



APPLICATION ACCEPTED: December 28, 2015
PLANNING COMMISSION: June 29, 2016
BOARD OF SUPERVISORS: July 12, 2016 @ 3:30 p.m.

County of Fairfax, Virginia

May 18, 2016

STAFF REPORT

RZ 2015-MA-018

MASON DISTRICT

APPLICANT: Fairfax County Board of Supervisors (Jefferson Fire Station #18)

EXISTING ZONING: C-5

PROPOSED ZONING: R-4

PARCEL(S): 50-3 ((4)) B

ACREAGE: 1.2 acres

FAR: 0.34

PLAN MAP: Public Facilities

PROPOSAL: Rezone the site from C-5 to R-4 to replace the existing fire station and increase the maximum building area, up to a maximum of 18,300 square feet. (0.34 FAR)

STAFF RECOMMENDATIONS:

Staff recommends approval of RZ 2015-MA-018, subject to the execution of proffers consistent with those contained in Appendix 1.

Sharon Williams

**Excellence * Innovation * Stewardship
Integrity * Teamwork * Public Service**

Department of Planning and Zoning
Zoning Evaluation Division
12055 Government Center Parkway, Suite 801
Fairfax, Virginia 22035-5505
Phone 703-324-1290; FAX 703-324-3924
www.fairfaxcounty.gov/dpz/



Staff recommends approval of the waivers listed below:

- Modification of Sect. 13-303 of the Zoning Ordinance, which requires transitional screening, in favor of that depicted on the GDP.
- Modification of Sect. 13-304 of the Zoning Ordinance, which requires barriers to permit a 7 foot tall board on board fence to serve as the barrier wall.
- Deviation from the tree preservation target in favor of the alternative as depicted on the proposed GDP.
- Modification of the tree canopy coverage to permit 9.6% of 10-year canopy coverage on site.

It should be noted that it is not the intent of staff to recommend that the Board, in adopting any conditions proffered by the owner, relieve the applicant/owner from compliance with the provisions of any applicable ordinances, regulations, or adopted standards.

It should be further noted that the content of this report reflects the analysis and recommendation of staff; it does not reflect the position of the Board of Supervisors.

For information, contact the Zoning Evaluation Division, Department of Planning and Zoning, 12055 Government Center Parkway, Suite 801, Fairfax, Virginia 22035-5505, (703) 324-1290.



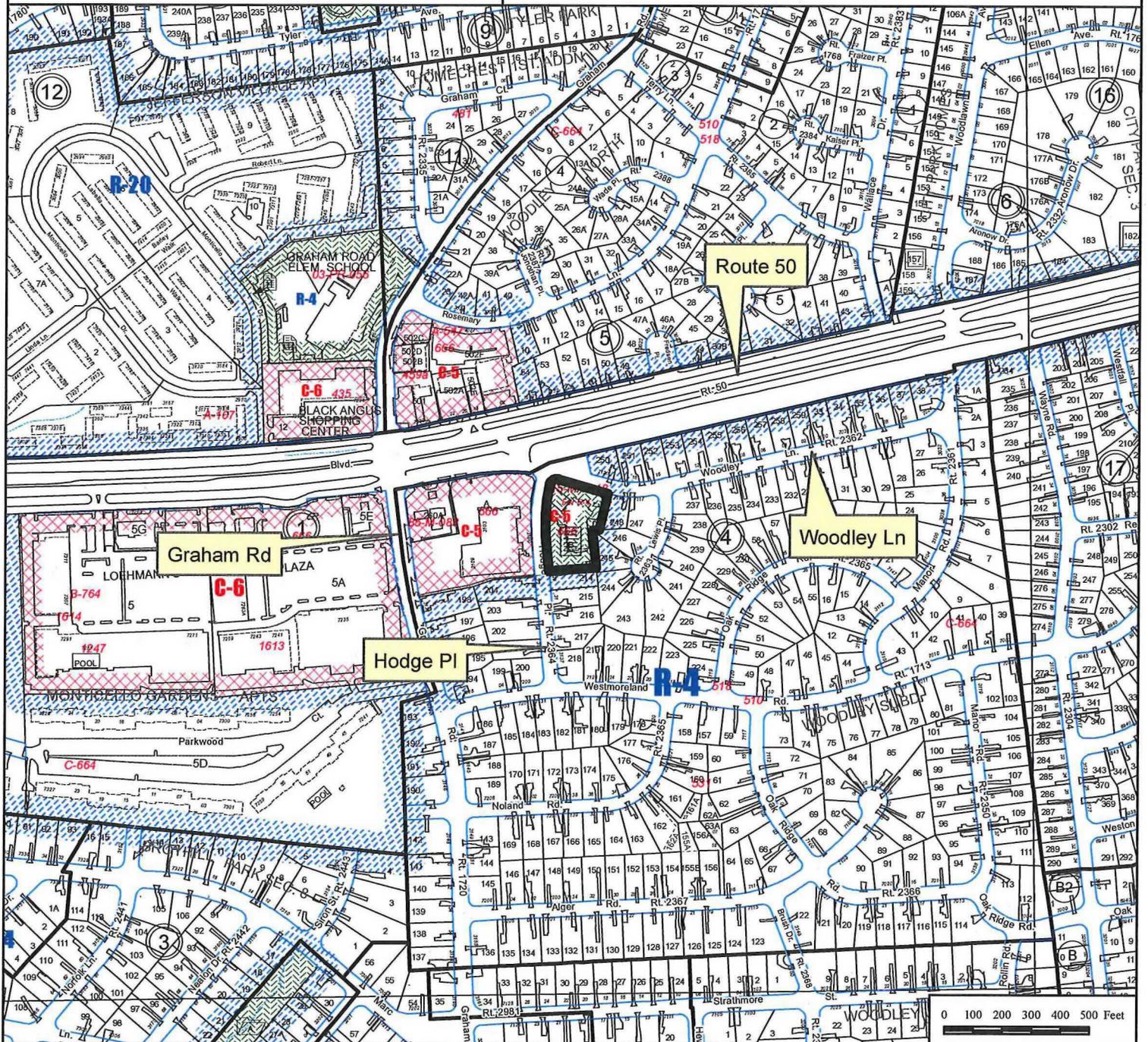
Americans with Disabilities Act (ADA): Reasonable accommodation is available upon 48 hours advance notice. For additional information on ADA call (703) 324-1334 or TTY 711 (Virginia Relay Center).

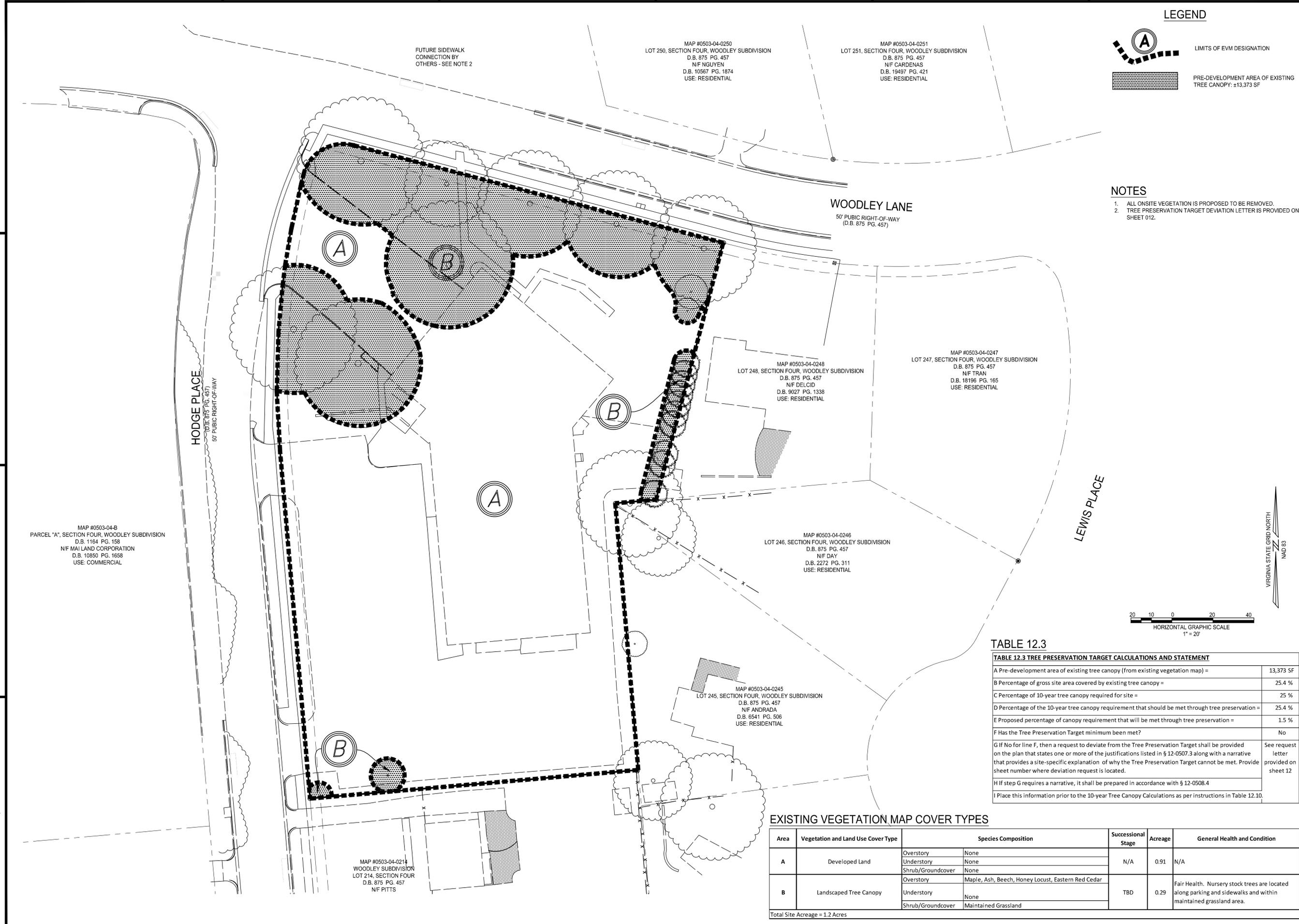
Rezoning Application

RZ 2015-MA-018



Applicant: BOARD OF SUPERVISORS OF FAIRFAX COUNTY, VIRGINIA
Accepted: 12/28/2015
Proposed: PUBLIC USES (FIRE STATION)
Area: 1.2 AC OF LAND; DISTRICT - MASON
Zoning Dist Sect: SOUTH SIDE OF ARLINGTON BOULEVARD AT THE INTERSECTION OF HODGE PLACE AND WOODLEY LANE
Located:
Zoning: FROM C- 5 TO R- 4
Overlay Dist:
Map Ref Num: 050-3- /04/ / B





LEGEND

- LIMITS OF EVM DESIGNATION
- PRE-DEVELOPMENT AREA OF EXISTING TREE CANOPY: ±13,373 SF

NOTES

1. ALL ONSITE VEGETATION IS PROPOSED TO BE REMOVED.
2. TREE PRESERVATION TARGET DEVIATION LETTER IS PROVIDED ON SHEET 012.

TABLE 12.3

TABLE 12.3 TREE PRESERVATION TARGET CALCULATIONS AND STATEMENT	
A Pre-development area of existing tree canopy (from existing vegetation map) =	13,373 SF
B Percentage of gross site area covered by existing tree canopy =	25.4 %
C Percentage of 10-year tree canopy required for site =	25 %
D Percentage of the 10-year tree canopy requirement that should be met through tree preservation =	25.4 %
E Proposed percentage of canopy requirement that will be met through tree preservation =	1.5 %
F Has the Tree Preservation Target minimum been met?	No
G If No for line F, then a request to deviate from the Tree Preservation Target shall be provided on the plan that states one or more of the justifications listed in § 12-0507.3 along with a narrative that provides a site-specific explanation of why the Tree Preservation Target cannot be met. Provide sheet number where deviation request is located.	See request letter provided on sheet 12
H If step G requires a narrative, it shall be prepared in accordance with § 12-0508.4	
I Place this information prior to the 10-year Tree Canopy Calculations as per instructions in Table 12.10.	

EXISTING VEGETATION MAP COVER TYPES

Area	Vegetation and Land Use Cover Type	Species Composition		Successional Stage	Acreage	General Health and Condition
		Overstory	Understory			
A	Developed Land	Overstory	None	N/A	0.91	N/A
		Understory	None			
		Shrub/Groundcover	None			
B	Landscaped Tree Canopy	Overstory	Maple, Ash, Beech, Honey Locust, Eastern Red Cedar	TBD	0.29	Fair Health: Nursery stock trees are located along parking and sidewalks and within maintained grassland area.
		Understory	None			
		Shrub/Groundcover	Maintained Grassland			

Total Site Acreage = 1.2 Acres

christopher consultants
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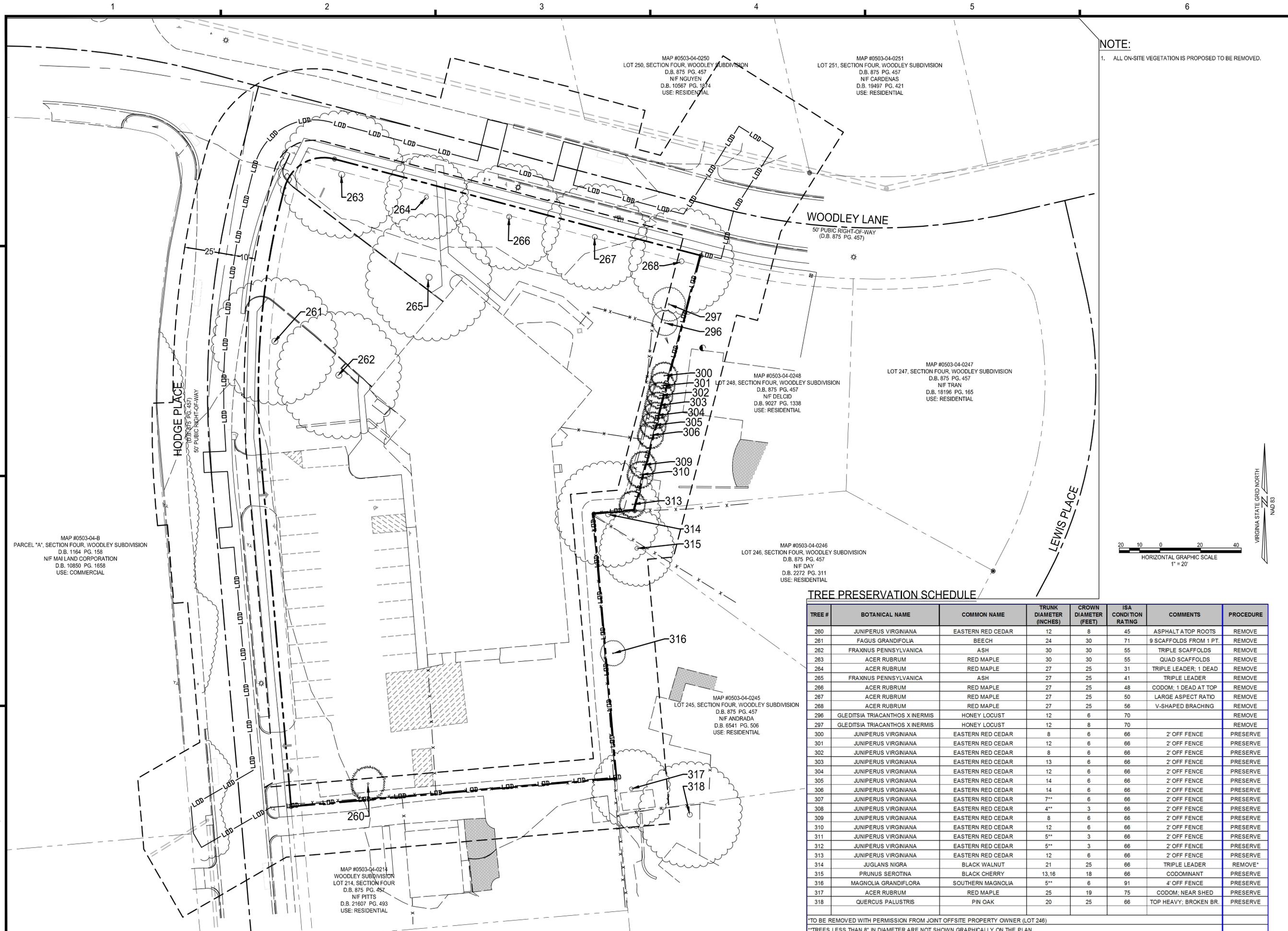
COMMONWEALTH OF VIRGINIA
 DENNIS M. QUINN
 Lic. No. 025697
 02/13/16
 PROFESSIONAL ENGINEER

JEFFERSON FIRE STATION #18
 GENERALIZED DEVELOPMENT PLAN
 TAX MAP #050-3 ((04)) B
 MASON DISTRICT, FAIRFAX COUNTY, VIRGINIA

DATE	MARK	DATE	DESCRIPTION
04/06/2016			

PROJECT NO: 15016.001.00
 DRAWING NO: 103482
 DATE: NOVEMBER 23, 2015
 DESIGN: DL, BB
 DRAWN: DL
 CHECKED: BB, DQ

SHEET TITLE:
EXISTING VEGETATION MAP
 SHEET No. **003**
 3 OF 12



NOTE:
1. ALL ON-SITE VEGETATION IS PROPOSED TO BE REMOVED.

TREE PRESERVATION SCHEDULE

TREE #	BOTANICAL NAME	COMMON NAME	TRUNK DIAMETER (INCHES)	CROWN DIAMETER (FEET)	ISA CONDITION RATING	COMMENTS	PROCEDURE
260	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	12	8	45	ASPHALT ATOP ROOTS	REMOVE
261	FAGUS GRANDIFOLIA	BEECH	24	30	71	9 SCAFFOLDS FROM 1 PT.	REMOVE
262	FRAXINUS PENNSYLVANICA	ASH	30	30	55	TRIPLE SCAFFOLDS	REMOVE
263	ACER RUBRUM	RED MAPLE	30	30	55	QUAD SCAFFOLDS	REMOVE
264	ACER RUBRUM	RED MAPLE	27	25	31	TRIPLE LEADER; 1 DEAD	REMOVE
265	FRAXINUS PENNSYLVANICA	ASH	27	25	41	TRIPLE LEADER	REMOVE
266	ACER RUBRUM	RED MAPLE	27	25	48	CODOM: 1 DEAD AT TOP	REMOVE
267	ACER RUBRUM	RED MAPLE	27	25	50	LARGE ASPECT RATIO	REMOVE
268	ACER RUBRUM	RED MAPLE	27	25	56	V-SHAPED BRANCHING	REMOVE
296	GLEDITSIA TRIACANTHOS X INERMIS	HONEY LOCUST	12	6	70		REMOVE
297	GLEDITSIA TRIACANTHOS X INERMIS	HONEY LOCUST	12	6	70		REMOVE
300	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	8	6	66	2' OFF FENCE	PRESERVE
301	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	12	6	66	2' OFF FENCE	PRESERVE
302	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	8	6	66	2' OFF FENCE	PRESERVE
303	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	13	6	66	2' OFF FENCE	PRESERVE
304	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	12	6	66	2' OFF FENCE	PRESERVE
305	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	14	6	66	2' OFF FENCE	PRESERVE
306	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	14	6	66	2' OFF FENCE	PRESERVE
307	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	7**	6	66	2' OFF FENCE	PRESERVE
308	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	4**	3	66	2' OFF FENCE	PRESERVE
309	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	8	6	66	2' OFF FENCE	PRESERVE
310	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	12	6	66	2' OFF FENCE	PRESERVE
311	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	5**	3	66	2' OFF FENCE	PRESERVE
312	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	5**	3	66	2' OFF FENCE	PRESERVE
313	JUNIPERUS VIRGINIANA	EASTERN RED CEDAR	12	6	66	2' OFF FENCE	PRESERVE
314	JUGLANS NIGRA	BLACK WALNUT	21	25	66	TRIPLE LEADER	REMOVE*
315	PRUNUS SEROTINA	BLACK CHERRY	13, 16	18	66	CODOMINANT	PRESERVE
316	MAGNOLIA GRANDIFLORA	SOUTHERN MAGNOLIA	5**	6	91	4' OFF FENCE	PRESERVE
317	ACER RUBRUM	RED MAPLE	25	19	75	CODOM; NEAR SHED	PRESERVE
318	QUERCUS PALUSTRIS	PIN OAK	20	25	66	TOP HEAVY; BROKEN BR.	PRESERVE

*TO BE REMOVED WITH PERMISSION FROM JOINT OFFSITE PROPERTY OWNER (LOT 246)
**TREES LESS THAN 8" IN DIAMETER ARE NOT SHOWN GRAPHICALLY ON THE PLAN



