



**APPLICATION ACCEPTED:** December 3, 2015  
**APPLICATION AMENDED:** May 19, 2016 & June 16, 2016  
**PLANNING COMMISSION:** July 14, 2016  
**BOARD OF SUPERVISORS:** July 26, 2016 @ 3:30 P.M.

# County of Fairfax, Virginia

June 30, 2016

## STAFF REPORT

**PLANNED RESIDENTIAL COMMUNITY PRC C-020  
CONCURRENT WITH SPECIAL EXCEPTION SE 2016-HM-012**



### HUNTER MILL DISTRICT

**APPLICANTS:** Tall Oaks Development Company LLC  
Tall Oaks Commercial Center LLC

**ZONING DISTRICT:** PRC (Planned Residential Community)

**PARCEL:** 18-1 ((5)) 8A1 and 8A2

**SITE AREA:** 7.46 acres

**PLAN MAP:** Residential Planned Community

**PROPOSAL:** To permit a redevelopment of the Tall Oaks Village Center Shopping Center with a mix of residential and commercial uses and to permit Category 5 special exception uses consisting of up to 2,500 square feet of fast food uses and up to 4,000 square feet of quick-service food store uses

### STAFF RECOMMENDATIONS:

Staff recommends approval of PRC C-020, subject to the PRC conditions contained in Appendix 1.

Staff recommends approval of SE 2016-HM-012 to permit Category 5 special exception uses consisting of up to 2,500 square feet of fast food and up to 4,000 square feet of quick-service food store uses, subject to the development conditions contained in Appendix 2.

Staff recommends approval of a modification of Par. 2 of Sect. 6-306 of the Zoning Ordinance for the 200-square foot privacy yard requirement for single family attached dwelling unit lots to that shown on the PRC Plan/SE Plat.

Mary Ann Tsai, AICP

Staff recommends approval of a waiver of Par. 10 of Sect. 11-102 of the Zoning Ordinance to permit tandem parking for the two-over-two dwelling units to count towards the off-street parking requirement for multi-family dwelling units.

Staff recommends approval of a modification of Sect. 11-203 of the Zoning Ordinance for the required number of loading spaces to that shown on the PRC Plan/SE Plat;

Staff recommends approval of a modification of Sects. 13-303 and 13-304 of the Zoning Ordinance for the transitional screening and barrier requirements to that shown on the PRC Plan/SE Plat.

It should be noted that it is not the intent of staff to recommend that the Board of Supervisors, in adopting any conditions, relieve the applicant/owner from compliance with the provisions of any applicable ordinances, regulations, or adopted standards.

It should be further noted that the content of this report reflects the analysis and recommendation of staff; it does not reflect the position of the Board of Supervisors.

The approval of this application does not interfere with, abrogate or annul any easement, covenants, or other agreements between parties, as they may apply to the property subject to this application.

For information, contact the Zoning Evaluation Division, Department of Planning and Zoning, 12055 Government Center Parkway, Suite 801, Fairfax, Virginia 22035-5505, (703) 324-1290.



Americans with Disabilities Act (ADA): Reasonable accommodation is available upon 48 hours advance notice. For additional information on ADA call (703) 324-1334 or TTY 711 (Virginia Relay Center).

# Planned Residential Community Application

## PRC -C-020

**Applicant:** TALL OAKS DEVELOPMENT COMPANY LLC AND TALL OAKS COMMERCIAL CENTER LLC

**Accepted:** 06/16/2016

**Proposed:** MIXED USE

**Area:** 7.46 AC OF LAND; DISTRICT - HUNTER MILL

**Located:** 12000 & 12054 NORTH SHORE DRIVE, RESTON, VA 20190

**Zoning:** PRC

**Overlay Dist:**

**Map Ref Num:** 018-1- /05/ /0008A1 /05/ /0008A2

# Special Exception

## SE 2016-HM-012

**Applicant:** TALL OAKS DEVELOPMENT COMPANY LLC AND TALL OAKS COMMERCIAL CENTER LLC

**Accepted:** 06/16/2016

**Proposed:** FAST FOOD AND QUICK-SERVICE FOOD STORE

**Area:** 7.46 AC OF LAND; DISTRICT - HUNTER MILL

**Zoning Dist Sect:** 06-0304

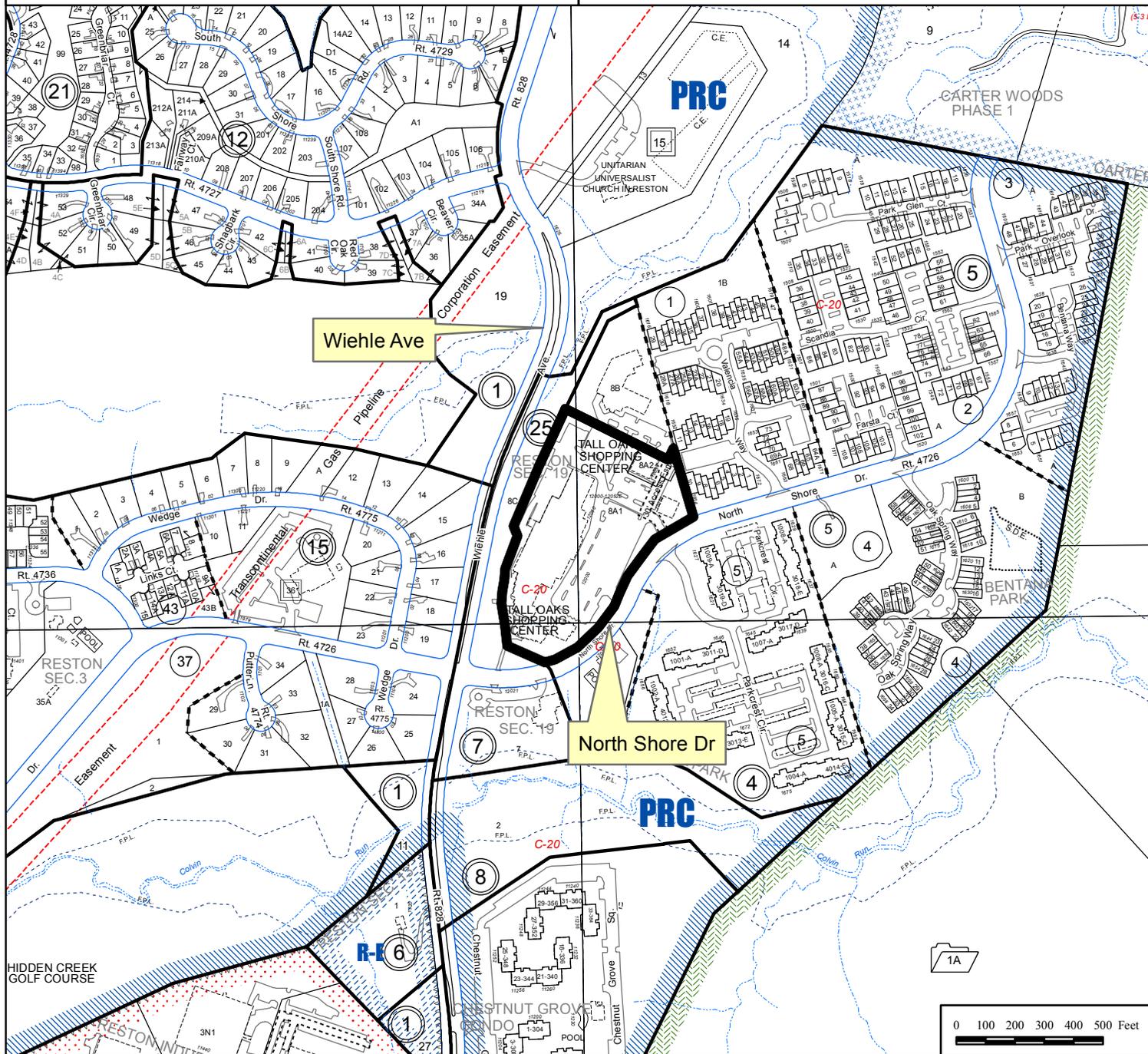
**Located:** 12000 & 12054 NORTH SHORE DRIVE, RESTON, VA 20190

**Zoning:** PRC

**Plan Area:** 3,

**Overlay Dist:**

**Map Ref Num:** 018-1- /05/ /0008A1 /05/ /0008A2



# PRC PLAN/SPECIAL EXCEPTION PLAT

# TALL OAKS

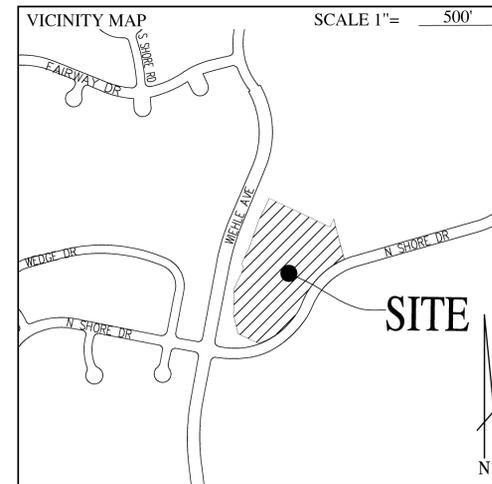
## HUNTER MILL DISTRICT

## FAIRFAX COUNTY, VIRGINIA

### PRC-C-020 & SE-2016-HM-012

#### GENERAL NOTES

- THE PROPERTY IS IDENTIFIED AS FAIRFAX COUNTY TAX ASSESSMENT MAP: 18-1--(5)--0008A1 AND 18-1--(5)--0008A2.
- THE TOTAL SITE AREA = 7.469 ACRES.
- TOPOGRAPHY, BOUNDARY & SURVEY DATA ARE PROVIDED BASED ON THE FIELD RUN SURVEY PERFORMED BY VIKI VIRGINIA, LLC.
- THE PROPOSED DEVELOPMENT SHALL CONFORM TO THE PROVISIONS OF ALL APPLICABLE ORDINANCES, REGULATIONS AND ADOPTED STANDARDS.
- THE LANDSCAPE CONCEPTS, SCREENING MEASURES, AND PROPOSED TREE COVER WILL BE PROVIDED WITH THE FINAL SITE PLAN AND SHALL COMPLY WITH THE PROVISIONS OF CHAPTER 12 OF THE FAIRFAX COUNTY PFM. ANY LANDSCAPE SHEETS INCLUDED IN THE PRC APPLICATION ARE FOR SCHEMATIC PURPOSES ONLY AND ARE SUBJECT TO CHANGE WITH FINAL ENGINEERING, SO LONG AS THE REQUIREMENTS OF CHAPTER 12 OF THE PFM ARE MET.
- THE DEVELOPMENT SCHEDULE AND PROPOSED SITE PLAN SUBMISSIONS MAY BE PHASED AND SHALL BE DETERMINED BY THE APPLICANT BASED UPON MARKET CONDITIONS.
- THERE IS NO EXISTING MAPPED FLOODPLAIN ON THE SUBJECT SITE. NO FLOODPLAIN STUDY IS REQUIRED. NO DRAINAGE STUDY IS REQUIRED.
- THERE IS NO CLASS A PROBLEM SOIL ON THIS SITE. IF A SOILS REPORT IS REQUIRED FOR ANY OTHER PERMIT FOR THIS SITE, IT SHALL BE PROVIDED DURING THE SITE PLAN PROCESS.
- EASEMENTS AND/OR LETTERS OF PERMISSION FOR ANY OFFSITE CONSTRUCTION WILL BE PROVIDED WITH FINAL SITE PLAN AS REQUIRED.
- NECESSARY ON-SITE EASEMENTS WILL BE PROVIDED WITH THE FINAL SITE PLAN, SUBJECT TO FINAL DESIGN.
- ACCESS TO THE SITE IS PROVIDED BY EXISTING NORTH SHORE DRIVE, ROUTE #4726. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO KNOWN PLANS FOR FUTURE ROAD WIDENING ALONG THE FRONTAGE OF THE PROPERTY AS INDICATED ON THE COMPREHENSIVE PLAN OR A PLAN PREPARED BY THE VIRGINIA DEPARTMENT OF TRANSPORTATION. AT THIS TIME, NO FURTHER PUBLIC ROAD IMPROVEMENTS ARE REQUIRED.
- PROPOSED UTILITY LAYOUTS ARE ILLUSTRATIVE AND SUBJECT TO CHANGE WITH FINAL SITE DESIGN. INDIVIDUAL UTILITY PLANS AND PROFILES WILL BE SUBMITTED WITH THE SITE PLAN(S) FOR CONSTRUCTION PURPOSES.
- TO THE BEST OF OUR KNOWLEDGE, THERE ARE NO KNOWN BURIAL SITES ON THE SUBJECT SITE.
- THERE ARE NO REQUIRED COMPREHENSIVE TRAILS ALONG NORTH SHORE DRIVE. THERE IS AN EXISTING TRAIL ALONG WIEHLE AVENUE.
- THERE ARE NO KNOWN HAZARDOUS OR TOXIC SUBSTANCES ON THIS SITE. IF ANY SUBSTANCES ARE FOUND, THE METHODS FOR DISPOSAL SHALL ADHERE TO COUNTY, STATE, OR FEDERAL LAW.
- IT IS REASONABLE TO CONCLUDE AT THIS TIME THAT NO HAZARDOUS OR TOXIC SUBSTANCES, HAZARDOUS WASTES OR PETROLEUM PRODUCTS ARE TO BE GENERATED, UTILIZED, STORED, TREATED AND/OR DISPOSED OF ON THIS SITE. THERE ARE NO EXISTING STORAGE FACILITIES FOR SUCH PRODUCTS ON THIS SITE.
- EXCEPT AS SHOWN HEREON, THERE ARE NO KNOWN SCENIC ASSETS OR NATURAL FEATURES ON THE SUBJECT SITE WHICH WOULD DESERVE PROTECTION OR PRESERVATION.
- STORM WATER MANAGEMENT (SWM) AND BEST MANAGEMENT PRACTICES (BMP) WILL BE REQUIRED. SEE OPINION OF ADEQUATE OUTFALL ON SHEET #22. THE APPLICANT RESERVES THE RIGHT TO MODIFY SIZE AND LOCATION OF THE UNDERGROUND SWM AND BMP FACILITIES WITH FINAL SITE PLAN WITHOUT FILING AN AMENDED PRC PLAN.
- THE DISTURBANCE ASSOCIATED WITH THE PROPOSED IMPROVEMENTS DOES NOT ENCROACH ON ANY FAIRFAX COUNTY MAPPED RESOURCE PROTECTION AREA. THERE IS NO RPA ON THE SUBJECT SITE, PER THE FAIRFAX COUNTY MAPS.
- THE EXTERNAL AND INTERNAL PEDESTRIAN CIRCULATION SYSTEM (INCLUDING TRAILS AND SIDEWALKS) SHALL BE PROVIDED AS GENERALLY SHOWN ON THIS PRC PLAN, SUBJECT TO FINAL DESIGN. FURTHERMORE, SIDEWALKS MAY BE ADDED TO CONNECT TOWNHOUSES AND MULTIFAMILY RESIDENTIAL BUILDINGS TO OTHER SIDEWALKS THROUGHOUT THE SITE, WITH FINAL DESIGN. BEST EFFORTS WILL BE MADE TO MINIMIZE DISTURBANCE OF EXISTING VEGETATION.
- ALL ARCHITECTURAL FEATURES (I.E. THE BUILDING SECTIONS AND FLOOR PLANS) PROVIDED IN THIS PRC PLAN ARE ILLUSTRATIVE AND SUBJECT TO MODIFICATION OR REVISION AS PART OF DRB REVIEW, FINAL ENGINEERING, BUILDING PERMIT APPROVAL, AND SITE PLAN APPROVAL.
- IN ACCORDANCE WITH PARAGRAPH 2 OF SECTION 16-204 OF THE ZONING ORDINANCE, MINOR MODIFICATIONS TO THE SIZE, DIMENSIONS, FOOTPRINTS, AND LOCATION OF BUILDINGS, PARKING SPACES, GARAGES, RETAINING WALLS AND SIDEWALKS MAY OCCUR WITH FINAL ENGINEERING AND DESIGN.
- EROSION CONTROL MEASURES AND CONSTRUCTION FENCING SHALL BE PROVIDED TO PROTECT ADJACENT AND NEIGHBORING PROPERTIES. SILTATION CONTROL DEVICES AND PRACTICES, AS WELL AS CLEARING AND GRADING LIMITS WILL BE CLEARLY DEPICTED ON THE SITE PLAN(S) TO BE SUBMITTED FOR APPROVAL PRIOR TO THE START OF CONSTRUCTION. THE LIMITS OF CLEARING AND GRADING DEPICTED ON THIS PRC PLAN IS APPROXIMATE AND IS SUBJECT TO CHANGE WITH FINAL ENGINEERING.
- ALL ONSITE IMPROVEMENTS ARE SHOWN TO OCCUR WITHIN PRIVATE STREETS. ANY WORK WITHIN THE RIGHT OF WAY SHALL CONFORM TO FAIRFAX COUNTY AND/OR VIRGINIA DEPARTMENT OF TRANSPORTATION (VDOT) STANDARDS AND SPECIFICATIONS UNLESS MODIFIED. PRIVATE STREETS SHALL CONFORM TO STANDARDS SET BY THE FAIRFAX COUNTY PUBLIC FACILITIES MANUAL SECTION 7 UNLESS MODIFIED.
- THE EXISTING OFFICE BUILDING STRUCTURE LOCATED TO THE SOUTHEAST OF THE SITE IS TO BE RETAINED AND IS INCORPORATED INTO THIS APPLICATION. THE ASSISTED LIVING BUILDING ON THE ADJACENT PROPERTY WILL REMAIN UNDISTURBED WITH MINOR SITE WORK AS SHOWN WITH MINOR MODIFICATIONS SUBJECT TO CHANGE WITH FINAL ENGINEERING. IT IS NOT SUBJECT TO THIS APPLICATION.
- SIGNAGE WILL BE PROVIDED IN ACCORDANCE WITH ARTICLE 12 OF THE ZONING ORDINANCE AND IN COMPLIANCE WITH THE RESTON ASSOCIATION DESIGN GUIDELINES. FINAL LOCATIONS OF SIGNAGE WILL BE DEVELOPED AT A LATER DATE.
- LOCATIONS OF MECHANICAL EQUIPMENT (INCLUDING TRANSFORMERS AND GENERATORS) ON SITE TO BE PROVIDED WITH THE FINAL SITE PLAN.
- AVAILABLE FIRE FLOW WILL BE DETERMINED BY FAIRFAX WATER PRIOR TO FINAL SITE PLAN.
- IT IS ANTICIPATED THAT SOLID WASTE WILL BE COLLECTED ONSITE BY A PRIVATE CONTRACTOR TWICE A WEEK. THE TYPE AND SIZE OF CONTAINERS WILL BE PROVIDED WITH FINAL SITE PLAN.
- ALL EASEMENTS SHOWN ON THIS PRC PLAN ARE APPROXIMATE.
- THE BOUNDARY SURVEY COMPLETED BY VIKI VIRGINIA, LLC HAS BEEN COMPLETED WITH A MAXIMUM PERMISSIBLE ERROR OF CLOSURE WITHIN THE LIMIT OF ONE (1) IN TWENTY THOUSAND (20,000). THE SITE SHOWN HEREON IS REFERENCED TO THE VIRGINIA COORDINATE SYSTEM OF 1983.
- FINAL ARCHITECTURAL AND LANDSCAPE DESIGN, INCLUDING THE PLAZA AMENITIES, IS SUBJECT TO BY THE RESTON ASSOCIATION'S DESIGN REVIEW BOARD AND MAY BE MODIFIED AT THE TIME OF THE SITE PLAN AND BUILDING PLAN APPROVAL WITHOUT AMENDMENT TO THE PRC PLAN, PROVIDED THAT THE GENERAL CHARACTER AND QUALITY OF PLANTINGS AND DESIGN ELEMENTS SHOWN ON THE PLAN IS MAINTAINED.
- THE DEVELOPMENT SCHEDULE AND PROPOSED SITE PLAN SUBMISSIONS SHALL BE DETERMINED BY THE APPLICANT BASED UPON MARKET CONDITIONS. THE DEVELOPMENT MAY BE PHASED. IT IS ANTICIPATED THAT IMPROVEMENTS WILL BE MADE TO BUILDING N AND THE EXISTING OFFICE BUILDING PRIOR TO CONSTRUCTION OF THE RESIDENTIAL USES.
- PRIOR TO ANY OFFSITE WORK, THE APPLICANT WILL RECEIVE APPROVAL FROM THE ADJACENT OWNER.
- FIRE HYDRANT COVERAGE SHALL BE MAINTAINED FOR BUILDINGS THAT WILL REMAIN DURING DEMOLITION AND REDEVELOPMENT.



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37	TREE INVENTORY-PROPOSED CONDITIONS

#### APPLICANT / DEVELOPER

TALL OAKS DEVELOPMENT COMPANY LLC,  
1420 SPRING HILL RD, SUITE 420  
MCLEAN, VA 22102  
CONTACT: DUNCAN JONES  
PHONE: 703-579-0196

TALL OAKS COMMERCIAL CENTER LLC,  
1420 SPRING HILL RD, SUITE 420  
MCLEAN, VA 22102  
CONTACT: DUNCAN JONES  
PHONE: 703-579-0196

#### OWNERS:

TALL OAKS DEVELOPMENT COMPANY LLC  
1420 SPRING HILL RD, SUITE 420  
MCLEAN, VA 22102  
CONTACT: DUNCAN JONES  
PHONE: 703-579-0196

BOW WOW, LLC  
12054 NORTH SHORE DRIVE  
RESTON, VA 20190  
CONTACT: TERRY Y. PAO  
PHONE: 703-738-8736

#### ATTORNEY

COOLEY LLP  
11951 FREEDOM SQUARE  
SUITE 1500  
RESTON, VA 20191  
CONTACT: MARK LOONEY  
PHONE: 703-456-8652

#### CIVIL ENGINEER

URBAN ENGINEERING & ASSOC., INC.  
4200 D TECHNOLOGY CT.  
CHANTILLY, VA. 20151  
CONTACT: CLAYTON TOCK  
PHONE: 703-642-2306

#### ARCHITECT

POLLEO GROUP  
12700 SUNRISE VALLEY DRIVE  
SUITE 105  
RESTON, VA 20191  
CONTACT: THOMAS DINNENY  
PHONE: 703-481-6677

#### LANDSCAPE ARCHITECT

KIMLEY-HORN  
11400 COMMERCE PARK DRIVE  
SUITE 400  
RESTON, VA 20191  
CONTACT: ADAM STEINER  
PHONE: 703-674-1370

PLAN DATE	No.	DATE	DESCRIPTION
09-08-15			
11-23-15			
04-23-16			
05-27-16			
06-08-16			
06-20-16			

Urban, Ltd.  
4200 D TECHNOLOGY CT.  
CHANTILLY, VA 20151  
TEL: 703.642.2306  
FAX: 703.579.7888  
www.urban-llc.com



COVER  
TALL OAKS  
PRC/SPEX PLAT  
HUNTER MILL DISTRICT  
FAIRFAX COUNTY, VIRGINIA

SCALE: N/A  
DATE: APRIL, 2016  
CI-N/A

SHEET  
01  
OF  
37  
FILE No.  
PRC-12785

**SITE DATA**

- PARCEL AREA**  
 PARCEL BA1: 7,1440 AC. (311,192 S.F.)  
 PARCEL BA2: .3247 AC. (14,144 S.F.)  
 SITE AREA: 7,4687 AC. (325,336 S.F.)  
 AREA OF STREET DEDICATION: 0.0251 AC. (1,093 S.F.)  
 SITE AREA (AFTER DEDICATION): 7,4436 AC. (324,243 S.F.)
- ZONE:** PRC (COMMERCIAL/RESIDENTIAL DEVELOPMENT)
- PROPOSED USE:** SINGLE FAMILY ATTACHED, MULTIFAMILY RESIDENTIAL, RETAIL, OFFICE, QUICK-SERVICE FOOD STORE, FAST FOOD RESTAURANT
- PROPOSED UNITS:** 44 SINGLE FAMILY ATTACHED + 112 MULTIFAMILY RESIDENTIAL = 156 TOTAL UNITS
- CORRESPONDING POPULATION:** 44 SINGLE FAMILY ATTACHED UNITS \* 2.7 PERSONS/UNIT = 119 PERSONS  
 112 MULTIFAMILY UNITS \* 2.1 PERSONS/UNIT = 236 PERSONS  
 NET INCREASE = 355 PERSONS
- DENSITY:** OVERALL PRC DISTRICT MAX = 13 PERSONS / ACRE OF GROSS RESIDENTIAL & ASSOC. COMMERCIAL AREAS  
 PROPOSED: SEE OVERALL COMPUTATIONS ON SHEET 03.  
 PRC MEDIUM DENSITY SINGLE AREA MAX: 20 DU / ACRE  
 PROPOSED: 156 DU / 7.46 AC = 20.91 DU / AC (SEE ADU COMPUTATIONS ON THIS SHEET)
- APPROXIMATE GROSS FLOOR AREA FOR USES OTHER THAN DWELLINGS = 14,393 SF**  
 APPROXIMATE FAR FOR USES OTHER THAN DWELLINGS: 0.06\* FAR  
 \*EXCLUDES RESIDENTIAL LOT AREAS FROM PROPOSED PARCEL.
- PROPOSED HEIGHT:** SEE BUILDING DATA CHART ON SHEET 03
- OPEN SPACE:** REQUIRED OPEN SPACE: NO REQUIREMENT  
 APPROXIMATE PROPOSED OPEN SPACE: 118,044 S.F. OR 2.71 AC (36.28%)
- TREE COVER CALCULATION:** SEE SHEET #35 FOR REQUIRED LANDSCAPE TABULATIONS.
- PARKING:**

REQUIRED PARKING:

SINGLE FAMILY ATTACHED  
 TWO AND SEVEN-TENTHS (2.7) SPACES PER UNIT  
 = 2.7 SPACES/UNIT \* 44 UNITS  
 = 119 SPACES

MULTIPLE FAMILY  
 ONE AND SIX-TENTHS (1.6) SPACES PER UNIT  
 = 1.6 SPACES/UNIT \* 112 UNITS  
 = 180 SPACES

RETAIL/SHOPPING CENTER  
 FOUR AND THREE-TENTHS (4.3) SPACE PER 1,000 SQUARE FEET OF GROSS FLOOR AREA  
 = 8,584 SF x (4.3/ 1,000 SF)  
 = 37 SPACES

OFFICE  
 THREE AND SIX-TENTHS (3.6) SPACES PER 1000 SQUARE FEET OF GROSS FLOOR AREA.  
 = 5,809 S.F. x (3.6/1000 S.F.)  
 = 21 SPACES

TOTAL REQUIRED PARKING  
 = 357 PARKING SPACES

PARKING PROVIDED:

SINGLE FAMILY ATTACHED  
 =114 STANDARD\*  
MULTIPLE FAMILY  
 =196 STANDARD (92 GARAGE)  
RETAIL  
 =37 STANDARD (INCLUDES HANDICAP SPACES)  
OFFICE  
 =21 STANDARD (INCLUDES HANDICAP SPACES)  
SITE SURPLUS  
 =17 PARKING SPACES  
TOTAL PROVIDED PARKING  
 =385 PARKING SPACES

\* CREDIT IS BEING TAKEN SURPLUS SURFACE PARKING FOR ANY DEFICIENCIES IN SINGLE FAMILY ATTACHED PARKING REQUIREMENTS.

**LOADING TABULATION**

- RETAIL/OFFICE/EATING ESTABLISHMENT, FAST FOOD RESTAURANT:
- REQUIRED LOADING: = RETAIL STORE (1 SPACE FOR FIRST 10,000 SF GROSS FLOOR AREA  
 1 SPACE FOR EACH ADDITIONAL 15,000 S.F. OR FRACTION THEREOF)  
 8,584 GSF => 1 LOADING SPACE  
 = OFFICE (1 SPACE FOR FIRST 10,000 SF GROSS FLOOR AREA PLUS  
 1 SPACE FOR EACH ADDITIONAL 20,000 S.F. OR FRACTION THEREOF)  
 5,809 GSF => 1 LOADING SPACE
- LOADING PROVIDED: = ONE (1) LOADING SPACE
- MULTI FAMILY (CONDOMINIUM):
- REQUIRED LOADING: = MULTI FAMILY (1 SPACE FOR FIRST 25,000 SF GROSS FLOOR AREA  
 PLUS 1 FOR EACH ADDITIONAL 100,000 SF GROSS FLOOR AREA)  
 = 49,920 GSF => 2 LOADING SPACES PER BUILDING (4 TOTAL)
- LOADING PROVIDED: = TWO (2) LOADING SPACES TOTAL (ONE SPACE IN EACH GARAGE)

**NOTES:**

- PARKING SPACES WILL BE PROVIDED GENERALLY AS SHOWN HEREON. APPLICANT RESERVES THE RIGHT TO ADJUST THE QUANTITY AND/OR LOCATION OF THE PARKING SPACES AT TIME OF FINAL SITE PLAN, AS LONG AS THE MINIMUM NUMBER OF SPACES IS PROVIDED IN ACCORDANCE WITH ARTICLE 11 OF THE FAIRFAX COUNTY ZONING ORDINANCE OR ANY SUBSEQUENT PARKING REDUCTION THE APPLICANT MAY SEEK.
- ASSUMES NO NET LOSS OF EXISTING PARKING FOR ASSISTED LIVING TENANTS. RECONSTRUCTION MEETS CURRENT PARKING COUNT.

**WAIVERS AND MODIFICATIONS**

**WAIVERS**

- WAIVER OF THE REQUIRED MINIMUM SPACES FOR RESIDENTIAL AND LODGING USING WAIVER OF PAR. 10 OF SECT. 11-102 OF THE ZONING ORDINANCE TO PERMIT DRIVEWAY PARKING IN FRONT OF GARAGE PARKING (TANDEM PARKING) FOR MULTI-FAMILY STACKED TOWNHOMES PROVIDED THAT BOTH SPACES WILL BE UNDER COMMON OWNERSHIP. BOTH SPACES SHALL BE PERMITTED TO COUNT TOWARDS THE MINIMUM PARKING REQUIRED.
- MODIFICATION OF PAR. 4 OF SECT. 11-203 OF THE ZONING ORDINANCE FOR THE REQUIRED MULTI-FAMILY DWELLING LOADING SPACE REQUIREMENT TO THAT SHOWN ON THE PRC PLAN/SE PLAT.
- MODIFICATION OF PAR. 4 OF SECT. 11-203 OF THE ZONING ORDINANCE FOR THE REQUIRED RETAIL/OFFICE/FAST FOOD RESTAURANT/EATING ESTABLISHMENT LOADING SPACE REQUIREMENT ON BUILDINGS 'O' AND 'N' TO THAT SHOWN ON THE PRC PLAN/SE PLAT.
- WAIVER OF THE MINIMUM AREA OF A PRIVATE YARD USING A WAIVER OF PAR. 2 OF SECT 6-306 OF THE ZONING ORDINANCE TO PERMIT THE YARDS AS SHOWN IN THE PRC PLAN/SE PLAT.

\*SEE SHEET 35 FOR ADDITIONAL LANDSCAPE RELATED WAIVERS/MODIFICATIONS

Reston PRC Density  
March 17, 2016

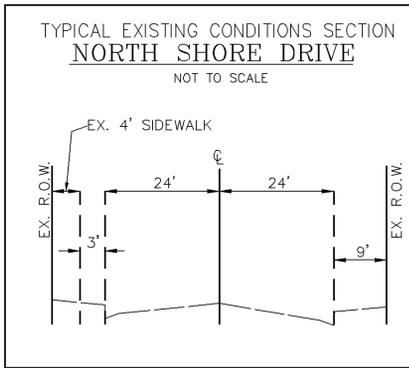
**RESTON MEDIUM DENSITY RESIDENTIAL CATEGORY DENSITY**

Medium density residential category density not to exceed 14 persons/acre

Section & Block	Acres	Units	Persons	Unit Type	
Section 42, Blocks 1, 2, 5, 6, 7A, 7B, 8A & 8B	136.69	405	1093.5	SFA	
Section 72, Block 1A		137	411	SFD	
Reston, Section 44, Block 2A, 3, 4, & 6	173.35	120	324	SFA	
Reston, Section 72A, Block 1A		120	324	SFA	
Reston, Section 44, Block 5		450	945	MFG	
Section 48, Block 2 part		43.07	450	MFG	
Section 48, Block 3		43.07	450	MFG	
Generation, Section 3, Block 1C		50.09	262	707.4	SFA
Generation, Section 1, Block 1A		50.09	262	707.4	SFA
Generation, Section 2, Block 1B		50.09	262	707.4	SFA
Section 26, Block 2 & 3		50.09	262	707.4	SFA
Section 58, Block 2, 3, 5, 6A, 7A, 13A, 14		355	1065	SFD	
Section 44, Block 5 & 6		355	1065	SFD	
Section 60, Block 1, 1A, 2A, 3, 5		355	1065	SFD	
Section 72, Block 1B		355	1065	SFD	
Section 74, Block 1 & 2		355	1065	SFD	
Section 74, Block 1, 1A, 2B		355	1065	SFD	
Section 78, Block 2A part (Dockside Condo)		389.45	389.45	MFG	
Section 78, Block 2A part (Nantuxet at Reston Condo)		389.45	389.45	MFG	
Section 66, Block 1 (Audubon Terrace)		389.45	389.45	MFG	
Section 70, Block 1A, 1B, 1C, 2, 3, 4		389.45	389.45	MFG	
Section 68, Block 1		389.45	389.45	MFG	
Section 64A, Block 1, 2A		389.45	389.45	MFG	
Section 64, Block 1A, 1B, 2		389.45	389.45	MFG	
Section 64B		389.45	389.45	MFG	
Section 166A, Block 1		19.85	84	226.8	SFA
Section 56, Block 1		19.85	84	226.8	SFA
Section 50, Block 1, 2, 3A, 3B, 4, 5, 6 & 9		94	400	1080	SFA
Section 38		94	400	1080	SFA
Section 20, Block 1		34.72	152	410.4	SFA
Section 14		34.72	152	410.4	SFA
Section 38A, Block 2, 3, 4, 5, 13		34.4	220	594	SFA
Section 38B, Block 8, 9B, 11 & 12		34.4	220	594	SFA
Section 84, Block 1B, 2A		2.68	47	126.9	SFA
Section 29, Block 1		230	483	MFG	
Section 19, Block 1, 2, 3 & 4		248	669.6	SFA	
Section 19, Block 8A		44	118.8	SFA	
Section 19, Block 8B		112	235.2	MF	
Section 71, Block 1, 3, 4, 5		160	480	SFD	
Section 73, Block 3, 4, 5, 6		160	480	SFD	
Section 61, Block 1, 2, 3		160	480	SFD	
Section 75, Block 4A, 4B		160	480	SFD	
Section 59, Block 5		160	480	SFD	
Section 73, Block 7		160	480	SFD	
Section 69, Block 1, 2, 3		160	480	SFD	
Section 33, Block 1, 7A		160	480	SFD	
Section 35, Block 1, 2, 3		160	480	SFD	
Section 33, Block 1, 2, 3, 3A, 3SE, 4B, 5		196	411.6	MFH	
Section 31, Block 3, 4, 5, 6, 7, 8B, 9, 10 & 14		196	411.6	MFH	
Section 41, Block 6		120	324	SFA	
Section 57, Block 3		120	324	SFA	
Section 55, Block 1, 2, 3A, 3B		55	165	SFD	
Section 49, Block 1, 3A, 4, 5, 6, 9		622	1679.4	SFA	
Section 39, Block 2, 5, 6, 7A, 7B & 8		32	96	SFD	
Section 45, Block 1, 2		25	82	246	SFD
Section 41, Block 3		197	591	SFD	
Section 45, Block 3, 4, 5, 5A		117	315.9	SFA	
Section 41, Block 3, 4, 5, 6, 7		117	315.9	SFA	
Section 29, Block 1		108	324	SFD	
Section 83, Block 1 and 2		108	324	SFD	
Section 23		108	324	SFD	
Section 9, Block 1, 2, 4, 12, 14, 15, 16		108	324	SFD	
Section 9A, Block 135		108	324	SFD	
Section 27, Block 1		108	324	SFD	
Section 17, Block 2A, 4, 5, 6, 14 & 99		287.35	1235	3334.5	SFA
Section 17, Block 8 (Gulf Reston)		287.35	1235	3334.5	SFA
Section 5, Block 1		287.35	1235	3334.5	SFA
Reston 1 <sup>st</sup> Addition, Section 1, Block 1-4, 15-22		287.35	1235	3334.5	SFA
Reston 2 <sup>nd</sup> Addition, Section 1		287.35	1235	3334.5	SFA
Section 1, Block 2, 3, 8, 16, 17, 18 & 21		536	1125.6	MFG	
Section 27, Block 1		536	1125.6	MFG	
Section 83, Block 1 and 2		536	1125.6	MFG	
Section 7		6.17	41	110.7	SFA
Section 3, Block 35, 36, 37, 39, 40, 41, 42, 43		6.17	41	110.7	SFA
Section 78, Block 3		6.17	41	110.7	SFA
Total	1925.24	7770	20,174.40	10,478,901,333 Less than 14 persons/ac	
Person/Unit Factors Used:					
		MF	2.1		
		SFA	2.7		
		SFD	3		

