



County of Fairfax, Virginia

May 4, 2016

STAFF REPORT

SPECIAL PERMIT SP 2016-MV-012

MOUNT VERNON DISTRICT

APPLICANTS/OWNERS: Jack H. Jeter, Trustee
Susan B. Jeter, Trustee

STREET ADDRESS: 2003 Westfield Street, Alexandria, 22308

SUBDIVISION: Stratford Landing

TAX MAP REFERENCE: 111-1 ((3)) (6) 17

LOT SIZE: 13,278 square feet

ZONING DISTRICT: R-3

ZONING ORDINANCE PROVISION: 8-922

SPECIAL PERMIT PROPOSAL: To permit reduction in certain yard requirements to permit construction of an addition (enclosed carport) 10.7 feet from a side lot line and to permit reduction of minimum yard requirements based on errors in building location to permit a deck (at grade patio) to remain 2.5 feet from a side lot line.

STAFF RECOMMENDATION:

Staff recommends approval of SP 2016-MV-012 for the addition with adoption of the proposed development conditions contained in Appendix 1.

Staff does not make recommendations on building in error applications. However, if it is the intention of the Board of Zoning Appeals to approve the request for a special permit for error in building location to allow the patio to remain, staff recommends that such approval be made subject to the development conditions contained in Appendix 1.

Erin M. Haley

It should be noted that it is not the intent of staff to recommend that the Board, in adopting any conditions, relieve the applicants/owners from compliance with the provisions of any applicable ordinances, regulations, or adopted standards.

It should be further noted that the content of this report reflects the analysis and recommendations of staff; it does not reflect the position of the Board of Zoning Appeals. A copy of the BZA's Resolution setting forth this decision will be mailed within five days after the decision becomes final.

The approval of this application does not interfere with, abrogate or annul any easements, covenants, or other agreements between parties, as they may apply to the property subject to the application.

For additional information, call Zoning Evaluation Division, Department of Planning and Zoning at 703-324-1280, 12055 Government Center Parkway, Suite 801, Fairfax, Virginia 22035. **Board of Zoning Appeals' meetings are held in the Board Room, Ground Level, Government Center Building, 12000 Government Center Parkway, Fairfax, Virginia 22035-5505.**

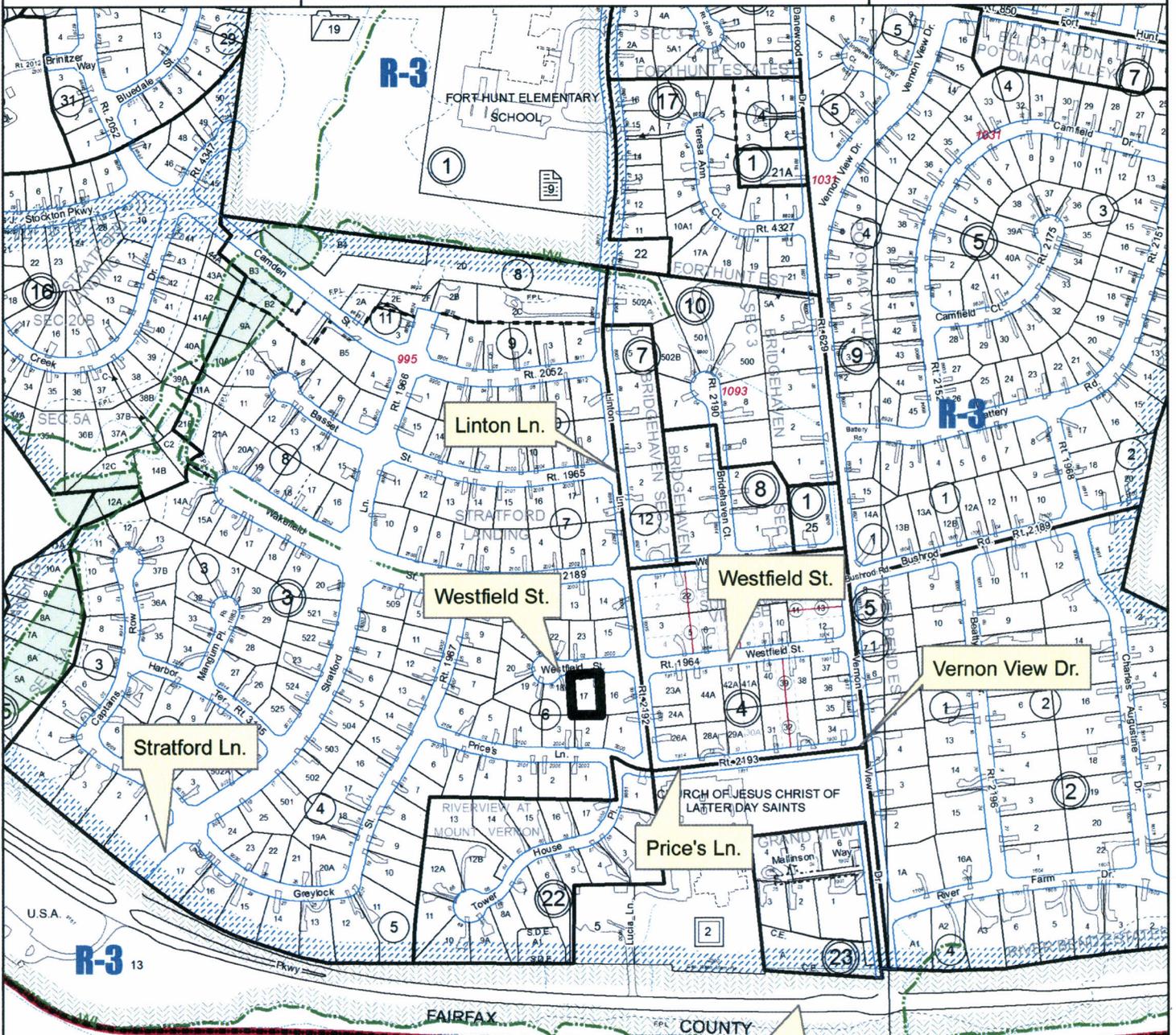


Americans with Disabilities Act (ADA): Reasonable accommodation is available upon 48 hours advance notice. For additional information on ADA call (703) 324-1334 or TTY 711 (Virginia Relay Center).



Special Permit SP 2016-MV-012

JACK H. JETER, TR AND SUSAN B. JETER, TR



PRINCE GEORGES COUNTY

George Washington Memorial Pkwy.



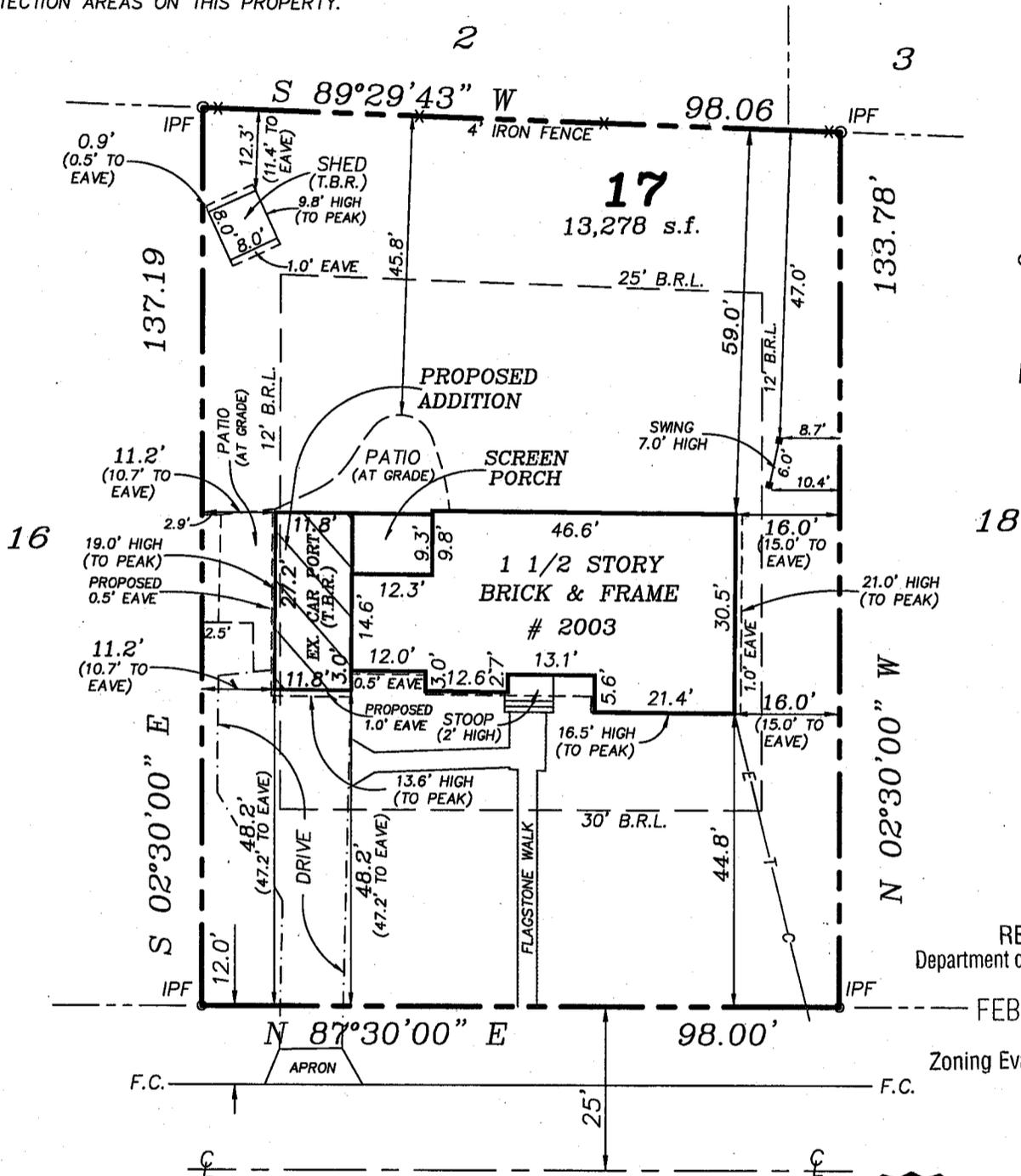
NOTES:

- PROPERTY IS LOCATED ON TAX MAP NO. 111-1-03-060017 AND IS PRESENTLY ZONED R-3 AS PER FAIRFAX COUNTY RECORDS.
- R-3 B.R.L.'s: FRONT: 30'
SIDE: 12'
REAR: 25'
- NO TITLE REPORT FURNISHED.
- PROPERTY IS SERVED BY PUBLIC WATER AND SEWER.
- AS PER PLAT OF RECORD AND INFORMATION PROVIDED BY OWNER, THERE ARE NO EASEMENTS ON THIS PROPERTY.
- THERE ARE NO FLOODPLAINS OR RESOURCE PROTECTION AREAS ON THIS PROPERTY.

7. ACCORDING TO HUD-FIA MAP FOR FAIRFAX COUNTY, THIS PROPERTY IS SHOWN TO BE IN ZONE "X", AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

AREA CALCULATIONS

EX. CAR PORT: 295 s.f.
 EX. FIRST FLOOR: 1,498 s.f.
 EX. SCREENED PORCH: 121 s.f.
 EX. GROSS FLOOR AREA: 1,498 s.f.
 EX. FLOOR AREA RATIO: EX. GFA (1,498)/LOT AREA (13,259)=11.3%
 PROP. ADDITION: 329 s.f./EX. GFA (1,498)=22.0%
 PROP. GFA: EX. GFA (1,498) + PROP. ADDITION (329)=1,827 s.f.
 PROP. FLOOR AREA RATIO: PROP. GFA (1,827)/LOT AREA (13,259)=13.8%



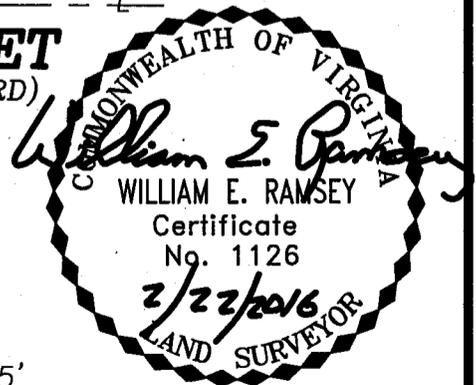
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SPECIAL PERMIT
 LOT 17
 BLOCK 6
 SECTION 3

WESTFIELD STREET
 (WESTMORELAND ST. OF RECORD)
 (50' WIDE)

STRATFORD LANDING

MOUNT VERNON DISTRICT
 FAIRFAX COUNTY, VIRGINIA
 REVISED: FEBRUARY 22, 2016
 REVISED: FEBRUARY 11, 2016
 DATE: DECEMBER 22, 2015.



SCALE : 1"=25'

TITLE REPORT NOT FURNISHED.
 FENCES, IF SHOWN, ARE APPROXIMATE ONLY AND DO NOT CERTIFY AS TO OWNERSHIP.
 IPF-DENOTES IRON PIPE FOUND.