JEFFERSON FIRE STATION #18
GENERALIZED DEVELOPMENT PLAN
TAX MAP #050-3 ((04)) B
MASON DISTRICT, FAIRFAX COUNTY, VIRGINIA

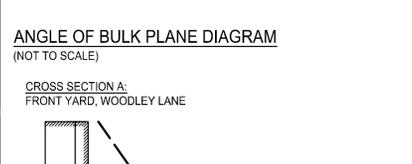
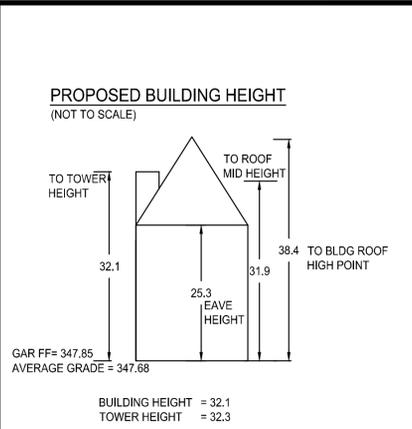
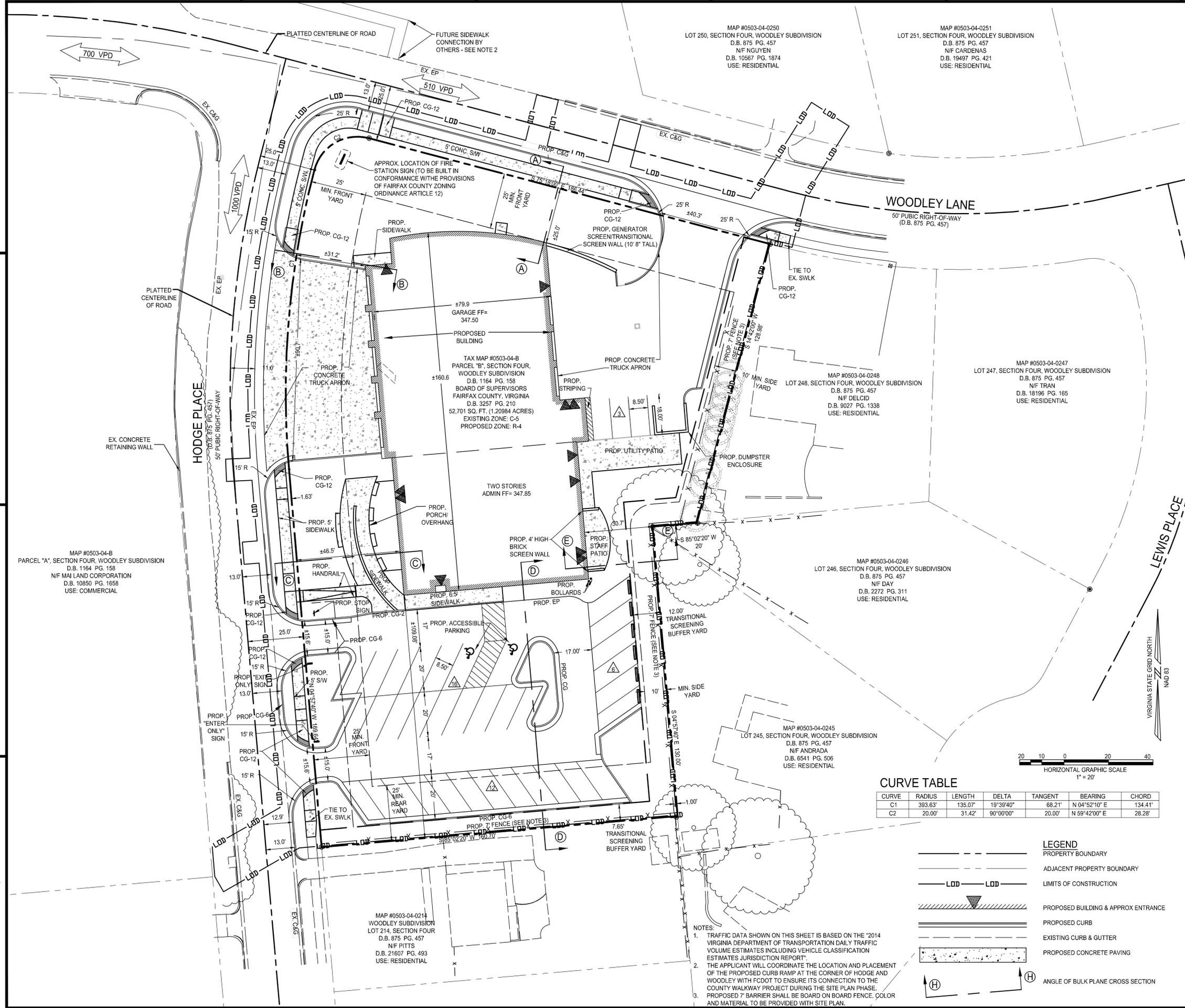
DATE	DESCRIPTION	MARK	DATE
04/06/2016	GDP SECOND SUBMISSION		
1			

PROJECT NO: 15016.001.00
DRAWING NO: 103482
DATE: NOVEMBER 23, 2015
DESIGN: LB, DL
DRAWN: DL
CHECKED: DO

SHEET TITLE:
TREE PRESERVATION

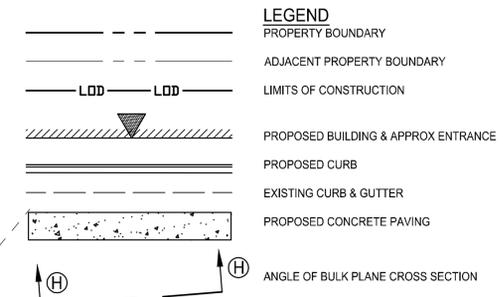
SHEET No.
004
4 OF 12

P:\Projects\15016\001\004\004 TREE PRESERVATION.dwg, 5/13/2016 2:50:06 PM, kathy.mcmahand, L1, christopher consultants, Ltd.



CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	TANGENT	BEARING	CHORD
C1	393.63'	135.07'	19°39'40"	68.21'	N 04°52'10" E	134.41'
C2	20.00'	31.42'	90°00'00"	20.00'	N 59°42'00" E	28.28'



- NOTES:**
- TRAFFIC DATA SHOWN ON THIS SHEET IS BASED ON THE "2014 VIRGINIA DEPARTMENT OF TRANSPORTATION DAILY TRAFFIC VOLUME ESTIMATES INCLUDING VEHICLE CLASSIFICATION ESTIMATES JURISDICTION REPORT".
 - THE APPLICANT WILL COORDINATE THE LOCATION AND PLACEMENT OF THE PROPOSED CURB RAMP AT THE CORNER OF HODGE AND WOODLEY WITH FCDOT TO ENSURE ITS CONNECTION TO THE COUNTY WALKWAY PROJECT DURING THE SITE PLAN PHASE.
 - PROPOSED 7' BARRIER SHALL BE BOARD ON BOARD FENCE, COLOR AND MATERIAL TO BE PROVIDED WITH SITE PLAN.



JEFFERSON FIRE STATION #18
GENERALIZED DEVELOPMENT PLAN
TAX MAP #050-3 (041) B
MASON DISTRICT, FAIRFAX COUNTY, VIRGINIA

DATE	DESCRIPTION	MARK	DATE
04/06/2016	GDP SECOND SUBMISSION		

PROJECT NO: 15016.001.00
DRAWING NO: 103482
DATE: NOVEMBER 23, 2015
DESIGN: BB
DRAWN: BB
CHECKED: DO

SHEET TITLE:
GENERALIZED DEVELOPMENT PLAN
SHEET No. **005** OF 12

Virginia Runoff Reduction Method ReDevelopment Worksheet - v2.8 - June 2014

To be used w/ 2011 BMP Standards and Specifications

Site Data

Project Name: JEFFERSON FIRE STATION #18 - PERMANENT ONSITE
Date: NOVEMBER 13, 2015

data input cells
calculation cells
constant values

Post-ReDevelopment Project & Land Cover Information Total Disturbed Acreage 1.21

Constants table with columns for Annual Rainfall, Target Rainfall Event, Phosphorus EMC, Target Phosphorus Target Load, and Nitrogen EMC.

Pre-ReDevelopment Land Cover (acres) table with columns for A soils, B Soils, C Soils, D Soils, and Totals.

Post-ReDevelopment Land Cover (acres) table with columns for A soils, B Soils, C Soils, D Soils, and Totals.

Area Check and Rv Coefficients tables.

Land Cover Summary tables comparing Listed and Adjusted values for Forest, Managed Turf, and Impervious Cover.

Pre-Development Treatment Volume and Load tables for acre-ft, cubic feet, and TP.

Adjusted Land Cover Summary and Load Reduction Required tables.

Pre-Development Load (TN) and Post-Development Load (TN) table.

Drainage Area A

Drainage Area A Land Cover (acres) table with columns for A soils, B Soils, C Soils, D Soils, Totals, and Land Cover Rv.

Apply Runoff Reduction Practices to Reduce Treatment Volume & Post-Development Load in Drainage Area A

Table for Drainage Area A practices including Underground Detention West, with columns for Credit, Unit, Description, Credit, Credit Area, Volume from Upstream RR Practice, Runoff Reduction, Remaining Runoff Volume, Phosphorus Efficiency, Phosphorus Load, Untreated Phosphorus Load, Phosphorus Removed, Remaining Phosphorus Load, and Downstream Treatment.

Drainage Area B

Drainage Area B Land Cover (acres) table with columns for A soils, B Soils, C Soils, D Soils, Totals, and Land Cover Rv.

Apply Runoff Reduction Practices to Reduce Treatment Volume & Post-Development Load in Drainage Area B

Table for Drainage Area B practices including Underground Detention East, with columns for Credit, Unit, Description, Credit, Credit Area, Volume from Upstream RR Practice, Runoff Reduction, Remaining Runoff Volume, Phosphorus Efficiency, Phosphorus Load, Untreated Phosphorus Load, Phosphorus Removed, Remaining Phosphorus Load, and Downstream Treatment.

Site Results

Site Results table comparing D.A. A and D.A. B for IMPERVIOUS COVER, IMPERVIOUS COVER TREATED, TURF AREA, TURF AREA TREATED, and AREA CHECK.

Phosphorus

Phosphorus summary table showing TOTAL PHOSPHOROUS LOAD REDUCTION REQUIRED, RUNOFF REDUCTION, PHOSPHOROUS LOAD REDUCTION ACHIEVED, ADJUSTED POST-DEVELOPMENT PHOSPHOROUS LOAD, and REMAINING PHOSPHOROUS LOAD REDUCTION NEEDED.



JEFFERSON FIRE STATION #18 GENERALIZED DEVELOPMENT PLAN
TAX MAP #050-3 ((04)) B
MASON DISTRICT, FAIRFAX COUNTY, VIRGINIA

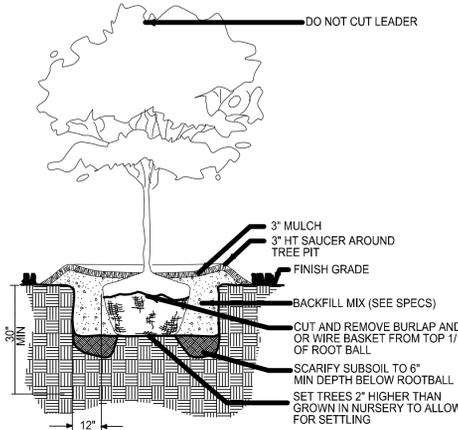
Table with columns for MARK, DATE, and DESCRIPTION.

PROJECT NO: 15016.001.00
DRAWING NO: 103482
DATE: NOVEMBER 23, 2015
DESIGN: BB
DRAWN: BB
CHECKED: DO

SHEET TITLE: BMP COMPUTATIONS

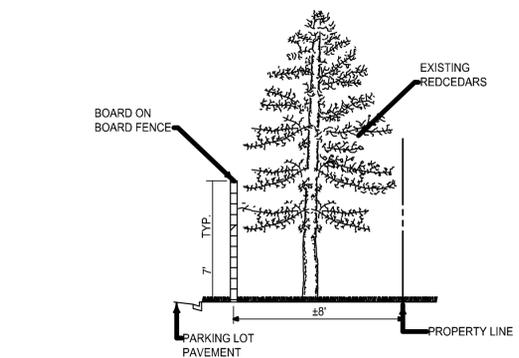
SHEET No. 008
8 OF 12

NOTE: THE COMPUTATIONS SHOWN HEREON ARE SUBJECT TO CHANGE BASED ON FINAL ENGINEERING DESIGN.



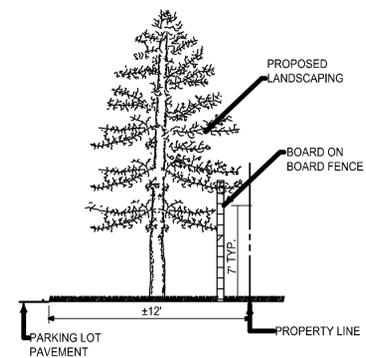
Trees up to 10' Ht. Tree Planting

Not To Scale



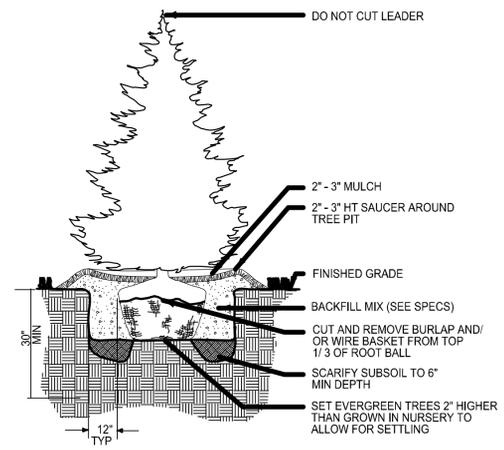
NORTHEAST TRANSITIONAL SCREENING

Not To Scale



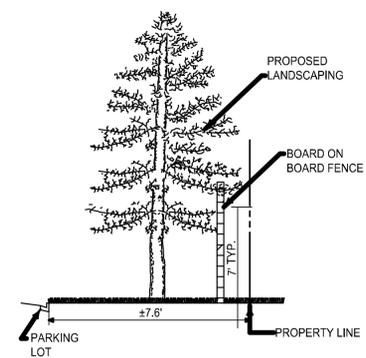
SOUTHEAST TRANSITIONAL SCREENING

Not To Scale



Evergreen Tree Planting

Not To Scale



SOUTH TRANSITIONAL SCREENING

Not To Scale

GENERAL NOTES:

1. IN LIEU OF MORE STRENUOUS SPECIFICATIONS, ALL LANDSCAPE RELATED WORK SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CURRENT AND MOST UP-TO-DATE EDITION (AT TIME OF CONSTRUCTION) OF 'LANDSCAPE SPECIFICATION GUIDELINES' AS PRODUCED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF MARYLAND, DISTRICT OF COLUMBIA AND VIRGINIA, GAITHERSBURG, MARYLAND.
2. CONTRACTOR IS RESPONSIBLE FOR CONTACTING MISS UTILITY PRIOR TO BEGINNING ANY WORK.
3. ALL WORK PERFORMED SHALL MEET OR EXCEED THE MOST RECENT INDUSTRY STANDARDS, AS PUBLISHED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA), AMERICAN NATIONAL ARBORIST ASSOCIATION (NAA). IN THE EVENT CULTURAL TREATMENTS PRESCRIBED ARE NOT COVERED BY AN EXISTING STANDARD, ALL WORK PERFORMED SHALL MEET OR EXCEED STANDARDS APPROVED BY THE URBAN FORESTRY BRANCH.
4. ALL CONSTRUCTION ACTIVITY BEYOND THE LIMITS OF CLEARING AND GRADING SHOWN ON THE SITE PLAN AND THE TREE PRESERVATION PLAN SHALL BE PROHIBITED UNLESS PREVIOUSLY APPROVED BY THE URBAN FORESTRY BRANCH.
5. ALL OF THE REQUIREMENTS OF THE FAIRFAX COUNTY PUBLIC FACILITIES MANUAL, ARTICLE 12, VEGETATION PRESERVATION AND PLANTING, SHALL BE FOLLOWED.

SPECIFICATIONS FOR TREE PLANTING

PLANT IDENTIFICATION: ALL PLANTS SHALL BE PROPERLY MARKED FOR IDENTIFICATION AND CHECKING.

LIST OF PLANT MATERIAL: THE CONTRACTOR WILL VERIFY PLANT QUANTITIES PRIOR TO BIDDING AND ANY DISCREPANCIES SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER. THE CONTRACTOR SHALL FURNISH AND PLANT ALL PLANTS REQUIRED TO COMPLETE THE WORK AS SHOWN ON THE DRAWINGS. SUBSTITUTIONS SHALL NOT BE MADE WITHOUT THE WRITTEN APPROVAL OF THE OWNER AND THE FAIRFAX COUNTY URBAN FOREST MANAGEMENT DIVISION.

PLANT QUALITY: ALL SHRUBS SHALL BE DENSE, HEAVY TO THE GROUND, AND WELL GROWN, SHOWING EVIDENCE OF HAVING BEEN SHEARED REGULARLY, SHALL BE VIGOROUS, HEALTHY, AND OF GOOD COLOR. ALL PLANTS SHALL BE SOUND, FREE OF PLANT DISEASE OR INSECT EGGS, AND SHALL HAVE HEALTHY NORMAL ROOT SYSTEMS. PLANTS SHALL BE FRESHLY DUG AND NOT HELD-IN STOCK, NOR STOCK FROM COLD STORAGE. ALL PLANTS SHALL BE NURSERY GROWN. PLANTS SHALL NOT BE PRUNED PRIOR TO DELIVERY. THE SHAPE OF THE PLANT IN GENERAL SHALL CONFORM TO ITS NATURAL GROWTH PROPORTIONS, UNLESS OTHERWISE SPECIFIED. ALL PLANTS INCLUDING CONTAINER-GROWN SHALL CONFORM TO THE BRANCHING, CALIPER, AND HEIGHT SPECIFICATIONS OF THE "AMERICAN STANDARD FOR NURSERY STOCK", ANSI Z60.1, LATEST EDITION, AND SHALL HAVE A WELL-SHAPED, HEAVY BRANCH STRUCTURE FOR THE SPECIES. EVERGREEN TREES ARE TO HAVE AN INTERNODE NO GREATER THAN 24" AND SHALL BE UNIFORMLY WELL-SHAPED. ALL PLANT SIZES SHALL AVERAGE AT LEAST THE MIDDLE OF THE RANGE GIVEN IN THE PLANT LIST.

PLANT SPACING: PLANT SPACING IS TO SCALE ON PLAN.

BALL SIZE: THE BALL SIZE SHALL CONFORM TO THE LATEST EDITION AT PLANTING OF THE AMERICAN ASSOCIATION OF NURSERYMEN'S PUBLICATION ENTITLED "AMERICAN STANDARD FOR NURSERY STOCK", ANSI Z60.1, LATEST EDITION.

EXCAVATION: HOLES FOR ALL TREES SHALL PROVIDE AT LEAST 12 INCHES OF LOOSENEED SOIL BEYOND ALL SIDES OF ROOT BALL OR CONTAINER. SHRUBS SHALL BE PLANTED IN A TRENCH WHERE POSSIBLE AND PROVIDE AT LEAST 6 INCHES OF LOOSENEED SOIL BEYOND ALL SIDES OF ROOT BALL OR CONTAINER. SHRUB BEDS FOR MASS PLANTING SHALL BE ENTIRELY ROTOTILLED TO A DEPTH OF AT LEAST 6 INCHES. ORGANIC MATERIAL (I.E. COMPOST) TO BE INCORPORATED INTO BACKFILL MIX AT A PROPORTION OF 2 PARTS SOIL TO 1 PART ORGANIC MATERIAL.

PLANTING: PLANTINGS WILL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE LANDSCAPE SPECIFICATION GUIDELINES (LCA) AS PRODUCED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF MARYLAND, DISTRICT OF COLUMBIA AND VIRGINIA; GAITHERSBURG, MARYLAND. BACKFILLING SHALL BE DONE WITH SOIL MIX, REASONABLY FREE OF STONES, SUBSOIL, CLAY, LUMPS, STUMPS, ROOTS, WEEDS, BERMUDA GRASS, LITTER, TOXIC SUBSTANCES, OR ANY OTHER MATERIAL WHICH MAY BE HARMFUL TO PLANT GROWTH OR HINDER GRADING, PLANTING, OR MAINTENANCE OPERATIONS. SHOULD ANY UNFORESEEN OR UNSUITABLE PLANTING CONDITIONS ARISE SUCH AS FAULTY SOIL DRAINAGE OR CHEMICAL RESIDUES, THEY SHOULD BE CALLED TO THE ATTENTION OF THE OWNER FOR ADJUSTMENT BEFORE PLANTING. THE PLANTS SHALL BE SET PLUMB AND STRAIGHT. BACKFILL SHALL BE WELL WORKED ABOUT THE ROOTS AND SETTLED BY WATERING. PLANTS WILL BE PLANTED HIGHER THAN SURROUNDING GRADE. SHRUBS WILL BE 1 INCH HIGHER AND TREES WILL BE 3 INCHES HIGHER. REMOVE ROPE FROM AROUND TREE TRUNKS AND LAY BACK BURLAP FROM TOP OF B&B MATERIAL. NYLON OR VINYL ROPE AND/OR BURLAP WILL BE COMPLETELY REMOVED FROM ALL PLANT MATERIAL PRIOR TO PLANTING. TREES ARE NOT TO BE PLANTED UNDER OR NEAR LIGHT POLES.

SEEDLINGS: KEEP SEEDLING ROOTS MOIST AT ALL TIMES. IDEAL PLANTING DAYS ARE COOL AND CLOUDY WITH LITTLE OR NO WIND. IF THE PLANTING AREA CONTAINS COMPACTED SOIL OR FILL, THE SOIL THROUGHOUT THE AREA SHALL BE AMENDED WITH 3-6 INCHES OF ORGANIC MATTER AND THOROUGHLY TILLED TO A DEPTH OF 12 INCHES BEFORE PLANTING. AFTER THE SOIL HAS BEEN PREPARED AND ALLOWED TO SETTLE, THE SEEDLINGS MAY BE PLANTED USING THE DIBBLE BAR, SHOVEL OR AUGER METHOD. THE MULCH BED SHALL CONSIST OF A MINIMUM OF 2 INCHES OF ORGANIC MULCH THAT SHALL BE PLACED ON THE TOPSOIL LAYER AT FINAL GRADE. MULCH SHALL CONSIST OF WOOD CHIPS, BARK CHIPS OR SHREDDED BARK THAT HAS BEEN AGED FOR A MINIMUM OF 4 MONTHS. SEEDLINGS SHALL BE PLANTED WITH PROTECTION TUBING PER PFM SECTION 12-0705.5.

