS
 - PROPERTY LINE/EXISTING VDOT ROW
 - BUILD-TO LINE
 - RESIDENTIAL LOBBY, HOTEL, OFFICE, AND/OR RETAIL/SERVICE/COMMERCIAL ENTRANCE (SEE NOTE 1)
 - VEHICULAR ENTRANCE - PARKING (SEE NOTE 1)
 - VEHICULAR ENTRANCE - SERVICE/LOADING (SEE NOTE 1)
 - LANDMARK ELEVATOR NOOK
- SCALE: 1" = 60'
-

GENERAL NOTES:

- FOR REFERENCE ONLY; SEE SHEETS A-1.01 & A-1.02 FOR LOCATION OF OFFICE AND VEHICULAR ENTRANCES ON ARCHITECTURE PLANS.
- LOCATIONS OF ELECTRICAL AND STORMWATER VALVES ARE LOCATED ON SHEET C-51 OF CIVIL PLANS AND SHEETS L-4.1 & L-4.2 OF LANDSCAPE PLANS.
- SEE CIVIL PLANS FOR LOCATIONS OF PROPOSED UTILITIES.
- NOT ALL ITEMS IN LEGEND WILL APPEAR ON EVERY SHEET.

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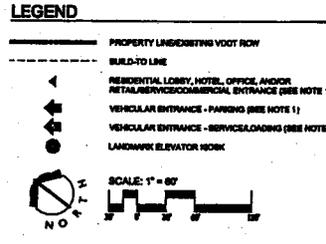
PUBLIC URBAN PARK PROGRAMMING

- Park 1: MEDIA PLACE**
Urban Park Type: Public Park
Features:
• Eye catching sculpture
• Fountain
• Fountain plaza
• Landmark structure
• Pedestrian walkway
• Public art
• Seating
• Street lighting
• Street furniture
• Street trees
• Street walls
• Street walls
• Street walls
- Park 2: SOLUTIONS PROMENADE**
Urban Park Type: Promenade
Features:
• Seating
• Street lighting
• Street furniture
• Street trees
• Street walls
• Street walls
• Street walls
- Park 3: ENERGY PARK**
Urban Park Type: Recreation
Features:
• Seating
• Street lighting
• Street furniture
• Street trees
• Street walls
• Street walls
• Street walls
- Park 4: TECHNOLOGY PLAZA**
Urban Park Type: Public Park
Features:
• Seating
• Street lighting
• Street furniture
• Street trees
• Street walls
• Street walls
• Street walls
- Park 5: MAGNETIC PARK**
Urban Park Type: Common Area
Features:
• Seating
• Street lighting
• Street furniture
• Street trees
• Street walls
• Street walls
• Street walls

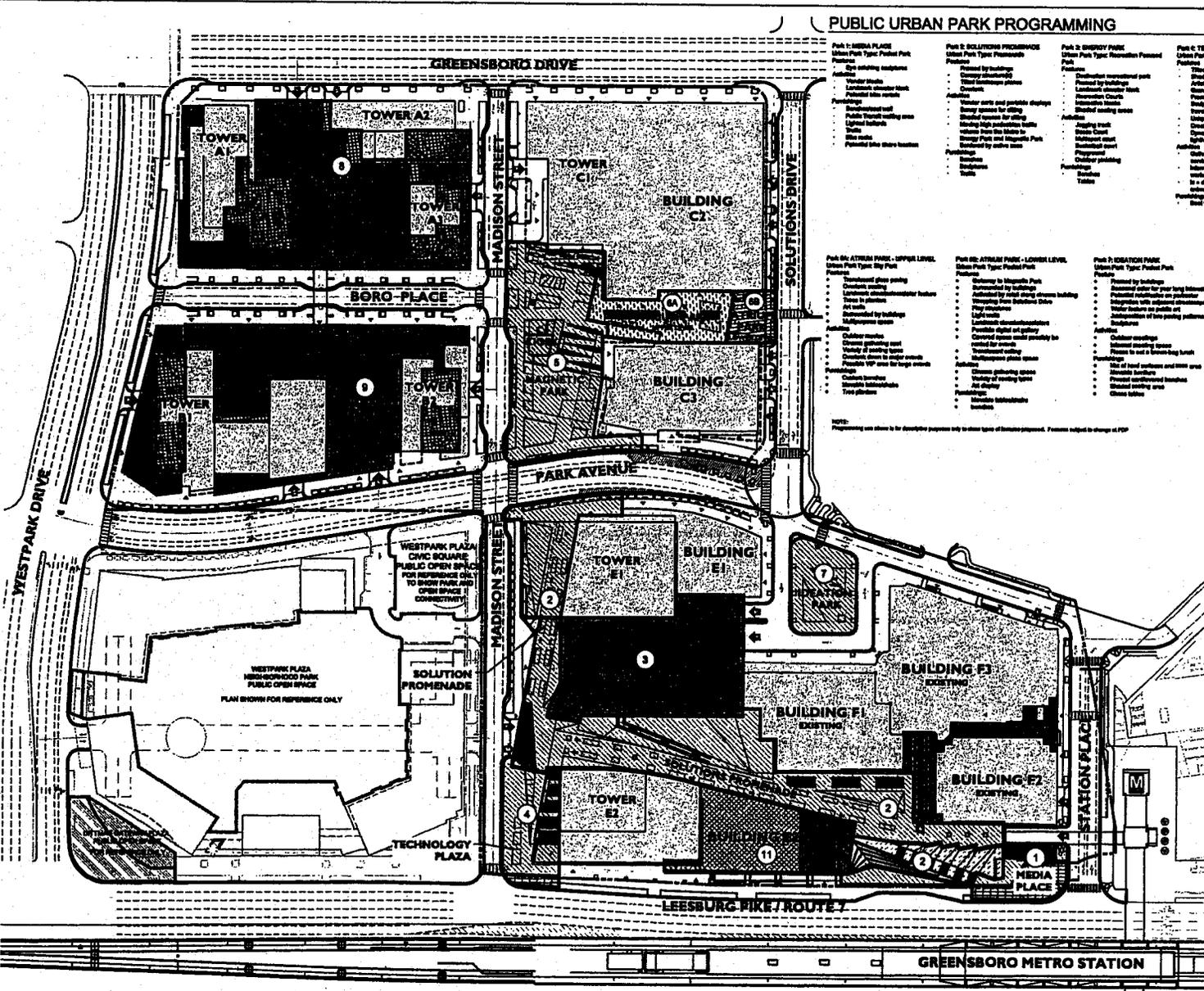
- Park 6: ATTRAH PARK - UPPER LEVEL**
Urban Park Type: City Park
Features:
• Seating
• Street lighting
• Street furniture
• Street trees
• Street walls
• Street walls
• Street walls
- Park 7: ATTRAH PARK - LOWER LEVEL**
Urban Park Type: Public Park
Features:
• Seating
• Street lighting
• Street furniture
• Street trees
• Street walls
• Street walls
• Street walls
- Park 8: CREATION PARK**
Urban Park Type: Public Park
Features:
• Seating
• Street lighting
• Street furniture
• Street trees
• Street walls
• Street walls
• Street walls

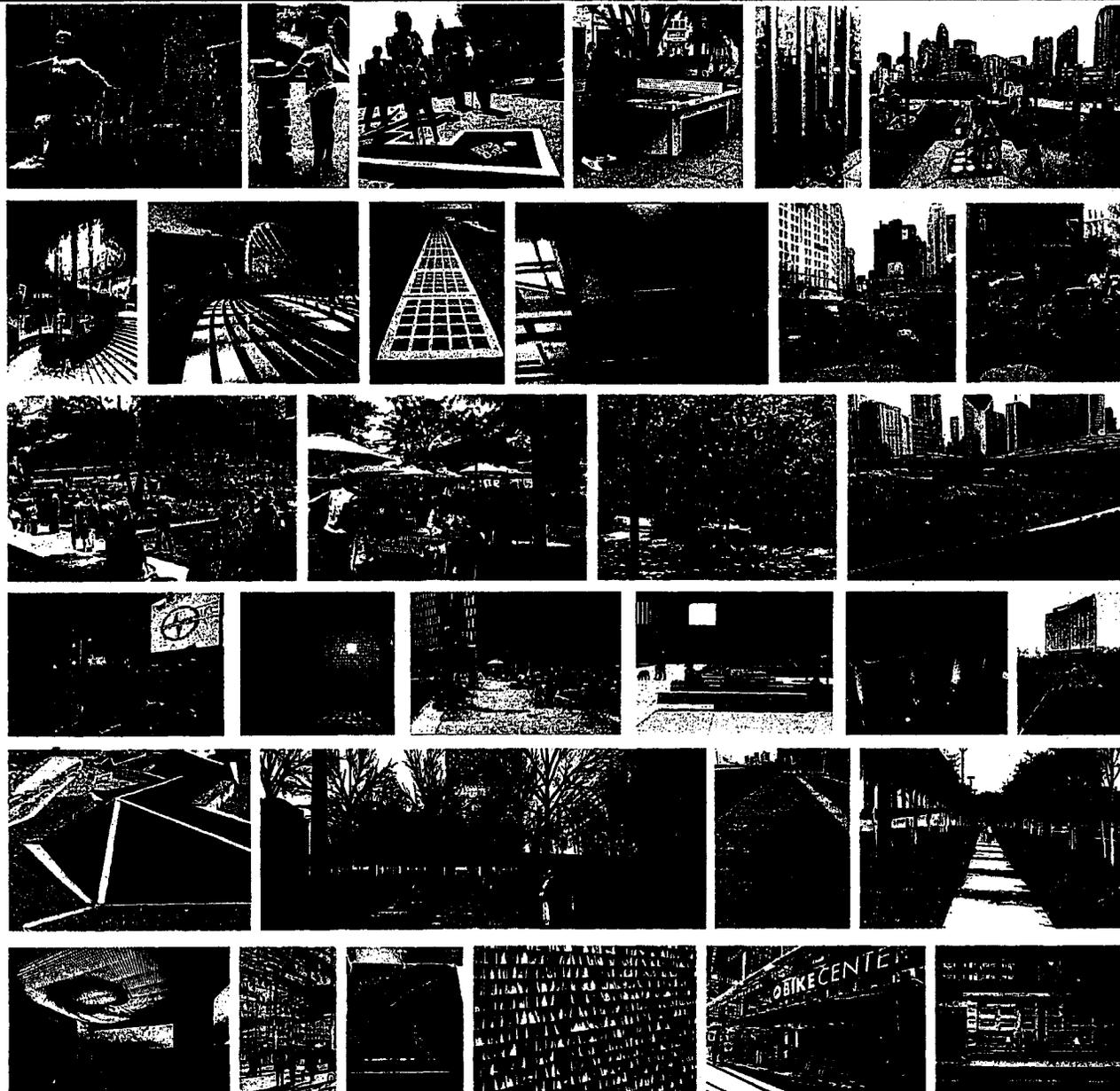
URBAN PARK LEGEND

SYMBOL	DESCRIPTION	SIZE
①	MEDIA PLACE (PUBLIC)	6,943 sf
②	SOLUTIONS PROMENADE (PUBLIC)	72,822 sf
③	ENERGY PARK (PUBLIC)	33,344 sf
④	TECHNOLOGY PLAZA (PUBLIC)	11,880 sf
⑤	MAGNETIC PARK (PUBLIC)	32,801 sf
⑥	ATTRAH PARK - UPPER LEVEL (PUBLIC)	19,721 sf
⑦	ATTRAH PARK - LOWER LEVEL (PUBLIC) (Excludes area beneath Upper Level)	14,284 sf
⑧	CREATION PARK (PUBLIC)	9,728 sf
⑨	BLOCK A PRIVATE AMENITY DECK (PRIVATE)	86,728 sf
⑩	BLOCK B PRIVATE AMENITY DECK (PRIVATE)	48,211 sf
⑪	BUILDING E3 COMPRESSIVE ROOFTOP AMENITY (PRIVATE)	17,267 sf
SYMBOL	DESCRIPTION	SIZE
▨	PUBLIC URBAN PARK - ELEVATED	68,842 SF
▨	PUBLIC OPEN SPACE - SUBJECT TO VOTV APPROVAL	4,788 SF
▨	PRIVATE PARK	43,047 SF
▨	PUBLIC URBAN PARK - AT GRADE	138,386 SF



GENERAL NOTES:
 1. FOR REFERENCE ONLY: SEE SHEETS A-1-A1 & A-1-A2 FOR LOCATION OF OFFICE AND VEHICULAR ENTRANCES ON ARCHITECTURE PLANS.
 2. LOCATIONS OF ELECTRICAL AND FIREWATER VALVES ARE LOCATED ON SHEET C-1 OF CIVIL PLANS AND SHEETS L-1 & L-2 OF MECHANICAL PLANS.
 3. SEE CIVIL PLANS FOR LOCATIONS OF PROPOSED UTILITIES.
 4. NOT ALL ITEMS IN LEGEND WILL APPEAR ON EVERY SHEET.
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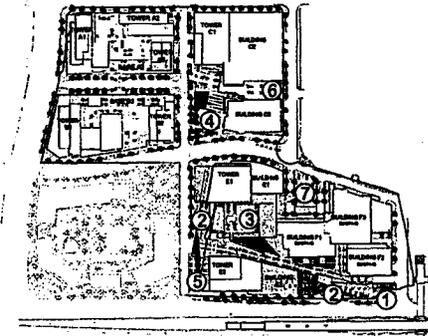




LAST ROW OF IMAGES SPECIFIC TO MADISON ST. J TECHNOLOGY PLAZA ANIMATION

Urban Design Character

The color and material palette for this district is focused on sleek textures and color (such as stainless steel) in contrast to the more vibrant greens of the plant materials. The site will provide many opportunities for public art geared towards avant-garde artists using lighting, materials, and electronics to create a vibrant space with "pop." Clipped hedges, precise lawns and carefully spaced trees will reinforce the urban streetscape experience. The paving patterns will provide a hard structure in contrast to the curvilinear forms of the site furnishings and lighting. Opportunities are provided both for leisurely and quick paces. The grade transitions allow for the creation of unique spaces and outdoor rooms comfortable for one person or hundreds.



- ① **Media Place**
 - 1st branding opportunity
 - Orientation space
- ② **Solutions Promenade**
 - Encourage movement from Metro and Media Place to Energy Park and Science Squares
 - Overlook at pivot point
 - Front door to Public Facility
 - Gathering space for Public Facility patrons
- ③ **Energy Park**
 - Active multi-sport courts
 - Adventure play and playground equipment
 - Physical activities
 - Bounce
 - Jogging Loop
 - Shaded seating areas
- ④ **Magnette Park**
 - Large open lawn space for a variety of events
 - Unique amphitheater seating
 - Outdoor gathering/performance space
 - Pop jet fountain
 - Retail kiosk
 - Interpretive Garden
 - Shaded areas with seating
 - Events plaza
 - Infrastructure for movie screens, etc
 - Sculptures
 - Drought tolerant, native, low maintenance plant materials
 - Variety of landscape that has seasonal interest and character
 - Stormwater pits along perimeter
- ⑤ **Technology Plaza**
 - Destination for dynamic art (digital/art)
 - Access to public facility
 - Highly visible from Routes 7 and Metro
 - Main entrance to E2 lobby
 - Major access point up to Solutions Promenade
- ⑥ **Altium Park - Upper Level**
 - Translucent glass paving
 - Overlook seating
 - Landmark elevator/scalator feature
 - Trees in planters
 - Light wells
 - Surrounded by buildings
 - Multipurpose space
- ⑦ **Altium Park - Lower Level**
 - Gateway to Magnette Park
 - Surrounded by buildings
 - Activated by retail wrapping from Solutions Drive
 - Play structures
 - Light wells
 - Landmark elevator/scalators
 - Possible digital art gallery
 - Covered space could possibly be rented for events
 - Translucent ceiling
 - Multipurpose plaza space
- ⑧ **Meatloaf Park**
 - A place to share knowledge and ideas
 - Opportunities for social interaction
 - Pleasant outdoor meeting space
 - Secluded from the bustling commercial neighborhood making it a sanctuary from the urban environment
 - High visibility from street

LandDesign.

200 S. Poplar Ave., Alexandria, VA 22304
703.836.1000
www.landdesign.com

THE BORO
Conceptual Development Plan
The Meridian Group, Inc.
OVERALL URBAN PARK CHARACTER IMAGES

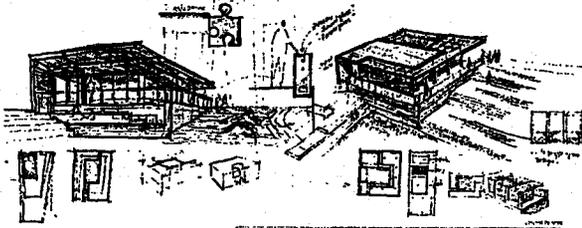
REVISIONS:
DATE: 08/21/13
DRAWN BY: CDP/BLISS/SONN
CHECKED BY: CDP/BLISS/SONN
SCALE: 1/8" = 1'-0"
PROJECT #: 201307
SHEET #4/10

ALL DRAWINGS ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY AND ARE SUBJECT TO CHANGE PER FINAL ARCHITECTURE, CIVIL, AND SITE DESIGN. DRAWINGS ARE NOT FOR CONSTRUCTION.

L-3.1

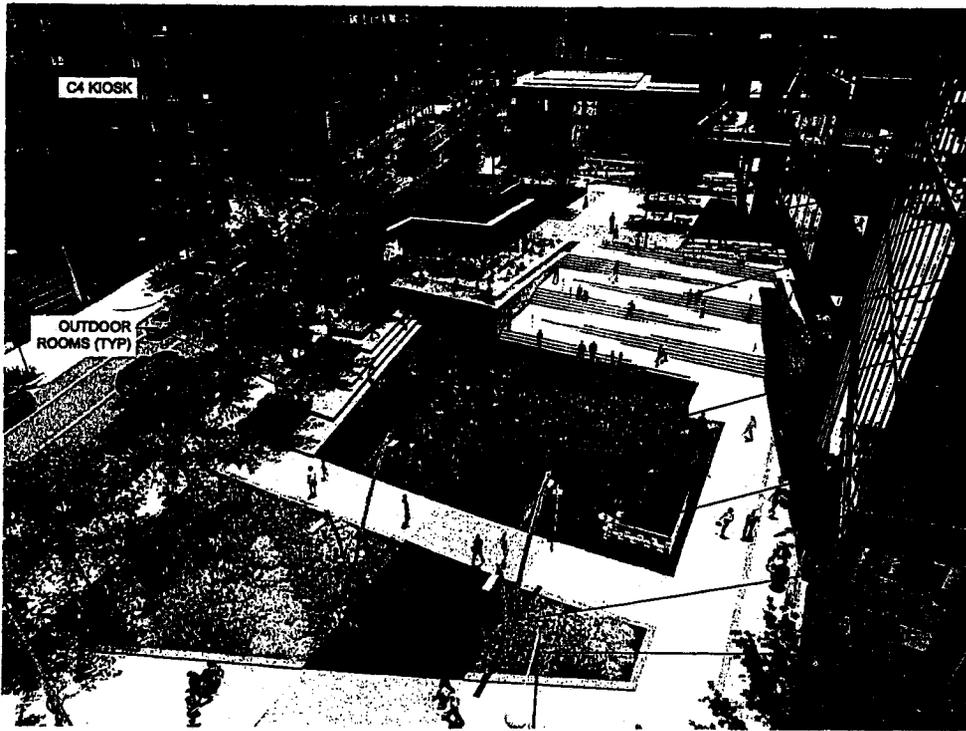


Concept - Puzzle Piece



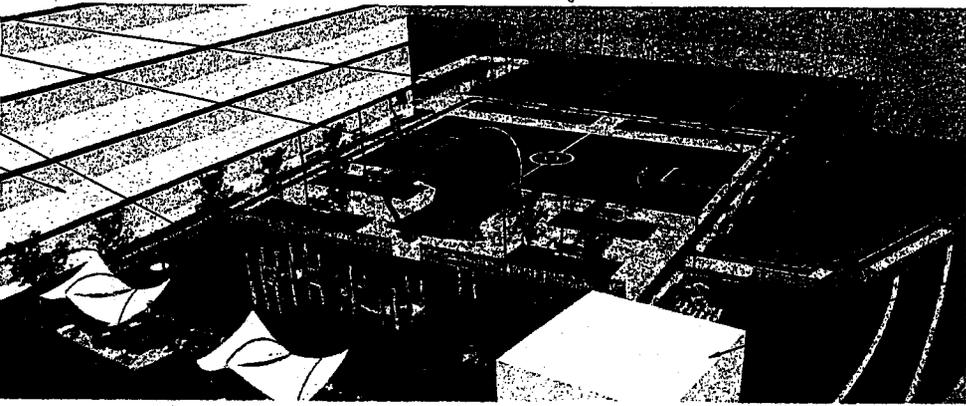
Concept - Puzzle Piece

KIOSK CONCEPT SKETCHES AS PRESENTED TO FAIRFAX COUNTY

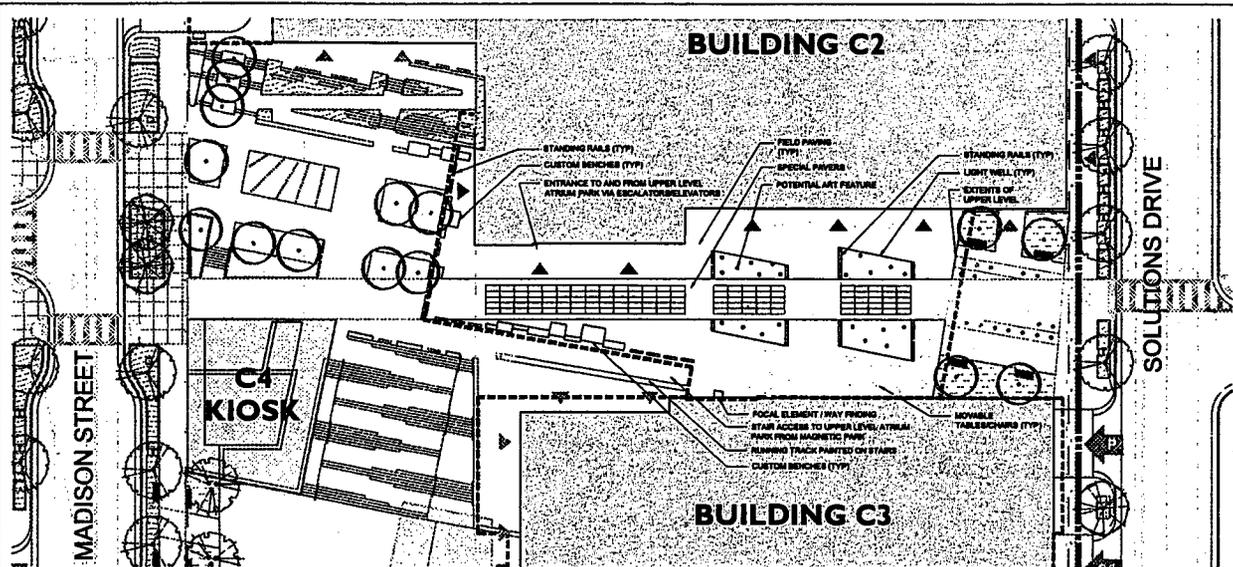


1 MAGNETIC PARK
L-3.2

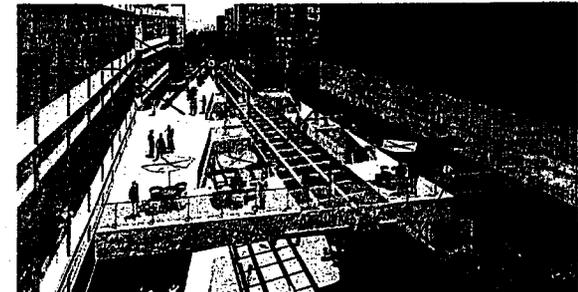
- BOCCE COURT
- CANOPY STRUCTURE FOR SHADED SEATING
- PLAYGROUND
- TOWER E1



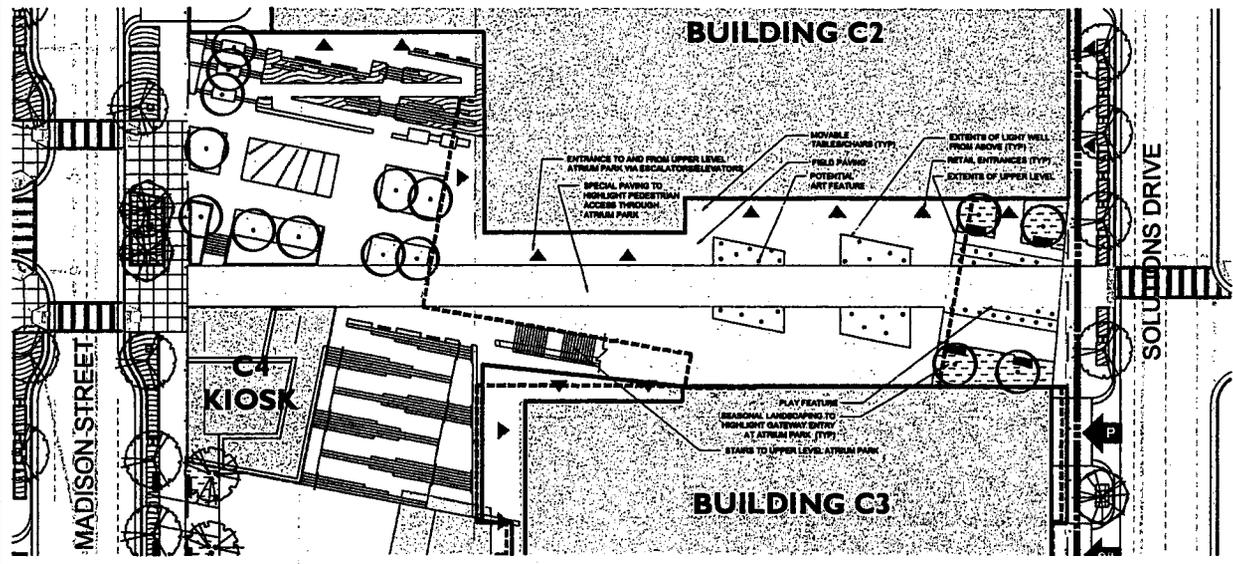
2 ENERGY PARK
L-3.2



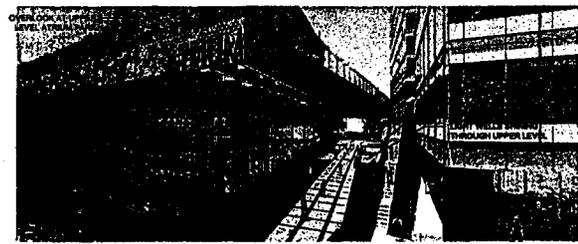
1 ATRIUM PARK UPPER LEVEL
L-3.3



NOTE: SEE PERSPECTIVE VIEWS (L-4.0 TO L-4.7) FOR ADDITIONAL INFORMATION



2 ATRIUM PARK LOWER LEVEL
L-3.3



NOTE: SEE PERSPECTIVE VIEWS (L-4.0 TO L-4.7) FOR ADDITIONAL INFORMATION

LEGEND

- PROPERTY LINE/EXISTING VDOT ROW
- BUILD-TO LINE
- RESIDENTIAL LOBBY, HOTEL, OFFICE, AND/OR METAL/SERVICE/COMMERCIAL ENTRANCE (SEE NOTE 1)
- VEHICULAR ENTRANCE - PARKING (SEE NOTE 1)
- VEHICULAR ENTRANCE - SERVICE/LOADING (SEE NOTE 1)
- LANDMARK/ELEVATOR KIOSK

SCALE: 1" = 20'

NO

GENERAL NOTE:

- FOR REFERENCE ONLY; SEE SHEETS A-1.01 & A-1.02 FOR LOCATION OF OFFICE AND VEHICULAR ENTRANCES ON ARCHITECTURE PLAN.
- LOCATIONS OF ELECTRICAL AND STORMWATER VAULTS ARE LOCATED ON SHEET C-01 OF CIVIL PLANS AND SHEETS L-4.1 & L-4.2 OF LANDSCAPE PLANS.
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TREE COVER CALCULATIONS FOR 10 YR TREE COVER CANOPY

107	STREET TREE IN BORESTATION (CATEGORY IV) PUBLIC REALM (LANDSCAPE AMENITY PANEL) 7' CAL.	STREET TREE IN BORESTATION	QTY PER TYPE	PROJECTED 10 YR TREE CANOPY AREA IN SQ FT FOR 7' CAL. CAT. IV TREES	ADDITIONAL CREDIT MULTIPLES	ADJUSTED TREE COVER PER TREE	TOTAL TREE COVERAGE PER SPECIES
		Acer rubrum / October Glory / TM October Glory Maple	27 = 107 ± 25%	250 SF	1.5 Air Quality	375.0 SF	10,125.0 SF
		Platanus x occidentalis / London Plane Tree	26 = 107 ± 20%	260 SF	N/A	260.0 SF	6,820.0 SF
		Quercus phellos / White Oak	27 = 107 ± 25%	250 SF	1.5 Wildlife	375.0 SF	10,125.0 SF
		Ulmus parviflora / Elm / Aliso Larchleaf Elm	27 = 107 ± 25%	250 SF	1.5 Air Quality	375.0 SF	10,125.0 SF
STREET TREE IN BORESTATION PROJECTED 10 YR TREE CANOPY:							
36,475.0 SF							
44	STREET TREE IN PLANTER (CATEGORY IV) PUBLIC REALM (LANDSCAPE AMENITY PANEL) MAY OCCUR ON GRADE OR ON STRUCTURE 7' CAL.	STREET TREE IN PLANTER	QTY PER TYPE	PROJECTED 10 YR TREE CANOPY AREA IN SQ FT FOR 7' CAL. CAT. IV TREES	ADDITIONAL CREDIT MULTIPLES	ADJUSTED TREE COVER PER TREE	TOTAL TREE COVERAGE PER SPECIES
		Acer rubrum / October Glory / TM October Glory Maple	8 = 44 ± 20%	200 SF	1.5 Air Quality	300.0 SF	3,375.0 SF
		Platanus x occidentalis / London Plane Tree	8 = 44 ± 20%	200 SF	N/A	200.0 SF	2,000.0 SF
		Quercus borealis / Northern Red Oak	9 = 44 ± 20%	200 SF	1.5 Wildlife	300.0 SF	3,375.0 SF
		Ulmus americana / American Elm	9 = 44 ± 20%	200 SF	1.5 Air Quality	300.0 SF	3,375.0 SF
		Ulmus parviflora / Elm / Aliso Larchleaf Elm	9 = 44 ± 20%	200 SF	1.5 Air Quality	300.0 SF	3,375.0 SF
STREET TREE IN PLANTER PROJECTED 10 YR TREE CANOPY:							
14,800.0 SF							
14	LANDSCAPE TREE ON STRUCTURE (CATEGORY IV) PUBLIC REALM 7' CAL.	LANDSCAPE TREE ON STRUCTURE	QTY PER TYPE	PROJECTED 10 YR TREE CANOPY AREA IN SQ FT FOR 7' CAL. CAT. IV TREES	ADDITIONAL CREDIT MULTIPLES	ADJUSTED TREE COVER PER TREE	TOTAL TREE COVERAGE PER SPECIES
		Acer rubrum / October Glory / TM October Glory Maple	4 = 14 ± 20%	200 SF	1.5 Air Quality	300.0 SF	1,200.0 SF
		Platanus x occidentalis / London Plane Tree	3 = 14 ± 20%	200 SF	N/A	200.0 SF	750.0 SF
		Quercus phellos / White Oak	4 = 14 ± 20%	200 SF	1.5 Wildlife	300.0 SF	1,200.0 SF
		Ulmus parviflora / Elm / Aliso Larchleaf Elm	3 = 14 ± 20%	200 SF	1.5 Air Quality	300.0 SF	1,200.0 SF
LANDSCAPE TREE ON STRUCTURE PROJECTED 10 YR TREE CANOPY:							
4,875.0 SF							
17	LANDSCAPE TREE IN PLANTER ON STRUCTURE (CATEGORY III) PUBLIC REALM 7' CAL.	LANDSCAPE TREE IN PLANTER ON STRUCTURE	QTY PER TYPE	PROJECTED 10 YR TREE CANOPY AREA IN SQ FT FOR 7' CAL. CAT. IV TREES	ADDITIONAL CREDIT MULTIPLES	ADJUSTED TREE COVER PER TREE	TOTAL TREE COVERAGE PER SPECIES
		Cornifolium japonicum / Katsura Tree	8 = 17 ± 33.3%	175 SF	N/A	175.0 SF	1,000.0 SF
		Quercus macrocarpa / Thornless Common Honeylocust	8 = 17 ± 33.3%	175 SF	N/A	175.0 SF	1,000.0 SF
		Prunus x yedoensis / Yoshino Cherry	8 = 17 ± 33.3%	175 SF	N/A	175.0 SF	875.0 SF
LANDSCAPE TREE IN PLANTER TREE ON STRUCTURE (PUBLIC REALM) PROJECTED 10 YR TREE CANOPY:							
2,875.0 SF							
66	LANDSCAPE TREE IN PLANTER ON STRUCTURE (CATEGORY III) PRIVATE REALM 7' CAL.	LANDSCAPE TREE IN PLANTER ON STRUCTURE	QTY PER TYPE	PROJECTED 10 YR TREE CANOPY AREA IN SQ FT FOR 7' CAL. CAT. IV TREES	ADDITIONAL CREDIT MULTIPLES	ADJUSTED TREE COVER PER TREE	TOTAL TREE COVERAGE PER SPECIES
		Cornifolium japonicum / Katsura Tree	18 = 66 ± 33.3%	175 SF	N/A	175.0 SF	3,325.0 SF
		Quercus macrocarpa / Thornless Common Honeylocust	18 = 66 ± 33.3%	175 SF	N/A	175.0 SF	3,325.0 SF
		Prunus x yedoensis / Yoshino Cherry	18 = 66 ± 33.3%	175 SF	N/A	175.0 SF	3,150.0 SF
LANDSCAPE TREE IN PLANTER TREE ON STRUCTURE (PRIVATE REALM) PROJECTED 10 YR TREE CANOPY:							
9,800.0 SF							
106	ORNAMENTAL TREE IN PLANTER ON STRUCTURE (CATEGORY III) PUBLIC REALM 7' CAL.	ORNAMENTAL TREE IN PLANTER ON STRUCTURE	QTY PER TYPE	PROJECTED 10 YR TREE CANOPY AREA IN SQ FT FOR 7' CAL. CAT. IV TREES	ADDITIONAL CREDIT MULTIPLES	ADJUSTED TREE COVER PER TREE	TOTAL TREE COVERAGE PER SPECIES
		Acer palmatum / Japanese Maple	27 = 106 ± 25%	100 SF	N/A	100.0 SF	2,700.0 SF
		Cornus florida / Eastern Dogwood	27 = 106 ± 25%	100 SF	N/A	100.0 SF	2,700.0 SF
		Cornus kousa / Kousa Dogwood	26 = 103 ± 25%	100 SF	N/A	100.0 SF	2,600.0 SF
		Cornus mas / Cornelian Cherry Dogwood	26 = 103 ± 25%	100 SF	N/A	100.0 SF	2,600.0 SF
ORNAMENTAL TREE IN PLANTER ON STRUCTURE PROJECTED 10 YR TREE CANOPY:							
10,600.0 SF							
3	ORNAMENTAL TREE IN PLANTER AT GRADE (CATEGORY II) PUBLIC REALM 7' CAL.	ORNAMENTAL TREE IN PLANTER AT GRADE	QTY PER TYPE	PROJECTED 10 YR TREE CANOPY AREA IN SQ FT FOR 7' CAL. CAT. IV TREES	ADDITIONAL CREDIT MULTIPLES	ADJUSTED TREE COVER PER TREE	TOTAL TREE COVERAGE PER SPECIES
		Acer palmatum / Japanese Maple	3	125 SF	N/A	125.0 SF	375.0 SF
		Cornus florida / Eastern Dogwood	NOT INCLUDED	125 SF	N/A	N/A	N/A
		Cornus kousa / Kousa Dogwood	NOT INCLUDED	125 SF	N/A	N/A	N/A
		Cornus mas / Cornelian Cherry Dogwood	NOT INCLUDED	125 SF	N/A	N/A	N/A
ORNAMENTAL TREE IN PLANTER AT GRADE PROJECTED 10 YR TREE CANOPY:							
375.0 SF							