WILLIAM E. RAMSEY, P.C.
 LAND SURVEYOR
 FAIRFAX, VIRGINIA
 703-385-4499

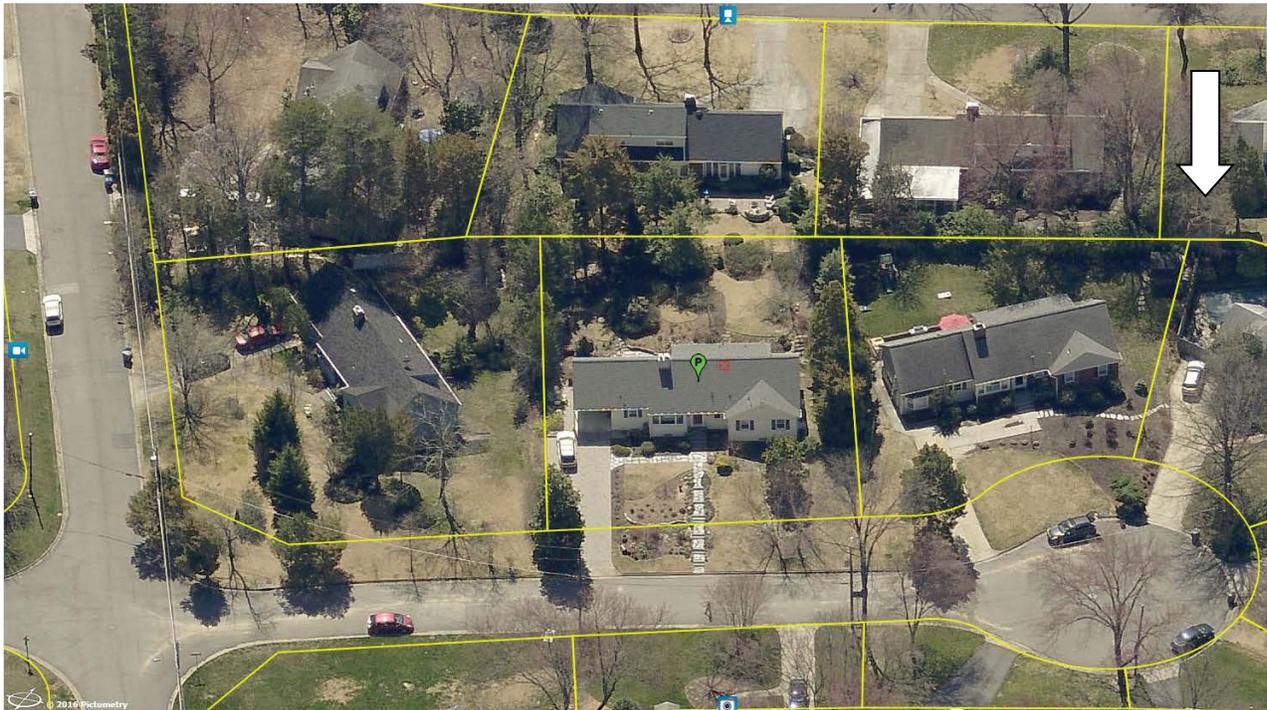
SPECIAL PERMIT REQUEST

The applicant is requesting approval of a special permit to allow a reduction in yard requirements for the construction of a garage addition (enclosed carport) 10.7 feet from a side lot line. The proposed addition, located on the eastern side of the house, will measure 19 feet in height and 329 square feet in area. The applicant also requests approval of a special permit to allow the reduction of minimum yard requirements based on an error in building location to permit a deck (an at grade brick patio) to remain 2.5 feet from the eastern side lot line.

A copy of the special permit plat titled, "Special Permit, Lot 17, Block 6, Section 3, Stratford Landing," prepared by William E. Ramsey, L.S., dated December 22, 2015, as revised through February 22, 2016, is included in the front of the staff report.

Copies of the proposed development conditions, the statement of justification and select file photographs and the affidavit are contained in Appendices 1 through 3, respectively.

CHARACTER OF THE SITE AND SURROUNDING AREA



The 13,278 square foot lot contains a split level single family detached dwelling with a full basement. A brick driveway provides access from Westfield Street to a one car carport located at the eastern side of the house. A flagstone walkway leads from the driveway to the front stoop and another flagstone walkway and staircase leads from the stoop to

Westfield Street. A brick walkway and patio extend along the side of the carport. A slate patio and screen porch are located at the rear of the house. A shed 9.8 feet in height is located in the southeastern corner of the rear yard and is to be removed. A swing 7.0 feet in height is located in the western portion of the rear yard. Both the front and rear yard are landscaped and the property has a slight slope going down from the rear of the lot to Westfield Street.

The subject property and surrounding properties are zoned R-3 and developed with single family detached dwellings. The property is located near the intersection of Westfield Street and Linton Lane, north of Fairfax County Parkway and the Prince Georges County line.

BACKGROUND AND HISTORY

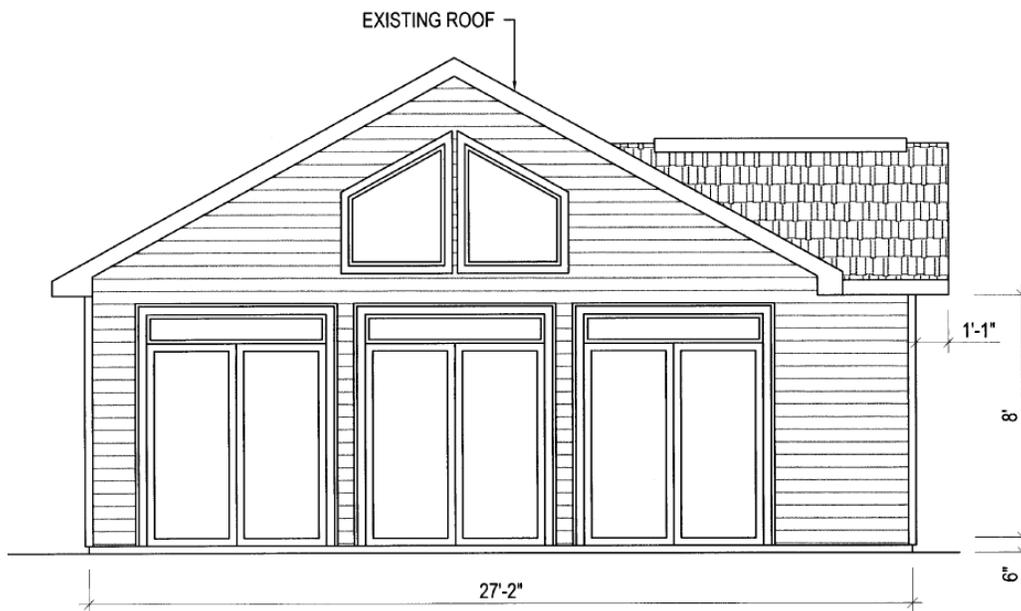
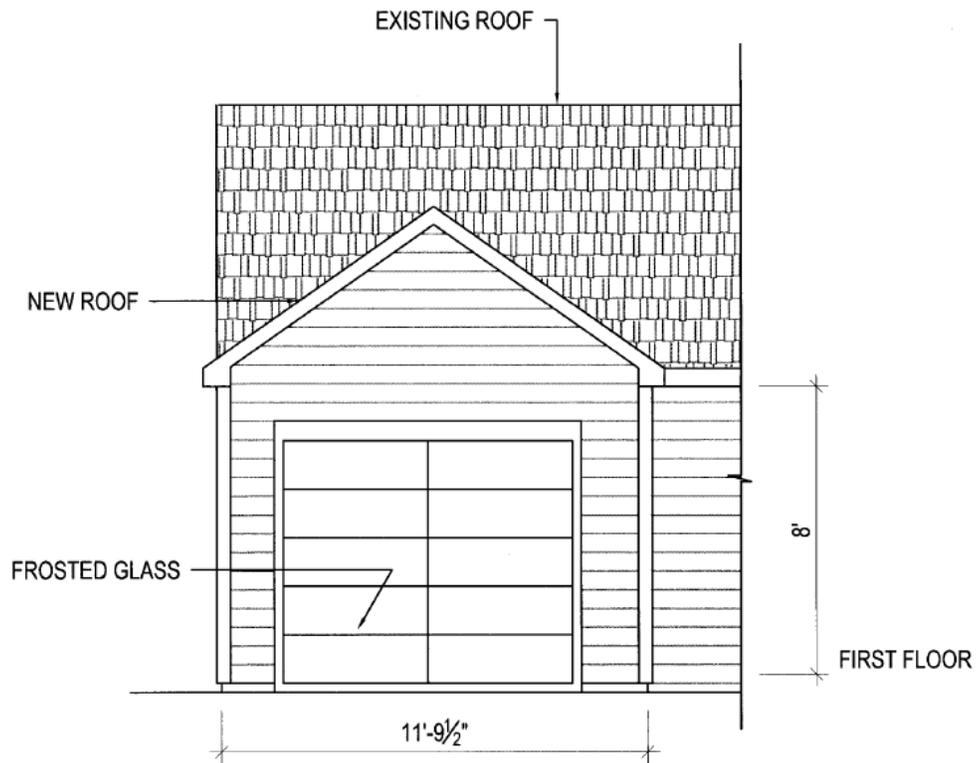
Fairfax County Tax Records indicate that the single family dwelling was constructed in 1955 and purchased by the applicants in 2006.

Since the adoption of the Zoning Ordinance, the BZA has heard several similar cases to allow additions to encroach into the minimum required side yard on nearby properties. There have been several applications for properties on Greylock Street and the most recent approval was for a property on Wakefield Street. Details about these applications included in Appendix 4.

DESCRIPTION OF THE APPLICATION

The applicant is requesting approval of a special permit for a reduction of certain yard requirements to enclose the existing carport to create a one car garage. The garage will be located 10.7 feet from the eastern side lot line. In the R-3 zoning district, the required side yard is 12.0 feet. Therefore, the applicant is requesting a reduction of 1.3 feet, or 10.8 percent from the side lot line.

The addition would be approximately 329 square feet in size and 19 feet in height. Elevations and the applicant's statement of justification indicate that the addition would match the appearance and materials of the existing house.



In addition, the applicants request approval of a special permit for a reduction of minimum yard requirements based on an error in building location to permit an at grade brick patio, which was installed by the applicants, located 2.5 feet from the eastern side lot line. Therefore, the applicants are requesting a reduction of 9.5 feet or 79.1%.

ANALYSIS

Comprehensive Plan Provisions

Plan Area: Area IV, Mount Vernon Planning District
Planning Sector: Fort Hunt Community Planning Sector (MV6)
Plan Map: Residential, 2-3 dwelling units per acre

Zoning District Standards

Bulk Standards (R-3)		
Standard	Required	Provided
Lot Size	10,500 sf.	13,276 sf.
Lot Width	Interior: 80 feet	98 feet
Building Height	35 feet	21 feet
Front Yard	30 feet	44.8 feet
Side Yard	12 feet	Western: 16 feet Eastern: 11.2 feet*
Rear Yard	25 feet	45.8 feet

* Per Zoning Ordinance Sect. 2-412, carports may extend 5.0 feet into any minimum required side yard. The proposed garage will maintain the 11.2 foot setback to the structure and 10.7 feet to the eave.

Zoning Ordinance Requirements (Appendix 5)

- Sect. 8-006 General Special Permit Standards
- Sect. 8-903 Group 9 Standards
- Sect. 8-922 Provisions for Reduction of Certain Yard Requirements

This special permit is subject to sections of the Zoning Ordinance as referenced above, a copy of which is included in Appendix 5. Subject to development conditions, the special permit must meet these standards.

General Standards for Special Permit Uses (Sect. 8-006)

Standards 1 & 2 <i>Comprehensive Plan/ Zoning District</i>	The Comprehensive Plan recommends residential uses and the property is developed with a residential use. The R-3 District allows a reduction in minimum required yards with special permit approval. The proposed use is in harmony with the Comprehensive Plan and the general purpose and intent of the R-3 District.
Standard 3 <i>Adjacent Development</i>	In staff's opinion, the proposed use will not hinder or discourage use or development of neighboring properties or negatively affect value. Through testimony provided by the applicant and photographic research,

	staff has observed that several properties in the surrounding area have added on to their existing dwellings, including for garages. The proposed garage is in character with the neighborhood.
Standard 4 <i>Pedestrian/ Vehicular Traffic</i>	No increase vehicular or pedestrian traffic is expected with this application. In staff's opinion, the proposed use is not hazardous and does not conflict with existing and anticipated traffic in the neighborhood.
Standard 5 <i>Landscaping/ Screening</i>	The proposed addition will be built over the existing footprint of the carport. No additional land disturbance is proposed and the existing landscaping and screening will not be disturbed during construction activity.
Standard 6 <i>Open Space</i>	There is no prescribed open space requirement for individual lots in the R-3 District.
Standard 7 <i>Utilities, Drainage, Parking, and Loading</i>	There are no changes to the utilities, drainage, parking or loading of the site.
Standard 8 <i>Signs</i>	No signage is proposed.

Standards for all Group 9 Uses (Sect. 8-903)

Standard 1 <i>Lot Size and Bulk Regulations</i>	A modification of the minimum required side yard is requested with this special permit application. The property conforms to all other lot and bulk regulations.
Standard 2 <i>Performance Standards</i>	The use will comply with the performance standards set forth in Article 14 of the Zoning Ordinance.
Standard 3 <i>Site Plan</i>	The construction is not disturbing any additional land area; therefore the application is not subject to the provisions of Article 17, Site Plans.