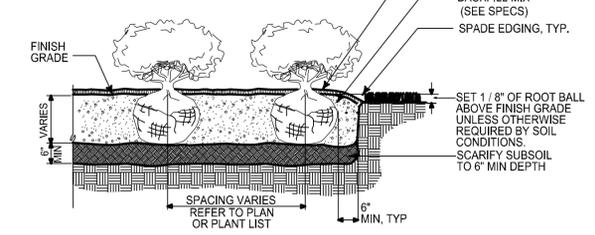
CULTIVATION: ALL TRENCHES AND SHRUB BEDS SHALL BE CULTIVATED, EDGED, AND MULCHED TO A DEPTH OF 3 INCHES WITH FINE SHREDDED HARDWOOD BARK. THE AREA AROUND ISOLATED PLANTS SHALL BE MULCHED TO AT LEAST A 6-INCH GREATER DIAMETER THAN THAT OF THE HOLE. PLANT BEDS ADJACENT TO BUILDINGS SHALL BE MULCHED TO THE BUILDING WALL.

MAINTENANCE: MAINTENANCE OF ALL TREES AND LANDSCAPE MATERIALS SHALL CONFORM TO THE ACCEPTED INDUSTRY STANDARDS SET FORTH BY THE LANDSCAPE CONTRACTORS ASSOCIATION. THE CONTRACTOR SHALL BE RESPONSIBLE DURING THE CONTRACT AND, UP TO THE TIME OF ACCEPTANCE, FOR KEEPING THE PLANTING AND WORK INCIDENTAL THERETO IN GOOD CONDITION, BY REPLANTING, PLANT REPLACEMENT, WATERING, WEEDING, CULTIVATING, PRUNING AND SPRAYING, AND CLEANING UP, AND BY PERFORMING ALL OTHER NECESSARY OPERATIONS OF CARE FOR PROMOTION OF GOOD PLANT GROWTH, SO THAT ALL WORK IS IN SATISFACTORY CONDITION AT THE TIME OF ACCEPTANCE, AT NO ADDITIONAL COST TO THE OWNER.

FERTILIZER: THE MOST ACCURATE WAY TO DETERMINE A TREE'S NUTRIENT NEEDS IS TO OBTAIN LABORATORY ANALYSIS OF THE SOIL. PH ANALYSIS AND SOIL NUTRIENT ANALYSIS SHOULD BE CONSIDERED. SIX TO TEN CORES SIX INCHES DEEP SHOULD BE TAKEN FROM THE AREA WHERE PROPOSED TREES WILL BE PLANTED. THESE CORES SHOULD BE MIXED TOGETHER IN CLEAN NONMETALLIC CONTAINER OR SOIL SAMPLE BAGS TO AVERAGE SOILS OVER THE ENTIRE AREA. SOIL ANALYSIS SHOULD BE DONE BY COMMERCIAL OR PUBLIC LABORATORIES. THESE LABORATORIES SHOULD PROVIDE RECOMMENDATIONS ABOUT HOW MUCH OF EACH OF THE BASIC NUTRIENTS SHOULD BE APPLIED. FERTILIZER SHOULD BE APPLIED TO THE SOIL ALONG PROPOSED TREES. THE FERTILIZER APPLICATION SHOULD BE AVOIDED IN DROUGHTS OR WHEN GROUND IS FROZEN.

NOTES:

1. FOR CONTAINER SHRUBS, COMPLETELY REMOVE ALL NON-BIODEGRADABLE CONTAINERS AND SCARIFY ROOTBALL BY USING A SHARP BLADE AND MAKING 4 TO 5 ONE INCH CUTS THE LENGTH OF THE ROOTBALL.
2. FOR B&B SHRUBS, CUT AND REMOVE BURLAP FROM TOP 1/3 OF ROOT BALL



Shrub Bed Planting

Not To Scale



JEFFERSON FIRE STATION #18
GENERALIZED DEVELOPMENT PLAN
 TAX MAP #050-3 ((04)) B
 MASON DISTRICT, FAIRFAX COUNTY, VIRGINIA

MARK	DATE	DESCRIPTION
1		

PROJECT NO: 15016.001.00
 DRAWING NO: 103482
 DATE: NOVEMBER 23, 2015
 DESIGN: BB
 DRAWN: DL
 CHECKED: DO

SHEET TITLE:

LANDSCAPE NOTES & DETAILS

SHEET No. **011**
 011 OF 12

THIS SHEET IS FOR LANDSCAPE PURPOSES ONLY



May 13, 2016

Mr. Keith Cline
Director of Urban Forestry
Department of Public Works and Environmental Services
Fairfax County
12055 Government Center Parkway, Suite 506
Fairfax, VA 22035-5503

RE: Jefferson Fire Station #18
Rezoning Application #RZ-2015-MA-018
Tax Map 050-3 (04) B
christopher Project#: 15016.001.00

Dear Mr. Cline:

On behalf of the Fairfax County Board of Supervisors and Fairfax County Capital Facilities - Building Design and Construction Division (the Applicant), we hereby request modifications and/or waivers of the tree canopy, tree preservation, and transitional screening requirements listed below for the Jefferson Fire Station #18 Permanent Facility. These waivers/modifications are requested as part of rezoning application (#RZ-2015-MA-018) in accordance with Section 13-305.14 of the Fairfax County Zoning Ordinance (ZO), where the public use has been designed to minimize adverse impacts on adjacent properties:

- 1. Tree Preservation - Deviation from tree preservation target per Code Section 122-2.3(b)1.
2. Transitional Screening Required: Type 2 (35' wide);
Barrier Type D, E, or F Along the east, south, and portion of the north North Provided: 10' tall brick or block wall
i. Modification requested for Barrier requirement
ii. Waiver requested for transitional screening barrier
East Provided: 12' wide buffer with 7' board on board fence
iii. Modification requested for barrier along property boundary, ZO 13-304.1
iv. Modification requested for buffer width per ZO 13-305.4
v. Modification requested for required shrubs within buffer, ZO 13-303.38(3)
South Provided: 7.6' wide buffer with 7' board on board fence
vi. Modification requested for barrier along property boundary
vii. Modification requested for buffer width per ZO 13-305.14
viii. Modification requested for required shrubs within buffer

Background

The current fire station is a 4-bay, one-story fire station at 14,670 square feet. The original station, built in 1953, has exceeded its useful life. The proposed project scope includes construction of a 5-bay facility to meet the updated programmatic requirements of the Fairfax County Fire & Rescue Department and projected needs into the future, including operational requirements, space for apparatus and equipment for Tactical Rescue Operations, and modified space requirements for personnel. The fire station is best suited to remain at its current site to centrally serve this area of Fairfax County. The site development requires rezoning from the existing C-5 commercial zone to a proposed R-4 zone, allowing the site to match the zoning characteristics of the adjacent subdivision while also increasing the building footprint to a 2-story, 18,000 square foot building. The building's five apparatus bays are proposed on the northern side of the building with administrative/dormitory space over two stories on the southern portion. The proposed site improvements include demolition of the existing building and parking lot, a proposed 37 space parking lot, proposed driveway aprons to both Hodge Place and Woodley Avenue, and transitional screening buffer yards along the east and south property boundaries. With two driveway aprons, three of the five apparatus bays will allow for drive through access; the two remaining bays will be back in access from the apron along Hodge Place.

The design of the site and building are required to be compact to fit the programmatic requirements within the existing parcel. The site was designed to reduce the parking lot limits to the maximum extent possible through angled parking and one-way drive aisles. The building grades will allow drive-thru access for three of the five apparatus bays with moderate slopes along each driveway apron, while connecting to existing grades within the public right-of-way and providing sufficient sight distance for exiting emergency vehicles. Full curb and sidewalk improvements are proposed for the length of the public right-of-way frontage and connecting to the proposed driveway entrances. Two stormwater management facilities are proposed underground within the Woodley Avenue driveway apron and the parking lot to provide stormwater quantity and quality controls without occupying additional land area. In total, the project parcel is proposed to be 95% disturbed with proposed improvements extending into the right-of-ways for Hodge Place and Woodley Avenue.

Tree Preservation

The existing site is defined on the north by large canopy trees along Woodley Avenue, evergreen trees marking the east property boundary with Lot 248, and a large paved parking lot/vehicle storage area to the south bordered by a thin strip of manicured grass areas and guardrail/fencing. An existing wood fence follows the east and south property boundaries.

A deviation is being requested from the Tree Preservation Target as required by Section 12-0508.3 of the Fairfax County Public Facilities Manual (PFM). As listed on Table 12.3 of the Existing Vegetation Map provided on sheet 03, the property has 25.5% existing tree canopy coverage. Accordingly, the tree canopy requirements for the property are 25% per the proposed zoning of R-4. Per the Zoning Ordinance, the target tree preservation requirement should be 25.5% of the proposed 25% tree canopy requirement or approximately 3,347 sf.

The Applicant is requesting a deviation from this target tree preservation goal. The Applicant is proposing to preserve approximately 622 sf of existing tree canopy on the property. The 622 sf of area represents the preservation of the 14 large cedars located along the northeastern property line adjacent to Lot 248. To preserve the trees, the Applicant agrees to install a new 7-foot board-on-board fence on the western side of the line of trees and to adjust the grading to minimize impacts to the critical root zone of the red cedars.

Due to the programming requirements for the new fire station to meet current life-saving standards, all other trees are proposed to be removed from the site. Effort was placed to preserve one or two of the existing large deciduous trees that line the Woodley Lane and Hodges Place. However, due to the proposed layout of the building, driveway apron, fire safety programming requirements and significant grading required around the new fire station to meet with the bordering roadways, the trees cannot be preserved without precluding development of the fire station in accordance with the current fire station needs as established under Code Section 122-2.3(b)1.

Transitional Screening

Transitional screening buffer yards and barriers are required along the south, east, and a portion of the north property boundaries, where the use as a public fire station is comparable to a quasi-public use (category 3) adjacent to detached residential parcels requiring a Type 2 (35' wide) transitional screening barrier and Type D, E, or F barrier. A transitional screening buffer yard and barrier are not required along the northwest property corner with Woodley Avenue and along Hodge Place, where the adjacent properties are commercial retail centers or an extension of the Arlington Boulevard (Route 50) right-of-way.

Transitional screening buffer yards and barriers are proposed along the east and south property boundaries. A waiver of the barrier location requirement is requested in accordance with ZO 13-304.1, to allow the proposed seven-foot tall fence to be located along both the east and south property boundaries. As agreed upon with County staff in a meeting held on May 12, 2016, a fence along the eastern and southern border is allowable to provide a continuous fabric around the site. It was agreed that a combination of a fence and wall along the eastern border would not be consistent with appropriate site design.

The Applicant is requesting a modification of the transitional screening and barrier requirements because a 35' wide transitional screening buffer yard would prevent the construction of the proposed new fire station by eliminating over 30% of the 1.21-acre site from development and thereby prevent the fire station from being improved and updated to meet current fire safety standards. By reducing the transitional screening buffer width to a combination of 7.6-foot and 12-foot wide along the property's southern and eastern borders, respectively, the development is able to provide an 18,000 sf, 5-bay, 2-story facility with a drive through capability that meets the new standards for fire safety, provide a dumpster pad, and full circulation within a limited but sufficient parking lot. The reduced transitional barrier also allows for the installation of two new underground stormwater detention facilities that will provide treatment to stormwater runoff where none existed on-site previously, thus helping the County meet its environmental goals of reducing phosphorous loading generated from its multitude of facilities throughout the County.

A waiver of the north transitional screening buffer yard is requested in accordance with ZO 13-305.14, where the transitional screening buffer yard is required in parallel with residential Lot 250 on the other side of Woodley Lane. The north east corner of the proposed development is largely comprised of the proposed driveway apron, an underground stormwater detention facility, and utility lines servicing the fire station building. As a fire station driveway entrance, greater sight distance is also desired to allow for quick egress and quicker response time to answer an emergency. The lines of sight provided on the

landscape plan, in accordance with VDOT requirements and as desired for fire department egress, restrict the available planting area as streetscape for Woodley Avenue. In lieu of the required trees, shrubs and low-ground landscaping are proposed by the Applicant where the land is not encumbered with the many restrictions such as utilities and easements.

A modification of the north transitional screening barrier is requested, where a 10'-8" brick wall is proposed for a portion of the northern property boundary to screen the fire station generator pad. The wall exceeds requirements for a Type E (6' tall brick wall) barrier for this portion of the transitional screening. The brick wall cannot be extended due to proposed utilities, underground stormwater management, and driveway access. Therefore, providing a transitional screening buffer and full barrier in the northeast property corner would conflict with the proposed driveway apron and utility services, limiting the fire station from addressing current programming requirements.

A modification of the east transitional screening buffer requirement is requested in accordance with ZO 13-305.4, where the required 35' transitional screening buffer yard and landscaping is reduced by 2/3 to 12' wide with a combination of a new 7-foot high fence, preservation of existing trees, and proposed new landscaping.

Along the eastern property line, the Applicant proposes to preserve 14 existing, fully matured red cedars that currently reside adjacent to Lot 248, and replace the existing 5-foot high wood fence with a new 7-foot high fence. Twenty feet of additional Category II evergreen trees are proposed to be added along the lot line to the north of the existing red cedars. The resulting fence, red cedars, and new evergreens will provide for an effective screening equal to and exceeding the existing landscaping features along Lot 248 and allow for the introduction of a safe new entrance along Woodley Lane that will improve the efficiency of the fire station operations.

The 12'-wide transitional screening buffer proposed along Lots 245 and 246 provides a dense strip of evergreen and deciduous trees with underlying shrubs and a 7-foot high fence that will replace an existing barren grass strip bordered by a 4'-5' high deteriorating wood fence. The resulting transitional barrier will provide for an effective screened border with the adjacent lots that exceeds current conditions, proposes an increase to the pervious area, and introduces landscaping where none previously existed.

A modification of the south transitional screening buffer is requested in accordance with ZO 13-305.14. The tight, urban, 1.2-acre site faces its tightest constraints from north to south. Due to the configuration of the new fire station, the north-south axis is forced to support the full width of the new fire station, and its parking lot. The resulting south transitional screening buffer yard is 7.6' wide with a seven-foot tall board-on-board fence and a proposed new landscaping of evergreen and deciduous trees densely planted. The site and parking layout was designed to its utmost efficiency with one-way drive aisles, angled parking, tight radii, and reduced parking spaces to increase the buffer area along the southern border. The resulting design exceeds the current conditions by increasing the parking set back from the property line, adds landscaping where none existed, increases the pervious area and provides for a new 7-foot high fence. The Applicant believes that the proposed transitional buffer and barrier provides for an effective screening with Lot 214 to the south and meets the intent of the Zoning Ordinance.

A modification of the shrubs within the east and south transitional screen buffers is requested as required by ZO 13-303.38(3). The east and south transitional screening buffer yards are proposed as a consistent line of evergreen and deciduous trees with a reduced amount of shrubs proposed along the landscape barriers adjacent to Lots 214, Lots 245, and 246. No shrubs are proposed along the barrier adjacent to Lot 248 as that area is designed to preserve the existing conditions and due to the existing red cedars preventing any growth of new shrubs.

With respect to the remaining landscape barrier length, the proposed evergreen and deciduous trees will grow quickly to heights greater than the proposed seven-foot barrier fence without interference from shrub growth and will maximize the buffer yard 10-year tree canopy greater than 75% of the landscape areas. Where possible, additional shrubs and ground cover are proposed as shown on the GDP without conflicting with desired lines of sight for egress emergency vehicles, risk of damage from vehicles, and proposed utility locations. The Applicant proposes to supplement the landscape barriers with additional ground cover and shrubs during the final engineering and construction process as conditions and funding allows. Shrubs and ground cover will also be added through final engineering in areas adjacent to the main entrance and the staff patio. Where the intent may be to provide understory growth for a proposed transitional screening buffer, similar to a new growth forest, site constraints result in a reduced buffer where we have maximized the potential for vegetative health while maintaining the needed transitional screening.

As described previously, the small urban site in combination of meeting the minimum requirements for a new fire station has resulted in a site design that requires the maximization of site use. The resulting layout reduced the transitional screening and barriers along the property's eastern and southern borders. Through a combination of intense new landscaping, a new seven-foot high fence, and the preservation of 10 red cedars, the Applicant's proposed design meets and exceeds the County desired intent to provide effective screening between the new fire station and its adjacent residential neighbors.

Tree Canopy

A modification of the tree canopy coverage is requested as required by Code Section 122-2-1. As a public fire station within a Residential R-4 zone, the subject parcel is required to provide 25% tree canopy coverage within ten years of the proposed development. As demonstrated here, the site constraints and the fire department's programming needs are both extensive, restricting the available planting area on an already tight urban parcel. With numerous proposed utility lines connecting from both Hodge Place and Woodley Avenue and increased sight distance requirements, the planting area is further constrained as shown on the landscape plan on sheet 010. As currently proposed, the site provides 9.6% 10-year canopy coverage of the site, nearly meeting the 10% tree canopy coverage required for a similar uses. The request to provide 10% tree canopy coverage of the site area maximizes all available landscape area with a mixture of evergreen and deciduous trees to be supplemented with shrubs and ground cover as appropriate.

The Applicant is requesting these waivers/modifications in combination with the proposed fire station development and rezoning application. These requests allow the fire station to remain at the current site, while significantly upgrading the facility for the Fairfax County Fire & Rescue Department current programming requirements and into the future. The Applicant trusts it has provided reasonable justification for its requests.

If you have any questions or need additional information, please do not hesitate to contact the undersigned.

Very truly yours,

Dennis M. Quinn, PE

Group Leader, Public Services Division

DMQ/cl

Peripheral Parking Lot Landscaping table with columns: Plant Type, Number Required Per 40 L.F., Total Number Required, Existing Plants to Remain, New Plants Proposed, Total Number Provided.

Interior Parking Lot Landscaping table with columns: Tree Cover Required, Area to be Counted, Interior Landscaping Required (5%), Tree Cover Provided, Tree cover from preservation, and Total Area Provided.

To: Department of Public Works and Environmental Services
Office of Site Development Services
Plan Control Section
12055 Government Center Parkway
Fairfax, Virginia 22035-5503

- FOR OSDS USE ONLY -
Waiver # _____ Logged in by: _____
Page 1 of _____ Fee Amount _____
Paid on _____/_____/____ Receipt # _____
Logged to UFB on _____

REQUEST FOR WAIVER/MODIFICATION OF THE PROVISIONS OF ARTICLE 13 OF THE FAIRFAX COUNTY ZONING ORDINANCE

COVER SHEET

NOTE: a complete waiver/modification request must contain all of the following items:
(4) copies of a complete application (this cover sheet and appropriate attachment)
(4) sets of landscape plans with complete plan schedule and details
(4) copies of the applicant's letter of justification

WAIVER TYPE

- [x] transitional screening and/or barrier (USE ATTACHMENT A)
[x] tree cover (USE ATTACHMENT B)
[] interior parking lot (USE ATTACHMENT C)

SUBDIVISION PLANS ONLY:

If tree cover waiver/modification request is for a subdivision plan, the notification requirements of County Code section 101-2-2(9) must be met. Include with this request (4) copies of the typical letter of notification that was sent to adjoining or affected property owners and include a list of the property owners notified. At a minimum the letter should include the County requirements and a description of the proposed waiver/modification to those requirements.

1. APPLICATION INFORMATION (please print or type)

PROJECT NAME JEFFERSON FIRE STATION #18 TAX MAP # 50 - 3 -(4)-()-()- B
SUPERVISORY DISTRICT MASON
PROPERTY OWNER OR DEVELOPER Fairfax County Board of Supervisors PHONE 703-324-2321
ADDRESS 1200 GOVERNMENT CTR PKWY, FAIRFAX VA
AGENT FOR APPLICANT CHRISTOPHER CONSULTANTS, LTD. PHONE 703-273-6820
ADDRESS 9900 MAIN STREET, SUITE 400, FAIRFAX, VA 22031

2. PROPOSED USE: Fire Station EXISTING USE: Fire Station ZONING: R-4

USE MATRIX CATEGORY NUMBER FOR PROPOSED USE: #12

SITE PLAN SUBMITTED: YES [] NO [x] PLAN NUMBER (if applicable):

3. ZONING ORDINANCE REFERENCE
Section and paragraph under which modification or waiver is requested: 13-305.14

4. APPLICANT/AGENT SIGNATURE [Signature] DATE 05/13/16

ATTACHMENT A: TRANSITIONAL SCREENING AND/OR BARRIER WAIVER

NOTE: THIS FORM IS AN ATTACHMENT TO THE COVER SHEET

1. North PROPERTY LINE: Adjacent Use: Residential SE OR SP Use? N/A Adjacent Zoning: R-4

SCREENING REQUIRED: None: []
Screening yard required: 35' Type 2
NO. OF TREES: 6 large evergreens 6 medium evergreens
2 large deciduous 2 small deciduous 24 evergreen shrubs

SCREENING PROVIDED: None: [x]
Screening yard provided:
NO. OF TREES: 0 large evergreens 0 medium evergreens
0 large deciduous 0 small deciduous 5 evergreen shrubs

BARRIER TYPE: Existing: None Required: D,E,F Provided: 10'-8" Wall

2. East PROPERTY LINE: Adjacent Use: Residential SE OR SP Use? N/A Adjacent Zoning: R-4

SCREENING REQUIRED: None: [x]
Screening yard required: 35' Type 2
NO. OF TREES: 20 large evergreens 24 medium evergreens
9 large deciduous 11 small deciduous 84 evergreen shrubs

SCREENING PROVIDED: None: []
Screening yard provided: 12 feet
NO. OF TREES: 17 large evergreens 11 medium evergreens
2 large deciduous 0 small deciduous 9 evergreen shrubs

BARRIER TYPE: Existing: 6' wood fence Required: D,E,F Provided: 7 feet fence

3. South PROPERTY LINE: Adjacent Use: Residential SE OR SP Use? N/A Adjacent Zoning: R-4

SCREENING REQUIRED: None: []
Screening yard required: 35' Type 2
NO. OF TREES: 11 large evergreens 14 medium evergreens
5 large deciduous 6 small deciduous 48 evergreen shrubs

SCREENING PROVIDED: None: [x]
Screening yard provided: 7.6'
NO. OF TREES: 0 large evergreens 11 medium evergreens
3 large deciduous 0 small deciduous 0 evergreen shrubs

BARRIER TYPE: Existing: 6' fence Required: D,E,F Provided: 7' Fence

4. West PROPERTY LINE: Adjacent Use: RETAIL SE OR SP Use? N/A Adjacent Zoning: C-5

SCREENING REQUIRED: None: [x]
Screening yard required:
NO. OF TREES: large evergreens medium evergreens
large deciduous small deciduous evergreen shrubs

SCREENING PROVIDED: None: [x]
Screening yard provided:
NO. OF TREES: large evergreens medium evergreens
large deciduous small deciduous evergreen shrubs

BARRIER TYPE: Existing: NONE Required: N/A Provided: N/A

NOTE: Use additional copies of Attachment A as needed to describe every property line.