THE BORO - JULY 22, 2016
Supplemental 10-Year Tree Canopy Coverage Summary
(See Tables 12.3 and 12.10 for detailed information and calculations)

1. Gross Site Area = 788,850 SF
2. Adjusted Gross Site Area = 788,850 SF
3. Required 10-Year Tree Canopy Coverage (see Table 12.2) = 10%
4. Required 10-Year Tree Canopy Coverage = 78,885 SF (788,850 SF x 10%)
5. Area of Existing Tree Canopy (see ETV Sheet C-2) = 112,734 SF
6. % of Gross Site Area covered by Existing Tree Canopy = 14.29% (112,734 SF / 788,850 SF)
7. Target Required 10-Year Tree Canopy that should be met through Preservation of Existing Trees = 67,151 SF (78,885 SF - 11,734 SF)
8. Area of Existing Tree Canopy to be Preserved = 112,734 SF
9. Tree Preservation Target Met
10. Required Area of Required 10-Year Tree Canopy to be Provided Through Tree Planting = 11,734 SF (78,885 SF - 67,151 SF)
11. 10-Year Canopy Area of Proposed Tree Planting = 81,885 SF (112,734 SF - 30,849 SF)
12. Total Tree Canopy Provided = 194,619 SF (112,734 SF + 81,885 SF)
13. Remaining 10-Year Tree Canopy Coverage Req'd = -11,734 SF (194,619 SF - 206,353 SF)

TREE COVER CALCULATIONS NOTE:

1. A MODIFICATION LETTER OF FINAL SECTION 12-011 FOR REQUIRED TEN PERCENT CANOPY COVERAGE TO ALLOW FOR TREE CANOPY TO BE CALCULATED ON THE OVERALL COP DEVELOPMENT AREA HAS BEEN DEMONSTRATED ON THE POP LANDSCAPE PLAN HEREIN. SEE CIVIL SHEET C-6.
2. FINAL LOCATIONS FOR ALL TREES TO BE DETERMINED AT SITE PLAN AND AS EACH SHALL CONTRIBUTE TO THE OVERALL PROJECTED 10 YR TREE COVER CANOPY.
3. SEE SHEET A-1.3 FOR OTHER NOTES.

SECURITY AREA: 788,850 SF

AREA OF 10-YEAR TREE CANOPY REQUIRED (10% OF GROSS SITE AREA PER PTC DISTRICT): 78,885 SF

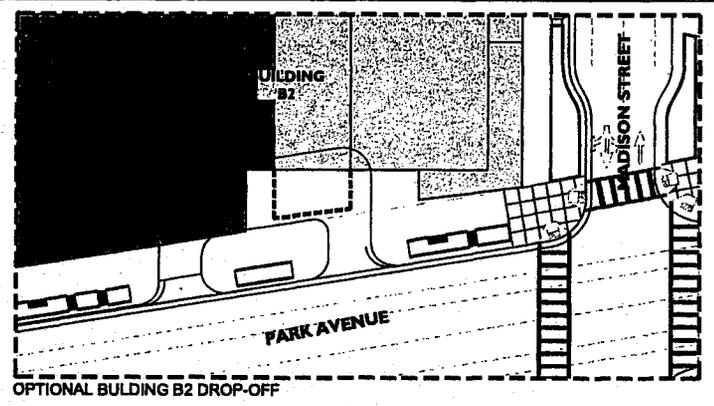
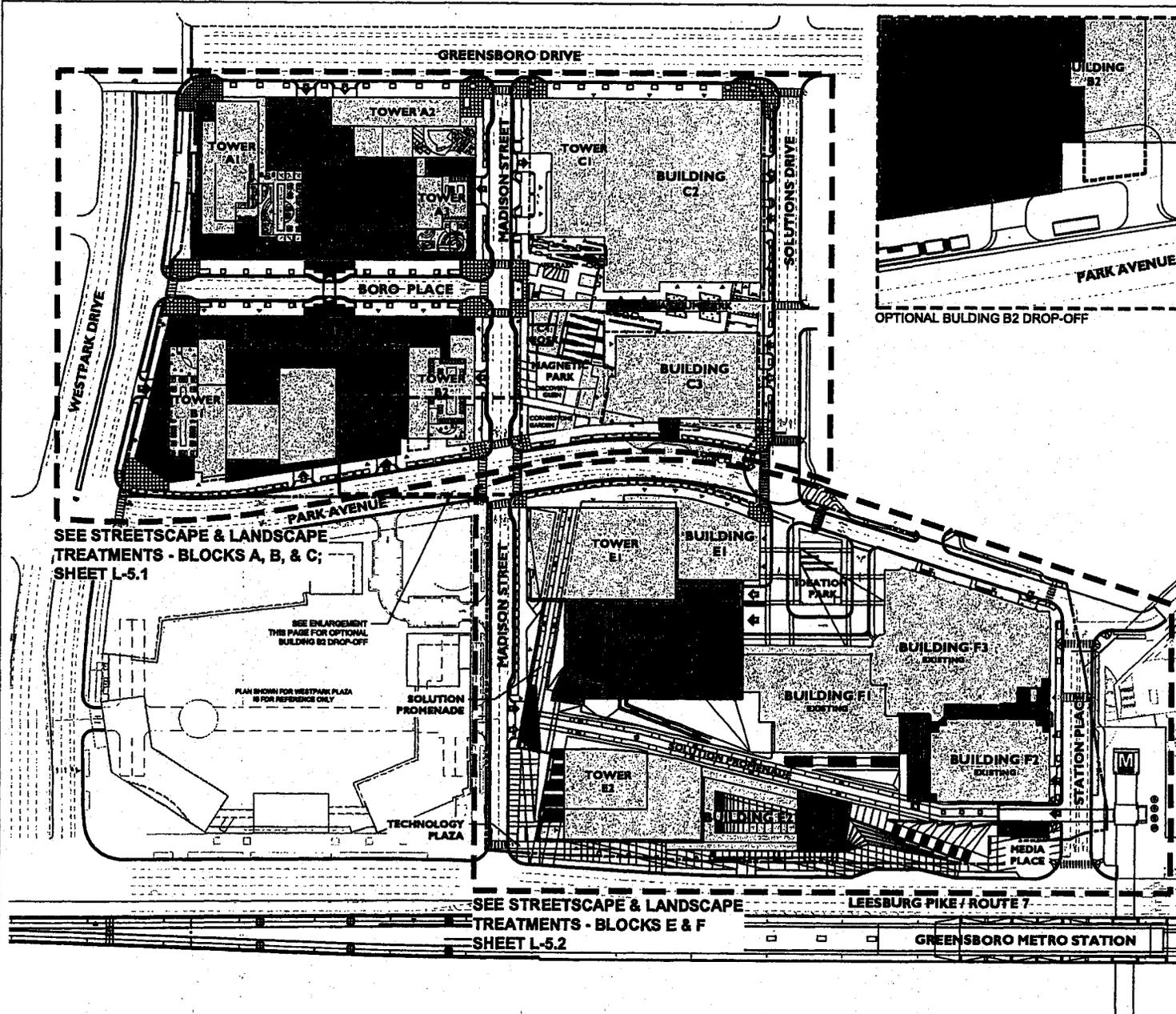
TOTAL TREE COVER PROVIDED BY PLANTING: 81,885 SF

% COVERAGE PROVIDED: 10.27%

Table 12.10 TREE PRESERVATION TARGET CALCULATIONS AND STATEMENT JULY 22, 2016

Item	Details	Quantity	Notes
A. Tree Preservation Target Calculations and Statement			
A1	Pre-development area of existing tree canopy from existing site plan	117,734	see A.12-007A
A2	Pre-development area of tree canopy to be removed from existing site plan	14,291	see A.12-007A
A3	Percentage of 10-year tree canopy provided for site	14%	see Table 12.2
A4	Percentage of the 10-year tree canopy provided that should be met through tree preservation	14.29%	
A5	Proposed preservation of canopy equivalent that will be met through tree preservation	9%	
A6	Has the Tree Preservation Target achieved been met?	No	Provide Yes or No
A7	If No for the A.6, then a request to deviate from the Tree Preservation Target shall be provided by the applicant within 30 days of the public hearing. Item 12.10-007A shall be a condition of the site-specific modification of the Tree Preservation Target cannot be met. Provide a brief narrative statement of the reasons for the request to deviate from the Tree Preservation Target.	C-3	Provide sheet number, see A.12-007A
A8	If the A.7 request is approved, it shall be approved by the Board of Supervisors.	YES	see A.12-007A
B. Tree Canopy Requirements			
B1	Identify gross site area (GSA)	788,850	A.12-010.1A
B2	Subtotal area dedicated to parks, land acquisition, etc.	0	A.12-010.1B
B3	Subtotal area of non-residential use	0	A.12-010.1C(1) through A.12-010.1C(6)
B4	Adjusted gross site area (AGSA)	788,850	Source: Not
B5	Identify the site's zoning code	PTC	A.12-010.1 and Table 12.2
B6	Percentage of 10-year tree canopy required	10.27%	
B7	Area of 10-year Tree Canopy Required (ACR)	78,885	Source: Not
B8	Modification of 10-year Tree Canopy Requirements requested?	No	Yes or No
B9	If No is yes, then the applicant shall provide modifications requested in the following table.	Sheet number	
C. Tree Preservation			
C1	Tree Preservation Target Amount	11,734	Source: Not
C2	Total canopy area meeting standards of A.12-010.1B	0	Source: Not
C3	C.2 ± A.12-010.1B	0	A.12-010.1B
C4	Total canopy area provided by existing or suitable trees on or adjacent to the site	0	Source: Not
C5	C.4 ± A.12-010.1B	0	A.12-010.1B(1)
C6	Total of canopy area provided by "Heritage," "Historical," "Scenic," or "Significant" trees	0	Source: Not
C7	C.6 ± A.12-010.1B	0	A.12-010.1B(2)
C8	Canopy area of trees within existing preservation areas	0	Source: Not
C9	C.8 ± A.12-010.1B	0	A.12-010.1B(3)
C10	Total of C.3, C.4, C.7 and C.9	0	If area of C.9 is less than 5% remainder of requirement shall be met through tree preservation.
D. Tree Planting			
D1	Area of canopy to be met through tree preservation (D.10)	78,885	Source: Not
D2	Area of canopy already met by existing trees	22,000	Source: Not
D3	D.2 ± D.1 (D.1)	56,885	A.12-010.1D(1)
D4	Area of canopy already met by existing trees	0	Source: Not
D5	D.4 ± D.1 (D.1)	0	A.12-010.1D(2)
D6	Area of canopy already met by existing trees	0	Source: Not
D7	D.6 ± D.1 (D.1)	0	A.12-010.1D(3)
D8	Area of canopy already met by existing trees	16,000	Source: Not
D9	D.8 ± D.1 (D.1)	16,000	A.12-010.1D(4)
D10	Area of canopy already met by existing trees	0	Source: Not
D11	D.10 ± D.1 (D.1)	0	A.12-010.1D(5)
D12	Area of canopy already met by existing trees	0	Source: Not
D13	D.12 ± D.1 (D.1)	0	A.12-010.1D(6)
D14	Area of canopy already met by existing trees	0	A.12-010.1D(7)
D15	D.14 ± D.1	0	Source: Not
D16	Percentage of D.14 met through tree preservation	0%	Must not exceed 50% of D.14
D17	Area of canopy to be met through tree preservation	32,000	Source: Not
D18	Total of canopy area provided through tree preservation	81,000	Source: Not
D19	Is an offset planting plan requested?	No	Yes or No
D20	Tree Bank or Tree Fund?	No	Yes or No or A.12-011
D21	Canopy area requested to be provided through offset planting on the site?	No	Source: Not
D22	Amount to be deposited into the Tree Preservation and Planting Fund?	No	
E. Total of 10-year Tree Canopy Provided			
E1	Total of canopy area provided through tree preservation (E.19)	0	Source: Not
E2	Total of canopy area provided through tree preservation (E.19)	81,000	Source: Not
E3	Total of canopy area provided through offset planting (E.21)	0	Source: Not
E4	Total of 10-year Tree Canopy Provided (E.1)	81,000	Total of E.1 through E.4. Area should meet or exceed area in B.7

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SEE STREETScape & LANDSCAPE TREATMENTS - BLOCKS A, B, & C; SHEET L-5.1

SEE STREETScape & LANDSCAPE TREATMENTS - BLOCKS E & F SHEET L-5.2

LEGEND

- PROPERTY LINE/EXISTING FOOT ROW
- BUILD-TO LINE
- RESIDENTIAL LOBBY, HOTEL, OFFICE, AND/OR RETAIL/SERVICE/COMMERCIAL ENTRANCE (SEE NOTE 1)
- VEHICULAR ENTRANCE - PARKING (SEE NOTE 1)
- VEHICULAR ENTRANCE - SERVICE/LOADING (SEE NOTE 1)
- LANDMARK ELEVATOR HOOD

SCALE: 1" = 60'

GENERAL NOTE:

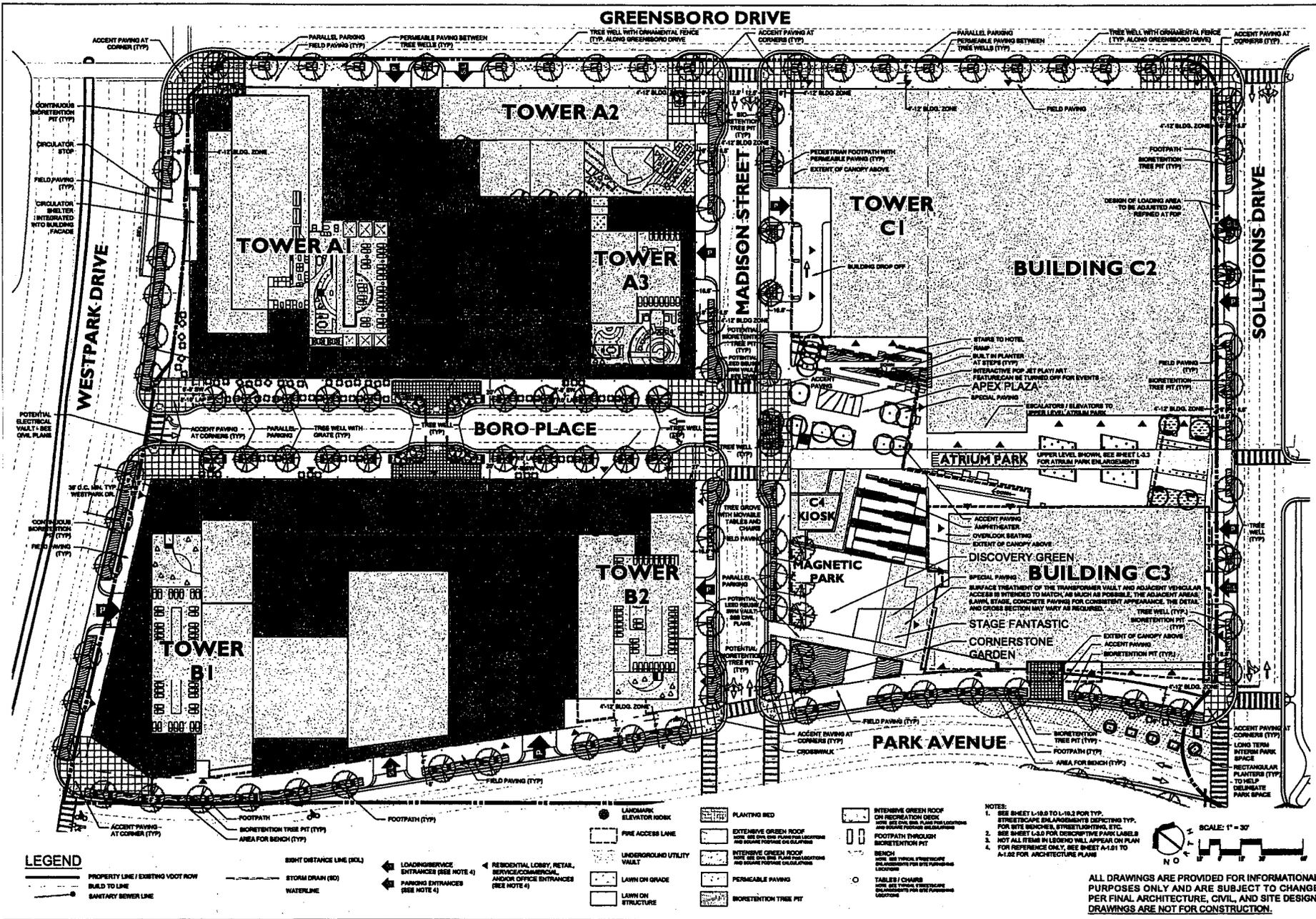
1. FOR REFERENCE ONLY: SEE SHEETS A-1/1 & A-1/2 FOR LOCATION OF OFFICE AND VEHICULAR ENTRANCES ON ARCHITECTURE PLANS.
2. LOCATIONS OF ELECTRICAL AND STORMWATER WALLS ARE LOCATED ON SHEET C-1 OF CIVIL PLANS AND SHEETS L-1 & L-2 OF LANDSCAPE PLANS.
3. SEE CIVIL PLANS FOR LOCATIONS OF PROPOSED UTILITIES.
4. NOT ALL ITEMS IN LEGEND WILL APPEAR ON EVERY SHEET.

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 1000 North ...
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 Conceptual Development Plan
 The Markham Group, Inc.
 PLAN ENGAGEMENT KEY PLAN

DATE: ...
 DRAWN BY: ...
 CHECKED BY: ...
 PROJECT NO.: ...
 SHEET NO.: **L-5.0**



GREENSBORO DRIVE

BORO PLACE

PARK AVENUE

LEGEND

- PROPERTY LINE / EXISTING VDOT ROW
- BUILD TO LINE
- SANITARY BOWER LINE
- SIGHT DISTANCE LINE (SDL)
- STORM DRAIN (SD)
- WATERLINE
- LOADING/SERVICE ENTRANCES (SEE NOTE 4)
- PARKING ENTRANCES (SEE NOTE 4)
- RESIDENTIAL LOBBY, RETAIL, SERVICE/COMMERCIAL, AND/OR OFFICE ENTRANCES (SEE NOTE 4)

- LANDMARK ELEVATOR INDEX
- FIRE ACCESS LANE
- UNDERGROUND UTILITY VAULT
- LAWN ON GRADE
- LAWN ON STRUCTURE
- PLANTING BED
- EXTENSIVE GREEN ROOF (SEE NOTE 1)
- INTENSIVE GREEN ROOF (SEE NOTE 2)
- PERMEABLE PAVING
- BIORETENTION TREE PIT
- INTENSIVE GREEN ROOF ON RECREATION DECK (SEE NOTE 3)
- FOOTPATH ENVELOPE
- BENCH (SEE NOTE 5)
- TABLES / CHAIRS (SEE NOTE 5)

NOTES:

1. SEE SHEET L-182 TO L-183 FOR TYP. STREETSCAPE ENLARGEMENTS DEPENDING TYP. FOR SITE BENCHES, STREETLIGHTING, ETC.
2. SEE SHEET L-83 FOR DESCRIPTIVE PARK LABELS
3. NOT ALL ITEMS IN LEGEND WILL APPEAR ON PLAN FOR REFERENCE ONLY. SEE SHEET A-101 TO A-102 FOR ARCHITECTURE PLANS

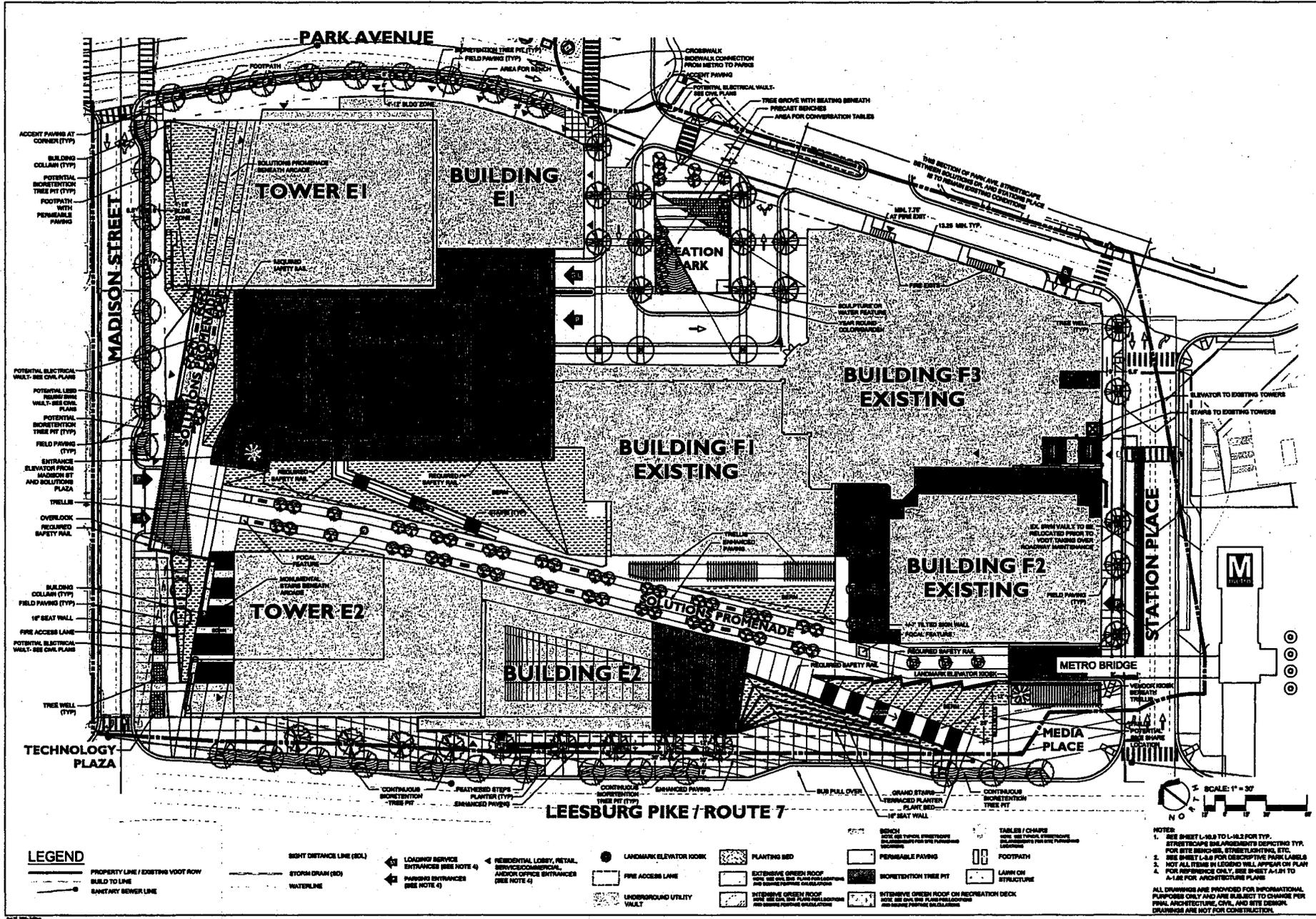


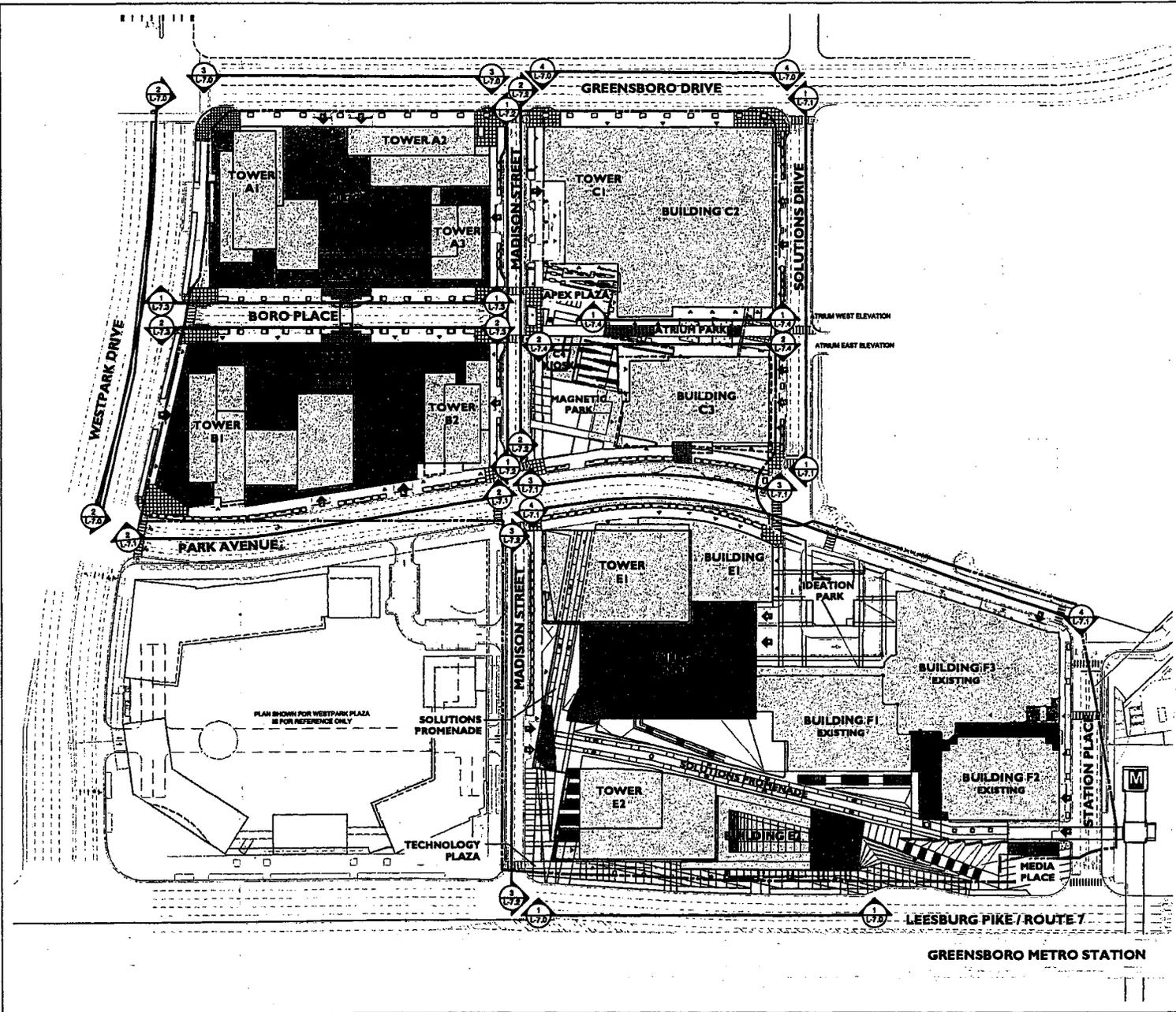
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THE BORO
 Conceptual Development Plan
 The Meridian Group, Inc.
 STREETSCAPE & LANDSCAPE TREATMENTS - BLOCKS A, B, & C

DATE: 08/15/2018
 DRAWN BY: J. GARDNER
 CHECKED BY: J. GARDNER
 SCALE: 1/8" = 1'-0"
 PROJECT NO: 18-000
L-51





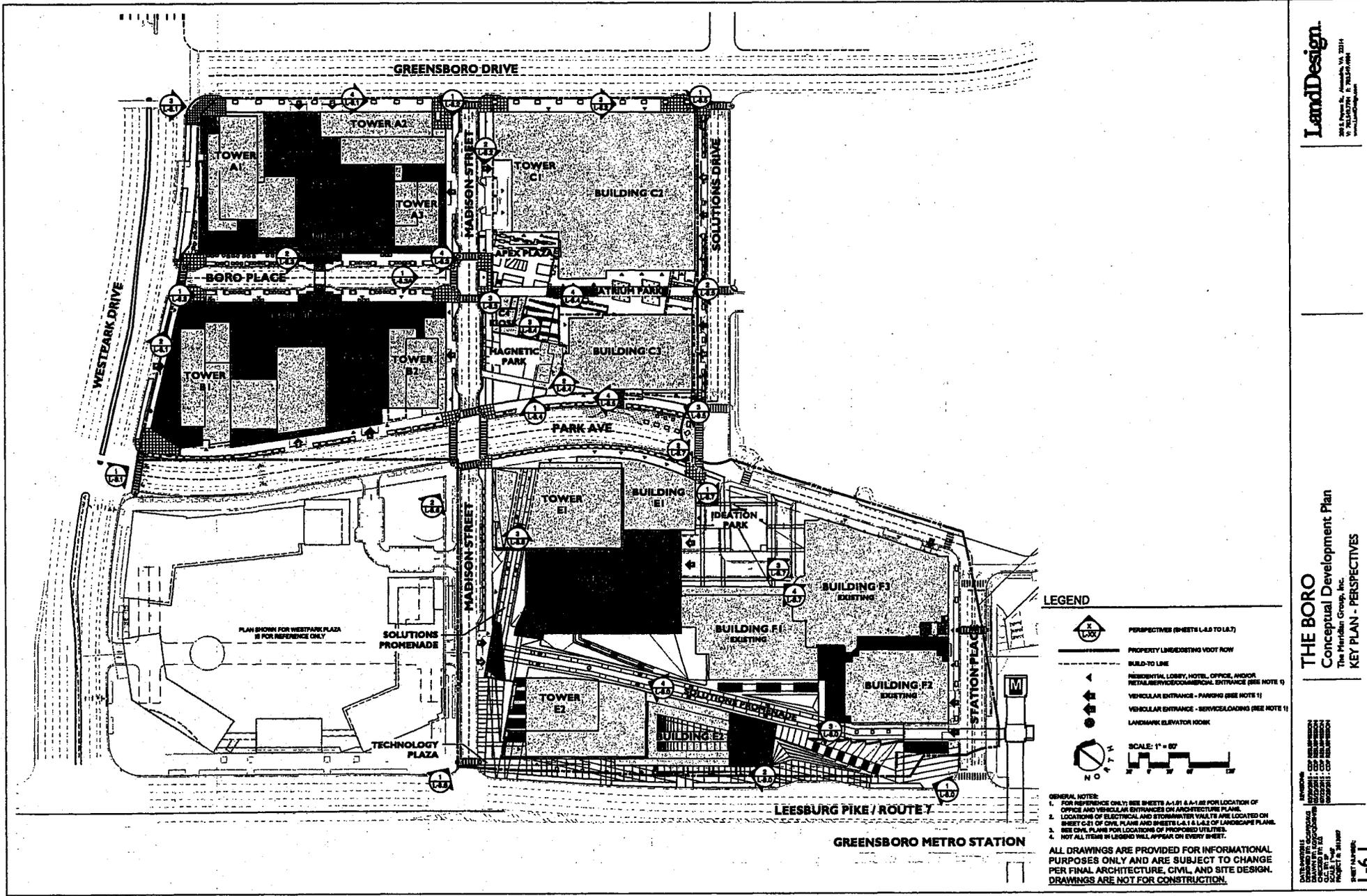
LEGEND

- ELEVATIONS (SHEETS L-7.0 TO 7.3)
- PROPERTY LINE/EXISTING VDOT ROW
- BUILD-TO LINE
- RESIDENTIAL LOBBY, HOTEL, OFFICE, AND/OR RETAIL/SERVICE/COMMERCIAL ENTRANCE (SEE NOTE 1)
- VEHICULAR ENTRANCE - PARKING (SEE NOTE 1)
- VEHICULAR ENTRANCE - SERVICE/LOADING (SEE NOTE 1)
- LANDMARK ELEVATOR ICON
- NORTH
- SCALE: 1" = 80'

GENERAL NOTES:

1. FOR REFERENCE ONLY; SEE SHEETS A-1.01 & A-1.02 FOR LOCATION OF OFFICE AND VEHICULAR ENTRANCES ON ARCHITECTURE PLANS.
2. LOCATIONS OF ELECTRICAL AND STORMWATER VAULTS ARE LOCATED ON SHEET C-01 OF CIVIL PLANS AND SHEETS L-1.1 & L-2.2 OF LANDSCAPE PLANS.
3. SEE CIVIL PLANS FOR LOCATIONS OF PROPOSED UTILITIES.
4. NOT ALL ITEMS IN LEGEND WILL APPEAR ON EVERY SHEET.