Standards for Reduction of Certain Yard Requirements (8-922)

Standard 1 <i>Yard Requirements Subject to Special Permit</i>	<p>A. <i>Minimum required yards – Yards not less than 50% of the requirement and not less than 5 feet.</i></p> <p>The proposed addition would be located 10.7 feet from the eastern side lot line; the required side yard in an R-3 district is 12 feet, resulting in a reduction of 1.3 feet or 10.8 percent.</p> <p>B. Pipestem lots- N/A</p> <p>C. Accessory structure locations – N/A</p> <p>D. Extensions into minimum required yards allowed by Sect. 2-412- N/A</p>
Standard 2 <i>Not a Detached Structure in a Front Yard</i>	The application does not propose a detached accessory structure.
Standard 3 <i>Principal Structure that Complied with Yard Requirements When Established</i>	The subject property contains a single family dwelling that is an existing principal structure. The existing structure was built as approved in 1955.

<p>Standard 4 Addition No More than 150% of Existing Gross Floor Area (GFA)</p>	<p>The proposed addition is 329 square feet. The existing GFA of the primary structure is 1,498 square feet; Therefore 150% of the total gross floor area could result in additions up to 2,247 square feet in size for a possible total square footage at build out of 3,745 square feet. The total square footage of the house with the addition is 1,827 square feet. Therefore the application meets this provision.</p>
<p>Standard 5 Accessory Structure Subordinate in Purpose, Scale, Use and Intent</p>	<p>There is no accessory structure proposed, therefore this Standard is not applicable.</p>
<p>Standard 6 Construction in Character with On-Site Development</p>	<p>The elevation drawings and applicant's statement indicate that the materials, size and scale of the proposed addition would be compatible with the existing dwelling.</p>
<p>Standard 7 Construction Harmonious with Off-Site Development</p>	<p>Through aerial photography, submitted photographs, and background research staff has confirmed that there are similar additions and garages on neighboring properties. The proposed addition would be the same height and size as the existing carport and built over the existing slab. Staff believes that the proposed addition would not affect neighboring properties.</p>
<p>Standard 8 Construction Shall Not Adversely Impact Adjacent Properties</p>	<p>Staff believes that the proposed addition will not significantly impact the use and/or enjoyment of any adjacent property with regard to issues such as noise, light, air or safety. In regards to stormwater, if the construction disturbs more than 2,500 square feet which is not anticipated based on the current proposal, the application would be subject to the provisions of Article 17, Site Plans, and any anticipated stormwater issues will be addressed at that time.</p>
<p>Standard 9 Represents the Minimum Amount of Reduction Necessary</p>	<p>The proposed addition is to enclose an existing carport which is located 11.2 feet from the eastern side lot line. Once enclosed, the addition will be located within the footprint of the existing carport and remain 11.2 feet from the side lot line to the wall and 10.7 feet from the lot line to the eave with no proposed increase in disturbed land area. While carports are permitted to extend up to 5 feet into a required side yard, enclosing the structure requires special permit approval. Staff believes that the proposal is the minimum request necessary for a usable one car garage.</p> <p>Other issues of lot shape, yard determination, environmental characteristics, slopes, wells, floodplains and/or Resource Protection Areas, easements and historic resources are not applicable to this site.</p>
<p>Standard 10 BZA May Impose Conditions</p>	<p>Proposed development conditions are included in Appendix 1.</p>
<p>Standard 11 Submission Requirements</p>	<p>A copy of the plat is included in the beginning of this report.</p>
<p>Standard 12 Architectural Elevations</p>	<p>Proposed elevations are included as an attachment to the proposed development conditions in Appendix 1.</p>

CONCLUSION

The proposed garage addition will be built over the existing carport footprint, on the existing slab, and without any additional land disturbance. While carports are permitted to extend up to 5 feet into a required side yard, enclosing the structure and having it extend 1.3 feet into the side yard requires special permit approval. Staff believes that the request is in conformance with the applicable Zoning Ordinance provisions.

RECOMMENDATION

Staff recommends approval of SP 2016-MV-012 for the garage addition subject to the proposed development conditions contained in Appendix 1.

Staff does not make recommendations on building in error applications. However, if it is the intention of the Board of Zoning Appeals to approve the request for a special permit for error in building location to allow the shed and patio to remain, staff recommends that such approval be made subject to the development conditions contained in Appendix 1.

It should be noted that it is not the intent of staff to recommend that the Board, in adopting any conditions, relieve the applicants/owners from compliance with the provisions of any applicable ordinances, regulations, or adopted standards.

It should be further noted that the content of this report reflects the analysis and recommendations of staff; it does not reflect the position of the Board of Zoning Appeals.

The approval of this application does not interfere with, abrogate or annul any easements, covenants, or other agreements between parties, as they may apply to the property subject to the application.

APPENDICES

1. Proposed Development Conditions
2. Applicant's Statement of Justification
3. Applicant's Affidavit
4. Similar Case History
5. Applicable Zoning Ordinance Provisions

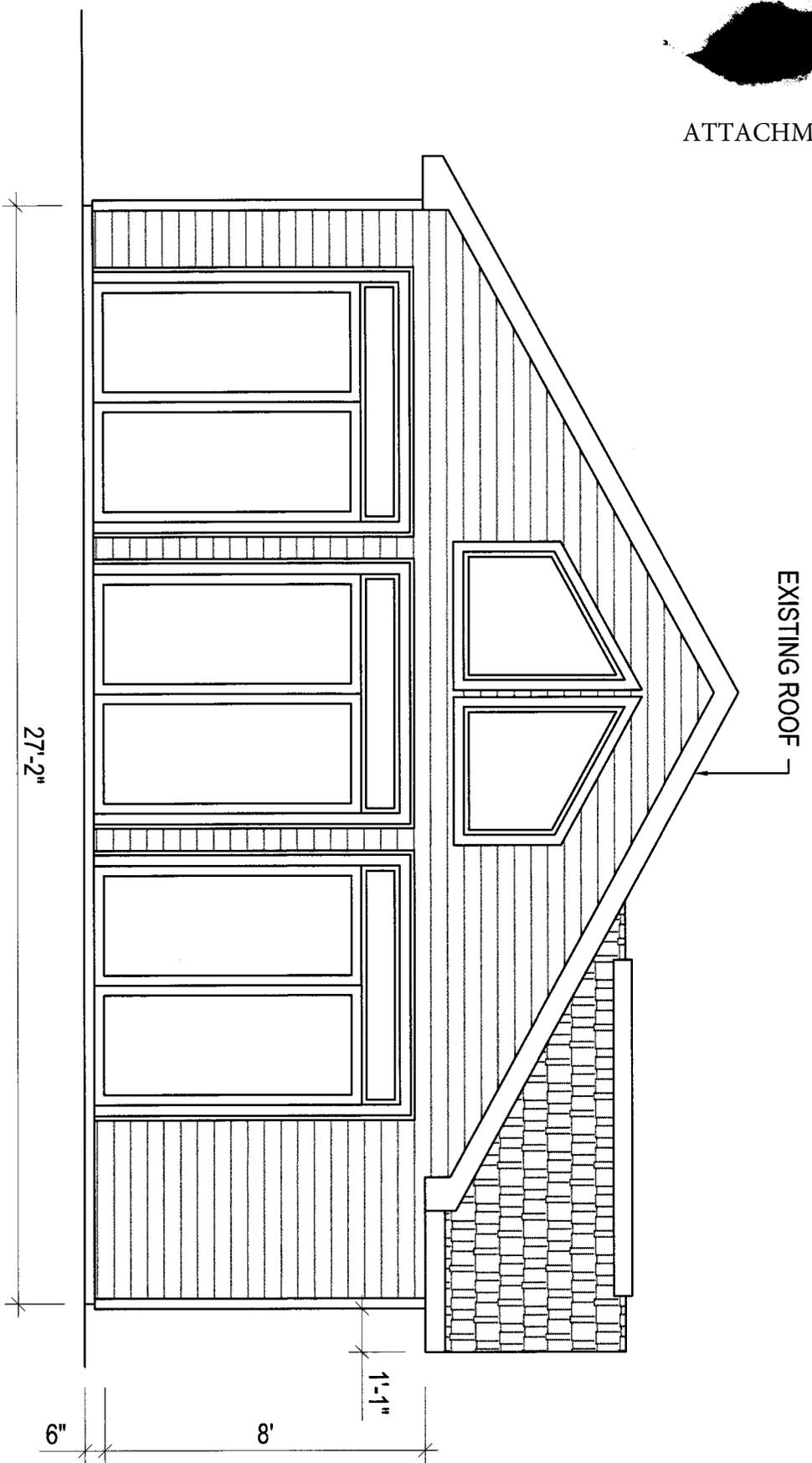
PROPOSED DEVELOPMENT CONDITIONS**SP 2016-MV-012****May 4, 2016**

If it is the intent of the Board of Zoning Appeals to approve SP 2016-MV-012 located at Tax Map 111-1 ((3)) (6) 17 to permit reduction of certain yard requirements for an enclosed carport pursuant to Section 8-922 and to permit a patio to remain pursuant to Section 8-914 of the Fairfax County Zoning Ordinance, staff recommends that the Board condition the approval by requiring conformance with the following development conditions.

1. These conditions shall be recorded by the applicant among the land records of Fairfax County for this lot prior to the issuance of a building permit. A certified copy of the recorded conditions shall be provided to the Zoning Permit Review Branch, Department of Planning and Zoning.
2. This special permit is approved for the location and size of the deck (at grade brick patio), and the garage addition (329 square feet, 19 feet in height, 10.7 feet from the eastern side lot line), as shown on the special permit plat titled, "Special Permit, Lot 17, Block 6, Section 3, Stratford Landing," prepared by William E. Ramsey, L.S., dated December 22, 2015, as revised through February 22, 2016, as submitted with this application and is not transferable to other land.
3. Pursuant to Paragraph 4 of Section 8-922 of the Zoning Ordinance, the resulting gross floor area of an addition to the existing principal structure may be up to 150 percent of the gross floor area of the dwelling that existed at the time of the first expansion (1,498 square feet existing + 2,247 square feet (150%) = 3,745 square feet maximum permitted on lot) regardless of whether such addition complies with the minimum yard requirement or is the subject of a subsequent yard reduction special permit. Subsequent additions that meet minimum yard requirements shall be permitted without an amendment to this special permit.
4. The addition shall be generally consistent with the architectural renderings as shown on Attachment 1 to these conditions and consistent with materials of the existing dwelling.

This approval, contingent upon the above-noted conditions, shall not relieve the applicant from compliance with the provisions of any applicable ordinances, regulations or adopted standards.

Pursuant to Sect. 8-015 of the Zoning Ordinance, this special permit shall automatically expire, without notice, 30 months after the date of approval unless construction has commenced and been diligently prosecuted. The Board of Zoning Appeals may grant additional time to commence construction if a written request for additional time is filed with the Zoning Administrator prior to the date of expiration of the special permit. The request must specify the amount of additional time requested, the basis for the amount of time requested and an explanation of why additional time is required.



EXISTING ROOF

27'-2"

1'-1"

8'-0"

8'-0"



Home Addition:
 Mr. & Mrs.
 Jack & Susan Jeter
RESIDENCE
 2003 Westfield St.
 Alexandria, VA 22308

Job # _____ 07/010
 Date: _____
 Scale: 1/4" = 1' - 0"

DISCLAIMER
 Due to site conditions and existing improvements, measurements and field drawings are approximate and may vary from actual improvements. Exact completion of drawings.

Drawn by: _____ Checked by: _____
 Date: _____
 Scale: 1/4" = 1' - 0"

RECEIVED
 Department of Planning & Zoning

JAN 20 2016

Zoning Evaluation Division

SIDE ELEVATION

Scale: 1/4" = 1' - 0"

1

A-1



Home Addition:
 Mr. & Mrs.
 Jack & Susan Jeter
RESIDENCE
 2003 Westfield St.
 Alexandria, VA 22308

Job # 07010
 Date: 1/24/15

DISCLAIMER
 Due to site conditions and existing improvements, measurements or final drawings may sometimes vary from measurements and/or field observations and are only possible after completion of existing.