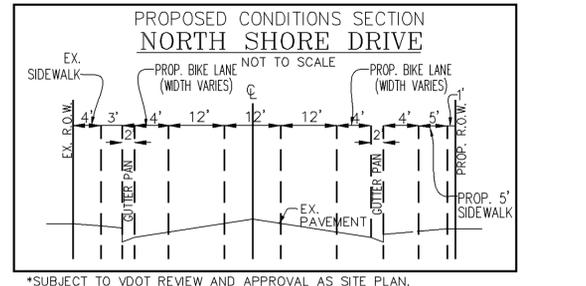
**ADU COMPUTATIONS**

Assumptions	
Site Size Overall (Acres)	7.46
Single Family Attached Units	44
Multifamily Units	112
Total Units	156
Plan Low End (Units/Acre)	10
Plan High End (Units/Acre)	20
Proposed Density	20.91
<b>Single Family Attached</b>	
Bonus	1.2
Low End of Adjusted Density (Units/Acre)	12
High End of Adjusted Density Range (Units/Acre)	24
ADU Multiplier	12.50%
Percent Required	12.34%
Number of Units	5.43
<b>Multifamily</b>	
Bonus	1.17
Low End of Adjusted Density (Units/Acre)	11.7
High End of Adjusted Density Range (Units/Acre)	23.4
ADU Multiplier	5.00%
Percent Required	5.00%
Number of Units	5.60
<b>Overall Calculations</b>	
Total Number of Units	156
Number of ADUs Required	11
Number of Market Rate Units	145

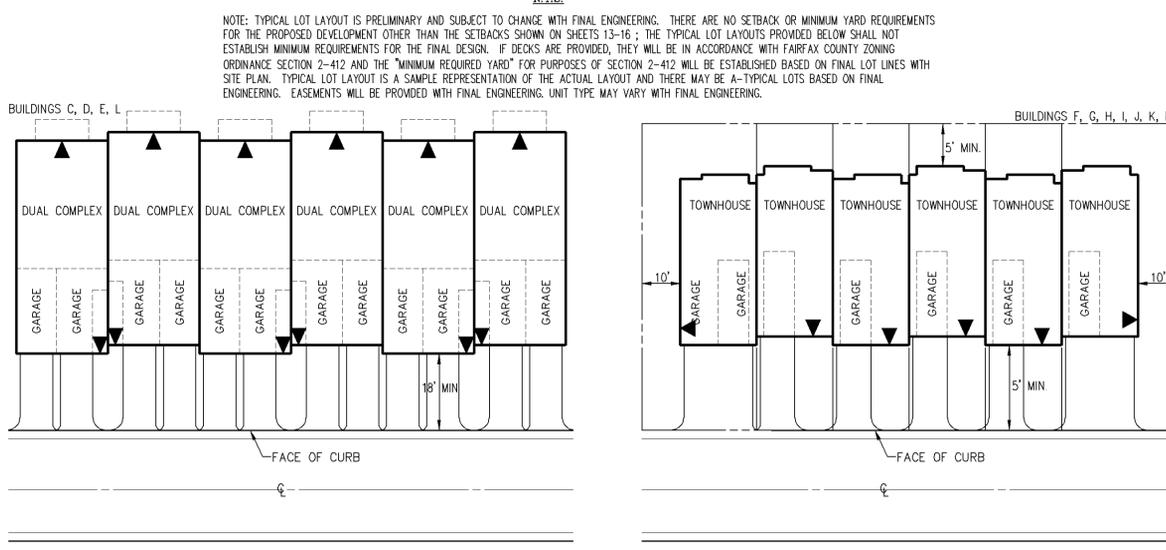


**LEGEND:**

---W---	EXISTING WATER LINE	---T---	EXISTING TELEPHONE LINE
---W---	PROPOSED WATER LINE	---T---	PROP. TELEPHONE LINE
---H---	EX. FIRE HYDRANT	---E---	EXISTING ELECTRIC LINE
---H---	PROP. FIRE HYDRANT	---E---	PROP. ELECTRIC LINE
---WM---	EXISTING WATER METER	---CATV---	EXISTING CABLE TV LINE
---WM---	PROPOSED WATER METER	---R---	ROAD SIGN
---WV---	EXISTING WATER VALVE	---X---	EX. POWER POLE
---WV---	PROPOSED WATER VALVE	X 25.60	EXISTING SPOT ELEVATION
---SD---	EXISTING STORM DRAIN	+25.60	PROP. SPOT ELEVATION
---SD---	PROPOSED STORM DRAIN	CG-6R	SPILL AND TRANSITION CURB AND GUTTER
---SS---	EXISTING SANITARY SEWER	---C---	PROPOSED CURB
---SS---	PROPOSED SANITARY SEWER	---S---	EX. STREET LIGHTS
---G---	EXISTING GAS LINE	---S---	PROP. STREET LIGHTS
---G---	PROPOSED GAS LINE	---S---	PROPOSED CG-12
---GV---	EXISTING GAS VALVE	---S---	EXISTING TREE
---GV---	PROPOSED GAS VALVE	---S---	PROPOSED TREE
---H---	EXISTING OVERHEAD WIRE	---S---	WATER FITTING IDENTIFIER
---L---	EXISTING LIGHTING	---S---	LOADING AREA
---L---	PROPOSED LIGHTING	---S---	BENCHMARK
---F---	EXISTING FENCE	---S---	TEST PIT REQUIRED
---F---	PROPOSED FENCE	---S---	PROJECTED TRAFFIC COUNT
---TL---	EXISTING TREE LINE	---S---	OVERLAND RELIEF
---TL---	EXISTING CONTOURS	---S---	PROP. PROPOSED
---TL---	PROPOSED CONTOURS	---S---	EX. EXISTING
---TL---	PROPOSED PHASE LINE	---S---	SF SQUARE FEET
---TL---	PROPOSED LIMITS OF CLEARING & GRADING	---S---	GSF GROSS SQUARE FEET
---TL---	EXISTING WETLANDS	---S---	NSF NET SQUARE FEET
---TL---	PROP. RET. WALL	---S---	T.B.R. TO BE REMOVED
---TL---	EX. RET. WALL	---S---	FF FINISHED FLOOR
---TL---	PROP. POST LIGHT	---S---	V VISITOR PARKING SPACE
---TL---	PROP. BUILDING MAIN ENTRANCE	---S---	S, C, HC STANDARD, COMPACT AND HANDICAP PARKING SPACE DESIGNATOR
---TL---	PROP. BUILDING ENTRANCE	---S---	BRICK PAVE AREA (TO MATCH EXISTING PLAZA)
---TL---	PROP. UNDERGROUND GARAGE	---S---	PROP. CONCRETE SIDEWALK
---TL---	PROPERTY LINE	---S---	PARKING SPACE COUNT
---TL---	LOADING SPACE	---S---	



**TYPICAL LOT LAYOUTS**



**GENERAL NOTES AND DETAILS**

**TALL OAKS PRCS/PEX PLAT**  
HUNTER MILL DISTRICT  
FAIRFAX COUNTY, VIRGINIA

Urban, Ltd. 4000 TECHNOLOGY CT. CHANTILLY, VA. 20151  
TEL: 703.642.2366 FAX: 703.578.7888 www.urban-ltd.com  
Planner-Engineers-Landscape Architects-Land Surveyors

Urban, Ltd. is a Virginia Professional Engineer  
CLAYTON C. TOOK  
Lic. No. 038790  
06/2016

PLAN DATE: 09-08-15, 11-11-15, 04-23-16, 05-27-16, 06-08-16, 06-20-16

DESCRIPTION: REVISIONS

DATE: APRIL, 2016

SCALE: N/A

SHEET 02 OF 37

FILE No. PRC-12785

Urban, Ltd. - J:\085\Tall Oaks\PRC PLAN\12785-02-GENERAL NOTES.dwg [LAYOUT] June 20, 2016 - 12:54pm eromms

**MAXIMUM OVERALL PRC DISTRICT DENSITY COMPUTATION**

Reston Planned Residential Community (PRC) District  
Residential Development Potential  
Including Approved Site Plans since May 2008 County Baseline density tabulation  
July 31, 2013

Density Calculation			
Unit Type	Unit Count	Population Factor (as amended 3/26/2007)	Number of Persons
Single Family Detached	4,247	3.0 persons	12,741
Single Family Attached	8,205	2.7 persons	22,154
Multiple Family	14,460	2.1 persons	30,366
		Current Population	65,261
		Persons per acre	10.49

Remaining Available Development Potential  
Based on Maximum Population Calculation of 80,912 persons  
(6,224 acres @ 13 persons / acre = 80,912 persons)

80,912 maximum population - 65,261 current population = 15,651 persons of available density based on inclusion of approved PRC Applications

15,651 persons of available density translates to a development potential of:

5,217 single family detached units  
Or  
5,796 single family attached units  
Or  
7,452 multiple family units

**Site Plan Approved**  
Since May 2008 County Baseline Density tabulation  
July 31, 2013

Project	#Units	Type	#Persons	Status
Athena Renaissance/ ParcReston (1)	110	MF	231	Site Plan Approved (6311-SP-003)
Reston TC Block 16 (2)	27	MF	57	Site Plan Approved (7067-SPV-019-A-1)
Total Number of Units	137		288	

(1) Original PCA approved for 696 units, of which 586 are in staff unit count. 418 of the 586 are existing.  
(2) 359 units proposed, 332 units included in staff unit count

**FAIRFAX COUNTY BASELINE DENSITY TABULATION**  
Reston Planned Residential Community (PRC) District  
Residential Development Potential  
May 2008

Existing Density Calculation			
Unit Type	Unit Count	Population Factor (as amended 3/26/2007)	Number of Persons
Single family detached	4,247	3.0 persons	12,741
Single family attached	8,205	2.7 persons	22,154
Multiple family	14,323*	2.1 persons	30,079
		Current Population=	64,974
		Current persons per acre =	10.44

\* Includes 332 units approved per Site Plan 7067-SP-019-2, Metropolitan at Reston Town Center Phase II

Remaining Available Development Potential  
Based on maximum population calculation of 80,912 persons  
(6,224 acres @ 13 persons/acre = 80,912 persons)

80,912 maximum population - 64,974 current population = 15,938 persons of available density

15,938 persons of available density translates to a development potential of :

5,312 single family detached units  
or  
5,903 single family attached units  
or  
7,590 multiple family units

Sources: Dwelling unit count from Department of Tax Administration data and Plan and Document Control, LDS, DPWES with addition of units receiving site plan approval \* since adoption of the PRC Amendment March 26, 2007.

Reston Planned Residential Community (PRC) District  
Residential Development Potential  
Including Approved Site Plans & Approved PRC Plans  
since May 2008 County Baseline density tabulation  
July 7, 2015

Density Calculation			
Unit Type	Unit Count	Population Factor (as amended 3/26/2007)	Number of Persons
Single Family Detached	4,247	3.0 persons	12,741
Single Family Attached	8,453	2.7 persons	22,824
Multiple Family	18,824	2.1 persons	39,531
		Population	75,096
		Persons per acre	12.07

Remaining Available Development Potential  
Based on Maximum Population Calculation of 80,912 persons  
(6,224 acres @ 13 persons / acre = 80,912 persons)

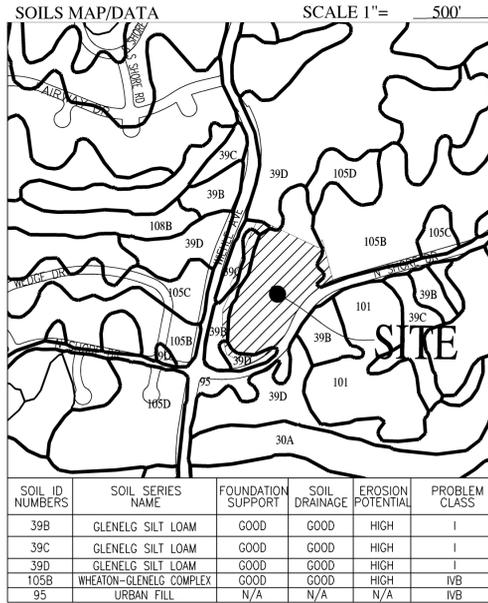
80,912 maximum population - 75,096 people = 5,816 persons of available density

5,816 persons of available density translates to a development potential of:

1,938 single family detached units  
Or  
2,154 single family attached units  
Or  
2,769 multiple family units

**BUILDING DATA**

BUILDING	USE	NUMBER OF UNITS	BUILDING GROSS FLOOR AREA (SF)	FOOT PRINT AREA (SF)	TYPE OF CONSTRUCTION	USE GROUP CLASSIFICATION	BUILDING HEIGHT (# OF STORIES) (FT)	BUILDING FULLY SPRINKLERED
BUILDING A	CONDOMINIUM	35 UNITS	N/A	12,480	VA	R-2	4 STORIES PLUS PENTHOUSE (48'-3" FT)	YES
BUILDING B	CONDOMINIUM	35 UNITS	N/A	12,480	VA	R-2	4 STORIES PLUS PENTHOUSE (60 FT)	YES
BUILDING C	2 OVER 2	10 UNITS	N/A	6,000	VA	R-2	4 STORIES (50 FT)	YES
BUILDING D	2 OVER 2	8 UNITS	N/A	4,800	VA	R-2	4 STORIES (50 FT)	YES
BUILDING E	2 OVER 2	12 UNITS	N/A	7,200	VA	R-2	4 STORIES (50 FT)	YES
BUILDING F	TOWNHOMES (SFA)	8 UNITS	N/A	6,635	VA	R-5	4 STORIES (45 FT)	YES
BUILDING G	TOWNHOMES (SFA)	4 UNITS	N/A	3,778	VA	R-5	4 STORIES (45 FT)	YES
BUILDING H	TOWNHOMES (SFA)	6 UNITS	N/A	5,055	VA	R-5	4 STORIES (45 FT)	YES
BUILDING I	TOWNHOMES (SFA)	5 UNITS	N/A	4,264	VA	R-5	4 STORIES (45 FT)	YES
BUILDING J	TOWNHOMES (SFA)	5 UNITS	N/A	4,264	VA	R-5	4 STORIES (45 FT)	YES
BUILDING K	TOWNHOMES (SFA)	8 UNITS	N/A	6,635	VA	R-5	4 STORIES (45 FT)	YES
BUILDING L	2 OVER 2	12 UNITS	N/A	7,200	VA	R-2	4 STORIES (50 FT)	YES
BUILDING M	TOWNHOMES (SFA)	8 UNITS	N/A	6,635	VA	R-5	4 STORIES (45 FT)	YES
BUILDING N	RETAIL	N/A	3,300	3,300	VB	M	1 STORY (25 FT)	NO
BUILDING O	RETAIL/OFFICE	N/A	11,093	5,307	VB	M	2 STORY (35 FT)	NO
TOTAL	-	156 UNITS	14,393	96,033	-	-	-	-



PLAN DATE: 09-08-15, 11-23-15, 04-23-16, 05-27-16, 06-08-16, 06-20-16

Urban, Ltd.  
4300 D TECHNOLOGY CT.  
CHANTILLY, VA, 20151  
TEL: 703.642.2306  
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www.urban-llc.com

**urban**  
Planners-Engineers-Landscape Architects-Land Surveyors

COMMONWEALTH OF VIRGINIA  
CLAYTON C. TOOKER  
Lic. No. 038790  
06/20/16  
PROFESSIONAL ENGINEER

GENERAL NOTES AND DETAILS  
**TALL OAKS PRC/SPEX PLAT**  
HUNTER MILL DISTRICT  
FAIRFAX COUNTY, VIRGINIA

SCALE: N/A  
DATE: APRIL, 2016  
CI-1=N/A

SHEET 03 OF 37  
FILE No. PRC-12785

REVISIONS

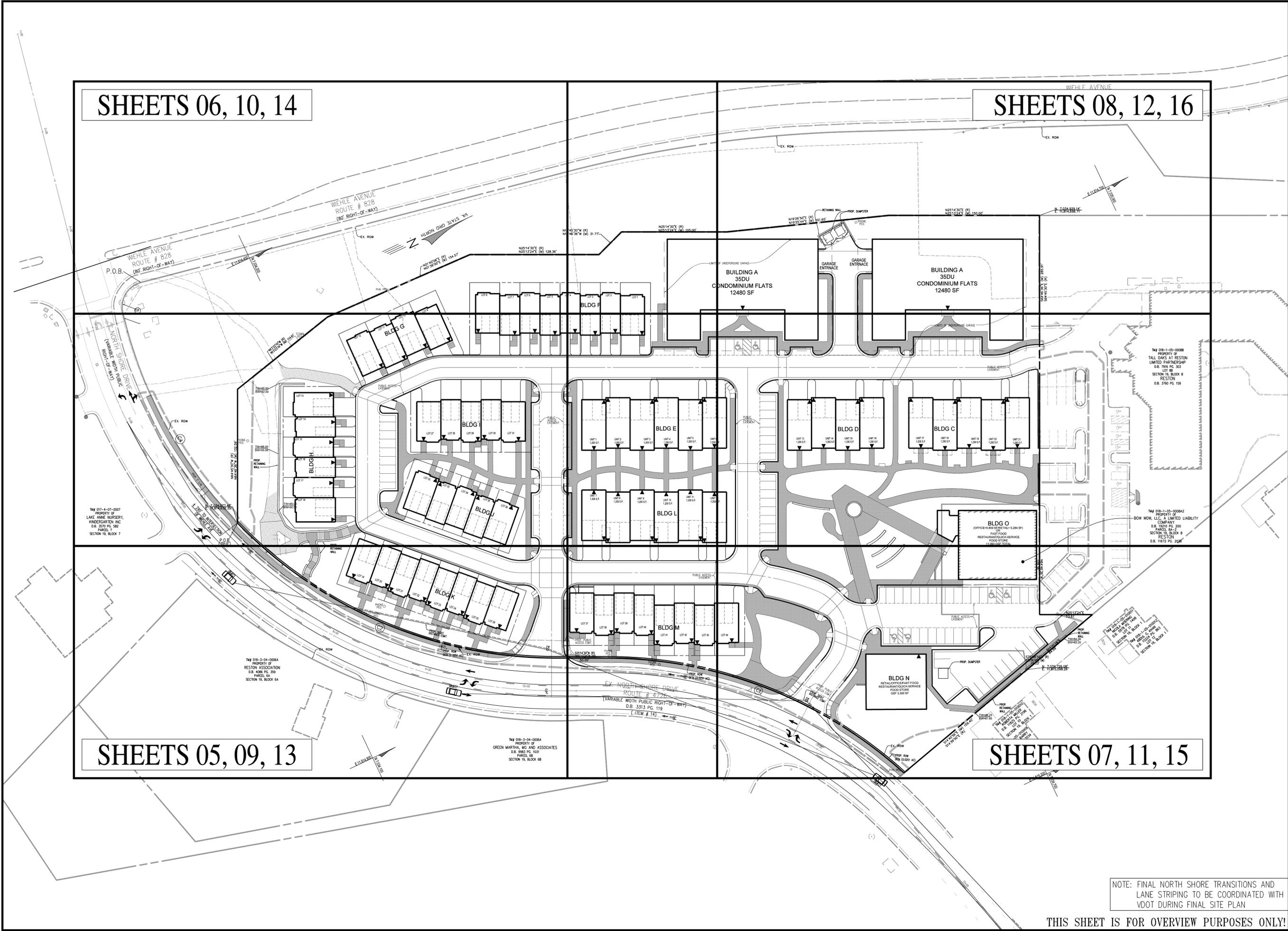
Urban, Ltd. - J:\085\Tall Oaks\00-PRC PLAN\12785-02-GENERAL NOTES.dwg [LAYOUT 2] June 20, 2016 - 9:28am jfeyncld

SHEETS 06, 10, 14

SHEETS 08, 12, 16

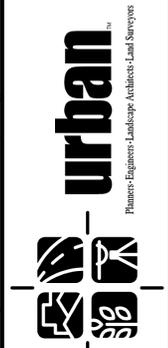
SHEETS 05, 09, 13

SHEETS 07, 11, 15



No.	DATE	DESCRIPTION
09-08-15		
11-23-15		
04-23-16		
05-27-16		
06-08-16		
06-20-16		

Urban, Ltd.  
 4300 D TECHNOLOGY CT.  
 CHANTILLY, VA 20151  
 TEL: 703.642.2306  
 FAX: 703.378.7888  
 www.urban-llc.com



TM 018-1-05-00088  
 PROPERTY OF  
 TALL OAKS AT RESTON  
 LIMITED PARTNERSHIP  
 D.B. 2196 PC 303  
 SECTION 19, BLOCK 8  
 RESTON  
 D.B. 3740 PC 159

TM 018-1-05-00842  
 PROPERTY OF  
 BOW NOW, LLC, A LIMITED LIABILITY  
 COMPANY  
 D.B. 3200 PC 300  
 PARCEL 6A-24, 25  
 SECTION 19, BLOCK 8  
 RESTON  
 D.B. 11072 PC 204F

OVERVIEW PLAN  
 TALL OAKS  
 PRC/SPEX PLAT  
 HUNTER MILL DISTRICT  
 FAIRFAX COUNTY, VIRGINIA

DATE: APRIL, 2016  
 CL-1=N/A

SCALE: 1"=40'  
 SHEET  
 04  
 OF  
 37  
 FILE No.  
 PRC-12785

NOTE: FINAL NORTH SHORE TRANSITIONS AND  
 LANE STRIPING TO BE COORDINATED WITH  
 VDOT DURING FINAL SITE PLAN

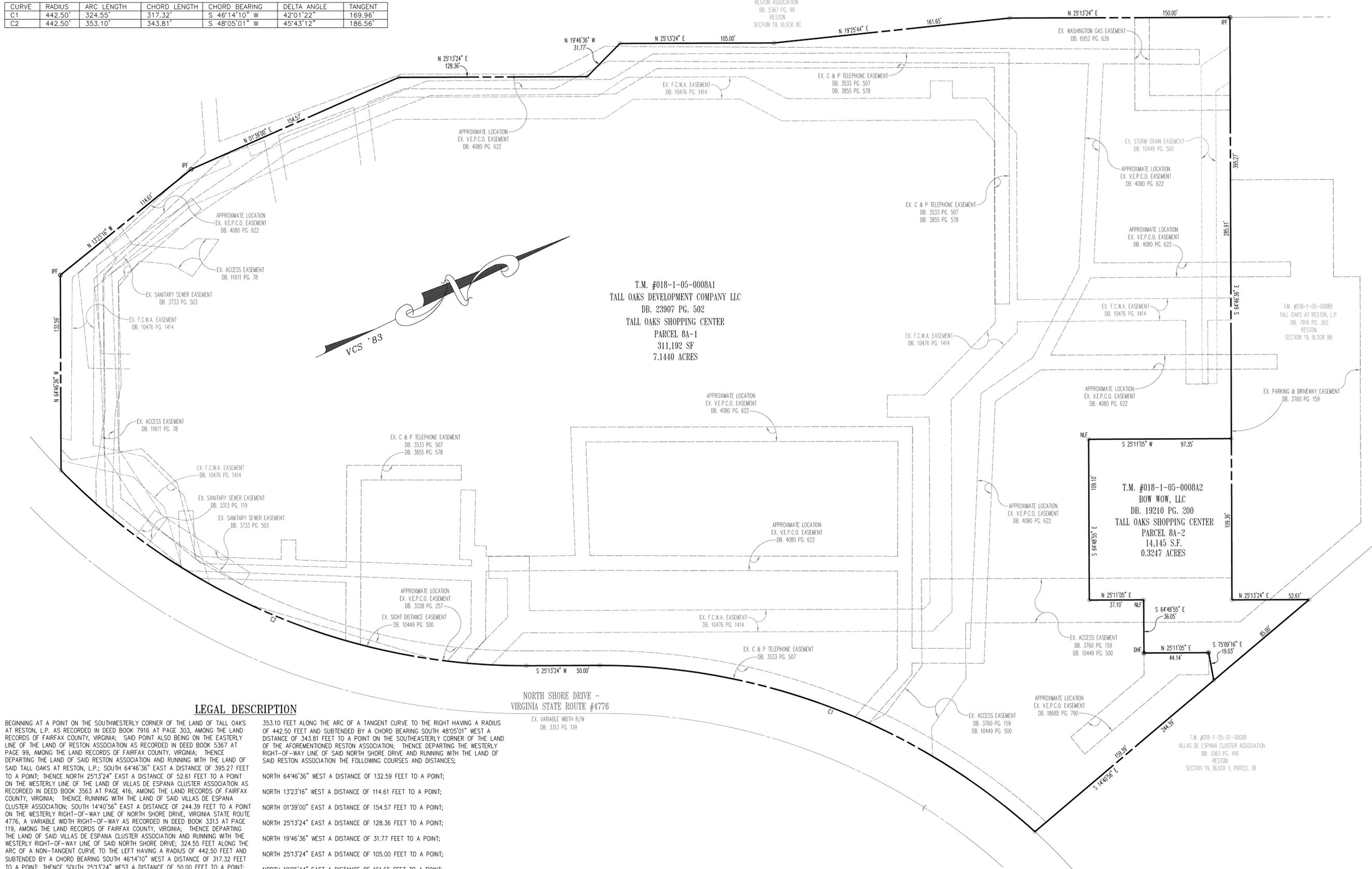
THIS SHEET IS FOR OVERVIEW PURPOSES ONLY!

Urban, Ltd. - J:\085\Tall Oaks\00-PRC PLAN\12785-03-OVERVIEW.dwg [LAYOUT] June 20, 2016 - 9:28am jrc/ncs

**CURVE DATA**

CURVE	RADIUS	ARC LENGTH	CHORD LENGTH	CHORD BEARING	DELTA ANGLE	TANGENT
C1	442.50'	324.55'	317.32'	S 46°14'10" W	42°01'22"	169.96'
C2	442.50'	353.10'	343.81'	S 48°05'01" W	45°43'12"	186.56'

T.M. #018-1-05-0008C  
RESTON ASSOCIATION  
DB. 5367 PG. 99  
RESTON  
SECTION 19, BLOCK 8C



T.M. #018-1-05-0008A1  
TALL OAKS DEVELOPMENT COMPANY LLC  
DB. 23907 PG. 502  
TALL OAKS SHOPPING CENTER  
PARCEL 8A-1  
311,192 SF  
7.1440 ACRES

T.M. #018-1-05-0008A2  
BOW WOW, LLC  
DB. 19210 PG. 200  
TALL OAKS SHOPPING CENTER  
PARCEL 8A-2  
14,145 S.F.  
0.3247 ACRES

**LEGAL DESCRIPTION**

BEGINNING AT A POINT ON THE SOUTHWESTERLY CORNER OF THE LAND OF TALL OAKS AT RESTON, L.P. AS RECORDED IN DEED BOOK 7916 AT PAGE 303, AMONG THE LAND RECORDS OF FAIRFAX COUNTY, VIRGINIA; SAID POINT ALSO BEING ON THE EASTERLY LINE OF THE LAND OF RESTON ASSOCIATION AS RECORDED IN DEED BOOK 5367 AT PAGE 99, AMONG THE LAND RECORDS OF FAIRFAX COUNTY, VIRGINIA; THENCE DEPARTING THE LAND OF SAID RESTON ASSOCIATION AND RUNNING WITH THE LAND OF SAID TALL OAKS AT RESTON, L.P.; SOUTH 64°46'36" EAST A DISTANCE OF 395.27 FEET TO A POINT; THENCE NORTH 25°13'24" EAST A DISTANCE OF 52.61 FEET TO A POINT ON THE WESTERLY LINE OF THE LAND OF VILLAS DE ESPANA CLUSTER ASSOCIATION AS RECORDED IN DEED BOOK 3563 AT PAGE 416, AMONG THE LAND RECORDS OF FAIRFAX COUNTY, VIRGINIA; THENCE RUNNING WITH THE LAND OF SAID VILLAS DE ESPANA CLUSTER ASSOCIATION; SOUTH 14°40'56" EAST A DISTANCE OF 244.39 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF NORTH SHORE DRIVE, VIRGINIA STATE ROUTE 4776, A VARIABLE WIDTH RIGHT-OF-WAY AS RECORDED IN DEED BOOK 3313 AT PAGE 119, AMONG THE LAND RECORDS OF FAIRFAX COUNTY, VIRGINIA; THENCE DEPARTING THE LAND OF SAID VILLAS DE ESPANA CLUSTER ASSOCIATION AND RUNNING WITH THE WESTERLY RIGHT-OF-WAY LINE OF SAID NORTH SHORE DRIVE; 324.55 FEET ALONG THE ARC OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 442.50 FEET AND SUBTENDED BY A CHORD BEARING SOUTH 46°14'10" WEST A DISTANCE OF 317.32 FEET TO A POINT; THENCE SOUTH 25°13'24" WEST A DISTANCE OF 50.00 FEET TO A POINT;

353.10 FEET ALONG THE ARC OF A TANGENT CURVE TO THE RIGHT HAVING A RADIUS OF 442.50 FEET AND SUBTENDED BY A CHORD BEARING SOUTH 48°05'01" WEST A DISTANCE OF 343.81 FEET TO A POINT ON THE SOUTHEASTERLY CORNER OF THE LAND OF THE AFOREMENTIONED RESTON ASSOCIATION; THENCE DEPARTING THE WESTERLY RIGHT-OF-WAY LINE OF SAID NORTH SHORE DRIVE AND RUNNING WITH THE LAND OF SAID RESTON ASSOCIATION THE FOLLOWING COURSES AND DISTANCES;

NORTH 64°46'36" WEST A DISTANCE OF 132.59 FEET TO A POINT;  
NORTH 13°23'16" WEST A DISTANCE OF 114.61 FEET TO A POINT;  
NORTH 01°39'00" EAST A DISTANCE OF 154.57 FEET TO A POINT;  
NORTH 25°13'24" EAST A DISTANCE OF 128.36 FEET TO A POINT;  
NORTH 19°46'36" WEST A DISTANCE OF 31.77 FEET TO A POINT;  
NORTH 25°13'24" EAST A DISTANCE OF 105.00 FEET TO A POINT;  
NORTH 19°25'44" EAST A DISTANCE OF 161.65 FEET TO A POINT;  
NORTH 25°13'24" EAST A DISTANCE OF 150.00 FEET TO THE POINT OF BEGINNING AND CONTAINING AN AREA OF 311,192 SQUARE FEET OR 7.1440 ACRES, MORE OR LESS.

NORTH SHORE DRIVE -  
VIRGINIA STATE ROUTE #4776  
EX. VARIABLE WIDTH R/W  
DB. 3313 PG. 119

PLAN DATE		09-08-15	REVISIONS
PLAN DATE		11-11-15	
PLAN DATE		04-23-16	
PLAN DATE		05-27-16	
PLAN DATE		06-08-16	
PLAN DATE		06-20-16	
DATE			
NO.			
DESCRIPTION			

Urban, Ltd.  
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**urban**  
Planners-Engineers-Landscape Architects-Land Surveyors

COMMONWEALTH OF VIRGINIA  
KRYN P. O'CONNOR  
Lic. No. 1967  
06/20/16  
LAND SURVEYOR

CERTIFIED PLAT  
TALL OAKS  
PRC/SPEX PLAT  
HUNTER MILL DISTRICT  
FAIRFAX COUNTY, VIRGINIA

SCALE: 1"=30'

DATE: APRIL, 2016

CI-N/A

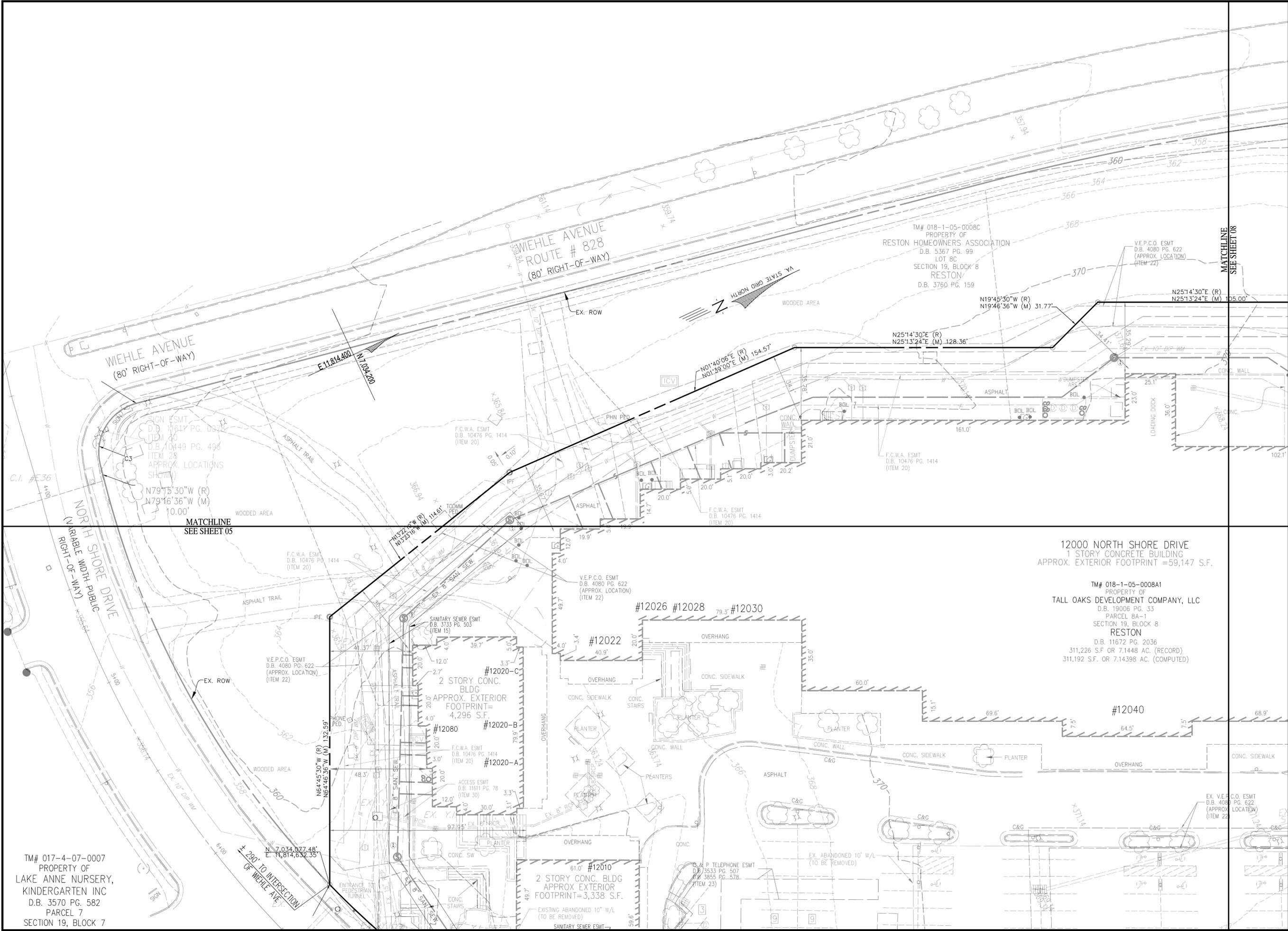
SHEET  
04A  
OF  
37

FILE No.  
PRC-12785

Urban, Ltd. - J:\085\Tall Oaks\00-PRC PLAN\12785-03-CERT PLAT.dwg [1] June 20, 2016 - 9:30am jreynolds



Urban, Ltd. - J:\085\Tall Oaks\00-PRC PLAN\12785-06-EX CONDITIONS.dwg [LAYOUT (2)] June 20, 2016 - 9:30am Reynolds



TM# 017-4-07-0007  
PROPERTY OF  
LAKE ANNE NURSERY,  
KINDERGARTEN INC  
D.B. 3570 PG. 582  
PARCEL 7  
SECTION 19, BLOCK 7

MATCHLINE  
SEE SHEET 05

12000 NORTH SHORE DRIVE  
1 STORY CONCRETE BUILDING  
APPROX. EXTERIOR FOOTPRINT = 59,147 S.F.

TM# 018-1-05-0008A1  
PROPERTY OF  
TALL OAKS DEVELOPMENT COMPANY, LLC  
D.B. 19006 PG. 33  
PARCEL BA-1  
SECTION 19, BLOCK 8  
RESTON  
D.B. 11672 PG. 2036  
311,226 S.F. OR 7.1448 AC. (RECORD)  
311,192 S.F. OR 7.14398 AC. (COMPUTED)

WIEHLE AVENUE  
ROUTE # 828  
(80' RIGHT-OF-WAY)

WIEHLE AVENUE  
(80' RIGHT-OF-WAY)

NORTH SHORE DRIVE  
(VARIABLE WIDTH PUBLIC  
RIGHT-OF-WAY)