ATTACHMENT B: TREE COVER WAIVER

NOTE: THIS FORM IS AN ATTACHMENT TO THE COVER SHEET

TREE COVER REQUIRED: 25 PERCENT

TREE COVER PROPOSED: 9.6 PERCENT

IDENTIFY WOODED AREAS AND INDIVIDUAL TREES TO BE USED FOR PROPOSED TREE COVER (areas to be used to meet tree cover requirements should be shaded on the submitted plan):

- 11 - 2" CALIPER DECIDUOUS CATEGORY IV (200 SF)
7 - 2" CALIPER DECIDUOUS CATEGORY II (100 SF)
7 - 8-10' TALL EVERGREEN CATEGORY IV (200 SF)
14 - 8' TALL EVERGREEN CATEGORY II (75 SF)

SEE COMPUTATIONS PROVIDED ON SHEET 012 AND LANDSCAPE PLAN ON SHEET 010

SHOW TREE COVER CALCULATIONS HERE:

Tree Cover Calculations table with columns: Tree Cover Required, Gross Site Area, Percent of Tree Cover Required, Total Area of Tree Cover Required, Tree Cover Provided, Tree cover from preservation, and Total Tree Cover Provided.

* SEE WAIVER REQUEST LETTER PROVIDED ON THIS SHEET.

Table 12.10 10-year Tree Canopy Calculation Worksheet

Table 12.10 10-year Tree Canopy Calculation Worksheet table with columns: Step, Description, Totals.



9900 main street (suite 400) Fairfax, VA 22031
phone 703.273.6820 fax 703.273.6820



JEFFERSON FIRE STATION #18
GENERALIZED DEVELOPMENT PLAN
TAX MAP #050-3 (04) B
MASON DISTRICT, FAIRFAX COUNTY, VIRGINIA

Table with columns: GDP SECOND SUBMISSION, MARK, DATE, DESCRIPTION.

PROJECT NO: 15016.001.00
DRAWING NO: 103482
DATE: NOVEMBER 23, 2015
DESIGN: BB
DRAWN: DL
CHECKED: DO

SHEET TITLE:

LANDSCAPE NOTES & DETAILS

SHEET No.

012 OF 12

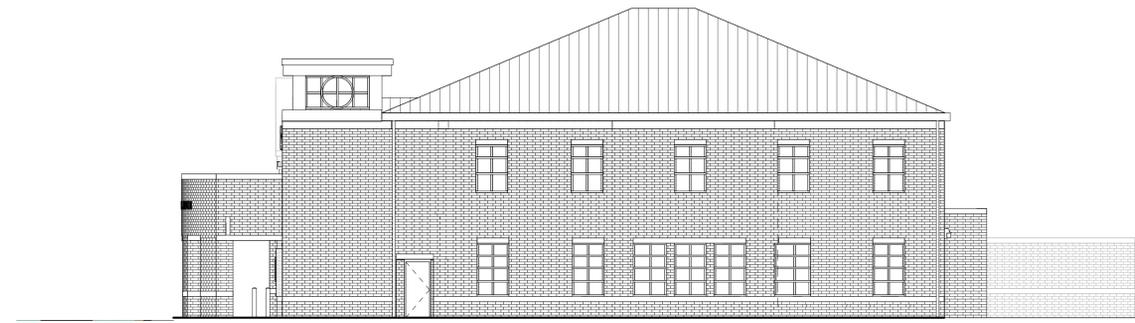
THIS SHEET IS FOR LANDSCAPE PURPOSES ONLY!

NOTE:
 1. ELEVATIONS ARE FOR REFERENCE
 PURPOSES ONLY. ELEVATIONS SHOWN
 REPRESENT DESIGN INTENT ONLY. MATERIAL
 SELECTIONS AND DESIGN FEATURES SUBJECT
 TO CHANGE.

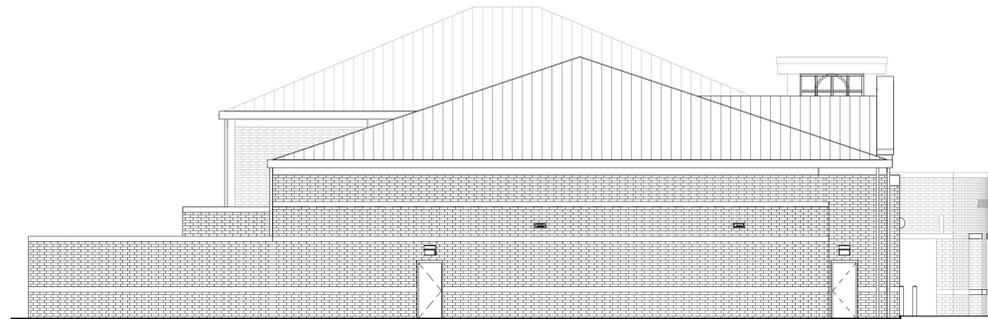
JEFFERSON FIRE STATION #18

FAIRFAX COUNTY DEPARTMENT OF PUBLIC
 WORKS AND ENVIRONMENTAL SERVICES

PROJECT ADDRESS: 3101 HODGE PL, FALLS CHURCH, VA 22042
 PROJ. NO.: 1340



D1 SOUTH ELEVATION
 SCALE: 3/32" = 1'-0"



C1 NORTH ELEVATION
 SCALE: 3/32" = 1'-0"



B1 EAST ELEVATION
 SCALE: 3/32" = 1'-0"



A1 WEST ELEVATION
 SCALE: 3/32" = 1'-0"

THIS SHEET IS FOR INFORMATIONAL PURPOSES ONLY!

SEAL

INTERIM REVIEW ONLY
 THESE DOCUMENTS ARE INCOMPLETE
 AND ARE RELEASED FOR INTERIM
 REVIEW ONLY AND ARE NOT INTENDED
 FOR REGULATORY APPROVAL, PERMIT,
 BIDDING OR CONSTRUCTION PURPOSES.

KEY PLAN

REVISIONS

MARK	DATE	ISSUE

ISSUANCES

DATE	ISSUANCE
5/13/2015	GDP RESUBMISSION #2

BUILDING ELEVATIONS

A-201A

**A GLOSSARY OF TERMS
FREQUENTLY USED IN STAFF
REPORTS WILL BE FOUND AT
THE BACK OF THIS REPORT**

DESCRIPTION OF THE APPLICATIONS

The applicant, the Fairfax County Board of Supervisors, requests a rezoning of the subject property from the C-5 Commercial District to the R-4 Residential District to replace the existing Jefferson Fire Station #18 and increase the maximum building area, up to a maximum of 18,300 square feet. (The existing facility is in need of replacement to meet current operational requirements, provide sufficient space for fire apparatus and equipment for Tactical Rescue operations and provide adequate accommodations for female personnel.)

(In addition to the requested rezoning, the applicant has filed for concurrent review pursuant to Sect. 15.2-2232 of the Code of Virginia. The review is subject to Feature Shown determination; application 2232-M15-23 will be considered independently by the Planning Commission.)

A reduced copy of the General Development Plan (GDP) is included at the front of this report. The proposed proffers, development conditions, the Applicant's Affidavit, and the Statement of Justification are contained in Appendices 1, 2 and 3, respectively.

Waivers & Modifications Requested:

- Modification of Sect. 13-303 of the Zoning Ordinance, which requires transitional screening, in favor of that depicted on the GDP.
- Modification of Sect. 13-304 of the Zoning Ordinance, which requires barriers to permit a 7 foot tall board on board fence to serve as the barrier wall.
- Deviation from the tree preservation target in favor of the alternative as depicted on the proposed GDP.
- Modification of the tree canopy coverage to permit 9.6% of 10-year canopy coverage on-site.

LOCATION AND CHARACTER

Location:

The 1.2 acre site is located on the southeastern corner of Woodley Lane and Hodge Place (south of Rt. 50 and east of Graham Road). Access to the site is currently

provided by three curb cuts along Hodge Place; one curb cut is proposed along Woodley Lane.

Site Description:

The subject property is currently operating as a 14,670 square foot, 4-bay, one-story fire station. The existing fire station sits close to the rear (eastern property line) of the lot with an asphalt parking lot to the south and west and a landscaped area to the north.



Figure 1: Aerial View of the Site

Surrounding Area Description:

The property abuts residences in the Woodley subdivision to the north, east, and south. The property to the west is a small commercial shopping center. A summary of the surrounding uses, zoning, and comprehensive plan recommendations is provided in the following table:

Surrounding Area Description			
Direction	Use	Zoning	Plan Map
North	Residential – Woodley Subdivision	R-4	3-4 du/ac

East	Residential – Woodley Subdivision	R-4	3-4 du/ac
South	Residential – Woodley Subdivision	R-4	3-4 du/ac
West	Commercial Shopping Center	C-5	Retail and Other

BACKGROUND

The existing fire station was constructed in 1953. There are no previously accepted proffers or rezoning actions that encumber the development of the site.

COMPREHENSIVE PLAN PROVISIONS

Plan Area:	Area I
Plan District:	Jefferson
Planning Sector:	J3, Westlawn Community Planning Sector
Plan Map:	Public Facilities

GDP ANALYSIS

Generalized Development Plan (GDP) (Copy at front of the staff report)

Title of GDP:	Jefferson Fire Station #18
Prepared By:	Christopher Consultants
Original and Revision	
Dates:	November 23, 2015, revised through May 13, 2016

Description of GDP:

Site Layout

The applicant is proposing to replace the existing 14,670 square foot fire station with a proposed 2-story, approximately 18,000 square foot station containing office and living space (for fire and rescue staff) plus five apparatus bays for fire truck storage, resulting in a total FAR of 0.34. The building will be located towards the north end of the lot, with an employee and visitor parking area located along the southern side of the building.

A seven foot tall, board on board fence will be located along the eastern and southern property boundaries to provide screening to the adjacent, residential lots. In addition to the fence, the existing red cedar trees on the eastern property boundary will be preserved and further bolstered by additional Category II and Category IV evergreen trees along the eastern and southern property boundaries. Along a portion of the northern property boundary, a combination of shrubs and Category II and IV deciduous trees will provide additional screening along Woodley Lane.

Two underground stormwater detention facilities are proposed on site. One facility is proposed to be located underneath the staff parking lot and the other is located on the northeast corner of the site. The applicant is currently evaluating infiltration systems as well as permeable pavement to meet water quality control requirements per the Public Facilities Manual.

Architecture and Signage

2-story building elevations are provided on Sheet A-201 of the GDP. The exterior design of the proposed fire station will incorporate a brick façade with a gable roof to be compatible with the architectural context of the surrounding neighborhood (see Figure 2). A 7 foot tall, board on board fence will be located on the eastern and southern boundaries of the site to provide screening to the adjacent residential properties. A fire station identification sign and/or public art will be located on the northwestern corner of the property. The proposed signage will conform to Article 12 of the Zoning Ordinance.

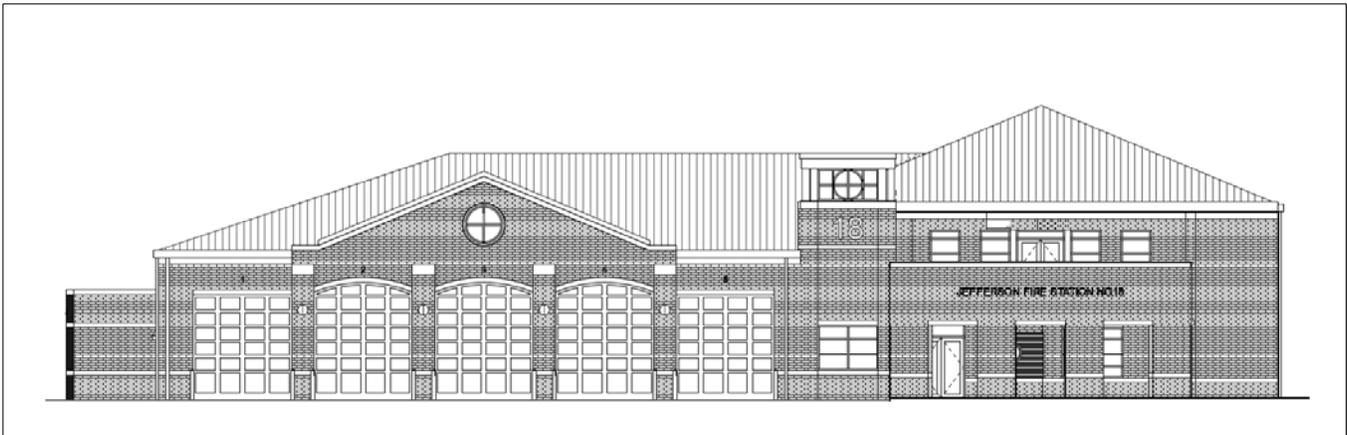


Figure 2: West Elevation

Vehicular Circulation and Parking

There are 4 points of access proposed on-site; two of those access points are solely for the fire trucks and associated equipment and two of the access points are for staff and visitor parking. Access to the fire station itself is provided from one access point on Woodley Lane and one access point on Hodge Place. Three of the five apparatus bays will utilize both access points for ingress and egress; two of the five apparatus bays will utilize the access from Hodge Place for ingress and egress. Access to the employee and visitor parking lot is provided via two additional, one-way access points on Hodge Place. A total of 37 parking spaces are provided on-site; 34 of the spaces are provided in the employee and visitor parking lot and three spaces are provided to the east of the station, south of the proposed rear access point and rear concrete apron.

Landscaping

Due to the compact nature of the site, the applicant has requested waivers and modifications to the transitional screening along the eastern, southern, and northern property lines; a deviation in tree preservation requirements; and a modification of the tree canopy coverage. Although the applicant is required to provide a 25 percent tree canopy coverage within ten years of the proposed development, additional plantings and landscaping are proposed to ensure that an overall tree cover of 9.6 percent is reached within ten years of the proposed development. The use of the board on board fence will allow for more substantial canopy coverage along the property boundaries because the roots will have more room to thrive. The total site is 52,446 square feet and the proposed tree coverage of 5,078 square feet represents 9.64 percent of the subject property.

UFMD staff recommended that the applicant redesign the site to maximize the preservation of the existing row of red cedars along with the offsite tree #314. As such, the applicant has included the existing red cedars in the Tree Preservation plan. Staff also recommended that the applicant create denser transitional screening in the front of the building, along Hodge Place. However, due to sight distance limits the applicant is unable to provide additional recommended screening in that location.

Due to the reduction of transitional screening along the southern and eastern property boundaries, UFMD staff recommended that the applicant plant Category II evergreen trees along the property boundaries to form a denser screen. The applicant has since revised the GDP to reflect these Category II evergreen trees along the eastern and southern property boundaries.

Stormwater Management

The subject property rests at a high point between two separate watersheds; Holmes Run to the southwest, and Tripps Run to the east. Two separate underground stormwater detention facilities are proposed, one for each outfall area. Both detention facilities will provide pre-treatment features for phosphorous removal. The majority of post-development runoff, including building runoff, will be detained and treated in the west outfall underground detention facility, located under the parking area at the southern end of the subject property. The second underground detention system, located under the rear entrance from Woodley Lane, will capture all remaining runoff. Outfall will continue through an existing storm sewer system within Woodley Lane. The proposed development will increase the amount of impervious surface onsite, particularly with the addition of the rear entrance and concrete apron. Measures proposed to address the additional impervious surface are described in the applicant's stormwater narrative.

The applicant is currently evaluating infiltration systems as well as permeable pavement and other stormwater quality measures to meet water quality control

requirements.

STAFF ANALYSIS

2232 Analysis

The applicant has filed for concurrent review pursuant to Sect. 12.2-2232 of the Code of Virginia. The review is subject to Feature Shown determination; application 2232-M15-23 is being delivered to the Planning Commission for review under separate cover.

Land Use/Environmental Analysis (Appendix 4)

As previously mentioned, this application seeks approval for a rezoning of the existing Jefferson Fire Station site to allow for the construction of a replacement facility to meet current operation needs. The current 14,670 square foot, 4-bay facility will be demolished to allow for new construction of a two-story, approximately 18,000 square foot, 5-bay facility. Mitigation of impacts is provided with additional landscaping and the provision of a screening wall. The rezoning from C-5 to R-4 will allow for the increase in maximum building area, up to a maximum of 18,300 square feet and does not raise any significant land use issues. The proposed rezoning and new construction of Jefferson Fire Station #18 is in conformance with the land use recommendation of the Comprehensive Plan which seeks to maintain the use of the property as a public facility.

The subject property retains much of its existing footprint and thus additional impacts should be minimal. Parking lot lighting will be appropriately scaled for the size of the proposed facility to provide security. All site lighting will be designed to comply with Zoning Ordinance requirements.

The applicant notes that site and building design will incorporate LEED Green Building principals and Low Impact Development (LID) guidelines to minimize environmental impact. This includes underground stormwater detention and infiltration systems described above. The applicant has committed that the project will be registered with the U.S. Green Building Council with a goal of Silver Certification, which addresses the County's Green Building policy.

Urban Forest Management Analysis (Appendix 5)

In order to enhance the landscape areas and ensure compatibility with the surrounding uses, UFMD staff provided the following comments and recommendations:

- The site should be re-evaluated and refined in order to incorporate the preservation of the row of eastern red cedars and offsite tree (#314) currently proposed for removal, located adjacent to lots 248 and 246. The type of 7-foot barrier should be refined in order to reduce the proposed limits of clearing and

grading outside as much of the row of red cedars' critical root zones as possible. In addition, the location of the barrier should be adjusted inward to be installed at the backside of the curb in the area adjacent to the red cedars.

- The site should be redesigned in a way to maximize opportunities to gain additional 10-year tree canopy credits by providing additional trees to create more dense transitional screening, in front of the building near the proposed sidewalk along Hodge Place, and in the large parking lot island adjacent to Hodge Place.
- Category II evergreens should be proposed at 10 foot on center in place of most of the Category IV evergreens, which should form a denser screen to help meet the intent of these decreased transitional screening areas. Category II evergreens should be installed in place of the shrubs all the way to the proposed sight distance line.

In response to staff comments, the applicant has revised the GDP to include the preservation of the red cedar trees on the eastern property boundary line. On the northern property line adjacent to Woodley Lane, the applicants have incorporated Category II and IV deciduous trees to help create a denser landscape along the northern portion of the building. The applicant has also revised the GDP to include Category II and IV evergreen trees along the southern property boundary. Staff believes these concerns have been adequately addressed.

Transportation Analysis (Appendix 7)

The Fairfax County Department of Transportation (FCDOT) does not anticipate any major traffic impact to planned or existing roads directly adjacent to the subject property. No significant traffic is expected to be generated from the station as staffing levels, hours of operation and public access to the site will remain as they currently exist. There should be no effect on existing transit service.

Three of the new fire engine bays will allow for drive-through entry/exit necessitating a new access point on Woodley Lane. Woodley Lane is approximately 25 feet wide, serves two way traffic, and has parking on one side; this requires vehicles to yield to each other when passing in opposite directions. The proposed access will eliminate existing street parking. Further parking restrictions may be required on Woodley Lane to ensure access for emergency vehicles, especially considering the turning radius of emergency response vehicles and the narrow street width. This new access point will be in the proximity of a residential driveway. Efforts should be made to ensure that the access point does not impede access to the residence.

Plans for the replacement facility show that the existing sidewalks on Hodge Place and Woodley Lane will be maintained. Measures should be taken to

ensure that pedestrian access is preserved throughout the construction process and that any new sidewalks comply with Americans with Disability Act (ADA) standards.

No additional issues were identified. Staff finds that the transportation issues associated with the application have been adequately addressed.

ZONING ORDINANCE PROVISIONS

The chart below reviews the required bulk standards with the proposed improvements:

Bulk Standards (R-4 Zoning)		
Standard	Required	Provided
Lot Size	8,400 square feet	1.2 acres
Lot Width	95 feet	135 feet
Building Height	60 feet max.	32.3 feet
Front Yard	35 degree ABP ¹ , but not less than 25 feet	25.0 feet (Woodley Lane) ±31.1 feet (Hodge Place)
Side Yard	30 degree ABP, but not less than 10 feet	±30.7 feet
Rear Yard	30 degree ABP, but not less than 25 feet	±109.1 feet
FAR	0.35	0.34
Open Space	None	N/A
Parking Spaces	Based on similar public facilities with approval of director	37 spaces
Transitional Screening & Barriers		
Direction	Required	Provided
North (Residential Use)	Screening Yard II (35 feet); Barrier D, E, or F	10 foot, 8 inch tall screening wall
East (Residential Use)	Screening Yard II (35 feet); Barrier D, E, or F	10 foot wide screening yard; 7 foot tall board on board fence ²
South (Residential Use)	Screening Yard II (35 feet); Barrier D, E, or F	7.6 foot wide screening yard; 7 foot tall board on board fence ²

¹. ABP=Angle of Bulk Plane

². A modification of the transitional screening and barrier requirements are requested.