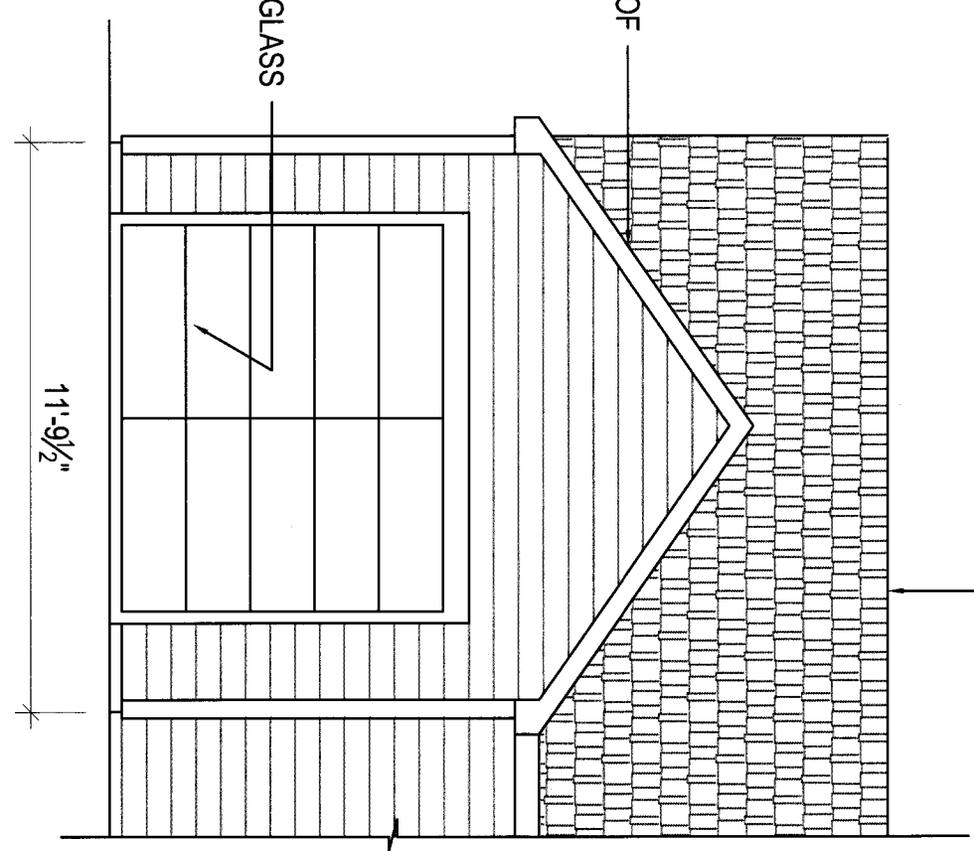
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Sheet # _____

EXISTING ROOF

NEW ROOF

FROSTED GLASS



FIRST FLOOR

FRONT ELEVATION

Scale: 1/4" = 1'-0"

2

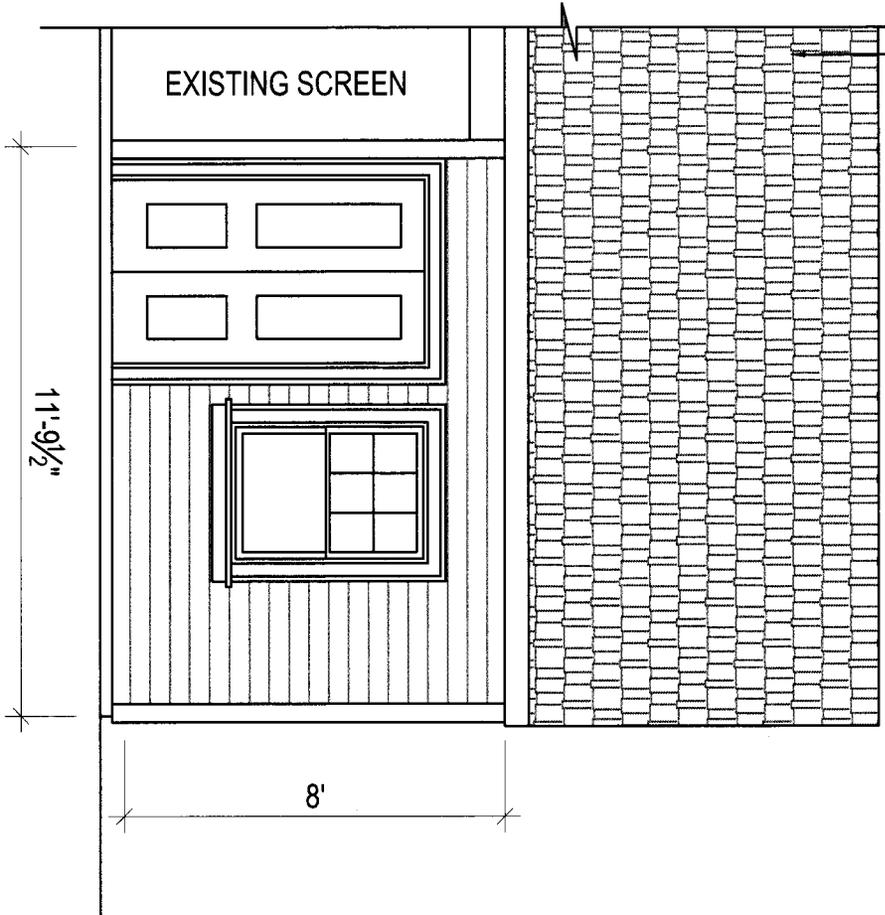
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Zoning Evaluation Division

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EXISTING ROOF



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REAR ELEVATION

Scale: 1/4" = 1' - 0"

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JAN 20 2016

Zoning Evaluation Division



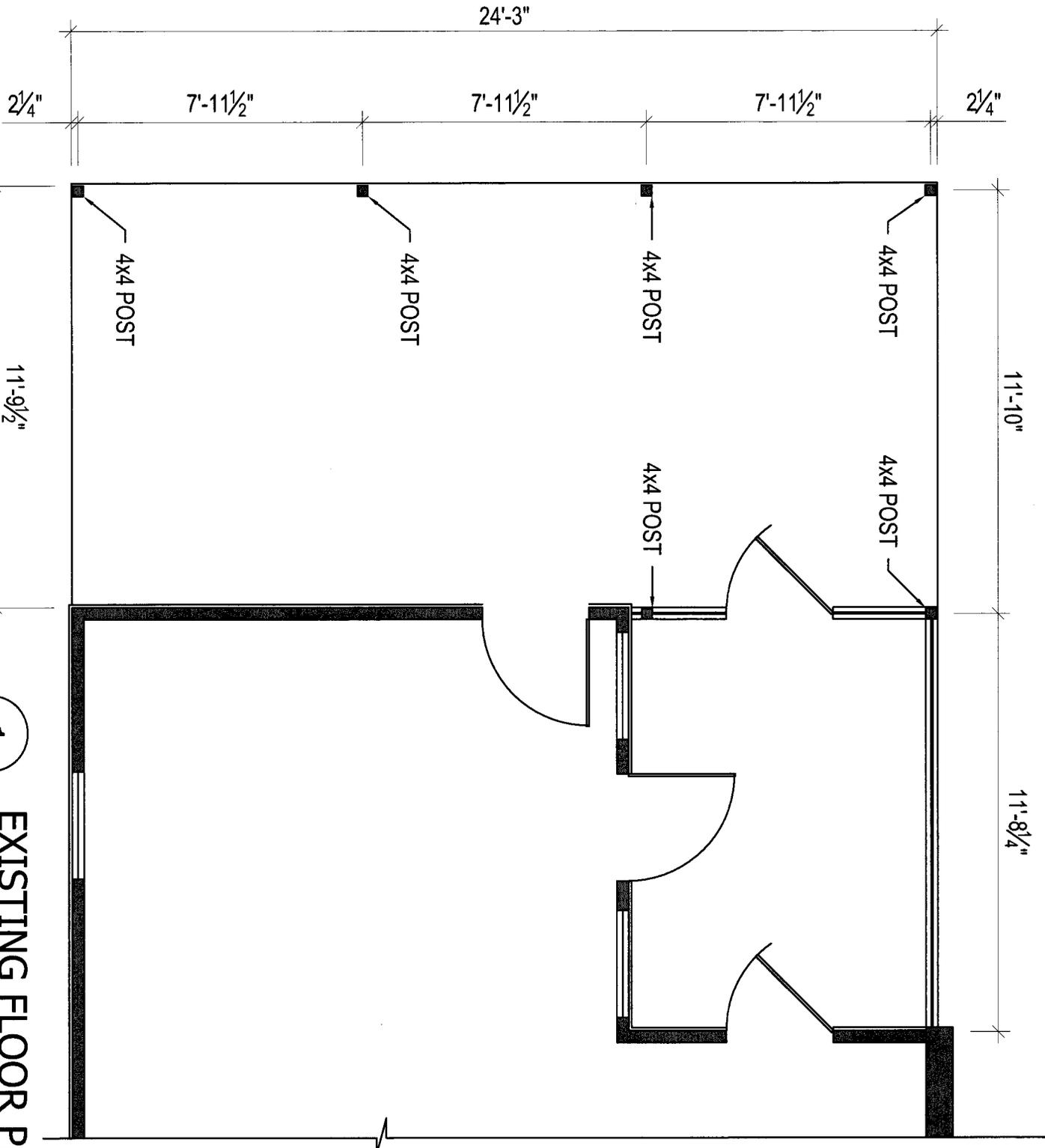
Home Addition:
 Mr. & Mrs.
 Jack & Susan Jeter
RESIDENCE
 2003 Westfield St.
 Alexandria, VA 22308

Job # 07010
 Date: 12.04.16

DISCLAIMER
 Due to site conditions and existing improvements, measurements on field architectural plans, renderings and shop drawings are not guaranteed. Exact measurements are only possible after completion of survey.

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 Design: [blank] Signer: [blank]
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A-3



1

EXISTING FLOOR PLAN

Scale: 1/4" = 1' - 0"



Home Addition:
 Mr. & Mrs.
 Jack & Susan Jeter
RESIDENCE
 2003 Westfield St.
 Alexandria, VA 22308

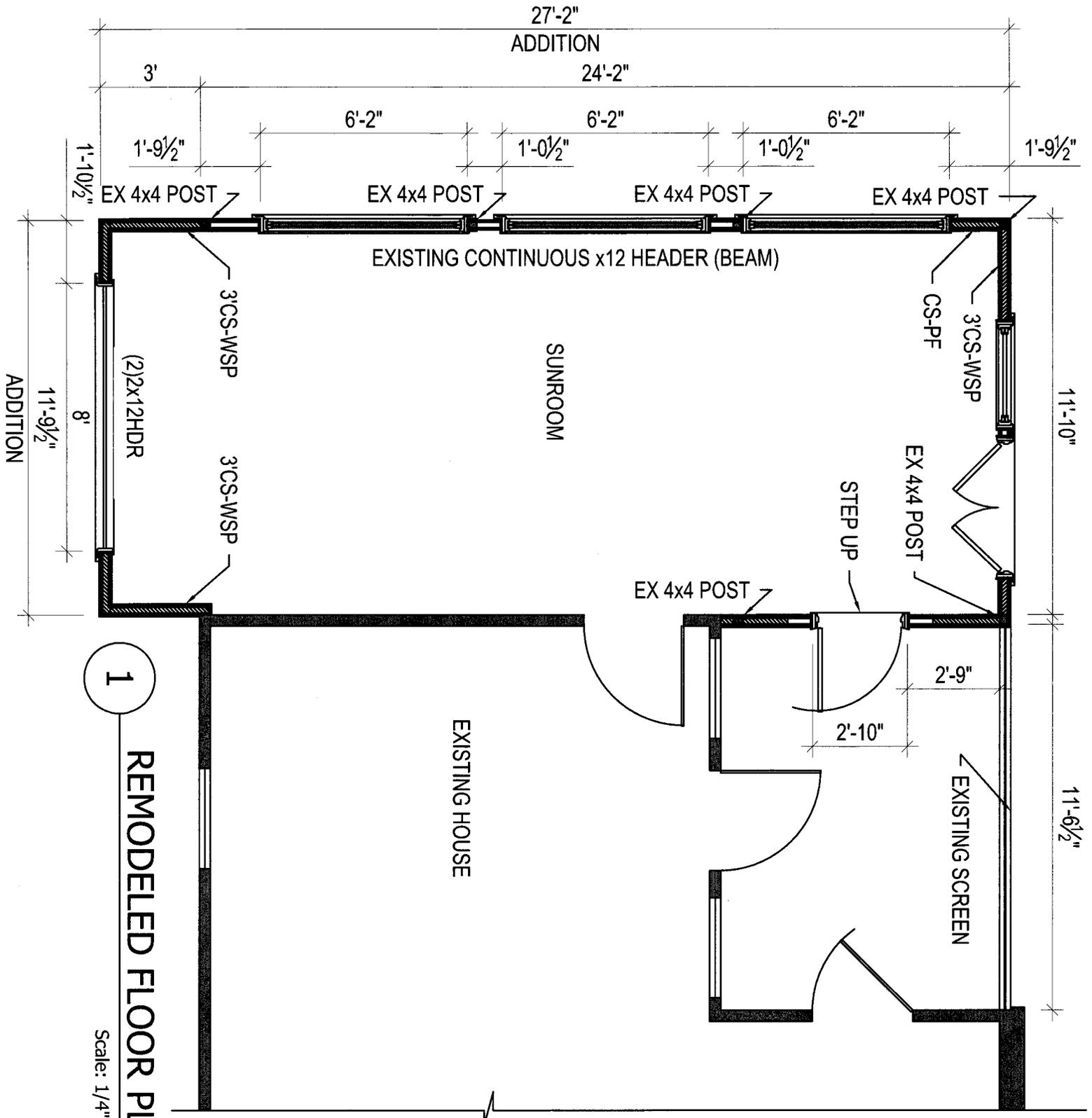
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JAN 20 2016
 Zoning Evaluation Division

Job # _____ Date: 12-24-15
 07/10

DISCLAIMER
 Due to site conditions and existing
 improvements, measurements on all
 architectural plans, renderings and shop
 drawings are approximate. Field
 measurements are only possible after
 completion of framing.

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Sheet #
A-4



1 REMODELED FLOOR PLAN

Scale: 1/4" = 1' - 0"



Home Addition:
Mr. & Mrs.
Jack & Susan Jeter
RESIDENCE
2003 Westfield St.
Alexandria, VA 22308

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JAN 20 2016
Zoning Evaluation Division

Job # 07010
Date: 12-04-10

DISCLAIMER
Due to site conditions and existing improvements, measurements on field architectural plans, including and shop drawings, are only possible after completion of framing.

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Checked by: Shawn Neenan
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County of Fairfax Virginia
Zoning Evaluation Division

Special Permit Statement of Justification

The project that is the subject of this special exemption is a conversion of an existing carport to a garage. The addition will provide an improved quality of life for the residents, protection for the left side of the home and improved shelter for an automobile.