PLAN DATE	DESCRIPTION
09-08-15	
11-23-15	
04-23-16	
05-27-16	
06-08-16	
06-20-16	

Urban, Ltd.  
4300 D TECHNOLOGY CT.  
CHANTILLY, VA 20151  
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FAX: 703.578.7888  
www.urban-llc.com



EXISTING CONDITIONS  
TALL OAKS  
PRC/SPEX PLAT  
HUNTER MILL DISTRICT  
FAIRFAX COUNTY, VIRGINIA

DATE: APRIL, 2016  
SCALE: 1"=20'  
C.I.=2'

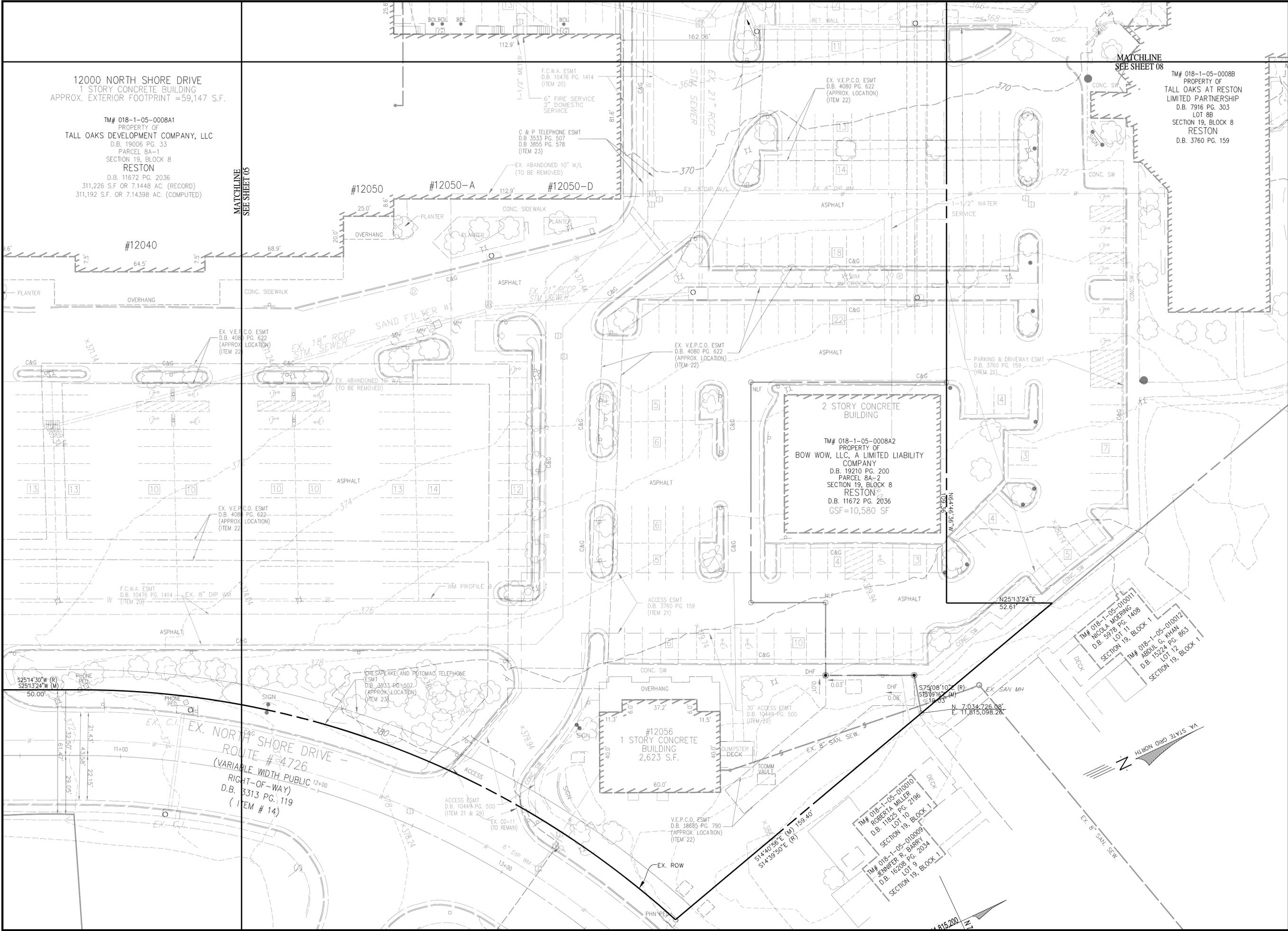
SHEET  
06  
OF  
37  
FILE No.  
PRC-12785

12000 NORTH SHORE DRIVE  
1 STORY CONCRETE BUILDING  
APPROX. EXTERIOR FOOTPRINT =59,147 S.F.

TM# 018-1-05-0008A1  
PROPERTY OF  
TALL OAKS DEVELOPMENT COMPANY, LLC  
D.B. 19006 PG. 33  
PARCEL 8A-1  
SECTION 19, BLOCK 8  
RESTON  
D.B. 11672 PG. 2036  
311,226 S.F. OR 7.1448 AC. (RECORD)  
311,192 S.F. OR 7.14398 AC. (COMPUTED)

MATCHLINE  
SEE SHEET 08

TM# 018-1-05-0008B  
PROPERTY OF  
TALL OAKS AT RESTON  
LIMITED PARTNERSHIP  
D.B. 7916 PG. 303  
LOT 8B  
SECTION 19, BLOCK 8  
RESTON  
D.B. 3760 PG. 159



NO.	DATE	DESCRIPTION
1	09-08-15	
2	11-23-15	
3	04-23-16	
4	05-27-16	
5	06-08-16	
6	06-20-16	

Urban, Ltd.  
4300 D TECHNOLOGY CT.  
CHANTILLY, VA 20151  
TEL: 703.642.2306  
FAX: 703.578.7888  
www.urban-llc.com



EXISTING CONDITIONS

**TALL OAKS  
PRC/SPEX PLAT**  
HUNTER MILL DISTRICT  
FAIRFAX COUNTY, VIRGINIA

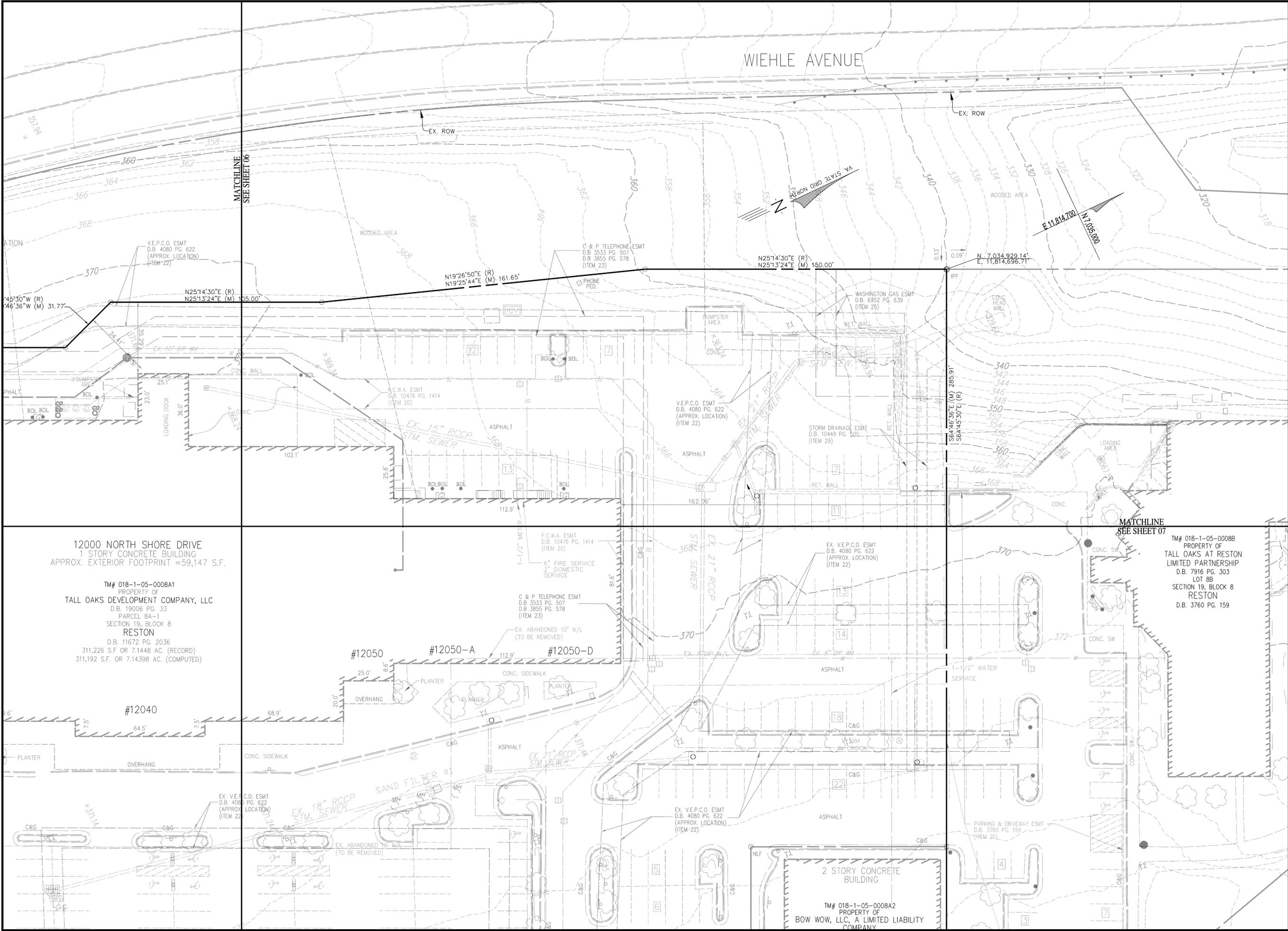
DATE: APRIL, 2016  
SCALE: 1"=20'  
C.I.-2

SHEET  
07  
OF  
37

FILE No.  
PRC-12785

Urban, Ltd. - J:\ARBES\Tall Oaks\00-PRC PLAN\12785-06-EX CONDITIONS.dwg [LAYOUT (3)] June 20, 2016 - 9:30am Reynolds

Urban, Ltd. - J:\ARCS\Tall Oaks\00-PRC PLAN\12785-06-EX CONDITIONS.dwg [LAYOUT (4)] June 20, 2016 - 9:30am frey@urban.com



WIEHLE AVENUE

12000 NORTH SHORE DRIVE  
1 STORY CONCRETE BUILDING  
APPROX. EXTERIOR FOOTPRINT = 59,147 S.F.

TM# 018-1-05-0008A1  
PROPERTY OF  
TALL OAKS DEVELOPMENT COMPANY, LLC  
D.B. 19006 PG. 33  
PARCEL 8A-1  
SECTION 19, BLOCK 8  
RESTON  
D.B. 11672 PG. 2036  
311,226 S.F. OR 7.1448 AC. (RECORD)  
311,192 S.F. OR 7.14398 AC. (COMPUTED)

TM# 018-1-05-0008B  
PROPERTY OF  
TALL OAKS AT RESTON  
LIMITED PARTNERSHIP  
D.B. 7916 PG. 303  
LOT 8B  
SECTION 19, BLOCK 8  
RESTON  
D.B. 3760 PG. 159

2 STORY CONCRETE BUILDING  
TM# 018-1-05-0008A2  
PROPERTY OF  
BOW WOW, LLC, A LIMITED LIABILITY COMPANY

EXISTING CONDITIONS	
TALL OAKS	
PRC/SPEX PLAT	
HUNTER MILL DISTRICT	
FAIRFAX COUNTY, VIRGINIA	
DATE: APRIL, 2016	
SCALE: 1"=20'	
SHEET 08 OF 37	
FILE No. PRC-12785	

PLAN DATE	DESCRIPTION
09-08-15	
11-11-15	
04-23-16	
05-27-16	
06-08-16	
06-20-16	

No.	DATE	REVISIONS

Urban, Ltd.  
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Phantom Engineers Landscape Architects Land Surveyors

**urban**  
Phantom Engineers Landscape Architects Land Surveyors

COMMONWEALTH OF VIRGINIA  
CLAYTON C. TOOKER  
Lic. No. 038790  
06/20/16  
PROFESSIONAL ENGINEER

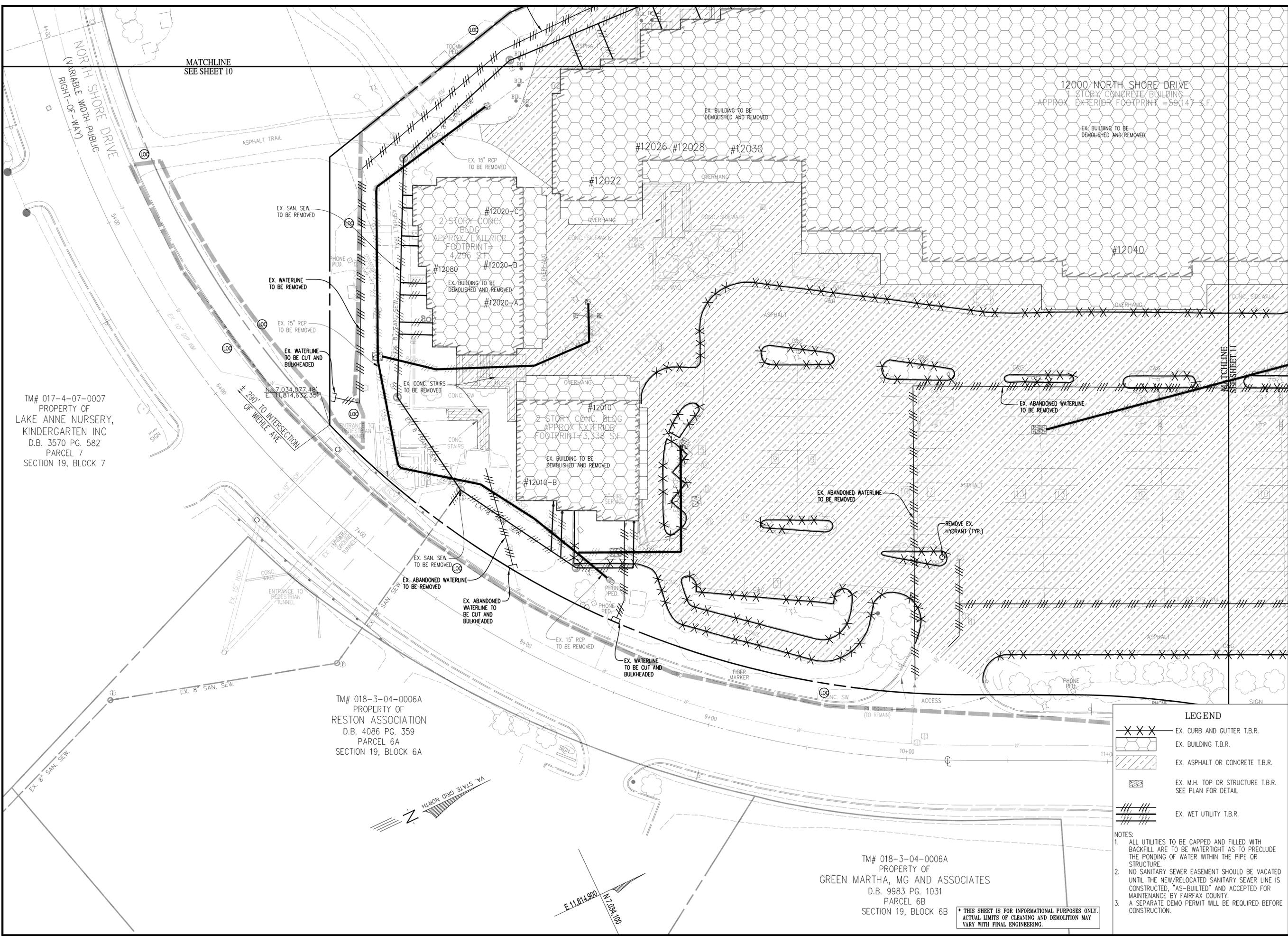
Urban, Ltd. - J:\085\Tall Oaks\00-PRC PLAN\12785-07-DEM.DWG [REVISED] June 20, 2016 - 9:50am Reynolds

TM# 017-4-07-0007  
PROPERTY OF  
LAKE ANNE NURSERY,  
KINDERGARTEN INC  
D.B. 3570 PG. 582  
PARCEL 7  
SECTION 19, BLOCK 7

TM# 018-3-04-0006A  
PROPERTY OF  
RESTON ASSOCIATION  
D.B. 4086 PG. 359  
PARCEL 6A  
SECTION 19, BLOCK 6A

TM# 018-3-04-0006A  
PROPERTY OF  
GREEN MARTHA, MG AND ASSOCIATES  
D.B. 9983 PG. 1031  
PARCEL 6B  
SECTION 19, BLOCK 6B

\* THIS SHEET IS FOR INFORMATIONAL PURPOSES ONLY.  
ACTUAL LIMITS OF CLEANING AND DEMOLITION MAY  
VARY WITH FINAL ENGINEERING.



**LEGEND**

	EX. CURB AND GUTTER T.B.R.
	EX. BUILDING T.B.R.
	EX. ASPHALT OR CONCRETE T.B.R.
	EX. M.H. TOP OR STRUCTURE T.B.R. SEE PLAN FOR DETAIL
	EX. WET UTILITY T.B.R.

- NOTES:**
- ALL UTILITIES TO BE CAPPED AND FILLED WITH BACKFILL ARE TO BE WATERTIGHT AS TO PRECLUDE THE PONDING OF WATER WITHIN THE PIPE OR STRUCTURE.
  - NO SANITARY SEWER EASEMENT SHOULD BE VACATED UNTIL THE NEW/RELOCATED SANITARY SEWER LINE IS CONSTRUCTED, "AS-BUILT" AND ACCEPTED FOR MAINTENANCE BY FAIRFAX COUNTY. A SEPARATE DEMO PERMIT WILL BE REQUIRED BEFORE CONSTRUCTION.

**DEMOLITION PLAN**  
**TALL OAKS**  
**PRC/SPEX PLAT**  
HUNTER MILL DISTRICT  
FAIRFAX COUNTY, VIRGINIA

DATE: APRIL, 2016  
SCALE: 1"=20'  
SHEET 09 OF 37  
FILE No. PRC-12785

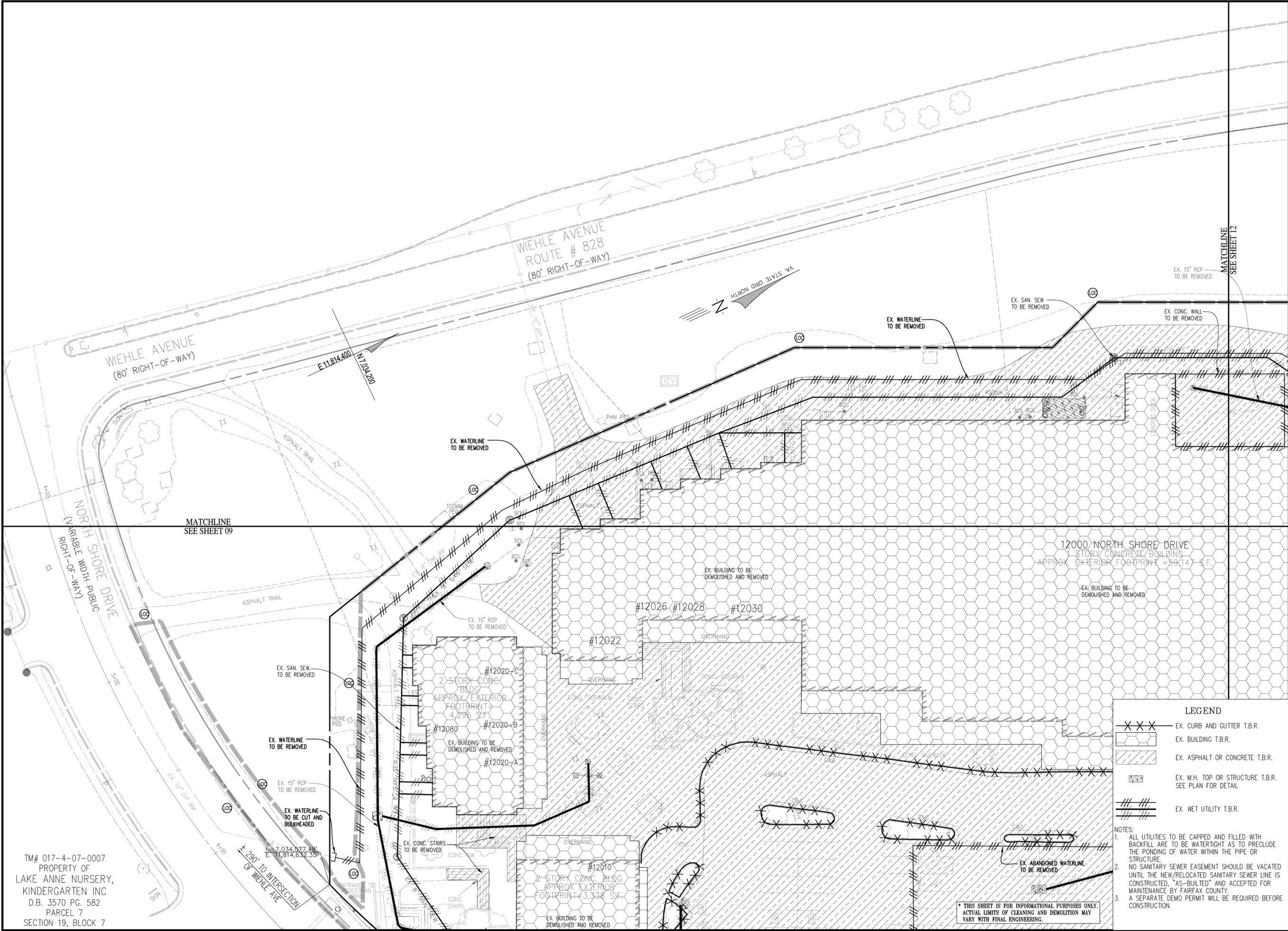
Urban, Ltd.  
4300 D TECHNOLOGY CT.  
CHANTILLY, VA 20151  
TEL: 703.642.2306  
FAX: 703.578.7888  
www.urban-llc.com

Professional Engineer  
CLAYTON C. TOOKER  
Lic. No. 038790  
06/20/16

PLAN DATE	NO.	DATE	DESCRIPTION
09-08-15	1		
11-11-15	2		
04-23-16	3		
05-27-16	4		
06-08-16	5		
06-20-16	6		

Urban, Ltd. - J:\0853\Tall Oaks\00-PRC PLAN\12785-07-DEM.DWG [DEMO 2] June 20, 2016 - 9:30am Reynolds

TM# 017-4-07-0007  
 PROPERTY OF  
 LAKE ANNE NURSERY,  
 KINDERGARTEN INC  
 D.B. 3570 PG. 582  
 PARCEL 7  
 SECTION 19, BLOCK 7



**LEGEND**

	EX. CURB AND GUTTER T.B.R.
	EX. BUILDING T.B.R.
	EX. ASPHALT OR CONCRETE T.B.R.
	EX. M.H. TOP OR STRUCTURE T.B.R. SEE PLAN FOR DETAIL
	EX. WET UTILITY T.B.R.

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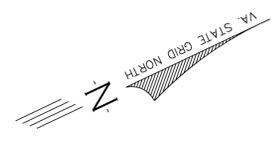
<b>DEMOLITION PLAN</b>																								
<b>TALL OAKS</b>																								
<b>PRC/SPEX PLAN</b>																								
HUNTER MILL DISTRICT FAIRFAX COUNTY, VIRGINIA																								
DATE: APRIL, 2016	SCALE: 1"=20'																							
SHEET 10 OF 37	FILE No. PRC-12785																							
 Urban, Ltd. 4300 D TECHNOLOGY CT. CHANTILLY, VA 20151 TEL: 703.642.2306 FAX: 703.578.7888 www.urban-llc.com	PROFESSIONAL ENGINEER COMMONWEALTH OF VIRGINIA CLAYTON C. TOOKER Lic. No. 038790 06/20/16																							
<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>PLAN DATE</th> <th>REVISIONS</th> </tr> <tr> <td>09-08-15</td> <td></td> </tr> <tr> <td>11-23-15</td> <td></td> </tr> <tr> <td>04-23-16</td> <td></td> </tr> <tr> <td>05-27-16</td> <td></td> </tr> <tr> <td>06-08-16</td> <td></td> </tr> <tr> <td>06-20-16</td> <td></td> </tr> </table>	PLAN DATE	REVISIONS	09-08-15		11-23-15		04-23-16		05-27-16		06-08-16		06-20-16		<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>No.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	No.	DATE	DESCRIPTION						
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06-20-16																								
No.	DATE	DESCRIPTION																						



Urban, Ltd. - J:\085\Tall Oaks\00-PRC PLAN\12785-07-DEMOL.dwg [DEMO\_4] June 20, 2016 - 9:30am Reynolds



WIEHLE AVENUE



N 7,034,929.14'  
E. 11,814,596.71'  
E 11814.700 N 1035.000

MATCHLINE  
SEE SHEET 10

MATCHLINE  
SEE SHEET 11

12000 NORTH SHORE DRIVE  
1 STORY CONCRETE BUILDING  
APPROX. EXTERIOR FOOTPRINT = 59,147 S.F.

TM# 018-1-05-0008B  
PROPERTY OF  
TALL OAKS AT RESTON  
LIMITED PARTNERSHIP  
D.B. 7916 PG. 303  
LOT 8B  
SECTION 19, BLOCK 8  
RESTON  
D.B. 3760 PG. 159

**LEGEND**

	EX. CURB AND GUTTER T.B.R.
	EX. BUILDING T.B.R.
	EX. ASPHALT OR CONCRETE T.B.R.
	EX. M.H. TOP OR STRUCTURE T.B.R. SEE PLAN FOR DETAIL
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2 STORY CONCRETE BUILDING  
TM# 018-1-05-0008A2  
PROPERTY OF  
BOW WOW, LLC, A LIMITED LIABILITY COMPANY

PLAN DATE	DESCRIPTION
09-08-15	
11-11-15	
04-23-16	
05-27-16	
06-08-16	
06-20-16	

No.	DATE	REVISIONS

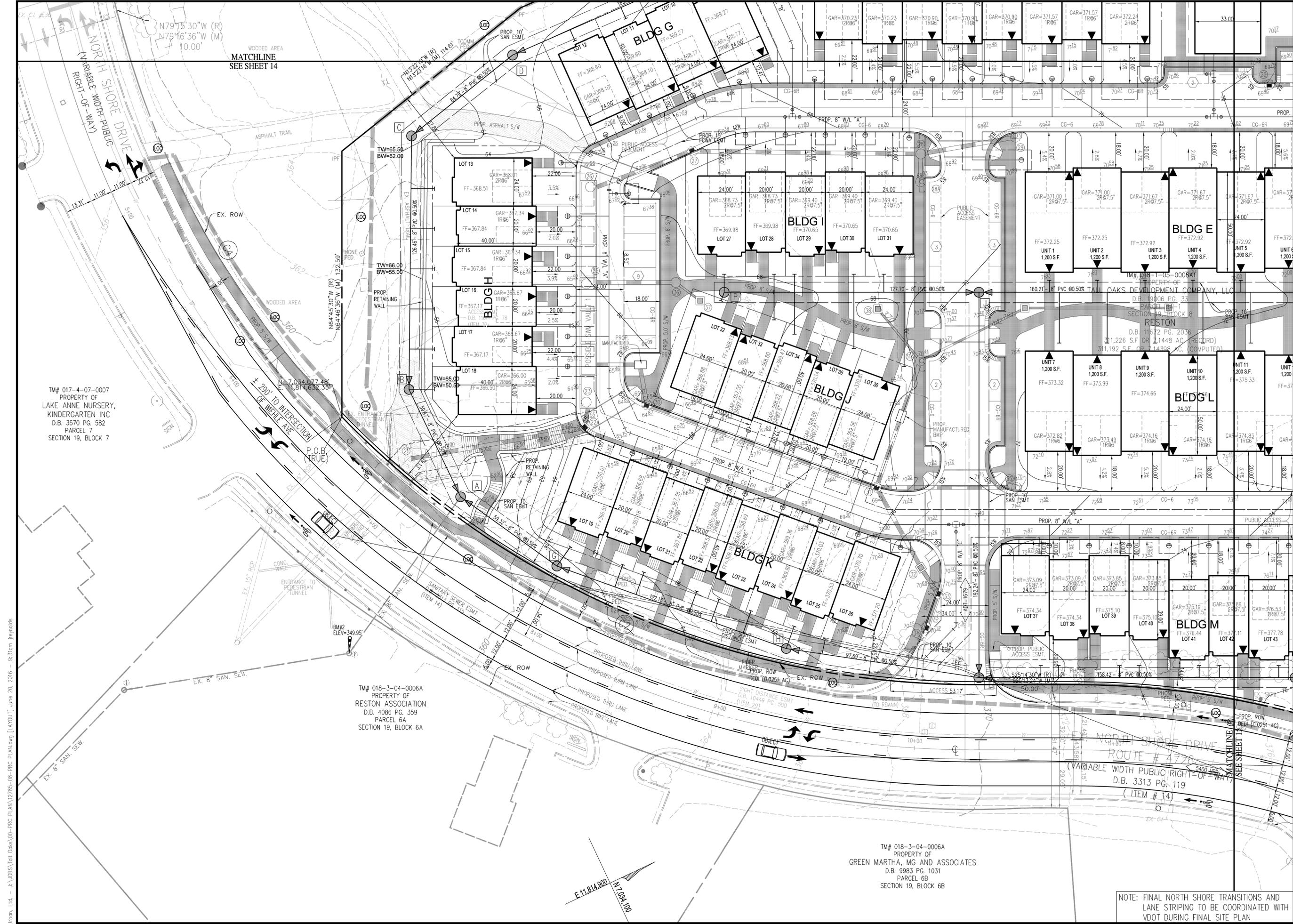
Urban, Ltd.  
4300 D TECHNOLOGY CT.  
CHANTILLY, VA 20151  
TEL. 703.642.2306  
FAX. 703.378.7888  
www.urban-llc.com



DATE: APRIL, 2016  
CL-2

DEMOLITION PLAN  
TALL OAKS  
PRC/SPEX PLAT  
HUNTER MILL DISTRICT  
FAIRFAX COUNTY, VIRGINIA

SHEET  
12  
OF  
37  
FILE No.  
PRC-12785



MATCHLINE  
SEE SHEET 14

TM# 017-4-07-0007  
PROPERTY OF  
LAKE ANNE NURSERY,  
KINDERGARTEN INC  
D.B. 3570 PG. 582  
PARCEL 7  
SECTION 19, BLOCK 7

TM# 018-3-04-0006A  
PROPERTY OF  
RESTON ASSOCIATION  
D.B. 4086 PG. 359  
PARCEL 6A  
SECTION 19, BLOCK 6A

TM# 018-3-04-0006A  
PROPERTY OF  
GREEN MARTHA, MC AND ASSOCIATES  
D.B. 9983 PG. 1031  
PARCEL 6B  
SECTION 19, BLOCK 6B

NORTH SHORE DRIVE  
ROUTE # 4726  
(VARIABLE WIDTH PUBLIC RIGHT-OF-WAY)  
D.B. 3313 PG. 119  
(ITEM # 14)

NOTE: FINAL NORTH SHORE TRANSITIONS AND  
LANE STRIPING TO BE COORDINATED WITH  
VDOT DURING FINAL SITE PLAN

NO.	DATE	DESCRIPTION
09-08-15		
11-11-15		
04-23-16		
05-27-16		
06-08-16		
06-20-16		

Urban, Ltd.  
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**urban**  
Planners-Engineers-Landscape Architects-Land Surveyors

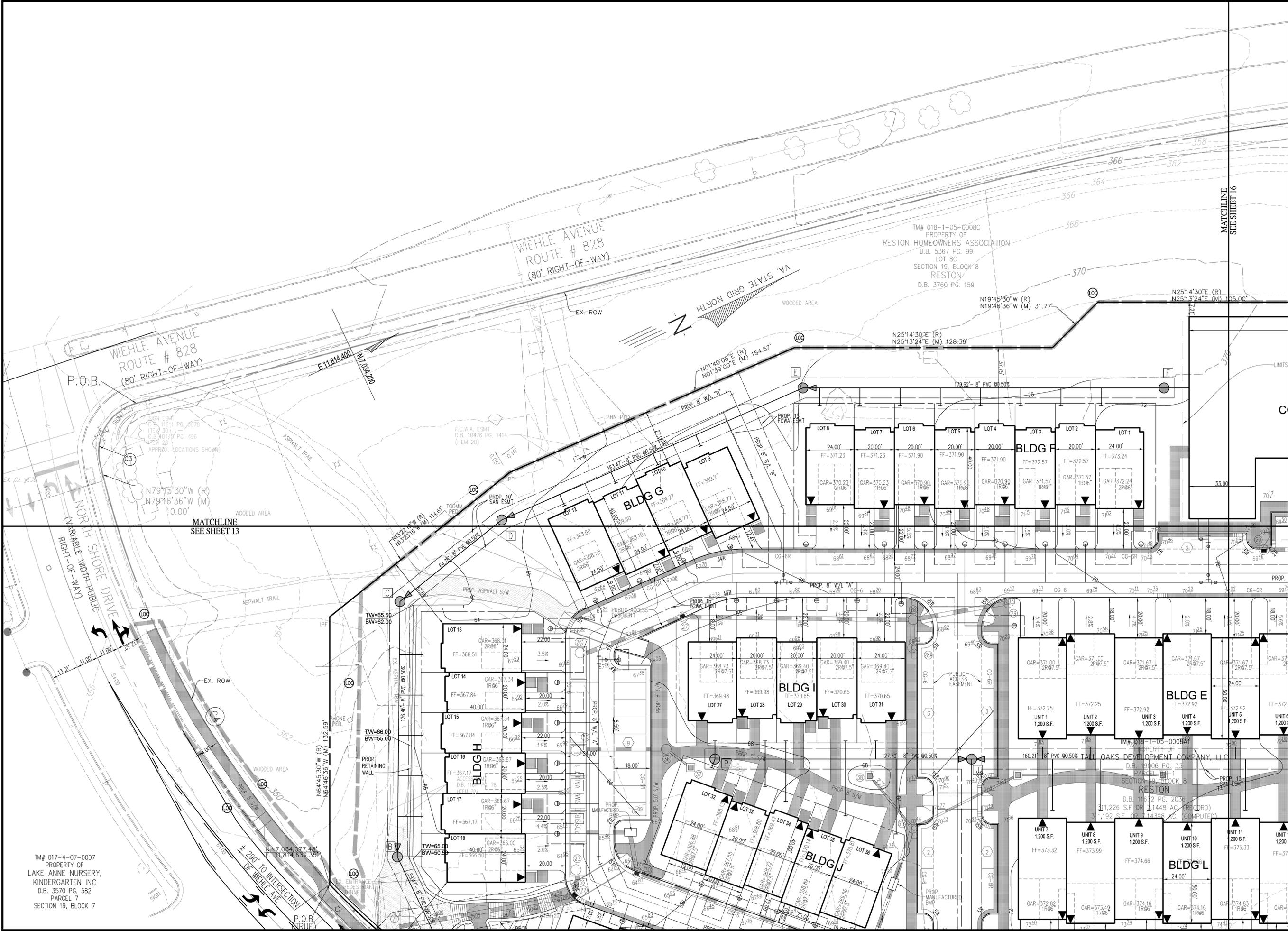
COMMONWEALTH OF VIRGINIA  
ENGINEER  
CLAYTON C. TOOK  
Lic. No. 036790  
06/20/16  
PROFESSIONAL

PRC PLAN-SPECIAL EXCEPTION PLAT  
TALL OAKS  
PRC/SPEX PLAT  
HUNTER MILL DISTRICT  
FAIRFAX COUNTY, VIRGINIA

DATE: APRIL, 2016  
CL-1-2  
SCALE: 1"=20'

SHEET  
13  
OF  
37  
FILE No.  
PRC-12785

Urban, Ltd. - J:\085\Tall Oaks\00-PRC PLAN\12785-08-PRC PLAN.dwg [LAYOUT (2)] June 20, 2016 - 9:51am Reynolds



TM# 017-4-07-0007  
PROPERTY OF  
LAKE ANNE NURSERY,  
KINDERGARTEN INC  
D.B. 3570 PG. 582  
PARCEL 7  
SECTION 19, BLOCK 7

MATCHLINE  
SEE SHEET 13

MATCHLINE  
SEE SHEET 16

TM# 018-1-05-0008C  
PROPERTY OF  
RESTON HOMEOWNERS ASSOCIATION  
D.B. 5367 PG. 99  
LOT 8C  
SECTION 19, BLOCK 8  
RESTON  
D.B. 3760 PG. 159