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LEGEND

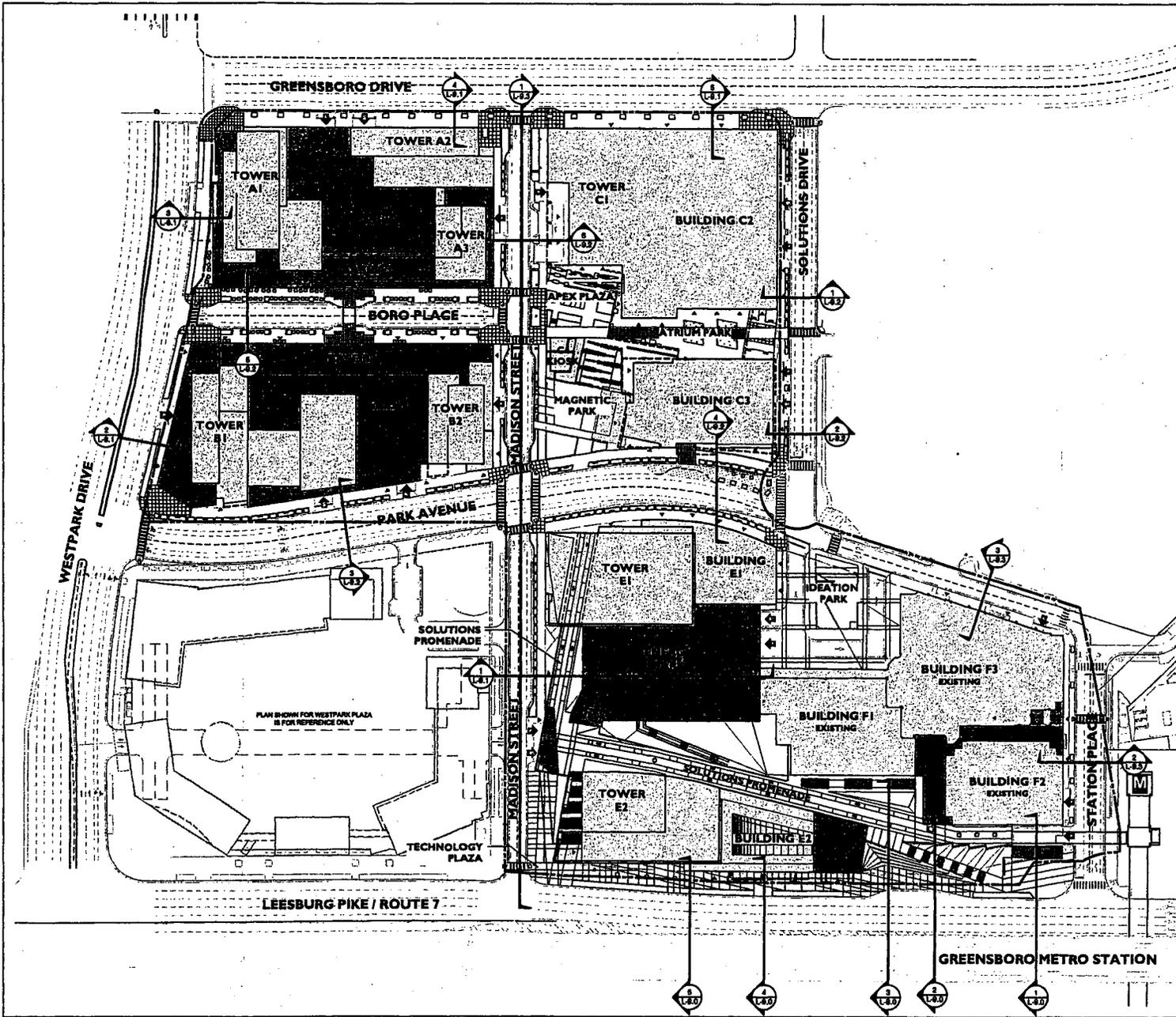
- PERSPECTIVES (SHEETS L-6.2 TO L-6.7)
- PROPERTY LINE/EXISTING FOOT ROW
- BUILD-TO LINE
- RESIDENTIAL LOBBY, HOTEL, OFFICE, AND/OR RETAIL/SERVICE/COMMERCIAL ENTRANCE (SEE NOTE 1)
- VEHICULAR ENTRANCE - PARKING (SEE NOTE 1)
- VEHICULAR ENTRANCE - SERVICE/LOADING (SEE NOTE 1)
- LANDMARK ELEVATOR LOOK

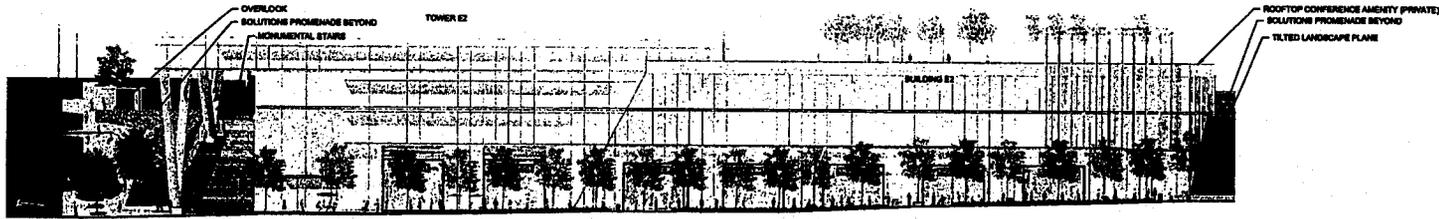
SCALE: 1" = 60'

GENERAL NOTES:

1. FOR REFERENCE ONLY; SEE SHEETS A-1.01 & A-1.02 FOR LOCATION OF OFFICE AND VEHICULAR ENTRANCES ON ARCHITECTURE PLANS.
2. LOCATIONS OF ELECTRICAL AND STORMWATER VENTS ARE LOCATED ON SHEET C-01 OF CIVIL PLANS AND SHEETS L-6.1 & L-6.2 OF LANDSCAPE PLANS.
3. SEE CIVIL PLANS FOR LOCATIONS OF PROPOSED UTILITIES.
4. NOT ALL ITEMS IN LEGEND WILL APPEAR ON EVERY SHEET.

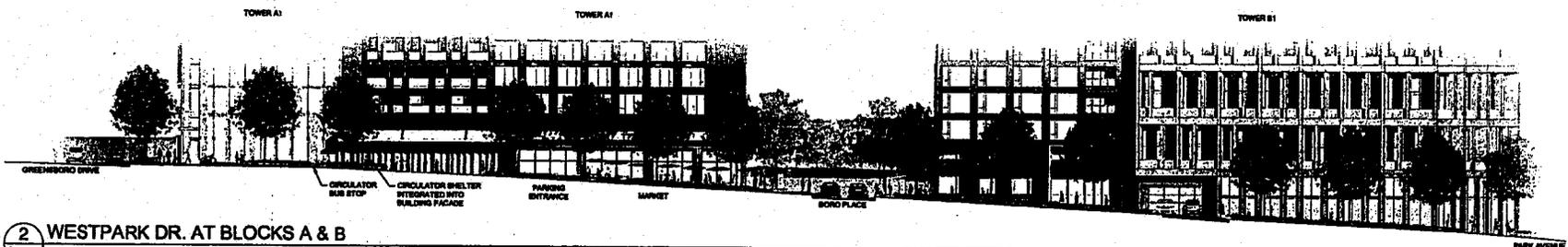
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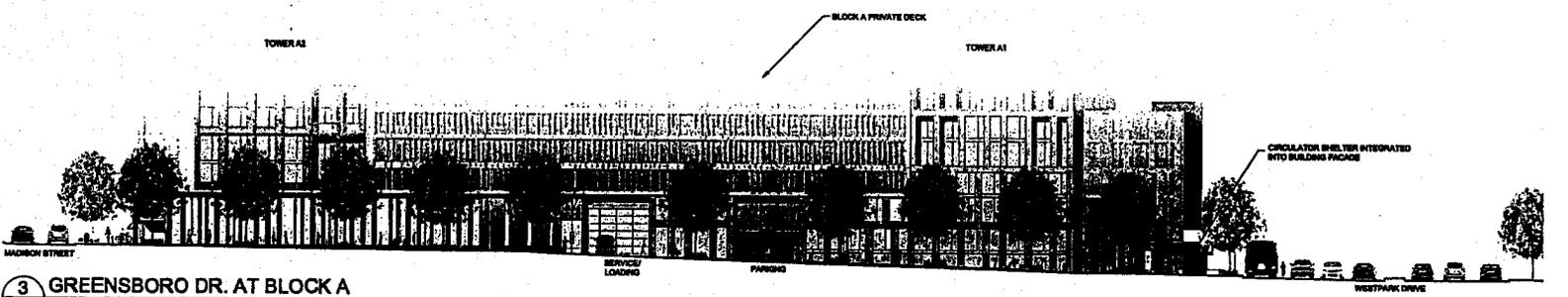
1
L-7.0
ROUTE 7 AT BLOCK E
ELEVATION

1" = 20'



2
L-7.0
WESTPARK DR. AT BLOCKS A & B
ELEVATION

1" = 20'



3
L-7.0
GREENSBORO DR. AT BLOCK A
ELEVATION

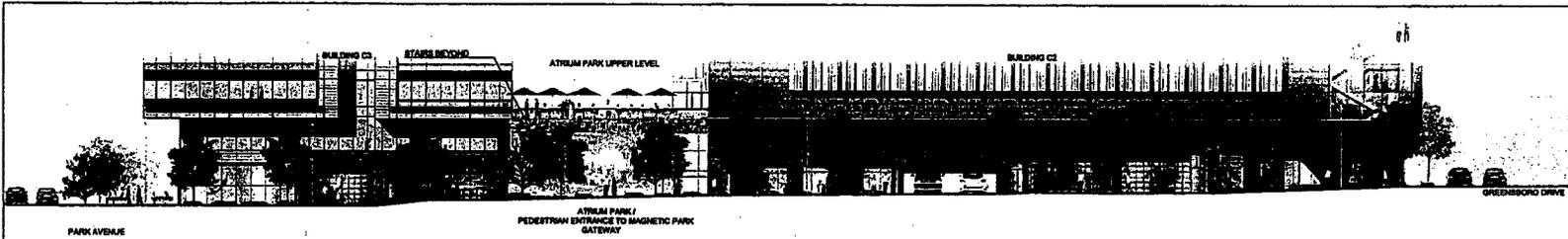
1" = 20'



4
L-7.0
GREENSBORO DR. AT BLOCK C
ELEVATION

1" = 20'

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1 SOLUTIONS DR. AT BLOCK C
L-7.1 ELEVATION

1" = 20'



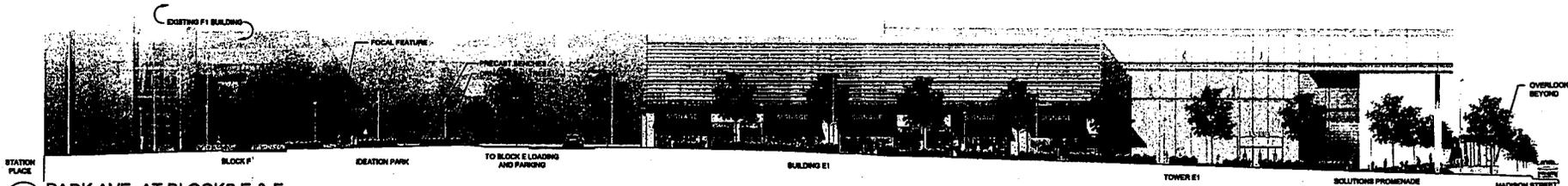
2 PARK AVE. AT BLOCK B
L-7.1 ELEVATION

1" = 20'



3 PARK AVE. AT BLOCK C
L-7.1 ELEVATION

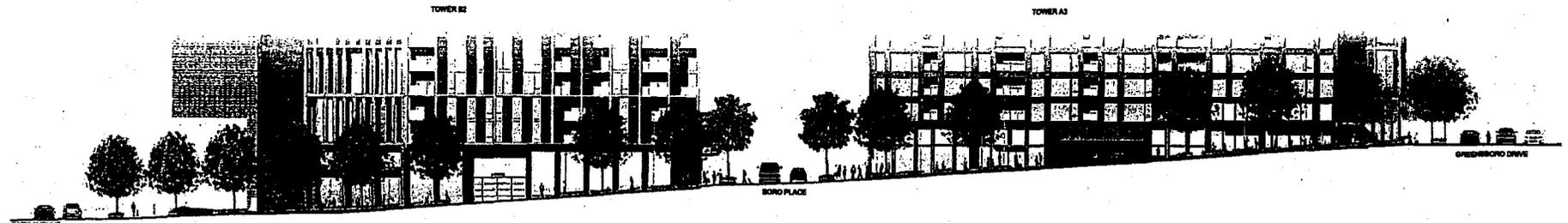
1" = 20'



4 PARK AVE. AT BLOCKS E & F
L-7.1 ELEVATION

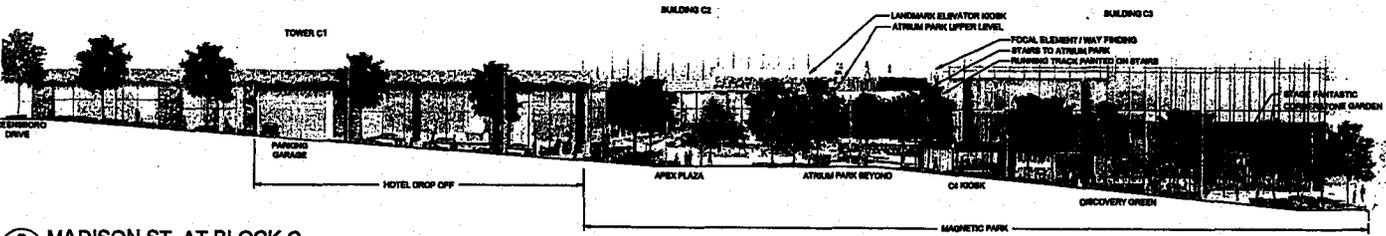
1" = 20'

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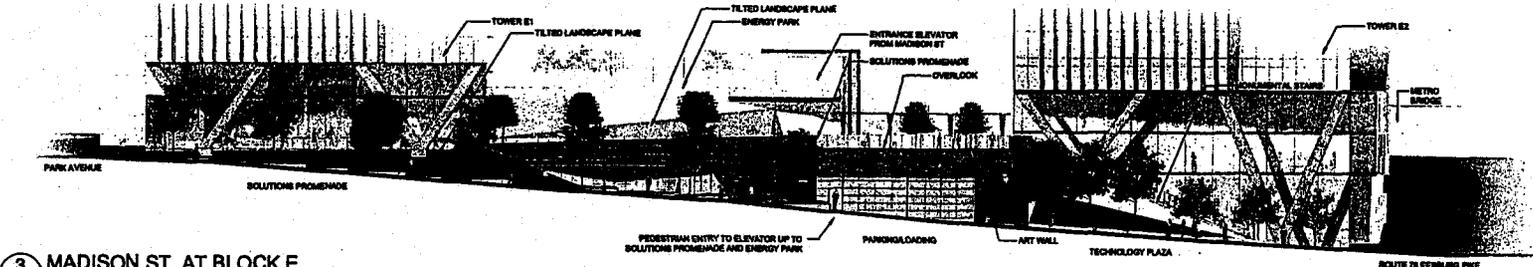
1 MADISON ST. AT BLOCKS A & B
ELEVATION

1" = 20'



2 MADISON ST. AT BLOCK C
ELEVATION

1" = 20'



3 MADISON ST. AT BLOCK E
ELEVATION

1" = 20'

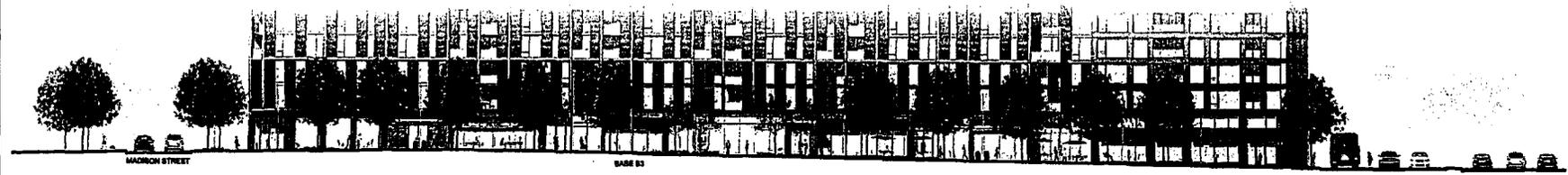
DATE: 08/15/2018
DRAWN BY: J. GARDNER
CHECKED BY: J. GARDNER
SCALE: AS SHOWN
PROJECT NO: 18010001
SHEET NUMBER: L-7.2

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1 BORO PLACE AT BLOCK A
L-7.3 ELEVATION

1" = 20'



2 BORO PLACE AT BLOCK B
L-7.3 ELEVATION

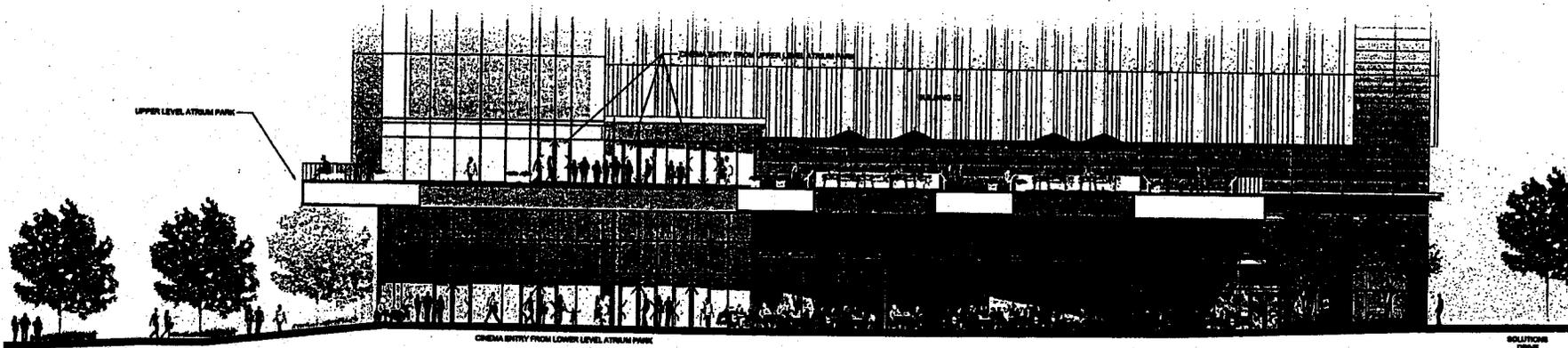
1" = 20'

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 Conceptual Development Plan
 The Meridian Group, Inc.
 ELEVATIONS

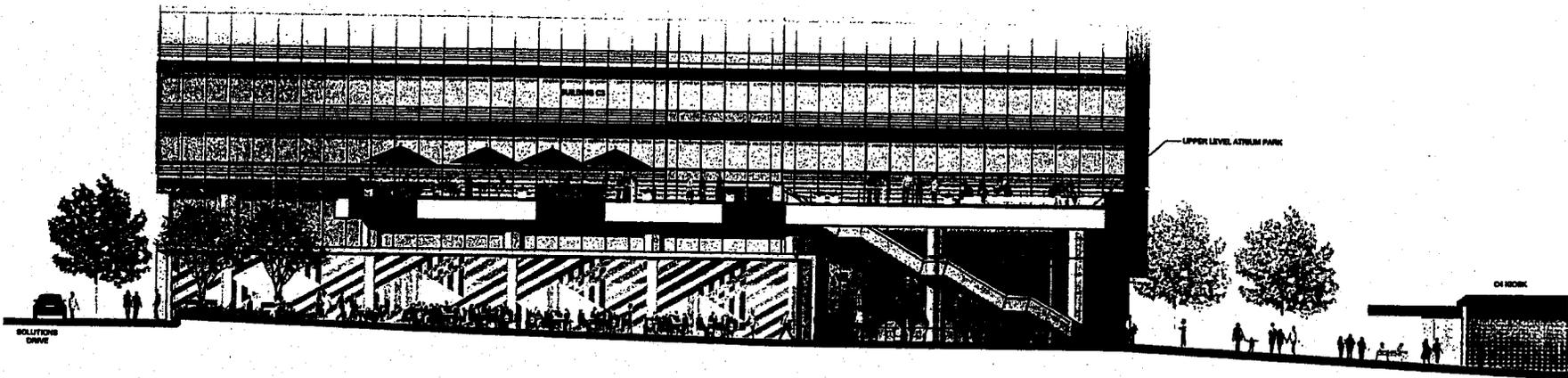
DATE: 08/11/11
 DRAWN BY: J. L. WOODRUFF
 CHECKED BY: J. L. WOODRUFF
 PROJECT NO.: 110111
 SHEET NO.: L-7.3

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1 ATRIUM WEST ELEVATION
L-7.4 ELEVATION

1" = 10'



2 ATRIUM EAST ELEVATION
L-7.4 ELEVATION

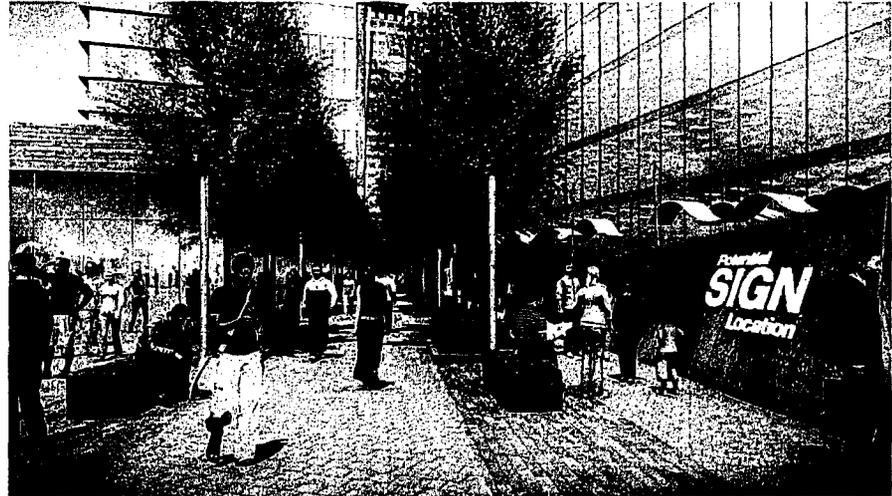
1" = 10'

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1 RT. 7 MEDIA PLACE VIEW TO SOLUTIONS PROMENADE GRAND STAIRS
1-8.0 PERSPECTIVE

3087-PS00X
NTS



3 SOLUTIONS PROMENADE AT E2 BUILDING AND EXISTING F1
1-8.0 PERSPECTIVE

3087-PS00X
NTS



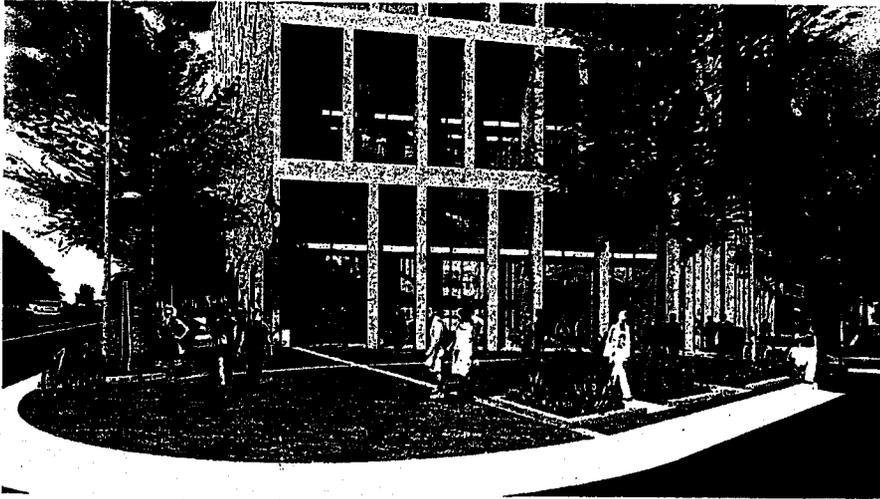
2 RT. 7 BLOCK E AMENITY FRONTAGE
1-8.0 PERSPECTIVE

3087-PS002
NTS



4 SOLUTIONS PROMENADE VIEW TO MADISON ST. OVERLOOK
1-8.0 PERSPECTIVE

3087-PS00X
NTS



1 CORNER OF WESTPARK DR. & PARK AVE.
L-8.1 PERSPECTIVE

3087-P800X
NTS



3 CORNER OF WESTPARK DR. & GREENSBORO DR.
L-8.1 PERSPECTIVE

3087-P800X
NTS



2 WESTPARK DR. VIEW TO BORO PLACE
L-8.1 PERSPECTIVE

3087-P800X
NTS



4 GREENSBORO DR. VIEW TO MADISON ST.
L-8.1 PERSPECTIVE

3087-P800X
NTS

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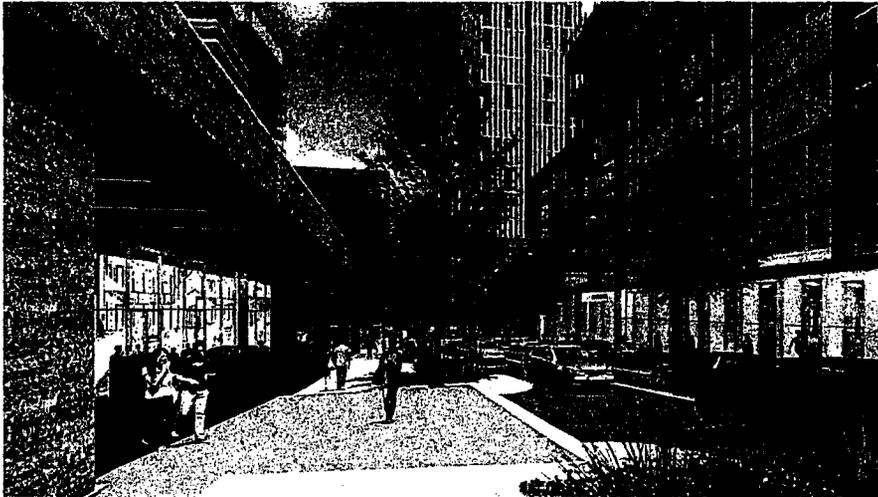
1 CORNER OF MADISON ST. AND GREENSBORO DRIVE AT A2
L-8.2 PERSPECTIVE

3087-P800X
NTS



3 GREENSBORO DR. VIEW TOWARDS SOLUTIONS DR.
L-8.2 PERSPECTIVE

3087-P800X
NTS



2 MADISON STREET VIEW TO BORO PLACE
L-8.2 PERSPECTIVE

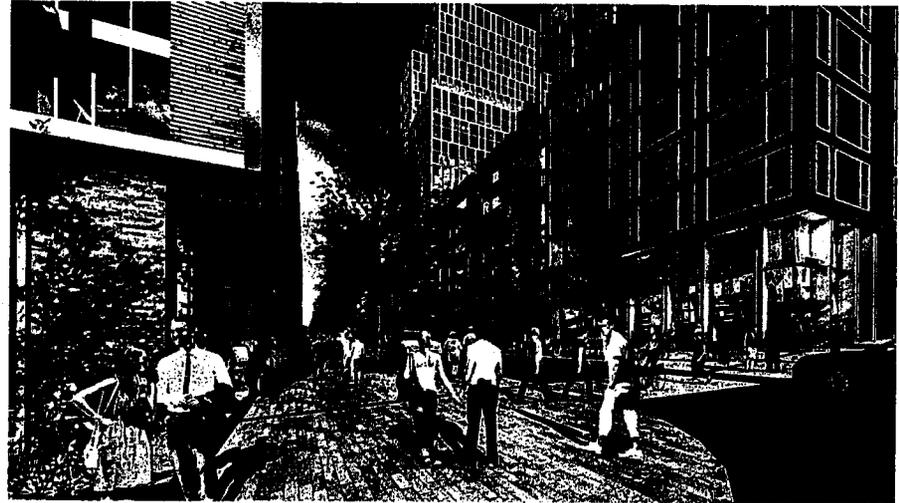
3087-P800X
NTS

SPACE INTENTIONALLY
LEFT BLANK



1 BORO PLACE VIEW FROM WESTPARK DR.
L-8.3 PERSPECTIVE

3087-P800X
NTS



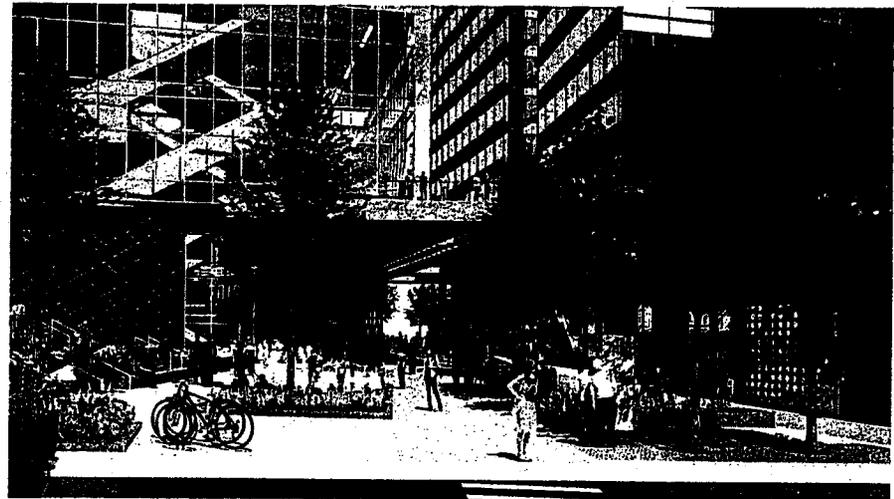
3 BORO PLACE VIEW FROM MADISON ST.
L-8.3 PERSPECTIVE