1. The garage, when completed will result in 11.2 feet of yard between the lot line and the existing carport conversion/garage.
2. The lot line distance from the closest point to the closest point/roof eave as shown on plat (10.7 feet).
3. No detached accessory structure will be constructed.
4. The lot only contains the principal structure that was originally built on the lot.
5. The carport conversion, on the left side of the existing structure, will be 329 s.f. (11.8'X 27.2').
6. The percentage increase as shown on the plat is 22% GFA increase.
7. The addition will be in character with the existing structure and surrounding homes. There are no homeowner association guidelines in effect.
8. The addition also conforms to the provisions of all applicable ordinances, regulations, and adopted standards.
9. The owners of the adjacent neighboring properties have agreed that the addition will not adversely impact them or their property, (see attached statements and signatures - the property immediately behind the subject property is not occupied at this time.
10. There are no known hazardous materials or toxic substances that will be generated, utilized, stored, treated, and/or disposed of on site.
11. The proposed reduction is the minimum necessary to accommodate the proposed carport conversion.
12. The location, left side of home and location of the existing carport, along with the current landscaping ensures privacy to the neighboring homes.

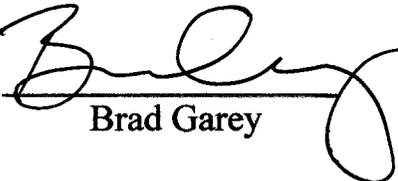
County of Fairfax Virginia
Zoning Evaluation Division

To whom it may concern,

Brad and Donna Garey, living at 2005 Westfield Street, have seen the Floor Plan and Elevation for the conversion of the existing carport to a garage at 2003 Westfield St, Alexandria VA and have no concern with proposed conversion to a garage.



Donna Garey



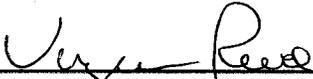
Brad Garey

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JAN 20 2016
Zoning Evaluation Division

County of Fairfax Virginia
Zoning Evaluation Division

To whom it may concern,

Robert and Virginia Revere, living at 9012 Linton Lane, have seen the Floor Plan and Elevation for the conversion of the existing carport to a garage at 2003 Westfield St, Alexandria VA and have no concern with proposed conversion to a garage.



Virginia Revere



Robert Revere

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Department of Planning & Zoning

JAN 20 2016

Zoning Evaluation Division

County of Fairfax Virginia
Zoning Evaluation Division

To whom it may concern,

Joe and Kim Teeples, living at 2002 Westfield Street, have seen the Floor Plan and Elevation for the conversion of the existing carport to a garage at 2003 Westfield St, Alexandria VA and have no concern with proposed conversion to a garage.



Joe Teeples



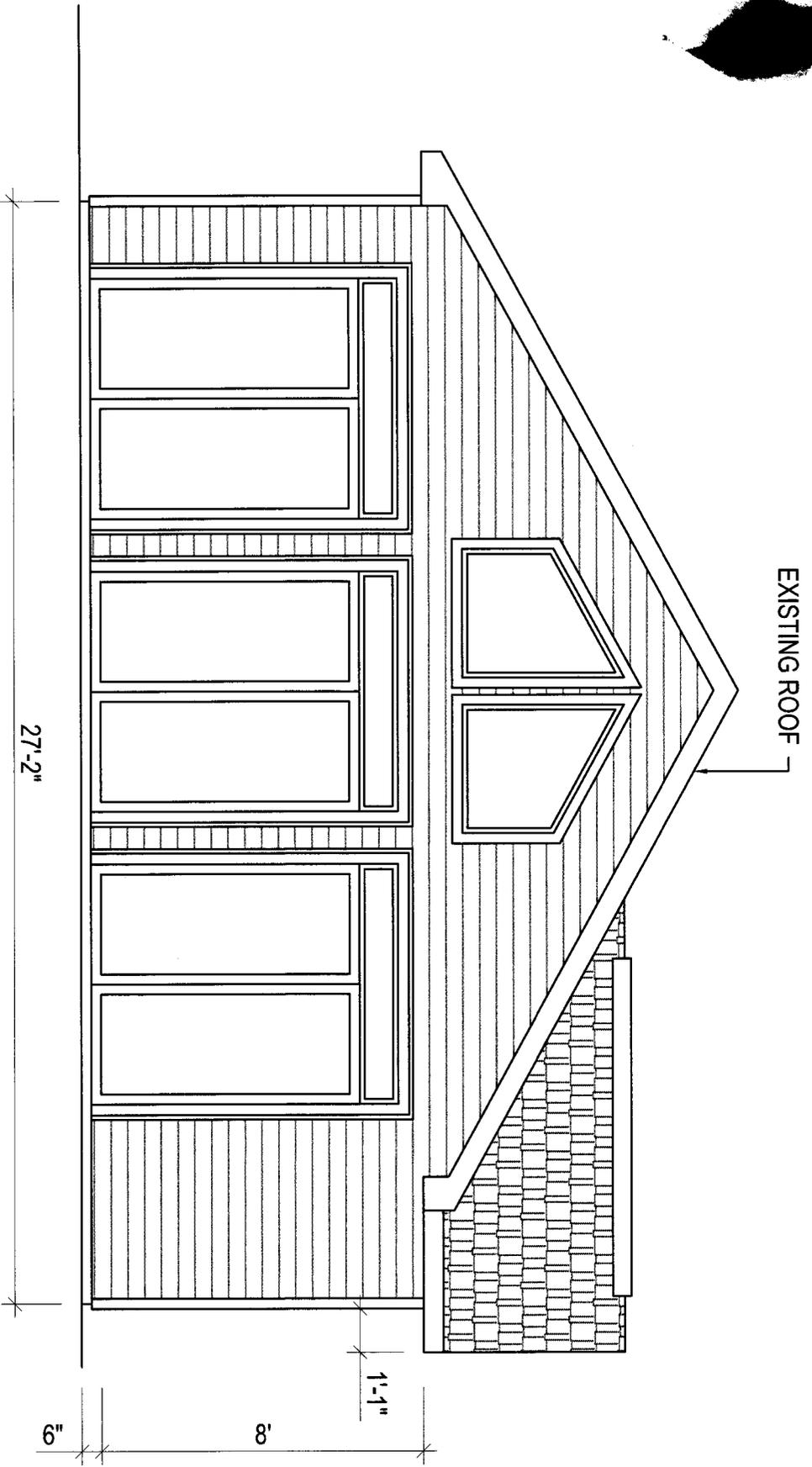
Kim Teeples

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Department of Planning & Zoning
JAN 20 2016
Zoning Evaluation Division



SMALL LETTER FONT: VA 22308
 10/29/2015 10:00 AM 10/29/2015

Home Addition:
 Mr. & Mrs.
 Jack & Susan Jeter
RESIDENCE
 2003 Westfield St.
 Alexandria, VA 22308



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Drawn by: [Name] Checked by: [Name]
 Design: [Name] Sign: [Name]
 Scale: 1/4" = 1'-0"

Job # 07010
 Date: 10/29/15
 10/29/15

RECEIVED
 Department of Planning & Zoning

JAN 20 2016

Zoning Evaluation Division

SIDE ELEVATION

Scale: 1/4" = 1'-0"

1

A-1



Home Addition:
 Mr. & Mrs.
 Jack & Susan Jeter
RESIDENCE
 2003 Westfield St.
 Alexandria, VA 22308

Job # 07010
 Date: 1/24/15

DISCLAIMER
 Due to site conditions and existing improvements, measurements or final drawings may sometimes vary from measurements and/or field observations and are only possible after completion of existing.

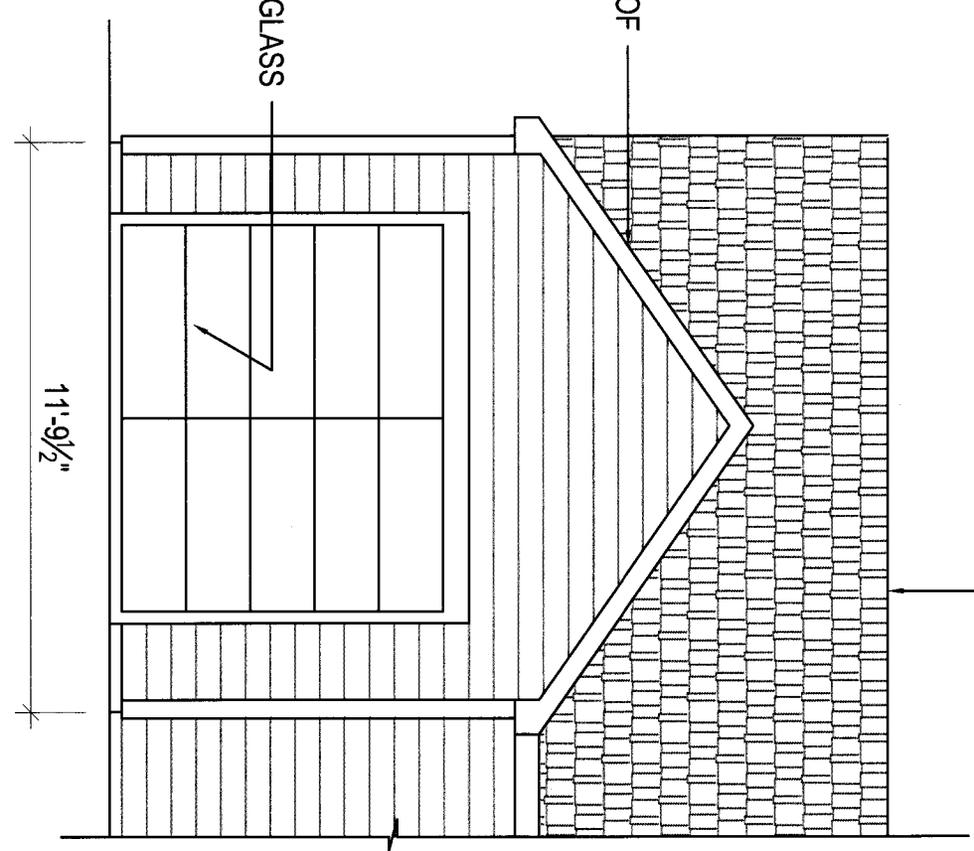
Drawn By: _____
 Checked By: _____
 Design: _____
 Scale: 1/4" = 1'-0"

Sheet # _____

EXISTING ROOF

NEW ROOF

FROSTED GLASS



FIRST FLOOR

11'-9 1/2"

8'-0"

FRONT ELEVATION

Scale: 1/4" = 1'-0"

2

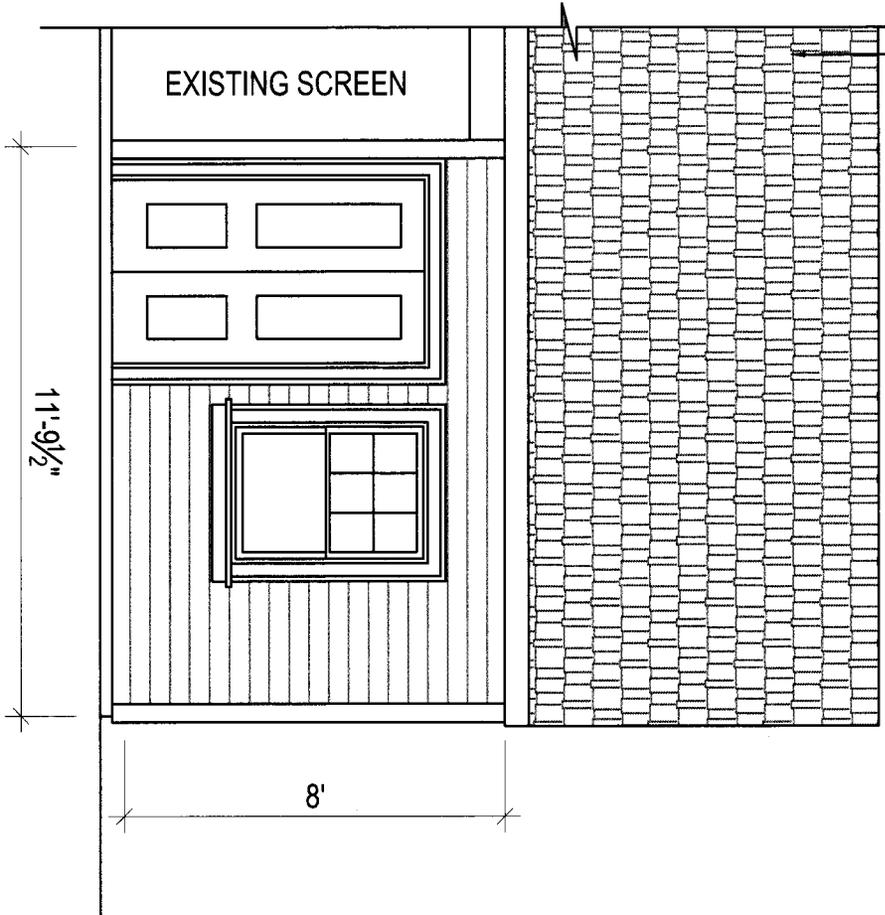
RECEIVED
 Department of Planning & Zoning

JAN 20 2016

Zoning Evaluation Division

A-2

EXISTING ROOF



REAR ELEVATION

Scale: 1/4" = 1' - 0"