TM# 018-1-05-0008A  
PROPERTY OF  
TALL OAKS DEVELOPMENT COMPANY, LLC  
D.B. 13006 PG. 33  
PARCEL 1  
SECTION 19, BLOCK B  
RESTON  
D.B. 11512 PG. 2036  
31,226 S.F. OR 1.1448 AC. (RECORDED)  
31,192 S.F. OR 1.1439 AC. (COMPUTED)

PRC PLAN-SPECIAL EXCEPTION PLAT  
**TALL OAKS  
PRC/SPEX PLAT**  
HUNTER MILL DISTRICT  
FAIRFAX COUNTY, VIRGINIA

SHEET  
14  
OF  
37  
FILE No.  
PRC-12785



PLAN DATE	DESCRIPTION
09-08-15	
11-23-15	
04-23-16	
05-27-16	
06-08-16	
06-20-16	

SCALE: 1"=20'

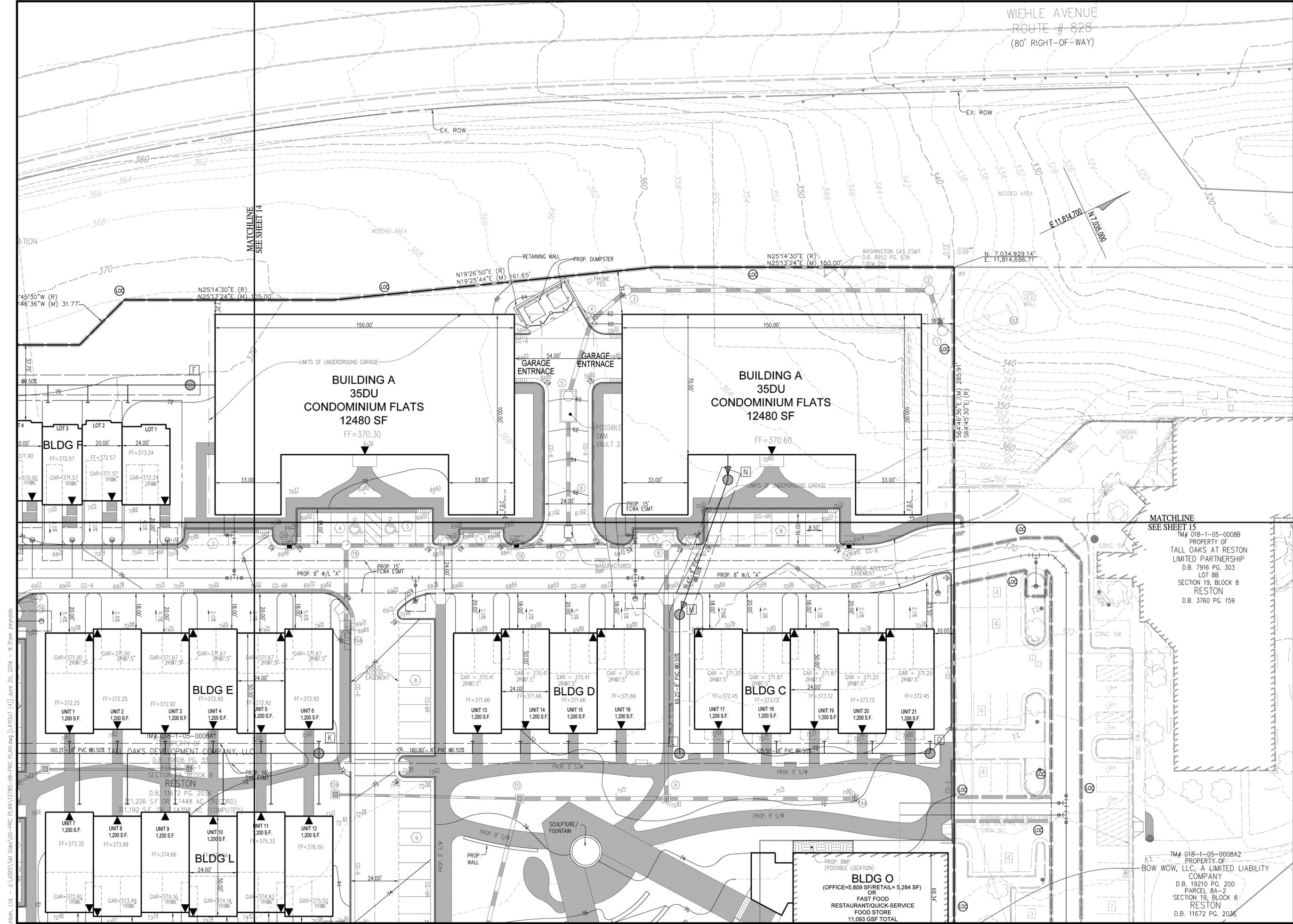
DATE: APRIL, 2016

CL-2

REVISIONS



WIEHLE AVENUE  
ROUTE # 828  
(80' RIGHT-OF-WAY)



MATCHLINE  
SEE SHEET 14

MATCHLINE  
SEE SHEET 15

**BUILDING A  
35DU  
CONDOMINIUM FLATS  
12480 SF**  
FF=370.30

**BUILDING A  
35DU  
CONDOMINIUM FLATS  
12480 SF**  
FF=370.60

**BLDG E**  
FF=372.92

**BLDG D**  
FF=371.66

**BLDG C**  
FF=373.12

**BLDG L**  
FF=374.66

**BLDG O**  
(OFFICE=5,809 SF/RETAIL=5,284 SF)  
OR  
FAST FOOD  
RESTAURANT/QUICK-SERVICE  
FOOD STORE  
11,093 GSF TOTAL

PROPERTY OF  
TALL OAKS AT RESTON  
LIMITED PARTNERSHIP  
D.B. 7916 PG. 303  
LOT 88  
SECTION 19, BLOCK 8  
RESTON  
D.B. 3760 PG. 159

PROPERTY OF  
BOW WOW, LLC, A LIMITED LIABILITY  
COMPANY  
D.B. 19210 PG. 200  
PARCEL 8A-2  
SECTION 19, BLOCK 8  
RESTON  
D.B. 11672 PG. 2036

PLAN DATE	DESCRIPTION
09-08-15	
11-23-15	
04-23-16	
05-27-16	
06-08-16	
06-20-16	

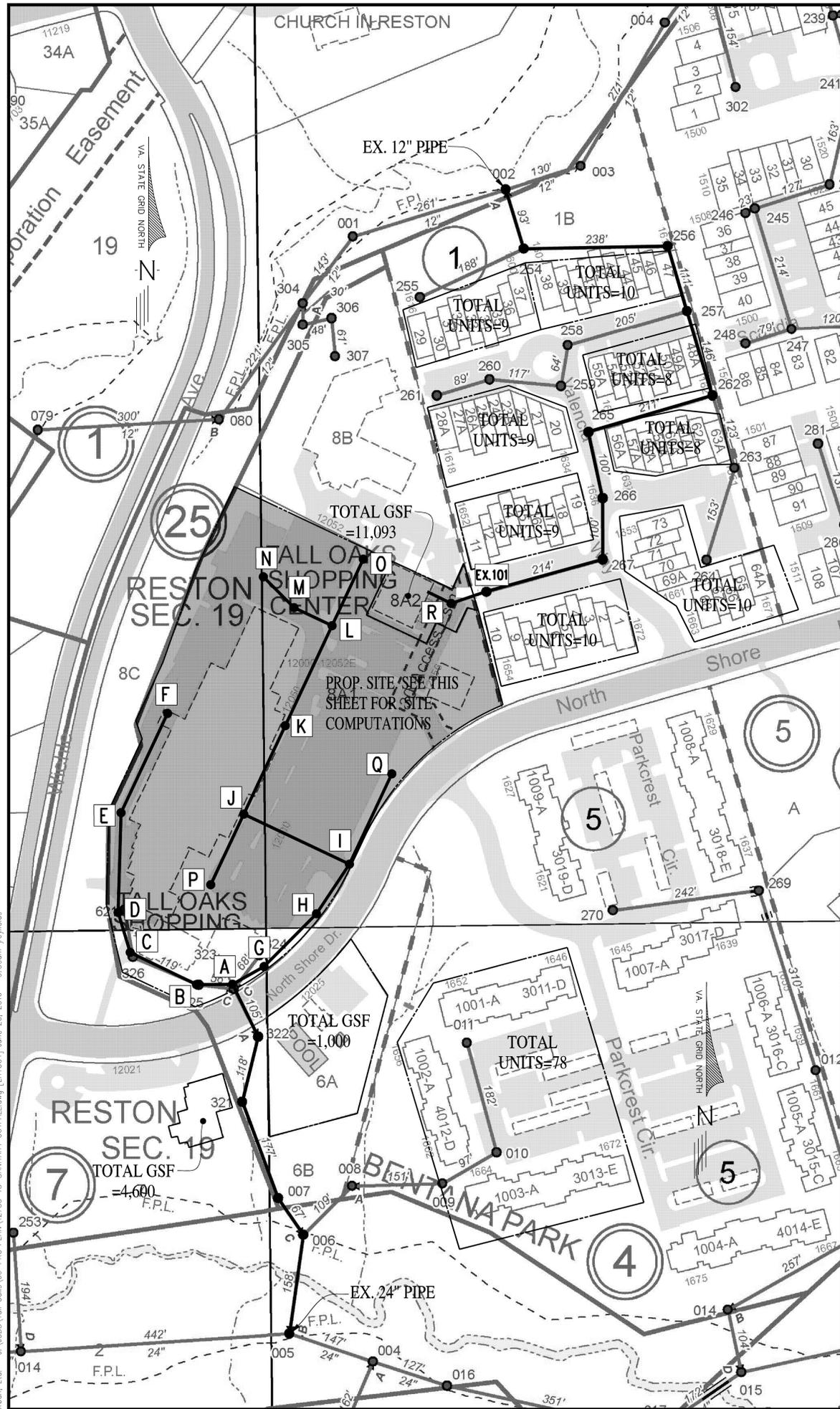
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COMMONWEALTH OF VIRGINIA  
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PRC PLAN-SPECIAL EXCEPTION PLAT  
**TALL OAKS  
PRC/SPEX PLAT**  
HUNTER MILL DISTRICT  
FAIRFAX COUNTY, VIRGINIA

DATE: APRIL, 2016  
SCALE: 1"=20'  
SHEET 16 OF 37  
FILE No. PRC-12785



\*COMPUTATIONS SHOWN FOR OUTFALL PURPOSES ONLY. FINAL SANITARY DESIGN TO BE PROVIDED WITH SITE PLAN.

SANITARY SEWER DESIGN										JOB: TALL OAKS													
DESCRIPTION		FLOW DETERMINATION					SEWER DESIGN					n = 0.013 (MANNING)											
MANHOLE NO.	UNITS	ACRE	PER UNIT	PER ACRE	AVG. FLOW	PEAK FLOW	PEAK FLOW	INDUS. FLOW	TOTAL PEAK FLOW	LENGTH	SLOPE	DIAMETER OF PIPE	FLOWING FULL CAPACITY	VELOCITY	DEPTH	PEAK FLOW VELOCITY	FALL	q/Q	d/D	MANHOLE INVERT	UPPER	LOWER	
FROM	TO	INCR.	INCR.	TOTAL	MGD	MGD	MGD	MGD	MGD	(FEET)	%	(INCHES)	(MGD)	(FPS)	(INCHES)	(FPS)	(FEET)		(FEET)	END	END	END	
F	E	43.00		43.00	300	0.0129	6	0.077	0.000	0.077	179.62	0.50%	8	0.56	2.45	1.11	2.47	0.90	0.14	0.14	0.10	348.71	347.81
E	D	5.00		48.00	300	0.0144	6	0.086	0.000	0.086	163.47	0.50%	8	0.56	2.45	1.24	2.47	0.82	0.16	0.16	0.10	347.71	346.89
D	C	0.00		48.00	300	0.0144	6	0.086	0.000	0.086	64.78	0.50%	8	0.56	2.45	1.24	2.47	0.32	0.16	0.16	0.10	346.79	346.47
C	B	6.00		54.00	300	0.0162	6	0.097	0.000	0.097	126.46	0.50%	8	0.56	2.45	1.40	2.47	0.63	0.17	0.17	0.10	346.37	345.74
B	A	0.00		156.00	300	0.0468	6	0.281	0.000	0.281	59.47	0.50%	8	0.56	2.45	4.03	2.47	0.30	0.50	0.50	0.10	345.64	345.34
N	M	34.00		34.00	300	0.0102	6	0.061	0.000	0.061	71.47	0.50%	8	0.56	2.45	0.88	2.47	0.36	0.11	0.11	0.00	350.81	350.45
M	L	0.00		44.00	300	0.0132	6	0.079	0.000	0.079	69.25	0.50%	8	0.56	2.45	1.14	2.47	0.35	0.14	0.14	0.10	350.35	350.00
L	K	8.00		52.00	300	0.0156	6	0.094	0.000	0.094	180.80	0.50%	8	0.56	2.45	1.34	2.47	0.90	0.17	0.17	0.10	349.90	349.00
K	J	24.00		86.00	300	0.0258	6	0.155	0.000	0.155	160.21	0.50%	8	0.56	2.45	2.22	2.47	0.80	0.28	0.28	0.10	348.90	348.10
J	I	0.00		94.00	300	0.0282	6	0.169	0.000	0.169	192.24	0.50%	8	0.56	2.45	2.43	2.47	0.96	0.30	0.30	0.10	348.00	347.04
I	H	2.00		96.00	300	0.0288	6	0.173	0.000	0.173	97.69	0.50%	8	0.56	2.45	2.48	2.47	0.49	0.31	0.31	0.10	346.94	346.45
H	G	6.00		102.00	300	0.0306	6	0.184	0.000	0.184	122.13	0.50%	8	0.56	2.45	2.64	2.47	0.61	0.33	0.33	0.10	346.35	345.74
G	A	0.00		102.00	300	0.0306	6	0.184	0.000	0.184	59.32	0.50%	8	0.56	2.45	2.64	2.47	0.30	0.33	0.33	0.10	345.64	345.34
O	L	10.00		10.00	300	0.0030	6	0.018	0.000	0.018	125.50	0.50%	8	0.56	2.45	0.26	2.47	0.63	0.03	0.03	0.10	350.63	350.00
P	J	10.00		10.00	300	0.0030	6	0.018	0.000	0.018	127.70	0.50%	8	0.56	2.45	0.26	2.47	0.64	0.03	0.03	0.10	348.74	348.10
Q	I	8.00		8.00	300	0.0024	6	0.014	0.000	0.014	158.42	0.50%	8	0.56	2.45	0.21	2.47	0.79	0.03	0.03	0.10	347.83	347.04
R	EX-101		0.32	0.32		0.0003	6	0.002	0.000	0.002	48.91	0.50%	8	0.56	2.45	0.02	2.47	0.24	0.00	0.00	0.10	375.00	374.76

SANITARY SEWER OUTFALL										JOB: Tall Oaks									
DESCRIPTION		FLOW DETERMINATION					SEWER DESIGN					Baseline							
MANHOLE NO.	FROM	TO	AVG. FLOW	PEAK FLOW	TOTAL PEAK FLOW	LENGTH	SLOPE	DIAMETER OF PIPE	FLOWING FULL CAPACITY	VELOCITY	ACTUAL FLOW	DEPTH	PEAK FLOW VELOCITY	FALL	MANHOLE INV. DROP	UPPER	LOWER	Depth Ratio	
			(MGD)	FACTOR	(MGD)	(FEET)	%	(INCHES)	(MGD)	(FPS)	(MGD)	(INCHES)	(FPS)	(FEET)	(FEET)	END	END	d/D	
	A	322	0.0468	6	0.281	96	0.59%	8	0.61	2.67	0.0468	3.70	2.62	0.57	0.00	345.34	344.77	0.46	
	322	321	0.0468	6	0.281	118	12.89%	8	2.83	12.46	0.0468	0.79	7.96	15.21	0.26	344.51	329.30	0.10	
	321	007	0.0470	6	0.282	177	7.71%	8	2.19	9.64	0.0470	1.03	6.62	13.64	0.00	329.30	315.66	0.13	
	007	006	0.0470	6	0.282	67	15.07%	8	3.06	13.48	0.0470	0.74	8.45	10.10	0.00	315.66	305.56	0.09	
	006	005	0.0704	6	0.422	158	0.80%	8	0.61	2.69	0.0704	5.53	2.90	0.95	0.00	305.56	304.61	0.69	
	R	EX-101	0.0012	6	0.007	49	0.49%	8	0.55	2.43	0.0012	0.10	0.79	0.24	0.00	375.00	374.76	0.01	
	EX-101	267	0.0018	6	0.011	214	5.03%	8	1.77	7.79	0.0018	0.05	2.03	10.77	0.00	374.76	363.99	0.01	
	267	266	0.0069	6	0.041	118	2.75%	8	1.31	5.75	0.0069	0.25	2.57	3.24	0.00	363.99	360.75	0.03	
	266	265	0.0069	6	0.041	100	3.29%	8	1.43	6.30	0.0069	0.23	2.73	3.29	0.00	360.75	357.46	0.03	
	265	262	0.0069	6	0.041	211	4.36%	8	1.65	7.25	0.0069	0.20	3.03	9.21	0.00	357.46	348.25	0.03	
	262	257	0.0147	6	0.088	146	8.38%	8	2.28	10.05	0.0147	0.31	4.78	12.23	0.00	348.25	336.02	0.04	
	257	256	0.0174	6	0.104	111	10.09%	8	2.50	11.03	0.0174	0.33	5.39	11.20	0.00	336.02	324.82	0.04	
	256	254	0.0174	6	0.104	238	2.53%	8	1.25	5.53	0.0174	0.67	3.36	6.03	0.00	324.82	318.79	0.08	
	254	002	0.0231	6	0.139	93	22.32%	8	3.72	16.40	0.0231	0.30	7.70	20.76	0.00	318.79	298.03	0.04	

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PLAN DATE: 09-08-15, 11-23-15, 04-23-16, 05-27-16, 06-08-16, 06-20-16  
 REVISIONS: [Table with columns for No., DATE, DESCRIPTION]

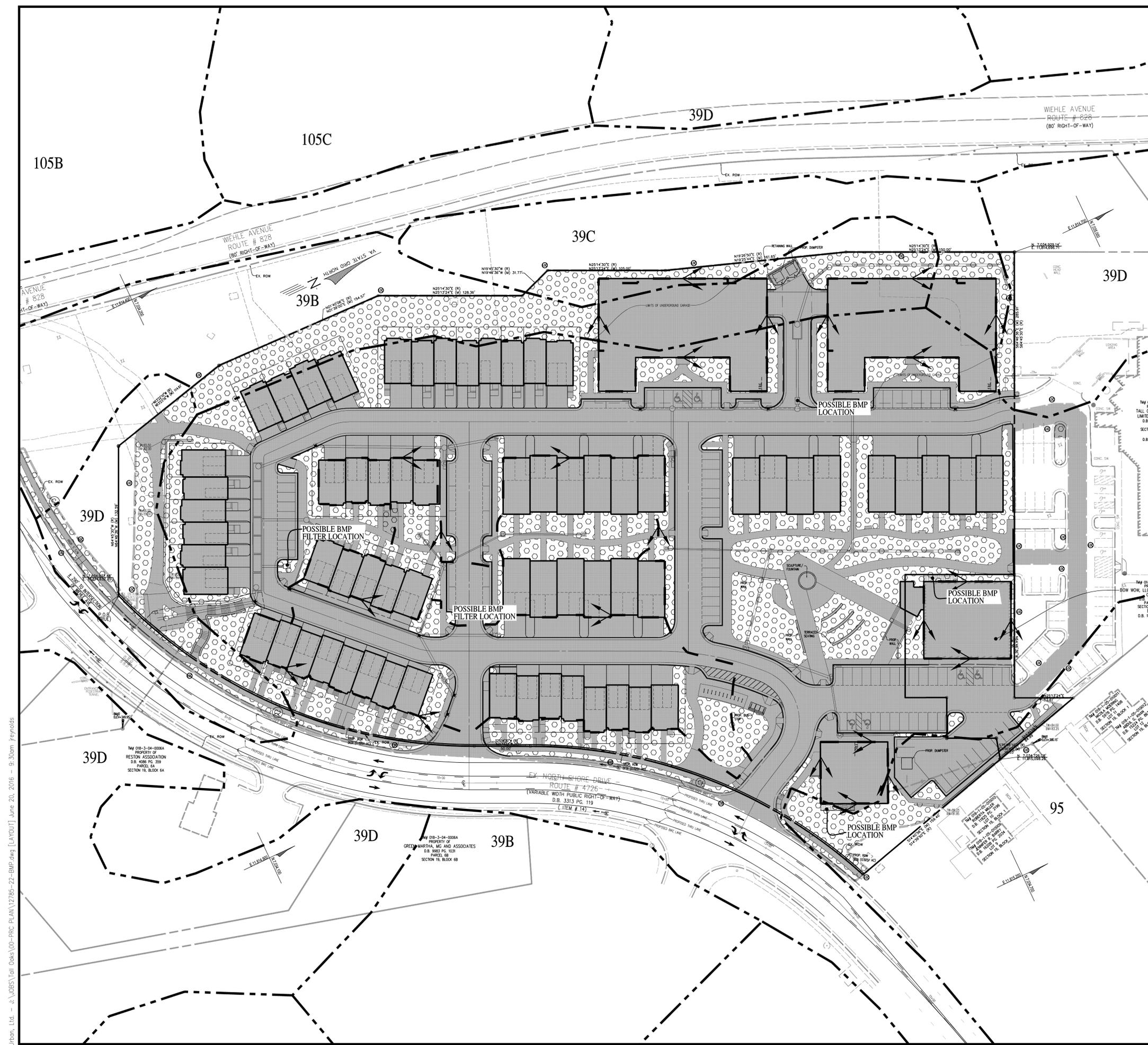
COMMONWEALTH OF VIRGINIA  
 CLAYTON C. TOOK  
 Lic. No. 038790  
 06/20/16  
 PROFESSIONAL ENGINEER

SANITARY OUTFALL ANALYSIS  
 TALL OAKS  
 PRC/SPEX PLAT  
 HUNTER MILL DISTRICT  
 FAIRFAX COUNTY, VIRGINIA

SCALE: 1"=100'  
 DATE: APRIL, 2016  
 CI-1-2

SHEET 17 OF 37  
 FILE No. PRC-12785

Urban, Ltd. - J:\085\Tall Oaks\00-PRC PLAN\12785-22-BMP.dwg [LAYOUT] June 20, 2016 - 9:30am Reynolds



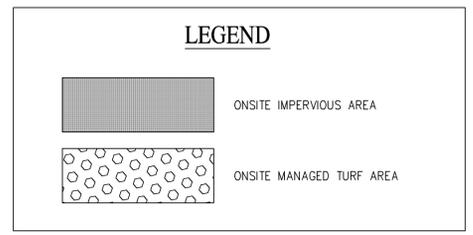
**BMP NARRATIVE**

THE PROPOSED SITE IS LOCATED WITHIN THE DIFFICULT RUN WATERSHED. THE TOTAL SITE DISTURBED AREA IS 7.77 AC. PROPOSED WORK WITH THIS DEVELOPMENT PLAN PERTAINS TO THE DEMOLITION OF AN EXISTING NEIGHBORHOOD CENTER AND EXISTING PARKING LOTS.

AS SHOWN ON SHEET 19, THE REQUIRED REDUCTION FOR THE REDEVELOPMENT OF THE SITE IS 2.41 LB/YR OF PHOSPHORUS. WATER QUALITY CONTROL REQUIREMENTS SHALL BE PROVIDED THROUGH BAY FILTERS OR APPROVED EQUAL. THE SELECTED MANUFACTURED BMP WILL BE SPECIFIED DURING THE FINAL SITE PLAN. THE MANUFACTURED BMP SHALL HAVE A PHOSPHORUS REMOVAL RATE OF 50% IN ORDER TO ACHIEVE COMPLIANCE. LOCATION, TYPE, AND SIZE OF PROPOSED BMP'S SUBJECT TO CHANGE WITH FINAL SITE PLAN.

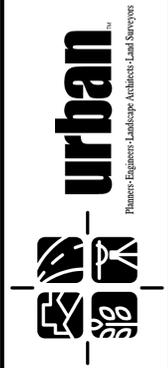
**MAINTENANCE STATEMENT**

THE PROPOSED BMP'S WILL BE PRIVATELY OWNED AND MAINTAINED. A MAINTENANCE PLAN FOR THE FACILITY WILL BE OUTLINED UPON THE FINAL DESIGN PHASE.



PLN DATE	DESCRIPTION
09-08-15	
11-11-15	
04-23-16	
05-27-16	
06-08-16	
06-20-16	

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BMP LAND USE ANALYSIS  
TALL OAKS  
PRC/SPEX PLAT  
HUNTER MILL DISTRICT  
FAIRFAX COUNTY, VIRGINIA

DATE: APRIL, 2016  
CL-2

SCALE: 1"=40'  
SHEET 18 OF 37  
FILE No. PRC-12785

Site Data

Project Name: TALL OAKS  
Date: 06-01-16

data input cells  
calculation cells  
constant values

Post-ReDevelopment Project & Land Cover Information

Total Disturbed Acreage 7.77

Constants

Annual Rainfall (inches)	43
Target Rainfall Event (inches)	1.00
Phosphorus EMC (mg/L)	0.28
Target Phosphorus Target Load (lb/acre/yr)	0.41
Pj	0.90
Nitrogen EMC (mg/L)	1.86

Pre-ReDevelopment Land Cover (acres)

	A Soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) - undisturbed, protected forest/open space or reforested land	0.00	0.00	0.00	0.00	0.00
Managed Turf (acres) - disturbed, graded for yards or other turf to be mowed/managed	0.00	0.59	0.00	0.94	1.53
Impervious Cover (acres)	0.00	0.63	0.00	5.61	6.24
<b>Total</b>					<b>7.77</b>

Post-ReDevelopment Land Cover (acres)

	A Soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) - undisturbed, protected forest/open space or reforested land	0.00	0.00	0.00	0.00	0.00
Managed Turf (acres) - disturbed, graded for yards or other turf to be mowed/managed	0.00	0.67	0.00	1.14	1.81
Impervious Cover (acres)	0.00	0.55	0.00	5.41	5.96
<b>Total</b>					<b>7.77</b>

Area Check

Okay Okay Okay Okay

Rv Coefficients

	A Soils	B Soils	C Soils	D Soils
Forest/Open Space	0.02	0.03	0.04	0.05
Managed Turf	0.15	0.20	0.22	0.25
Impervious Cover	0.95	0.95	0.95	0.95

Land Cover Summary

	Listed	Adjusted <sup>1</sup>
Forest/Open Space Cover (acres)	0.00	0.00
Composite Rv(forest)	0.00	0.00
% Forest	0%	0%
Managed Turf Cover (acres)	1.53	1.53
Composite Rv(turf)	0.23	0.23
% Managed Turf	20%	20%
Impervious Cover (acres)	6.24	6.24
Rv(impervious)	0.95	0.95
% Impervious	80%	80%
<b>Total Site Area (acres)</b>	<b>7.77</b>	<b>7.77</b>
<b>Site Rv</b>	<b>0.81</b>	<b>0.81</b>
Pre-Development Treatment Volume (acre-ft)	0.5234	0.5234
Pre-Development Treatment Volume (cubic feet)	22,800	22,800
Pre-Development Load (TP) (lb/yr)	14.33	14.33

Land Cover Summary

	Post-ReDevelopment
Forest/Open Space Cover (acres)	0.00
Composite Rv(forest)	0.00
% Forest	0%
Managed Turf Cover (acres)	1.81
Composite Rv(turf)	0.23
% Managed Turf	23%
ReDev Impervious Cover (acres)	5.96
Rv(impervious)	0.95
% Impervious	77%
<b>Total ReDev. Site Area (acres)</b>	<b>7.77</b>
<b>ReDev. Site Rv</b>	<b>0.78</b>
Post-ReDevelopment Treatment Volume (acre-ft)	0.5068
Post-ReDevelopment Treatment Volume (cubic feet)	22,074
Post-ReDevelopment Load (TP) (lb/yr)	13.87

Land Cover Summary

	Post-ReDevelopment New Impervious
New Impervious Cover (acres)	0.00
Rv(impervious)	0.95
% Impervious	Check Area
<b>Total New Dev. Site Area (acres)</b>	<b>0.00</b>
<b>New Dev. Site Rv</b>	<b>0.95</b>
Post-Development Treatment Volume (acre-ft)	0.0000
Post-Development Treatment Volume (cubic feet)	0
Post-Development Load (TP) (lb/yr)	0.00

<sup>1</sup>Adjusted Land Cover Summary reflects the pre development land cover minus the pervious land cover (forest/open space or managed turf) acreage proposed for new impervious cover. The adjusted total acreage is consistent with the Post ReDevelopment acreage (minus the acreage of new impervious cover). The load reduction requirement for the new impervious cover to meet the new development load limit is computed in Column L.

Maximum % Reduction Required Below Pre-Development Load	20%
TP Load Reduction Required for Redeveloped Area (lb/yr)	2.41
Total Load Reduction Required (lb/yr)	2.41
Pre-Development Load (TN) (lb/yr)	102.48
Post-Development Load (TN) (lb/yr)	99.22

TP Load Reduction Required for New Impervious Area (lb/yr)	0.00
--	------

Drainage Area A

Drainage Area A Land Cover (acres)

	A Soils	B Soils	C Soils	D Soils	Totals	Land Cover Rv
Forest/Open Space (acres) - undisturbed, protected forest/open space or reforested land	0.00	0.00	0.00	0.00	0.00	0.00
Managed Turf (acres) - disturbed, graded for yards or other turf to be mowed/managed	0.00	0.00	0.00	0.23	0.23	0.25
Impervious Cover (acres)	0.00	0.00	0.00	2.22	2.22	0.95
<b>Total</b>					<b>2.45</b>	

Post-Development Treatment Volume (cf) 7864

Apply Runoff Reduction Practices to Reduce Treatment Volume & Post-Development Load in Drainage Area A

Credit	Unit	Description of Credit	Credit	Credit Area (acres)	Volume from Upstream RR Practice (cf)	Runoff Reduction (cf)	Remaining Runoff Volume (cf)	Phosphorus Efficiency (%)	Phosphorus Load from Upstream RR Practices (lbs)	Untreated Phosphorus Load to Practice (lbs.)	Phosphorus Removed By Practice (lbs.)	Remaining Phosphorus Load (lbs.)	Downstream Treatment to be Employed
<b>6. Bioretention</b>													
6.a. Bioretention #1 or Urban Bioretention (Spec #9)	impervious acres draining to bioretention	40% runoff volume reduction	0.40	0.20	0	276	414	25	0.00	0.43	0.24	0.19	
	turf acres draining to bioretention	40% runoff volume reduction	0.40	0.00	0	0	0	25	0.00	0.00	0.00	0.00	
<b>14. Manufactured BMP</b>													
14. BayFilter "Or Approved Equal"	impervious acres draining to device	0% runoff volume reduction	0.00	2.02	0.00	0	6966	50	0.00	4.37	2.19	2.19	
	turf acres draining to device	0% runoff volume reduction	0.00	0.23	0.00	0	793	50	0.00	0.13	0.07	0.07	

TOTAL IMPERVIOUS COVER TREATED (ac)	2.22
TOTAL TURF AREA TREATED (ac)	0.23

AREA CHECK OK.

PHOSPHORUS REMOVAL BY PRACTICES THAT DO NOT REDUCE RUNOFF VOLUME IN D.A. A	2.25
TOTAL PHOSPHORUS REMOVAL IN D.A. A (lb/yr)	2.49

SEE WATER QUALITY COMPLIANCE TAB FOR SITE COMPLIANCE CALCULATIONS

NITROGEN REMOVAL BY PRACTICES THAT DO NOT REDUCE RUNOFF VOLUME IN D.A. A	0.00
TOTAL NITROGEN REMOVAL IN D.A. A (lb/yr)	1.98

Nitrogen Efficiency (%)	Nitrogen Load from Upstream RR Practices (lbs)	Untreated Nitrogen Load to Practice (lbs.)	Nitrogen Removed By Practice (lbs.)	Remaining Nitrogen Load (lbs.)
<b>6. Bioretention</b>				
40	0.00	3.10	1.98	1.11
40	0.00	0.00	0.00	0.00
<b>14. Manufactured BMP</b>				
0	0.00	31.27	0.00	31.27
0	0.00	0.94	0.00	0.94

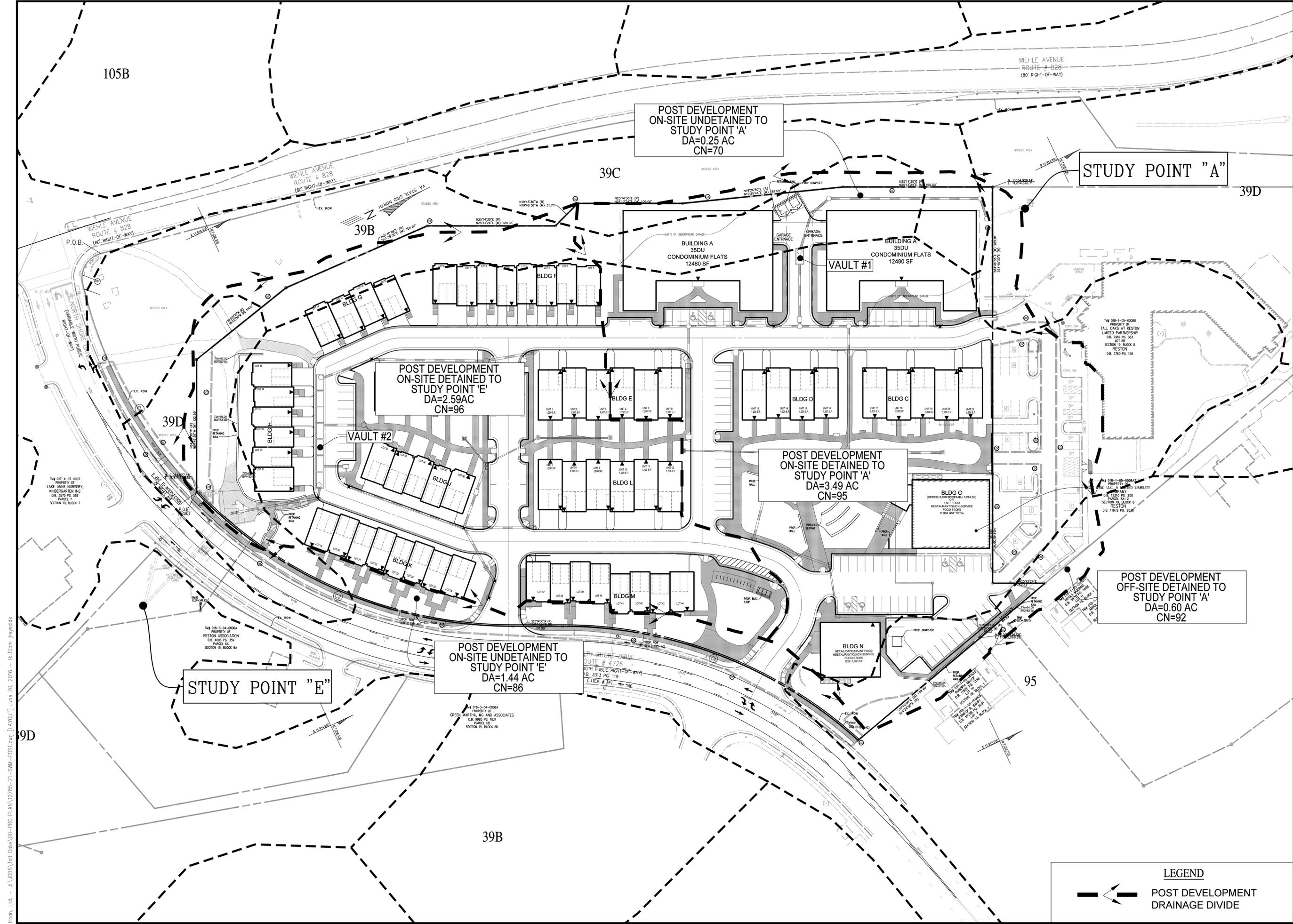
PLAN DATE	No.	DATE	DESCRIPTION	REVISIONS
09-08-15				
11-23-15				
04-23-16				
05-27-16				
06-08-16				
06-20-16				

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BMP COMPUTATIONS  
TALL OAKS  
PRC/SPEX PLAT  
HUNTER MILL DISTRICT  
FAIRFAX COUNTY, VIRGINIA  
DATE: APRIL, 2016  
SCALE: 1"=30'  
SHEET 19 OF 37  
FILE No. PRC-12785





POST DEVELOPMENT  
ON-SITE UNDETAINED TO  
STUDY POINT 'A'  
DA=0.25 AC  
CN=70

STUDY POINT "A"