3087-P800X
NTS



2 BORO PLACE VIEW AT RETAIL SIDEWALK TOWARDS MADISON ST.
L-8.3 PERSPECTIVE

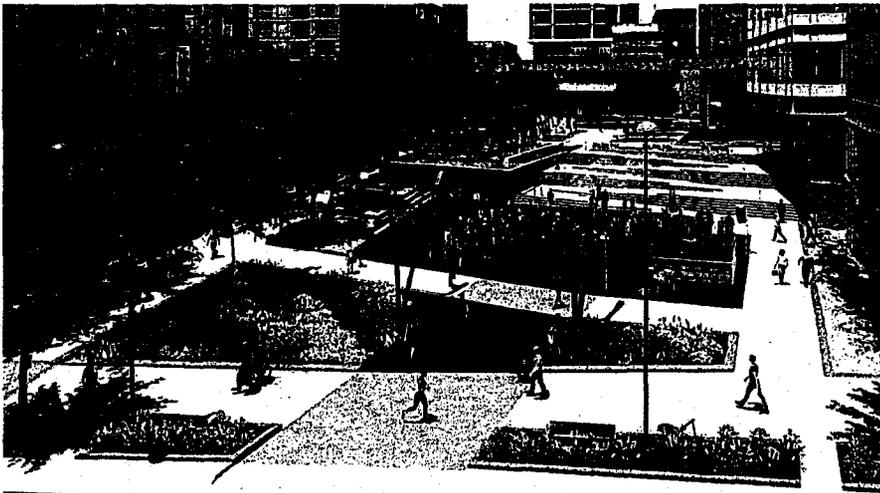
3087-P800X
NTS



4 BORO PLACE VIEW TO APEX PLAZA
L-8.3 PERSPECTIVE

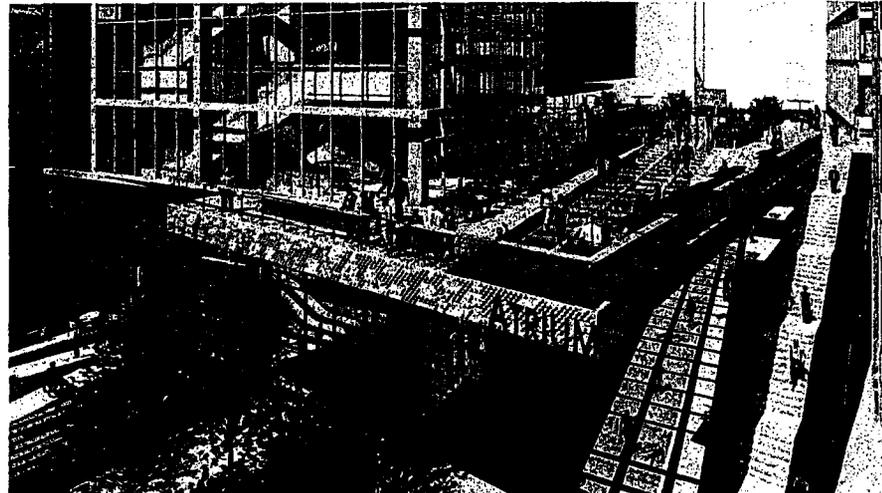
3087-P800X
NTS

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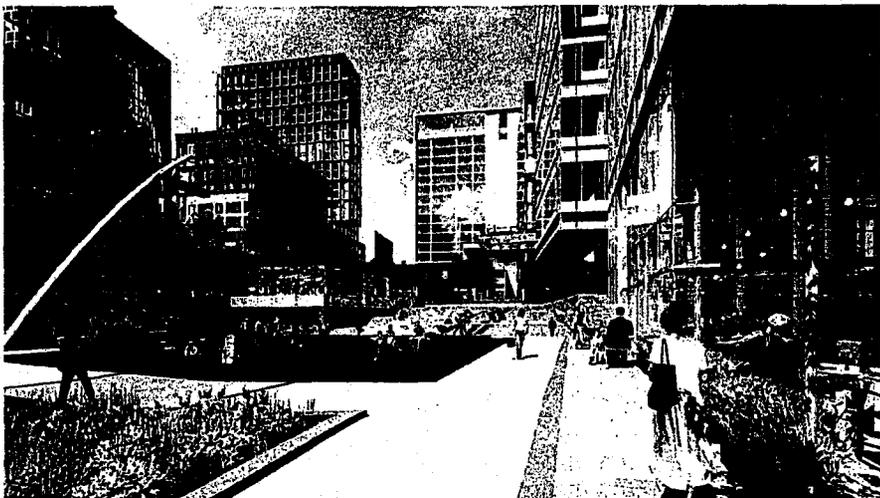
1 PARK AVE. VIEW TO MAGNETIC PARK
L-8.4 PERSPECTIVE

3087-P800X
NTS



3 BIRDS EYE OF ATRIUM PARK
L-8.4 PERSPECTIVE

3087-P800X
NTS



2 PARK AVE. VIEW OF MAGNETIC PARK
L-8.4 PERSPECTIVE

3087-P800X
NTS



4 UPPER LEVEL ATRIUM PARK OVERLOOK TO MAGNETIC PARK BELOW
L-8.4 PERSPECTIVE

3087-P800X
NTS

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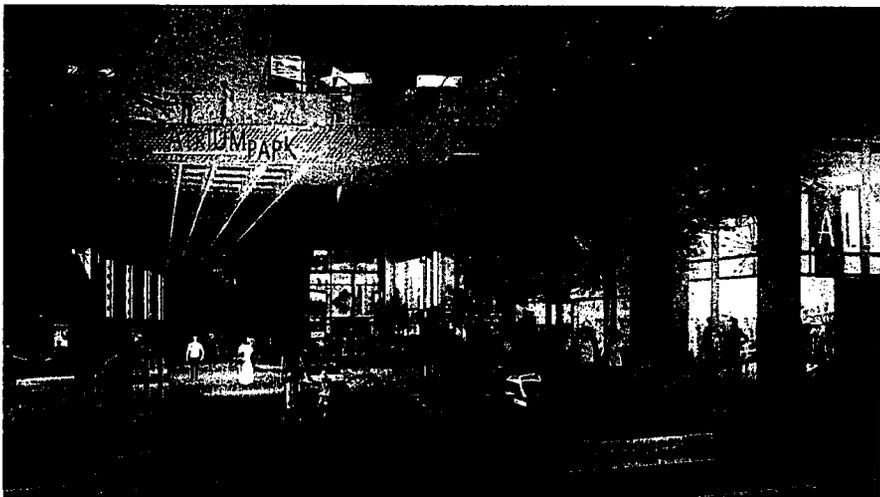
1 CORNER OF GREENSBORO DR. & SOLUTIONS DR.
L-8.5 PERSPECTIVE

3087-PS00X
NTS



3 PARK AVE. VIEW TO TOWER C3 STREETSCAPE
L-8.5 PERSPECTIVE

3087-PS00X
NTS



2 ATRIUM PARK GATEWAY FROM SOLUTIONS DRIVE
L-8.5 PERSPECTIVE

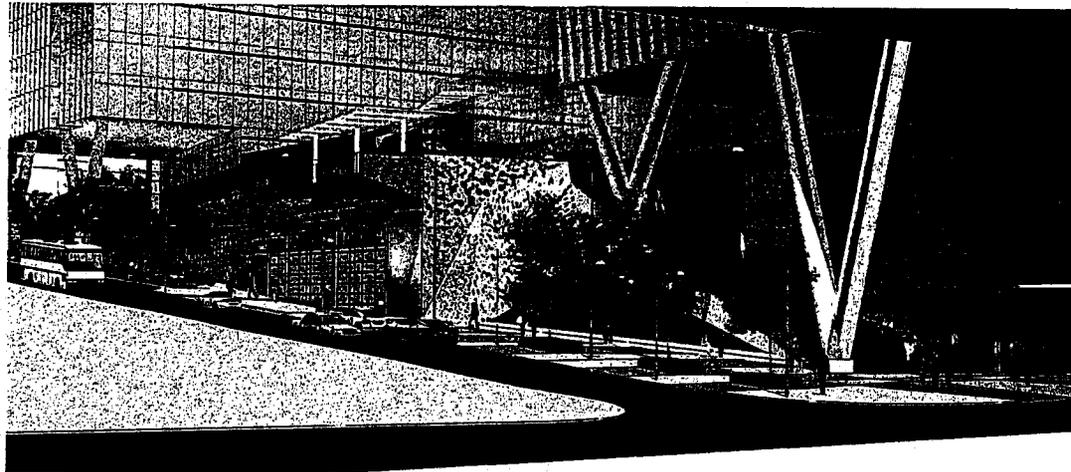
3087-PS00X
NTS



4 PARK AVE. VIEW TO MAGNETIC PARK
L-8.5 PERSPECTIVE

3087-PS00X
NTS

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SUBJECT TO CHANGE FOR FINAL ARCHITECTURE, CIVIL, AND SITE DESIGN.
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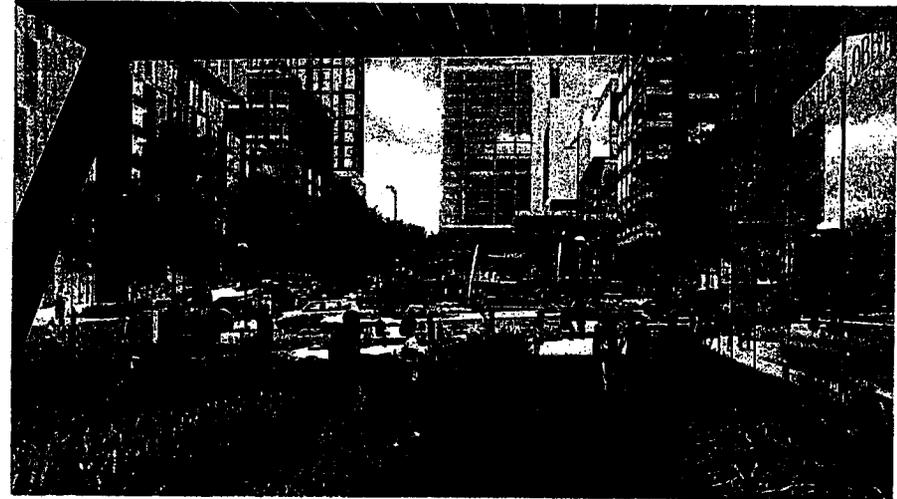
1 RT. 7 VIEW TO TECHNOLOGY PLAZA
L-8.6 PERSPECTIVE

0049-P8018
NTS



2 MADISON ST. VIEW TO MAGNETIC PARK
L-8.6 PERSPECTIVE

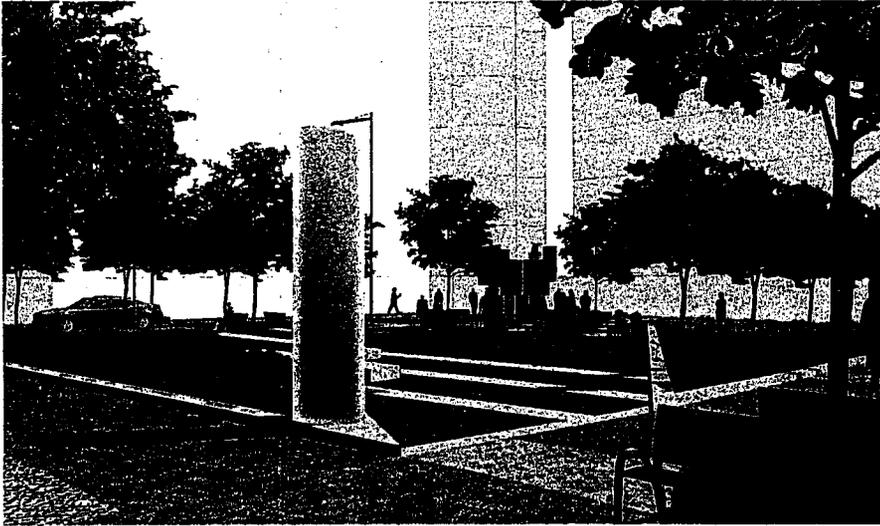
3087-P800X
NTS



3 TOWER E1 ARCADE VIEW TO MAGNETIC PARK
L-8.6 PERSPECTIVE

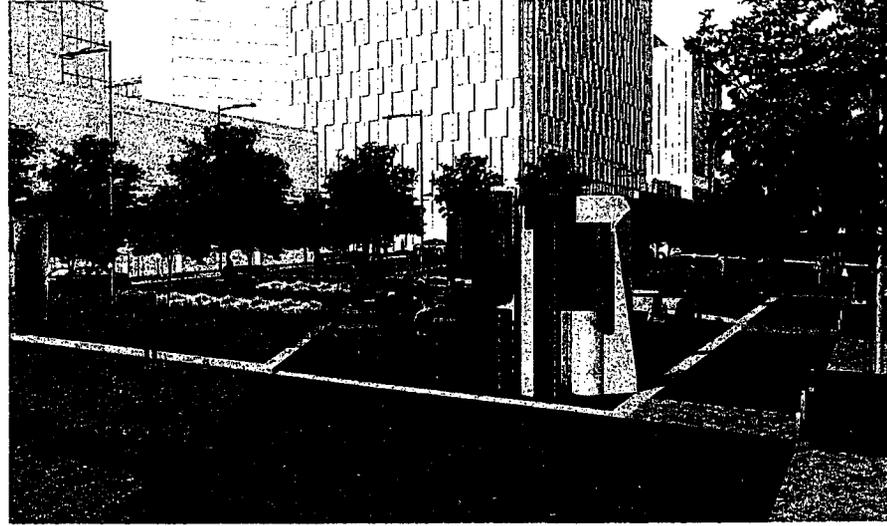
3087-P800X
NTS

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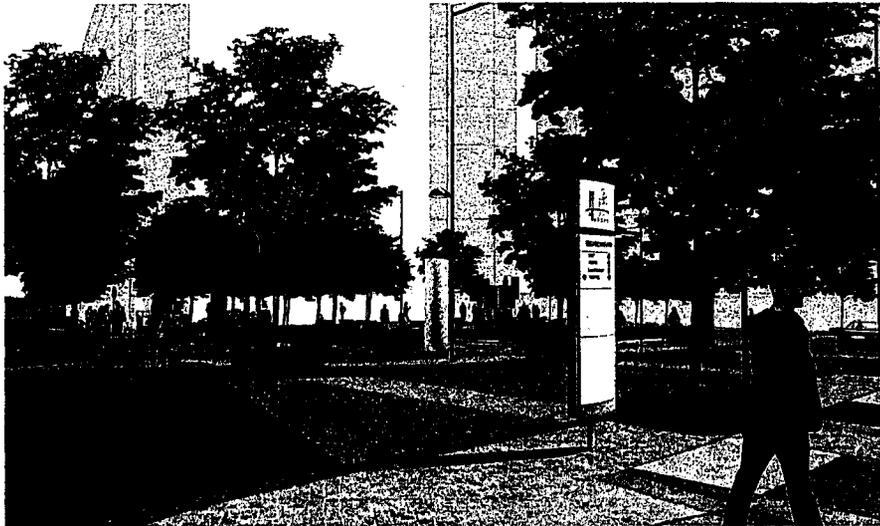
1 IDEATION PARK AT PLAZA
L-8.7 PERSPECTIVE

0049-PS018
NTS



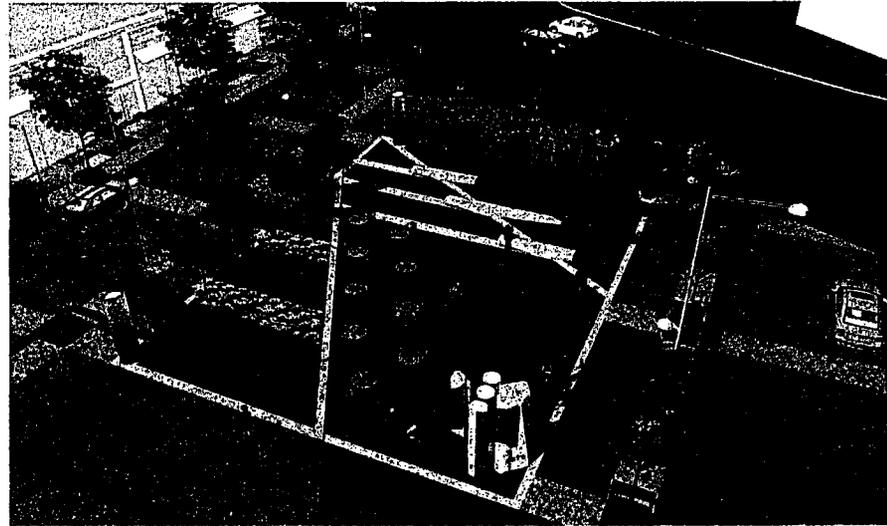
3 IDEATION PARK FROM EXISTING F3 BUILDING ENTRANCE
L-8.7 PERSPECTIVE

0049-PS018
NTS



2 IDEATION PARK FROM BUILDING E1 CORNER
L-8.7 PERSPECTIVE

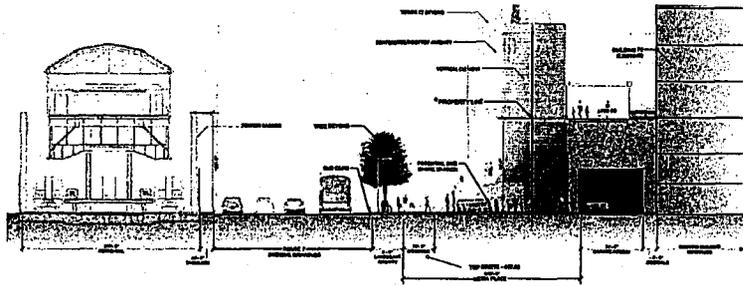
0049-PS018
NTS



4 BIRD'S EYE OF IDEATION PARK
L-8.7 PERSPECTIVE

0049-PS018
NTS

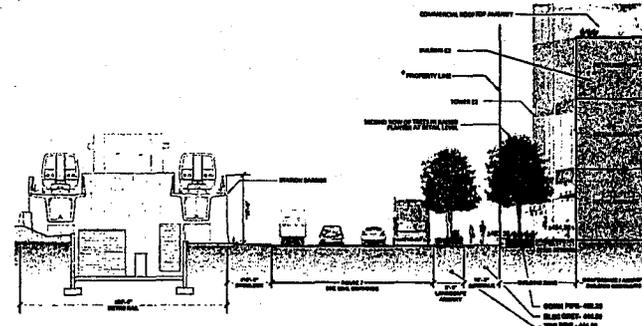
ALL DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY AND ARE
SUBJECT TO CHANGE FOR FINAL ARCHITECTURAL, CIVIL, AND SITE DESIGN
REVISIONS AND FIELD CONSTRUCTION.



NOTE:
 1. STREETSCAPE WAIVER TO BE REQUESTED FOR NON-STANDARD TREE LAYOUT AT MEDIA PLACE.
 2. * DENOTES APPROXIMATE LOCATIONS OF UNDERGROUND UTILITIES.

1 ROUTE 7 AT MEDIA PLACE (BOULEVARD)
 L-9.0 SECTION

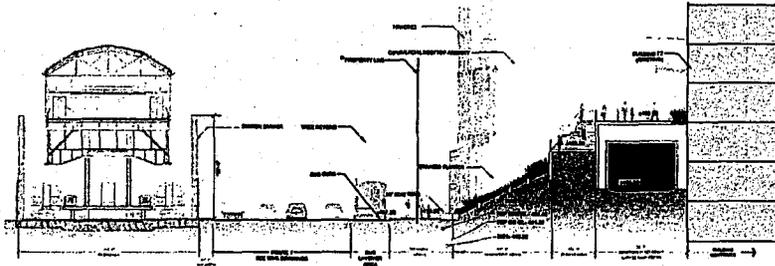
3087-SE00X
 1/16" = 1'-0"



NOTE:
 1. STREETSCAPE WAIVER TO BE REQUESTED FOR NON-STANDARD TREE LAYOUT AT MEDIA PLACE.
 2. * DENOTES APPROXIMATE LOCATIONS OF UNDERGROUND UTILITIES.
 3. BUILDING ZONE REDUCED TO 12' MAX. FOR THE FIRE TRUCK ACCESSIBILITY REQUIREMENT OF 30' MAX. CURB TO BUILDING FACE AT THIS LOCATION.

4 ROUTE 7 THROUGH BUILDING E2 (BOULEVARD)
 L-9.0 SECTION

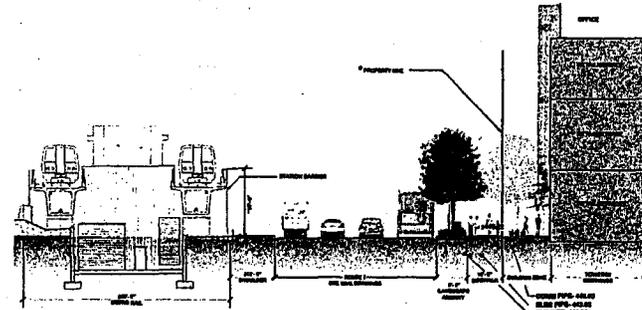
3087-SE00X
 1/16" = 1'-0"



NOTE:
 1. STREETSCAPE WAIVER TO BE REQUESTED FOR NON-STANDARD TREE LAYOUT AT MEDIA PLACE.
 2. * DENOTES APPROXIMATE LOCATIONS OF UNDERGROUND UTILITIES.

2 ROUTE 7 THROUGH GRAND STAIRS (BOULEVARD)
 L-9.0 SECTION

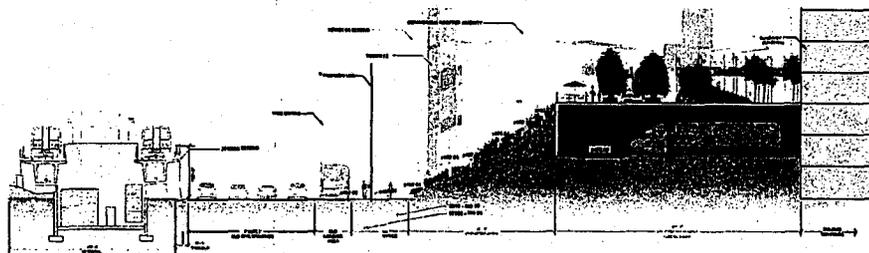
3087-SE00X
 1/16" = 1'-0"



NOTE:
 1. STREETSCAPE WAIVER TO BE REQUESTED FOR NON-STANDARD TREE LAYOUT AT MEDIA PLACE.
 2. * DENOTES APPROXIMATE LOCATIONS OF UNDERGROUND UTILITIES.
 3. BUILDING ZONE REDUCED TO 12' MAX. FOR THE FIRE TRUCK ACCESSIBILITY REQUIREMENT OF 30' MAX. CURB TO BUILDING FACE AT THIS LOCATION.

5 ROUTE 7 AT TOWER E2 (BOULEVARD)
 L-9.0 SECTION

3087-SE00X
 1/16" = 1'-0"



NOTE:
 1. STREETSCAPE WAIVER TO BE REQUESTED FOR NON-STANDARD TREE LAYOUT AT MEDIA PLACE.
 2. * DENOTES APPROXIMATE LOCATIONS OF UNDERGROUND UTILITIES.

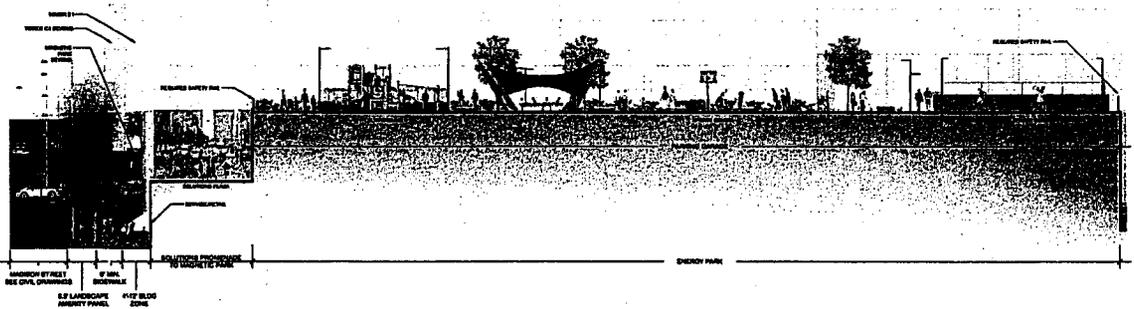
3 ROUTE 7 THROUGH TERRACED PLANTER (BOULEVARD)
 L-9.0 SECTION

3087-SE00X
 1" = 20'

THIS SPACE INTENTIONALLY LEFT BLANK

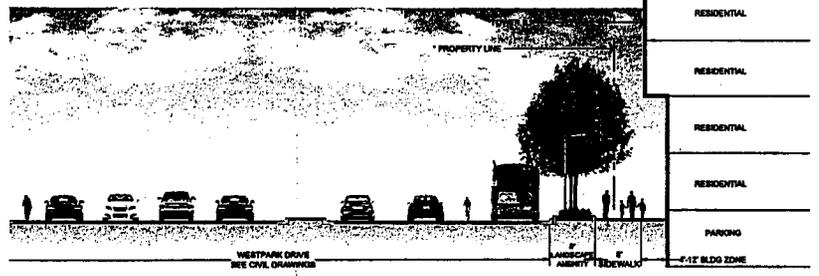
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* NOTE: ALL INFORMATION SHOWN OUTSIDE OF PROPERTY LINE IS FOR REFERENCE ONLY AND SUBJECT TO SEPARATE APPROVAL. SEE CIVIL PLANS FOR ALL STREET DIMENSIONS.

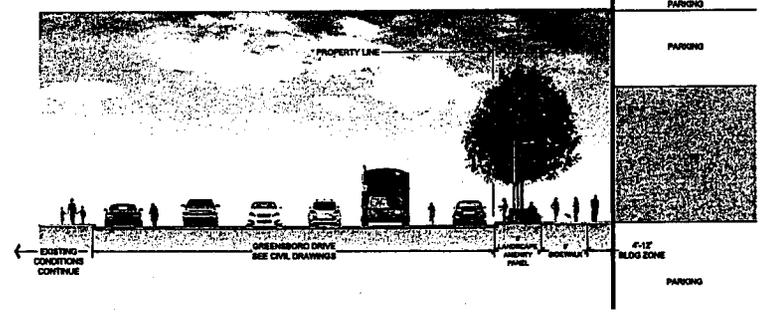


1 MADISON STREET THROUGH SOLUTIONS PROMENADE AND ENERGY PARK
 L-9.1 SECTION

3087-SE00X
 1/16" = 1'-0"

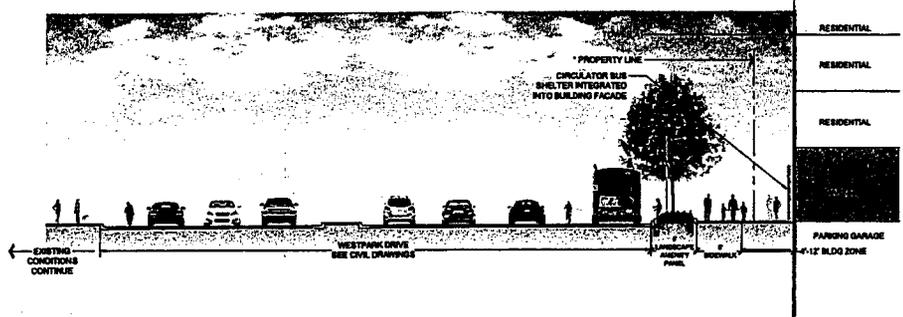


2 WESTPARK DRIVE THROUGH TOWER B1 (AVENUE)
 L-9.1 SECTION



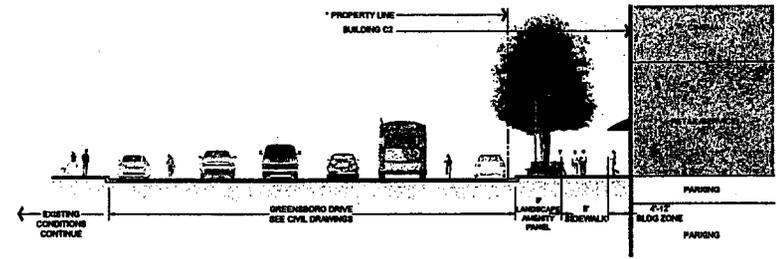
4 GREENSBORO DRIVE THROUGH TOWER A2 (AVENUE)
 L-9.1 SECTION

3087-SE00X
 1" = 10'



3 WESTPARK DRIVE THROUGH TOWER A1 (AVENUE)
 L-9.1 SECTION

3087-SE00X
 1" = 10'

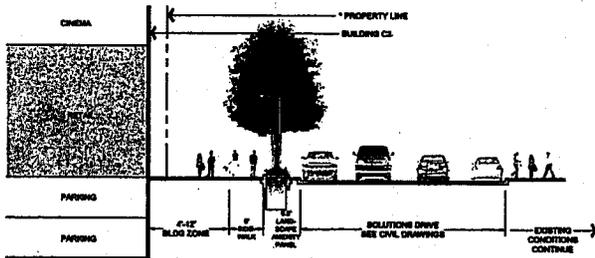


5 GREENSBORO DRIVE THROUGH BUILDING C2 (AVENUE)
 L-9.1 SECTION

3087-SE00X
 1" = 10'

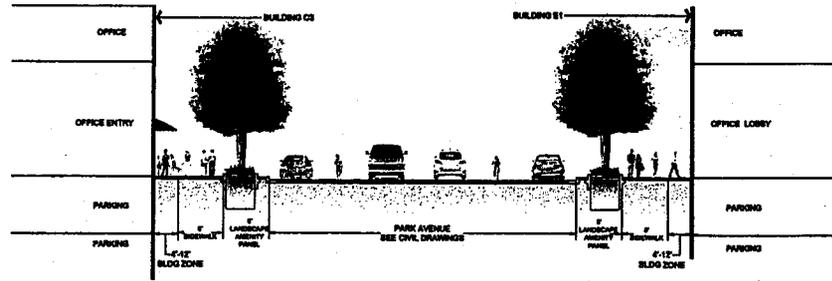
ALL DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY AND ARE SUBJECT TO CHANGE PER FINAL ARCHITECTURE, CIVIL, AND SITE DESIGN. DRAWINGS ARE NOT FOR CONSTRUCTION.

*NOTE: ALL INFORMATION SHOWN OUTSIDE OF PROPERTY LINE IS FOR REFERENCE ONLY AND SUBJECT TO SEPARATE APPROVAL. SEE CIVIL PLANS FOR ALL STREET DIMENSIONS.