1



Home Addition:
 Mr. & Mrs.
 Jack & Susan Jeter
RESIDENCE
 2003 Westfield St.
 Alexandria, VA 22308

Job # 07010
 Date: 12.04.16

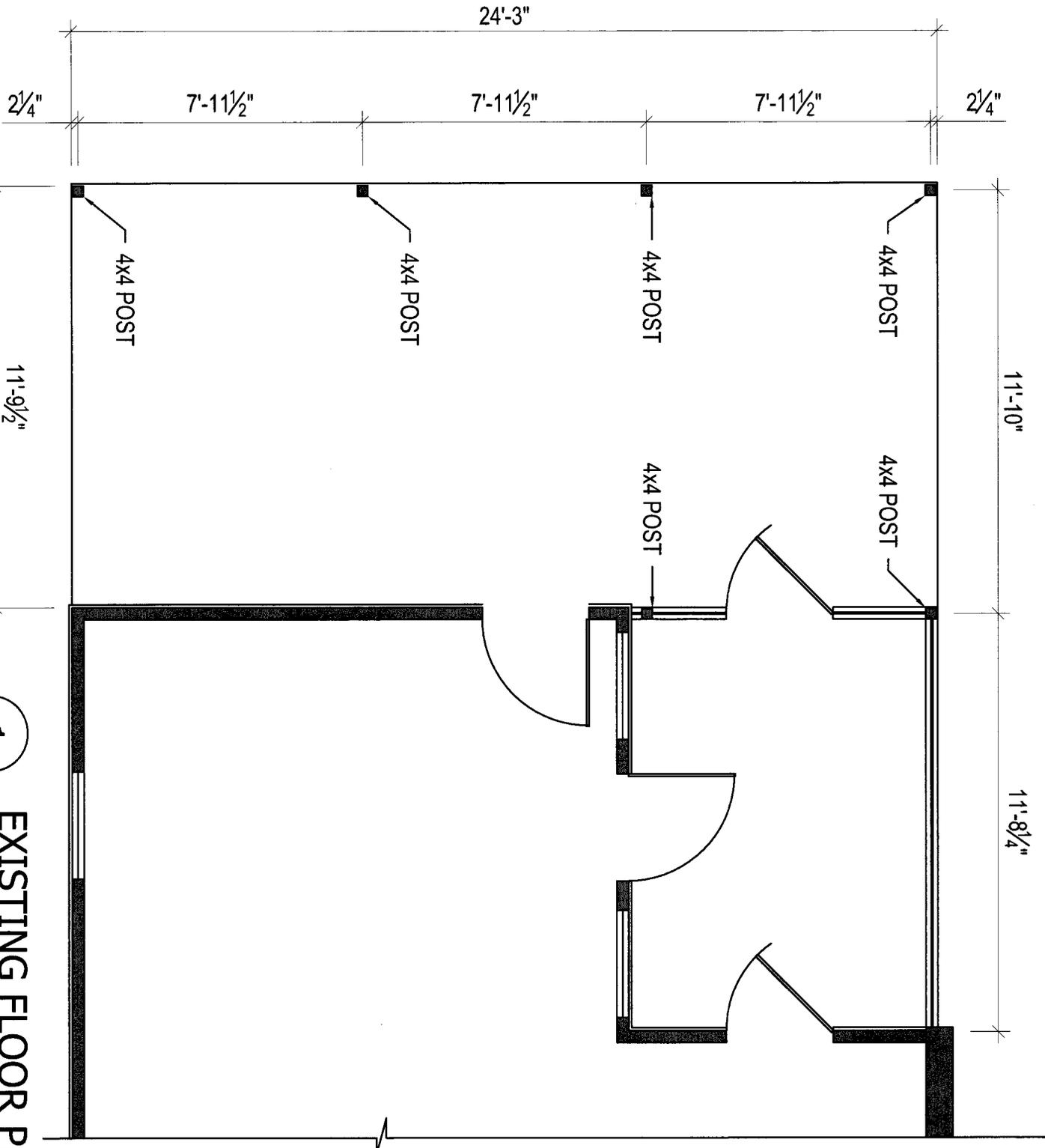
DISCLAIMER
 Due to site conditions and existing improvements, measurements on field architectural plans, renderings and shop drawings are not guaranteed. Exact measurements are only possible after completion of survey.

RECEIVED
 Department of Planning & Zoning

JAN 20 2016

Zoning Evaluation Division

A-3



1

EXISTING FLOOR PLAN

Scale: 1/4" = 1' - 0"



Home Addition:
 Mr. & Mrs.
 Jack & Susan Jeter
RESIDENCE
 2003 Westfield St.
 Alexandria, VA 22308

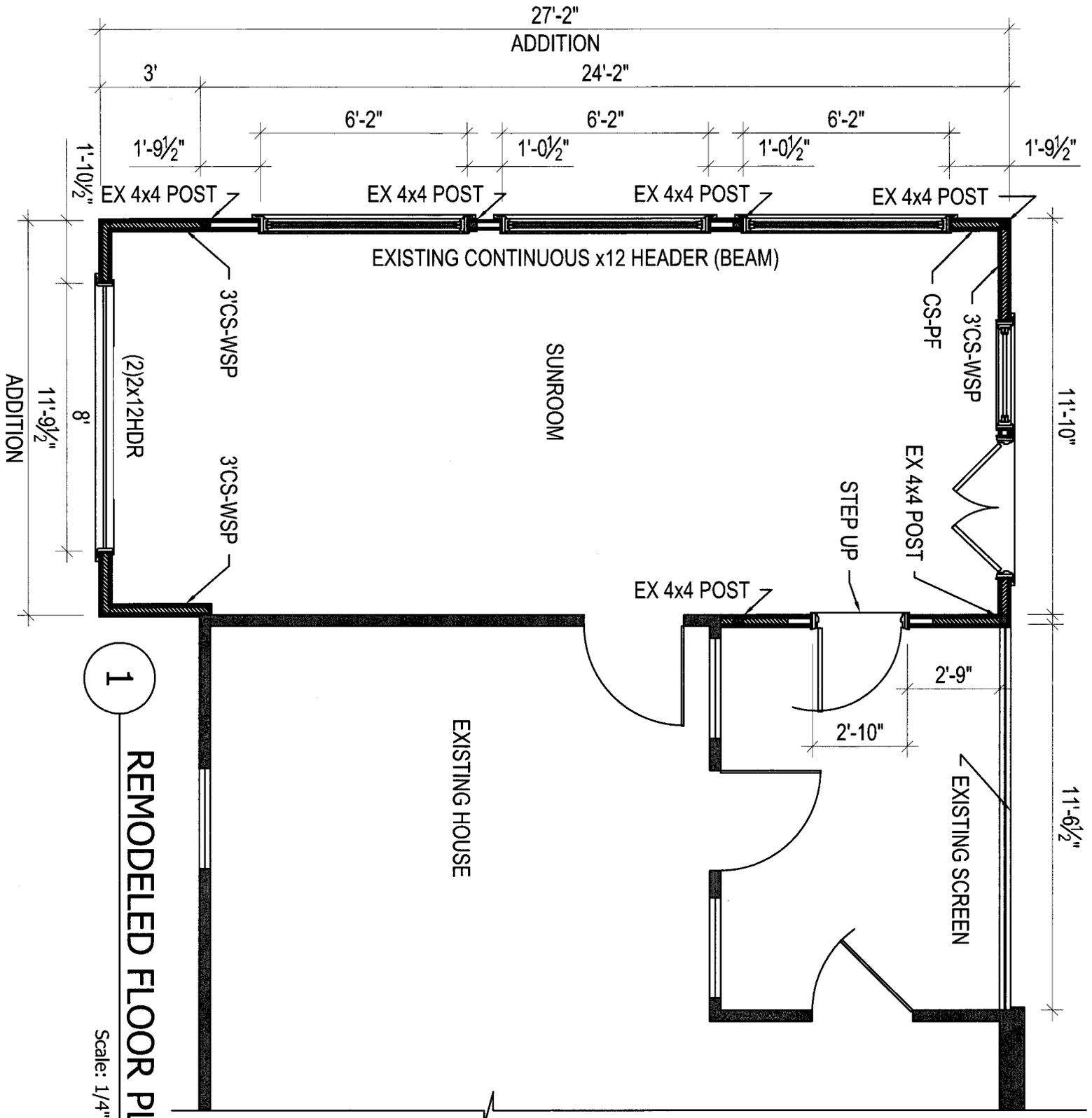
RECEIVED
 Department of Planning & Zoning
JAN 20 2016
 Zoning Evaluation Division

Job # _____ Date: 12-24-15
 07/10

DISCLAIMER
 Due to site conditions and existing
 improvements, measurements on all
 architectural plans, renderings and shop
 drawings are approximate. Field
 measurements are only possible after
 completion of framing.

Drawn by: _____ Checked by: _____
 Tigran Chuliyan Sharm Nazarian
 Scale: 1/4" = 1' - 0"

Sheet #
A-4



1
REMODELED FLOOR PLAN

Scale: 1/4" = 1' - 0"

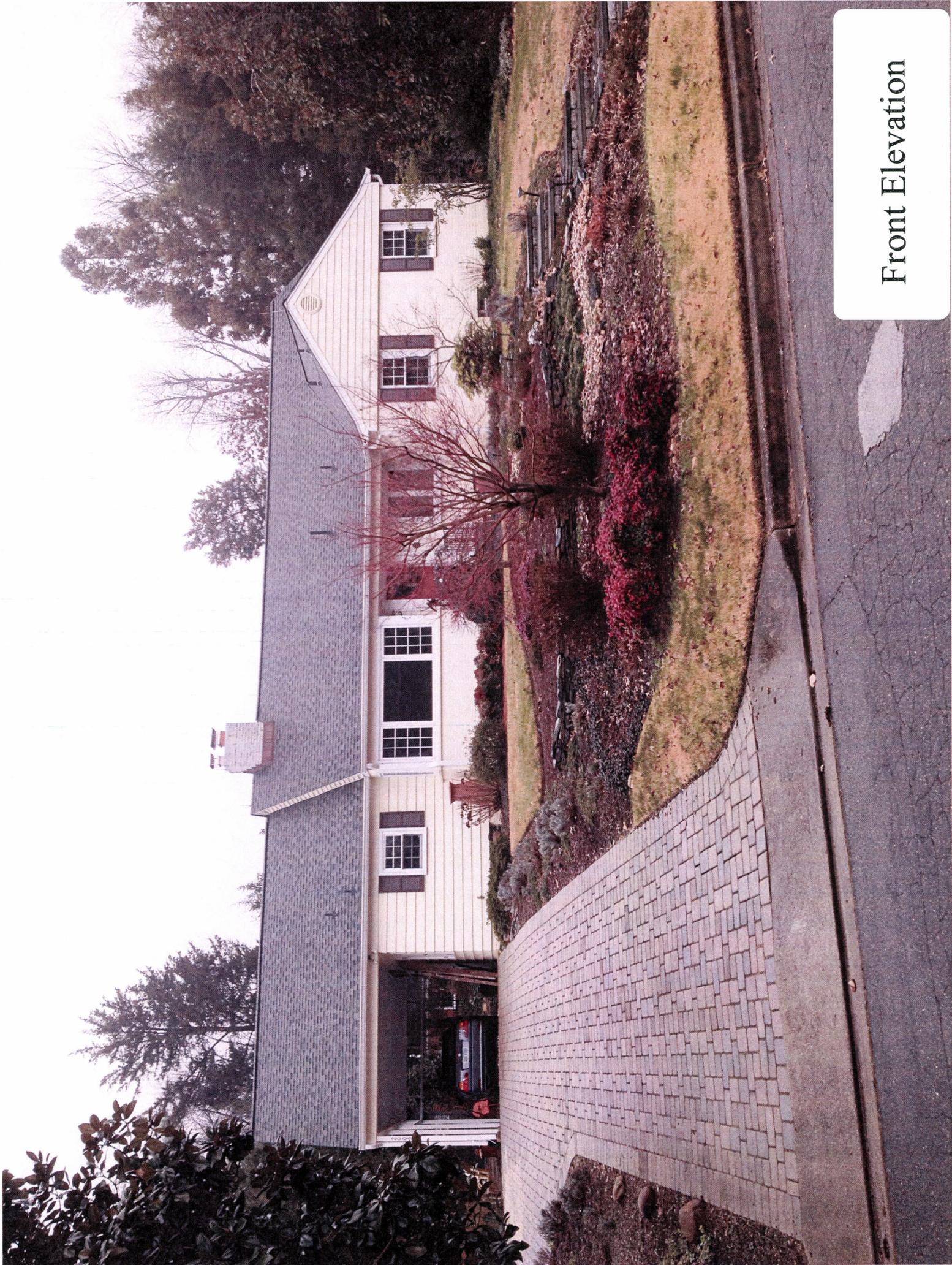
RECEIVED
 Department of Planning & Zoning
JAN 20 2016
 Zoning Evaluation Division

Home Addition:
 Mr. & Mrs.
 Jack & Susan Jeter
RESIDENCE
 2003 Westfield St.
 Alexandria, VA 22308

DISCLAIMER
 Due to site conditions and existing improvements, measurements on field architectural plans, including and shop drawings, are only possible after completion of framing.