POST DEVELOPMENT  
ON-SITE DETAINED TO  
STUDY POINT 'E'  
DA=2.59 AC  
CN=96

POST DEVELOPMENT  
ON-SITE DETAINED TO  
STUDY POINT 'A'  
DA=3.49 AC  
CN=95

POST DEVELOPMENT  
OFF-SITE DETAINED TO  
STUDY POINT 'A'  
DA=0.60 AC  
CN=92

POST DEVELOPMENT  
ON-SITE UNDETAINED TO  
STUDY POINT 'E'  
DA=1.44 AC  
CN=86

STUDY POINT "E"

**LEGEND**

POST DEVELOPMENT  
 DRAINAGE DIVIDE

PLAN DATE		09-08-15	DESCRIPTION
PLAN DATE		11-11-15	
PLAN DATE		04-23-16	
PLAN DATE		05-27-16	
PLAN DATE		06-08-16	
PLAN DATE		06-20-16	
No.	DATE		REVISIONS
Urban, Ltd. 4300 D TECHNOLOGY CT. CHANTILLY, VA 20151 TEL: 703.642.2306 FAX: 703.378.7888 www.urban-llc.com			
PHOTONIC ENGINEERS Landscape Architects-LEED Accredited			
POST DEVELOPMENT DIVIDES <b>TALL OAKS</b> <b>PRC/SPEX PLAT</b> HUNTER MILL DISTRICT FAIRFAX COUNTY, VIRGINIA			
SHEET		21	
OF		37	
FILE No.		PRC-12785	
SCALE: 1"=40'		DATE: APRIL, 2016	
CI-1-2			

Urban, Ltd. - J:\095\Tall Oaks\00-PRC PLAN\12785-21-SIM-POST.dwg [LAYOUT] June 20, 2016 - 9:30am Reynolds

J:\\_GBCS\Tall Oaks\00-PRC PLAN\12785-21-SHM-POST.dwg [LAYOUT (2)] June 20, 2016 - 9:30am Reynolds

**DRAINAGE SHED TO STUDY POINT "E"**

**Post Development ONSITE DETAINED Runoff Calculations - Study Point "E"**  
**Curve Number Calculations**

Area (ac)	CN	Description
0.390	84	50-75% Grass cover, Fair, HSG D
2.200	98	Paved parking, HSG D
2.590	96	Weighted Average
0.390		15.06% Pervious Area
2.200		84.94% Impervious Area

**Time of Concentration Calculations**

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

**1 Year Flow Calculations**

Runoff = 6.48 cfs @ 12.15 hrs , Volume= 21,222 cf , Depth= 2.26"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs  
NOAA 24-hr C 1-year Rainfall=2.70"

**2 Year Flow Calculations**

Runoff = 7.80 cfs @ 12.15 hrs , Volume= 25,847 cf , Depth= 2.75"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs  
NOAA 24-hr C 2-year Rainfall=3.20"

**10 Year Flow Calculations**

Runoff = 13.01 cfs @ 12.15 hrs , Volume= 44,483 cf , Depth= 4.73"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs  
NOAA 24-hr C 10-year Rainfall=5.20"

**DRAINAGE SHED TO STUDY POINT "A"**

**Post Development ONSITE DETAINED Runoff Calculations - Study Point "A"**  
**Curve Number Calculations**

Area (ac)	CN	Description
0.010	69	50-75% Grass cover, Fair, HSG B
0.680	84	50-75% Grass cover, Fair, HSG D
0.390	98	Paved parking, HSG B
2.410	98	Paved parking, HSG D
3.490	95	Weighted Average
0.690		19.77% Pervious Area
2.800		80.23% Impervious Area

**Time of Concentration Calculations**

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

**1 Year Flow Calculations**

Runoff = 9.52 cfs @ 12.12 hrs , Volume= 27,094 cf , Depth= 2.16"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-40.00 hrs, dt= 0.02 hrs  
NOAA 24-hr C 1-year Rainfall=2.70"

**2 Year Flow Calculations**

Runoff = 11.51 cfs @ 12.12 hrs , Volume= 33,220 cf , Depth= 2.64"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-40.00 hrs, dt= 0.02 hrs  
NOAA 24-hr C 2-year Rainfall=3.20"

**10 Year Flow Calculations**

Runoff = 19.40 cfs @ 12.12 hrs , Volume= 57,997 cf , Depth= 4.62"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-40.00 hrs, dt= 0.02 hrs  
NOAA 24-hr C 10-year Rainfall=5.20"

**Post Development ONSITE UNDETAINED Runoff Calculations - Study Point "E"**  
**Curve Number Calculations**

Area (ac)	CN	Description
0.460	69	50-75% Grass cover, Fair, HSG B
0.270	84	50-75% Grass cover, Fair, HSG D
0.150	98	Paved parking, HSG B
0.590	98	Paved parking, HSG D
1.440	86	Weighted Average
0.730		50.69% Pervious Area
0.710		49.31% Impervious Area

**Time of Concentration Calculations**

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

**1 Year Flow Calculations**

Runoff = 2.43 cfs @ 12.15 hrs , Volume= 7,363 cf , Depth= 1.41"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs  
NOAA 24-hr C 1-year Rainfall=2.70"

**2 Year Flow Calculations**

Runoff = 3.16 cfs @ 12.15 hrs , Volume= 9,593 cf , Depth= 1.84"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs  
NOAA 24-hr C 2-year Rainfall=3.20"

**10 Year Flow Calculations**

Runoff = 6.14 cfs @ 12.15 hrs , Volume= 19,101 cf , Depth= 3.65"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs  
NOAA 24-hr C 10-year Rainfall=5.20"

**Post Development OFFSITE DETAINED Runoff Calculations - Study Point "A"**  
**Curve Number Calculations**

Area (ac)	CN	Description
0.010	69	50-75% Grass cover, Fair, HSG B
0.240	84	50-75% Grass cover, Fair, HSG D
0.020	98	Paved parking, HSG B
0.330	98	Paved parking, HSG D
0.600	92	Weighted Average
0.250		41.67% Pervious Area
0.350		58.33% Impervious Area

**Time of Concentration Calculations**

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

**1 Year Flow Calculations**

Runoff = 1.49 cfs @ 12.12 hrs , Volume= 4,093 cf , Depth= 1.88"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-40.00 hrs, dt= 0.02 hrs  
NOAA 24-hr C 1-year Rainfall=2.70"

**2 Year Flow Calculations**

Runoff = 1.85 cfs @ 12.12 hrs , Volume= 5,120 cf , Depth= 2.35"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-40.00 hrs, dt= 0.02 hrs  
NOAA 24-hr C 2-year Rainfall=3.20"

**10 Year Flow Calculations**

Runoff = 3.24 cfs @ 12.12 hrs , Volume= 9,332 cf , Depth= 4.28"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-40.00 hrs, dt= 0.02 hrs  
NOAA 24-hr C 10-year Rainfall=5.20"

**Post Development ONSITE UNDETAINED Runoff Calculations - Study Point "A"**  
**Curve Number Calculations**

Area (ac)	CN	Description
0.240	69	50-75% Grass cover, Fair, HSG B
0.010	84	50-75% Grass cover, Fair, HSG D
0.250	70	Weighted Average
0.250		100.00% Pervious Area

**Time of Concentration Calculations**

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
5.0					Direct Entry,

**1 Year Flow Calculations**

Runoff = 0.17 cfs @ 12.13 hrs , Volume= 503 cf , Depth= 0.55"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-40.00 hrs, dt= 0.02 hrs  
NOAA 24-hr C 1-year Rainfall=2.70"

**2 Year Flow Calculations**

Runoff = 0.27 cfs @ 12.13 hrs , Volume= 751 cf , Depth= 0.83"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-40.00 hrs, dt= 0.02 hrs  
NOAA 24-hr C 2-year Rainfall=3.20"

**10 Year Flow Calculations**

Runoff = 0.75 cfs @ 12.12 hrs , Volume= 1,984 cf , Depth= 2.19"

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-40.00 hrs, dt= 0.02 hrs  
NOAA 24-hr C 10-year Rainfall=5.20"

PLAN DATE	No.	DATE	DESCRIPTION
09-08-15			
11-23-15			
04-23-16			
05-27-16			
06-08-16			
06-20-16			

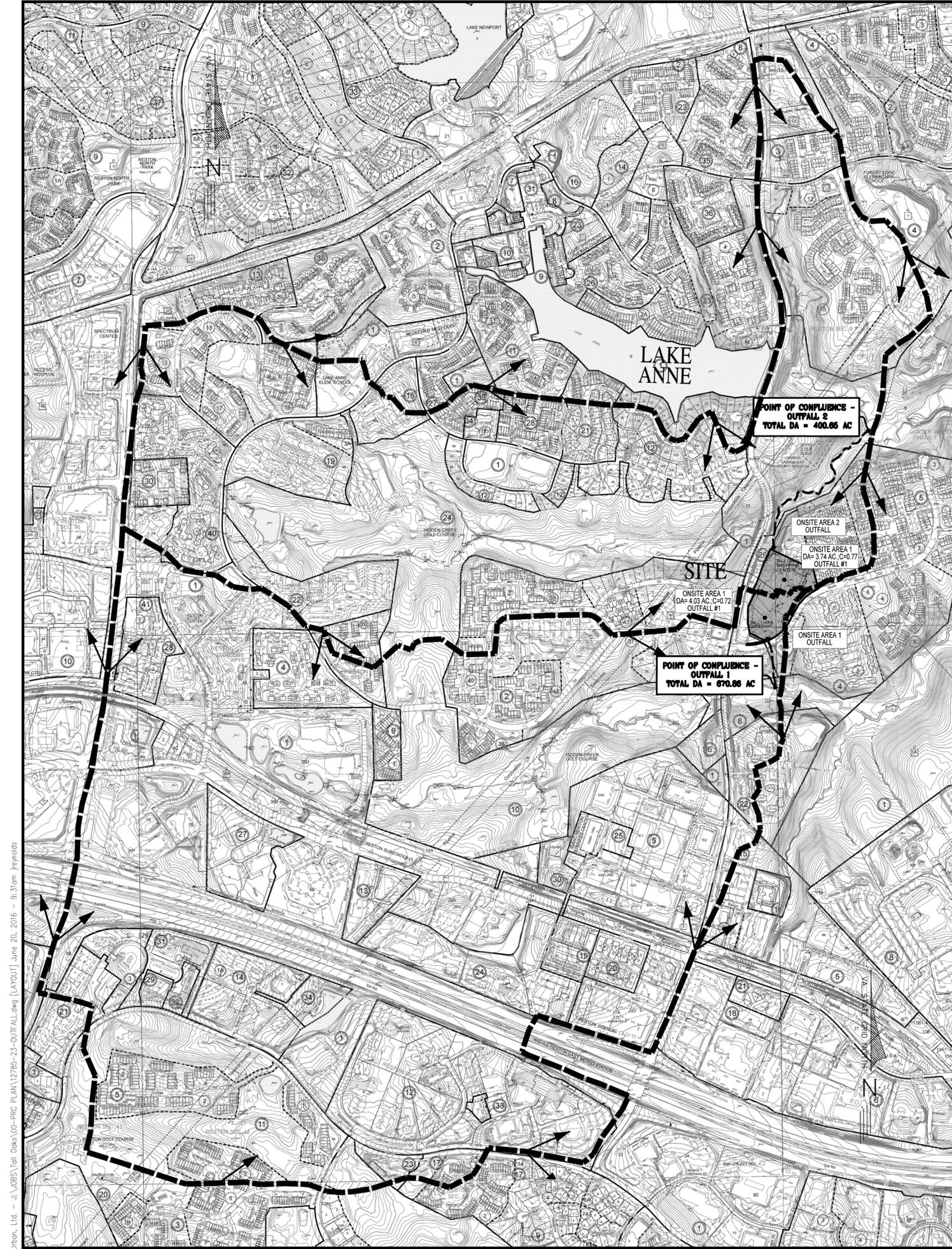
Urban, Ltd.  
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FAX: 703.378.7888  
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POST DEVELOPMENT COMPUTATIONS  
**TALL OAKS**  
**PRC/SPEX PLAT**  
HUNTER MILL DISTRICT  
FAIRFAX COUNTY, VIRGINIA  
SCALE: N/A  
DATE: APRIL, 2016  
CI.= N/A

SHEET  
21A  
OF  
37  
FILE No.  
PRC-12785

Urban, Ltd. - J:\085\Tall Oaks\00-PRC PLAN\12785-23-OUTFALL.dwg [LAYOUT] June 20, 2016 - 9:53am Reynolds



**STORMWATER MANAGEMENT NARRATIVE**

THE SUBJECT SITE IS LOCATED WITHIN THE DIFFICULT RUN WATERSHED. THE TOTAL SITE DISTURBED AREA IS 7.77 AC. A STORM WATER MANAGEMENT (SWM) ANALYSIS COMPARING THE EXISTING 1, 2, AND 10 YEAR RUNOFFS HAS BEEN PERFORMED FOR THE SUBJECT SITE.

THE EXISTING IMPERVIOUS AREA IS 5.83 ACRES. THE PROPOSED REDEVELOPMENT OF THE SUBJECT SITES DECREASES THE TOTAL IMPERVIOUSNESS OF THE SITE CONSIDERABLY TO 4.89 ACRES. WATER QUALITY COMPLIANCE SHALL BE MET USING THE VIRGINIA RUNOFF REDUCTION METHOD SPREADSHEET TO MEET THE 20% PRIOR DEVELOPMENT REDUCTION REQUIREMENT OF PHOSPHOROUS AS REQUIRED BY CHAPTER 124-4-3 OF THE FAIRFAX COUNTY STORMWATER MANAGEMENT ORDINANCE. PLEASE SEE SHEET 19 FOR VRRM COMPUTATIONS.

TWO DOWNSTREAM STUDY POINTS WERE ESTABLISHED, ONE AT EACH SITE OUTFALL TO ENSURE OUTFALL ADEQUACY. SEE THE PRE DEVELOPMENT DIVIDES AND CALCULATIONS AS SHOWN ON SHEET 20, ALONG WITH THE LOCATIONS OF STUDY POINTS "A" AND "E" AND THEIR ASSOCIATED DRAINAGE SHEDS. SEE SHEET 21-21A FOR THE RESPECTIVE POST DEVELOPMENT DIVIDES AND CALCULATIONS.

THE EXISTING RUNOFF FROM THE SITE TO STUDY POINT "A" FOR THE 1-YR, 2-YR, AND 10-YR STORM ARE 11.43 CFS, 13.92 CFS, AND 23.79 CFS RESPECTIVELY. THE EXISTING RUNOFF FROM THE SITE FOR STUDY POINT "E" FOR THE 1-YR, 2-YR, AND 10-YR STORM ARE 7.95 CFS, 9.82 CFS, AND 17.27 CFS RESPECTIVELY.

THE PROPOSED RUNOFF FROM THE SITE TO STUDY POINT "A" FOR THE 1-YR, 2-YR, AND 10-YR STORM ARE 9.69 CFS, 11.48 CFS, AND 20.15 CFS RESPECTIVELY. THE PROPOSED RUNOFF FROM THE SITE FOR STUDY POINT "E" FOR THE 1-YR, 2-YR, AND 10-YR STORM ARE 8.91 CFS, 10.96 CFS, AND 19.15 CFS RESPECTIVELY.

DUE TO THE DECREASE IN IMPERVIOUS AREA, BASED OF PRELIMINARY DESIGN, STORMWATER MANAGEMENT IS ONLY NEEDED TO DETAIN THE RELEASE RATE FOR THE 1-YR STORM EVENT TO STUDY POINT "A" AND STORMWATER MANAGEMENT WILL BE NEEDED TO DETAIN BOTH 1-YR, 2-YR, AND 10-YR EVENT TO STUDY POINT "E" TO MEET COMPLIANCE WITH WATER QUANTITY REQUIREMENTS OF CHAPTER 124-4 OF THE COUNTY CODE. THE APPROXIMATE SIZE OF THE VAULT TO STUDY POINT "A" SHALL HAVE A FOOTPRINT OF 315 SQUARE FEET AND HAVE A STORAGE VOLUME OF 2,730 CUBIC FEET. THE APPROXIMATE SIZE OF THE VAULT TO STUDY POINT "E" SHALL HAVE A FOOTPRINT OF 420 SQUARE FEET AND HAVE A STORAGE VOLUME OF 3,640 CUBIC FEET.

PER FAIRFAX COUNTY STORM WATER MANAGEMENT REQUIREMENTS, THE POST DEVELOPMENT DISCHARGE FROM THE SITE SHALL BE MAINTAINED AT OR BELOW THE PRE DEVELOPMENT LEVEL FOR THE 2-YR AND 10-YR STORM EVENT. AS DETAILED ABOVE, THE POST DEVELOPMENT RUNOFFS ARE BELOW PRECONDITIONS FOR THE 2-YR AND 10-YR EVENT FOR STUDY POINT "A". ONE SWM VAULT WILL BE USED FOR EACH OUTFALL POINT TO REDUCE THE PROPOSED FLOW RATE TO THE ALLOWABLE RELEASE RATE FOR THE 1-YR STORM EVENT TO STUDY POINT "A" AND TO REDUCE THE 1-YR, 2-YR AND 10-YR STORM EVENT TO STUDY POINT "E" IN ACCORDANCE WITH CHAPTER 124-4 OF THE COUNTY STORMWATER ORDINANCE, THEREFORE, NO ADDITIONAL ANALYSIS IS REQUIRED.

**OUTFALL NARRATIVE:**

THIS SITE CAN BE BROKEN DOWN INTO TWO DISTINCT OUTFALLS FOR THE PURPOSE OF THIS ANALYSIS. OUTFALL #1 IS THE SOUTHERN PORTION OF THE SITE. OUTFALL #2 IS THE REMAINDER OF THE SITE WHICH DRAINS TOWARDS THE NORTH. THE PROPOSED DEVELOPMENT WILL REMOVE MUCH OF THE EXISTING ON-SITE STORM UTILITIES IN ORDER TO BUILD PROPOSED INFRASTRUCTURE. HOWEVER, THE OUTFALL LOCATIONS AT THE PERIMETER OF THE SITE WILL BE MAINTAINED TO THE EXTENT POSSIBLE. BOTH OUTFALLS HAVE BEEN ANALYZED BELOW. ALL OUTFALL ANALYSIS SHALL BE MET THE LIMITS OF ANALYSIS AS STATED IN CHAPTER 124-4-4 TO MEET CHANNEL AND FLOOD PROTECTION.

**OUTFALL #1 (SOUTHERN OUTFALL)**

THE PORTION OF THE DEVELOPMENT THAT DRAINS TO THIS OUTFALL IS APPROXIMATELY 4.03 AC. THE EXTENT OF REVIEW HAS BEEN SHOWN ON THE MAP AT THE LEFT, WHICH HAS A DRAINAGE AREA OF APPROXIMATELY TOTAL OF 671 ACRES, WHICH IS MORE THAN 100 TIMES THE CONTRIBUTING SITE AREA TO SHOW CHANNEL PROTECTION AS REQUIRED BY PFM 124-4-4.

IN GENERAL, THIS PORTION OF THE SITE DRAINS FROM NORTHEAST TO SOUTHWEST. THE PROPOSED RUNOFF FROM THE SITE WILL BE COLLECTED BY A STORM SEWER SYSTEM WITH DROP INLETS THAT WILL BE ADEQUATELY SIZED TO INTERCEPT THE 10 YEAR STORM FLOW DURING THE FINAL SITE PLAN PHASE. IT WILL BE ROUTED VIA A SEPARATE CLOSED CONDUIT SYSTEMS THAT INCLUDES AN EXISTING 15" RCP PIPE TOWARDS NORTH SHORE DRIVE.

THE RUNOFF IS THEN DAY LIGHTED INTO AN EXISTING GRASS LINED CHANNEL. THIS CHANNEL IS IN FAIRLY GOOD CONDITION UPON VISUAL INSPECTION. CROSS-SECTIONS SHALL BE PROVIDED DURING THE SITE PLAN PHASE AS REQUIRED PER 124-4-4B.3 OF THE COUNTY ORDINANCE. ADDITIONALLY, THE EXISTING CONVEYANCE SYSTEM SHALL BE ANALYZED TO SHOW THAT THERE IS NO LOCALIZED FLOODING DURING THE 10-YR 24HR STORM EVENT.

**OUTFALL #2 (NORTHERN OUTFALL)**

THE PORTION OF THE DEVELOPMENT THAT DRAINS TO THIS OUTFALL IS APPROXIMATELY 3.74 AC. THE EXTENT OF REVIEW IS SHOWN ON THE MAP ON THIS SHEET, WHICH HAS A DRAINAGE AREA OF APPROXIMATELY 401 ACRES, WHICH IS MORE THAN 100 TIMES THE CONTRIBUTING SITE AREA TO SHOW CHANNEL PROTECTION AS REQUIRED BY PFM 124-4-4.

IN GENERAL, THIS PORTION OF THE SITE DRAINS FROM SOUTHWEST TO NORTHEAST. THE PROPOSED RUNOFF FROM THE SITE WILL BE COLLECTED BY A STORM SEWER SYSTEM WITH DROP INLETS THAT WILL BE ADEQUATELY SIZED TO INTERCEPT THE 10 YEAR STORM FLOW DURING THE FINAL SITE PLAN PHASE. IT WILL BE ROUTED VIA AN EXISTING GRASS-LINED CHANNEL. THIS CHANNEL IS IN FAIRLY GOOD CONDITION UPON VISUAL INSPECTION.

THE RUNOFF IS THEN DAY LIGHTED INTO AN EXISTING GRASS LINED CHANNEL. THIS CHANNEL IS IN FAIRLY GOOD CONDITION UPON VISUAL INSPECTION. CROSS-SECTIONS SHALL BE PROVIDED DURING THE SITE PLAN PHASE AS REQUIRED PER 124-4-4B.3 OF THE COUNTY ORDINANCE. ADDITIONALLY, THE EXISTING CONVEYANCE SYSTEM SHALL BE ANALYZED TO SHOW THAT THERE IS NO LOCALIZED FLOODING DURING THE 10-YR 24HR STORM EVENT.

**CONCLUSION**

DUE TO THE POST DEVELOPMENT FLOW BEING REDUCED FROM THE PRE DEVELOPMENT FLOW, ULTIMATELY REDUCING THE 2-YR AND 10-YR CONCENTRATED RUNOFF LEAVING THE SITE FOR OUTFALL #1 AND OUTFALL #2, ADEQUATE OUTFALL EXISTS FOR THE SITE. A FULL ANALYSIS OF THE RECEIVING PIPES AND CHANNELS WILL BE INCLUDED WITH THE FINAL SITE PLAN SUBMISSION DETAILING CHANNEL CROSS SECTIONS FROM THE OUTFALL POINT TO THE EXTENTS OF REVIEW TO ENSURE THAT THE FLOOD AND CHANNEL REQUIREMENTS OF THE PFM ARE MET.

ANY ADDITIONAL ONSITE UNDETAINED RUNOFF LEAVING THE SITE IS PROPOSED TO DO SO IN THE FORM OF SHEET FLOW. IN ACCORDANCE WITH PFM 6-202.6 THE PEAK RATE OF SHEET FLOW AFTER DEVELOPMENT IS NOT EXCEEDING THE PEAK RATE PRIOR TO DEVELOPMENT AND IS THEREFORE ADEQUATE.

IT IS THEREFORE THE OPINION OF URBAN LTD. THAT AN ADEQUATE OUTFALL EXISTS FOR THE SITE AND THAT NO DOWNSTREAM STRUCTURES OR ROADWAYS SHALL BE ADVERSELY IMPACTED BY THE PROPOSED DEVELOPMENT.

*Clayton Tock* 06/20/16  
 URBAN LTD. DATE  
 CLAYTON C. TOCK, P.E., ASSOCIATE

**STUDY POINT A**

FLOW SUMMARY	RETURN EVENT	PRE-DEVELOPMENT			POST-DEVELOPMENT SUMMARY			Q ALLOW*
		Q PEAK hrs	Q PEAK cfs	Rv cu.ft.	Q PEAK hrs	Q PEAK cfs	Rv cu.ft.	
NODE ID	1	12.11	11.43	33,291	12.13	0.17	503	
	2	12.11	13.92	41,092	12.13	0.27	751	
	10	12.11	23.79	72,778	12.12	0.75	1,984	
ONSITE UNDETAINED	1				12.12	9.52	27,094	
	2				12.12	11.51	33,220	
	10				12.12	19.40	57,997	
ONSITE DETAINED	1				12.12	1.49	4,093	
	2				12.12	1.85	5,120	
	10				12.12	3.24	9,332	
OFFSITE DETAINED	1				12.12	1.49	4,093	
	2				12.12	1.85	5,120	
	10				12.12	3.24	9,332	
STUDY POINT A	1	12.11	12.92	33,291	12.13	11.00	31,925	11.03
STUDY POINT A	2	12.11	15.77	41,092	12.12	13.53	39,379	15.76
STUDY POINT A	10	12.11	27.03	72,778	12.12	23.57	69,816	27.02

**MINIMUM STORMWATER INFORMATION FOR REZONING, SPECIAL EXCEPTION, SPECIAL PERMIT AND DEVELOPMENT PLAN APPLICATIONS**

The following information is required to be shown or provided in all zoning applications, or a waiver request of the submission requirement with justification shall be attached. Note: Waivers will be acted upon separately. Failure to adequately address the required submission information may result in a delay in processing this application.

This information is required under the following Zoning Ordinance Sections:

Special Permits (Sect. 9-011 21 & 22) Special Exceptions (Sect. 9-011 21 & 22)  
 Cluster Subdivision (Sect. 9-615 1G & 1N) Commercial Reutilization Districts (Sect. 9-622 2A(12) & (14))  
 Development Plans PRC District (Sect. 16-302 3 & 4) PRC Plan (Sect. 16-303 1E & 1 O)  
 FDP P Districts (Sect. 16-502 1A (6) & (17)) Amendments (Sect. 18-202 10F & 10J)

- 1. Plat is at a minimum scale of 1"=50' (Unless it is depicted on one sheet with a minimum scale of 1"=100')
- 2. A graphic depicting the stormwater management facility(ies) and limits of clearing and grading accommodate the stormwater management facility(ies), storm drainage pipe systems and outlet protection, pond spillways, access roads, site outfalls, energy dissipation devices, and stream stabilization measures as shown on Sheet(s) 13-16.  
 If infiltration is proposed the soils should be tested for suitability prior to submission of the development plan and results of the infiltration test provided as part of the description of the facility.
- 3. Provide:
 

Facility Name/Type & No. (S.1 Review, PRC Plan)	On-site area served (acres)	Off-site area served (acres)	Drainage area (acres)	Footprint area (sf)	Storage volume (cf)	If pond, dam height (ft)
<i>SWM 1 (VAULT)</i>	<i>3.99</i>	<i>0.00</i>	<i>4.00</i>	<i>140</i>	<i>910</i>	<i>NA</i>
<i>SWM 2 (VAULT)</i>	<i>2.59</i>	<i>0.00</i>	<i>2.59</i>	<i>420</i>	<i>6,370</i>	<i>NA</i>
<b>Totals:</b>						

**STUDY POINT E**

FLOW SUMMARY	RETURN EVENT	PRE-DEVELOPMENT			POST-DEVELOPMENT SUMMARY			Q ALLOW*
		Q PEAK hrs	Q PEAK cfs	Rv cu.ft.	Q PEAK hrs	Q PEAK cfs	Rv cu.ft.	
NODE ID	1	12.11	7.95	22,647	12.15	2.43	7,363	
	2	12.11	9.82	28,329	12.15	3.16	9,593	
	10	12.11	17.27	51,638	12.15	6.14	19,101	
ONSITE UNDETAINED	1				12.15	6.48	21,222	
	2				12.15	7.80	25,847	
	10				12.15	13.01	44,483	
ONSITE DETAINED	1				12.15	6.48	21,222	
	2				12.15	7.80	25,847	
	10				12.15	13.01	44,483	
STUDY POINT E	1	12.11	7.95	22,647	12.25	4.72	28,588	5.04
STUDY POINT E	2	12.11	9.82	28,329	12.21	8.82	35,454	9.81
STUDY POINT E	10	12.11	17.27	51,638	12.17	16.83	63,587	17.26

- 4. Onsite drainage channels, outfalls and pipe systems are shown on Sheet(s) THIS SHEET. Pond inlet and outlet pipe systems are shown on Sheet(s) NA.
- 5. Maintenance access (road) to stormwater management facility(ies) are shown on Sheet(s) NA. Type of maintenance access road surface noted on the plat is NA (asphalt, geoblock, gravel, etc.).
- 6. Landscaping and tree preservation in and near the stormwater management facility is shown on Sheet(s) 27-28.
- 7. Stormwater management and BMP narratives including Virginia Runoff Reduction Spreadsheet and descriptions of how operation and best management practices requirements will be met are provided on Sheet(s) THIS SHEET.
- 8. A description of existing conditions of each numbered site outfall including downstream from the site to a point which is at least 100 times the site area or which has a drainage area of at least one square mile (640 acres) is provided on Sheet(s) 28-22. If the outfall is proposed to be improved off-site it should be specifically noted.
- 9. A detailed description and analysis of how the channel protection requirements and flood protection requirements of each numbered outfall will be satisfied per Stormwater Management Ordinance and Public Facilities Manual are provided on Sheet(s) 28-22.
- 10. Existing topography with maximum contour intervals of two (2) feet and a note as to whether it is an air survey or field run is provided on Sheet(s) 05-08.
- 11. A submission waiver is required for NA.
- 12. Stormwater management is not required because NA.

Revised: 8/4/2015

PLAN DATE	DESCRIPTION	REVISIONS
09-08-15		
11-23-15		
04-23-16		
05-27-16		
06-08-16		
06-20-16		

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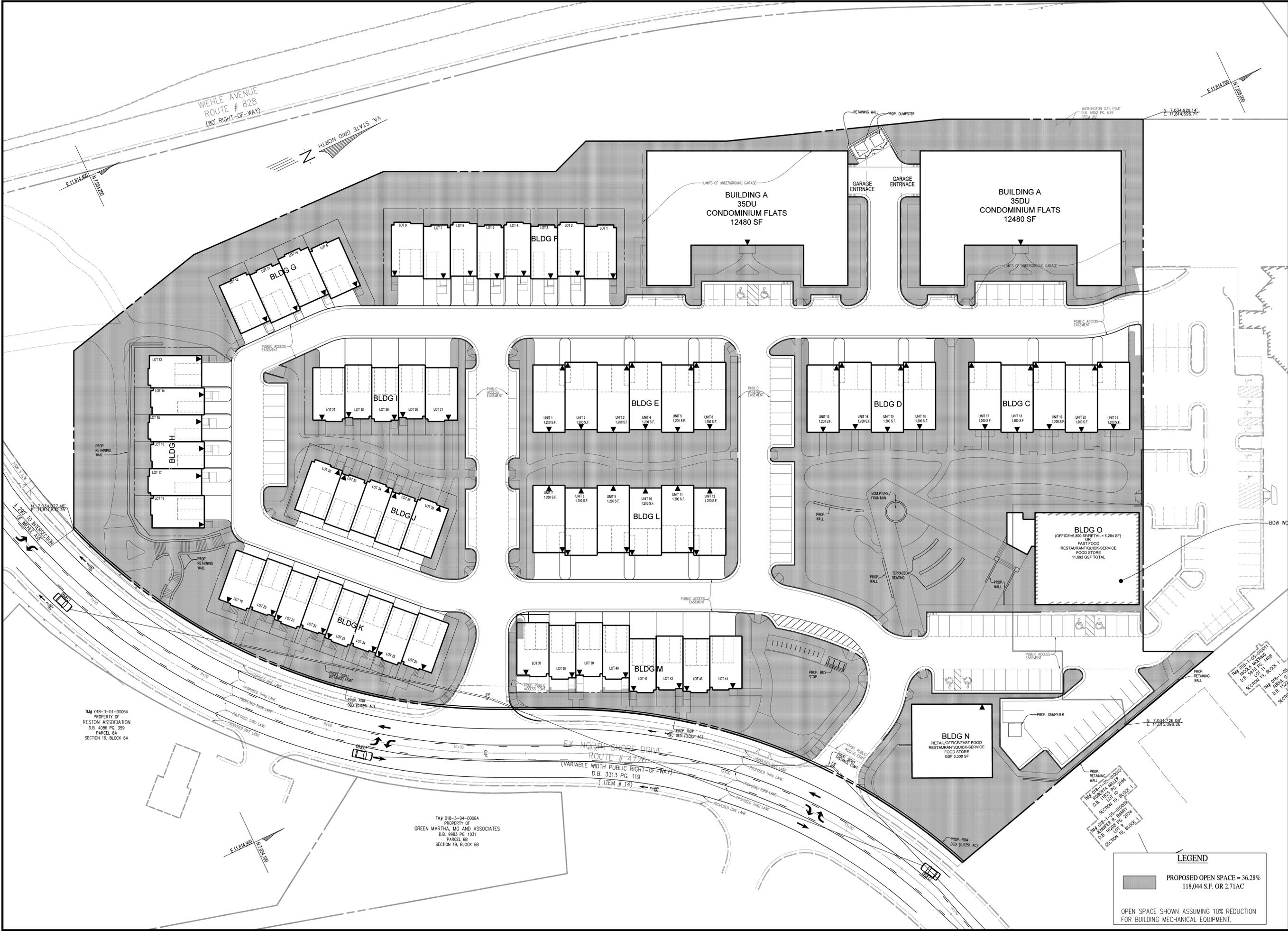
**urban**  
 Planners - Engineers - Landscape Architects - Land Surveyors

COMMONWEALTH OF VIRGINIA  
 CLAYTON C. TOCK  
 Lic. No. 038790  
 06/20/16  
 PROFESSIONAL ENGINEER

OUTFALL ANALYSIS  
**TALL OAKS**  
**PRC/SPEX PLAT**  
 HUNTER MILL DISTRICT  
 FAIRFAX COUNTY, VIRGINIA

SCALE: 1"=500'  
 DATE: APRIL, 2016  
 SHEET 22 OF 37  
 FILE No. PRC-12785

Urban, Ltd. - J:\085\Tall Oaks\00-PRC PLAN\12785-39-OPEN SPACE.dwg [LAYOUT] June 20, 2016 - 9:31am jrey@urban.com



**LEGEND**  
 ■ PROPOSED OPEN SPACE = 36.28%  
 118,044 S.F. OR 2.71AC  
 OPEN SPACE SHOWN ASSUMING 10% REDUCTION FOR BUILDING MECHANICAL EQUIPMENT.