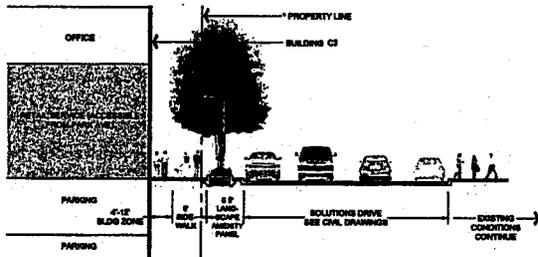
1 SOLUTIONS DRIVE AT BUILDING C2 (LOCAL)
L-9.2 SECTION

3087-SE00X
1" = 10'



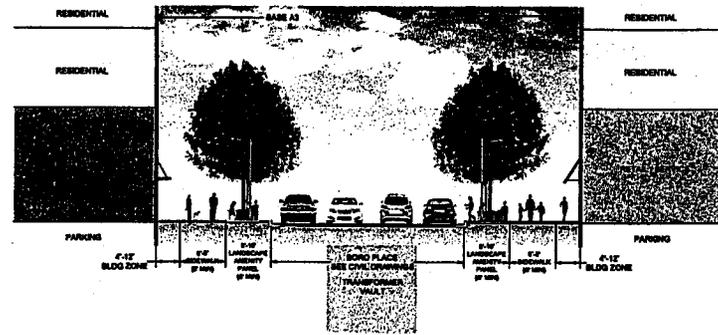
4 PARK AVENUE AT BUILDING C3 AND BUILDING E1 (COLLECTOR)
L-9.2 SECTION

3087-SE00X
1" = 10'



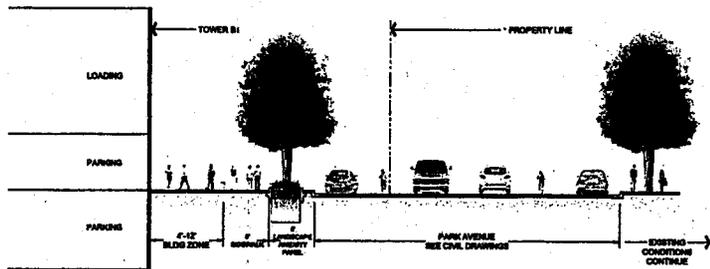
2 SOLUTIONS DRIVE AT BUILDING C3 (LOCAL)
L-9.2 SECTION

3087-SE00X
1" = 10'



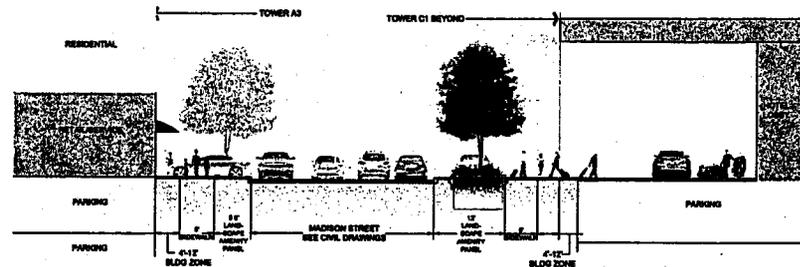
5 BORO PLACE THROUGH BLOCKS A & B (LOCAL)
L-9.2 SECTION

3087-SE00X
1" = 10'



3 PARK AVENUE AT TOWER B1 EAST (COLLECTOR)
L-9.2 SECTION

3087-SE00X
1" = 10'

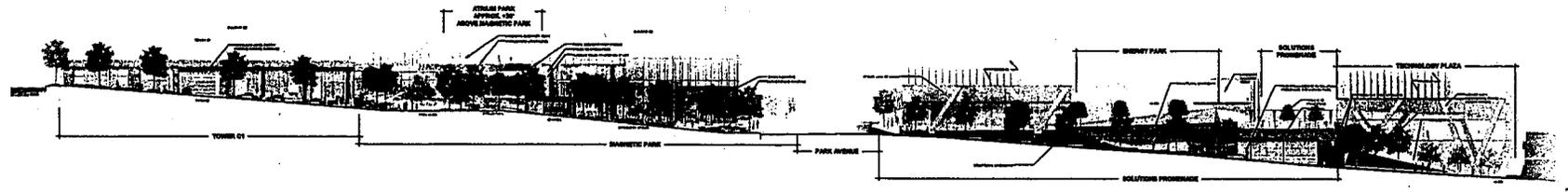


6 MADISON STREET THROUGH TOWER A3 & TOWER C1 (LOCAL)
L-9.2 SECTION

3087-SE00X
1" = 10'

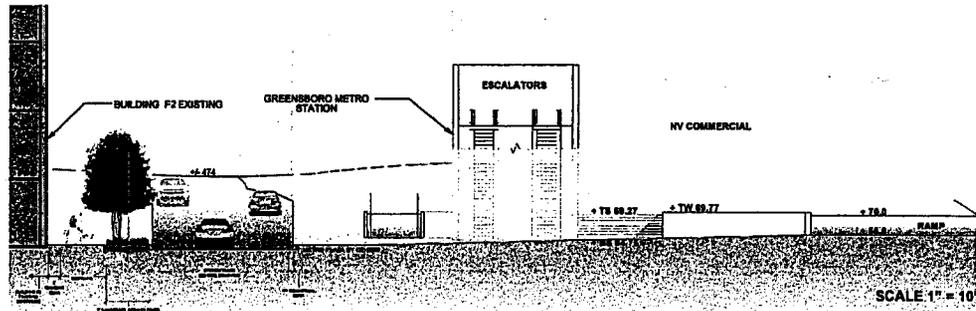
ALL DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY AND ARE SUBJECT TO CHANGE PER FINAL ARCHITECTURE, CIVIL, AND SITE DESIGN DRAWINGS ARE NOT FOR CONSTRUCTION.

*NOTE: ALL INFORMATION SHOWN OUTSIDE OF PROPERTY LINE IS FOR REFERENCE ONLY AND SUBJECT TO SEPARATE APPROVAL. SEE CIVIL PLANS FOR ALL STREET DIMENSIONS.



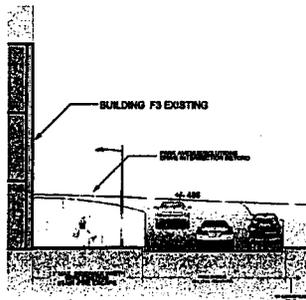
1 MADISON STREET THROUGH SOLUTIONS PROMENADE AND MAGNETIC PARK
L-9.3 SECTION

3067-SE00X
NTS



2 STATION PLACE AT BUILDING F2 (LOCAL)
L-9.3 SECTION

3067-SE00X
1" = 10'



3 STATION PLACE AT BUILDING F3 (LOCAL)
L-9.3 SECTION

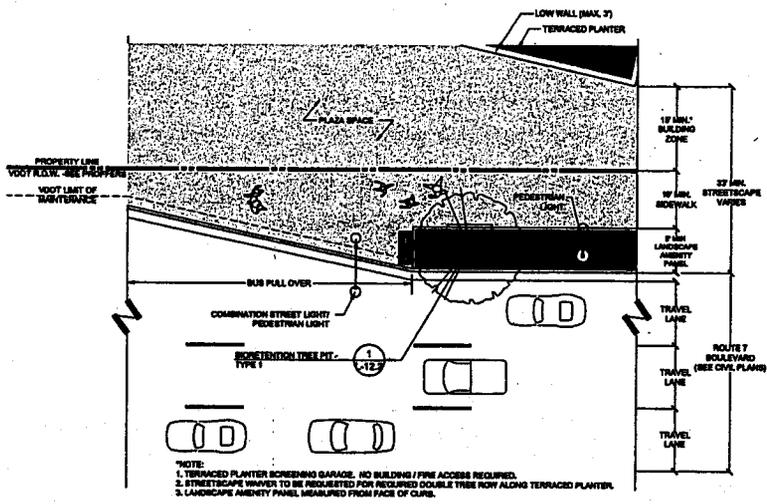
3067-SE00X
1" = 10'

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*NOTE: ALL INFORMATION SHOWN OUTSIDE OF PROPERTY LINE IS FOR REFERENCE ONLY AND SUBJECT TO SEPARATE APPROVAL. SEE CIVIL PLANS FOR ALL STREET DIMENSIONS.

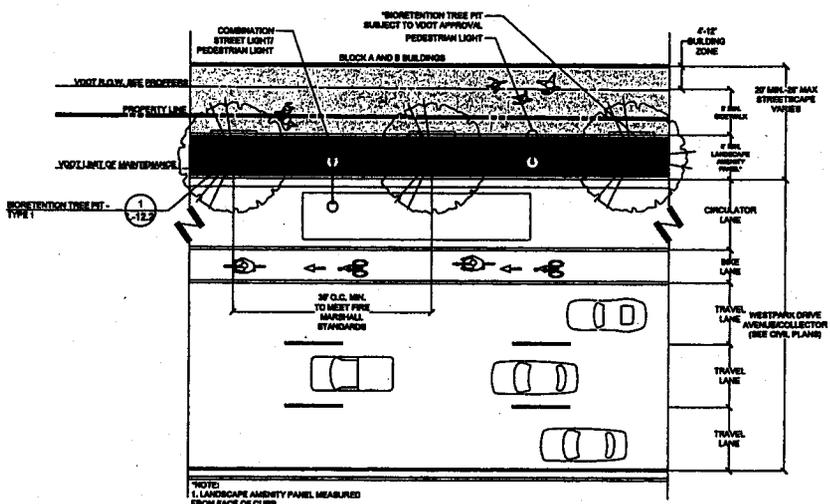
REVISIONS
DATE REVISION BY
01/20/11 01/20/11
02/01/11 02/01/11
03/01/11 03/01/11
04/01/11 04/01/11
05/01/11 05/01/11

DATE PLOTTED: 01/20/11
DRAWN BY: JACOBSON
CHECKED BY: JACOBSON
SCALE AS NOTED
PROJECT NUMBER:
SHEET NUMBER:
L-9.3



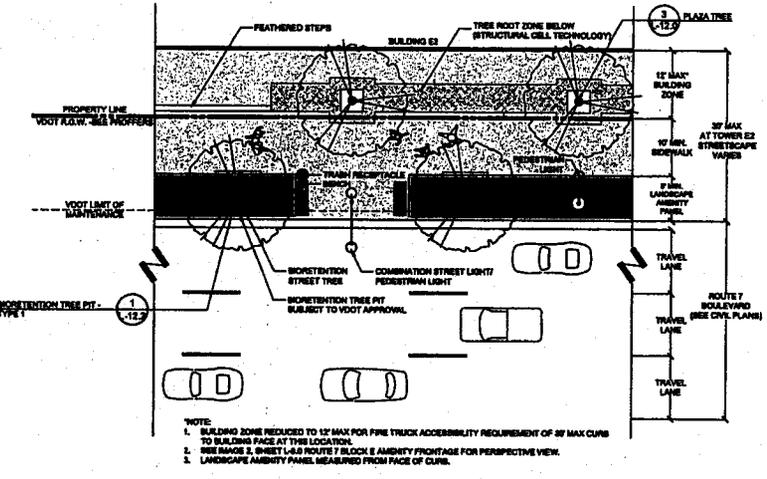
1 ROUTE 7 - BLOCK E AT BUS PULL OVER
L-10.0 STREETScape ENLARGEMENT

0049-SSE01
1" = 10'



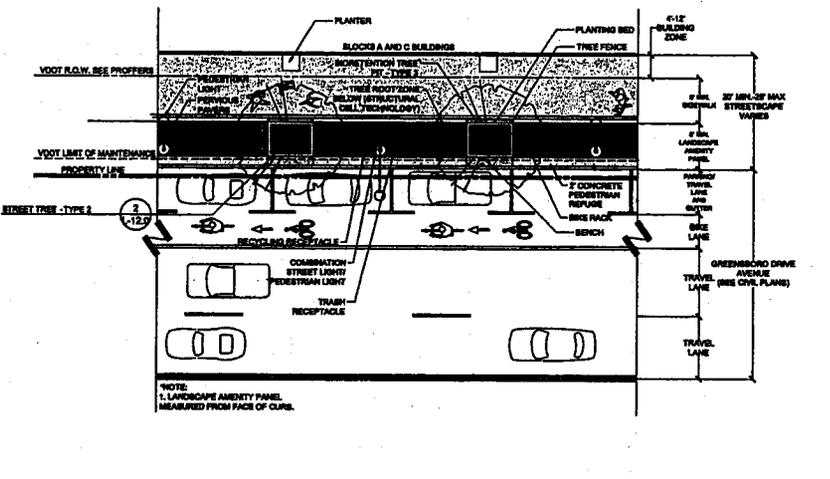
3 WESTPARK DR. - BLOCKS A, B
L-10.0 STREETScape ENLARGEMENT

0049-SSE01
1" = 10'



2 ROUTE 7 - BLOCK E (TYP.)
L-10.0 STREETScape ENLARGEMENT

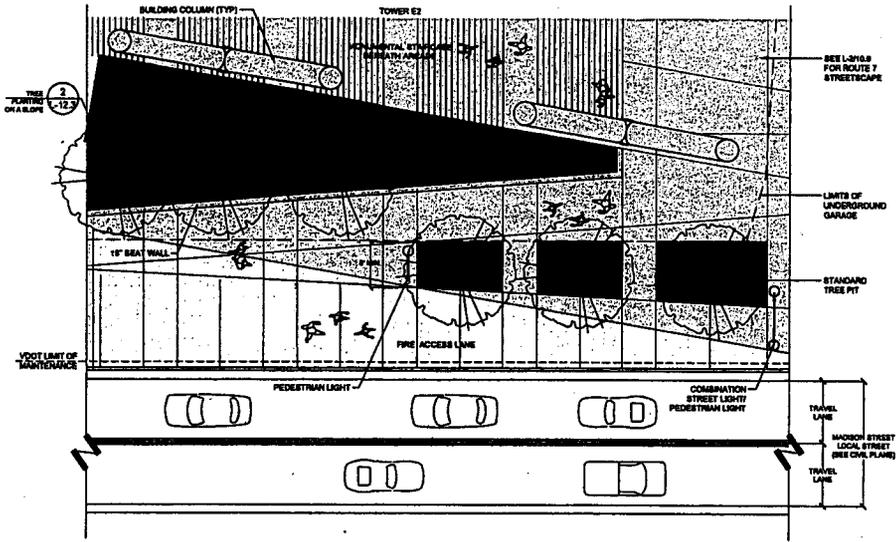
0048-SSE02
1" = 10'



4 GREENSBORO DR. - BLOCKS A, C
L-10.0 STREETScape ENLARGEMENT

0049-SSE02
1" = 10'

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1 MADISON ST. - TECHNOLOGY PLAZA
 L-10.3 STREETScape ENLARGEMENT

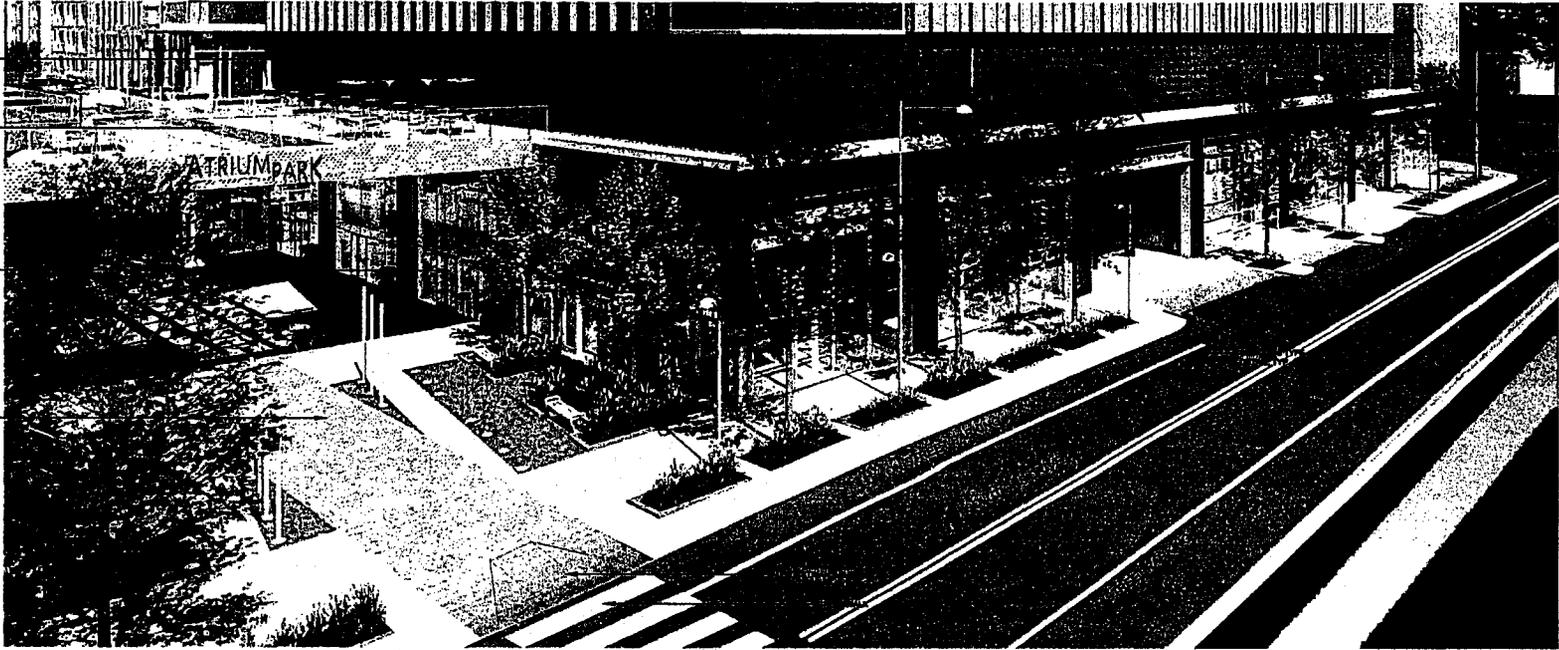
0049-SSE01
 1" = 10'

BUILDING CE

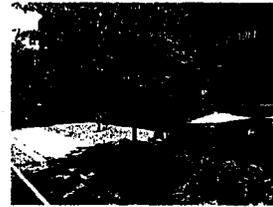
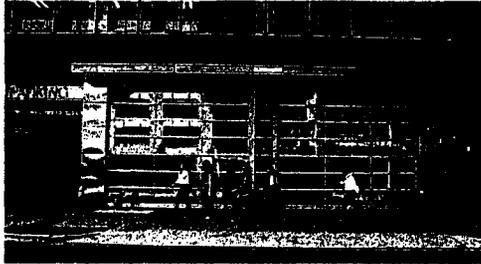
ATRIUM PARK UPPER

RETAIL

ATRIUM PARK LOWER



1A) SOLUTIONS DRIVE PERSPECTIVE VIEW
NTS

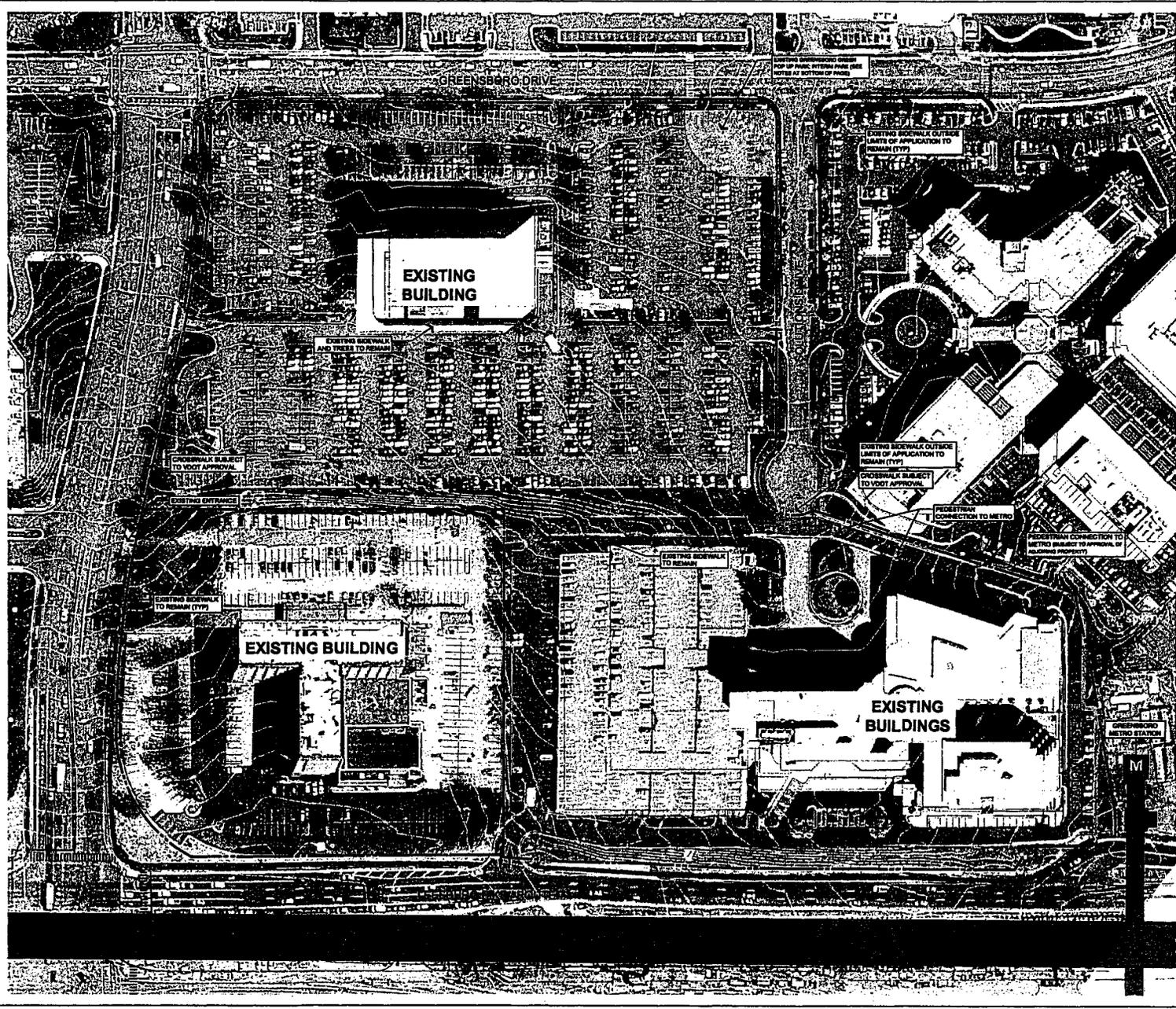


LandDesign.
 100 S. Broad St., Newark, NJ 07102
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 www.LandDesign.com

THE BORO
 Conceptual Development Plan
 The Meridian Group, Inc.
 SOLUTIONS DRIVE ENLARGEMENT

ISSUES:
 IMPROVE COP PERFORMANCE
 IMPROVE COP PERFORMANCE
 IMPROVE COP PERFORMANCE
 IMPROVE COP PERFORMANCE

ALL DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY AND ARE SUBJECT TO CHANGE FOR FINAL ARCHITECTURAL, CIVIL, AND SITE DESIGN. REVISIONS ARE LISTED IN THE REVISIONS SECTION.
 SHEET NUMBER:
L-10.4



INITIAL PEDESTRIAN CONNECTION

1. CONSTRUCTION OF PEDESTRIAN CONNECTION ALONG STATION AT ADJOINING PROPERTY NORTH OF METRO STATION. PEDESTRIAN CONNECTION SUBJECT TO APPROVAL OF ADJOINING PROPERTY.
2. CONSTRUCTION OF SIDEWALK CONNECTION FROM SOLUTIONS DRIVE TO WESTPARK DRIVE.

LEGEND*

- EXISTING SIDEWALK ON SAC, WESTPARK PLAZA, AND BEACH PROPERTIES
- PROPERTY LINE
- GREENSBORO METRO STATION
- INITIAL PEDESTRIAN CONNECTION

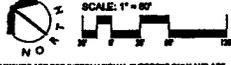
INTERIM CONDITIONS**

- INTERIM CONDITIONS
- ADDITIONAL INTERIM SCREENING
- INTERIM PRIVATE SKY PARK
- INTERIM PARK AND OPEN SPACE IMPROVEMENTS***
- MODIFICATION TO PARKING LOT CONFIGURATION PER PHASE (INTERIM CONDITION)**
- INTERIM PEDESTRIAN CONNECTION
- SCREENED WALL AT INTERIM CONDITION
- RETAINING WALL WITH RAIL
- INTERIM VEHICULAR TRAVEL WAY

FINAL CONDITIONS**

- FINAL CONSTRUCTION CONDITIONS (INCLUDES FINAL STREETSCAPE ELEMENTS)
- FINAL PARK CONSTRUCTION
- PRIVATE PODIUM PARK OR ROOFTOP COURTYARD
- PEDESTRIAN BUILDING ENTRY
- VEHICULAR LOADING GARAGE ENTRY
- VEHICULAR PARKING GARAGE ENTRY

NOTE:
 *NOT ALL ITEMS IN LEGEND WILL SHOW IN EVERY PHASING SCENARIO
 **ALL AREAS INDICATED IN COLOR ARE APPROXIMATE AND SHALL BE FURTHER DEFINED BY THE COP
 ***ALL INTERIM PARK AND OPEN SPACE IMPROVEMENTS SHALL INCLUDE PARK TREES, STREET TREES, AND OTHER ELEMENTS INCLUDED BY PARK COUNTY CODE OF ORDINANCES AND COP PROVISIONS
 ****ALL MODIFICATIONS OR IMPROVEMENTS (SUCH AS LANDSCAPE, ETC.) TO PARKING LOT CONFIGURATIONS FOR PHASES IN THE INTERIM SHALL COMPLY WITH PARK COUNTY CODE OF ORDINANCES
 *****METHODS OF TREATING INTERIM SCREENED WALLS WITH SCREENS ARE DESCRIBED IN THE COP PROVISIONS.

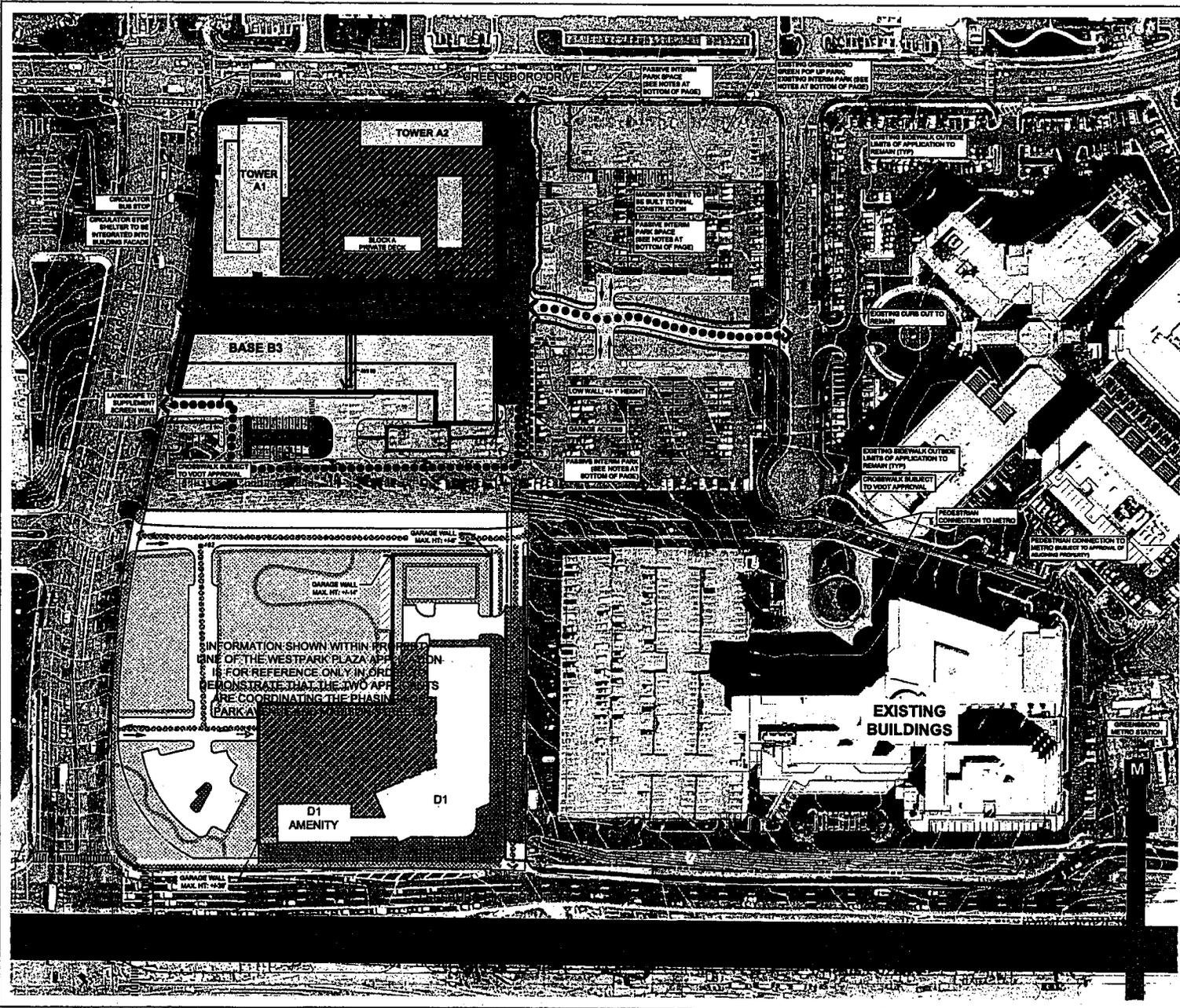


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LandDesign.
 3814 Powers Dr., Alexandria, VA 22304
 P: 703.836.9696
 F: 703.836.9698

THE BORO
 Conceptual Development Plan
 The Meridian Group, Inc.
 PHASING - INITIAL PEDESTRIAN CONNECTION

DATE: 02/21/2015
 DRAWN BY: C. GARDNER
 CHECKED BY: J. GARDNER
 SCALE: 1" = 80'
 PROJECT NO.: 15010
 SHEET NUMBER:
L-110



PHASE A1 + WESTPARK PLAZA PHASE 1
 (TOWER A1 + TOWER A2 + TOWER A3 + BASE A3 AND BASE B3 + WESTPARK PLAZA)

1. DEMOLITION OF EXISTING ENTERPRISE BUILDING.
2. CONSTRUCTION OF TOWER A1, TOWER A2, TOWER A3, BASE A3 AND BASE B3.
3. CONSTRUCTION OF GREENSBORO PLACE FROM WESTPARK DRIVE TO MADISON STREET.
4. CONSTRUCTION OF MADISON STREET FROM GREENSBORO DRIVE TO ROUTE 7.
5. CONSTRUCTION OF FINAL STREETSCAPE ON GREENSBORO DRIVE, WESTPARK DRIVE (GREENSBORO DRIVE TO B3 LINE), GREENSBORO PLACE (BOTH SIDES), AND MADISON STREET (FROM GREENSBORO DRIVE TO B3 LINE).
6. CONSTRUCTION OF RESIDENTIAL AMENITY DECK ON BLOCK A.
7. CONSTRUCTION OF INTERIM PARK SPACES ALONG MADISON STREET AND AT WESTPARK DRIVE SOUTH OF BASE B3.

LEGEND*

- EXISTING SIDEWALK ON BAC, WESTPARK PLAZA, AND BEACON PROPERTIES
- PROPERTY LINE
- GREENSBORO METRO STATION
- INITIAL PEDESTRIAN CONNECTION

INTERIM CONDITIONS**

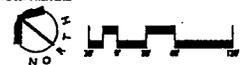
- INTERIM CONDITIONS
- ADDITIONAL INTERIM SCREENING
- INTERIM PRIVATE BICYCLE PARK
- INTERIM PARK AND OPEN SPACE IMPROVEMENTS***
- MODIFICATION TO PARKING LOT CONFIGURATION PER PHASE INTERIM CONDITION****
- INTERIM PEDESTRIAN CONNECTION
- SCREENED WALL AT INTERIM CONDITION
- RETAINING WALL WITH RAIL
- INTERIM VEHICULAR TRAVEL WAY

FINAL CONDITIONS**

- FINAL CONSTRUCTION CONDITIONS INCLUDING FINAL STREETSCAPE ELEMENTS
- FINAL PARK CONSTRUCTION
- PRIVATE POOL/PARK OR ROOFTOP COURTYARD
- PEDESTRIAN BUILDING ENTRY
- VEHICULAR LOADING GARAGE ENTRY
- VEHICULAR PARKING GARAGE ENTRY

NOTES:

- * NOT ALL ITEMS IN LEGEND WILL SHOW UP IN EVERY PHASING SCENARIO
- ** ALL AREAS INDICATED IN COLOR ARE APPROXIMATIONS AND SHALL BE FURTHER REFINED AT FCP
- ** ALL INTERIM PARKING AND OPEN SPACE IMPROVEMENTS SHALL INCLUDE PARK TREES, STREET TREES, AND OTHER ELEMENTS REQUIRED BY FAYATL COUNTY CODE OF ORDINANCES AND CDP PROVISIONS
- ** ALL MODIFICATIONS OR IMPROVEMENTS SUCH AS LANDSCAPING, ETC TO PARKING LOT CONFIGURATIONS PER PHASE IN THE INTERIM SHALL COMPLY WITH FAYATL COUNTY CODE OF ORDINANCES
- *** METHODS OF THE INTERIM EXPOSED WALLS WITH SCREENS ARE DESCRIBED IN THE CDP FORMER.