Drawn by: 1/24/16
 Checked by: 1/24/16
 Scale: 1/4" = 1' - 0"

Sheet #
A-4



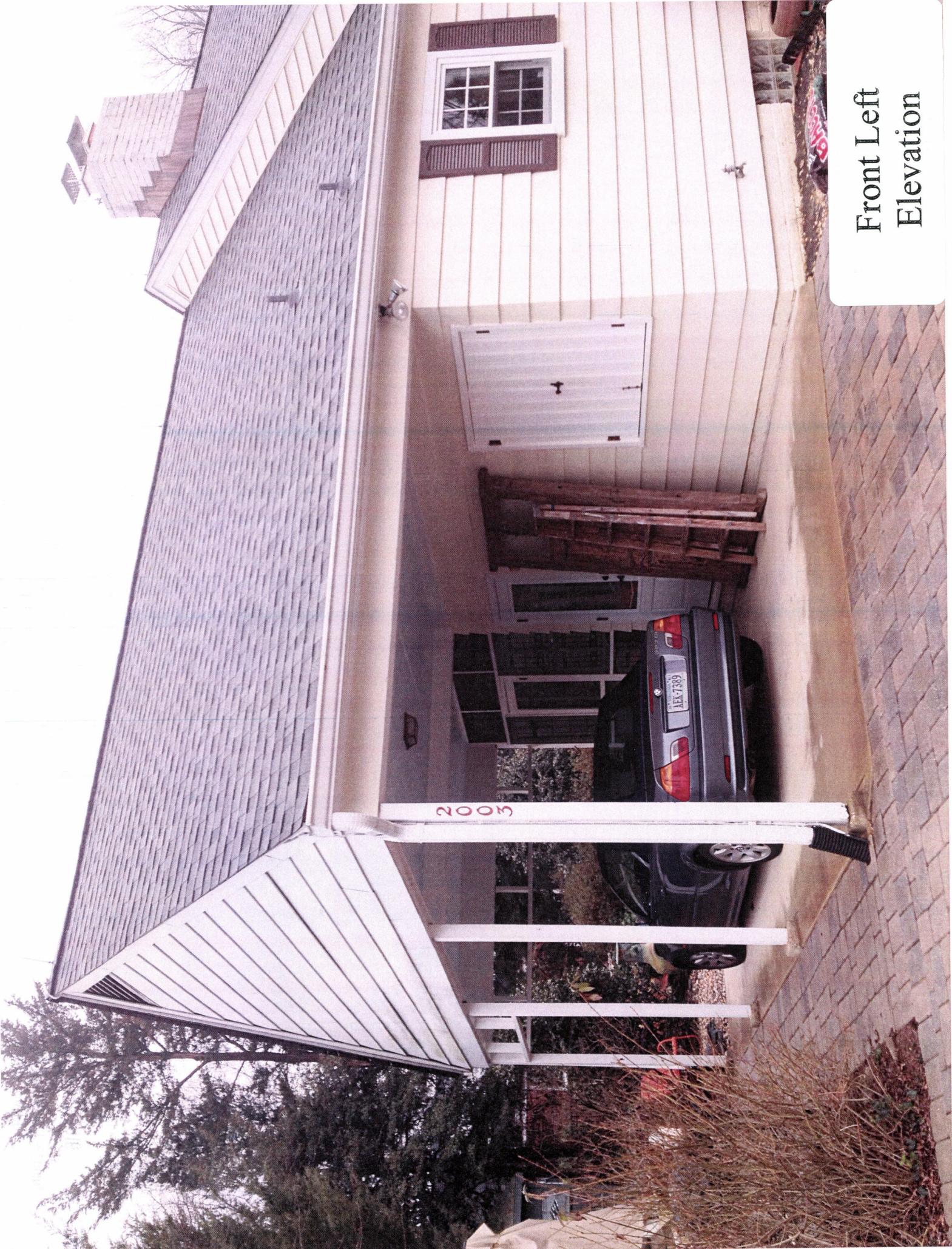
Front Elevation



Front Elevation



Front Left
Elevation



Front Left
Elevation



Rear Right
Elevation



Front facing front neighbors



Left Elevation view
left neighbors



Rear Elevation



Front Left
Elevation

Rear Right
Elevation





View of the back yard
with shed



View of the back yard
right side

Application No.(s): SP 2016 - MV-012
(county-assigned application number(s), to be entered by County Staff)

SPECIAL PERMIT/VARIANCE AFFIDAVIT

DATE: MARCH 9th, 2016
(enter date affidavit is notarized)

133299

I, Shawn Nazemian, do hereby state that I am an
(enter name of applicant or authorized agent)

(check one) applicant
 applicant's authorized agent listed in Par. 1(a) below

and that, to the best of my knowledge and belief, the following is true:

1(a). The following constitutes a listing of the names and addresses of all **APPLICANTS, TITLE OWNERS, CONTRACT PURCHASERS, and LESSEES** of the land described in the application,* and, if any of the foregoing is a **TRUSTEE,**** each **BENEFICIARY** of such trust, and all **ATTORNEYS** and **REAL ESTATE BROKERS**, and all **AGENTS** who have acted on behalf of any of the foregoing with respect to the application:

(NOTE: All relationships to the application listed above in **BOLD** print must be disclosed. Multiple relationships may be listed together, e.g., **Attorney/Agent, Contract Purchaser/Lessee, Applicant/Title Owner**, etc. For a multiparcel application, list the Tax Map Number(s) of the parcel(s) for each owner(s) in the Relationship column.)

NAME (enter first name, middle initial, and last name)	ADDRESS (enter number, street, city, state, and zip code)	RELATIONSHIP(S) (enter applicable relationships listed in BOLD above)
Jack H. Jeter, Jr., TR Susan B. Jeter, TR & Jeter Living Trust	2003 Westfield St. Alexandria, VA 22308	Applicant / Title owners
Beneficiaries:	Jack H. Jeter & Susan B. Jeter	
Michael Nash Custom Kitchens Inc. Doing business as "Michael Nash"	8630 - A Lee Hwy. Fairfax, VA 22031	Agent
Shawn Nazemian	8630 - A Lee Hwy. Fairfax, VA 22031	Agent

(check if applicable) There are more relationships to be listed and Par. 1(a) is continued on a "Special Permit/Variance Attachment to Par. 1(a)" form.

* In the case of a condominium, the title owner, contract purchaser, or lessee of 10% or more of the units in the condominium.
** List as follows: Name of trustee, Trustee for (name of trust, if applicable), for the benefit of: (state name of each beneficiary).

Application No.(s): _____
(county-assigned application number(s), to be entered by County Staff)

SPECIAL PERMIT/VARIANCE AFFIDAVIT

DATE: MARCH 9th, 2016
(enter date affidavit is notarized)

133299

1(c). The following constitutes a listing*** of all of the **PARTNERS**, both **GENERAL** and **LIMITED**, in any partnership disclosed in this affidavit:

PARTNERSHIP INFORMATION

PARTNERSHIP NAME & ADDRESS: (enter complete name, number, street, city, state, and zip code)

N/A

(check if applicable) The above-listed partnership has no limited partners.

NAMES AND TITLE OF THE PARTNERS (enter first name, middle initial, last name, and title, e.g. **General Partner, Limited Partner, or General and Limited Partner**)

(check if applicable) There is more partnership information and Par. 1(c) is continued on a "Special Permit/Variance Attachment to Par. 1(c)" form.

*** All listings which include partnerships, corporations, or trusts, to include the names of beneficiaries, must be broken down successively until: (a) only individual persons are listed or (b) the listing for a corporation having more than 10 shareholders has no shareholder owning 10% or more of any class of stock. *In the case of an APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE* of the land that is a partnership, corporation, or trust, such successive breakdown must include a listing and further breakdown of all of its partners, of its shareholders as required above, and of beneficiaries of any trusts. Such successive breakdown must also include breakdowns of any partnership, corporation, or trust owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE* of the land. Limited liability companies and real estate investment trusts and their equivalents are treated as corporations, with members being deemed the equivalent of shareholders; managing members shall also be listed.* Use footnote numbers to designate partnerships or corporations, which have further listings on an attachment page, and reference the same footnote numbers on the attachment page.

Application No.(s): _____
(county-assigned application number(s), to be entered by County Staff)

Page Four

SPECIAL PERMIT/VARIANCE AFFIDAVIT

DATE: MARCH 9th, 2016
(enter date affidavit is notarized)

133299

1(d). One of the following boxes **must** be checked:

In addition to the names listed in Paragraphs 1(a), 1(b), and 1(c) above, the following is a listing of any and all other individuals who own in the aggregate (directly and as a shareholder, partner, and beneficiary of a trust) 10% or more of the **APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE*** of the land:

Other than the names listed in Paragraphs 1(a), 1(b), and 1(c) above, no individual owns in the aggregate (directly and as a shareholder, partner, and beneficiary of a trust) 10% or more of the **APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE*** of the land.

2. That no member of the Fairfax County Board of Zoning Appeals, Planning Commission, or any member of his or her immediate household owns or has any financial interest in the subject land either individually, by ownership of stock in a corporation owning such land, or through an interest in a partnership owning such land.

EXCEPT AS FOLLOWS: (NOTE: If answer is none, enter "NONE" on the line below.)

NONE

(check if applicable) There are more interests to be listed and Par. 2 is continued on a "Special Permit/Variance Attachment to Par. 2" form.

Application No.(s): _____ (county-assigned application number(s), to be entered by County Staff)

SPECIAL PERMIT/VARIANCE AFFIDAVIT

DATE: MARCH 9th, 2016
(enter date affidavit is notarized)

133229

3. That within the twelve-month period prior to the public hearing of this application, no member of the Fairfax County Board of Zoning Appeals, Planning Commission, or any member of his or her immediate household, either directly or by way of partnership in which any of them is a partner, employee, agent, or attorney, or through a partner of any of them, or through a corporation in which any of them is an officer, director, employee, agent, or attorney or holds 10% or more of the outstanding bonds or shares of stock of a particular class, has, or has had any business or financial relationship, other than any ordinary depositor or customer relationship with or by a retail establishment, public utility, or bank, including any gift or donation having a value of more than \$100, singularly or in the aggregate, with any of those listed in Par. 1 above.

EXCEPT AS FOLLOWS: (NOTE: If answer is none, enter "NONE" on line below.)

NONE

(NOTE: Business or financial relationships of the type described in this paragraph that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings. See Par. 4 below.)

(check if applicable) [] There are more disclosures to be listed and Par. 3 is continued on a "Special Permit/Variance Attachment to Par. 3" form.

4. That the information contained in this affidavit is complete, that all partnerships, corporations, and trusts owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE* of the land have been listed and broken down, and that prior to each and every public hearing on this matter, I will reexamine this affidavit and provide any changed or supplemental information, including business or financial relationships of the type described in Paragraph 3 above, that arise on or after the date of this application.

WITNESS the following signature:

(check one)

[] Applicant

[x] Applicant's Authorized Agent

Shawn Nazemian, Authorized Agent

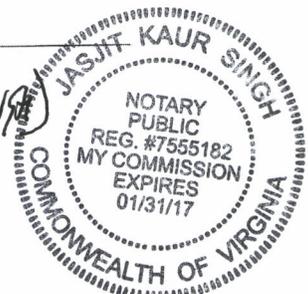
(type or print first name, middle initial, last name, and title of signee)

Subscribed and sworn to before me this 9th day of MARCH 20 16, in the State/Comm. of VIRGINIA, County/City of FAIRFAX.

My commission expires: 01/31/17

Jasjit Kaur Singh
Notary Public

JASJIT KAUR SINGH



Similar Case History

Group: 85-V -062

VC 85-V -062

APPLICANT: FEDRIGAULT, YVES
STATUS: APPLICATION APPROVED
STATUS/DECISION DTE: 11/26/1985
ZONING DISTRICT: R-3
DESCRIPTION: CONSTRUCTION OF GARAGE ADDITION TO DWELLING TO 2.1 FEET FROM SIDE LOT LINE (12 FEET MIN. REQUIRED)
LOCATION: 8917 MANGUM PLACE
TAX MAP #5:
 1111 03030028

Group: 88-V -037

VC 88-V -037

APPLICANT: GALAYDA, MR. & MRS. KEIGH E.
STATUS: APPLICATION APPROVED
STATUS/DECISION DTE: 06/03/1988
ZONING DISTRICT: R-3
DESCRIPTION: ALLOW CONSTRUCTION OF ADDITION TO DWELLING TO 11 FT. FROM SIDE LOT LINE (12 FT. MIN. SIDE YARD REQ.)
LOCATION: 9002 GREYLOCK STREET
TAX MAP #5:
 1111 03040011

Group: 89-V -026

VC 89-V -026

APPLICANT: WICKS, MICHAEL E AND KATHLEEN J
STATUS: APPLICATION APPROVED
STATUS/DECISION DTE: 06/22/1989
ZONING DISTRICT: R-3
DESCRIPTION: ALLOW CONSTRUCTION OF ADDITION TO DWELLING TO 6.0 FT. FROM A SIDE LOT LINE (12 FT. MIN. SIDE YARD REQ.)
LOCATION: 9026 GREYLOCK STREET
TAX MAP #5:
 1111 03040021

Group: 90-V-122**VC 90-V-122**

APPLICANT: A SALVATORE & MARY JILL MARTINELLI
STATUS: APPLICATION APPROVED
STATUS/DECISION DTE: 02/01/1991
ZONING DISTRICT: R-3
DESCRIPTION: ALLOW CONSTRUCTION OF ADDITIONS 6.5 FT. FROM SIDE LOT LINE (12 FT. MIN. SIDE YARD REQ.)
LOCATION: 9004 GREYLOCK STREET
TAX MAP #5:
 1111 03040012