PLAN DATE	DESCRIPTION
09-08-15	
11-11-15	
04-23-16	
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06-08-16	
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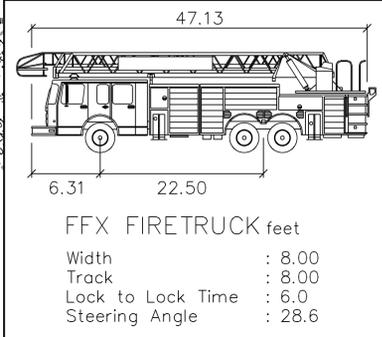
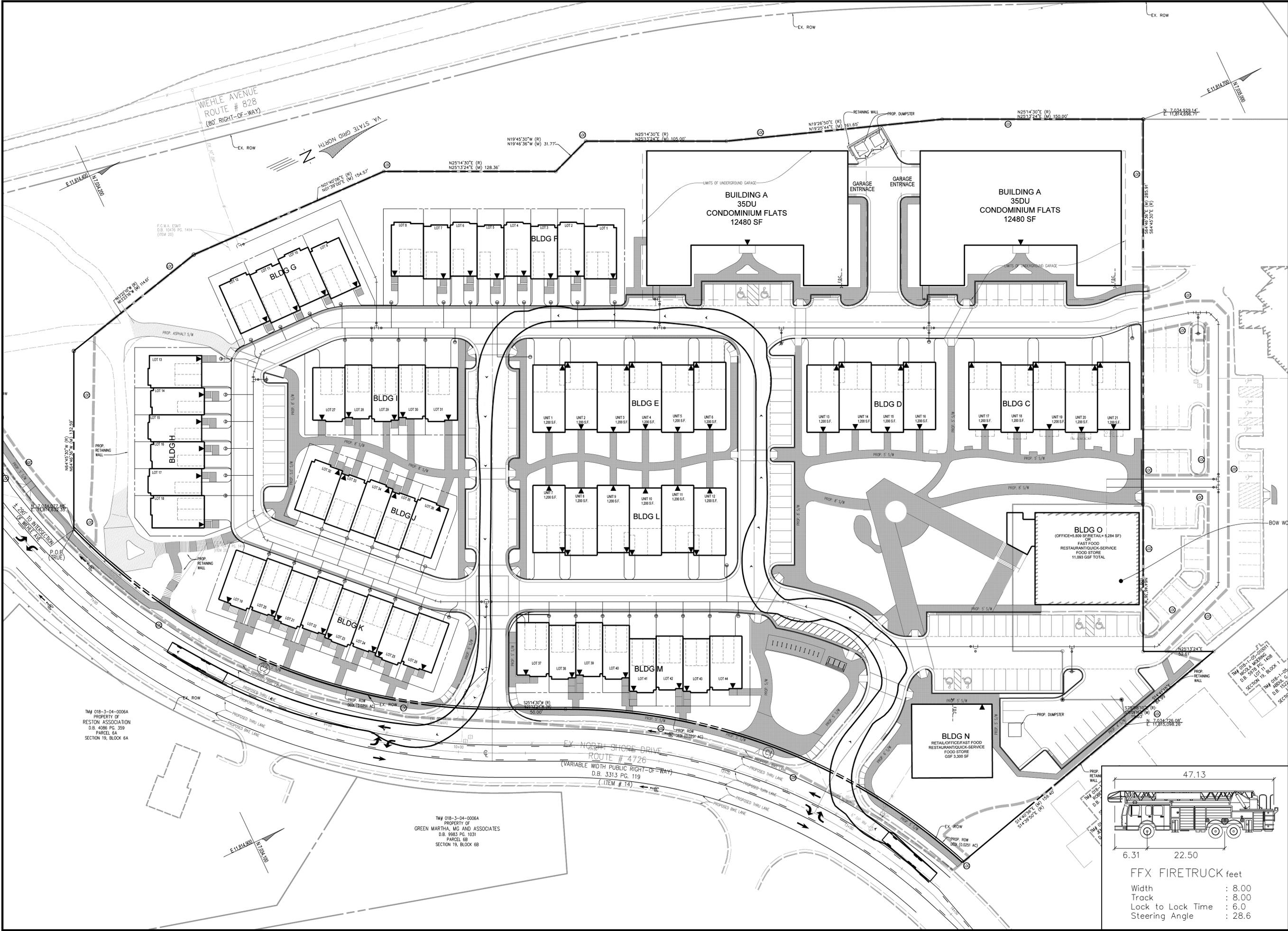
OPEN SPACE EXHIBIT  
**TALL OAKS**  
**PRC/SPEX PLAT**  
 HUNTER MILL DISTRICT  
 FAIRFAX COUNTY, VIRGINIA

DATE: APRIL, 2016  
 SCALE: 1" = 30'  
 CI-1=N/A

SHEET  
 23  
 OF  
 37

FILE No.  
 PRC-12785

Urban, Ltd. - J:\085\Tall Oaks\00-PRC PLAN\12785-12-AUTOTURN EXHIBIT.dwg [LAYOUT] June 20, 2016 - 9:31am 4poykds



PLAN DATE	DESCRIPTION
09-08-15	
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04-23-16	
05-27-16	
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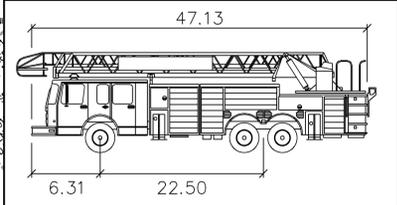
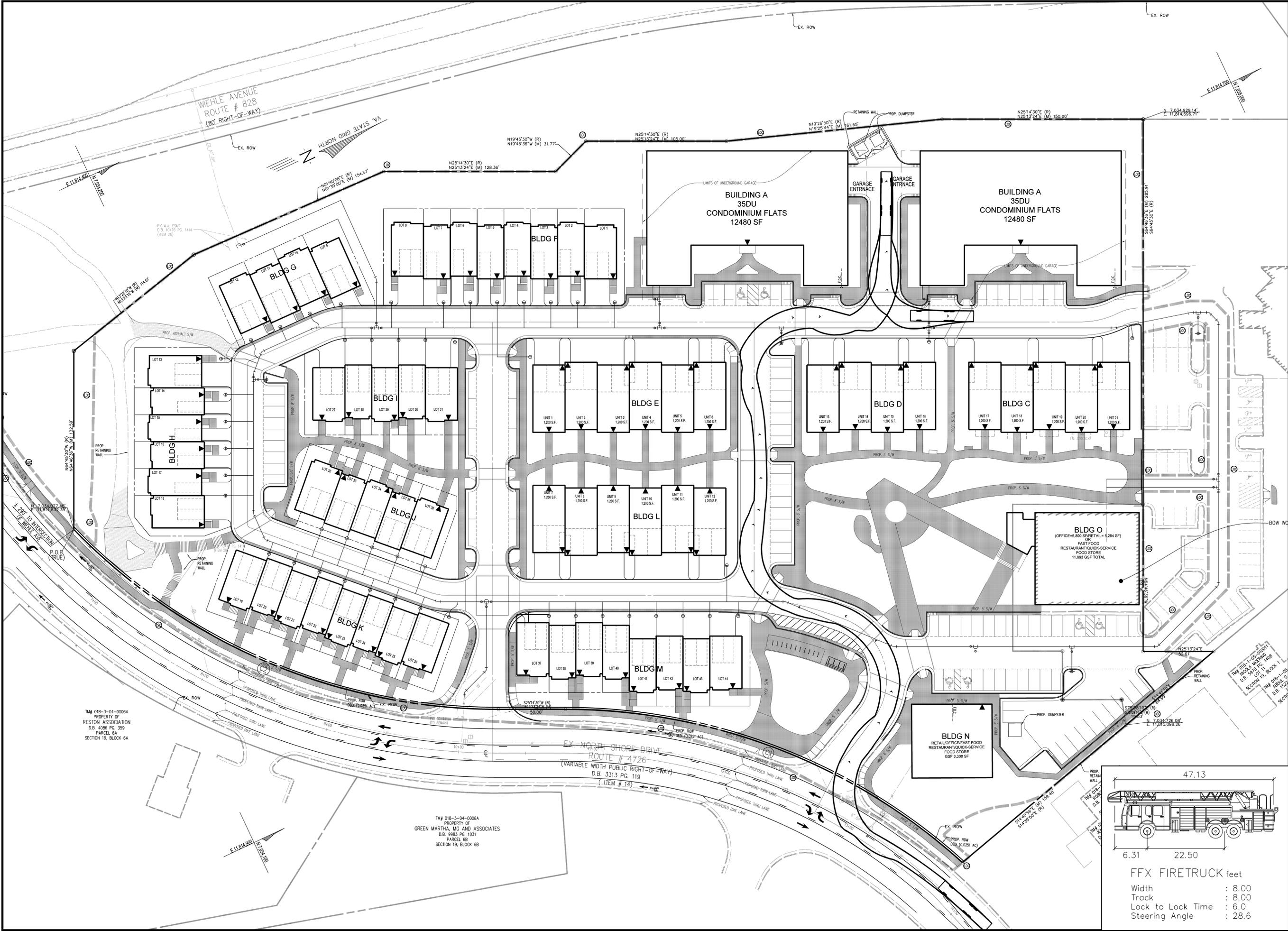
COMMONWEALTH OF VIRGINIA  
CLAYTON C. TOCK  
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PROFESSIONAL ENGINEER  
06/20/16

AUTOTURN EXHIBIT  
**TALL OAKS  
PRC/SPEX PLAT**  
HUNTER MILL DISTRICT  
FAIRFAX COUNTY, VIRGINIA

DATE: APRIL, 2016  
SCALE: 1"=30'  
CI-1=N/A

SHEET	24
OF	37
FILE No.	PRC-12785

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TM# 018-3-04-0006A  
 PROPERTY OF  
 RESTON ASSOCIATION  
 D.B. 4086 PG. 359  
 PARCEL 6A  
 SECTION 19, BLOCK 6A

TM# 018-3-04-0006A  
 PROPERTY OF  
 GREEN MARTHA, MG AND ASSOCIATES  
 D.B. 9983 PG. 1031  
 PARCEL 6B  
 SECTION 19, BLOCK 6B

No.	DATE	DESCRIPTION
09-08-15		
11-11-15		
04-23-16		
05-27-16		
06-08-16		
06-20-16		

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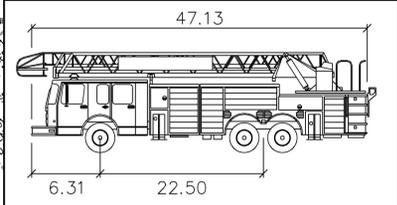
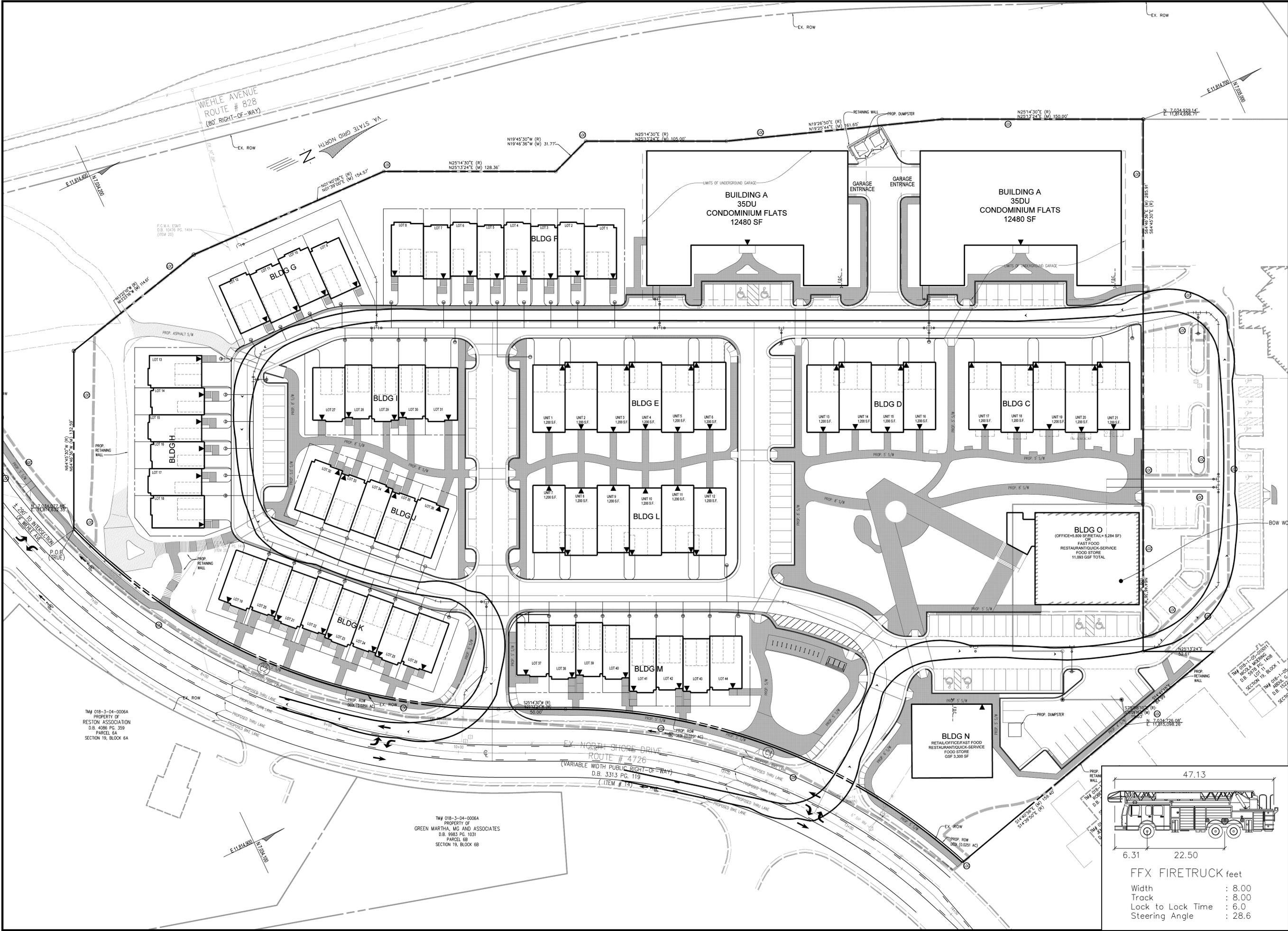


AUTOTURN EXHIBIT  
 TALL OAKS  
 PRC/SPEX PLAT  
 HUNTER MILL DISTRICT  
 FAIRFAX COUNTY, VIRGINIA

DATE: APRIL, 2016  
 CI-1-N/A

SCALE: 1"=30'  
 SHEET 25 OF 37  
 FILE No. PRC-12785

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No.	DATE	DESCRIPTION
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**AUTOTURN EXHIBIT**  
**TALL OAKS**  
**PRC/SPEX PLAT**  
HUNTER MILL DISTRICT  
FAIRFAX COUNTY, VIRGINIA

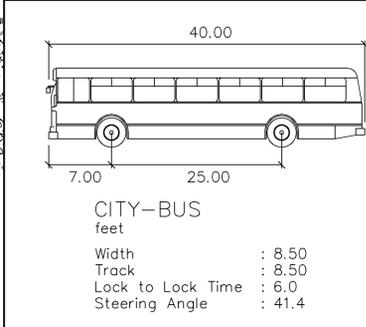
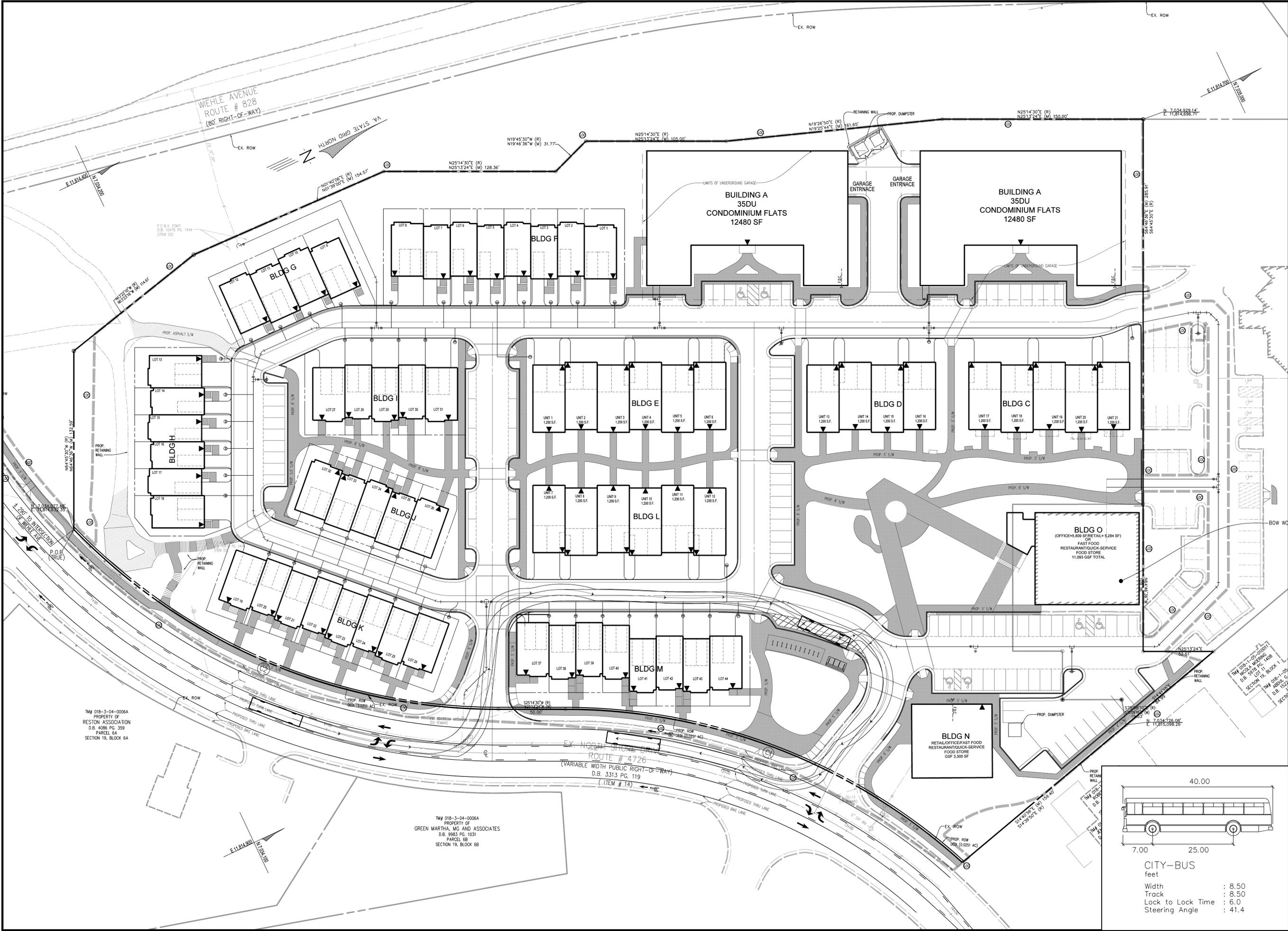
DATE: APRIL, 2016  
CL-1=N/A

SCALE: 1"=30'

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37

FILE No.  
PRC-12785

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PLAN DATE	NO.	DATE	DESCRIPTION
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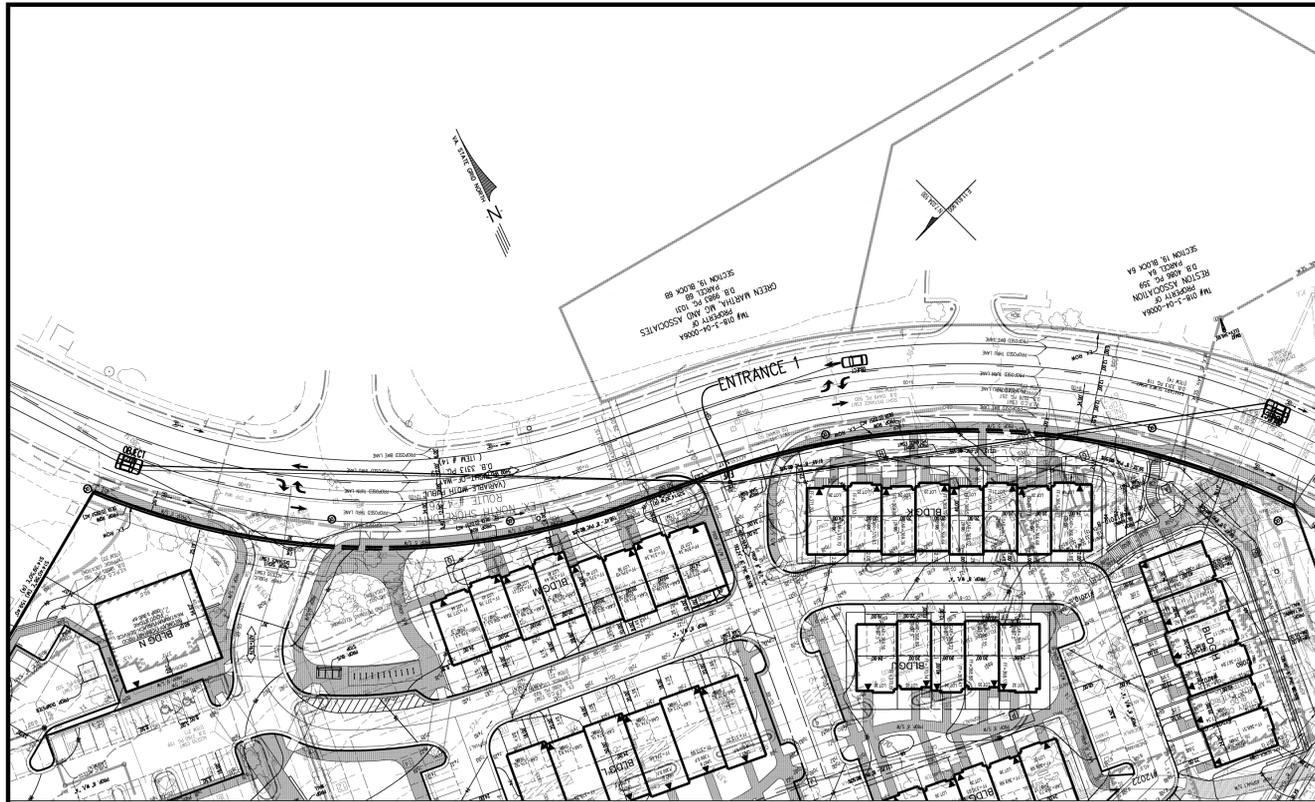
**AUTOTURN EXHIBIT**  
TALL OAKS  
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HUNTER MILL DISTRICT  
FAIRFAX COUNTY, VIRGINIA

DATE: APRIL, 2016  
CI-1=N/A

SCALE: 1"=30'

SHEET  
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OF  
37

FILE No.  
PRC-12785

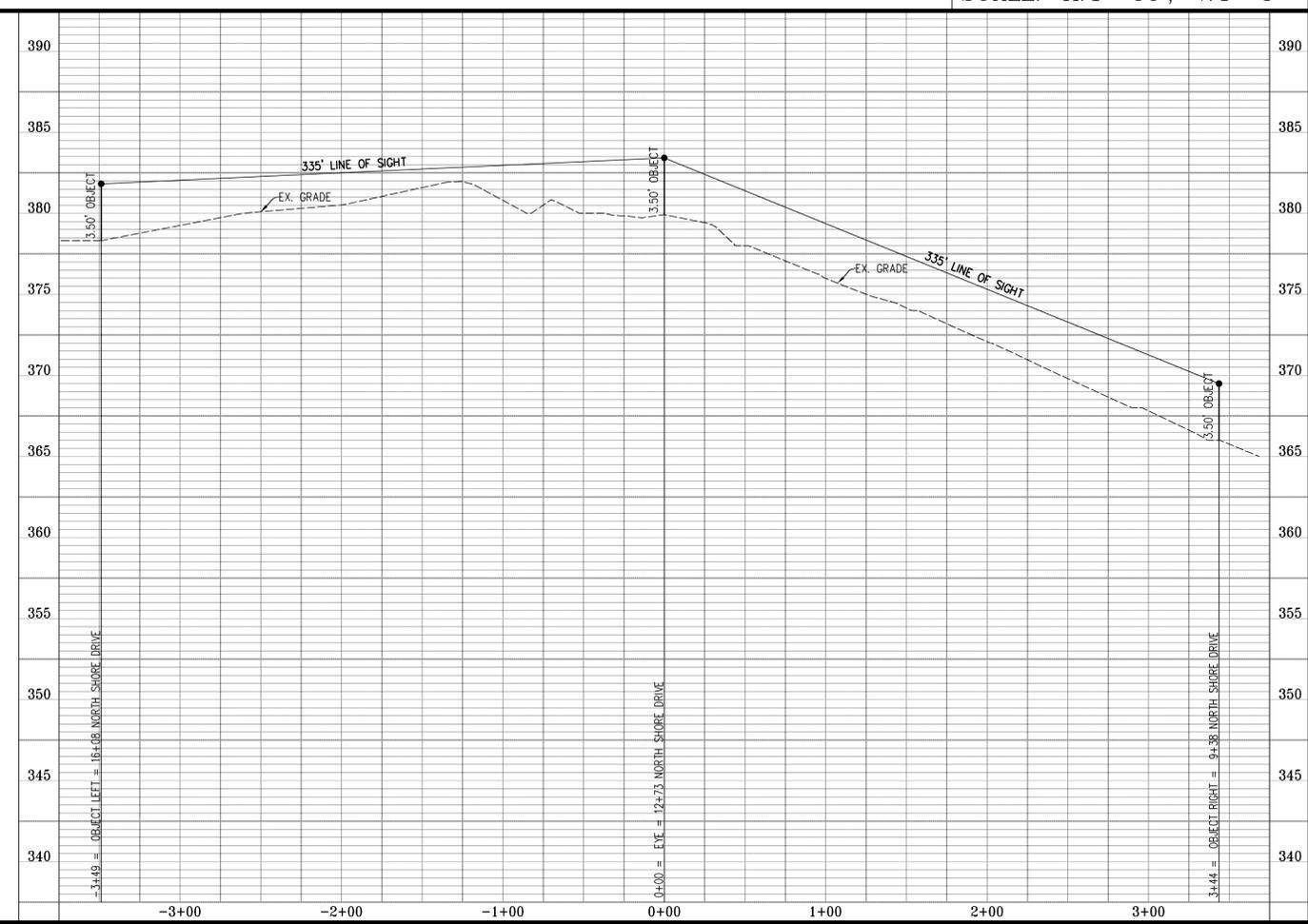
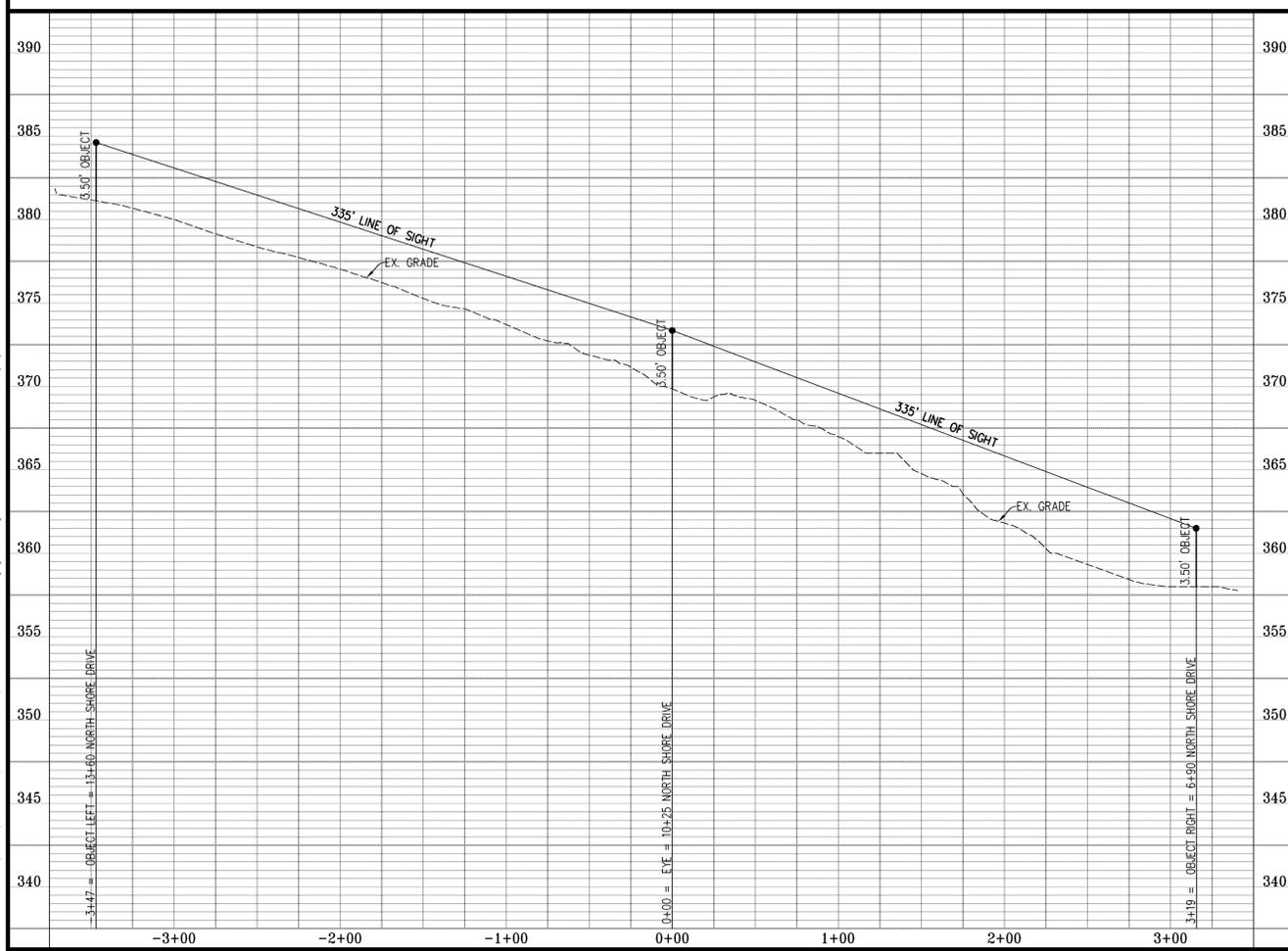


PROP. ENTRANCE 1  
 DESIGN/PROPOSED SPEED=30 MPH  
 R/W WIDTH VARIES



PROP. ENTRANCE 2  
 DESIGN/PROPOSED SPEED=30 MPH  
 R/W WIDTH VARIES

PLAN VIEW  
 SCALE: 1"=50'



PROFILE VIEW  
 SCALE: H: 1"=50'; V: 1"=5'

Urban, Ltd. - J:\PROJECTS\Tall Oaks\PRC PLAN\12785-31-SIGHT D.dwg [LAYOUT] June 20, 2016 - 9:32am Reynolds

No.	DATE	DESCRIPTION	REVISIONS
09-08-15			
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06-08-16			
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PLAN DATE
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06-08-16
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COMMONWEALTH OF VIRGINIA  
 CLAYTON C. TODD  
 Lic. No. 038790  
 06/20/16  
 PROFESSIONAL ENGINEER

SIGHT DISTANCE PROFILES  
**TALL OAKS**  
**PRC/SPEX PLAT**  
 HUNTER MILL DISTRICT  
 FAIRFAX COUNTY, VIRGINIA  
 SCALE: AS SHOWN  
 DATE: APRIL, 2016  
 CI.= N/A  
 SHEET 25C OF 37  
 FILE No. PRC-12785



PLAN DATE	DESCRIPTION
09-08-15	
11-11-15	
04-23-16	
05-27-16	
06-08-16	
06-20-16	

Urban, Ltd.  
 4300 D TECHNOLOGY CT.  
 CHANTILLY, VA 20151  
 TEL: 703.642.2306  
 FAX: 703.578.7888  
 www.urban-llc.com



COMMONWEALTH OF VIRGINIA  
 CLAYTON C. TODD  
 Lic. No. 038790  
 06/20/16  
 PROFESSIONAL ENGINEER  
 PROFESSIONAL SURVEYOR

PEDESTRIAN CIRCULATION PLAN  
**TALL OAKS**  
**PRC/SPEX PLAT**  
 HUNTER MILL DISTRICT  
 FAIRFAX COUNTY, VIRGINIA

DATE: APRIL, 2016  
 SCALE: 1"=30'  
 SHEET 26 OF 37  
 FILE No. PRC-12785

**LEGEND**  
 - - - - - PEDESTRIAN TRAVEL WAY

Urban, Ltd. - J:\085\Tall Oaks\00-PRC PLAN\12785-11-PEDESTRIAN\_CIRC.dwg [XOUT] June 20, 2016 - 9:32am Reynolds

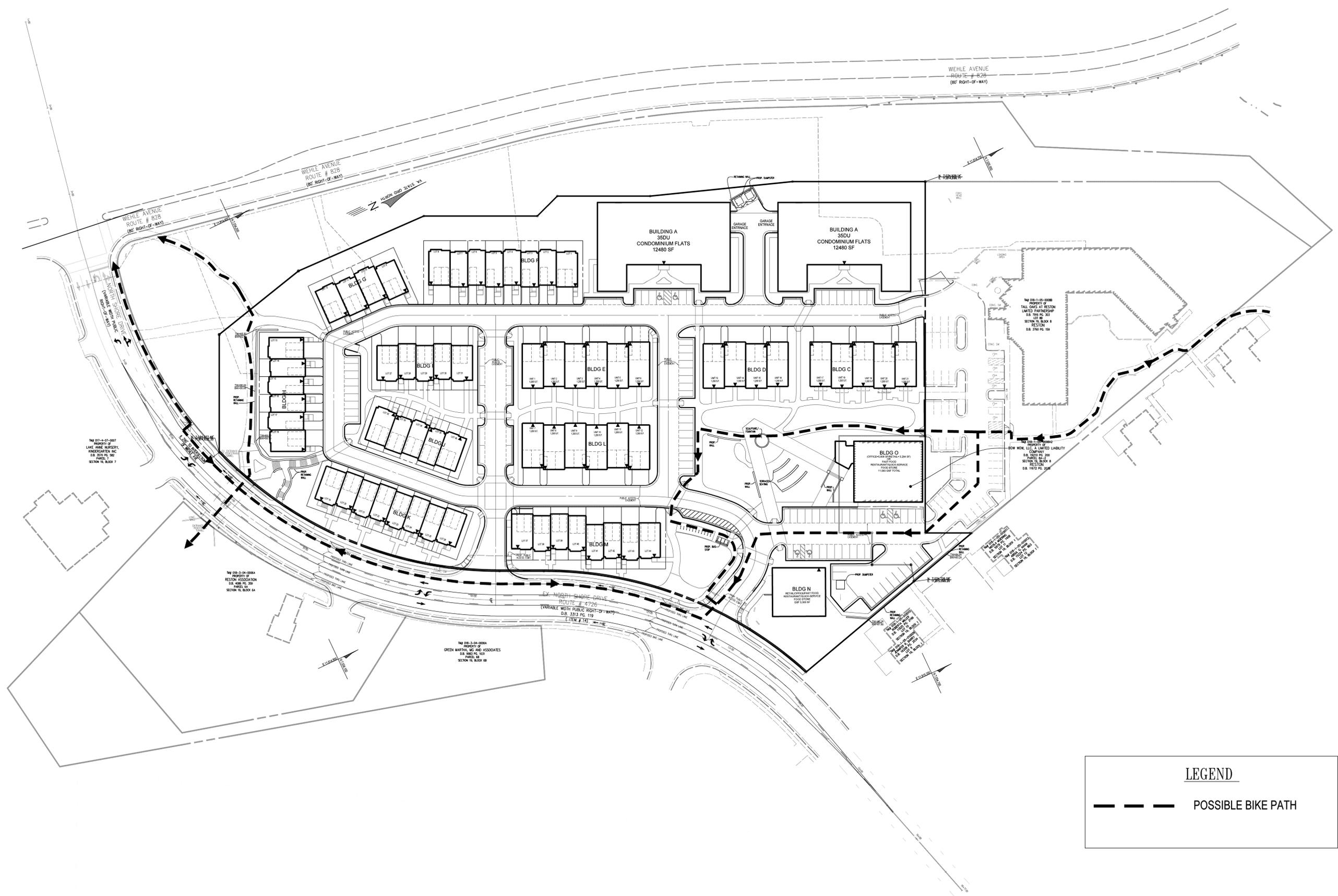
TM# 018-3-04-0006A  
 PROPERTY OF  
 RESTON ASSOCIATION  
 D.B. 4086 PG. 359  
 PARCEL 6A  
 SECTION 19, BLOCK 6A

TM# 018-3-04-0006A  
 PROPERTY OF  
 GREEN MARTHA, MG AND ASSOCIATES  
 D.B. 9983 PG. 1031  
 PARCEL 6B  
 SECTION 19, BLOCK 6B

TM# 018-1-05-000011  
 NICOLA M. BERRY  
 D.B. 59 PG. 24  
 LOT 19, BLOCK 1  
 SECTION 19, BLOCK 1

TM# 018-1-05-000009  
 NICOLA M. BERRY  
 D.B. 59 PG. 24  
 LOT 19, BLOCK 1  
 SECTION 19, BLOCK 1

Urban, Ltd. - J:\085\Tall Oaks\00-PRC PLAN\12785-11-BIKE PATH EXHIBIT.dwg [LAYOUT] June 20, 2016 - 9:32am froydus



**LEGEND**

- - - - - POSSIBLE BIKE PATH

PLAN DATE	DESCRIPTION
04-25-16	
11-23-15	
04-23-16	
05-27-16	
06-08-16	
06-20-16	

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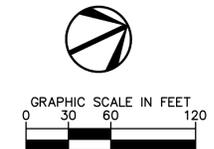


BIKE PATH EXHIBIT  
**TALL OAKS**  
**PRC/SPEX PLAT**  
 HUNTER MILL DISTRICT  
 FAIRFAX COUNTY, VIRGINIA

SCALE: 1" = 50'  
 CL= N/A  
 DATE: APRIL, 2016

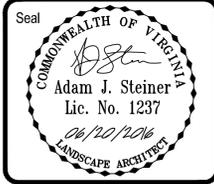
SHEET  
 26A  
 OF  
 37  
 FILE No.  
 PRC-12785

**EXISTING VEGETATION MAP**  
SCALE: 1" = 60'-0"



**KimleyHorn**  
Kimley-Horn and Associates, Inc.  
Engineering, Planning and Environmental Consultants  
11400 Commerce Park Drive Suite 400  
Reston, VA 20191  
Phone: 703-674-1300  
Fax: 703-674-1350  
www.Kimley-Horn.com

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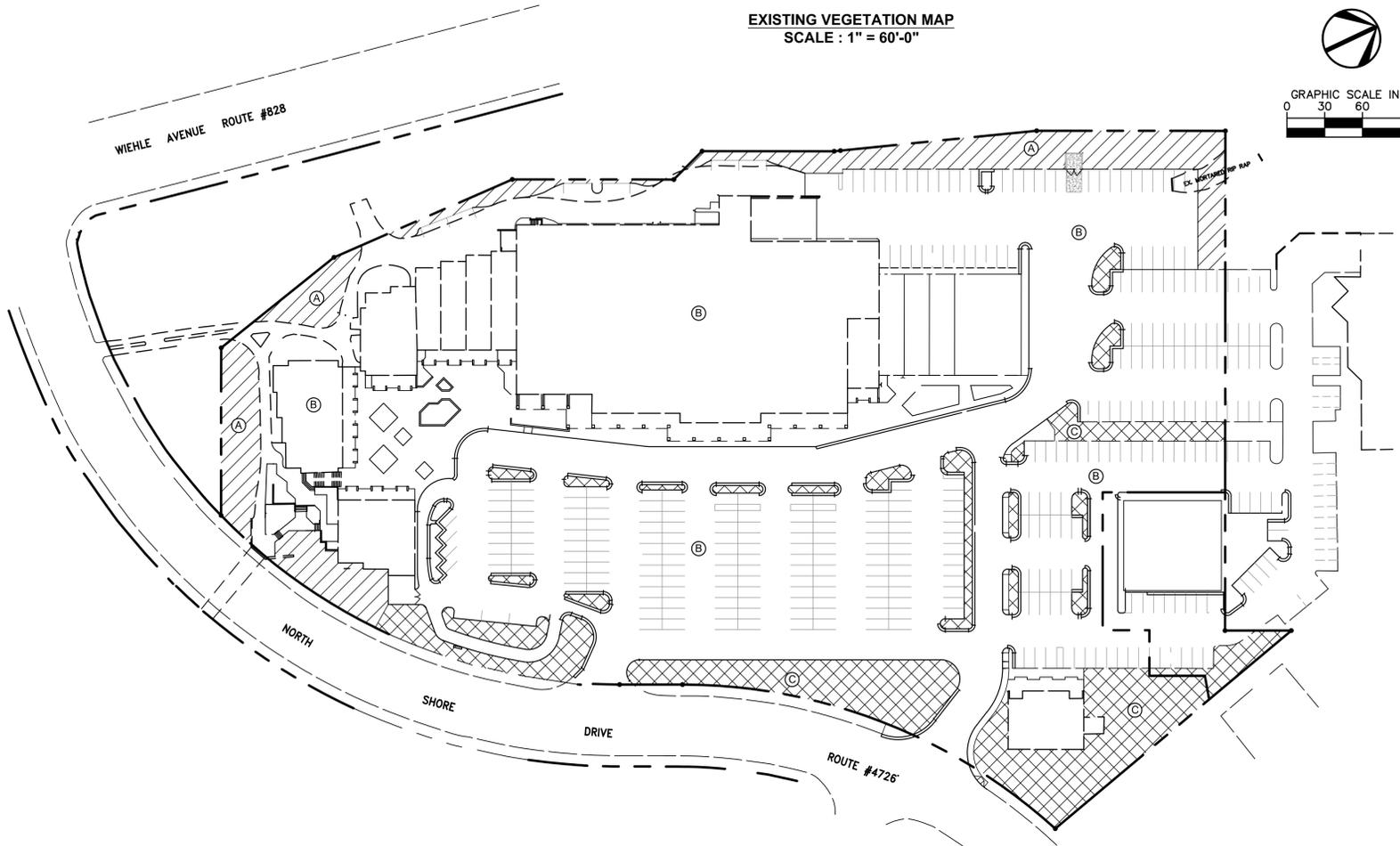
Client  
Jefferson Apartment Group  
1420 Spring Hill Road Suite 420  
McLean, VA 22102

Issues / Revisions		
No.	Description	Date
Initial Submission		09.08.2015
2nd Submission		04.25.2016
3rd Submission		05.15.2016
4th Submission		05.26.2016
5th Submission		06.08.2016
6th Submission		06.20.2016

EXISTING VEGETATION SUMMARY					
SYMBOL	COVER TYPE	PRIMARY SPECIES	CONDITION	ACREAGE	COMMENTS
(A)	UPLAND FOREST	OAK, ELM, PINE, MAPLE,	GOOD	0.48 ACRES	TALL, DENSE CANOPY
(B)	DEVELOPED LAND	BUILDINGS, SIDEWALKS, PARKING, TRAVEL AISLES	FAIR	6.230 ACRES	N.A.
(C)	LANDSCAPED TREE CANOPY	PINE, CEDAR, HOLLY, OAK, MAPLE, MAINTAINED LAWNS, DOMESTIC PLANTINGS	MODERATE / GOOD	0.76 ACRES	TREE SPECIES PLANTED FROM NURSERY STOCK
TOTAL AREA				7.470 ACRES	

**EXISTING VEGETATION NARRATIVE**

THE SUBJECT PROPERTY CONTAINS 6.4% (0.48 AC.) UPLAND FOREST. THE VEGETATION TYPES ARE PRIMARILY OAK, ELM, PINE AND MAPLE. THE UPLAND FOREST HAS A TALL, DENSE CANOPY AND IS IN THE EARLY SUCCESSIONAL STAGE. THE SUBJECT PROPERTY CONTAINS 10.2% (0.76 AC.) OF LANDSCAPED TREE CANOPY. THE VEGETATION TYPES ARE TREES FROM NURSERY STOCK. THE VEGETATION IN THIS AREA IS PRIMARILY PINE TREES, CEDAR, HOLLY, OAK AND MAPLE TREES. THE LANDSCAPE TREE CANOPY ALSO CONTAINS MAINTAINED LANDSCAPE AREAS. THESE AREAS ARE PRIMARILY FESCUE AND HAVE A HIGH FREQUENCY OF MOWING DURING THE GROWING SEASON. THE REMAINING 83.4% (6.230 AC.) OF THE SUBJECT PROPERTY IS DEVELOPED LAND AND CONSISTS OF BUILDINGS, LANDSCAPE PLANTERS, SIDEWALKS, PARKING AREAS, AND VEHICULAR TRAVELWAYS.