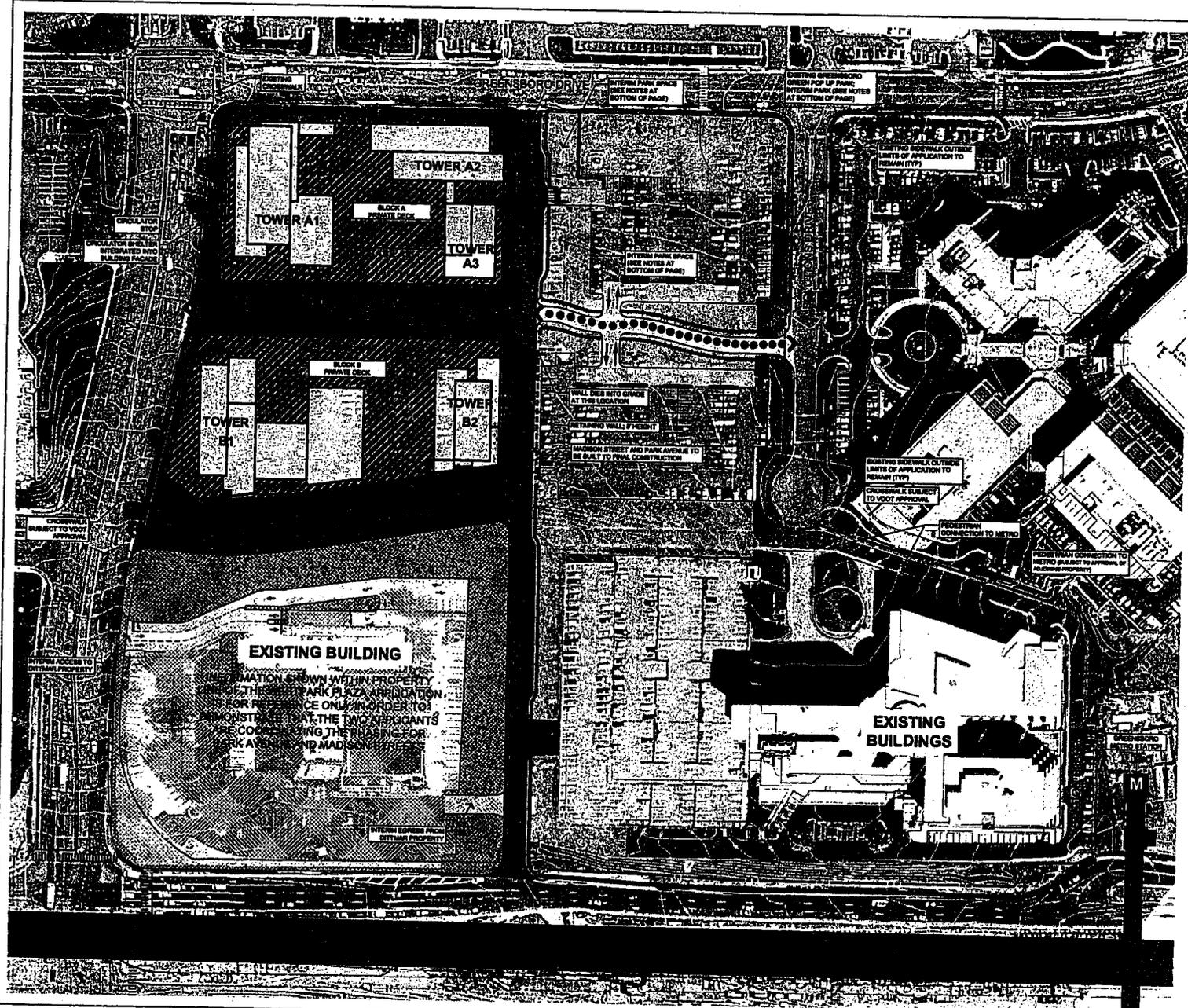
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 3001 Park Ave., Alexandria, VA 22304
 703.440.7000
 www.landdesign.com

THE BORO
 Conceptual Development Plan
 The Herndon Group, Inc.
 PHASING - A1 + DITTMAR PHASE I

REVISIONS:
 1. DATE: 11/11/11
 2. DRAWN BY: J. GARDNER
 3. CHECKED BY: J. GARDNER
 4. APPROVED BY: J. GARDNER
 5. PROJECT: CDP - BORO

DATE: 11/11/11
 DRAWN BY: J. GARDNER
 CHECKED BY: J. GARDNER
 APPROVED BY: J. GARDNER
 PROJECT: CDP - BORO
 SHEET NUMBER: L-111A



PHASE B
(TOWER A1 + TOWER A2 + BASE A3+
TOWER B1 + TOWER B2 + BASE B3)

1. DEMOLITION OF EXISTING ENTERPRISE BUILDING.
2. CONSTRUCTION OF TOWER A1, TOWER A2, BASE A3, TOWER B1, TOWER B2, AND BASE B3.
3. CONSTRUCTION OF BORO PLACE FROM WESTPARK DRIVE TO MADISON STREET.
4. CONSTRUCTION OF MADISON STREET FROM WESTPARK DRIVE TO MADISON STREET.
5. FINAL CONSTRUCTION OF STREETSCAPE ON GREENBORO DRIVE, WESTPARK DRIVE, GREENBORO DRIVE TO PARK AVENUE, BORO PLACE (BOTH SIDES) AND MADISON STREET FROM GREENBORO DRIVE TO PARK AVENUE, AND NORTH SIDE OF PARK AVENUE.
6. CONSTRUCTION OF PRIVATE RESIDENTIAL DECKS ON BLOCKS A AND B.
7. CONSTRUCTION OF INTERIM PARK SPACES ALONG MADISON STREET.

LEGEND*

- EXISTING SIDEWALKS ON BORO, WESTPARK PLAZA, AND SEASON PROPERTIES
- PROPERTY LINE
- GREENBORO METRO STATION
- INITIAL PEDESTRIAN CONNECTION

INTERIM CONDITIONS**

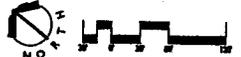
- INTERIM CONDITIONS
- ADDITIONAL INTERIM SCREENING
- INTERIM PRIVATE BOY PARK
- INTERIM PARK AND OPEN SPACE IMPROVEMENTS***
- MODIFICATION TO PARKING LOT CONFIGURATION PER PHASE (INTERIM CONDITION)***
- INTERIM PEDESTRIAN CONNECTION
- SCREENED WALL AT INTERIM CONDITION
- RETAINING WALL WITH RAIL
- INTERIM VEHICULAR TRAVEL WAY

FINAL CONDITIONS**

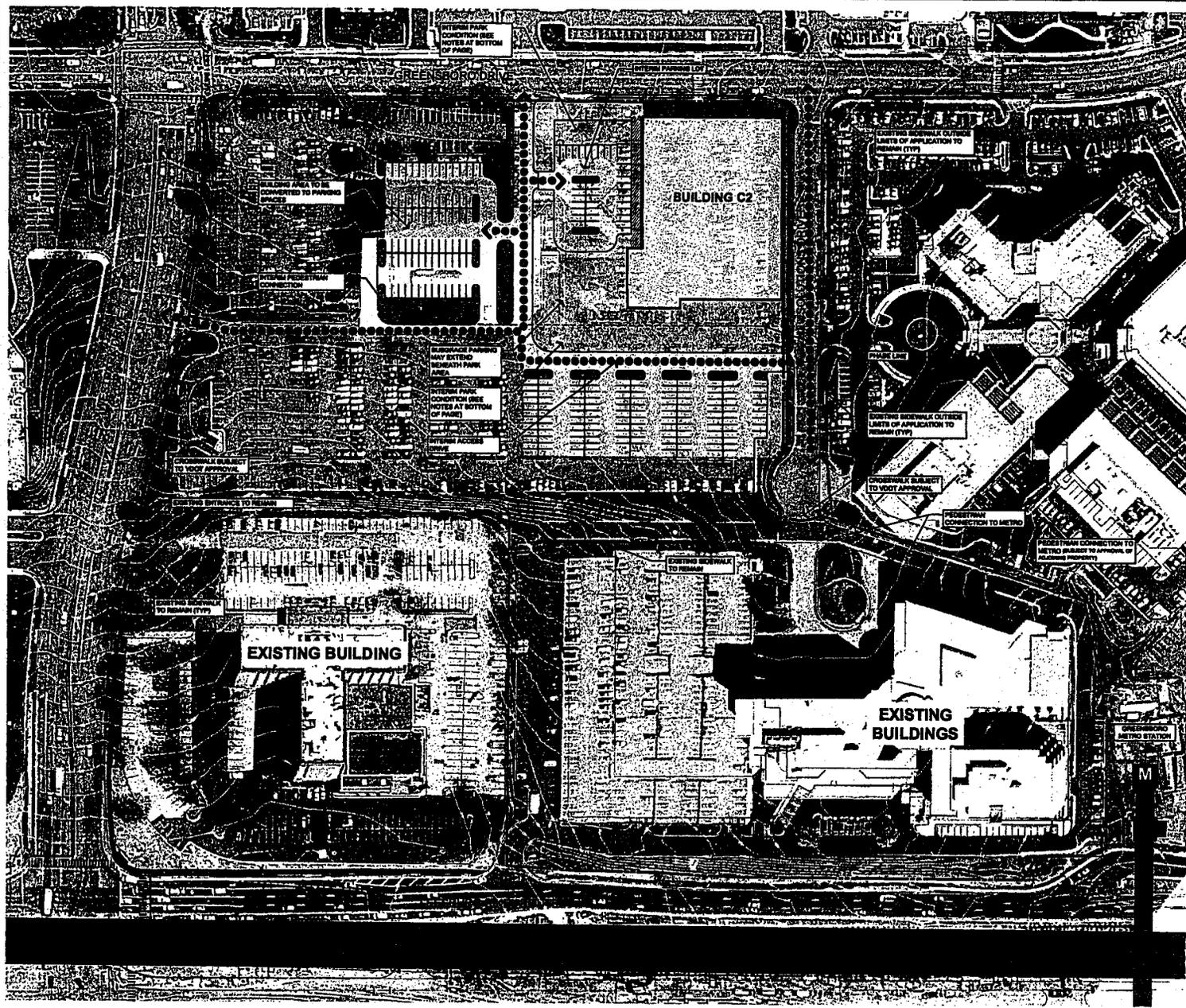
- FINAL CONSTRUCTION CONDITIONS INCLUDES PARK STREETSCAPE ELEMENTS
- FINAL PARK CONSTRUCTION
- PRIVATE POOL/PARK OR ROOFTOP COURTYARD
- PEDESTRIAN BUILDING ENTRY
- VEHICULAR LOADING GARAGE ENTRY
- VEHICULAR PARKING GARAGE ENTRY

NOTES:

- * NOT ALL ITEMS IN LEGEND WILL SHOW UP IN EVERY PHASING SCENARIO
- ** ALL AREAS INDICATED IN COLOR ARE APPROXIMATE AND SHALL BE FURTHER REFINED AT PDP
- ** ALL INTERIM PARK AND OPEN SPACE IMPROVEMENTS SHALL INCLUDE PARK TREATMENTS, STREET TREES, AND OTHER ELEMENTS REQUIRED BY PARSONS COUNTY CODE OF ORDINANCES AND COP PROVISIONS
- *** ALL MODIFICATIONS OR IMPROVEMENTS SHALL BE IN ACCORDANCE WITH PARSONS COUNTY CODE OF ORDINANCES AND COP PROVISIONS
- *** ALL MODIFICATIONS OR IMPROVEMENTS SHALL BE IN ACCORDANCE WITH PARSONS COUNTY CODE OF ORDINANCES AND COP PROVISIONS
- *** ALL MODIFICATIONS OR IMPROVEMENTS SHALL BE IN ACCORDANCE WITH PARSONS COUNTY CODE OF ORDINANCES AND COP PROVISIONS
- *** METHODS OF TREATING INTERIM SCREENED WALLS WITH SCREENS ARE DESCRIBED IN THE COP PROVISIONS.



ALL DEVELOPMENT FOR INFORMATIONAL PURPOSES ONLY AND ARE SUBJECT TO CHANGE PER FINAL ARCHITECTURAL, CIVIL, AND SITE DESIGN, REVISIONS AND NOT FOR CONSTRUCTION.



PHASE C1
BUILDING C2

1. DEMOLITION OF EXISTING ENTERPRISE BUILDING.
2. CONVERSION OF EXISTING ENTERPRISE BUILDING INTO PARKING SPACES.
3. CONSTRUCTION OF BUILDING C2.
4. CONSTRUCTION OF INTERIM HADSON STREET AND SOLUTIONS DRIVE.
5. CONSTRUCTION OF FINAL STREETSCAPE ON GREENSBORO DRIVE AT BUILDING C2 AND SOLUTIONS DRIVE.
6. CONSTRUCTION OF INTERIM PARK ALONG HADSON STREET AND SOUTH OF BUILDING C2.
7. CONSTRUCTION OF INTERIM ACCESS DRIVE SOUTH OF INTERIM.

LEGEND*

- EXISTING SIDEWALK ON BAG, WESTFRANK PLAZA, AND BEACON PROPERTIES
- PROPERTY LINE
- GREENSBORO METRO STATION
- INITIAL PEDESTRIAN CONNECTION

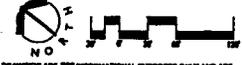
INTERIM CONDITIONS**

- INTERIM CONDITIONS
- ADDITIONAL INTERIM SCREENING
- INTERIM PRIVATE SKY PARK
- INTERIM PARK AND OPEN SPACE IMPROVEMENTS***
- MODIFICATION TO PARKING LOT CONFIGURATION PER PHASE INTERIM CONDITION***
- INTERIM PEDESTRIAN CONNECTION
- SCREENED WALL AT INTERIM CONDITION
- RETAINING WALL WITH RAIL
- INTERIM VEHICULAR TRAVEL WAY

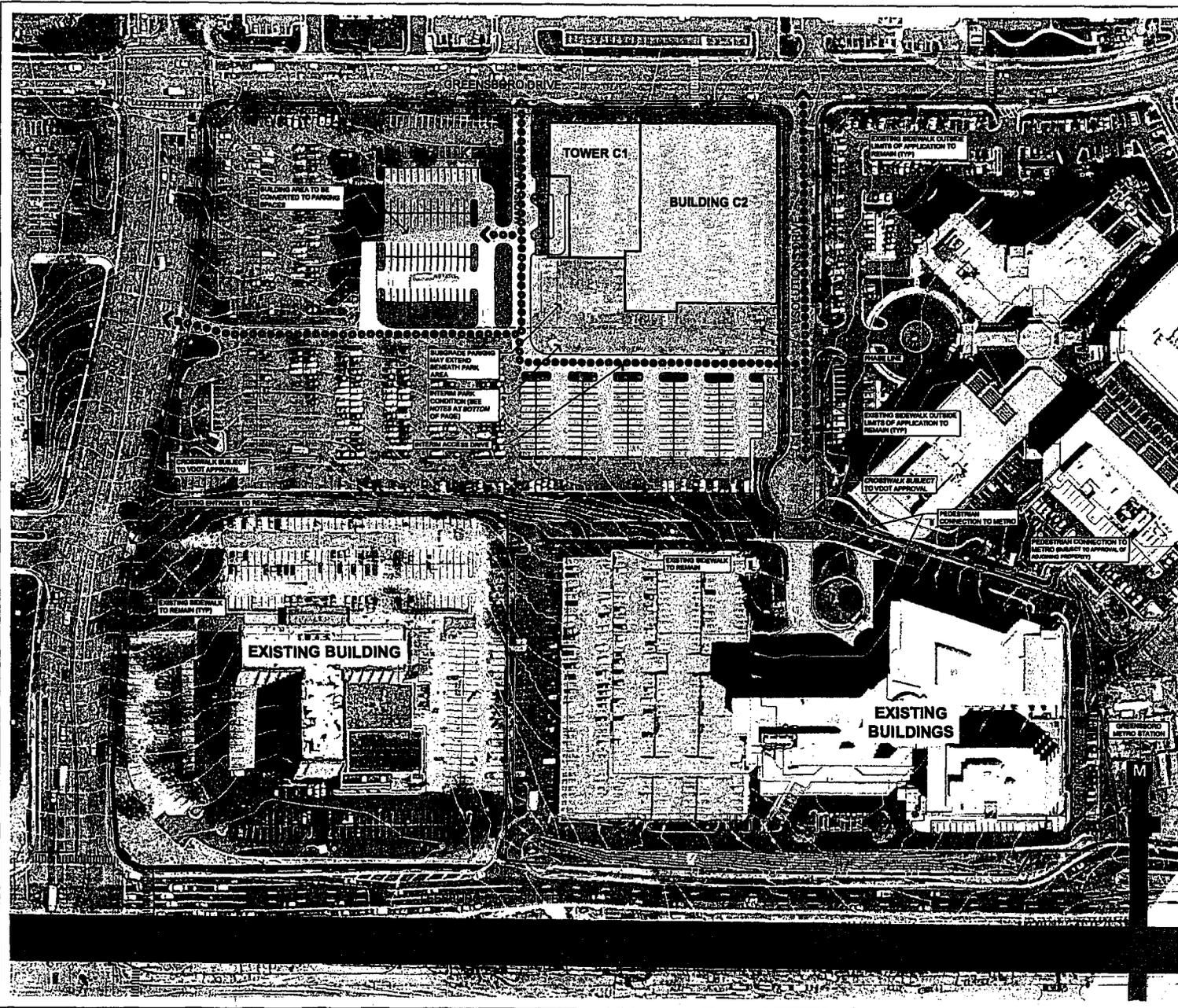
FINAL CONDITIONS**

- FINAL CONSTRUCTION CONDITIONS (INCLUDES FINAL STREETSCAPE ELEMENTS)
- FINAL PARK CONSTRUCTION
- PRIVATE POOL/PARK OR ROOFTOP COURTYARD
- PEDESTRIAN BUILDING ENTRY
- VEHICULAR LOADING GARAGE ENTRY
- VEHICULAR PARKING GARAGE ENTRY

NOTES:
 * NOT ALL ITEMS IN LEGEND WILL SHOW UP IN EVERY PHASING SCENARIO
 ** ALL AREAS INDICATED IN COLOR ARE APPROXIMATE AND SHALL BE FURTHER REFINED AT PD
 *** ALL INTERIM PARK AND OPEN SPACE IMPROVEMENTS SHALL INCLUDE PARK TREATMENTS, STREET TREES, AND OTHER ELEMENTS REQUIRED BY PARK/FACILITY CODE OF ORDINANCES AND COP PROVISIONS
 **** ALL MODIFICATIONS OR IMPROVEMENTS (SUCH AS LANDSCAPING, ETC.) TO PARKING LOT CONFIGURATIONS FOR PHASES IN THE INTERIM SHALL COMPLY WITH PARK/FACILITY CODES OF ORDINANCES.
 ***** METHOD OF TREATING INTERIM EXPOSED WALLS WITH SCREENS ARE DESCRIBED IN THE COP PROGRAM.



ALL DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY AND ARE SUBJECT TO CHANGE FOR FINAL ARCHITECTURE, CIVIL, AND SITE DESIGN. APPROVALS ARE NOT FOR CONSTRUCTION.



**PHASE C2
TOWER C1 + BUILDING C2**

1. DEMOLITION OF EXISTING ENTERPRISE BUILDING.
2. CONVERSION OF EXISTING ENTERPRISE BUILDING INTO PARKING SPACES.
3. CONSTRUCTION OF BUILDING C2 AND TOWER C1.
4. CONSTRUCTION OF MADISON STREET AND SOLUTIONS DRIVE.
5. CONSTRUCTION OF FINAL STREETSCAPE ON GREENSBORO DRIVE, SOLUTIONS DRIVE, AND MADISON STREET (EAST SIDE).
6. CONSTRUCTION OF INTERIM PARK SOUTH OF TOWER C1 AND BUILDING C2.
7. CONSTRUCTION OF INTERIM ACCESS DRIVE SOUTH OF INTERIM PARK.

LEGEND*

- EXISTING SIDEWALK ON SMC, WESTPARK PLAZA, AND BEACON PROPERTIES
- PROPERTY LINE
- GREENSBORO METRO STATION
- INITIAL PEDESTRIAN CONNECTION

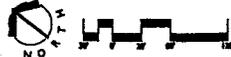
INTERIM CONDITIONS**

- INTERIM CONDITIONS
- ADDITIONAL INTERIM FENCINGS
- INTERIM PRIVATE BICY PARK
- INTERIM PARK AND OPEN SPACE IMPROVEMENTS***
- MODIFICATION TO PARKING LOT CONFIGURATION PER PHASE (INTERIM CONDITION)****
- INTERIM PEDESTRIAN CONNECTION
- SCREENED WALL AT INTERIM CONDITION
- RETAINING WALL WITH RAIL
- INTERIM VEHICULAR TRAVEL WAY

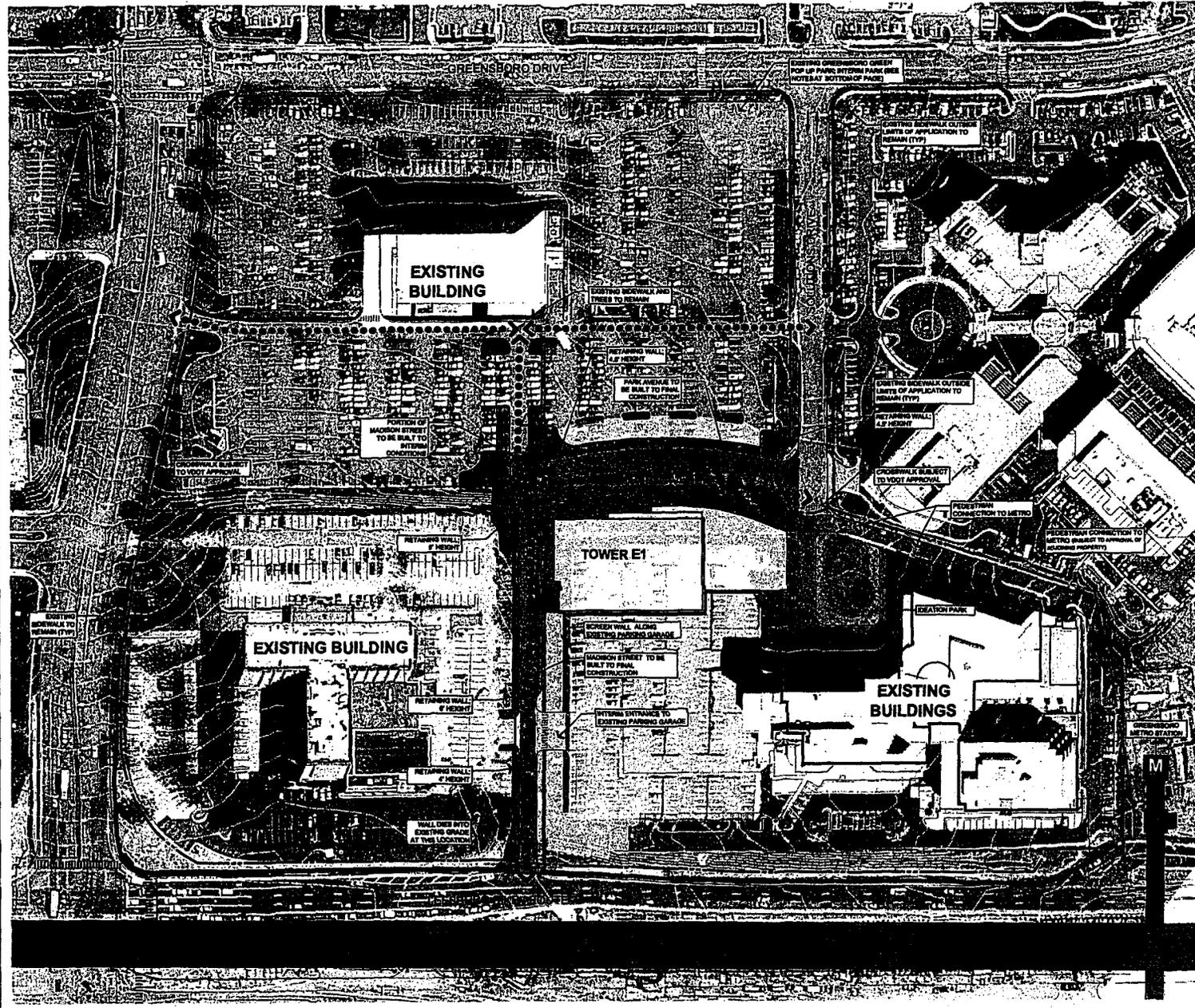
FINAL CONDITIONS**

- FINAL CONSTRUCTION CONDITIONS (INCLUDES FINAL STREETSCAPE ELEMENTS)
- FINAL PARK CONSTRUCTION
- PRIVATE POOLUM PARK OR ROOFTOP COURTYARD
- PEDESTRIAN BUILDING ENTRY
- VEHICULAR LOADING GARAGE ENTRY
- VEHICULAR PARKING GARAGE ENTRY

NOTES:
 *NOT ALL ITEMS IN LEGEND WILL SHOW UP IN EVERY PARKING SCENARIO
 **ALL AREAS INDICATED IN GOLD ARE APPROXIMATE AND SHALL BE FURTHER IMPROVED AT TOP
 ***ALL INTERIM PARK AND OPEN SPACE IMPROVEMENTS SHALL INCLUDE PARK TREATMENTS, STREET TREES, AND OTHER ELEMENTS REQUIRED BY PARKING COUNTY CODE OF ORDINANCES AND COP PROVISIONS
 ****ALL MODIFICATIONS OR IMPROVEMENTS (SUCH AS LANDSCAPING, ETC) TO PARKING LOT CONFIGURATIONS PER PHASE IN THIS INTERIM SHALL COMPLY WITH PARKING COUNTY CODE OF ORDINANCES
 *****METHODS OF TREATING INTERIM EXPOSED WALLS WITH SCREENS ARE DESCRIBED IN THE COP PROVISIONS.



ALL DIMENSIONS ARE FOR INFORMATIONAL PURPOSES ONLY AND ARE SUBJECT TO CHANGES PER FINAL ARCHITECTURAL, CIVIL, AND SITE DESIGN SERVICES ASSET FOR CONSTRUCTION.



**PHASE E1
TOWER E1**

1. EXISTING ENTERPRISE BUILDING TO REMAIN.
2. CONSTRUCTION OF TOWER E1.
3. CONSTRUCTION OF PARK AVENUE FROM MADISON STREET TO SOLUTIONS DRIVE.
4. CONSTRUCTION OF PARK SEATON PARK.
5. COMPLETED INTERIM GREENING AND STREETSCAPE IMPROVEMENTS BETWEEN DITMAR AND MERCHANT PARCELS.
6. STREETSCAPE IMPROVEMENTS ALONG SOUTH SIDE OF PARK AVENUE, EAST SIDE OF MADISON AT BUILDING E1, AND AROUND SEATON PARK.

LEGEND*

- EXISTING SIDEWALK ON BAC, WESTPARK PLAZA, AND BEACON PROPERTIES
- PROPERTY LINE
- GREENSBORO METRO STATION
- INITIAL PEDESTRIAN CONNECTION

INTERIM CONDITIONS**

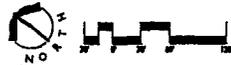
- INTERIM CONDITIONS
- ADDITIONAL INTERIM SCREENING
- INTERIM PRIVATE BOY PARK
- INTERIM PARK AND OPEN SPACE IMPROVEMENTS***
- MODIFICATION TO PARKING LOT CONFIGURATION PER PHASE INTERIM CONDITIONS****
- INTERIM PEDESTRIAN CONNECTION
- SCREENED WALL AT INTERIM CONDITION
- RETAINING WALL WITH RAIL
- INTERIM VEHICULAR TRAVEL WAY

FINAL CONDITIONS**

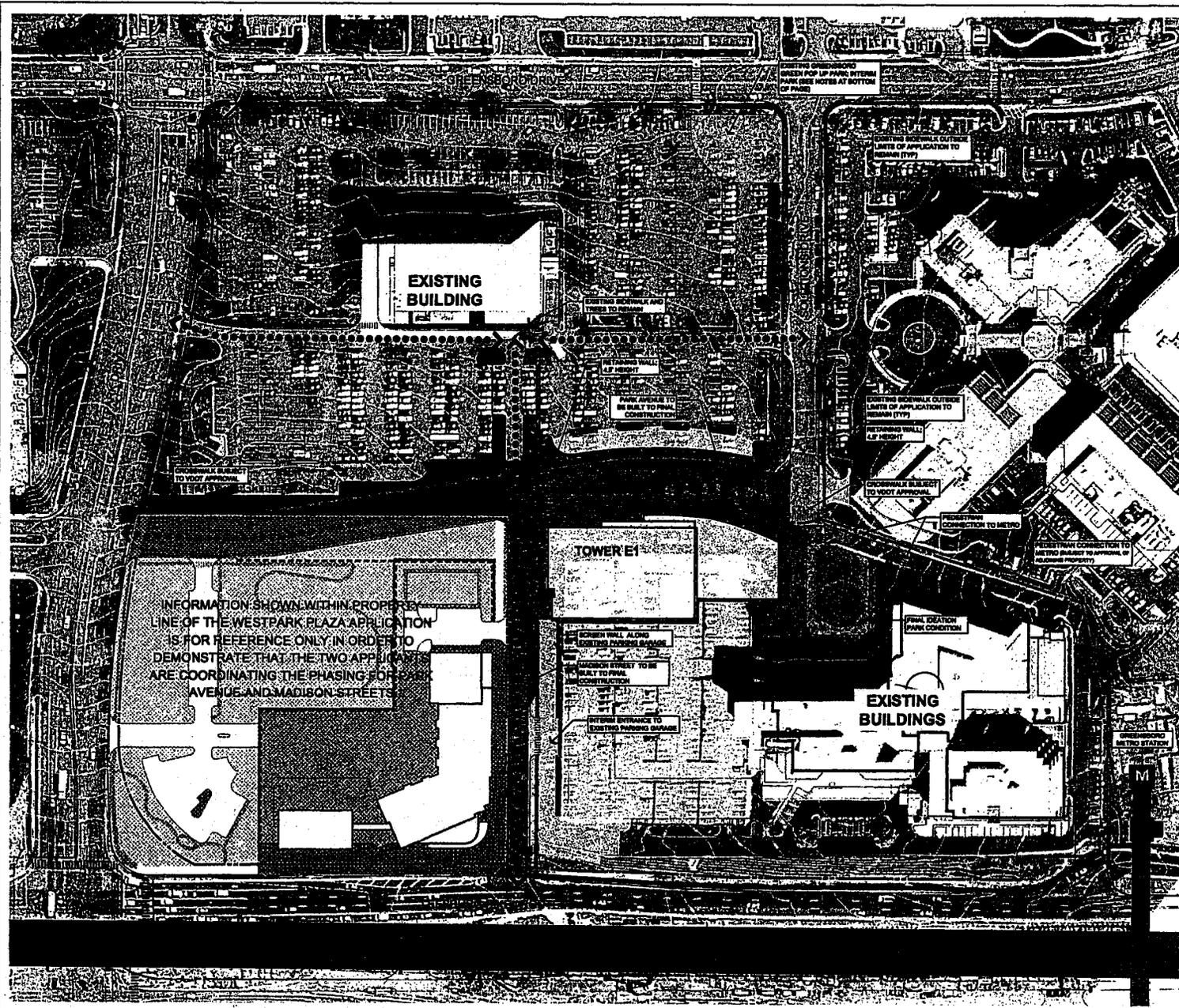
- FINAL CONSTRUCTION CONDITIONS (INCLUDES FINAL STREETSCAPE ELEMENTS)
- FINAL PARK CONSTRUCTION
- PRIVATE PODIUM PARK OR ROOFTOP COURTYARD
- PEDESTRIAN BUILDING ENTRY
- VEHICULAR LOADING GARAGE ENTRY
- VEHICULAR PARKING GARAGE ENTRY

NOTES:

- * NOT ALL ITEMS IN LEGEND WILL SHOW UP IN EVERY PHASING SCENARIO
- ** ALL ITEMS INDICATED BY COLOR ARE APPROXIMATE AND SHALL BE FURTHER REFINED AT PDP
- *** INTERIM PARK AND OPEN SPACE IMPROVEMENTS SHALL INCLUDE PARK TREATMENTS, STREET TREES, AND OTHER ELEMENTS REQUIRED BY FAIRFAX COUNTY CODES OF ORDINANCES AND CDP PROPOSAL
- **** ALL MODIFICATIONS OR IMPROVEMENTS (SUCH AS LANDSCAPING, ETC) TO PARKING LOT CONFIGURATION PER PHASE IN THE INTERIM SHALL COMPLY WITH FAIRFAX COUNTY CODES OF ORDINANCES.
- ***** METHODS OF TREATING INTERIM EXPOSED WALLS WITH SCREENS ARE DESCRIBED IN THE CDP PROPOSAL.



ALL DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY AND ARE SUBJECT TO CHANGE PER FINAL ARCHITECTURE, CIVIL, AND SITE DESIGN. DESIGN AND SITE EXECUTION.



INFORMATION SHOWN WITHIN PROPERTY LINE OF THE WESTPARK PLAZA APPLICATION IS FOR REFERENCE ONLY IN ORDER TO DEMONSTRATE THAT THE TWO APPLICATIONS ARE COORDINATING THE PHASING FOR PARK AVENUE AND MADISON STREETS

**PHASE E1 + DITTMAR PHASE 1
TOWER E1**

1. EXISTING OFFSHOPE BUILDING TO REMAIN.
2. CONSTRUCTION OF TOWER E1.
3. CONSTRUCTION OF PARK AVENUE FROM MADISON STREET TO SOLUTIONS DRIVE.
4. CONSTRUCTION OF PARK EXHIBITION PARK.
5. COORDINATED INTERIM BRACKING AND STREETSCAPE IMPROVEMENTS BETWEEN DITTMAR AND MERRIMAN PARCELS.
6. STREETSCAPE IMPROVEMENTS ALONG SOUTH SIDE OF PARK AVENUE, EAST SIDE OF MADISON AT BUILDING E1, AND AROUND EXHIBITION PARK.