As depicted on the GDP, the proposal complies with the majority of zoning and bulk provisions of the R-4 District, with the exceptions noted above, which are discussed further under the waivers and modifications section.

Waivers/ Modifications:

Modification of the Transitional Screening and Barrier Requirements to the north, east, and south in favor of that shown of the GDP

The Zoning Ordinance requires Transitional Screening Type II (35 foot depth) and a Barrier type D, E, or F (42-48 inch chain link fence, 6 foot brick or architectural block face wall, or 6 foot wood or architecturally solid fence; respectively) as the site is adjacent to residential uses to the north, east, and south. Staff supports the request

because of the compact nature of the site. However, staff recommends that the applicant utilize a board on board fence to provide the benefits of a masonry wall while allowing larger shade trees and vegetation to establish the larger root zone needed to flourish, as well as to minimize the impacts to existing off-site trees.

Tree Preservation Deviation

The County Public Facilities Manual (PFM) suggests a tree preservation target of 25.5 percent due to the existing 25 percent tree canopy coverage, or approximately 3,347 square feet. Due to the size of the lot and the programming proposed for the fire station, the applicant is proposing to remove a significant portion of the existing landscaping. In response to UFMD staff comments, the applicant has revised the GDP to incorporate the preservation of the row of red cedars on the eastern property boundary. In addition, a 7-foot tall board on board fence will be located on the western side of the row of cedars. The applicant has also proposed to adjust the grading of the site to minimize the impacts to the critical root zone of the red cedars. As a result, approximately 622 square feet of existing tree canopy will be preserved on site.

Modification of Tree Canopy Coverage

Since the site is proposed to rezone to that R-4 District, the PFM requires a 25 percent overall, 10-year Tree Canopy Cover. In response to UFMD comments the applicant incorporated denser landscaping, including Category II and IV deciduous trees, on the northern property boundary of the lot, along Woodley Lane. The applicant also lined the southern property boundary with a mixture of Category II and IV evergreen trees to provide a denser screening yard, per UFMD request. Due to site constraints (including proposed utility lines along both Woodley Lane and Hodge Place; increased site distance requirements; and fire station operational needs) the applicant is proposing an overall tree cover of 9.6 percent.

Summary of Zoning Ordinance Requirements

In staff's opinion, the application addresses the applicable standards.

CONCLUSIONS AND RECOMMENDATIONS

Staff Conclusions

The application seeks approval of a rezoning from the C-5 to the R-4 District on a 1.2 acre lot located on the southeastern corner of Woodley Lane and Hodge Place. The proposal conforms to the bulk standards of the R-4 District, is in harmony with the Comprehensive Plan, and conforms to applicable Zoning Ordinance provisions.

Staff Recommendations

Staff recommends approval of RZ 2015-MA-018, subject to the execution of proffers consistent with those contained in Appendix 1.

Staff recommends approval of a modification of transitional screening requirements on the north, east and south property boundaries, in favor of that depicted on the GDP.

Staff recommends the approval of a modification of barrier requirements, to permit a 7 foot tall board on board fence to serve as the barrier wall as depicted on the GDP.

Staff recommends approval of a deviation from the tree preservation target, in favor of the alternative as shown on the proposed GDP.

Staff recommends approval of a modification of the tree canopy coverage to permit 9.6 percent of 10-year canopy coverage on site.

It should be noted that it is not the intent of staff to recommend that the Board, in adopting any conditions proffered by the owner, relieve the applicant/ owner from compliance with the provisions of any applicable ordinances, regulations, or adopted standards.

It should be further noted that the content of this report reflects the analysis and recommendation of staff; it does not reflect the position of the Board of Supervisors.

The approval of this rezoning and special exception does not interfere with, abrogate or annual any easement, covenants, or other agreements between parties, as they may apply to the property subject to this application.

APPENDICES

1. Proffers
2. Affidavit
3. Statement of Justification
4. Land Use and Environmental Analysis
5. Urban Forest Management Analysis
6. Transportation (FCDOT) Analysis
7. Glossary

DRAFT
PROFFERS
FAIRFAX COUNTY BOARD OF SUPERVISORS
RZ 2015-MA-018
May 18, 2016

Pursuant to Section 15.2-2303(A) of the Code of Virginia, as amended, and subject to the approval of this application RZ 2015-MA-018, as proposed for rezoning from the C-5 District to the R-4 District, the Fairfax County Board of Supervisors (the “Applicant”) proffers that development of Tax Map Parcel 50-3 ((4)) B (the “Property”) shall be in accordance with the following proffered conditions:

1. Development Plan. Subject to the provisions of Section 18-204 of the Fairfax County Zoning Ordinance (the “Zoning Ordinance”), the redevelopment of the Property shall be in substantial conformance with the Generalized Development Plan (the “GDP”) dated November 23, 2015, revised thru May 13, 2016, prepared by Christopher Consultants. The GDP consists of twelve (12) sheets.
2. Architectural Elevations. Notwithstanding Proffer #1, the facades of the building on the Property shall be generally consistent with the building elevations which are included as Sheet A-201 of the GDP, in terms of architectural style and building materials (generally depicted as brick façade and a metal, gable roof.) The applicants shall install a board on board fence no less than seven (7) feet in height. The final location of the fence as shown on the GDP may be subject to modification based on final engineering, in consultation with the District Supervisor and DPWES.
3. Uses. Use of the property shall be limited to public uses up to a maximum floor area ratio of 0.34.

4. Stormwater Management and Best Management Practices (BMPs). Stormwater management and BMPS shall be provided as generally depicted on the GDP which depicts two underground stormwater detention, provided that they are in accordance with the PFM, as may be approved by DPWES. Adequate outfall shall be demonstrated in accordance with the PFM as determined by DPWES. Additional and/or alternative facilities may be located on site, provided that they are in substantial conformance with that depicted on the GDP and in accordance to the PFM, as determined by DPWES.

5. Green Building. The applicant shall register the project with the U.S. Green Building Council with a goal of Silver Certification which addresses the County's Green Building policy.

6. Noise. There shall be no exterior speakers on the building. The use of vehicle-mounted air horns/ sirens in the immediate vicinity of the fire station shall be minimized to the extent possible.

7. Tree Preservation. The Applicant shall submit a Tree Preservation Plan and Narrative as part of the first and all subsequent site plan submissions. The preservation plan and narrative shall be prepared by a Certified Arborist or a Registered Consulting Arborist, and shall be subject to the review and approval of the Urban Forest Management Division ("UFMD"). The tree preservation plan shall include a tree inventory that identifies the location, species, critical root zone, size, crown spread and condition analysis percentage rating for all individual trees located within the tree save area living or dead with trunks 10 inches in diameter and greater (measured at 4 ½ -feet from the base of the trunk or as otherwise allowed in the latest edition of the Guide for Plant Appraisal published by the International Society Arboriculture) and 25 feet outside of the proposed limits of clearing, in the undisturbed area and within 10 feet of the proposed limits of clearing in the area to be disturbed. All trees inventoried shall be tagged

in the field so they can be easily identified. If permission is not allowed from the offsite property owner to tag trees, it shall be noted on the tree preservation plan by providing written documentation between the Applicant and the offsite property owner. The tree preservation plan shall provide for the preservation of those areas shown for tree preservation, those areas outside of the limits of disturbance as shown on the GDP and those additional areas in which trees can be preserved as a result of final engineering. The tree preservation plan and narrative shall include all items specified in PFM 12-0507 and 12-0509. Specific tree preservation activities that will maximize the survivability of any tree identified to be preserved, such as: crown pruning, root pruning, mulching, soil testing and recommended fertilization. Cambistat, airspading within the critical root zone to incorporate the application of compost and bio-char shall be included in the plan.

8. Tree Preservation Walk-Through. The Applicant shall retain the services of a certified Arborist or Registered Consulting Arborist, and shall have the limits of clearing and grading marked with a continuous line of flagging prior to the walk-through meeting. During the tree-preservation walk-through meeting, the Applicant's Certified Arborist or Registered Consulting Arborist shall walk the limits of clearing and grading with an UFMD, DPWES representative to determine where adjustments to the clearing limits can be made to increase the area of tree preservation and/or to increase the survivability of trees at the edge of the limits of clearing and grading, and such adjustment shall be implemented. Trees that are identified as dead or dying may be removed as part of the clearing operation. Any tree that is designated shall be removed using a chain saw and such removal shall be accomplished in a manner that avoids damage to surrounding trees and associated understory vegetation. If a stump must be removed, this shall

be done using a stump-grinding machine in a manner causing as little disturbance as possible to adjacent trees and associated understory vegetation and soil conditions.

9. Limits of Clearing and Grading. The Applicant shall conform strictly to the limits of clearing and grading as shown on the GDP, subject to allowances specified in these proffered conditions and for the installation of utilities and/or trails as determined necessary by the Director of DPWES, as described herein. If it is determined necessary to install utilities and/or trails in areas protected by the limits of clearing and grading as shown on the GDP, they shall be located in the least disruptive manner necessary as determined by UFMD, DPWES. A replanting plan shall be developed and implemented, subject to approval by the UFMD, DPWES, for any areas protected by the limits of clearing and grading that must be disturbed for such trails or utilities. Regardless of the depiction on the GDP, the limits of clearing and grading shall be drawn to ensure the protection of the maximum critical root zone of the red cedars on the eastern property boundary.

10. Tree Preservation Fencing. All trees shown to be preserved on the tree preservation plan shall be protected by tree protection fencing. Tree protecting fencing in the form of four (4) foot high, fourteen (14) gauge welded wire attached to six (6) foot steel posts driven eighteen (18) inches into the ground and placed no further than ten (10) feet apart or, super silt fence to the extent that required trenching for super silt fence does not sever or wound compression roots which can lead to structural failure and/or uprooting of trees shall be erected at the limits of clearing and grading as shown on the demolition, and phase I & II erosion and sediment control sheets.

All tree protection fencing shall be installed after the tree preservation walk-through meeting but prior to any clearing and grading activities, including the demolition of any existing structures.

Three (3) days prior to the commencement of any clearing, grading or demolition activities, but subsequent to the installation of the tree preservation devices, the UFMD, DPWES, shall be notified and given the opportunity to inspect the site to ensure that all tree protection devices have been correctly installed. If it is determined that the fencing has not been installed correctly, no grading or construction activities shall occur until the fencing is installed correctly, as determined by the UFMD, DPWES.

11. Root Pruning. The Applicant shall root prune, as needed to comply with the tree preservation requirements of these proffered conditions. All treatments shall be clearly identified, labeled, and detailed on the erosion and sediment control sheets of the site plan submission. The details for these treatments shall be reviewed and approved by the UFMD, DPWES, accomplished in a manner that protects affected and adjacent vegetation to be preserved, and may include, but not be limited to the following:

- Root pruning shall be done with a trencher or vibratory plow to a depth of 18-24 inches.
- Root pruning shall take place prior to any clearing and grading, or demolition of structures.
- Root pruning shall be conducted with the supervision of a Certified Arborist or Registered Consulting Arborist.
- An UFMD, DPWES, representative shall be informed when all root pruning and tree protection fence installation is complete.

12. Site Monitoring. During any clearing or tree/vegetation/feature removal on the Property, a representative of the Applicant shall be present to monitor the process and ensure that the activities are conducted as proffered and as approved by UFMD. The Applicant shall retain the

services of a Certified Arborist or Registered Consulting Arborist to monitor all construction and demolition work and tree preservation efforts in order to ensure conformance with all tree preservation proffers, and UFMD approvals. The monitoring schedule shall be described and detailed in the Landscaping and tree Preservation Plan, and reviewed and approved by the UFMD.

13. Landscape Pre-Inspection Meeting. Prior to the installation of plants to meet requirements of the approved landscape plan, the Contractor/Developer shall coordinate a pre-installation meeting on site with the landscape contractor and a representative of the UFMD. Any proposed changes to the location of planting, size of trees/shrubs, and any proposed plant substitutions for species specified on the approved plan shall be reviewed at this time and must be approved prior to planting. The installation of plants not specified on the approved plan, and not previously approved by UFMD, may require submission of a revision to the landscape plan or removal and replacement with approved material.

Field location of planting material, when required by the approved plan, shall be reviewed at the pre-installation meeting. The Landscape Contractor shall stake proposed individual planting locations in consultation with the Contractor/Developer prior to the pre-installation meeting, for review by UFMD staff. Stakes shall be adjusted, as needed, during the course of the meeting as determined by UFMD staff based on discussion with the Contractor/Developer and the Landscape Contractor.

14. Native Species Landscaping. All landscaping provided shall be native to the middle Atlantic region to the extent feasible and non-invasive as determined by UFMD. In addition, the quality and quantity of landscaping provided shall be in substantial conformance with the GDP.

15. Soil Remediation for Compacted Areas Where Planting Is Proposed. A soil remediation plan shall be developed that addresses how soil compaction will be mitigated within the entire planting area (not only planting holes) to create a favorable planting condition to a depth of 18-24 inches within areas of compacted soil. The type, quantity, and quality of compost and topsoil to be used in accordance with the following criteria shall be specified. For more information please refer to the ANSI A300 Part 2: Tree, Shrub, and Other Woody Plant Management – Standard Practices (Soil Management a. modification, b. Fertilization, and c. Drainage) along with the supplemental BMP for “Soil Management for Urban trees.”

- Compost shall be derived from plant material and provided by a member of the U.S. Composting Seal of testing Assurance (STA) program.
- The compost shall be the result of the biological degradation and transformation of plant derived materials under conditions that promote anaerobic decomposition. The material shall be well composted, free of viable weed seeds, and stable with regard to oxygen consumption and carbon dioxide generation. The compost shall have a moisture content that has no visible free water or dust produced when handling the material. It shall meet the following criteria as reported by the U.S. Council STA Compost Technical Data Sheet provided by the vendor:
 - i. 100% of the material must pass through a half inch screen
 - ii. The pH of the material shall be between 5.5 and 7
 - iii. Manufactured inert material (plastic, concrete, ceramics, metal, etc.) shall be less than 10% by weight
 - iv. The organic matter content shall be less than 6.0 mmhos/cm
 - v. Maturity should be greater than 80%
 - vi. Stability shall be 7 or less
 - vii. Carbon/nitrogen ratio shall be less than 25:1
 - viii. Trace metal result = “pass”

ix. The compost must have a dry bulk density ranging from 40 to 50 lbs./cu.ft.

16. Successors and Assigns. These proffers will bind and inure to the benefit of the Applicant and its successors and assigns.

FAIRFAX COUNTY BOARD OF SUPERVISORS
Applicant and Title Owner of
Tax Map Parcel 50-3 ((4)) B

By: _____

Name: Edward L. Long Jr.

Title: County Executive, on behalf of the Fairfax County Board of Supervisors

REZONING AFFIDAVIT

DATE: December 8, 2015
 (enter date affidavit is notarized)

133206

I, Allison N. Terzigni, do hereby state that I am an
 (enter name of applicant or authorized agent)

(check one) applicant
 applicant's authorized agent listed in Par. 1(a) below

in Application No.(s): RZ 2015-MA-018
 (enter County-assigned application number(s), e.g. RZ 88-V-001)

and that, to the best of my knowledge and belief, the following information is true:

1(a). The following constitutes a listing of the names and addresses of all **APPLICANTS, TITLE OWNERS, CONTRACT PURCHASERS, and LESSEES** of the land described in the application,* and, if any of the foregoing is a **TRUSTEE**,** each **BENEFICIARY** of such trust, and all **ATTORNEYS and REAL ESTATE BROKERS**, and all **AGENTS** who have acted on behalf of any of the foregoing with respect to the application:

(NOTE: All relationships to the application listed above in **BOLD** print must be disclosed. Multiple relationships may be listed together, e.g., **Attorney/Agent, Contract Purchaser/Lessee, Applicant/Title Owner**, etc. For a multiparcel application, list the Tax Map Number(s) of the parcel(s) for each owner(s) in the Relationship column.)

NAME (enter first name, middle initial, and last name)	ADDRESS (enter number, street, city, state, and zip code)	RELATIONSHIP(S) (enter applicable relationships listed in BOLD above)
~ Fairfax County Board of Supervisors	12000 Government Center Parkway, Suite 530 Fairfax, VA 22035	Title Owner of TM 50-3((4)) B/ Applicant
~ Department of Public Works and Environmental Services	12055 Government Center Parkway, Suite 659 Fairfax, VA 22035	Agents for Title Owner
~ James W. Patteson, Director, DPWES	12055 Government Center Parkway, Suite 659 Fairfax, VA 22035	Agents for Title Owner
~ Ronald N. Kirkpatrick, Deputy Director, DPWES, Capital Facilities	12000 Government Center Parkway, Suite 449 Fairfax, VA 22035	Agents for Title Owner
~ Carey F. Needham, Director, Building Design and Construction Division	12000 Government Center Parkway, Suite 449 Fairfax, VA 22035	Agents for Title Owner

(check if applicable) There are more relationships to be listed and Par. 1(a) is continued on a "Rezoning Attachment to Par. 1(a)" form.

* In the case of a condominium, the title owner, contract purchaser, or lessee of 10% or more of the units in the condominium.
 ** List as follows: Name of trustee, Trustee for (name of trust, if applicable), for the benefit of: (state name of each beneficiary).

Rezoning Attachment to Par. 1(a)

DATE: December 8, 2015
 (enter date affidavit is notarized)

133206

for Application No. (s): RS - 2015 - MA - 018
 (enter County-assigned application number (s))

(NOTE): All relationships to the application are to be disclosed. Multiple relationships may be listed together, e.g., **Attorney/Agent, Contract Purchaser/Lessee, Applicant/Title Owner**, etc. For a multiparcel application, list the Tax Map Number(s) of the parcel(s) for each owner(s) in the Relationship column.

NAME (enter first name, middle initial, and last name)	ADDRESS (enter number, street, city, state, and zip code)	RELATIONSHIP(S) (enter applicable relationships listed in BOLD above)
✓ Allison Terzigni, Project Manager, Building Design Branch, BDCD	12000 Government Center Parkway, Suite 449 Fairfax, VA 22035	Agent for Title Owner
✓ Aaron Koch, Section Manager, Building Design Branch, BDCD	12000 Government Center Parkway, Suite 449 Fairfax, VA 22035	Agent for Title Owner
✓ Teresa Lepe, Branch Chief, Building Design Branch, BDCD	12000 Government Center Parkway, Suite 449 Fairfax, VA 22035	Agent for Title Owner
✓ Fairfax County County Executive Edward L. Long, Jr.	12000 Government Center Parkway, Suite 552 Fairfax, VA 22035	Agent of Title Owner
✓ Fairfax County Deputy County Executive Robert A. Stalzer	12000 Government Center Parkway, Suite 552 Fairfax, VA 22035	Agent of Title Owner
✓ Richard R. Bowers, Jr., Fire Chief, Fairfax County Fire and Rescue Department	4100 Chain Bridge Road, 7th Floor Fairfax, VA 22030	Agent of Title Owner

(check if applicable)

[]

There are more relationships to be listed and Par. 1(a) is continued further on a "Rezoning Attachment to Par. 1(a)" form.

REZONING AFFIDAVIT

DATE: December 8, 2015
(enter date affidavit is notarized)

133206

for Application No. (s): RZ 2015-MA-018
(enter County-assigned application number(s))

1(b). The following constitutes a listing*** of the **SHAREHOLDERS** of all corporations disclosed in this affidavit who own 10% or more of any class of stock issued by said corporation, and where such corporation has 10 or less shareholders, a listing of all of the shareholders, **and if the corporation is an owner of the subject land, all of the OFFICERS and DIRECTORS of such corporation:**

(NOTE: Include **SOLE PROPRIETORSHIPS, LIMITED LIABILITY COMPANIES, and REAL ESTATE INVESTMENT TRUSTS** herein.)

CORPORATION INFORMATION

NAME & ADDRESS OF CORPORATION: (enter complete name, number, street, city, state, and zip code)
None

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF SHAREHOLDERS: (enter first name, middle initial, and last name)

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name & title, e.g. **President, Vice President, Secretary, Treasurer, etc.**)

(check if applicable) There is more corporation information and Par. 1(b) is continued on a "Rezoning Attachment 1(b)" form.

*** All listings which include partnerships, corporations, or trusts, to include the names of beneficiaries, must be broken down successively until: (a) only individual persons are listed or (b) the listing for a corporation having more than 10 shareholders has no shareholder owning 10% or more of any class of stock. *In the case of an APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE* of the land that is a partnership, corporation, or trust, such successive breakdown must include a listing and further breakdown of all of its partners, of its shareholders as required above, and of beneficiaries of any trusts. Such successive breakdown must also include breakdowns of any partnership, corporation, or trust owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE* of the land. Limited liability companies and real estate investment trusts and their equivalents are treated as corporations, with members being deemed the equivalent of shareholders; managing members shall also be listed.* Use footnote numbers to designate partnerships or corporations, which have further listings on an attachment page, and reference the same footnote numbers on the attachment page.

REZONING AFFIDAVIT

DATE: December 8, 2015
(enter date affidavit is notarized)

133206

for Application No. (s): RZ 2015-MA-018
(enter County-assigned application number(s))

1(c). The following constitutes a listing*** of all of the PARTNERS, both GENERAL and LIMITED, in any partnership disclosed in this affidavit:

PARTNERSHIP INFORMATION

PARTNERSHIP NAME & ADDRESS: (enter complete name, number, street, city, state and zip code)
None

(check if applicable) [] The above-listed partnership has no limited partners.

NAMES AND TITLE OF THE PARTNERS (enter first name, middle initial, last name, and title, e.g. General Partner, Limited Partner, or General and Limited Partner)

(check if applicable) [] There is more partnership information and Par. 1(c) is continued on a "Rezoning Attachment to Par. 1(c)" form.