Group: 93-V-091**VC 93-V-091**

APPLICANT: MAENG Y YI
STATUS: APPLICATION DENIED
STATUS/DECISION DTE: 11/17/1993
ZONING DISTRICT: R-3
DESCRIPTION: PERMIT CONSTRUCTION OF ADDITION 7.33 FT. FROM SIDE LOTLINE (12 FT. MIN. SIDE YARD REQ.)
LOCATION: 9003 STRATFORD LANE
TAX MAP #5:
 1111 03040008

Group: 94-V-060**SP 94-V-060**

APPLICANT: LAIRD, O. CLEVELAND, JR.
STATUS: APPLICATION APPROVED
STATUS/DECISION DTE: 02/09/1995
ZONING DISTRICT: R-3
DESCRIPTION: REDUCTION TO MINIMUM YARD REQUIREMENTS BASED ON ERROR IN BUILDING LOCATION TO ALLOW ADDITION TO REMAIN 14.8 FT. FROM REAR LOT LINE AND 9.4 FT. FROM SIDE LOT LINE
LOCATION: 2004 PRICE'S LANE
TAX MAP #5:
 1111 03060003

Group: 96-V-098**VC 96-V-098**

APPLICANT: CORTEZ, MR. & MRS. JOE
STATUS: APPLICATION APPROVED
STATUS/DECISION DTE: 10/09/1996
ZONING DISTRICT: R-3
DESCRIPTION: PERMIT CONSTRUCTION OF ADDITIONS 8.0 FT. AND 10.0 FT. FROM SIDE LOT LINE
LOCATION: 9003 GREYLOCK STREET
TAX MAP #5:
 1111 03060009

Group: 2013-MV-002

SP 2013-MV-002

APPLICANT: LUIS M. PEREZ
STATUS: APPLICATION APPROVED
STATUS/DECISION DTE: 04/03/2013
ZONING DISTRICT: R- 3
DESCRIPTION: REDUCTION IN CERTAIN YARD REQUIREMENTS TO BUILD ADDITION 10.7 FEET FROM SIDE LOT LINE.
REDUCTION IN MINIMUM YARD REQUIREMENTS BASED ON ERROR IN BUILDING LOCATION TO PERMIT
ACCESSORY STRUCTURE TO REMAIN 6.1 FEET FROM SIDE LOT LINE AND 7.9 FEET FROM REAR LOT
LINE.

LOCATION: 2104 WAKEFIELD ST. ALEXANDRIA, VA 22308
TAX MAP #S:
1111 03070007

8-006 General Standards

In addition to the specific standards set forth hereinafter with regard to particular special permit uses, all special permit uses shall satisfy the following general standards:

1. The proposed use at the specified location shall be in harmony with the adopted comprehensive plan.
2. The proposed use shall be in harmony with the general purpose and intent of the applicable zoning district regulations.
3. The proposed use shall be such that it will be harmonious with and will not adversely affect the use or development of neighboring properties in accordance with the applicable zoning district regulations and the adopted comprehensive plan. The location, size and height of buildings, structures, walls and fences, and the nature and extent of screening, buffering and landscaping shall be such that the use will not hinder or discourage the appropriate development and use of adjacent or nearby land and/or buildings or impair the value thereof.
4. The proposed use shall be such that pedestrian and vehicular traffic associated with such use will not be hazardous or conflict with the existing and anticipated traffic in the neighborhood.
5. In addition to the standards which may be set forth in this Article for a particular group or use, the BZA shall require landscaping and screening in accordance with the provisions of Article 13.
6. Open space shall be provided in an amount equivalent to that specified for the zoning district in which the proposed use is located.
7. Adequate utility, drainage, parking, loading and other necessary facilities to serve the proposed use shall be provided. Parking and loading requirements shall be in accordance with the provisions of Article 11.
8. Signs shall be regulated by the provisions of Article 12; however, the BZA, under the authority presented in Sect. 007 below, may impose more strict requirements for a given use than those set forth in this Ordinance.

8-903 Standards For All Group 9 Uses

In addition to the general standards set forth in Sect. 006 above, all Group 9 special permit uses shall satisfy the following standards:

1. All uses shall comply with the lot size and bulk regulations of the zoning district in which located, except as may be qualified below.
2. All uses shall comply with the performance standards specified for the zoning district in which located.
3. Before establishment, all uses, including modifications or alterations to existing uses, shall be subject to the provisions of Article 17, Site Plans, or other appropriate submission as determined by the Director.

8-914 Provisions for Approval of Reduction to the Minimum Yard Requirements Based on Error in Building Location

The BZA may approve a special permit to allow a reduction to the minimum yard requirements for any building existing or partially constructed which does not comply with such requirements applicable at the time such building was erected, but only in accordance with the following provisions:

1. Notwithstanding Par. 2 of Sect. 011 above, all applications shall be accompanied by ten (10) copies of a plat and such plat shall be presented on a sheet having a maximum size of 24" x 36", and one 8 ½" x 11" reduction of the plat. Such plat shall be drawn to a designated scale of not less than one inch equals fifty feet (1" = 50'), unless a smaller scale is required to accommodate the development. Such plat shall be certified by a professional engineer, land surveyor, architect, or landscape architect licensed by the State of Virginia and such plat shall contain the following information:
 - A. Boundaries of entire property, with bearings and distances of the perimeter property lines and of each zoning district.
 - B. Total area of the property and of each zoning district in square feet or acres.
 - C. Scale and north arrow, with north, to the extent feasible, oriented to the top of the plat and on all supporting graphics.
 - D. Location of all existing structures, with dimensions, including height of any structure and penthouse, and if known, the construction date(s) of all existing structures.
 - E. All required minimum yards to include front, side and rear, and a graphic depiction of the angle of bulk plane, if applicable, and the distances from all existing structures to lot lines.
 - F. Means of ingress and egress to the property from a public street(s).
 - G. For nonresidential uses, the location of parking spaces, indicating minimum distance from the nearest property line(s).
 - H. If applicable, the location of well and/or septic field.
 - I. For nonresidential uses, a statement setting forth the maximum gross floor area and FAR for all uses.
 - J. Location of all existing utility easements having a width of twenty-five (25) feet or more, and all major underground utility easements regardless of width.
 - K. Seal and signature of professional person certifying the plat.

In addition, the application shall contain a statement of justification explaining how the error in building location occurred and any supportive material such as aerial photographs, Building Permit applications, County assessments records, a copy of the contract to build the structure which is in error, or a statement from a previous owner indicating how the error in building location occurred.

2. The BZA determines that:
 - A. The error exceeds ten (10) percent of the measurement involved, or
 - B. The error is up to ten (10) percent of the measurement involved and such reduction or modification is requested in conjunction with the approval of a special permit for another use or application for a variance on the property, or is in conjunction with another special permit for an error in building location on the property that exceeds ten (10) percent of the measurement involved, and
 - C. The noncompliance was done in good faith, or through no fault of the property owner, or was the result of an error in the relocation of the building subsequent to the issuance of a Building Permit, if such was required, and
 - D. Such reduction or modification will not impair the purpose and intent of this Ordinance, and
 - E. It will not be detrimental to the use and enjoyment of other property in the immediate vicinity, and
 - F. It will not create an unsafe condition with respect to both other property and public streets, and
 - G. To force compliance with the minimum yard requirements or location regulations would cause unreasonable hardship upon the owner.
 - H. The reduction or modification will not result in an increase in density or floor area ratio from that permitted by the applicable zoning district regulations.
3. In granting such a reduction under the provisions of this Section, the BZA shall allow only a reduction necessary to provide reasonable relief and may, as deemed advisable, prescribe such conditions, to include landscaping and screening measures, to assure compliance with the intent of this Ordinance.
4. Upon the granting of a reduction for a particular building in accordance with the provisions of this Section, the same shall be deemed to be a lawful building.

5. The BZA shall have no power to waive or modify the standards necessary for approval as specified in this Section.

8-922 Provisions for Reduction of Certain Yard Requirements

The BZA may approve a special permit to allow a reduction of certain yard requirements subject to all of the following:

1. Only the following yard requirements shall be subject to such special permit:
 - A. Minimum required yards, as specified in the residential, commercial, industrial and planned development districts in Articles 3, 4, 5 and 6, provided such yards are not subject to proffered conditions or development conditions related to yards and/or such yards are not depicted on an approved conceptual development plan, final development plan, development plan, special exception plat, special permit plat or variance plat.
 - B. Yard regulations for pipestem lots and lots contiguous to pipestem driveways set forth in Sect. 2-416.
 - C. Accessory structure location requirements set forth in Sect. 10-104.
 - D. Regulations on permitted extensions into a minimum required yard as set forth in Sect. 2-412.

Approval of a reduction of yard requirements specified in Paragraphs A, B and C above shall not result in any yard that is less than fifty (50) percent of the requirement and shall not result in any yard of less than five (5) feet, as measured from the lot line to the closest point of the proposed structure.

Approval of a reduction of yard requirements specified in Par. D above shall not result in an extension that exceeds the applicable distances set forth in Sect. 2-412 by more than fifty (50) percent. Where no extension is permitted by the provisions of Sect. 2-412, the BZA shall not approve a special permit that results in a structure that extends into a minimum required yard by more than fifty (50) percent.

2. Such reduction shall not result in the placement of a detached accessory structure in a front yard where the placement of such accessory structure is not otherwise permitted in that yard.

3. This special permit shall only apply to those lots that contain a principal structure and use that complied with the minimum yard requirements in effect when the use or structure was established.
4. The resulting gross floor area of an addition to an existing principal structure may be up to 150 percent of the total gross floor area of the principal structure that existed at the time of the first yard reduction request. In such instance, if a portion of the principal structure is to be removed, no more than fifty (50) percent of the gross floor area of the existing principal structure at the time of the first yard reduction shall be removed.
5. The resulting gross floor area of an existing accessory structure and any addition to it shall be clearly subordinate in purpose, scale, use and intent to the principal structure on the site.
6. The BZA shall determine that the proposed development will be in character with the existing on-site development in terms of the location, height, bulk and scale of the existing structure(s) on the lot.
7. The BZA shall determine that the proposed development is harmonious with the surrounding off-site uses and structures in terms of location, height, bulk and scale of surrounding structures, topography, existing vegetation and the preservation of significant trees as determined by the Director.
8. The BZA shall determine that the proposed development shall not adversely impact the use and/or enjoyment of any adjacent property with regard to issues such as noise, light, air, safety, erosion, and stormwater runoff.
9. The BZA shall determine that the proposed reduction represents the minimum amount of reduction necessary to accommodate the proposed structure on the lot. Specific factors to be considered include, but are not limited to, the layout of the existing structure; availability of alternate locations for the addition; orientation of the structure(s) on the lot; shape of the lot and the associated yard designations on the lot; environmental characteristics of the site, including presence of steep slopes, floodplains and/or Resource Protection Areas; preservation of existing vegetation and significant trees as determined by the Director; location of a well and/or septic field; location of easements; and/or preservation of historic resources.

10. The BZA may impose such conditions as it deems necessary to satisfy these criteria, including, but not limited to imposition of a maximum gross floor area, floor area ratio, lot coverage, landscaping and/or screening requirements.
11. Notwithstanding Par. 2 of Sect. 011 above, all applications shall be accompanied by fifteen (15) copies of a plat and such plat shall be presented on a sheet having a maximum size of 24" x 36", and one 8 ½" x 11" reduction of the plat. Such plat shall be drawn to a designated scale of not less than one inch equals fifty feet (1" = 50'), unless a smaller scale is required to accommodate the development. Such plat shall be certified by a professional engineer, land surveyor, architect, or landscape architect licensed by the State of Virginia. Such plat shall contain the following information:
 - A. Boundaries of entire property, with bearings and distances of the perimeter property lines, and of each zoning district.
 - B. Total area of the property and of each zoning district in square feet or acres.
 - C. Scale and north arrow, with north, to the extent feasible, oriented to the top of the plat and on all supporting graphics.
 - D. The location, dimension and height of any building, structure or addition, whether existing or proposed. In addition, for decks, the height of the finished floor above finished ground level.
 - E. All required minimum yards to include front, side and rear, a graphic depiction of the angle of bulk plane, if applicable, and the distances from all existing and proposed structures to lot lines.
 - F. Means of ingress and egress to the property from a public street(s).
 - G. For nonresidential uses, the location of parking spaces, indicating minimum distance from the nearest property line(s).
 - H. If applicable, the location of a well and/or septic field.
 - I. Existing and proposed gross floor area and floor area ratio.
 - J. Location of all existing utility easements having a width of twenty-five (25) feet or more, and all major underground utility easements regardless of width.

- K. The location, type and height of any existing and proposed landscaping and screening.
 - L. Approximate delineation of any floodplain designated by the Federal Insurance Administration, United States Geological Survey, or Fairfax County, the delineation of any Resource Protection Area and Resource Management Area, and the approximate delineation of any environmental quality corridor as defined in the adopted comprehensive plan, and, if applicable, the distance of any existing and proposed structures from the floodplain, Resource Protection Area and Resource Management Area, or environmental quality corridor.
 - M. Seal and signature of professional person certifying the plat.
12. Architectural depictions of the proposed structure(s) as viewed from all lot lines and street lines to include building materials, roof type, window treatment and any associated landscaping and/or screening shall be provided.