LEGEND*

- EXISTING SIDEWALKS ON BAY, WESTPARK PLAZA, AND BEACON PROPERTIES
- PROPERTY LINE
- OPENHORO METRO STATION
- METAL PEDESTRIAN CONNECTION

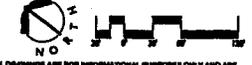
INTERIM CONDITIONS**

- INTERIM CONDITIONS
- ADDITIONAL INTERIM SCREENING
- INTERIM PRIVATE BAY PARK
- INTERIM PARK AND OPEN SPACE IMPROVEMENTS***
- MODIFICATION TO PARKING LOT CONFIGURATION PER PHASE (INTERIM CONDITION)***
- INTERIM PEDESTRIAN CONNECTION
- SCREENED WALL AT INTERIM CONDITION
- RETAINING WALL WITH RAIL
- INTERIM VEHICULAR TRAVEL WAY

FINAL CONDITIONS**

- FINAL CONSTRUCTION CONDITIONS (INCLUDES FINAL STREETSCAPE ELEMENTS)
- FINAL PARK CONSTRUCTION
- PRIVATE FOOTING PARK OR ROOFTOP COURTYARD
- PEDESTRIAN BUILDING ENTRY
- VEHICULAR LOADING GARAGE ENTRY
- VEHICULAR PARKING GARAGE ENTRY

NOTE:
 *NOT ALL ITEMS IN LEGEND WILL SHOW UP IN EVERY PHASING SCENARIO
 **ALL AREAS INDICATED IN COLOR ARE APPROPRIATE AND SHALL BE FURTHER DEFINED AT RFP
 *** ALL INTERIM PARK AND OPEN SPACE IMPROVEMENTS SHALL INCLUDE PARK TREATMENTS, STREET TREES, AND OTHER ELEMENTS REQUIRED BY PARKAVENUE COUNTY CODE OF ORDINANCES AND CDP PROVISIONS
 **** ALL IMPROVEMENTS OR APPROVEMENTS (SUCH AS LANDSCAPING, ETC) TO PARKING LOT CONFIGURATIONS FOR PHASE IN THE INTERIM SHALL COMPLY WITH PARKAVENUE COUNTY CODE OF ORDINANCES
 ***** NETWORK OF TREATMENT INTERIM SCREENED WALLS WITH SCREENS ARE DESCRIBED IN THE CDP PROVISIONS

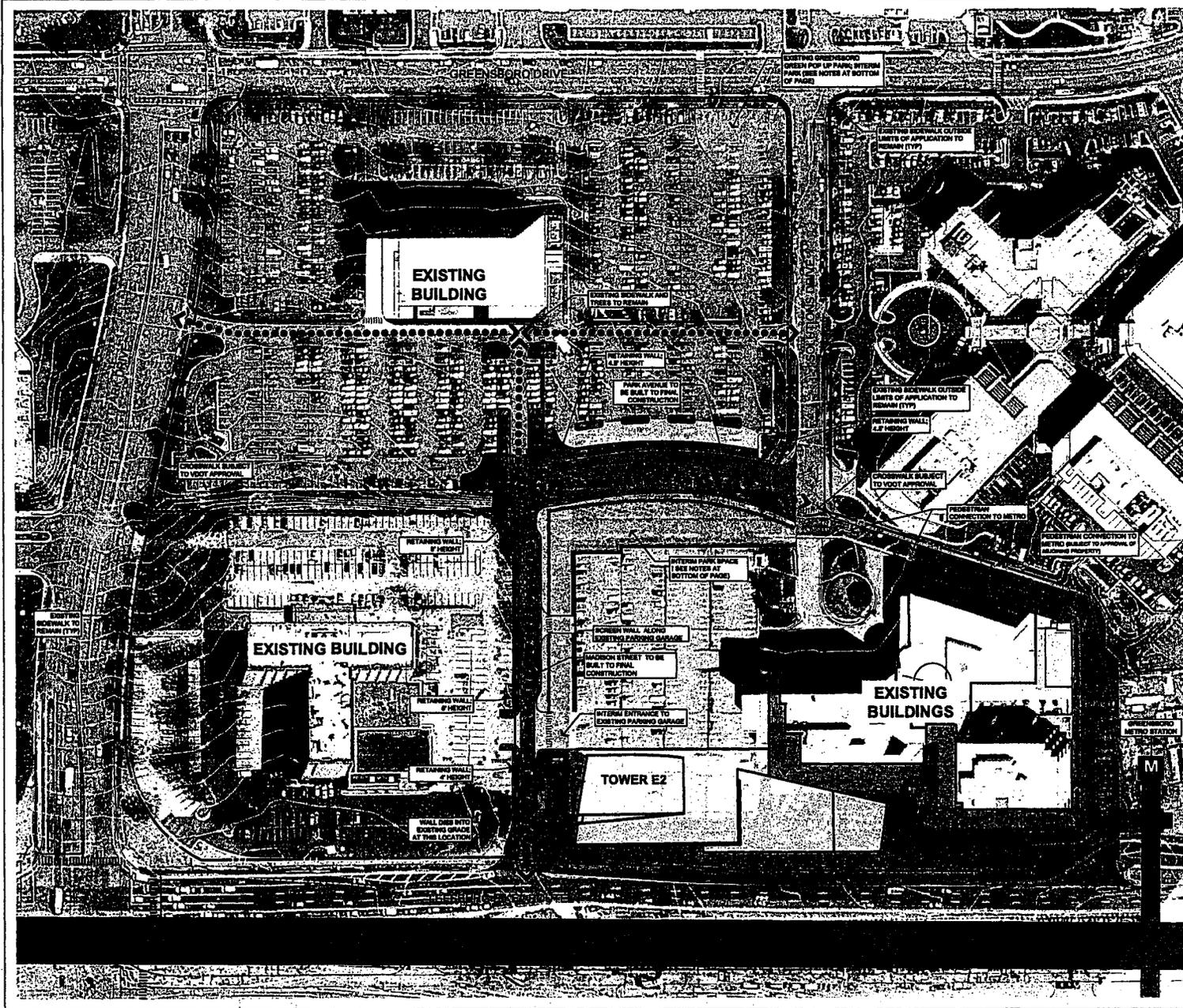


ALL DIMENSIONS ARE FOR INFORMATIONAL PURPOSES ONLY AND ARE SUBJECT TO CHANGE PER FINAL ARCHITECTURE, CIVIL, AND SITE DESIGN. DIMENSIONS ARE NOT FOR CONSTRUCTION.

LandDesign.
 200 S. Park Ave., Alexandria, VA 22304
 P: 703.836.1100
 F: 703.836.1101

THE BORO
 Conceptual Development Plan
 The Herdian Group, Inc.
 PHASING - E1 + DITTMAR PHASE 1

DATE: 11/16/2011
 DRAWN BY: J. HARRIS
 CHECKED BY: J. HARRIS
 PROJECT NO.: 11-116A



**PHASE E2
TOWER E2**

1. EXISTING ENTERPRISE BUILDING TO REMAIN
2. CONSTRUCTION OF TOWER E2
3. CONSTRUCTION OF PARK AVENUE FROM MADISON STREET TO SOLUTIONS DRIVE
4. CONSTRUCTION OF STATION PLACE FROM ROUTE 7 TO SOLUTION DRIVE
5. COORDINATED INTERIM GRADING AND STREETSCAPE IMPROVEMENTS BETWEEN BETHAN AND HERSON PARKS A.
6. STREETSCAPE IMPROVEMENTS ALONG ROUTE 7 AND STATION PLACE

LEGEND*

- EXISTING SIDEWALK ON SAG, WESTPARK PLAZA, AND BEACON PROPERTIES
- PROPERTY LINE
- GREENSBORO METRO STATION
- INITIAL PEDESTRIAN CONNECTION

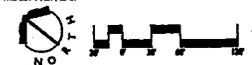
INTERIM CONDITIONS**

- INTERIM CONDITIONS
- ADDITIONAL INTERIM SCREENING
- INTERIM PRIVATE BIKE PARK
- INTERIM PARK AND OPEN SPACE IMPROVEMENTS***
- MODIFICATION TO PARKING LOT CONFIGURATION PER PHASE (INTERIM CONDITION)***
- INTERIM PEDESTRIAN CONNECTION
- SCREENED WALL AT INTERIM CONDITION
- RETAINING WALL WITH RAIL
- INTERIM VEHICULAR TRAVEL WAY

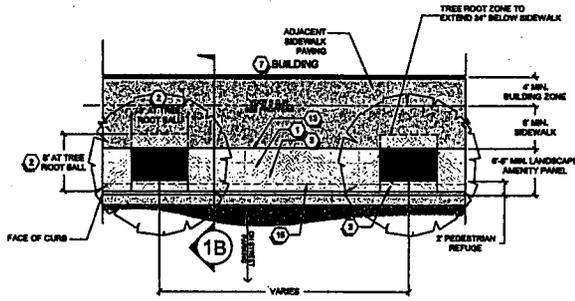
FINAL CONDITIONS**

- FINAL CONSTRUCTION CONDITIONS (INCLUDES FINAL STREETSCAPE ELEMENTS)
- FINAL PARK CONSTRUCTION
- PRIVATE PODIUM PARK OR ROOFTOP COURTYARD
- PEDESTRIAN BUILDING ENTRY
- VEHICULAR LOADING GARAGE ENTRY
- VEHICULAR PARKING GARAGE ENTRY

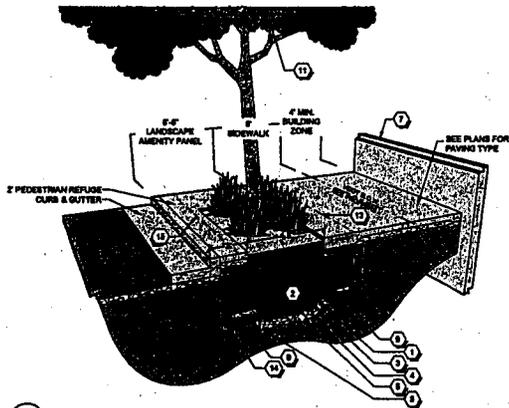
NOTES:
 * NOT ALL ITEMS IN LEGEND WILL SHOW UP IN EVERY PHASING FORWARD
 ** ALL AREAS INDICATED IN COLOR ARE APPROXIMATE AND SHALL BE FURTHER REFINED AT FOP
 *** ALL INTERIM PARK AND OPEN SPACE IMPROVEMENTS SHALL INCLUDE PARK TREATMENTS, STREET TREES, AND OTHER ELEMENTS REQUIRED BY FAYATTA COUNTY CODE OF ORDINANCES AND COP PROFFERS
 **** ALL MODIFICATIONS OR IMPROVEMENTS (SUCH AS LANDSCAPING, ETC.) TO PARKING LOT CONFIGURATIONS FOR PHASE IN THE INTERIM SHALL COMPLY WITH FAYATTA COUNTY CODE OF ORDINANCES
 ***** METHODS OF TREATING INTERIM EXPOSED WALLS WITH SCREENS ARE DESCRIBED IN THE COP PROFFERS



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1A PLAN VIEW
1/8" = 1'-0"



1B PERSPECTIVE SECTION VIEW
NTB

TREE DETAIL DESCRIPTION:
4.5"Ø (SIZE MAY VARY) TREE PIT ON GRADE, ADJACENT TO ON STREET PARKING.

TREE DETAIL LOCATION:
• SOLUTIONS DRIVE AT PARKING AND LOADING ENTRANCES
• GREENSBORO DRIVE AT PARKING AND LOADING ENTRANCES

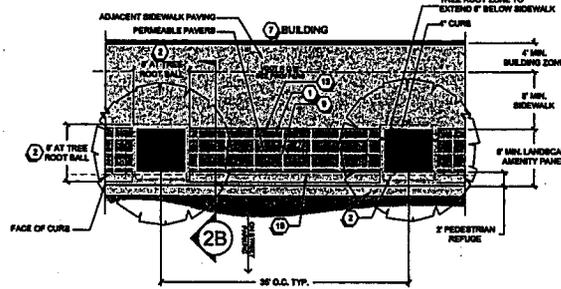
- NOTES:**
1. DETAIL IS SCHEMATIC ONLY.
 2. ALL STRUCTURAL ITEMS TO CONFORM TO ALL APPLICABLE INTERNATIONAL, NATIONAL, STATE AND LOCAL BUILDING CODES.
 3. ALL STRUCTURAL CROSS SECTIONS SHALL BE REVIEWED BY A QUALIFIED ENGINEER AND MODIFIED AS NECESSARY BASED ON THE SITE SPECIFIC GEOTECHNICAL REPORT WHICH IDENTIFIES THE SPECIFIC SITE CHARACTERISTICS.
 4. TREE ROOT ZONE SHALL MEET MINIMUM SOIL VOLUME STATED IN THE TYPICAL URBAN DESIGN GUIDELINES.
 5. LANDSCAPE AMENITY PANELS MEASURED FROM FRONT OF CURB, OR APPROVED EQUAL.

REFERENCE NOTES SCHEDULE

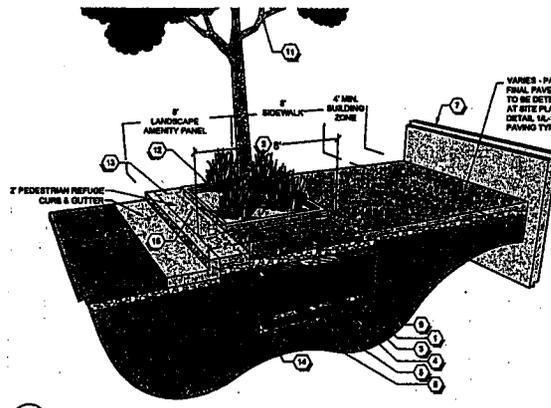
SYMBOL	DESCRIPTION
1	TREE ROOT ZONE - TO BE CONTIGUOUS BETWEEN TREES. TREES TO SHARE GROWTH MEDIA.
2	TREE ROOT ZONE AT TREE ROOT BALL SHALL BE A MIN OF 4' LENGTH & 4' WIDTH WITH A MAXIMUM 4' DEPTH. THIS MAY BE ACHIEVED BY USE OF STRUCTURAL CELL TECHNOLOGY AND/OR CANTILEVERED PAVING.
3	FILTER FABRIC
4	IF FREE DRAIN GRAVEL
5	PERFORATED DRAIN PIPE WRAPPED IN FILTER FABRIC
6	BUILDING - SEE ARCHITECTURE PLANS
7	COMPACTED SUBGRADE
8	STRUCTURAL CELL TECHNOLOGY OR APPROVED ROOT ZONE STRUCTURAL SYSTEM
9	STREET TREE - SEE SHEET L-4.9 FOR SUGGESTED TREE GENUS & SPECIES.
10	PLANTING BED WITH MULCH
11	LIMITS OF TREE ROOT ZONE BELOW PAVING
12	HEAVY MILL ROOT BARRIER
13	ROOT LIMIT OF MAINTENANCE - 1' FROM FRONT OF CURB

1 STREET TREE - TYPE 1
L-12.0 PLAN / PERSPECTIVE SECTION

08A-248
AS NOTED



2A PLAN VIEW
1/8" = 1'-0"



2B PERSPECTIVE SECTION VIEW
NTB

TREE DETAIL DESCRIPTION:
6"Ø (SIZE MAY VARY) TREE PIT WITH 4" CURB, ON GRADE, ADJACENT TO ON STREET PARKING. PERMEABLE PAVING LOCATED OVER TREE ROOT ZONE.

TREE DETAIL LOCATION:
• GREENSBORO DRIVE

- NOTES:**
1. DETAIL IS SCHEMATIC ONLY.
 2. ALL STRUCTURAL ITEMS TO CONFORM TO ALL APPLICABLE INTERNATIONAL, NATIONAL, STATE AND LOCAL BUILDING CODES.
 3. ALL STRUCTURAL CROSS SECTIONS SHALL BE REVIEWED BY A QUALIFIED ENGINEER AND MODIFIED AS NECESSARY BASED ON THE SITE SPECIFIC GEOTECHNICAL REPORT WHICH IDENTIFIES THE SPECIFIC SITE CHARACTERISTICS.
 4. TREE ROOT ZONE SHALL MEET MINIMUM SOIL VOLUME STATED IN THE TYPICAL URBAN DESIGN GUIDELINES.
 5. LANDSCAPE AMENITY PANELS MEASURED FROM FRONT OF CURB, OR APPROVED EQUAL.

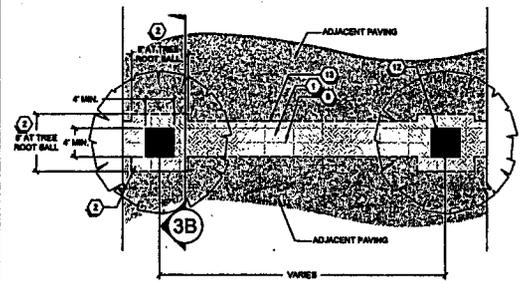
REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
1	TREE ROOT ZONE - TO BE CONTIGUOUS BETWEEN TREES. TREES TO SHARE GROWTH MEDIA.
2	TREE ROOT ZONE AT TREE ROOT BALL SHALL BE A MIN OF 4' LENGTH & 4' WIDTH WITH A MAXIMUM 4' DEPTH. THIS MAY BE ACHIEVED BY USE OF STRUCTURAL CELL TECHNOLOGY AND/OR CANTILEVERED PAVING.
3	FILTER FABRIC
4	IF FREE DRAIN GRAVEL
5	PERFORATED DRAIN PIPE WRAPPED IN FILTER FABRIC
6	BUILDING - SEE ARCHITECTURE PLANS
7	COMPACTED SUBGRADE
8	STRUCTURAL CELL TECHNOLOGY OR APPROVED ROOT ZONE STRUCTURAL SYSTEM
9	STREET TREE - SEE SHEET L-4.9 FOR SUGGESTED TREE GENUS & SPECIES.
10	PLANTING BED WITH MULCH
11	LIMITS OF TREE ROOT ZONE BELOW PAVING
12	HEAVY MILL ROOT BARRIER
13	ROOT LIMIT OF MAINTENANCE - 1' FROM FRONT OF CURB

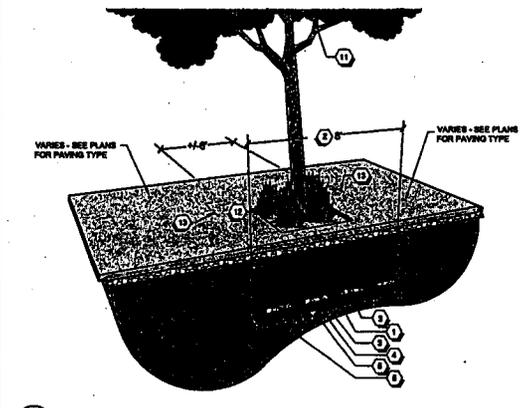
2 STREET TREE - TYPE 2
L-12.0 PLAN / PERSPECTIVE SECTION

08A-248
AS NOTED

ALL DRAWINGS ARE FOR INFORMATIONAL PURPOSES ONLY AND ARE SUBJECT TO CHANGE FOR FINAL ARCHITECTURE, CIVIL, AND SITE DESIGN. DEVELOPER'S APPLICANT FOR CONSTRUCTION.



3A PLAN VIEW
1/8" = 1'-0"



3B PERSPECTIVE SECTION VIEW
NTB

TREE DETAIL DESCRIPTION:
TREE PIT SIZE VARIES - SEE PLANS (MIN. 4'Ø). THIS DETAIL IS TYPICALLY NOT LOCATED STREET SIDE.

TREE DETAIL LOCATION:
• ROUTE 7
• MADISON STREET
• TECHNOLOGY PLAZA

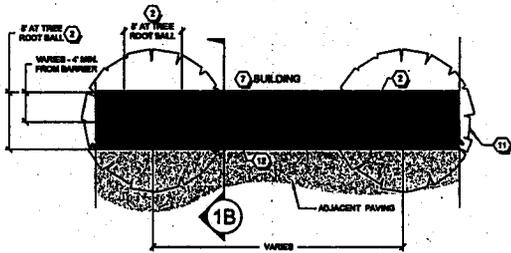
- NOTES:**
1. DETAIL IS SCHEMATIC ONLY.
 2. ALL STRUCTURAL ITEMS TO CONFORM TO ALL APPLICABLE INTERNATIONAL, NATIONAL, STATE AND LOCAL BUILDING CODES.
 3. ALL STRUCTURAL CROSS SECTIONS SHALL BE REVIEWED BY A QUALIFIED ENGINEER AND MODIFIED AS NECESSARY BASED ON THE SITE SPECIFIC GEOTECHNICAL REPORT WHICH IDENTIFIES THE SPECIFIC SITE CHARACTERISTICS.
 4. TREE ROOT ZONE SHALL MEET MINIMUM SOIL VOLUME STATED IN THE TYPICAL URBAN DESIGN GUIDELINES.
 5. LANDSCAPE AMENITY PANELS MEASURED FROM FRONT OF CURB, OR APPROVED EQUAL.

REFERENCE NOTES SCHEDULE

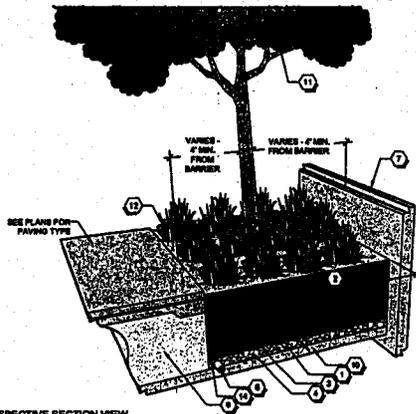
SYMBOL	DESCRIPTION
1	TREE ROOT ZONE - TO BE CONTIGUOUS BETWEEN TREES. TREES TO SHARE GROWTH MEDIA.
2	TREE ROOT ZONE AT TREE ROOT BALL SHALL BE A MIN OF 4' LENGTH & 4' WIDTH WITH A MAXIMUM 4' DEPTH. THIS MAY BE ACHIEVED BY USE OF STRUCTURAL CELL TECHNOLOGY AND/OR CANTILEVERED PAVING.
3	FILTER FABRIC
4	IF FREE DRAIN GRAVEL
5	PERFORATED DRAIN PIPE WRAPPED IN FILTER FABRIC
6	BUILDING - SEE ARCHITECTURE PLANS
7	COMPACTED SUBGRADE
8	STRUCTURAL CELL TECHNOLOGY OR APPROVED ROOT ZONE STRUCTURAL SYSTEM
9	STREET TREE - SEE SHEET L-4.9 FOR SUGGESTED TREE GENUS & SPECIES.
10	PLANTING BED WITH MULCH
11	LIMITS OF TREE ROOT ZONE BELOW PAVING
12	HEAVY MILL ROOT BARRIER
13	ROOT LIMIT OF MAINTENANCE - 1' FROM FRONT OF CURB

3 PLAZA TREE
L-12.0 PLAN / PERSPECTIVE SECTION

08A-248
AS NOTED



1A PLAN VIEW
1/8" = 1'-0"



1B PERSPECTIVE SECTION VIEW
NTS

TREE DETAIL DESCRIPTION:

TREE PLANTED ON STRUCTURE IN LANE PLANTING BED. THIS TREE IS DESIGNED TO MEET THE CITY'S DESIGN FOR PLANTING THE USE OF STRUCTURAL CELL TECHNOLOGY AND/OR CANTILEVERED PAVING.

TREE DETAIL LOCATION:

1. BUILDING AS SHOWN IN ARCHITECTURE PLAN
2. SEE ARCHITECTURE PLAN

NOTES:

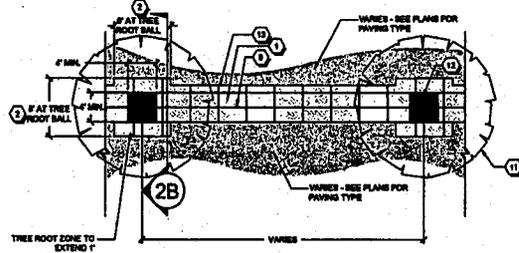
1. DETAIL IS SCHEMATIC ONLY.
2. ALL STRUCTURAL ITEMS TO CONFORM TO ALL APPLICABLE INTERNATIONAL, NATIONAL, STATE AND LOCAL BUILDING CODES.
3. ALL STRUCTURAL CROSS SECTIONS SHALL BE REVIEWED BY A QUALIFIED ENGINEER AND NOTED AS NECESSARY BASED ON THE SITE SPECIFIC GEOTECHNICAL REPORT WHICH IDENTIFIES THE SPECIFIC SITE CHARACTERISTICS.
4. TREE ROOT ZONE SHALL MEET MINIMUM SOIL VOLUME STATED IN THE TYPECUT URBAN DESIGN GUIDELINES.
5. LANDSCAPE AMENITY PANEL MEASURED FROM FRONT OF CLUMP.
6. OR APPROVED EQUAL.

REFERENCE NOTES SCHEDULE

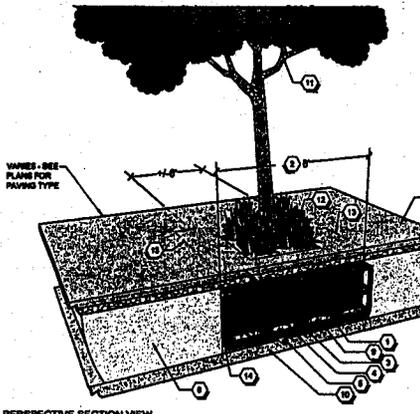
- | SYMBOL | DESCRIPTION |
|--------|--|
| 1 | TREE ROOT ZONE - TO BE CONTINUOUS BETWEEN TREES. TREES TO SHARE GROWTH MEDIA. |
| 2 | TREE ROOT ZONE AT TREE ROOT BALL SHALL BE A MIN OF 4' LENGTH & 6" WIDTH WITH A MAXIMUM 4" DEPTH. THIS MAY BE ACHIEVED BY USE OF STRUCTURAL CELL TECHNOLOGY AND/OR CANTILEVERED PAVING. |
| 3 | FILTER FABRIC |
| 4 | 6" FREE DRAIN GRAVEL |
| 5 | PERFORATED DRAIN PIPE WRAPPED IN FILTER FABRIC |
| 6 | FILL MATERIAL - TBD |
| 7 | BUILDING - SEE ARCHITECTURE PLANS |
| 8 | STRUCTURAL CELL TECHNOLOGY OR APPROVED ROOT ZONE STRUCTURAL SYSTEM |
| 9 | STRUCTURAL SLAB, BY OTHERS - TO HAVE ADEQUATE WATERPROOFING / WATERPROOFING PROTECTION LAYER AS REQUIRED. |
| 10 | STREET TREE - SEE SHEET L-14 FOR SUGGESTED TREE GENUS & SPECIES. |
| 11 | PLANTING BED WITH MULCH |
| 12 | LIMITS OF TREE ROOT ZONE BELOW PAVING |
| 13 | HEAVY MILL ROOT BARRIER |
| 14 | ROOT LIMIT OF MAINTENANCE - 18" FROM FRONT OF CLUMP |

1 PLAZA TREE ON STRUCTURE - TYPE 1
1-12.1 PLAN / PERSPECTIVE SECTION

08A-248
AS NOTED



2A PLAN VIEW
1/8" = 1'-0"



2B PERSPECTIVE SECTION VIEW
NTS

TREE DETAIL DESCRIPTION:

TREE FIT TO SEE WALK, SEE PLANS - 6" MIN FREE DRAIN. TREE PLANTED ON STRUCTURE.

TREE DETAIL LOCATION:

1. BUILDING AS SHOWN IN ARCHITECTURE PLAN
2. SEE ARCHITECTURE PLAN

NOTES:

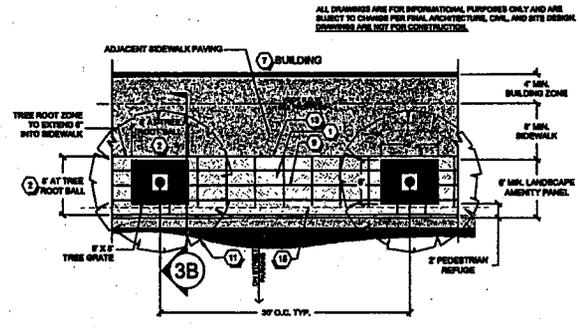
1. DETAIL IS SCHEMATIC ONLY.
2. ALL STRUCTURAL ITEMS TO CONFORM TO ALL APPLICABLE INTERNATIONAL, NATIONAL, STATE AND LOCAL BUILDING CODES.
3. ALL STRUCTURAL CROSS SECTIONS SHALL BE REVIEWED BY A QUALIFIED ENGINEER AND NOTED AS NECESSARY BASED ON THE SITE SPECIFIC GEOTECHNICAL REPORT WHICH IDENTIFIES THE SPECIFIC SITE CHARACTERISTICS.
4. TREE ROOT ZONE SHALL MEET MINIMUM SOIL VOLUME STATED IN THE TYPECUT URBAN DESIGN GUIDELINES.
5. LANDSCAPE AMENITY PANEL MEASURED FROM FRONT OF CLUMP.
6. OR APPROVED EQUAL.

REFERENCE NOTES SCHEDULE

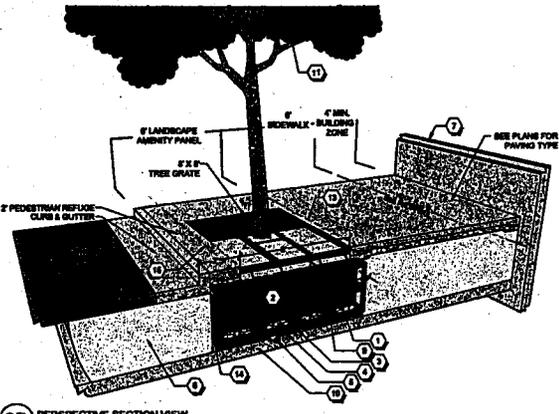
- | SYMBOL | DESCRIPTION |
|--------|--|
| 1 | TREE ROOT ZONE - TO BE CONTINUOUS BETWEEN TREES. TREES TO SHARE GROWTH MEDIA. |
| 2 | TREE ROOT ZONE AT TREE ROOT BALL SHALL BE A MIN OF 4' LENGTH & 6" WIDTH WITH A MAXIMUM 4" DEPTH. THIS MAY BE ACHIEVED BY USE OF STRUCTURAL CELL TECHNOLOGY AND/OR CANTILEVERED PAVING. |
| 3 | FILTER FABRIC |
| 4 | 6" FREE DRAIN GRAVEL |
| 5 | PERFORATED DRAIN PIPE WRAPPED IN FILTER FABRIC |
| 6 | FILL MATERIAL - TBD |
| 7 | BUILDING - SEE ARCHITECTURE PLANS |
| 8 | STRUCTURAL CELL TECHNOLOGY OR APPROVED ROOT ZONE STRUCTURAL SYSTEM |
| 9 | STRUCTURAL SLAB, BY OTHERS - TO HAVE ADEQUATE WATERPROOFING / WATERPROOFING PROTECTION LAYER AS REQUIRED. |
| 10 | STREET TREE - SEE SHEET L-14 FOR SUGGESTED TREE GENUS & SPECIES. |
| 11 | PLANTING BED WITH MULCH |
| 12 | LIMITS OF TREE ROOT ZONE BELOW PAVING |
| 13 | HEAVY MILL ROOT BARRIER |
| 14 | ROOT LIMIT OF MAINTENANCE - 18" FROM FRONT OF CLUMP |

2 PLAZA TREE ON STRUCTURE - TYPE 2
1-12.1 PLAN / PERSPECTIVE SECTION

08A-248
AS NOTED



3A PLAN VIEW
1/8" = 1'-0"



3B PERSPECTIVE SECTION VIEW
NTS

TREE DETAIL DESCRIPTION:

6" FREE FIT WITH TREE GRATE. TREE PLANTER ON STRUCTURE.

TREE DETAIL LOCATION:

1. BORO PLACE

NOTES:

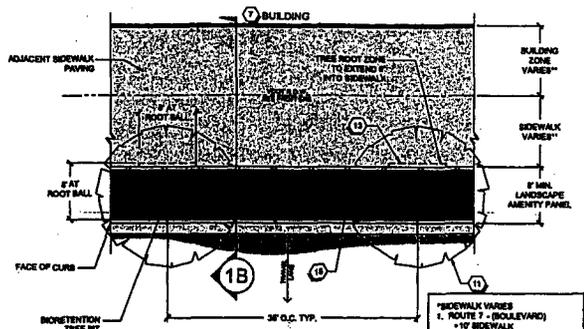
1. DETAIL IS SCHEMATIC ONLY.
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3. ALL STRUCTURAL CROSS SECTIONS SHALL BE REVIEWED BY A QUALIFIED ENGINEER AND NOTED AS NECESSARY BASED ON THE SITE SPECIFIC GEOTECHNICAL REPORT WHICH IDENTIFIES THE SPECIFIC SITE CHARACTERISTICS.
4. TREE ROOT ZONE SHALL MEET MINIMUM SOIL VOLUME STATED IN THE TYPECUT URBAN DESIGN GUIDELINES.
5. LANDSCAPE AMENITY PANEL MEASURED FROM FRONT OF CLUMP.
6. OR APPROVED EQUAL.