*** All listings which include partnerships, corporations, or trusts, to include the names of beneficiaries, must be broken down successively until: (a) only individual persons are listed or (b) the listing for a corporation having more than 10 shareholders has no shareholder owning 10% or more of any class of stock. In the case of an APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE* of the land that is a partnership, corporation, or trust, such successive breakdown must include a listing and further breakdown of all of its partners, of its shareholders as required above, and of beneficiaries of any trusts. Such successive breakdown must also include breakdowns of any partnership, corporation, or trust owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER or LESSEE* of the land. Limited liability companies and real estate investment trusts and their equivalents are treated as corporations, with members being deemed the equivalent of shareholders; managing members shall also be listed. Use footnote numbers to designate partnerships or corporations, which have further listings on an attachment page, and reference the same footnote numbers on the attachment page.

REZONING AFFIDAVIT

DATE: December 8, 2015
(enter date affidavit is notarized)

133206

for Application No. (s): RZ 2016-MA-018
(enter County-assigned application number(s))

1(d). One of the following boxes **must** be checked:

In addition to the names listed in Paragraphs 1(a), 1(b), and 1(c) above, the following is a listing of any and all other individuals who own in the aggregate (directly and as a shareholder, partner, and beneficiary of a trust) 10% or more of the **APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE*** of the land:

Other than the names listed in Paragraphs 1(a), 1(b), and 1(c) above, no individual owns in the aggregate (directly and as a shareholder, partner, and beneficiary of a trust) 10% or more of the **APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE*** of the land.

2. That no member of the Fairfax County Board of Supervisors, Planning Commission, or any member of his or her immediate household owns or has any financial interest in the subject land either individually, by ownership of stock in a corporation owning such land, or through an interest in a partnership owning such land.

EXCEPT AS FOLLOWS: (NOTE: If answer is none, enter "NONE" on the line below.)

None

(check if applicable) There are more interests to be listed and Par. 2 is continued on a "Rezoning Attachment to Par. 2" form.

REZONING AFFIDAVIT

DATE: December 8, 2015
(enter date affidavit is notarized)

133206

for Application No. (s): RZ2015-MA-018
(enter County-assigned application number(s))

3. That within the twelve-month period prior to the public hearing of this application, no member of the Fairfax County Board of Supervisors, Planning Commission, or any member of his or her immediate household, either directly or by way of partnership in which any of them is a partner, employee, agent, or attorney, or through a partner of any of them, or through a corporation in which any of them is an officer, director, employee, agent, or attorney or holds 10% or more of the outstanding bonds or shares of stock of a particular class, has, or has had any business or financial relationship, other than any ordinary depositor or customer relationship with or by a retail establishment, public utility, or bank, including any gift or donation having a value of more than \$100, singularly or in the aggregate, with any of those listed in Par. 1 above.

EXCEPT AS FOLLOWS: (NOTE: If answer is none, enter "NONE" on line below.)

None

(NOTE: Business or financial relationships of the type described in this paragraph that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings. See Par. 4 below.)

(check if applicable) [] There are more disclosures to be listed and Par. 3 is continued on a "Rezoning Attachment to Par. 3" form.

4. That the information contained in this affidavit is complete, that all partnerships, corporations, and trusts owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE* of the land have been listed and broken down, and that prior to each and every public hearing on this matter, I will reexamine this affidavit and provide any changed or supplemental information, including business or financial relationships of the type described in Paragraph 3 above, that arise on or after the date of this application.

WITNESS the following signature:

(check one)

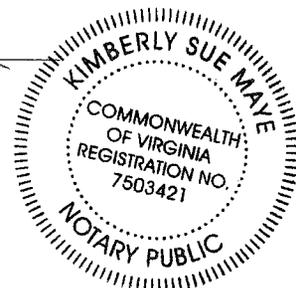
Allison N. Terzigni
[] Applicant [x] Applicant's Authorized Agent

Allison N. Terzigni, Project Manager/Agent
(type or print first name, middle initial, last name, and title of signee)

Subscribed and sworn to before me this 9th day of December 2015, in the State/Comm. of Virginia, County/City of Fairfax.

Kimberly Sue Maye
Notary Public

My commission expires: 5-31-19



Rezoning (RZ 2015-MA-018)
Jefferson Fire Station #18 Replacement Facility
Project Number 312/FS-000010-001
May 13, 2016

8. STATEMENT OF JUSTIFICATION

A. DESCRIPTION OF THE PROPOSED USE:

1. Project Description:

The current station is a 14,670 SF, 4-bay, one-story Fire Station, and is the original station that was built in 1953. This sixty plus year facility has exceeded its useful life and has requested to be replaced to meet its current operational requirements, provide sufficient space for fire apparatus and equipment for Tactical Rescue Operations, as well as, adequate accommodations for female personnel.

The proposed project scope includes demolition of the existing facility and construction of a new replacement 5-bay facility to accommodate the programmatic needs of today's fire station and provide its needs into the future. Since the new station is proposed to be larger than the existing the site will need to be rezoned from C-5 to R-4, which will allow for a max building area of 18,300 SF. The new station is projected to be approximately 18,000 SF, 5-bay facility. Three of the apparatus bays will allow for drive through access. Two of the bays will be back in access from the front apron. This provides the flexibility that is needed for this station into the future.

The new station is designed to house a crew of up to 18 fire fighters and accommodate a future capacity of three 24 hour shifts with a maximum of 20 fulltime employees per shift for a total of 60 employees. The design of the building is required to be compact to fit all programmatic requirements.

The station will be two-story building with apparatus bays on the north side of the building and living quarters on the other. The height of the overall building varies as it is limited by bulk planes, building setbacks, and transitional screening requirements. In addition to the building feature on the site, a combination of new landscaping and a new 7 foot tall board-on-board screening fence will be constructed on the south and east property lines and a 10 foot screening wall on a portion of the north property line adjacent to the residential properties.

First floor spaces in the living quarters include administrative offices, dayroom, kitchen, dining, and conference room. Where the second story spaces include bunk rooms, locker facilities and the exercise room. No programmatic spaces are planned to be above the apparatus bays.

As general depicted and included with this third submission, the current exterior design of the facility incorporates a traditional, primarily brick façade fire station with gable standing seam metal roof. Through the Value Engineering (VE) process, it was recommended that the building façade be revised to incorporate a mix of cementitious siding, traditional brick and/ or architectural block in select areas of the building. Additionally, it was recommended to lower the west feature tower, and revise the front entry to a scaled down design yet still providing an

**Jefferson Fire Station- Statement of Justification
RZ 2015-MA-018**

Page 2

entrance feature. These details are not represented on the attached renderings, but will be included as the design is further developed in site plan to be compatible with the architectural context of the surrounding neighborhood.

Both the front and rear aprons are to be concrete. The front apron accesses to Hodge Place while the rear apron accesses Woodley Lane. The main parking lot is to be located on the southern portion of the site and be constructed with medium duty asphalt paving. Thirty-four spaces will be provided in this parking lot including 2 handicap parking spaces. An additional 3 parking spaces are planned to be located off the rear apron.

2. Area to be served by proposed use:

The Jefferson Station areas being served by the existing fire station will continue to be served by the new replacement facility.

3. Maintenance requirements and frequency:

Facility and equipment repairs and routine grounds maintenance will be provided.

B. REQUIREMENT FOR PROPOSED USE:

1. Why the new/expanded facility is needed:

The existing fire station was constructed in 1953 and is over 60 years old. The building is inadequate in size, is outdated and has not received any major upgrades since it was originally constructed, thus requiring upgrades and increased maintenance to meet current standards.

A new facility will provide the station the flexibility to meet the projected future growth of the area. By the passing of the 2012 Public Safety Bond Referendum, the citizens recognized the need for a replacement facility to serve their future needs.

Additionally, the fire station design requirements have changed since this station was constructed, and additional considerations are required for compliance with health and safety standards. The increase in female firefighters in the fire department has resulted in the need for facilities that can accommodate appropriate bunkrooms and locker facilities. There is also an increase in need for fitness equipment for firefighter training, equipment storage, as well as, considerations to address tactical rescue operations at this station.

2. Why the proposed location is the best location for the proposed use:

The new replacement fire station facility will be located on the existing site. No other locations were reviewed for this facility since the current location is central to the area for which it serves.

3. Why the proposed location and type of facility is the least disruptive alternative:

Jefferson Fire Station is a public use facility located on the current property and will remain as such with the proposed new replacement facility. The new facility will meet the current and

future needs of the station.

C. ANTICIPATED IMPACTS/MITIGATION:

1. Visual impacts:

The station will be two-story building with apparatus bays on the north side of the building and living quarters on the other. The height of the overall building varies as it is limited by bulk planes, building setbacks, and transitional screening requirements. In addition to the building feature on the site, a combination of new landscaping and a new 7 foot tall board-on-board screening fence will be constructed on the south and east property lines and a 10 foot screening wall on a portion of the north property line adjacent to the residential properties.

2. Noise and light impacts:

Noise impact generated by the fire response vehicles will remain the same. Appropriate setbacks and buffers will be provided in accordance with the Zoning Ordinance requirements. There will be no exterior speakers on the buildings, and the use of vehicle-mounted air horns/sirens in the immediate vicinity of the fire station will be minimized to the extent possible. Full cut-off lighting fixtures shall be mounted horizontal to the ground and shall be used for all walkways, parking lot and building canopy to provide security. All sight lighting will be designed to comply with Zoning Ordinances requirements.

3a. Air quality:

No change in air quality is anticipated.

3b. Water quality:

In accordance with the County's Public Facility Manual (PFM) requirements, erosion and sediment control measures will be installed prior to the start of construction to manage stormwater runoff during construction activities. Underground stormwater detention and infiltration systems, as well as porous pavement are being evaluated as the design progresses to meet the water quantity and quality control requirements per the PFM. Appropriate design locations and computations as well as the stormwater and BMP narratives and the adequate outfall analysis will be included in the development plans per the PFM requirements for site plan review and approval. Currently, the feasibility of additional stormwater quality measures to implement into the design are being evaluated with the County's Stormwater Planning Division.

4. Environmental:

The overall site and building design has as compact footprint as possible to meet the programmatic needs of the station. Transitional screening yards and barriers, tree protection measures and perimeter erosion control measures will be provided in accordance with the requirements of the Zoning Ordinance and PFM standards. However, waivers/modifications of the transitional screening buffer and barrier on the south, east and portions of the north sides of the property are required to accommodate existing site constraints. A deviation in tree

**Jefferson Fire Station- Statement of Justification
RZ 2015-MA-018**

Page 4

preservation is being requested. Due to the urban nature of the property and the program proposed, meeting the tree preservation target would preclude the development from uses or densities otherwise allowed by the Zoning Ordinance, thus creating unnecessary hardships to the development. Additionally, it was further determined by the Urban Forest Management Division (UFMD) that a 25% tree canopy coverage within ten years of the proposed development is required for the R-4 zone designation. The site constraints and the fire department's operational needs are both extensive in restricting the available planting areas on an already tight urban parcel. Subsequent to our last rezoning submission on April 8, 2016 and in effort to maximize the landscape and tree canopy coverage, the site design was reworked to incorporate the preservation of 14 existing red cedars trees along the east property boundary as well as adjustments to the categories and spacing of proposed native landscape species. By making these adjustments, the 10-year tree canopy coverage is 9.6%, nearly 10%, but still less than the 25% required therefore a modification to the tree canopy coverage is still being requested. These waivers/modifications have been coordinated and provided under a separate cover to the Urban Forest Management Division, as well as included for reference on Sheet 012 of the GDP dated May 13, 2016.

The design for site and building will use the LEED® Green Building principals and Low Impact Development (LID) guidelines to minimize environmental impact. Possible LID features include underground stormwater detention, infiltration systems, and porous pavement. The project will be registered with the US Green Building Council with the goal of a Silver Certification.

5. Transportation:

No additional significant traffic is expected to be generated from the Fire Station use since staffing levels and hours of operation will remain as they currently exist. Potential future staffing increases will be moderate and will not have an impact on the traffic. Therefore the proposed project does not exceed the traffic requirements stated within the 24 VAC 30-155-40 to necessitate the need for a Traffic Impact Analysis.

Rezoning (RZ 2015-MA-018)
Jefferson Fire Station #18 Replacement Facility
Project Number 312/FS-000010-001
May 13, 2016

12. STATEMENT OF CONFORMANCE TO APPLICABLE ORDINANCES, REGULATIONS AND ADOPTED STANDARDS

The proposed new development for the Jefferson Fire Station conforms to the provisions of all applicable ordinances, regulations and standards with the exception of the following requested modifications which have been coordinated and provided under a separate cover dated May 13, 2016 to the Urban Forest Management Division:

1. Transitional Screening & Barrier Modification:

Pursuant to the Fairfax County Zoning Ordinance, the combination of a 35 foot transitional screening landscape buffer and a barrier is required along the south, east and a portion of the north property boundaries, where the use as a public fire station is comparable to a quasi-public use adjacent to residential properties. Due to the urban nature of the property, the overall site and building design as presented in the revised GDP is compact as possible while still meeting the operational needs for Fire and Rescue. Every effort to preserve and provide landscaping was made, however, the following waiver/modifications for the transitional screening on the south, east and a portion of the north property boundaries is being requested:

A waiver of the north transitional screening is requested where the screening is adjacent with residential lot 250 where the northeast corner of the proposed development is largely comprised of a proposed driveway apron, an underground stormwater detention facility, and utility lines servicing the fire station. As with a fire station driveway entrance, greater lines of sight are also required to allow for quicker egress and response time to answer emergency calls which would restrict the available planting area as streetscape for Woodley Avenue. Although there are no screening requirements for the northwest corner of the property, landscaping is proposed to soften the building façade and compensate for the removal of existing large canopy trees. Also a modification to the north transitional barrier is requested, were a ten foot brick wall is proposed for a portion of the north boundary to screen an emergency generator. The brick wall cannot be extended in the easterly direction due to the proposed utilities, underground stormwater management and drive access.

Transitional screening buffers and barriers are proposed along the east and south property boundaries. A modification of the barrier requirement and location is requested. Subsequent to our last rezoning submission on April 8, 2016 and in effort to maximize the landscape and tree canopy coverage, the site design was reworked to incorporate the preservation of 14 existing red cedars trees along the east property boundary as well as adjustments to the categories and spacing of proposed native landscape species. As was agreed upon in the May 12, 2016 meeting with Urban Forest Management Division (UFMD), a seven foot tall board-on-board fence will be installed on the western side of the line of trees and adjustments in grading to minimize impacts to the critical root zone of the red cedars. The seven foot tall board-on-board fence barrier will continue along the remainder of the east boundary (just south of the red cedars) and along the south property boundary, to have one cohesive fence material. The location of the fence in these

Jefferson Fire Station-Statement of Conformance
RZ 2015-MA-018

Page 2

referenced areas will be on the property line to maximize the planting area to the extent possible. The combination of board-on board fencing and landscape will improve the screening from the adjacent neighbors and allow for enhance vegetation health.

A modification to the east transitional screening buffer is requested from a 35 foot buffer to a 12 foot buffer combined with a seven foot tall board-on-board fence. This request is in accordance with the Zoning Ordinance, where the required 35 foot transitional screening can be reduced by two-thirds (2/3rds) to 12 feet by proposing a seven foot tall barrier. This is requested for the already very constrained urban site further constrained by operational requirements necessary for the function of Fire and Rescue. With the requested reduction, the development is able to provide the required dumpster pad, full vehicle circulation within the parking lot, sufficient parking and underground stormwater management system. The 12 foot transitional screening and fence provides improved screening for the adjacent residential properties, compared to the existing seven foot wide buffer and five foot tall wood fence. Although the full width of transitional landscape screening cannot be provided, the 12 foot wide buffer exceeds the current site conditions and meets the intent for screening.

A modification to the south transitional screening buffer is requested. The site's tightest constraint is the limitation from north to south. All points along this axis are minimized to the extent possible, with the building's five apparatus bays, angled parking, and one-way drive aisles. A sidewalk is proposed along the south building face for an accessible route from the handicap spots to the building's main entrance. Resulting in the south transitional screening being 7.6 feet wide with a seven foot comprised mainly of Category II evergreen trees, per the request of UFMD, and a board-on-board fence. The resulting design exceeds the current conditions by increasing the parking set back from the property line, adds landscaping where none existed, increases the pervious area and provides for a new 7 foot high fence. The proposed transitional buffer and barrier provides for an effective screening to the residential property and meets the intent of the Zoning Ordinance.

A waiver of the shrubs within the east and south transitional screening buffers is requested. The east and south transitional screening buffer are proposed as a consistent line of primarily evergreen and deciduous trees with very minimal shrubs proposed. The proposed trees will grow quickly to heights greater than the seven foot barrier fence without interference from shrub growth and will maximize the buffer 10-year tree canopy to greater than 75%. Where possible, additional shrubs and ground cover are proposed as shown on the revised GDP without conflicting with the lines of sight for egress of emergency vehicles and proposed utility locations. Also shrubs and ground cover will be added through final engineering in areas adjacent to the main entrance and staff patio.

2. Existing Tree Preservation Deviation:

A deviation is being requested from the tree preservation target as required by County PFM guide. Due to the urban nature of the property and the program proposed, meeting the tree

Jefferson Fire Station-Statement of Conformance
RZ 2015-MA-018

Page 3

preservation target would preclude the development from uses or densities otherwise allowed by the Zoning Ordinance. However subsequent to our last rezoning submission, adjustments to the site grading and modifications to the site barrier were made in order to preserve 14 existing red cedars trees along the east property boundary. By preserving these red cedars, the site design still does not meet the required preservation target and a deviation is requested.

3. Tree Canopy Modification:

A modification of the tree canopy coverage is requested as required by the County code. As a public fire station within a residential R-4 zone, the subject parcel is required to provide 25% tree canopy coverage within ten years of the proposed development. As demonstrated, the site constraints and the fire department's operational needs are both extensive in restricting the available planting areas on an already tight urban parcel. With numerous proposed utility lines connecting from both Hodge Place and Woodley Avenue and increased site distance requirements, the planting areas are further constrained.

Subsequent to our last rezoning submission on April 8, 2016 and in effort to maximize the landscape and tree canopy coverage, the site design was reworked to incorporate the preservation of 14 existing red cedars trees along the east property boundary as well as adjustments to the categories and spacing of proposed native landscape species. By making these adjustments, the 10-year tree canopy coverage is 9.6%, nearly 10%, but still less than the 25% required therefore a modification to the tree canopy coverage is still being requested.

We are requesting these waivers/modifications in combination with the proposed fire station development and rezoning application. These request allow the fire station to remain at the current site, while significantly upgrading the facility for the Fairfax County Fire and Rescue Department, so that they continue to serve the emergency needs of the County into the future.



County of Fairfax, Virginia

MEMORANDUM

DATE: April 20, 2016

TO: Barbara C. Berlin, Director
Zoning Evaluation Division, DPZ

FROM: Denise M. James, Chief, Environment and Development Review
Planning Division, DPZ

SUBJECT: Land Use Analysis & Environmental Assessment:
RZ 2015-MA-018 - Board of Supervisors Own Motion

The memorandum, prepared by Michael Burton, includes citations from the Comprehensive Plan that provide land use guidance and environmental policies for this application. The extent to which the proposed use, intensity and development plan are consistent with the land use guidance contained in the Comprehensive Plan, is noted. The citations are followed by a discussion of environmental concerns, including a description of potential impacts where applicable.

DESCRIPTION OF THE APPLICATION

The applicant requests a rezoning to permit new construction of a replacement facility for the Jefferson Fire Station #18 on the existing site. The subject property is currently zoned C-5 (Neighborhood Retail Commercial District) with a proposed rezoning request for R-4 (Residential, 4 dwelling units per acre) which would allow for a maximum building area of 18,300 square feet. The proposal includes demolition of the existing 14,670 square feet 4-bay facility, to be replaced by a 17,674 square feet, 5-bay facility.

The proposed station will consist of a new two-story building with apparatus bays on the north and living quarters to the south. A combination of new landscaping and a new 7 foot tall brick faced screening wall is to be constructed along the eastern and southern property lines adjacent to residential properties. In addition, a new rear access point from Woodley Lane and rear concrete apron is proposed. Onsite parking capacity and hours of operation are to remain the same.

LOCATON AND CHARACTER

The subject property is located at 3101 Hodge Place at the intersection of Woodley Lane, in the eastern portion of Fairfax County, within the Jefferson Planning District. The 1.21 acre site adjoins a primarily stable, single-family residential neighborhood immediately to the east and south. Neighborhood serving retail and commercial uses are adjacent to

Department of Planning and Zoning
Planning Division
12055 Government Center Parkway, Suite 730
Fairfax, Virginia 22035-5509
Phone 703-324-1380
Fax 703-653-9447
www.fairfaxcounty.gov/dpz/



the west of the property. Route 50/Arlington Blvd. is just north of the subject property but is not directly adjacent, being divided by a single residential property and natural vegetative buffering. A slip-road access point between Woodley Ln. and Route 50 lies immediately northwest of the site providing a connection to, and across Route 50 for emergency personnel. Comprehensive Plan guidance indicates that the existing use of all adjacent sites are planned to remain, including, the subject property which is planned for a public facility.

Plan Map: Public Facilities, Governmental and Institutional

COMPREHENSIVE PLAN CITATIONS

The Comprehensive Plan is the basis for the evaluation of this application. The assessment of the proposal for conformity with the land use and environmental recommendations of the Comprehensive Plan is guided by the following citations from the Plan:

The Fairfax County Comprehensive Plan, 2013 Edition Area I, Jefferson Planning District, as amended through 10-20-2015, J3-Westlawn Community Planning Sector, page 29 states:

“The Westlawn Planning Sector is largely developed as stable residential neighborhoods. Infill development in these neighborhoods should be of a compatible use, type and intensity in accordance with the guidance provided by the Policy Plan under Land Use Objectives 8 and 14.

Where substantial parcel consolidation is specified, it is intended that such consolidations will provide for projects that function in a well-designed, efficient manner and provides for the development of unconsolidated parcels in conformance with the Area Plan.”