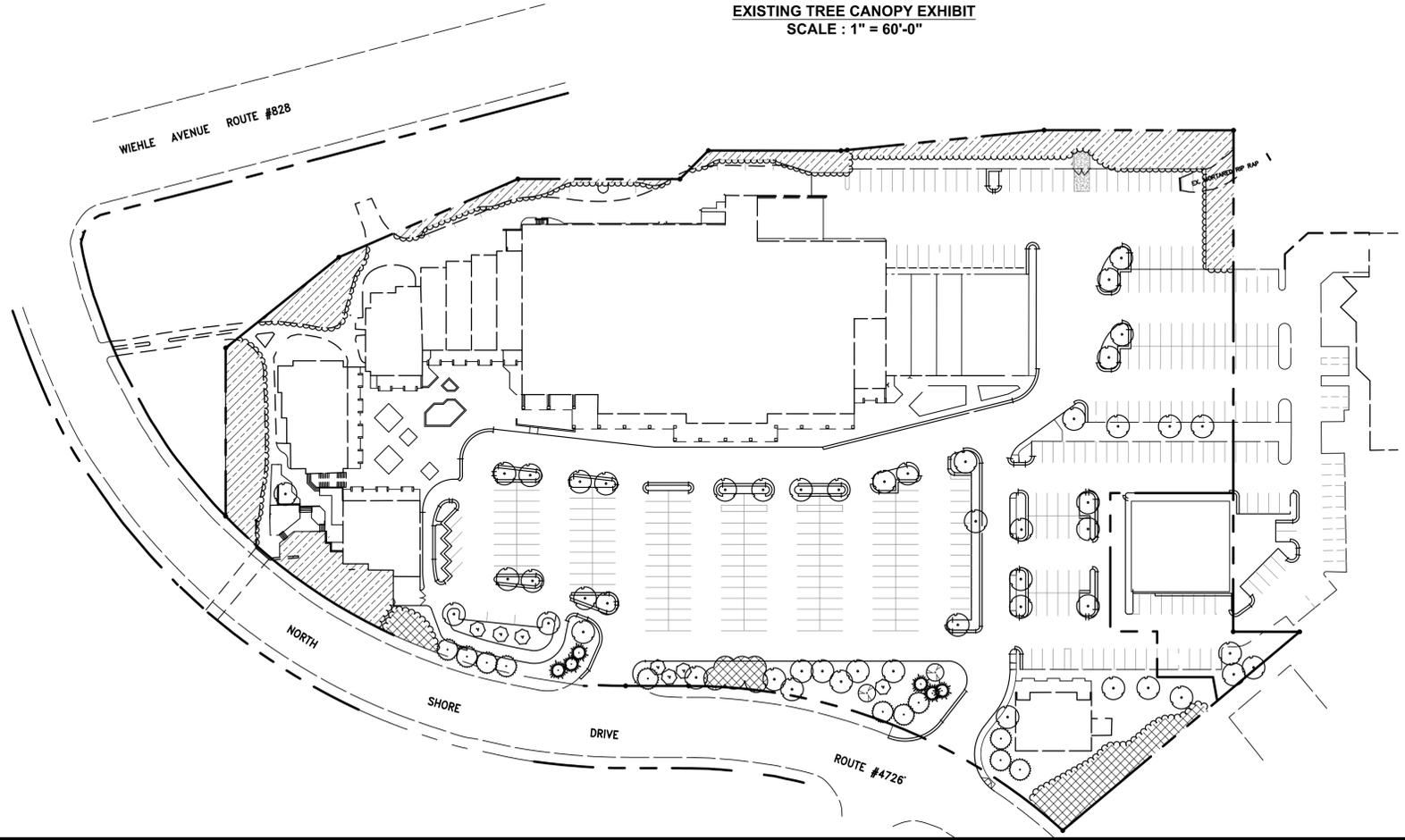


**EXISTING TREE CANOPY AREA COVERAGE**

TYPE		TOTAL (SF)			
EXISTING UPLAND FOREST (SEE EXISTING VEGETATION MAP)		20,908			
EXISTING TREE AREA (SEE NOTE 2)		5,403			
EXISTING INDIVIDUAL TREES (SEE NOTE 3)	QUANTITY	TREE TYPE	TREE CATEGORY	CREDIT (SF)	SUBTOTAL (SF)
	8	DECIDUOUS	II	x 100	800
	7	EVERGREEN	II	x 100	700
	3	DECIDUOUS	III	x 150	450
	13	EVERGREEN	IV	x 200	2,600
51	DECIDUOUS	IV	x 250	12,750	
<b>GRAND TOTAL (SF)</b>					<b>43,611</b>
					OR 1.00 ACRES

- NOTES:**
- THIS GRAPHIC REPRESENTS THE EXISTING TREE CANOPY COMPUTED AND IS SHOWN TO JUSTIFY THE 10-YEAR TREE CANOPY TABULATIONS SHOWN ON SHEET 35.
  - EXISTING TREE AREA IS DEFINED AS PORTIONS OF THE SITE THAT ARE POPULATED WITH EXISTING TREES THAT ARE TOO NUMEROUS TO IDENTIFY INDIVIDUALLY, YET DO NOT MEET THE SPECIFIC CRITERIA OF FORESTED AREA CONDITION STANDARDS PER PFM 12-0404.1. THESE GROUPINGS OF EXISTING TREES ARE SHOWN AS ONE CONTIGUOUS AREA THAT CORRESPONDS TO THE APPROXIMATE COVERAGE AREA.
  - EXISTING INDIVIDUAL TREE CANOPY CREDIT IS NOT BASED ON DRIPLINE PER PFM PLATE 2-12. ASSUMPTIONS BASED ON AVERAGE DRIPLINE HAVE BEEN MADE TO PROVIDE A CORRESPONDING CANOPY CREDIT FOR EACH TREE PER PFM TABLE 12.17.
  - MISCELLANEOUS SMALL TREES EXIST ON SITE, THOUGH THEY ARE NOT SIGNIFICANT AND ARE NOT CONSIDERED TO BE PART OF THE OVERALL MAINTAINED TREE CANOPY OR TARGETED AREA.

**EXISTING TREE CANOPY EXHIBIT**  
SCALE: 1" = 60'-0"

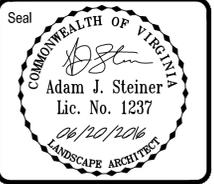


Project Name  
**TALL OAKS**  
Hunter Mill District  
Fairfax, Virginia

Drawn WDW	Checked AJS	QA/QC
KH Project No. 110431000		
Date June 20, 2016		
Drawing Title <b>EXISTING VEGETATION MAP</b>		
Scale: 1"=60'-0"		
Drawing Number <b>27</b>		

K:\NVA\_LALP\110431000 Tall Oaks PRC\CAD\Plan Sheets\431000\_EXISTING VEGETATION MAP.dwg, Layout: 27 EXISTING VEGETATION MAP Jun 20, 2016 davis.walker  
 XREFS: X\_431000\_Survey X\_431000\_TBLK  
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6th Submission		06.20.2016

Project Name  
**TALL OAKS**  
Hunter Mill District  
Fairfax, Virginia

Drawn WDW	Checked AJS	QA / QC
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KH Project No. 110431000

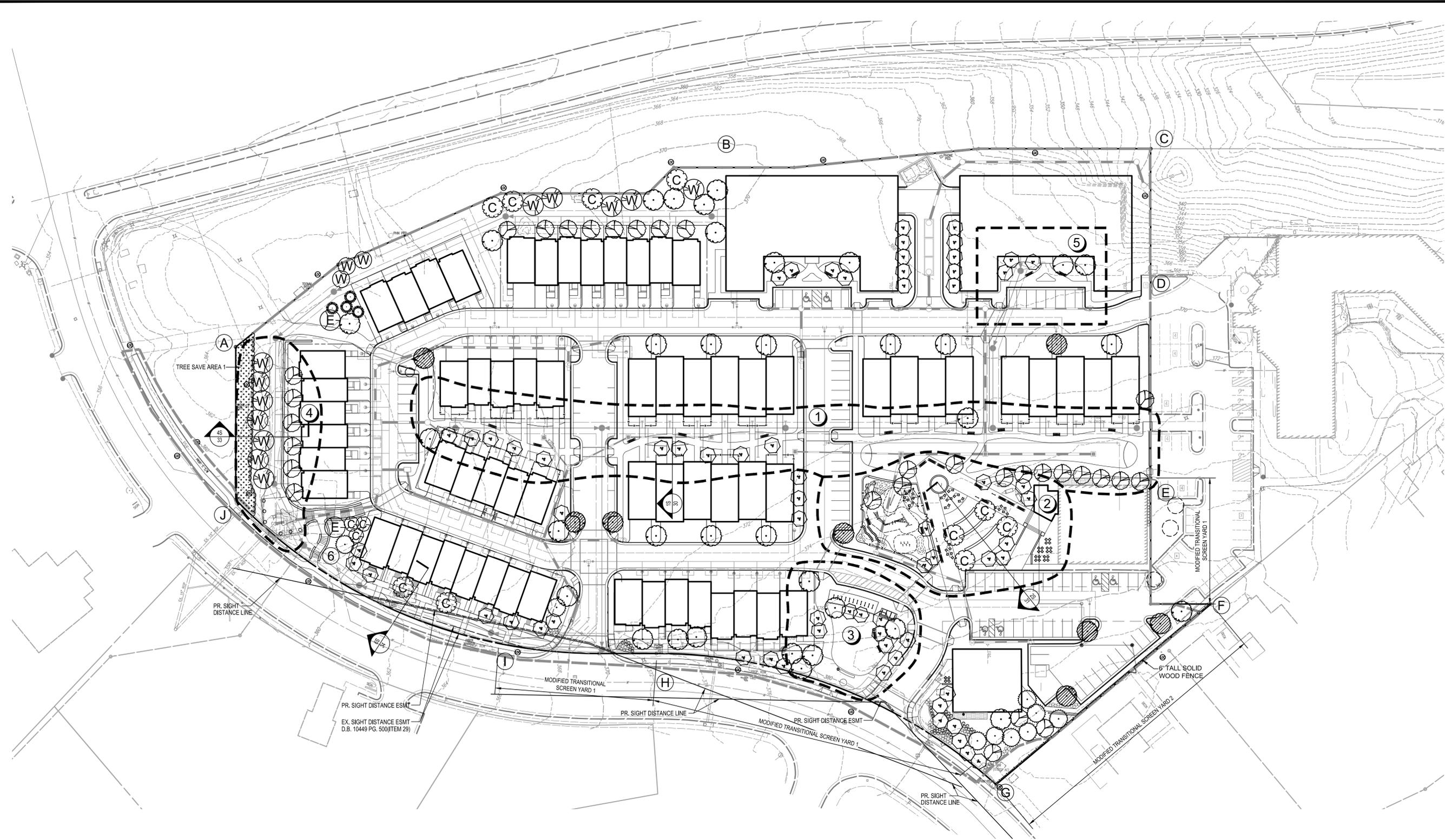
Date June 20, 2016

Drawing Title  
**LANDSCAPE PLAN**

Scale: 1"=40'-0"

Drawing Number

**28**



**SITE AMENITIES LEGEND**

- |                               |          |
|-------------------------------|----------|
| 1. LINEAR GREEN               | SHEET 30 |
| 2. CENTRAL PLAZA              | SHEET 31 |
| 3. ENTRANCE PLAZA / GREEN     | SHEET 32 |
| 4. COMMUNITY TRAIL CONNECTION | SHEET 33 |
| 5. CONDOMINIUM COURTYARD      | SHEET 33 |
| 6. NORTH SHORE FRONTAGE       | SHEET 34 |

**PLANTING LEGEND**

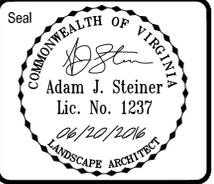
- |  |  |  |  |
|--|--|--|--|
|  | DECIDUOUS TREE (CATEGORY I)  |  | DECIDUOUS TREE (CATEGORY III)  |
|  | DECIDUOUS TREE (CATEGORY IV) - IMPROVED CULTIVARS                                    |  | DECIDUOUS TREE (CATEGORY III) - WILDLIFE BENEFITS  |
|  | DECIDUOUS TREE (CATEGORY IV) - ENERGY CONSERVATION                                   |  | DECIDUOUS TREE (CATEGORY II)   |
|  | DECIDUOUS TREE (CATEGORY IV) - WILDLIFE BENEFITS                                     |  | DECIDUOUS TREE (CATEGORY II) - IMPROVED CULTIVARS  |
|  | DECIDUOUS TREE (CATEGORY IV) USED TO MEET INTERIOR PARKING LOT LANDSCAPE REQUIREMENT |  | EVERGREEN TREE (CATEGORY I)  |
|  | EVERGREEN TREE (CATEGORY III)  |  | EXISTING TREES TO REMAIN (SEE SHEET 27 FOR EXISTING TREE CANOPY CREDIT)  |
|  |  |  | EXISTING OFF SITE TREES TO REMAIN  |
|  |  |  | EVERGREEN SHRUBS (SHOWN FOR CLARITY OF SPECIFIC AREAS AND DOES NOT REPRESENT TOTAL QUANTITY TO BE PROVIDED THROUGHOUT THE COMMUNITY) |

**NOTES:**  
1. ON MAY 17, 2016 THE RESTON ASSOCIATION'S DESIGN REVIEW BOARD (DRB) APPROVED THE CONCEPTUAL SITE AND CONCEPTUAL LANDSCAPE PLANS. FINAL LANDSCAPE DESIGN, INCLUDING THE PLAZA AMENITIES AND RECREATIONAL ELEMENTS, IS SUBJECT TO FINAL APPROVAL BY THE DRB AND MAY BE MODIFIED DURING DEVELOPMENT OF FINAL ENGINEERING AND LANDSCAPE DESIGN WITHOUT AMENDMENT TO THIS PRC PLAN, PROVIDED THAT THE GENERAL CHARACTER AND QUALITY OF DESIGN ELEMENTS SHOWN ON THIS PLAN IS MAINTAINED.



K:\NVA\_L4LP\110431000 Tall Oaks PRC\CAD Plan Sheets\431000\_LANDSCAPE PLAN.dwg, Layout: 28 LANDSCAPE PLAN Jun 20, 2016 davis.walker  
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4th Submission		05.26.2016
5th Submission		06.08.2016
6th Submission		06.20.2016

Project Name  
**TALL OAKS**  
  
Hunter Mill District  
Fairfax, Virginia

Drawn WDW	Checked AJS	QA / QC
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KH Project No. 110431000

Date June 20, 2016

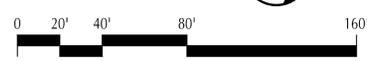
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**RENDERING**

Scale: 1"=40'-0"

Drawing Number  
**29**

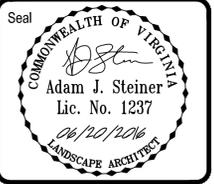


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K:\NVA-LALP\110431000 Tall Oaks PRC\CAD Plan Sheets\431000\_AMENITY DETAIL PLAN.dwg, Layout:29 RENDERING Jun 20, 2016 dforis.walker  
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Project Name  
**TALL OAKS**  
 Hunter Mill District  
 Fairfax, Virginia

Drawn WDW	Checked AJS	QA / QC
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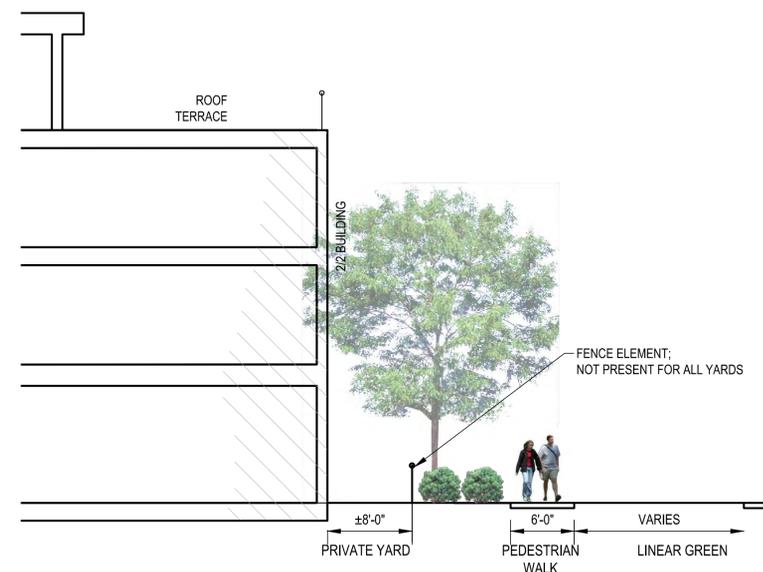
KH Project No. 110431000

Date June 20, 2016

Drawing Title  
**AMENITY PLAN**

Scale: 1"=20'-0"

Drawing Number  
**30**



**SECTION: 2/2 @ LINEAR GREEN**  
 Scale: 1/8" = 1'-0"

**1 LINEAR GREEN**  
 Scale: 1"=20'-0"



**1A. SPECIALTY PAVING**  
 PROVIDED AT CROSSWALKS TO ADD AESTHETIC APPEAL TO THE SITE. SPECIALTY PAVING WILL CONSIST OF, BUT NOT BE LIMITED TO STAMPED ASPHALT, CLAY PAVERS, SCORED CONCRETE, OR CONCRETE UNIT PAVERS



**1B. RESIDENTIAL UNIT FRONT YARDS**  
 RESIDENTIAL FRONT YARDS WILL VARY BY USING A COMBINATION OF A FENCE ELEMENT AND LANDSCAPING TO SEPARATE PUBLIC FROM PRIVATE SPACE. THE FENCE ELEMENT WILL BE REINFORCED BY ORNAMENTAL PLANTINGS TO SOFTEN THE SPACES. THE ALIGNMENT OF THE FENCE WILL BE STAGGERED OR OFFSET BETWEEN UNITS. FRONT YARDS WHERE A FENCE IS NOT UTILIZED WILL BE DEFINED SOLELY WITH ORNAMENTAL PLANTINGS.  
 FRONT YARDS ARE PRIVATE AND FOR USE BY RESIDENT, I.E. PATIO, PLANTING POTS, HERB GARDENS



**1C. OPEN LAWN AREAS**  
 CREATE A VARIETY OF ACTIVITY DURING VARIOUS TIMES OF THE DAY. THESE ACTIVITIES WILL INCLUDE INFORMAL ACTIVE RECREATION, SUCH AS BOCCIE, VOLLEYBALL OR CORN-HOLE.



**1D. FOCAL PLANTINGS**  
 FOCAL PLANTING AREAS SERVE AS NODES AT KEY POINTS AS PEOPLE MOVE THROUGH THE SITE. EVERGREEN PLANTINGS WITH COMPLEMENTARY FLOWERING SHRUBS & PERENNIALS MAKE THESE AREAS ATTRACTIVE THROUGHOUT THE YEAR.

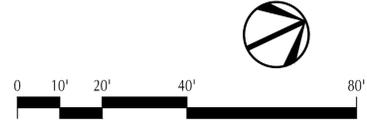
**FOCAL PLANTING PALETTE**  
 DWARF YAUPON HOLLY  
 CARISSA HOLLY  
 FIREPOWER NANDINA  
 NEON FLASH SPIREA  
 SUMMERSWEET CLETHRA  
 OAKLEAF HYDRANGEA  
 KNOCKOUT ROSE

**PLANTING AREAS**  
 PLACEMENT OF TREES AND SHRUBS IN FRONT OF THE RESIDENTIAL UNITS SOFTEN THE ARCHITECTURE AND CREATE AN AESTHETIC BUFFER BETWEEN THE UNITS AND THE LINEAR GREEN. SHRUBS ARE LAYERED TO PROVIDE GOOD DEPTH AND MIX IN A VARIETY OF SPECIES.

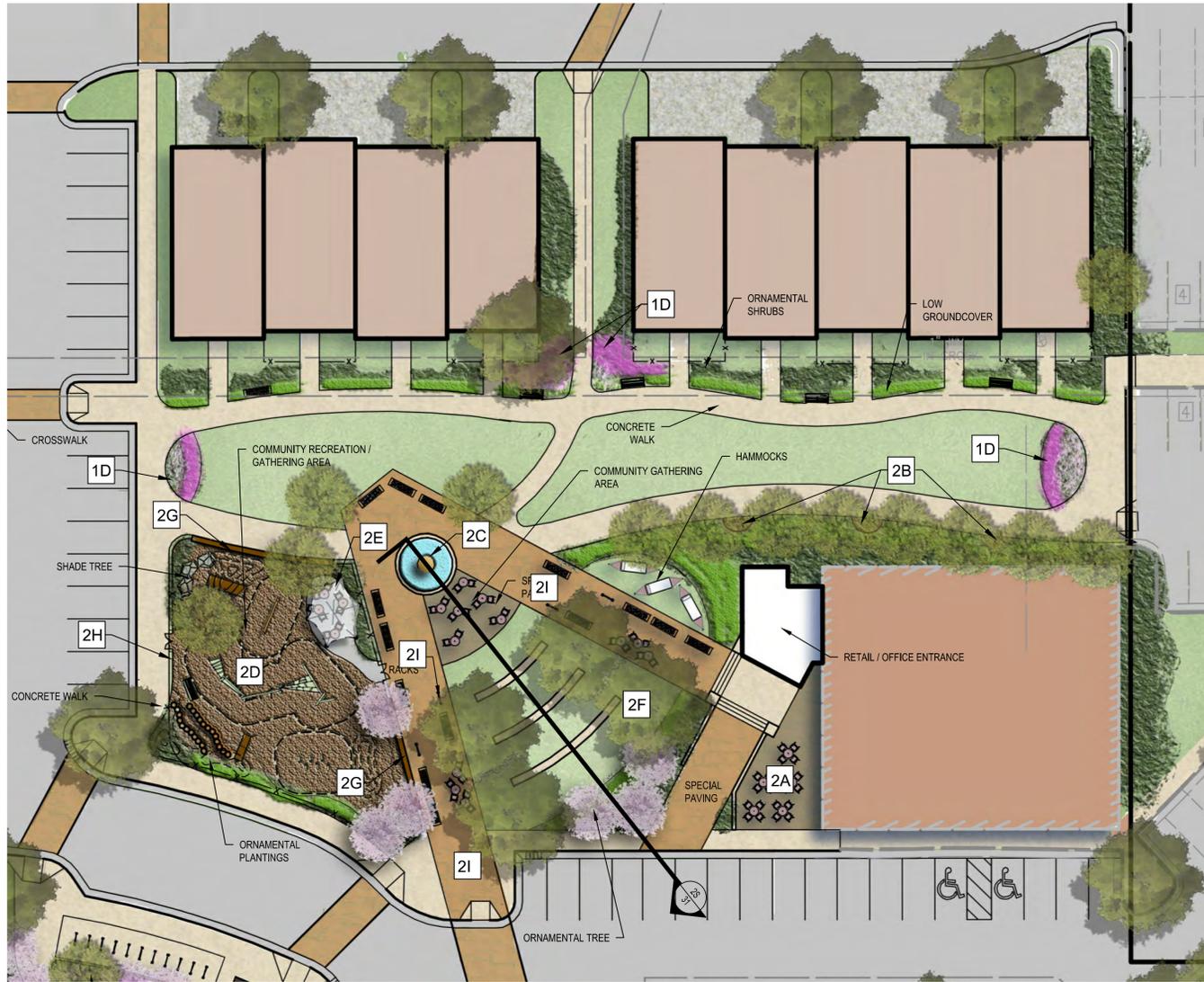


- "LINEAR GREEN" AMENITIES**
- OPEN LAWN AREAS
  - EASILY ACCESSIBLE SERPENTINE CENTRAL WALK
  - DEFINED RESIDENT FRONT YARD SPACES
  - OUTDOOR FURNITURE AND ACTIVITIES
  - ORNAMENTAL PLANTINGS

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K:\NVA-L4LP\110431000\_Tall Oaks\_PRC\CAD\Plan\_Sheets\431000\_AMENITY PLAN.dwg, Layout:30 AMENITY PLAN Jun 20, 2016 davis.walker  
 XREFS: X\_431000\_Base X\_431000\_Pbase X\_431000\_Survey-CUT X\_431000\_BLK X\_431000\_Sections  
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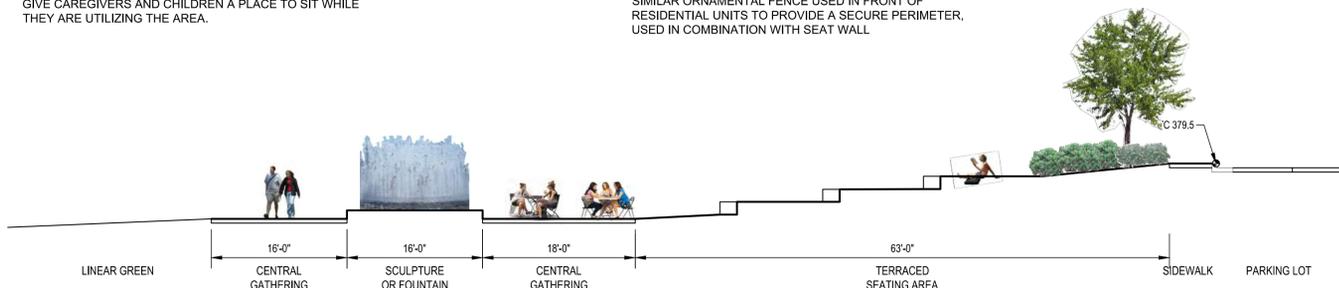
**2 CENTRAL PLAZA**  
Scale: 1"=20'-0"



**2G. SEAT WALL**  
PLACED IN STRATEGIC LOCATIONS IN THE PLAYGROUND TO GIVE CAREGIVERS AND CHILDREN A PLACE TO SIT WHILE THEY ARE UTILIZING THE AREA.



**2H. PLAYGROUND FENCE**  
SIMILAR ORNAMENTAL FENCE USED IN FRONT OF RESIDENTIAL UNITS TO PROVIDE A SECURE PERIMETER, USED IN COMBINATION WITH SEAT WALL



**2S SECTION: CENTRAL PLAZA**  
Scale: 1" = 10'-0"



**2A. RETAIL TERRACE**  
FACES THE TERRACED SEATING AREA AND MAY FEATURE OPEN-AIR, SHADED PATIO SEATING FOR OUTDOOR GATHERING / DINING USES.



**2C. SCULPTURE OR FOUNTAIN ELEMENT**  
USED TO ENHANCE THE SENSE OF PLACE AND ARRIVAL. THIS ELEMENT WILL BE PLACED AT A KEY LOCATION WITHIN THE CENTRAL PLAZA.



**2E. SHADE ELEMENT**  
USED TO PROVIDE SHADE AT THE COMMUNITY PLAY AREA. MATERIALS MAY CONSIST OF, BUT ARE NOT LIMITED TO METAL, WOOD AND TENSILE.



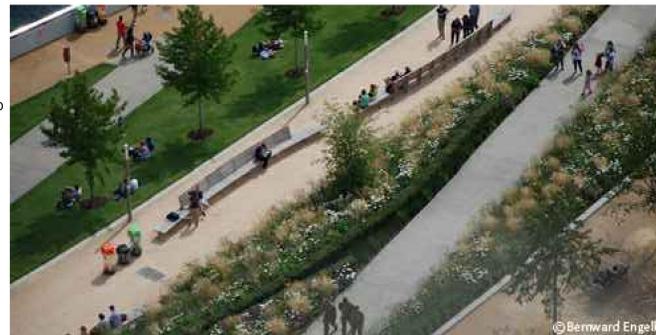
**2B. SENIOR FITNESS STATIONS:**  
FITNESS EQUIPMENT DESIGNED SPECIFICALLY FOR SENIORS. A MINIMUM OF 2 SUCH STATIONS STRATEGICALLY LOCATED ALONG THE LINEAR GREEN.



**2D. PLAY AREAS**  
CONSISTS OF NATURAL PLAY ELEMENTS FOR USE BY A VARIETY OF AGE GROUPS.



**2F. TERRACED SEATING**  
AREA PROVIDES SEATING AT THE COMMUNITY RECREATION / GATHERING AREA. MATERIALS MAY CONSIST OF, BUT ARE NOT LIMITED TO CONCRETE, WOOD AND MASONRY.



**2I. VILLAGE PROMENADE**  
SPACE TO INCLUDE SHADED HARDSCAPED AREA TO HOST A VARIETY OF PASSIVE USES. THE SPACE WILL BE FURNISHED WITH BENCHES OR OTHER SEATING AND GAME TABLES.



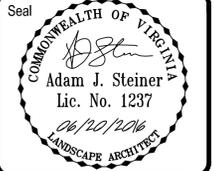
- 'CENTRAL PLAZA' AMENITIES**
- COMMUNITY RECREATION / GATHERING AREA INCLUDING NATURAL AND TRADITIONAL PLAY ELEMENTS AND SHADED SEATING AREA
  - SPACE INCLUDING BIKE RACKS, OUTDOOR FURNITURE AND SCULPTURE OR FOUNTAIN OPPORTUNITY
  - RETAIL TERRACE INCLUDING OUTDOOR FURNITURE AND ACTIVITIES
  - ORNAMENTAL PLANTINGS
  - LINEAR GREEN PROVIDING FLEXIBLE OPEN SPACE FOR PASSIVE/ ACTIVE RECREATION. ADJACENT SEATING ALLOWS SENIORS TO OBSERVE PLAY AREA.

**NOTES:**

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**Client**  
Jefferson Apartment Group  
1420 Spring Hill Road  
Suite 420  
McLean, VA 22102

**Issues / Revisions**

No.	Description	Date
Initial Submission		09.08.2015
2nd Submission		04.25.2016
3rd Submission		05.15.2016
4th Submission		05.28.2016
5th Submission		06.08.2016
6th Submission		06.20.2016

**Project Name**  
TALL OAKS  
  
Hunter Mill District  
Fairfax, Virginia

Drawn WDW	Checked AJS	QA / QC
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KH Project No. 110431000

Date June 20, 2016

Drawing Title  
AMENITY PLAN

Scale: 1"=20'-0"

Drawing Number

K:\NVA-L4\110431000 - Tall Oaks - PRC\CAD\Plan Sheets\431000\_AMENITY PLAN.dwg, Layout: 31 AMENITY PLAN Jun 20, 2016 davis.walker  
XREFS: X\_431000\_Base, X\_431000\_Phase, X\_431000\_Survey-CUT, X\_431000\_BLK, X\_431000\_Sections  
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**3 ENTRANCE PLAZA / GREEN**  
Scale: 1"=20'-0"

- 'ENTRANCE PLAZA' AMENITIES**
- SCULPTURE OPPORTUNITY
  - EASILY ACCESSIBLE BIKE PATH CONNECTION
  - BUS STOP AND SHELTER (PUBLIC TRANSIT CONNECTIVITY)
  - OPEN LAWN AREA
  - OUTDOOR FURNITURE AND ACTIVITIES
  - ORNAMENTAL PLANTINGS



**3A. BUS SHELTER**  
PROVIDED FOR PROTECTION OF THE ELEMENTS AT BUS STOP LOCATION. FINAL SHELTER SPECIFICATION SUBJECT TO APPROVAL BY LOCAL TRANSPORTATION AUTHORITY



**3B. ART / SCULPTURE OR FOUNTAIN ELEMENT**  
ENHANCES THE SENSE OF PLACE AND ARRIVAL. THESE ELEMENTS COULD BE PLACED WITHIN KEY LOCATIONS SUCH AS WITHIN THE ENTRANCE PLAZA.