REFERENCE NOTES SCHEDULE

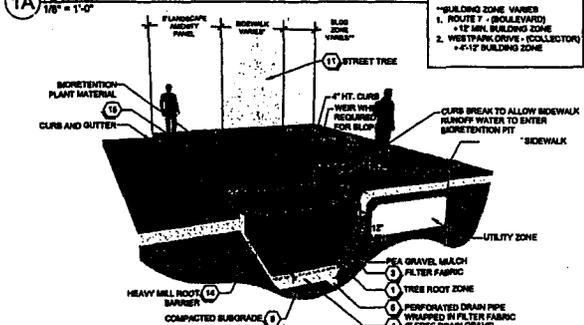
- | SYMBOL | DESCRIPTION |
|--------|--|
| 1 | TREE ROOT ZONE - TO BE CONTINUOUS BETWEEN TREES. TREES TO SHARE GROWTH MEDIA. |
| 2 | TREE ROOT ZONE AT TREE ROOT BALL SHALL BE A MIN OF 4' LENGTH & 6" WIDTH WITH A MAXIMUM 4" DEPTH. THIS MAY BE ACHIEVED BY USE OF STRUCTURAL CELL TECHNOLOGY AND/OR CANTILEVERED PAVING. |
| 3 | FILTER FABRIC |
| 4 | 6" FREE DRAIN GRAVEL |
| 5 | PERFORATED DRAIN PIPE WRAPPED IN FILTER FABRIC |
| 6 | FILL MATERIAL - TBD |
| 7 | BUILDING - SEE ARCHITECTURE PLANS |
| 8 | STRUCTURAL CELL TECHNOLOGY OR APPROVED ROOT ZONE STRUCTURAL SYSTEM |
| 9 | STRUCTURAL SLAB, BY OTHERS - TO HAVE ADEQUATE WATERPROOFING / WATERPROOFING PROTECTION LAYER AS REQUIRED. |
| 10 | STREET TREE - SEE SHEET L-14 FOR SUGGESTED TREE GENUS & SPECIES. |
| 11 | PLANTING BED WITH MULCH |
| 12 | LIMITS OF TREE ROOT ZONE BELOW PAVING |
| 13 | HEAVY MILL ROOT BARRIER |
| 14 | ROOT LIMIT OF MAINTENANCE - 18" FROM FRONT OF CLUMP |

3 STREET TREE ON STRUCTURE
1-12.1 PLAN / PERSPECTIVE SECTION

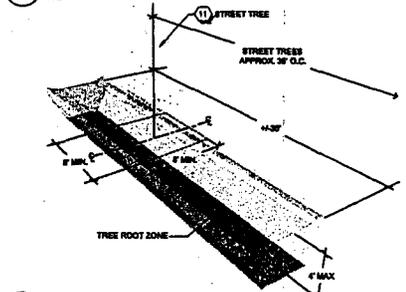
08A-248
AS NOTED



1A PLAN VIEW
1/8" = 1'-0"



1B PERSPECTIVE SECTION VIEW
NTS

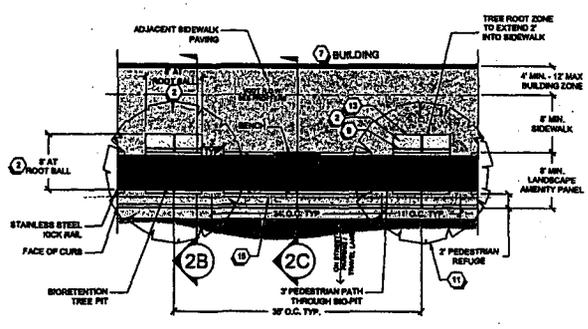


1C TREE ROOT ZONE
NTS

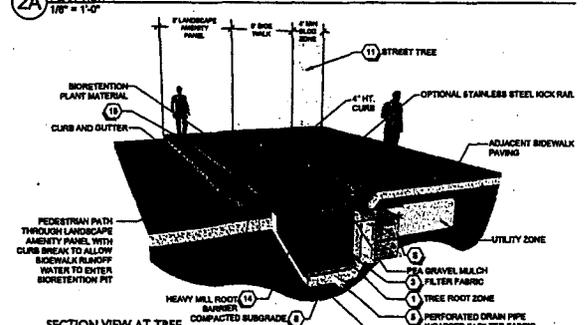
- SYMBOL NOTES SCHEDULE**
- | SYMBOL | DESCRIPTION |
|--------|--|
| ① | TREE ROOT ZONE - TO BE CONTINUOUS BETWEEN TREES. TREES TO SHARE GROWTH MEDIA. |
| ② | TREE ROOT ZONE AT TREE ROOT BALL SHALL BE A MIN OF 6' LENGTH & 6' WIDTH WITH A MAXIMUM 4' DEPTH. THIS MAY BE ACHIEVED BY USE OF STRUCTURAL CELL TECHNOLOGY AND/OR CANTILEVERED PAVING. |
| ③ | FILTER FABRIC |
| ④ | 6" FREE DRAIN GRAVEL |
| ⑤ | PERFORATED DRAIN PIPE WRAPPED IN FILTER FABRIC |
| ⑥ | BUILDING - SEE ARCHITECTURE PLANS |
| ⑦ | COMPACTED SUBGRADE |
| ⑧ | STRUCTURAL CELL TECHNOLOGY OR APPROVED ROOT ZONE STRUCTURAL SYSTEM |
| ⑨ | STREET TREE - SEE SHEET L-12.2 FOR SUGGESTED TREE GENUS & SPECIES. |
| ⑩ | LIMITS OF TREE ROOT ZONE BELOW PAVING |
| ⑪ | HEAVY MILL ROOT BARRIER |
| ⑫ | VOID LIMIT OF MAINTENANCE - 18" FROM FRONT OF CURB |

1 BIORETENTION TREE PIT - TYPE 1
L-12.2 PLAN / PERSPECTIVE SECTION

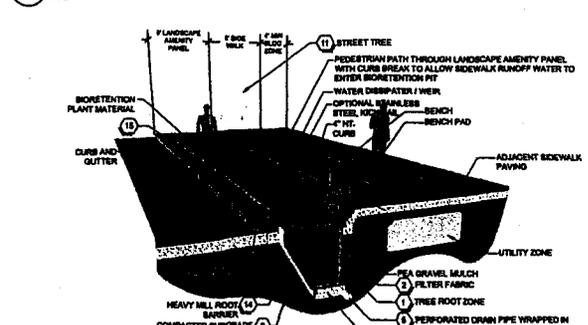
ORA-247
AS NOTED



2A PLAN VIEW
1/8" = 1'-0"



2B PERSPECTIVE SECTION VIEW
NTS

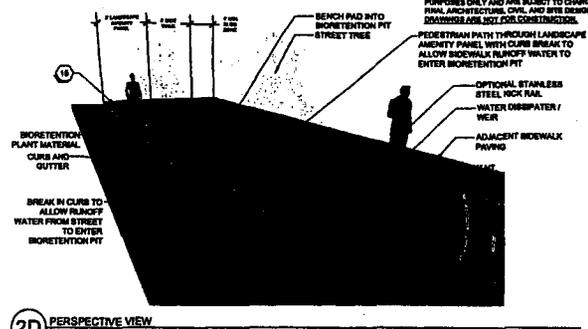


2C SECTION VIEW AT BENCH
NTS

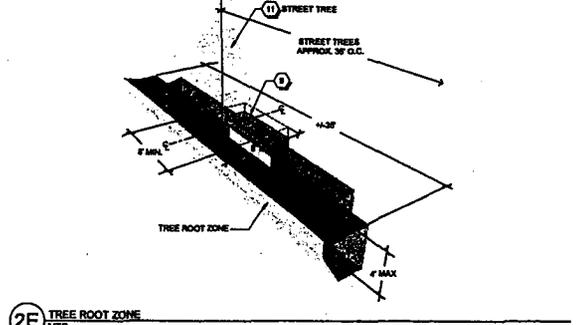
- SYMBOL NOTES SCHEDULE**
- | SYMBOL | DESCRIPTION |
|--------|--|
| ① | TREE ROOT ZONE - TO BE CONTINUOUS BETWEEN TREES. TREES TO SHARE GROWTH MEDIA. |
| ② | TREE ROOT ZONE AT TREE ROOT BALL SHALL BE A MIN OF 6' LENGTH & 6' WIDTH WITH A MAXIMUM 4' DEPTH. THIS MAY BE ACHIEVED BY USE OF STRUCTURAL CELL TECHNOLOGY AND/OR CANTILEVERED PAVING. |
| ③ | FILTER FABRIC |
| ④ | 6" FREE DRAIN GRAVEL |
| ⑤ | PERFORATED DRAIN PIPE WRAPPED IN FILTER FABRIC |
| ⑥ | BUILDING - SEE ARCHITECTURE PLANS |
| ⑦ | COMPACTED SUBGRADE |
| ⑧ | STRUCTURAL CELL TECHNOLOGY OR APPROVED ROOT ZONE STRUCTURAL SYSTEM |
| ⑨ | STREET TREE - SEE SHEET L-12.2 FOR SUGGESTED TREE GENUS & SPECIES. |
| ⑩ | LIMITS OF TREE ROOT ZONE BELOW PAVING |
| ⑪ | HEAVY MILL ROOT BARRIER |
| ⑫ | VOID LIMIT OF MAINTENANCE - 18" FROM FRONT OF CURB |

2 BIORETENTION TREE PIT - TYPE 2
L-12.2 PLAN / PERSPECTIVE SECTION

ORA-247
AS NOTED



2D PERSPECTIVE VIEW
NTS



2E TREE ROOT ZONE
NTS

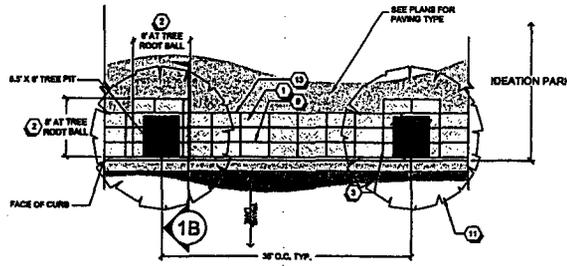


2F WATER FLOW DIAGRAM ENLARGEMENT
NTS

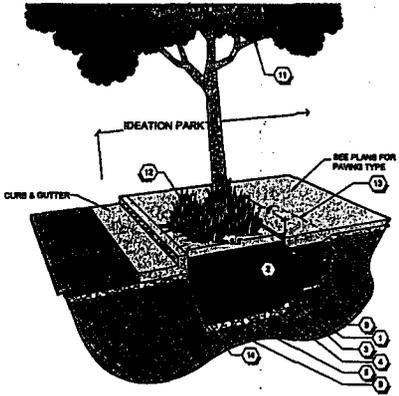
- SYMBOL NOTES SCHEDULE**
- | SYMBOL | DESCRIPTION |
|--------|--|
| ① | TREE ROOT ZONE - TO BE CONTINUOUS BETWEEN TREES. TREES TO SHARE GROWTH MEDIA. |
| ② | TREE ROOT ZONE AT TREE ROOT BALL SHALL BE A MIN OF 6' LENGTH & 6' WIDTH WITH A MAXIMUM 4' DEPTH. THIS MAY BE ACHIEVED BY USE OF STRUCTURAL CELL TECHNOLOGY AND/OR CANTILEVERED PAVING. |
| ③ | FILTER FABRIC |
| ④ | 6" FREE DRAIN GRAVEL |
| ⑤ | PERFORATED DRAIN PIPE WRAPPED IN FILTER FABRIC |
| ⑥ | BUILDING - SEE ARCHITECTURE PLANS |
| ⑦ | COMPACTED SUBGRADE |
| ⑧ | STRUCTURAL CELL TECHNOLOGY OR APPROVED ROOT ZONE STRUCTURAL SYSTEM |
| ⑨ | STREET TREE - SEE SHEET L-12.2 FOR SUGGESTED TREE GENUS & SPECIES. |
| ⑩ | LIMITS OF TREE ROOT ZONE BELOW PAVING |
| ⑪ | HEAVY MILL ROOT BARRIER |
| ⑫ | VOID LIMIT OF MAINTENANCE - 18" FROM FRONT OF CURB |

3 BIORETENTION TREE PIT - TYPE 2
L-12.2 PLAN / PERSPECTIVE SECTION

ORA-247
AS NOTED



1A PLAN VIEW
1/8" = 1'-0"



1B PERSPECTIVE SECTION VIEW
NTS

TREE DETAIL DESCRIPTION:
4.5'x8' TREE PIT ON GRADE LOCATED STREET SIDE AT IDEATION PARK.

TREE DETAIL LOCATION:
• IDEATION PARK

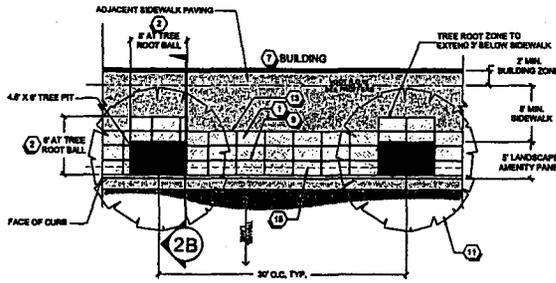
- NOTES:**
1. DETAIL IS SCHEMATIC ONLY.
 2. ALL STRUCTURAL ITEMS TO CONFORM TO ALL APPLICABLE INTERNATIONAL, NATIONAL, STATE AND LOCAL BUILDING CODES.
 3. ALL STRUCTURAL CROSS SECTIONS SHALL BE REVIEWED BY A QUALIFIED ENGINEER AND MODIFIED AS NECESSARY BASED ON THE SITE SPECIFIC GEOTECHNICAL REPORT WHICH IDENTIFIES THE SPECIFIC SITE CHARACTERISTICS.
 4. TREE ROOT ZONE SHALL MEET MINIMUM SOIL VOLUME STATED IN THE TYSON'S URBAN DESIGN GUIDELINES.
 5. LANDSCAPE AMENITY PANELS, MEASURED FROM FRONT OF CURB OR APPROVED EQUAL.

REFERENCE NOTES SCHEDULE

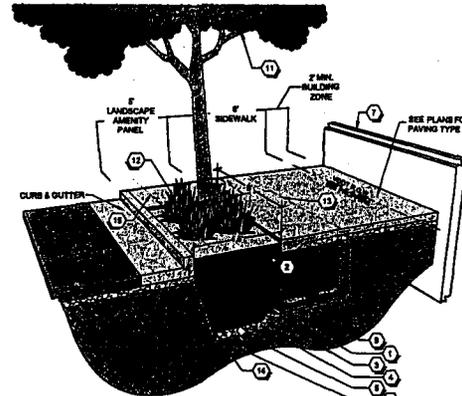
SYMBOL	DESCRIPTION
1	TREE ROOT ZONE - TO BE CONTINUOUS BETWEEN TREES. TREES TO SHARE GROWTH MEDIA.
2	TREE ROOT ZONE AT TREE ROOT BALL SHALL BE A MIN OF 8' LENGTH & 8' WIDTH WITH A MAXIMUM 4' DEPTH. THIS MAY BE ACHIEVED BY USE OF STRUCTURAL CELL TECHNOLOGY AND/OR CANTILEVERED PAVING.
3	FILTER FABRIC
4	8" FREE DRAIN GRAVEL
5	PERFORATED DRAIN PIPE WRAPPED IN FILTER FABRIC
6	BUILDING - SEE ARCHITECTURE PLANS
7	COMPACTED SUBGRADE
8	STRUCTURAL CELL TECHNOLOGY OR APPROVED ROOT ZONE STRUCTURAL SYSTEM
9	STREET TREE - SEE SHEET L-12.4 FOR SUGGESTED TREE SPECIES & SPECIES.
10	PLANTING BED WITH MULCH
11	LIMITS OF TREE ROOT ZONE BELOW PAVING
12	HEAVY MILL ROOT BARRIER
13	ROOT LIMIT OF MAINTENANCE - 1' FROM FRONT OF CURB OR APPROVED EQUAL.

1 STREET TREE AT IDEATION PARK
L-12.4 PLAN / PERSPECTIVE SECTION

08A-281
AS NOTED



2A PLAN VIEW
1/8" = 1'-0"



2B PERSPECTIVE SECTION VIEW
NTS

TREE DETAIL DESCRIPTION:
4.5'x8' TREE PIT ON GRADE LOCATED STREET SIDE.

TREE DETAIL LOCATION:
• STATIONS PLACE

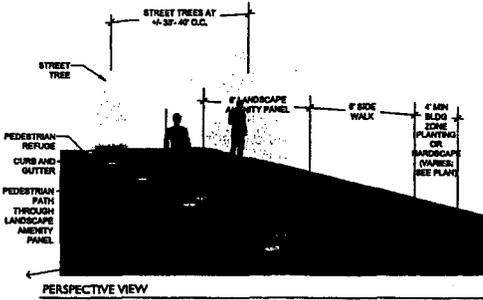
- NOTES:**
1. DETAIL IS SCHEMATIC ONLY.
 2. ALL STRUCTURAL ITEMS TO CONFORM TO ALL APPLICABLE INTERNATIONAL, NATIONAL, STATE AND LOCAL BUILDING CODES.
 3. ALL STRUCTURAL CROSS SECTIONS SHALL BE REVIEWED BY A QUALIFIED ENGINEER AND MODIFIED AS NECESSARY BASED ON THE SITE SPECIFIC GEOTECHNICAL REPORT WHICH IDENTIFIES THE SPECIFIC SITE CHARACTERISTICS.
 4. TREE ROOT ZONE SHALL MEET MINIMUM SOIL VOLUME STATED IN THE TYSON'S URBAN DESIGN GUIDELINES.
 5. LANDSCAPE AMENITY PANELS, MEASURED FROM FRONT OF CURB OR APPROVED EQUAL.

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION
1	TREE ROOT ZONE - TO BE CONTINUOUS BETWEEN TREES. TREES TO SHARE GROWTH MEDIA.
2	TREE ROOT ZONE AT TREE ROOT BALL SHALL BE A MIN OF 8' LENGTH & 8' WIDTH WITH A MAXIMUM 4' DEPTH. THIS MAY BE ACHIEVED BY USE OF STRUCTURAL CELL TECHNOLOGY AND/OR CANTILEVERED PAVING.
3	FILTER FABRIC
4	8" FREE DRAIN GRAVEL
5	PERFORATED DRAIN PIPE WRAPPED IN FILTER FABRIC
6	BUILDING - SEE ARCHITECTURE PLANS
7	COMPACTED SUBGRADE
8	STRUCTURAL CELL TECHNOLOGY OR APPROVED ROOT ZONE STRUCTURAL SYSTEM
9	STREET TREE - SEE SHEET L-12.4 FOR SUGGESTED TREE SPECIES & SPECIES.
10	PLANTING BED WITH MULCH
11	LIMITS OF TREE ROOT ZONE BELOW PAVING
12	HEAVY MILL ROOT BARRIER
13	ROOT LIMIT OF MAINTENANCE - 1' FROM FRONT OF CURB OR APPROVED EQUAL.

2 STREET TREE - TYPE 3
L-12.4 PLAN / PERSPECTIVE SECTION

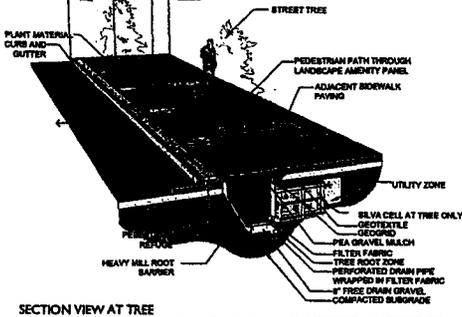
08A-281
AS NOTED



PERSPECTIVE VIEW



ENLARGEMENT

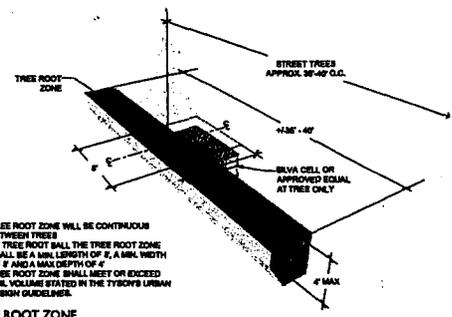


SECTION VIEW AT TREE

TREE DETAIL DESCRIPTION:
STANDARD TREE PLANTING THAT FOLLOWS SLOPE OF ROAD, WITH FOOTPRINTS THAT ALLOW FOR PEDESTRIAN MOVEMENT FROM ON-STREET PAVING TO SIDEWALK ZONE.

TREE DETAIL LOCATION:
• MIDBLOCK STREET
• SOLUTIONS DRIVE

IF BIORETENTION TREES ARE REQUIRED ON ADJACENT STREET OR SOLUTIONS DRIVE FOR STORMWATER CALCULATIONS, TREE DETAIL NOTES WILL APPLY AT SITE PLANS.



- NOTE:**
1. TREE ROOT ZONE WILL BE CONTINUOUS BETWEEN TREES.
 2. AT TREE ROOT BALL THE TREE ROOT ZONE SHALL BE A MIN LENGTH OF 8', A MIN WIDTH OF 8' AND A MAX DEPTH OF 4'.
 3. TREE ROOT ZONE SHALL MEET OR EXCEED SOIL VOLUME STATED IN THE TYSON'S URBAN DESIGN GUIDELINES.

TREE ROOT ZONE

3 STREET TREE ON SLOPE (NOT BIORETENTION)
L-12.4 PERSPECTIVE SECTIONS

08A-200
NTS

ALL DIMENSIONS ARE FOR INFORMATIONAL PURPOSES ONLY AND ARE SUBJECT TO CHANGE PER FINAL ARCHITECTURE, CIVIL, AND SITE DESIGN. DRAWINGS ARE NOT FOR CONSTRUCTION.

NO. 08A-200
REVISED: 11/15/15
CHECKED BY: JAC
DESIGNED BY: JAC
DATE: 11/15/15

DATE: 11/15/15
PROJECT: THE BORO
SHEET NUMBER:
L-12.4



JUNE 24, 2014

Zoning Evaluation Division

DESCRIPTION OF
ALL OF

FEB 18 2016

PARCELS A1, A2, B, C, E, F1, F2 & F3
LEASCO OFFICE PARK
DEED BOOK 23288 PAGE 1596
PROVIDENCE DISTRICT
FAIRFAX COUNTY, VIRGINIA

Department of Planning & Zoning
RECEIVED

Being all of Parcels A1, A2, B, C, E, F1, F2 & F3, Leasco Office Park as recorded on a Plat entitled "Plat Showing Parcels A1, A2, B, C, E, F1, F2 & F3 Being a Boundary Line Adjustment of Lots 4d Through 4F and Lots 7A Through 7E Leasco Office Park" and recorded in Deed Book 23288 at Page 1596 among the Land Records of Fairfax County, Virginia and being more particularly described as follows:

Beginning for the same at point marking the intersection of the southeasterly right of way line of Westpark Drive - Route 5061 (120' right of way) and the southwesterly right of way line of Greensboro Drive - Route #5063 (70' right of way), said point also marking the easterlymost corner of the property shown as Public Street Dedication for Westpark Drive as recorded in Deed Book 14079 at Page 657 among the aforesaid Land Records; thence leaving said intersection and running with said southwesterly right of way line of Greensboro Drive

1. South 38°01'46" East, 706.14 feet to point of curvature, said point of curvature also marking the intersection of the aforesaid southwesterly right of way line of Greensboro Drive and the northwesterly right of way line of Solutions Drive - Route #6054 (60' right of way); thence leaving said southwesterly right of way line of Greensboro Drive and running with said northwesterly right of way line of Solutions Drive the following four (4) courses and distances
2. 39.28 feet along the arc of a non-tangent curve to the right having a radius of 25.00 feet and a chord bearing and distance of South 06°58'14" West, 35.36 feet to an iron pipe (found); thence
3. South 51°58'14" West, 424.80 feet to a point of curvature (tangent); thence
4. 21.02 feet along the arc of a tangent curve to the right having a radius of 25.00 feet and a chord bearing and distance of South 76°03'56" West, 20.41 feet to a point of reverse curvature; thence
5. 146.75 feet along the arc of a curve to the left having a radius of 50.00 feet and a chord bearing and distance of South 16°03'49" West, 99.47 feet to a point marking a northerly corner of Lot 3C, Leasco Office Park as recorded in Deed Book 9238 at Page 1584 among the aforesaid Land Records; thence leaving the aforesaid northwesterly right of way line of Solutions Drive and running with said Lot 3C, Leasco Office Park (DB 9238 Pg 1584) the following two (2) courses and distances
6. South 20°27'42" East, 368.98 feet to and Iron pipe (found); thence
7. South 40°07'30" West, 113.79 feet to an iron pipe (found) marking the westerly corner of the property of Tysons Central, LLC as recorded in Deed Book 23691 at Page 143 and in Deed Book 23441 at Page 1189 all among the aforesaid Land Records; thence leaving the aforesaid Lot 3C, Leasco Office Park (DB 9238 Pg 1584) and running with said property of Tysons Central, LLC and

VIKA Virginia, LLC

DESCRIPTION OF
ALL OF
PARCELS A1, A2, B, C, E, F1, F2 & F3
LEASCO OFFICE PARK
DEED BOOK 23288 PAGE 1596
PROVIDENCE DISTRICT
FAIRFAX COUNTY, VIRGINIA
JUNE 24, 2014
SHEET 2 OF 3

RECEIVED
Department of Planning & Zoning
FEB 18 2016
Zoning Evaluation Division

- continuing with a portion of the property of The Commonwealth of Virginia as recorded in Deed Book 20404 at Page 1040 among the aforesaid Land Records
8. South 42°26'44" West, 187.64 feet to a point lying on the westerly right of way line of Leesburg Pike - Route #7 (Variable Width right of way), said point also marking the easterlymost corner of the property shown as Public Street Dedication as recorded in Deed Book 21477 at Page 1085 among the aforesaid Land Records; thence running with said westerly right of way line of Leesburg Pike the following nine (9) courses and distances
 9. South 52°01'54" West, 29.72 feet to a point of curvature (non-tangent); thence
 10. 51.29 feet along the arc of a curve to the left having a radius of 89.00 feet and a chord bearing and distance of North 51°58'45" West, 50.58 feet to a point of non-tangency; thence
 11. North 39°25'16" West, 65.34 feet to a point; thence
 12. South 84°22'14" West, 36.39 feet to a point; thence
 13. North 37°45'10" West, 386.28 feet to a point; thence
 15. North 35°09'43" West, 117.08 feet to a point; thence
 16. North 36°44'49" West, 97.05 feet to a point; thence
 17. North 34°24'16" West, 88.11 feet to a point; thence
 18. North 51°58'14" East, 3.26 feet to a point marking the southerly corner of the property of Tysons Westpark L.C. as recorded in Deed Book 14673 at Page 520 among the aforesaid Land Records; thence leaving the aforesaid westerly right of way line of Leesburg Pike and running with said property of Tysons Westpark L.C. (D.B. 14673 Pg. 520) the following two (2) courses and distances
 19. North 51°58'14" East, 463.29 feet to an iron pipe (found); thence
 20. North 38°01'46" West, 485.38 feet to an iron pipe (found) lying on the aforesaid southeasterly right of way line of Westpark Drive- Route 5061 (120' right of way); thence leaving the aforesaid property of Tysons Westpark L.C. (D.B. 14673 Pg. 520) and running with said southeasterly right of way line of Westpark Drive the following two (2) courses and distances
 21. North 64°59'02" East, 213.91 feet to a point of curvature ; thence
 22. 104.39 feet along the arc of a tangent curve to the left having a radius of 1410.00 feet and a chord bearing and distance of North 62°51'46" East, 104.37 feet to a point marking the northwesterly corner of the aforesaid Public Street Dedication for Westpark Drive (D.B. 14079, Pg. 657); thence running with said Public Street Dedication for Westpark Drive (D.B. 14079, Pg. 657); the following five (5) courses and distances
 23. South 89°05'00" East, 18.72 feet to a point of curvature (non-tangent); thence
 24. 110.82 feet along the arc of a curve to the left having a radius of 1419.50 feet and a chord bearing and distance of North 57°51'07" East, 110.79 feet to a point of non-tangency; thence
 25. North 35°40'54" East, 5.90 feet to a point of curvature (non-tangent); thence
 26. 79.51 feet along the arc of a non-tangent curve to the left having a radius of 1417.50 feet and a chord bearing and distance of North 53°47'04" East, 79.50 feet to a point (non-tangent); thence
 27. South 82°55'51" East, 39.94 feet to the point of beginning containing 788,855 square feet or 18.10962 acres of land more or less.



DESCRIPTION OF
ALL OF
PARCELS A1, A2, B, C, E, F1, F2 & F3
LEASCO OFFICE PARK
DEED BOOK 23288 PAGE 1596
PROVIDENCE DISTRICT
FAIRFAX COUNTY, VIRGINIA
JUNE 24, 2014
SHEET 3 OF 3

RECEIVED
Department of Planning & Zoning

FEB 18 2016

Zoning Evaluation Division

TOGETHER WITH 2,243 square feet or 0.05149 acres of land previously dedicated for Public Street Purposes for Westpark Drive as recorded in Deed Book 14079 at Page 657 among the Land Records of Fairfax County, Virginia.

FURTHER TOGETHER WITH 7,146 square feet or 0.16405 acres of land previously dedicated for Public Street Purposes for Leesburg Pike as recorded in Deed Book 21477 at Page 1085 among the Land Records of Fairfax County, Virginia.

FOR A TOTAL AREA FOR DENSITY PURPOSES OF 798,244 SQUARE FEET OR 18.32516 ACRES OF LAND MORE OR LESS.

X:\DATA\6000-6999\6021X\DESCRIPTION\Description Overall Certified Plat 6-24-2014.doc





COUNTY OF FAIRFAX
Department of Planning and Zoning
Zoning Evaluation Division
 12055 Government Center Parkway, Suite 801
 Fairfax, VA 22035 (703) 324-1290, TTY 711
www.fairfaxcounty.gov/dpz/zoning/applications

APPLICATION No: RZ 2010-PB-022

(Assigned by staff)

* Name change + update
 tax map this only.

RECEIVED
 Department of Planning & Zoning

SEP 18 2014

Zoning Evaluation Division

APPLICATION FOR A REZONING
 (PLEASE TYPE or PRINT IN BLACK INK)

PETITION

TO: THE BOARD OF SUPERVISORS OF FAIRFAX COUNTY, VIRGINIA

I (We), TMG Solutions Plaza Land, L.P., the applicant (s) petition you to adopt an ordinance amending the Zoning Map of Fairfax County, Virginia, by reclassifying from the C-4 District to the PTC District the property described below and outlined in red on the Zoning Section Sheet(s) accompanying and made part of this application.

APPLICATION TYPE(S): PCA () CDP (X) FDP () CDPA () FDPA ()

LEGAL DESCRIPTION:

See attached				
Lot(s)	Block(s)	Subdivision	Deed Book	Page No.

TAX MAP DESCRIPTION:

29-3	((15))		4D1, 4E1, 4F1, 4G, 7A1, 7B1, 7C1, 7E1	18.1 acres
Map No.	Double Circle No.	Single Circle No.	Parcel(s)/Lot(s) No.	Total Acreage

POSTAL ADDRESS OF PROPERTY:

N/A, 1710, 1707, 1709 SAIC Drive; 8303, 8301Z, 8301 Greensboro Drive, 8399 Westpark Drive, Tysons, VA 22102

ADVERTISING DISCRIPTION: (Example - North side of Lee Highway approx. 1000 feet west of its intersection with Newgate Blvd.)

Between Leesburg Pike (Route 7) and Greensboro Drive (Route 5063) south of Westpark Drive (Route 5061).

PRESENT USE: Office	PROPOSED USE: Office, hotel, residential, retail
MAGISTERIAL DISTRICT: Providence	OVERLAY DISTRICT (S): HC, SC

The name(s) and address(s) of owner(s) of record shall provided on the affidavit form attached and made part of this application. The undersigned has the power to authorize and does hereby authorize Fairfax County staff representative on official business to enter on the subject property as necessary to process the application.

Martin D. Walsh, attorney/agent

M D Walsh
 Signature of Applicant or Agent

Type or Print Name
 Walsh, Colucci, Lubeley & Walsh, P.C.
 2200 Clarendon Blvd., Suite 1300, Arlington, VA 22201
 Address

(Work) (703) 528-4700 (Mobile)
 Telephone Number

Please provide name and telephone number of contact if different from above:

Elizabeth D. Baker 703-528-4700

DO NOT WRITE BELOW THIS SPACE

Date application accepted: September 22, 2014 Deborah Leato Fee Paid \$ Ø
Leato