The Fairfax County Comprehensive Plan, Policy Plan, 2013 Edition, Land Use section as amended through April 29, 2014, pages 5-6 states:

“Objective 8: **Fairfax County should encourage a land use pattern that protects, enhances and/or maintains stability in established residential neighborhoods.**

Policy a. Protect and enhance existing neighborhoods by ensuring that infill development is of compatible use, and density/intensity, and that adverse impacts on public facility and transportation systems, the environment and the surrounding community will not occur.”

The Fairfax County Comprehensive Plan, Policy Plan, 2013 Edition, Land Use section as amended through April 29, 2014, pages 9-10 states:

“Objective 14: **Fairfax County should seek to achieve a harmonious and attractive development pattern which minimizes**

undesirable visual, auditory, environmental and other impacts created by potentially incompatible uses.

- Policy c. Achieve compatible transitions between adjoining land uses through the control of height and the use of appropriate buffering and screening.
- Policy l. Regulate the amount of noise and light produced by nonresidential land uses to minimize impacts on nearby residential properties.”

The Fairfax County Comprehensive Plan, Policy Plan, 2013 Edition, Environment section as amended through April 29, 2014, pages 7-10 states:

“Objective 2: Prevent and reduce pollution of surface and groundwater resources. Protect and restore the ecological integrity of streams in Fairfax County.

- Policy a. Maintain a best management practices (BMP) program for Fairfax County and ensure that new development and redevelopment complies with the County’s best management practice (BMP) requirements. . . .
- Policy c. Minimize the application of fertilizers, pesticides, and herbicides to lawns and landscaped areas ...
- Policy j. Regulate land use activities to protect surface and groundwater resources. . . .
- Policy k. For new development and redevelopment, apply better site design and low impact development (LID) techniques such as those described below, and pursue commitments to reduce stormwater runoff volumes and peak flows, to increase groundwater recharge, and to increase preservation of undisturbed areas. In order to minimize the impacts that new development and redevelopment projects may have on the county’s streams, some or all of the following practices should be considered where not in conflict with land use compatibility objectives:
- Minimize the amount of impervious surface created.
 - Site buildings to minimize impervious cover associated with driveways and parking areas and to encourage tree preservation.

- Maximize the use of infiltration landscaping within streetscapes consistent with county and state requirements

Development proposals should implement best management practices to reduce runoff pollution and other impacts. Preferred practices include: those which recharge groundwater when such recharge will not degrade groundwater quality; those which preserve as much undisturbed open space as possible; and, those which contribute to ecological diversity by the creation of wetlands or other habitat enhancing BMPs, consistent with State guidelines and regulations...

The Fairfax County Comprehensive Plan, Policy Plan, 2013 Edition, Environment section as amended through July 1, 2014, page 10, states:

“Objective 3: Protect the Potomac Estuary and the Chesapeake Bay from the avoidable impacts of land use activities in Fairfax County.

Policy a. Ensure that new development and redevelopment complies with the county's Chesapeake Bay Preservation Ordinance...”

The Fairfax County Comprehensive Plan, Policy Plan, 2013 Edition, Environment section as amended through July 1, 2014, page 10, states:

“Objective 5: Minimize light emissions to those necessary and consistent with general safety.

Policy a. Recognize the nuisance aspects of unfocused light emissions”

The Fairfax County Comprehensive Plan, Policy Plan, 2013 Edition, Environment section as amended through July 1, 2014, on page 18, the Plan states:

“Objective 10: Conserve and restore tree cover on developed and developing sites. Provide tree cover on sites where it is absent prior to development.

Policy a: Protect or restore the maximum amount of tree cover on developed and developing sites consistent with planned land use and good silvicultural practices. . . .

Policy c. use open space/conservation easements as appropriate to preserve woodlands, monarch trees, and/or rare or otherwise significant trees, as identified by the county.”

The Fairfax County Comprehensive Plan, Policy Plan, 2013 Edition, Environment section as amended through July 1, 2014, on page 19, the Plan states:

“Objective 13: Design and construct buildings and associated landscapes to use energy and water resources efficiently and to minimize short- and long-term negative impacts on the environment and building occupants.

Policy a. In consideration of other Policy Plan objectives, encourage the application of energy conservation, water conservation and other green building practices in the design and construction of new development and redevelopment projects. These practices may include, but are not limited to:

- Application of low impact development practices, including minimization of impervious cover.....;
- Optimization of energy performance of structures/energy-efficient design;
- Application of best practices for water conservation, such as water efficient landscaping and innovative wastewater technologies, that can serve to reduce the use of potable water and/or reduce stormwater runoff volumes;
- Reduction of potential indoor air quality problems through measures such as increased ventilation, indoor air testing and use of low-emitting adhesives, sealants, paints/coatings, carpeting and other building materials;
- Energy and water usage data collection and performance monitoring;
- Natural Lighting for occupants.”

LAND USE ANALYSIS

The application seeks approval for a rezoning of the existing Jefferson Fire Station site to allow for construction of a replacement facility to meet current operational needs. The current 14,670 square feet 4-bay facility will be demolished to allow for new construction of a 17,674 Square feet 5-bay facility. Mitigation of impacts is provided with additional landscaping and the provision of a screening wall. The rezoning from C-5 to R-4 to allow for the increase in max building area, up to 18,300 square feet, does not raise any significant land use issues. The proposed rezoning and new construction of Jefferson Fire Station #18 is in conformance with the land use recommendation of the Comprehensive Plan which seeks to maintain the use of the property as a public facility.

ENVIRONMENTAL ANALYSIS

This section characterizes the environmental concerns raised by an evaluation of this site and the proposed land use. Solutions are suggested to remedy the concerns that have been identified by staff. Alternative solutions may apply.

Stormwater Management

The subject property rests at a high point between two separate watersheds; Holmes Run to the southwest, and Tripps Run to the east. Two separate underground stormwater detention facilities are proposed, one for each outfall area. Both detention facilities will provide pretreatment features for phosphorus removal. The majority of post development runoff, including building runoff, and will be detained and treated in the west outfall underground detention facility, under the parking area at the southern end of the subject property. The storage capacity for this facility is 12,000 cubic feet and will serve a total drainage area of 1.28 acres; 0.76 acres onsite.

The second underground detention system located under the rear entrance from Woodley Lane will capture all remaining runoff. This facility, with 2,800 cubic feet capacity, and will serve a drainage area of 0.43 acres of which 0.32 acres is onsite. Outfall will continue through an existing storm sewer system within Woodley Lane. The proposed development will increase the amount of impervious surface onsite, particularly with the addition of the rear entrance and tarmac areas. Measures proposed to address the additional impervious surface are noted above and described in the applicant's stormwater management narrative.

Tree Cover

Due to the compact nature of the site, the applicant has requested waiver/modifications both to the transitional screening along the eastern and southern property lines, and a deviation in tree preservation requirements. However, additional plantings and landscaping are proposed to ensure that an overall tree cover of 10% is reached. The total site is 52,446 SF, with a proposed tree coverage of 5,750 SF representing 10.96% of the subject property.

Lighting

The subject property retains much of its existing footprint and thus additional impacts should be minimal. Parking lot lighting will be appropriately scaled for the size of the proposed facility to provide security. All site lighting will be designed to comply with Zoning Ordinances requirements.

Green Building

The applicant notes that site and building design will incorporate LEED Green Building principals and Low Impact Development (LID) guidelines to minimize environmental impact. This includes underground stormwater detention and infiltration systems described above. The applicant has committed that the project will be registered with the

Barbara C. Berlin
RZ 2016-MA-018
April 20, 2016

U.S. Green Building Council with a goal of Silver Certification which addresses the County's Green Building policy.

MB: DMJ



County of Fairfax, Virginia

MEMORANDUM

DATE: April 26, 2016

TO: Sharon Williams, Staff Coordinator
Zoning Evaluation Division, DPZ

FROM: Nicholas Drunasky, Urban Forester II
Forest Conservation Branch, UFMD

SUBJECT: (3101 Hodge Place) Jefferson Fire Station #18, RZ 2015-MA-018

Site Description: The site is developed with the existing Jefferson Fire Station #18. Vegetation present includes planted landscaping that consists of species such as red maple, eastern red cedar, white ash, American beach, and pin oak. A site visit was conducted on March 30, 2016 as part of the review of this application.

This review is based upon the RZ 2015-MA-018 stamped as “Received by the Department of Planning & Zoning April 11, 2016.”

- 1. Comment:** The current design of the site does not allow for the preservation of any existing trees so the applicant has requested a deviation from the Tree Preservation Target in accordance with PFM 12-0508.3A(1). This is something that can and should be requested at this time, but cannot officially be modified by the Director with this application. Once the plan is at the site plan stage of the review process, it can then be modified by the Director. However, based on a site visit and the proposed design, it appears that most if not all of the existing eastern redcedars immediately adjacent to lot 248 located within the transitional screening appear to be good candidates for preservation. The deviation request states that “These evergreens will be removed to allow for a proposed seven foot tall brick or architectural block wall, serving as a short retaining wall and transitional screening barrier.” However, as discussed in the meeting on March 14, 2016, it appears that the preservation of these trees is possible with the use of a seven foot prefabricated brick like wall constructed on piers in order to minimize impacts to the existing evergreens and allow for their preservation. The location of the wall would need to be shifted inward to the backside of the curb in the area adjacent to the existing trees to be preserved. Since it does not appear that the applicant has designed the site in a manner to try and preserve any of the existing trees and the proposed limits of clearing and grading appear to be more expansive than necessary, this deviation request will not currently be supported without the site being refined to incorporate the preservation of these eastern redcedars into the design.

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Urban Forest Management Division

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Recommendations:

- a. The site should be re-evaluated and refined in order to incorporate the preservation of the row of eastern redcedars and offsite tree (#314) currently proposed for removal located adjacent to lots 248 and 246. Once these changes have been incorporated into the design, this deviation request will be reconsidered.
 - b. The type of seven foot barrier should refined in order to reduce the proposed limits of clearing and grading outside as much of the row of redcedars critical root zones as possible. In addition, the location of the barrier should be adjusted inward to be installed at the backside of the curb in the area adjacent to the redcedars.
 - c. Proffer language containing a directive from the Board of County Supervisors to the Urban Forest Management Division to permit a deviation from the tree preservation target should be provided.
- 2. Comment:** With this submission, a modification of the 10-year Tree Canopy Requirement has been requested, but one of the reduction scenarios listed in PFM 12-0513.1 through 12-0513.3 has not been provided. No trees are currently being proposed to be preserved and one offsite trees is proposed for removal. The site is being defined as a "Public Use" and is being rezoned with this application to R-4 so requires 25% overall 10-year Tree Canopy Cover, but only 11.4% is currently proposed to be provided, falling significantly short. Part of the justification used states that "Tree canopy coverage is proposed for more than 10% of the site area and consistent with a commercial or office site, where these comparable sites are required to provide 10% tree canopy coverage," which does not apply to this site since it is being rezoned to a residential district, which requires a higher canopy coverage. In addition, the site does not appear to have been designed in a way to meet the criteria listed in PFM 12-0513.4A and B, so the 10-year Tree Canopy modification will not be supported until these items are addressed.

Recommendations:

- a. The specific modification reduction scenario listed in PFM 12-0513.1 through 12-0513.3 should be specifically listed with the site specific justification of why it is necessary within the modification request.
- b. The site should be redesigned in a way to maximize the preservation of the existing row of redcedars along with offsite tree #314.
- c. The site should be redesigned in a way to maximize opportunities to gain additional 10-year tree canopy credits by providing additional trees to create denser transitional screening, in front of building near the proposed sidewalk along Hodge Place, and in the large parking lot island adjacent to Hodge Place.

3. **Comment:** The “Tree Canopy Waiver” states different numbers of 10-year Tree Canopy Cover percentages proposed in different places on the plan, which is unclear.

Recommendation: The actual amount of 10-year Tree Canopy Cover proposed should be made consistent in all places on the plan based on what is actually being provided.

4. **Comment:** The Tree Preservation Target in Table 12.10 is the same as the percentage of 10-year tree canopy required, which is incorrect unless the site currently has 100% canopy coverage.

Recommendation: The Tree Preservation Target in Table 12.10 should be revised so it reflects 25.5% of the 10-year tree canopy required for the site.

5. **Comment:** It appears that the applicant is proposing to modify the required Transitional Screening Type II (35 feet wide) along the southern, eastern, and a portion on the northern side of the property based on the adjacent residential uses, but will not be supported as currently proposed by Urban Forestry. The applicant has proposed to waive the transitional screening along the northern portion of the site, to modify the transitional screening and provide a 12 foot width along the eastern side, and only provide a 7.6 foot width on the southern side based on the justifications referenced on sheet 12. They have claimed in part of their justification that the buffers will all improve the screening from the adjacent neighbors from what currently exists. However, the existing screening along a portion of the eastern side of the site is currently more substantial and much denser (6 feet on center) than what is proposed in that location (category IV evergreens at 18 feet on center with their 10-year canopies barely touching). It should also be noted that the transitional screening as proposed will provide very little screening when planted and would have a greater impact if a closer spacing along with the use of primarily category II evergreens is provided in place of the category IV evergreens currently proposed.

Recommendations:

- a. The transitional screening proposed in place of the existing eastern redcedars should be removed and the existing redcedars and offsite tree #314 shown to be preserved as previously discussed. This will require the proposed limits of clearing and grading be shifted inward and the seven foot barrier be provided directly behind the curb in the area adjacent to lots 248 and 246.
- b. Since transitional screening has been dramatically reduced along the southern and eastern sides of the property, category II evergreens should be proposed at 10 foot on center in place of most of the category IV evergreens (with the exception of where the redcedars are being preserved and meet the intent), which should form a denser screen in order to help meet the intent of these decreased transitional screening areas.

c. Category II evergreens should be installed in place of the shrubs all the way to the proposed sight distance limits near Woodley Lane.

6. **Comment:** The modified transitional screening areas (southern and eastern) have not been clearly depicted or labeled on the landscape sheet.

Recommendation: The modified transitional screening areas on the southern and eastern sides of the site should have their boundaries clearly depicted and labeled as Type II modified transitional screening.

7. **Comment:** The proposed seven and 10 foot tall barriers have not been clearly depicted or labeled on the landscape plan.

Recommendation: The proposed seven and 10 foot tall barriers should be clearly depicted and labeled on the landscape plan.

8. **Comment:** It appears that the interior parking lot tree and shrubs are being provided in the southeastern corner of the parking lot since curbing is not depicted. If they are being provided within a landscape island, some type of curbing will be necessary in order to provide protection from vehicles.

Recommendation: Some type of curbing or wheel stops should be clearly depicted at the edge of the pavement for the planting area on the southeastern side of the site to keep vehicles from entering this planting area.

9. **Comment:** Given the nature of tree cover on this site several development conditions will be instrumental in assuring adequate tree preservation and successful landscaping throughout the development process.

Recommendation: UFMD feels that the following proffer language is necessary to ensure effective tree preservation and landscaping:

Tree Preservation: “The applicant shall submit a Tree Preservation Plan and Narrative as part of the first and all subsequent site plan submissions. The preservation plan and narrative shall be prepared by a Certified Arborist or a Registered Consulting Arborist, and shall be subject to the review and approval of UFMD.

The tree preservation plan shall include a tree inventory that identifies the location, species, critical root zone, size, crown spread and condition analysis percentage rating for all individual trees located within the tree save area living or dead with trunks 10 inches in diameter and greater (measured at 4 ½ -feet from the base of the trunk or as otherwise allowed in the latest edition of the Guide for Plant Appraisal published by the International Society of Arboriculture) and 25 feet outside of the proposed limits of clearing, in the undisturbed area and within 10 feet of the proposed limits of clearing in

the area to be disturbed. All trees inventoried shall be tagged in the field so they can be easily identified. If permission is not allowed from the offsite property owner to tag trees, it shall be noted on the tree preservation plan by providing written documentation between the applicant and the offsite property owner. The tree preservation plan shall provide for the preservation of those areas shown for tree preservation, those areas outside of the limits of disturbance shown on the GDP and those additional areas in which trees can be preserved as a result of final engineering. The tree preservation plan and narrative shall include all items specified in PFM 12-0507 and 12-0509. Specific tree preservation activities that will maximize the survivability of any tree identified to be preserved, such as: crown pruning, root pruning, mulching, soil testing and recommended fertilization, Cambistat, airspading within the critical root zone to incorporate the application of compost and bio-char shall be included in the plan.”

Tree Preservation Walk-Through. “The Applicant shall retain the services of a Certified Arborist or Registered Consulting Arborist, and shall have the limits of clearing and grading marked with a continuous line of flagging prior to the walk-through meeting. During the tree-preservation walk-through meeting, the Applicant’s Certified Arborist or Registered Consulting Arborist shall walk the limits of clearing and grading with an UFM, representative to determine where adjustments to the clearing limits can be made to increase the area of tree preservation and/or to increase the survivability of trees at the edge of the limits of clearing and grading, and such adjustment shall be implemented. Trees that are identified as dead or dying may be removed as part of the clearing operation. Any tree that is so designated shall be removed using a chain saw and such removal shall be accomplished in a manner that avoids damage to surrounding trees and associated understory vegetation. If a stump must be removed, this shall be done using a stump-grinding machine in a manner causing as little disturbance as possible to adjacent trees and associated understory vegetation and soil conditions.”

Limits of Clearing and Grading: “The Applicant shall conform strictly to the limits of clearing and grading as shown on the GDP, subject to allowances specified in these proffered conditions and for the installation of utilities and/or trails as determined necessary by the Director of DPWES, as described herein. If it is determined necessary to install utilities and/or trails in areas protected by the limits of clearing and grading as shown on the GDP, they shall be located in the least disruptive manner necessary as determined by the UFMD, DPWES. A replanting plan shall be developed and implemented, subject to approval by the UFMD, DPWES, for any areas protected by the limits of clearing and grading that must be disturbed for such trails or utilities.”

Tree Preservation Fencing: “All trees shown to be preserved on the tree preservation plan shall be protected by tree protection fence. Tree protection fencing in the form of four (4) foot high, fourteen (14) gauge welded wire attached to six (6) foot steel posts driven eighteen (18) inches into the ground and placed no further than ten (10) feet apart or, super silt fence to the extent that required trenching for super silt fence does not sever or wound compression roots which can lead to structural failure and/or uprooting of trees shall be erected at the limits of clearing and grading as shown on the demolition, and phase I & II erosion and sediment control sheets.

All tree protection fencing shall be installed after the tree preservation walk-through meeting but prior to any clearing and grading activities, including the demolition of any existing structures. Three (3) days prior to the commencement of any clearing, grading or demolition activities, but subsequent to the installation of the tree protection devices, the UFMD, DPWES, shall be notified and given the opportunity to inspect the site to ensure that all tree protection devices have been correctly installed. If it is determined that the fencing has not been installed correctly, no grading or construction activities shall occur until the fencing is installed correctly, as determined by the UFMD, DPWES.”

Root Pruning: “The Applicant shall root prune, as needed to comply with the tree preservation requirements of these development conditions. All treatments shall be clearly identified, labeled, and detailed on the erosion and sediment control sheets of the site plan submission. The details for these treatments shall be reviewed and approved by the UFMD, DPWES, accomplished in a manner that protects affected and adjacent vegetation to be preserved, and may include, but not be limited to the following:

- Root pruning shall be done with a trencher or vibratory plow to a depth of 18 - 24 inches.
- Root pruning shall take place prior to any clearing and grading, or demolition of structures.
- Root pruning shall be conducted with the supervision of a Certified Arborist or Registered Consulting Arborist.
- An UFMD, DPWES, representative shall be informed when all root pruning and tree protection fence installation is complete.”

Site Monitoring: “During any clearing or tree/vegetation on the Applicant Property, a representative of the Applicant shall be present to monitor the process and ensure that the activities are conducted as conditioned and as approved by the UFMD. The Applicant shall retain the services of a Certified Arborist or Registered Consulting Arborist to monitor all construction and demolition work and tree preservation efforts in order to ensure conformance with all tree preservation development conditions, and UFMD approvals. The monitoring schedule shall be described and detailed in the Landscaping and Tree Preservation Plan, and reviewed and approved by the UFMD.”

Landscape Pre-Inspection Meeting: “Prior to installation of plants to meet requirements of the approved landscape plan, the Contractor/Developer shall coordinate a pre-installation meeting on site with the landscape contractor and a representative of the County Urban Forest Management Division (UFMD). Any proposed changes to the location of planting, size of trees/shrubs, and any proposed plant substitutions for species specified on the approved plan shall be reviewed at this time and must be approved prior to planting. The installation of plants not specified on the approved plan, and not previously approved by UFMD, may require submission of a revision to the landscape plan or removal and replacement with approved material.

Field location of planting material, when required by the approved plan, shall be reviewed at the pre-installation meeting. The Landscape Contractor shall stake proposed individual planting locations in consultation with the Contractor/Developer prior to the pre-installation meeting, for review by UFMD staff. Stakes shall be adjusted, as needed, during the course of the meeting as determined by UFMD staff based on discussion with the Contractor/Developer and the Landscape Contractor.”

Native Species Landscaping: “All landscaping provided shall be native to the middle Atlantic region to the extent feasible and non-invasive as determined by UFMD. In addition, the quality and quantity of landscaping provided shall be in substantial conformance with the GDP.”

Soil Remediation for Compacted Areas Where Planting Is Proposed: “A soil remediation plan shall be developed that addresses how soil compaction will be mitigated within the entire planting area (not only planting holes) to create a favorable planting condition to a depth of 18-24 inches within areas of compacted soil. The type, quantity, and quality of compost and topsoil to be used in accordance with the following criteria shall be specified. For more information please refer to the ANSI A300 Part 2: Tree, Shrub, and Other Woody Plant Management – Standard Practices (Soil Management a. Modification, b. Fertilization, and c. Drainage) along with the supplemental BMP for “Soil Management for Urban Trees.”

- a. Compost shall be derived from plant material and provided by a member of the U.S. Composting Seal of Testing Assurance (STA) program.
- b. The compost shall be the result of the biological degradation and transformation of plant derived materials under conditions that promote anaerobic decomposition. The material shall be well composted, free of viable weed seeds, and stable with regard to oxygen consumption and carbon dioxide generation. The compost shall have a moisture content that has no visible free water or dust produced when handling the material. It shall meet the following criteria as reported by the U.S. Council STA Compost Technical Data Sheet Provided by the vendor:
 - i. 100% of the material must pass through a half inch screen
 - ii. The pH of the material shall be between 5.5 and 7
 - iii. Manufactured inert material (plastic, concrete, ceramics, metal, etc.) shall be less than 10% by weight
 - iv. The organic matter content shall be between 35% and 65%
 - v. Soluble salt content shall be less than 6.0 mmhos/cm
 - vi. Maturity should be greater than 80%
 - vii. Stability shall be 7 or less
 - viii. Carbon/nitrogen ratio shall be less than 25:1
 - ix. Trace metal test result = “pass”
 - x. The compost must have a dry bulk density ranging from 40 to 50 lbs./cu.ft.”

Jefferson Fire Station RZ 2015-MA-018

April 26, 2016

Page 8 of 8

If you have any further questions, please feel free to contact me directly at 703-324-1770.

NJD/

UFMDID #: 209620

cc: DPZ File





County of Fairfax, Virginia

MEMORANDUM

DATE: January 13, 2016

TO: Chris Caperton, Chief
Facilities Planning Branch, DPZ

FROM: Leonard Wolfenstein, Chief
Transportation Planning Section
Department of Transportation *L.W.*

SUBJECT:

Application for 15.2-2232 determination -2232-M15-23 for the approval of the construction of the Jefferson Fire Station #18 Replacement Facility at the station's current location of 3101 Hodge Place. The existing facility is a 14,670 square foot, 4-bay, one story building. Plans for the replacement facility include a 17,674 square foot, 5-bay, two story building with an additional access point on Woodley Avenue.

The Fairfax County Department of Transportation (FCDOT) has reviewed the above 2232 application and does not anticipate any major traffic impact to planned or existing roads directly adjacent to 3101 Hodge Place. There are no planned improvements for Hodge Place or Woodley Avenue shown on the Fairfax County Transportation Plan Map, Countywide Trails Plan, or Bike Master Plan directly adjacent to the site. No significant traffic is expected to be generated from the station as staffing levels, hours of operation and public access to the site will remain as they currently exist. No Fairfax Connector or Metrobus routes will be affected by the proposed facility; therefore, there should be no effect on existing transit service.

Three of the new fire engine bays will allow for drive through entry/exit which will necessitate a new access point on Woodley Lane. Woodley Lane is approximately 25 feet wide, serves two way traffic, and has parking on one side; this requires vehicles to yield to each other when passing in opposite directions. The proposed access will eliminate existing street parking. Further parking restrictions may be required on Woodley Lane to ensure access for emergency vehicles, especially considering the turning radius of emergency response vehicles and the narrow street width. This new access point will be in the proximity of a residential driveway. Efforts should be made to ensure that the access point does not impede the accessibility of the residence. The new access point is also in close proximity to the intersection of Hodge Place and Woodley Lane; coordination with the Virginia Department of Transportation (VDOT) may be necessary to ensure the access points are appropriately spaced.

Plans for the replacement facility show that the existing sidewalks on Hodge Place and Woodley Lane will be maintained. Measures should be taken to ensure that pedestrian access is preserved

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throughout the construction process and that any new sidewalks meet or exceed Americans with Disability Act (ADA) standards.

This 2232 application is being processed concurrently with a rezoning application for the Jefferson Fire Station Replacement Facility. Staff may have further comments about site access and traffic impact as part of the rezoning process.

There appear to be no significant traffic impacts resulting from the proposed use for the site. If you have any questions please contact Angie Martinez (tel. 703-877-5843)
Angela.Martinez@fairfaxcounty.gov

Cc:

Mike Davis, FCDOT
Karyn Moreland, FCDOT
Kristin Calkins, FCDOT
Bill Harrell, FCDOT
Randy White, FCDOT
Chris Wells, FCDOT
Adam Lind, FCDOT
Angela Martinez, FCDOT

GLOSSARY

This Glossary is provided to assist the public in understanding the staff evaluation and analysis of development proposals. It should not be construed as representing legal definitions. Refer to the Fairfax County Zoning Ordinance, Comprehensive Plan, or Public Facilities Manual for additional information.

ABANDONMENT: Refers to road or street abandonment, an action taken by the Board of Supervisors, usually through the public hearing process, to abolish the public's right-of-passage over a road or road right-of way. Upon abandonment, the right-of-way automatically reverts to the underlying fee owners. If the fee to the owner is unknown, Virginia law presumes that fee to the roadbed rests with the adjacent property owners if there is no evidence to the contrary.

ACCESSORY DWELLING UNIT (OR APARTMENT): A secondary dwelling unit established in conjunction with and clearly subordinate to a single family detached dwelling unit. An accessory dwelling unit may be allowed if a special permit is granted by the Board of Zoning Appeals (BZA). Refer to Sect. 8-918 of the Zoning Ordinance.

AFFORDABLE DWELLING UNIT (ADU) DEVELOPMENT: Residential development to assist in the provision of affordable housing for persons of low and moderate income in accordance with the affordable dwelling unit program and in accordance with Zoning Ordinance regulations. Residential development which provides affordable dwelling units may result in a density bonus (see below) permitting the construction of additional housing units. See Part 8 of Article 2 of the Zoning Ordinance.

AGRICULTURAL AND FORESTAL DISTRICTS: A land use classification created under Chapter 114 or 115 of the Fairfax County Code for the purpose of qualifying landowners who wish to retain their property for agricultural or forestal use for use/value taxation pursuant to Chapter 58 of the Fairfax County Code.

BARRIER: A wall, fence, earthen berm, or plant materials which may be used to provide a physical separation between land uses. Refer to Article 13 of the Zoning Ordinance for specific barrier requirements.

BEST MANAGEMENT PRACTICES (BMPs): Stormwater management techniques or land use practices that are determined to be the most effective, practicable means of preventing and/or reducing the amount of pollution generated by nonpoint sources in order to improve water quality.

BUFFER: Graduated mix of land uses, building heights or intensities designed to mitigate potential conflicts between different types or intensities of land uses; may also provide for a transition between uses. A landscaped buffer may be an area of open, undeveloped land and may include a combination of fences, walls, berms, open space and/or landscape plantings. A buffer is not necessarily coincident with transitional screening.

CHESAPEAKE BAY PRESERVATION ORDINANCE: Regulations which the State has mandated must be adopted to protect the Chesapeake Bay and its tributaries. These regulations must be incorporated into the comprehensive plans, zoning ordinances and subdivision ordinances of the affected localities. Refer to Chesapeake Bay Preservation Act, Va. Code Section 10.1-2100 et seq and VR 173-02-01, Chesapeake Bay Preservation Area Designation and Management Regulations.

CLUSTER DEVELOPMENT: Residential development in which the lots are clustered on a portion of a site so that significant environmental/historical/cultural resources may be preserved or recreational amenities provided. While smaller lot sizes are permitted in a cluster subdivision to preserve open space, the overall density cannot exceed that permitted by the applicable zoning district. See Sect. 2-421 and Sect. 9-615 of the Zoning Ordinance.

COUNTY 2232 REVIEW PROCESS: A public hearing process pursuant to Sect. 15.2-2232 (Formerly Sect. 15.1-456) of the Virginia Code which is used to determine if a proposed public facility not shown on the adopted Comprehensive Plan is in substantial accord with the plan. Specifically, this process is used to determine if the general or approximate location, character and extent of a proposed facility is in substantial accord with the Plan.

dBa: The momentary magnitude of sound weighted to approximate the sensitivity of the human ear to certain frequencies; the dBa value describes a sound at a given instant, a maximum sound level or a steady state value. See also Ldn.

DENSITY: Number of dwelling units (du) divided by the gross acreage (ac) of a site being developed in residential use; or, the number of dwelling units per acre (du/ac) except in the PRC District when density refers to the number of persons per acre.

DENSITY BONUS: An increase in the density otherwise allowed in a given zoning district which may be granted under specific provisions of the Zoning Ordinance when a developer provides excess open space, recreation facilities, or affordable dwelling units (ADUs), etc.

DEVELOPMENT CONDITIONS: Terms or conditions imposed on a development by the Board of Supervisors (BOS) or the Board of Zoning Appeals (BZA) in connection with approval of a special exception, special permit or variance application or rezoning application in a "P" district. Conditions may be imposed to mitigate adverse impacts associated with a development as well as secure compliance with the Zoning Ordinance and/or conformance with the Comprehensive Plan. For example, development conditions may regulate hours of operation, number of employees, height of buildings, and intensity of development.

DEVELOPMENT PLAN: A graphic representation which depicts the nature and character of the development proposed for a specific land area: information such as topography, location and size of proposed structures, location of streets trails, utilities, and storm drainage are generally included on a development plan. A development plan is a submission requirement for rezoning to the PRC District. A GENERALIZED DEVELOPMENT PLAN (GDP) is a submission requirement for a rezoning application for all conventional zoning districts other than a P District. A development plan submitted in connection with a special exception (SE) or special permit (SP) is generally referred to as an SE or SP plat. A CONCEPTUAL DEVELOPMENT PLAN (CDP) is a submission requirement when filing a rezoning application for a P District other than the PRC District; a CDP characterizes in a general way the planned development of the site. A FINAL DEVELOPMENT PLAN (FDP) is a submission requirement following the approval of a conceptual development plan and rezoning application for a P District other than the PRC District; an FDP further details the planned development of the site. See Article 16 of the Zoning Ordinance.

EASEMENT: A right to or interest in property owned by another for a specific and limited purpose. Examples: access easement, utility easement, construction easement, etc. Easements may be for public or private purposes.

ENVIRONMENTAL QUALITY CORRIDORS (EQCs): An open space system designed to link and preserve natural resource areas, provide passive recreation and protect wildlife habitat. The system includes stream valleys, steep slopes and wetlands. For a complete definition of EQCs, refer to the Environmental section of the Policy Plan for Fairfax County contained in Vol. 1 of the Comprehensive Plan.

ERODIBLE SOILS: Soils that wash away easily, especially under conditions where stormwater runoff is inadequately controlled. Silt and sediment are washed into nearby streams, thereby degrading water quality.

FLOODPLAIN: Those land areas in and adjacent to streams and watercourses subject to periodic flooding; usually associated with environmental quality corridors. The 100 year floodplain drains 70 acres or more of land and has a one percent chance of flood occurrence in any given year.

FLOOR AREA RATIO (FAR): An expression of the amount of development intensity (typically, non-residential uses) on a specific parcel of land. FAR is determined by dividing the total square footage of gross floor area of buildings on a site by the total square footage of the site itself.

FUNCTIONAL CLASSIFICATION: A system for classifying roads in terms of the character of service that individual facilities are providing or are intended to provide, ranging from travel mobility to land access. Roadway system functional classification elements include Freeways or Expressways which are limited access highways, Other Principal (or Major) Arterials, Minor Arterials, Collector Streets, and Local Streets. Principal arterials are designed to accommodate travel; access to adjacent properties is discouraged. Minor arterials are designed to serve both through traffic and local trips. Collector roads and streets link local streets and properties with the arterial network. Local streets provide access to adjacent properties.

GEOTECHNICAL REVIEW: An engineering study of the geology and soils of a site which is submitted to determine the suitability of a site for development and recommends construction techniques designed to overcome development on problem soils, e.g., marine clay soils.

HYDROCARBON RUNOFF: Petroleum products, such as motor oil, gasoline or transmission fluid deposited by motor vehicles which are carried into the local storm sewer system with the stormwater runoff, and ultimately, into receiving streams; a major source of non-point source pollution. An oil-grit separator is a common hydrocarbon runoff reduction method.

IMPERVIOUS SURFACE: Any land area covered by buildings or paved with a hard surface such that water cannot seep through the surface into the ground.

INFILL: Development on vacant or underutilized sites within an area which is already mostly developed in an established development pattern or neighborhood.

INTENSITY: The magnitude of development usually measured in such terms as density, floor area ratio, building height, percentage of impervious surface, traffic generation, etc. Intensity is also based on a comparison of the development proposal against environmental constraints or other conditions which determine the carrying capacity of a specific land area to accommodate development without adverse impacts.

Ldn: Day night average sound level. It is the twenty-four hour average sound level expressed in A-weighted decibels; the measurement assigns a "penalty" to night time noise to account for night time sensitivity. Ldn represents the total noise environment which varies over time and correlates with the effects of noise on the public health, safety and welfare.

LEVEL OF SERVICE (LOS): An estimate of the effectiveness of a roadway to carry traffic, usually under anticipated peak traffic conditions. Level of Service efficiency is generally characterized by the letters A through F, with LOS-A describing free flow traffic conditions and LOS-F describing jammed or grid-lock conditions.

MARINE CLAY SOILS: Soils that occur in widespread areas of the County generally east of Interstate 95. Because of the abundance of shrink-swell clays in these soils, they tend to be highly unstable. Many areas of slope failure are evident on natural slopes. Construction on these soils may initiate or accelerate slope movement or slope failure. The shrink-swell soils can cause movement in structures, even in areas of flat topography, from dry to wet seasons resulting in cracked foundations, etc. Also known as slippage soils.

OPEN SPACE: That portion of a site which generally is not covered by buildings, streets, or parking areas. Open space is intended to provide light and air; open space may function as a buffer between land uses or for scenic, environmental, or recreational purposes.

OPEN SPACE EASEMENT: An easement usually granted to the Board of Supervisors which preserves a tract of land in open space for some public benefit in perpetuity or for a specified period of time. Open space easements may be accepted by the Board of Supervisors, upon request of the land owner, after evaluation under criteria established by the Board. See Open Space Land Act, Code of Virginia, Sections 10.1-1700, et seq.

P DISTRICT: A "P" district refers to land that is planned and/or developed as a Planned Development Housing (PDH) District, a Planned Development Commercial (PDC) District or a Planned Residential Community (PRC) District. The PDH, PDC and PRC Zoning Districts are established to encourage innovative and creative design for land development; to provide ample and efficient use of open space; to promote a balance in the mix of land uses, housing types, and intensity of development; and to allow maximum flexibility in order to achieve excellence in physical, social and economic planning and development of a site. Refer to Articles 6 and 16 of the Zoning Ordinance.

PROFFER: A written condition, which, when offered voluntarily by a property owner and accepted by the Board of Supervisors in a rezoning action, becomes a legally binding condition which is in addition to the zoning district regulations applicable to a specific property. Proffers are submitted and signed by an owner prior to the Board of Supervisors public hearing on a rezoning application and run with the land. Once accepted by the Board, proffers may be modified only by a proffered condition amendment (PCA) application or other zoning action of the Board and the hearing process required for a rezoning application applies. See Sect. 15.2-2303 (formerly 15.1-491) of the Code of Virginia.

PUBLIC FACILITIES MANUAL (PFM): A technical text approved by the Board of Supervisors containing guidelines and standards which govern the design and construction of site improvements incorporating applicable Federal, State and County Codes, specific standards of the Virginia Department of Transportation and the County's Department of Public Works and Environmental Services.

RESOURCE MANAGEMENT AREA (RMA): That component of the Chesapeake Bay Preservation Area comprised of lands that, if improperly used or developed, have a potential for causing significant water quality degradation or for diminishing the functional value of the Resource Protection Area. See Fairfax County Code, Ch. 118, Chesapeake Bay Preservation Ordinance.

RESOURCE PROTECTION AREA (RPA): That component of the Chesapeake Bay Preservation Area comprised of lands at or near the shoreline or water's edge that have an intrinsic water quality value due to the ecological and biological processes they perform or are sensitive to impacts which may result in significant degradation of the quality of state waters. In their natural condition, these lands provide for the removal, reduction or assimilation of sediments from runoff entering the Bay and its tributaries, and minimize the adverse effects of human activities on state waters and aquatic resources. New development is generally discouraged in an RPA. See Fairfax County Code, Ch. 118, Chesapeake Bay Preservation Ordinance.

SITE PLAN: A detailed engineering plan, to scale, depicting the development of a parcel of land and containing all information required by Article 17 of the Zoning Ordinance. Generally, submission of a site plan to DPWES for review and approval is required for all residential, commercial and industrial development except for development of single family detached dwellings. The site plan is required to assure that development complies with the Zoning Ordinance.

SPECIAL EXCEPTION (SE) / SPECIAL PERMIT (SP): Uses, which by their nature, can have an undue impact upon

or can be incompatible with other land uses and therefore need a site specific review. After review, such uses may be allowed to locate within given designated zoning districts if appropriate and only under special controls, limitations, and regulations. A special exception is subject to public hearings by the Planning Commission and Board of Supervisors with approval by the Board of Supervisors; a special permit requires a public hearing and approval by the Board of Zoning Appeals. Unlike proffers which are voluntary, the Board of Supervisors or BZA may impose reasonable conditions to assure, for example, compatibility and safety. See Article 8, Special Permits and Article 9, Special Exceptions, of the Zoning Ordinance.

STORMWATER MANAGEMENT: Engineering practices that are incorporated into the design of a development in order to mitigate or abate adverse water quantity and water quality impacts resulting from development. Stormwater management systems are designed to slow down or retain runoff to re-create, as nearly as possible, the pre-development flow conditions.

SUBDIVISION PLAT: The engineering plan for a subdivision of land submitted to DPWES for review and approved pursuant to Chapter 101 of the County Code.

TRANSPORTATION DEMAND MANAGEMENT (TDM): Actions taken to reduce single occupant vehicle automobile trips or actions taken to manage or reduce overall transportation demand in a particular area.

TRANSPORTATION SYSTEM MANAGEMENT (TSM) PROGRAMS: This term is used to describe a full spectrum of actions that may be applied to improve the overall efficiency of the transportation network. TSM programs usually consist of low-cost alternatives to major capital expenditures, and may include parking management measures, ridesharing programs, flexible or staggered work hours, transit promotion or operational improvements to the existing roadway system. TSM includes Transportation Demand Management (TDM) measures as well as H.O.V. use and other strategies associated with the operation of the street and transit systems.

URBAN DESIGN: An aspect of urban or suburban planning that focuses on creating a desirable environment in which to live, work and play. A well-designed urban or suburban environment demonstrates the four generally accepted principles of design: clearly identifiable function for the area; easily understood order; distinctive identity; and visual appeal.

VACATION: Refers to vacation of street or road as an action taken by the Board of Supervisors in order to abolish the public's right-of-passage over a road or road right-of-way dedicated by a plat of subdivision. Upon vacation, title to the road right-of-way transfers by operation of law to the owner(s) of the adjacent properties within the subdivision from whence the road/road right-of-way originated.

VARIANCE: An application to the Board of Zoning Appeals which seeks relief from a specific zoning regulation such as lot width, building height, or minimum yard requirements, among others. A variance may only be granted by the Board of Zoning Appeals through the public hearing process and upon a finding by the BZA that the variance application meets the required Standards for a Variance set forth in Sect. 18-404 of the Zoning Ordinance.

WETLANDS: Land characterized by wetness for a portion of the growing season. Wetlands are generally delineated on the basis of physical characteristics such as soil properties indicative of wetness, the presence of vegetation with an affinity for water, and the presence or evidence of surface wetness or soil saturation. Wetland environments provide water quality improvement benefits and are ecologically valuable. Development activity in wetlands is subject to permitting processes administered by the U.S. Army Corps of Engineers

TIDAL WETLANDS: Vegetated and nonvegetated wetlands as defined in Chapter 116 Wetlands Ordinance of the Fairfax County Code: includes tidal shores and tidally influenced embayments, creeks, and tributaries to the Occoquan and Potomac Rivers. Development activity in tidal wetlands may require approval from the Fairfax County Wetlands Board.

Abbreviations Commonly Used in Staff Reports

A&F	Agricultural & Forestal District	PDH	Planned Development Housing
ADU	Affordable Dwelling Unit	PFM	Public Facilities Manual
ARB	Architectural Review Board	PRC	Planned Residential Community
BMP	Best Management Practices	RC	Residential-Conservation
BOS	Board of Supervisors	RE	Residential Estate
BZA	Board of Zoning Appeals	RMA	Resource Management Area
COG	Council of Governments	RPA	Resource Protection Area
CBC	Community Business Center	RUP	Residential Use Permit
CDP	Conceptual Development Plan	RZ	Rezoning
CRD	Commercial Revitalization District	SE	Special Exception
DOT	Department of Transportation	SEA	Special Exception Amendment
DP	Development Plan	SP	Special Permit
DPWES	Department of Public Works and Environmental Services	TDM	Transportation Demand Management
DPZ	Department of Planning and Zoning	TMA	Transportation Management Association
DU/AC	Dwelling Units Per Acre	TSA	Transit Station Area
EQC	Environmental Quality Corridor	TSM	Transportation System Management
FAR	Floor Area Ratio	UP & DD	Utilities Planning and Design Division, DPWES
FDP	Final Development Plan	VC	Variance
GDP	Generalized Development Plan	VDOT	Virginia Dept. of Transportation
GFA	Gross Floor Area	VPD	Vehicles Per Day
HC	Highway Corridor Overlay District	VPH	Vehicles per Hour
HCD	Housing and Community Development	WMATA	Washington Metropolitan Area Transit Authority
LOS	Level of Service	WS	Water Supply Protection Overlay District
Non-RUP	Non-Residential Use Permit	ZAD	Zoning Administration Division, DPZ
OSDS	Office of Site Development Services, DPWES	ZED	Zoning Evaluation Division, DPZ
PCA	Proffered Condition Amendment	ZPRB	Zoning Permit Review Branch
PD	Planning Division		
PDC	Planned Development Commercial		