**3C. BIKE SHARE**  
AN OPPORTUNITY EXISTS IN THE ENTRANCE PLAZA TO HAVE A BIKE SHARE FOR USE BY THE COMMUNITY. BIKE SHARE SYSTEM OR STANDARD BIKE RACKS ARE ADJACENT TO THE EXISTING TRAIL NETWORK.



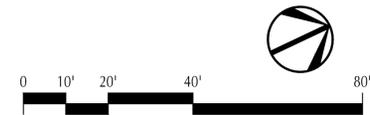
**3D. SEASONAL GARDEN PLANTINGS**  
THE AREA SURROUNDING THE ENTRANCE PLAZA IS PLANTED WITH ORNAMENTAL TREES AND SHRUBS, GIVING THE PLAZA A BRILLIANT LOOK THROUGHOUT THE YEAR.



**ENTRANCE PLAZA**  
EXAMPLES OF EXISTING ENTRANCE PLAZAS SHOW HOW THEY CAN BE A MAJOR COMPONENT TO ANY DEVELOPMENT AND PROVIDE A GREAT SENSE OF ARRIVAL.



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Project Name  
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Hunter Mill District  
Fairfax, Virginia

Drawn WDW	Checked AJS	QA / QC
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KH Project No. 110431000

Date June 20, 2016

Drawing Title  
**AMENITY PLAN**

Scale: 1"=20'-0"

Drawing Number  
**32**

K:\NVA-LALP\110431000 Tall Oaks PRC\CAD\Plan Sheets\431000\_AMENITY DETAIL PLAN.dwg, Layout: 32 AMENITY PLAN Jun 20, 2016 davis.walker  
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 TO: 431000\_AMENITY DETAIL PLAN.dwg, Layer: 33 AMENITY PLAN Jun 20, 2016 davis.walker  
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- 'COMMUNITY TRAIL CONNECTION' AMENITIES**
- INTEGRATED WALKING / CYCLING CONNECTION
  - ACCESS STAIR
  - FITNESS STATION
  - OUTDOOR FURNITURE AND ACTIVITIES
  - ORNAMENTAL PLANTINGS
  - PRESERVATION OF EXISTING FOREST
  - PLANT MATERIAL DESIGNED TO MAINTAIN CLEAR VIEWS IN THE UNDERSTORY

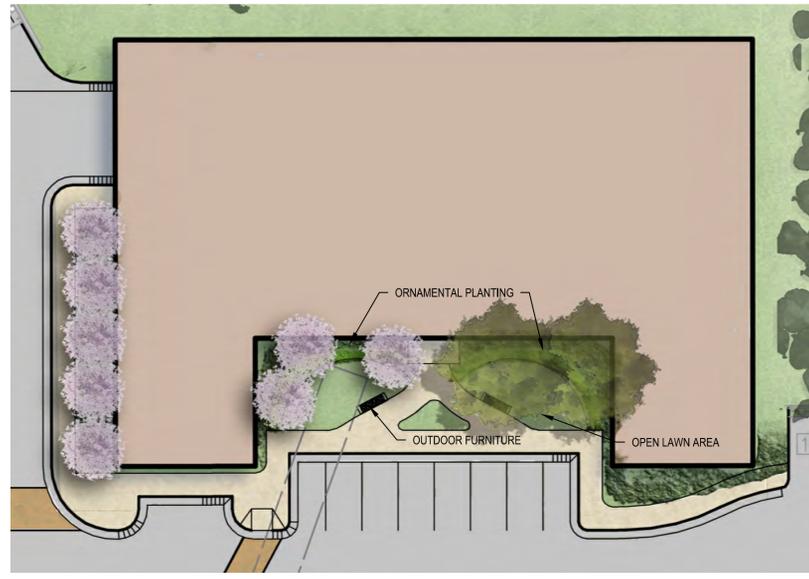
**4 COMMUNITY TRAIL CONNECTION**  
Scale: 1" = 20'-0"



**4A. ACCESS STAIR**  
PROVIDES A STRONG CONNECTION TO THE RESTON ASSOCIATION TRAIL NETWORK, SURROUNDING NEIGHBORHOODS AND INTERNAL PEDESTRIAN NETWORK.



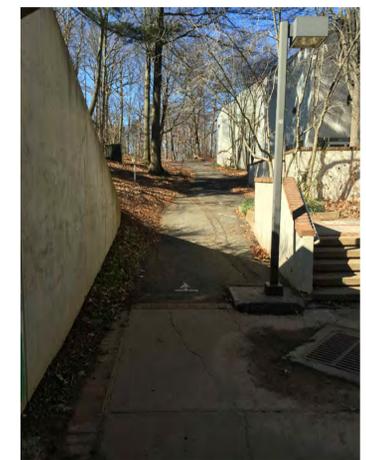
**4B. SPECIALTY PAVING**  
PROVIDED AT CROSSWALKS TO ADD AESTHETIC APPEAL TO THE SITE. SPECIALTY PAVING MAY CONSIST OF, BUT NOT BE LIMITED TO STAMPED ASPHALT, CLAY PAVERS, SCORED CONCRETE, OR CONCRETE UNIT PAVERS



**5 CONDOMINIUM COURTYARD**  
Scale: 1" = 20'-0"



**4D. EXISTING TRAIL**

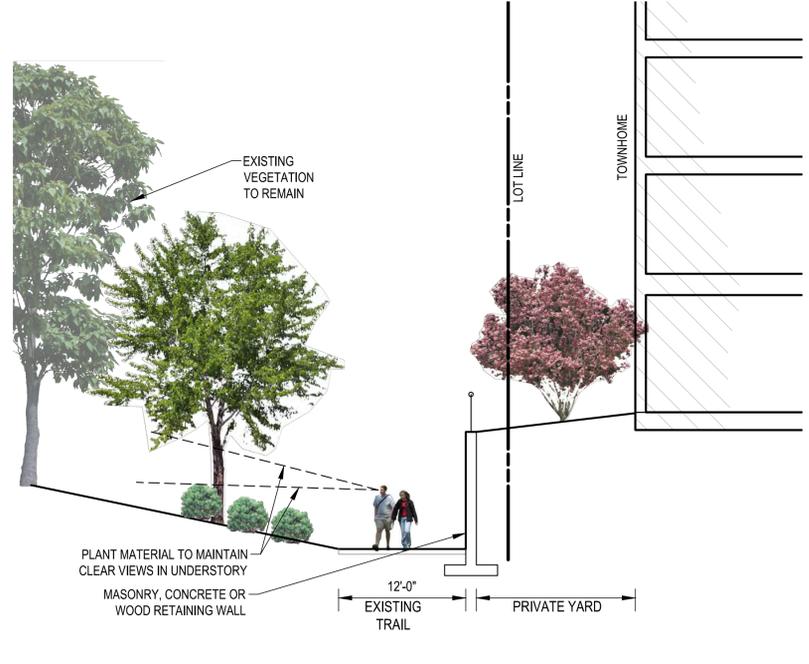


**4E. EXISTING TRAIL**

- 'CONDOMINIUM COURTYARD' AMENITIES**
- OPEN LAWN AREA
  - OUTDOOR FURNITURE AND ACTIVITIES
  - ORNAMENTAL PLANTINGS



**CONDOMINIUM COURTYARD**  
WILL HOST A VARIETY OF USES INCLUDING COMMUNITY GATHERING SPACE, LOUNGING AND PASSIVE RECREATION. ACCENTUATES PRIMARY BUILDING ENTRANCE WITH SIMILAR SITE DESIGN ELEMENTS



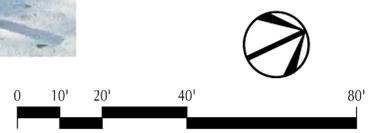
**4S SECTION: TOWNHOME @ TRAIL**  
Scale: 1/8" = 1'-0"



**4C. FITNESS STATION**  
PROVIDED AS AN AMENITY FOR USE BY THE COMMUNITY AND TRAIL USERS.

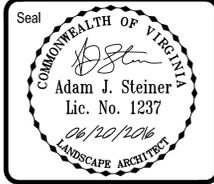


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**Kimley-Horn**  
and Associates, Inc.  
Engineering, Planning and Environmental Consultants  
11400 Commerce Park Drive  
Suite 400  
Reston, VA 20191  
Phone: 703-674-1300  
Fax: 703-674-1350  
www.Kimley-Horn.com

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**Project Name**  
**TALL OAKS**  
Hunter Mill District  
Fairfax, Virginia

Drawn: WDW  
Checked: AJS  
QA/QC: [blank]

KH Project No. 110431000

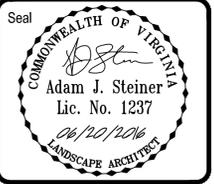
Date: June 20, 2016

Drawing Title  
**AMENITY PLAN**

Scale: 1"=20'-0"

Drawing Number  
**33**

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KH Project No. 110431000

Date June 20, 2016

Drawing Title  
**AMENITY PLAN**

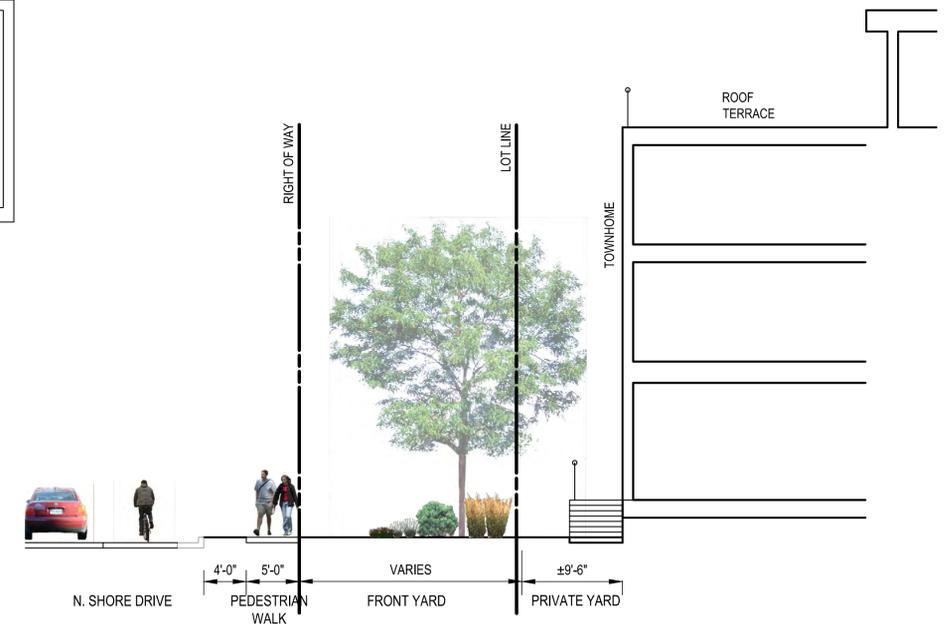
Scale: 1"=20'-0"

Drawing Number  
**34**



**6 NORTH SHORE FRONTAGE**  
Scale: 1" = 20'-0"

- 'NORTH SHORE FRONTAGE'**
- INTEGRATED WALKING / CYCLING CONNECTION
  - LAWN AREA
  - ORNAMENTAL PLANTINGS
  - NATURALIZED PLANTING BEDS WITH A VARIETY OF TREE TYPES & SIZES



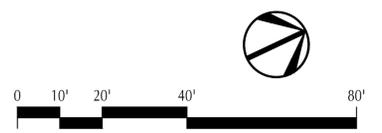
**6-1 SECTION: TOWNHOME @ N. SHORE DR.**  
Scale: 1/8" = 1'-0"



**PLANTING AREAS**  
PLACEMENT OF TREES AND SHRUBS IN FRONT OF THE RESIDENTIAL UNITS SOFTEN THE ARCHITECTURE AND CREATE AN AESTHETIC BUFFER BETWEEN THE UNITS AND THE LINEAR GREEN. SHRUBS ARE LAYERED TO PROVIDE GOOD DEPTH AND MIX IN A VARIETY OF SPECIES.



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20' AND SUPERIOR DISTANCES ON THIS DOCUMENT AND ALL DIMENSIONS ARE UNLESS OTHERWISE SPECIFIED.  
SPECIFIC AND GENERAL NOTES FOR THE CONCEPTUAL LANDSCAPE DESIGN AND CONCEPTUAL LANDSCAPE PLANS ARE PROVIDED IN THE CONCEPTUAL LANDSCAPE DESIGN AND CONCEPTUAL LANDSCAPE PLANS AND SHALL BE MAINTAINED THROUGHOUT THE PROJECT.

Plant Schedule						
Qty.	Botanical Name	Common Name	Size	Type	Remarks	Total 10 Yr. Canopy Credit (Qty. x 10 yr.)
<b>Cat. IV Deciduous Trees</b>						
43	Acer rubrum 'October Glory'	October Glory Red Maple	3" Cal.	B & B	Uniform branching pattern	250
	Liquidambar styraciflua 'Rotundiloba'	Sweetgum	3" Cal.	B & B	Uniform branching pattern	250
	Platanus acerifolia	London Planetree	3" Cal.	B & B	Uniform branching pattern	250
	Quercus phellos	Willow Oak	3" Cal.	B & B	Uniform branching pattern	250
	Tilia americana 'Greenspire'	American Linden	3" Cal.	B & B	Uniform branching pattern	250
	Ulmus parvifolia	Chinese Elm	3" Cal.	B & B	Uniform branching pattern	250
	Zelkova serrata 'Green Vase'	Green Vase Zelkova	3" Cal.	B & B	Uniform branching pattern	250
<b>Cat. III Deciduous Trees</b>						
30	Gelditsia triacanthos 'Skyline'	Skyline Honeylocust	3" Cal.	B & B	Uniform branching pattern	175
	Prunus sargentii	Sargent Cherry	3" Cal.	B & B	Uniform branching pattern	175
	Prunus yedoensis	Yoshino Cherry	3" Cal.	B & B	Uniform branching pattern	175
<b>Cat. II Deciduous Trees</b>						
67	Amelanchier laevis	Allegheny Serviceberry	3" Cal.	B & B	Multi-stem, Min. 3 heavy stems	125
	Cercis canadensis	Redbud	3" Cal.	B & B	Multi-stem, Min. 3 heavy stems	125
	Carpinus caroliniana	American Hombeam	3" Cal.	B & B	Multi-stem, Min. 3 heavy stems	125
	Magnolia virginiana	Sweetbay Magnolia	3" Cal.	B & B	Multi-stem, Min. 3 heavy stems	125
<b>Cat. III Evergreen Trees</b>						
6	Picea abies	Norway Spruce	10' Ht.	B & B	Full to ground, Dense	175
	Pinus echinata	Shortleaf Pine	10' Ht.	B & B	Full to ground, Dense	175
	Pinus taeda	Loblolly Pine	10' Ht.	B & B	Full to ground, Dense	175
	Pinus virginiana	Virginia Pine	10' Ht.	B & B	Full to ground, Dense	175
<b>Cat. I Evergreen Trees</b>						
4	Ilex x 'Nellie R. Stevens'	Nellie R. Stevens Holly	8' Ht.	B & B	Full to ground, Dense	75
	Juniperus virginiana 'Princeton Sentry'	Eastern Redcedar	8' Ht.	B & B	Full to ground, Dense	75
<b>Subtotal (s.f.)</b>						<b>25,725</b>

TRANSITIONAL SCREENING AND BARRIER CALCULATIONS													
		REQUIRED					PROVIDED						
On-Site Use (Group)	Adjacent Use (Group)	Transitional Screening Barrier	Width (l.f.)	Length (l.f.)	Area (s.f.)	10-Year Canopy Cover (75% Shrubs)	Barrier	Width (l.f.)	Trees		Total Canopy	Shrubs	Notes
									Qty.	Type			
Buffer A-B: SFA (Group 2)	Community Uses (Group 5)	None											
Buffer B-C: MFD (Group 3)	Community Uses (Group 5)	None											
Buffer C-D: MFD (Group 3)	Assisted Living (Group 4)	None											
Buffer D-E: MFD (Group 3)	Assisted Living (Group 4)	None											
Buffer E-F: Comm./Office/ Retail/ Fast Food/ Quick Service Food Store (Group 8 & 9)	Assisted Living (Group 4)	1 (Group 8)	25	110	2,750	2,063 s.f. (min. 70% evergreen)	None	2.5'	0	N/A	0	15	• See Requested Waivers / Modifications E • See Note 4
Buffer F-G: Quick Service Food Store/ Fast Food (Group 9)	Single Family Attached (Group 2)	D, F or G (Group 9)				33 Shrubs							
Buffer F-G: Quick Service Food Store/ Fast Food (Group 9)	Single Family Attached (Group 2)	E, F or G	3	50	245	9,188 s.f. (min. 70% evergreen)	F	6'-35'	1	Category IV Deciduous	250 s.f.	250 s.f.	• See Requested Waivers / Modifications A • See Note 4
									3	Category III Deciduous	175 s.f.	525 s.f.	
									1	Category II Deciduous	125 s.f.	125 s.f.	
<b>Total Canopy Provided</b>											<b>1,775 s.f.</b>		
Buffer G-H: Quick Service Food Store/ Fast Food (Group 9)	MFD (Group 3)	E, F or G	2	35	210	5,513 s.f. (min. 70% evergreen)	None	2'-20'	4	Category IV Deciduous	250 s.f.	1,000 s.f.	• See Requested Waivers / Modifications B • See Note 4
									1	Category III Evergreen	175 s.f.	175 s.f.	
									7	Category II Deciduous	125 s.f.	875 s.f.	
<b>Total Canopy Provided</b>											<b>2,050 s.f.</b>		
Buffer H-I: SFA (Group 2)	Vacant Land (PRC with possible future SFD)	A or B	1	25	80	1,500 s.f. (min. 70% evergreen)	None		1	Category IV Deciduous	250 s.f.	250 s.f.	• See Requested Waivers / Modifications C • See Note 4
<b>Total Canopy Provided</b>											<b>250 s.f.</b>		
Buffer I-J: SFA (Group 2)	Community Uses (Group 5)	None											
Buffer J-A: SFA (Group 2)	Community Uses (Group 5)	None											

1. The mixed use Planned Residential Community promotes physical, social and economic connectivity throughout the development therefore there are no internal transitional screen yards. Refer to Waivers / Modifications request F on this sheet.  
2. Buildings O and N may have various potential uses including Office, Retail, Quick Service Food Store, Fast Food or Restaurants. Buffer G-H includes a SFA use in Building M. The more stringent transitional screen yard and barrier have been listed as required per Z.O. 13-302.3.  
3. The main site entrance is located within this transitional screen yard and has been deducted from the transitional screen yard length.  
4. In lieu of the required 75% 10-year canopy cover, the landscaping provided will be as shown on the Landscape Plan, sheet 28. Provided quantities are noted in the table above.  
5. Required plant material computations shown reflect the required 75% canopy coverage and assumes plant material required would provide a bio-diverse mixture of trees and shrubs in conformance with Z.O. Sec. 13-303.3.

**REQUESTED WAIVERS / MODIFICATIONS:**

Transitional Screening Requirements [Z.O. 13-303]  
Refer to Key Plan on this sheet for buffer tags noted in narrative

- A.** The applicant requests a modification of Zoning Ordinance 13-303 of a transitional screen yard and barrier requirements along Buffer F-G. The land between the building and the property line has been specifically designed to minimize adverse impact through a combination of architectural and landscaping techniques pursuant to Zoning Ordinance 13-305.3. In lieu of the required transitional screen yard and barrier the applicant shall provide:
- A screen yard that varies in width from 6'-35' wide, which includes planting area and sidewalk.
  - A bio-diverse mixture of deciduous trees, evergreen trees and shrubs.
  - A 6' high solid wood fence consistent with 13-304.4.F
- B.** The applicant requests a modification of Zoning Ordinance 13-303 of a transitional screen yard and barrier requirements along Buffer G-H pursuant to Zoning Ordinance 13-305.3. In lieu of the required transitional screen yard and barrier the applicant shall provide:
- A screen yard that varies in width from 2'-20' wide.
  - A bio-diverse mixture of deciduous trees, evergreen trees and shrubs.
  - An entrance plaza as shown on sheet 31
- C.** The applicant requests a modification of Zoning Ordinance 13-303 of a transitional screen yard and barrier requirement along Buffer H-I. The adjoining land is designated in the Fairfax County Tax Records (Map# 0183 04 0006B) for a use (Vacant Land, non-buildable) which would not require the provision of transitional screening between the applicant and the adjoining property pursuant to Zoning Ordinance 13-305.5. The applicant shall provide:
- A bio-diverse mixture of deciduous trees and evergreen shrubs.
- D.** The applicant requests to deviate the Tree Preservation Target requirements for the subject property. The deviation request is based on the following two allowable deviation conditions as outlined in the Fairfax County Public Facilities Manual (PFM):
- 12-0508.3a(1) - where meeting Tree Preservation Target would preclude the development of uses or densities otherwise allowed by the Zoning Ordinance
  - 12-508.3A(3) - where construction activities could be reasonably expected to impact existing trees or forested areas used to meet the Tree Preservation Target to the extent these would not likely survive in a healthy and structurally sound manner of a minimum 10-years in accordance with the post-development standards for trees and forested areas provided in PFM 12-0403 and 12-404.
- Pursuant to PFM 12-0512.1A and PFM 12-0512.3, the applicant shall make a contribution to the Tree Preservation and Planting Fund using the pro-rata tree canopy cost per PFM 12-0513.3B, refer to computations on this sheet.
- E.** The applicant requests a modification of Zoning Ordinance 13-303 of a transitional screen yard and barrier requirements along Buffer E-F pursuant to Zoning Ordinance 13-305.3. The existing building is to remain and will be renovated to enhance the functionality and appearance with significant revisions to the east and south elevations. The west elevation will remain though the new building addition will be visible. There are no proposed revisions to the north elevation as the existing relationship of building to the adjacent property is unchanged. The existing building (north elevation) and parking areas to remain are immediately adjacent to the property line and provide limited viable planting areas for additional plant material. The 3 existing trees on adjacent property are to remain. In lieu of the required transitional screen yard and barrier, the applicant is renovating the existing building facade to minimize adverse impacts through architectural techniques and an evergreen hedgerow.
- F.** The applicant requests a waiver of Zoning Ordinance 13-303 of a transitional screen yard and barrier between all internal uses. The proposed PRC development uses a combination of landscaping, pedestrian connectivity and building arrangements to create compatibility between uses pursuant to Zoning Ordinance 13-305.1.

Benefit Trees - PFM 12-0510.4B									
Qty.	Botanical Name	Common Name	Size	Type	Remarks	10 Yr. Canopy Coverage (s.f.)	10 Yr. Canopy Credit (Qty. x 10 yr.)	Multiplier	Total 10 Yr. Canopy Credit (10 Yr. Canopy Credit x Multiplier)
<b>Cat. IV Deciduous Trees - Energy Conservation (PFM 12-0510.4B(2))</b>									
2	Quercus prinus	Chestnut Oak	3" Cal.	B & B	Uniform branching pattern	250	500	1.50	750
<b>Cat. IV Deciduous Trees - Wildlife Benefits (PFM 12-0510.4B(4))</b>									
12	Fagus americana	American Beech	3" Cal.	B & B	Uniform branching pattern	250	3000	1.50	4,500
	Liriodendron tulipifera	Tulip Poplar	3" Cal.	B & B	Uniform branching pattern	250			
	Quercus rubra 'Borealis'	Borealis Red Oak	3" Cal.	B & B	Uniform branching pattern	250			
<b>Cat. IV Deciduous Trees - Improved Cultivars (PFM 12-0510.4B(6))</b>									
10	Platanus acerifolia 'Bloodgood'	Bloodgood London Planetree	3" Cal.	B & B	Uniform branching pattern	250	2500	1.50	3,750
	Ulmus americana 'Valley Forge'	American Elm 'Valley Forge'	3" Cal.	B & B	Uniform branching pattern	250			
<b>Cat. III Deciduous Trees - Wildlife Benefits (PFM 12-0510.4B(4))</b>									
3	Betula nigra 'Heritage'	Heritage River Birch	3" Cal.	B & B	Uniform branching pattern	175	525	1.50	788
	Nyssa sylvatica	Black Gum	3" Cal.	B & B	Uniform branching pattern	175			
<b>Cat. II Deciduous Trees - Improved Cultivars (PFM 12-0510.4B(6))</b>									
3	Comus florida 'Appalachian Spring'	Appalachian Spring Dogwood	3" Cal.	B & B	Multi-stem, Min. 3 heavy stems	125	375	1.50	563
<b>Subtotal (s.f.)</b>						<b>10,350</b>			
<b>Total (s.f.)</b>						<b>36,075</b>			

Shrubs		
Abelia grandiflora 'Rose Creek'	Rose Creek Abelia	24" ht.
Berberis x gladywensis 'William Penn'	William Penn Barberry	24" ht.
Clethra alnifolia	Sweet Pepperbush	24" ht.
Forsythia x intermedia	Border Forsythia	24" ht.
Ilex comuta 'Dwarf Burford'	Dwarf Burford Holly	24" ht.
Ilex glabra	Inkberry	24" ht.
Ilex verticillata	Winterberry	24" ht.
Ilex vomitoria 'Nana'	Dwarf Yaupon Holly	24" ht.
Myrica carifera 'Moyelia'	Small Wax Myrtle	24" ht.
Prunus laurocerasus 'Otto Luyken'	Otto Luyken Cherry Laurel	24" ht.
Rhododendron Nova Zembla	Hybrid Rhododendron	24" ht.
Rosa x 'Knockout'	Knockout Rose	24" ht.
Viburnum dentatum	Arowood Viburnum	24" ht.
Viburnum plicatum car. tomentosum	Marie's Doublefile Viburnum	24" ht.
Itea virginica 'Henry's Gamet'	Virginia Sweetpire	24" ht.

**NOTES:**

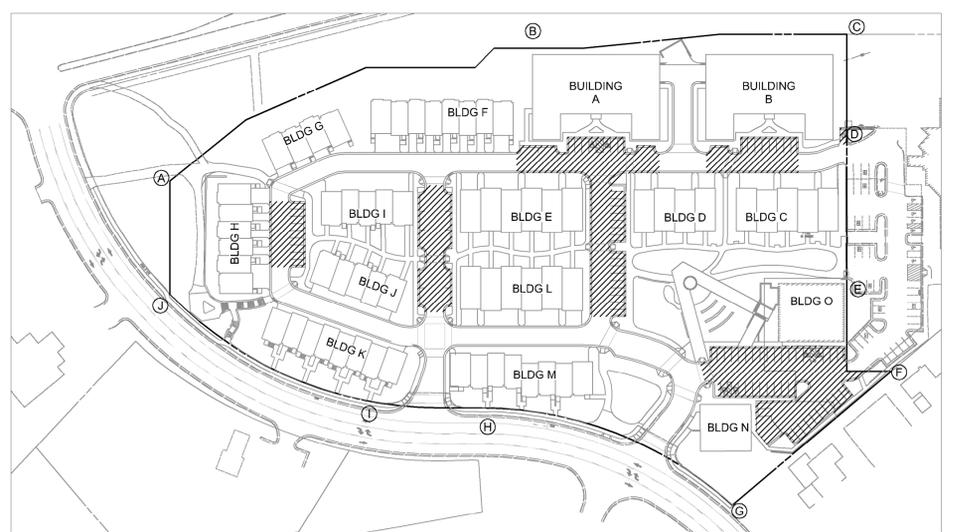
- PLANT SPECIES ARE SUBJECT TO CHANGE WITH FINAL DESIGN AND ENGINEERING. SPECIES SHOWN ARE INTENDED TO DESCRIBE THE GENERAL NATURE AND BIODIVERSITY OF PLANT MATERIAL TO BE UTILIZED THROUGHOUT THE SITE. ALL LANDSCAPE PROVIDED SHALL BE REGIONALLY ADAPTED AND WILL INCLUDE SPECIES NATIVE TO THE MIDDLE ATLANTIC REGION TO THE EXTENT FEASIBLE. ALL PLANT MATERIAL WILL BE NON-INVASIVE AS DETERMINED BY THE VIRGINIA DEPARTMENT OF CONSERVATION AND RECREATION NATIVE PLANT FINDER.
- IN ACCORDANCE WITH PFM 12-0510.4B, ADDITIONAL TREE CANOPY CREDITS ARE ASSUMED FOR TREES THAT WILL PROVIDE SPECIFIC ENVIRONMENTAL AND ECOLOGICAL BENEFITS AND / OR ARE RESISTANT TO DISEASES, PESTS, DECAY AND THE NEGATIVE IMPACTS IMPOSED BY HARSH ENVIRONMENTAL CONDITIONS.

TREE PRESERVATION TARGET CALCULATIONS	
Gross Site Area (s.f.)	325,336
Pre-Development Area of Existing Tree Canopy (s.f.)	43,611
Percentage of Gross Site Area Covered by Existing Tree Canopy	13.4%
<b>Tree Preservation Target</b>	
10-Year Tree Canopy Requirement Percentage (per PFM Table 12.4)	10%
10-Year Tree Canopy Required (s.f.) (See "Overall 10-Year Tree Canopy Calculations" Table)	32,534
Percentage of the 10-Year Tree Canopy Requirement that Should be Met Through Tree Preservation (This is the "Tree Preservation Target")	13.4%
Area of the 10-Year Tree Canopy Requirement that Should be Met Through Tree Preservation (s.f.)	4,360
Area of the 10-Year Tree Canopy Requirement that Will be Met Through Tree Preservation (s.f.) (See "Tree Preservation Calculations" Table)	1,937
Proposed Percentage of 10-Year Tree Canopy Requirement that Will be Met Through Tree Preservation	6%
<b>Amount to be deposited into the Tree Preservation and Planting Fund (PFM 12-0512.3B)</b>	
TPT Deficiency (s.f.) $\rightarrow 4,360 - 1,937 = 2,423$ s.f. $\times \$300 = \$726,900$	
200 (s.f.) $\rightarrow 200$ s.f. $\times \$300 = \$60,000$	
<b>Contribution to Tree Preservation and Planting Fund</b>	<b>\$3,635</b>

TREE PRESERVATION CALCULATIONS				
Tree Preservation Target (%)		13.4%		
Tree Preservation Target (s.f.)		4,360		
<b>Tree Preservation:</b>				
Tree Preservation Areas	Cover Type	S.F.	Credit Factor	Total
Tree Save Area 1	Upland Forest	1,937	1.00	1,937
<b>Total Tree Preservation Provided (s.f.)</b>				<b>1,937</b>

10-YEAR TREE CANOPY REQUIREMENT CALCULATIONS		
Gross Site Area (s.f.)		325,336
Zone: PRC	Use: Single family Attached Multifamily Retail Office	Quick Service Food Store Restaurant Fast-Food
Tree Canopy Required (s.f.)	10%	32,534
<b>10-YEAR TREE CANOPY PROVIDED</b>		
Total Canopy Area Provided Through Tree Preservation (s.f.)		1,937
Total Proposed Canopy Area Provided (s.f.)		36,075
Total Tree Canopy Provided (s.f.)		38,012

INTERIOR PARKING LANDSCAPING	
Area to be Counted (s.f.)	38,700
Interior Landscaping Required (s.f.)(5%)	1,935
Total Shade Tree Cover Provided (s.f.):	2,000
8 Trees @	250 s.f. each



TRANSITIONAL SCREEN YARD / INTERIOR PARKING AREA KEY PLAN  
SCALE: 1" = 100'-0"

**Kimley»Horn**  
Kimley-Horn and Associates, Inc.  
Engineering, Planning and Environmental Consultants  
11400 Commerce Park Drive  
Suite 400  
Reston, VA 20191  
Phone: 703-674-1300  
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www.kimley-horn.com

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Seal  
COMMONWEALTH OF VIRGINIA  
Adam J. Steiner  
Lic. No. 1237  
04/20/2016  
LANDSCAPE ARCHITECT

Client  
Jefferson Apartment Group  
1420 Spring Hill Road  
Suite 420  
McLean, VA 22102

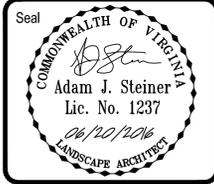
Issues / Revisions		
No.	Description	Date
Initial Submission		09.08.2015
2nd Submission		04.25.2016
3rd Submission		05.15.2016
4th Submission		05.26.2016
5th Submission		06.08.2016
6th Submission		06.20.2016

Project Name  
**TALL OAKS**  
Hunter Mill District  
Fairfax, Virginia

Drawn	Checked	QA/QC
WDW	AJS	
KH Project No. 110431000		
Date June 20, 2016		
Drawing Title		
<b>LANDSCAPE TABULATIONS</b>		
Scale: N/A		
Drawing Number		
<b>35</b>		

K:\NVA\110431000\110431000\_Plan\_Sheets\131000\_LANDSCAPE NOTES AND CALCULATIONS.dwg, Layout: 35 LANDSCAPE TABULATIONS Jun 22, 2016 doris.walker  
XREFS: X\_431000\_TELK\_X\_431000\_Base\_X\_431000\_Plane\_X\_431000\_Survey-CUT  
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**Client**  
 Jefferson Apartment Group  
 1420 Spring Hill Road  
 Suite 420  
 McLean, VA 22102

**Issues / Revisions**

No.	Description	Date
1	Initial Submission	09.08.2015
2	2nd Submission	04.25.2016
3	3rd Submission	05.15.2016
4	4th Submission	05.26.2016
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6	6th Submission	06.20.2016

**Project Name**  
**TALL OAKS**

Hunter Mill District  
 Fairfax, Virginia

Drawn WDW	Checked AJS	QA/QC
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KH Project No. 110431000

Date June 20, 2016

Drawing Title  
**TREE INVENTORY  
 PLAN &  
 CONDITION  
 ANALYSIS**  
 -  
 EXISTING CONDITIONS

Scale: 1"=50'-0"

Drawing Number  
**36**

**TREE INVENTORY & CONDITION ANALYSIS**

TREE NO.	BOTANICAL NAME	COMMON NAME	SIZE	CRZ	STATUS			FIELD CHANGES	COMMENTS	CONDITION RATING
					Preserve	Remove	06.14.2016			
<b>ONSITE TREES</b>										
91	<i>Quercus rubra</i>	Northern Red Oak	21"	21"			X			81.25
93	<i>Acer rubrum</i>	Red Maple	22"	22"			X			75.00
94	<i>Acer rubrum</i>	Red Maple	21"	21"			X			65.63
421	<i>Pinus strobus</i>	White Pine	14"	14"			X			62.50
422	<i>Quercus alba</i>	White Oak	33"	33"			X		Co-dominant	71.88
424	<i>Acer rubrum</i>	Red Maple	12"	12"			X			78.13
428	<i>Quercus prinus</i>	Chestnut Oak	22"	22"			X			75.00
429	<i>Acer rubrum</i>	Red Maple	13"	13"			X		Leaning	65.63
432	<i>Quercus rubra</i>	Northern Red Oak	13"	13"			X		Disease in canopy	21.88
433	<i>Quercus prinus</i>	Chestnut Oak	22"	22"			X			75.00
444	<i>Pinus strobus</i>	White Pine	19"	19"			X			71.88
445	<i>Quercus alba</i>	White Oak	23"	23"			X			71.88
446	<i>Pinus strobus</i>	White Pine	17"	17"			X		Co-dominant	53.13
447	<i>Tsuga canadensis</i>	Eastern Hemlock	15"	15"			X		Co-dominant	56.25
455	<i>Quercus alba</i>	White Oak	15"	15"			X			65.63
457	<i>Acer rubrum</i>	Red Maple	25"	25"			X			68.75
458	<i>Quercus rubra</i>	Northern Red Oak	19"	19"			X			65.63
463	<i>Acer rubrum</i>	Red Maple	23"	23"			X		Co-dominant; Multi-leader	53.13
481	<i>Diospyros virginiana</i>	Persimmon	17"	17"			X			56.25
487	<i>Quercus prinus</i>	Chestnut Oak	36"	36"			X		Co-dominant	59.38
488	<i>Acer rubrum</i>	Red Maple	13"	13"			X		Co-dominant	46.88
495	<i>Quercus prinus</i>	Chestnut Oak	32"	32"			X		Co-dominant	62.50
499	<i>Quercus alba</i>	White Oak	26"	26"			X			78.13
4589	<i>Pinus strobus</i>	White Pine	14"	14"			X			59.38
4590	<i>Pinus strobus</i>	White Pine	21"	21"			X		Lower branch die back	53.13
4591	<i>Pinus strobus</i>	White Pine	17"	17"			X		Lower branch die back	43.75
4593	<i>Acer rubrum</i>	Red Maple	20"	20"			X			71.88
<b>OFFSITE TREES</b>										
92	<i>Quercus rubra</i>	Northern Red Oak	31"	31"			X		Minor canopy die back	62.50
96	<i>Quercus prinus</i>	Chestnut Oak	45"	45"			X		Multi-stem, co-dominant	43.75
98	<i>Pinus strobus</i>	White Pine	20"	20"			X			68.75
99	<i>Acer rubrum</i>	Red Maple	20"	20"			X			62.50
100	<i>Quercus prinus</i>	Chestnut Oak	24"	24"			X			59.38
100A	<i>Quercus alba</i>	White Oak	24"	24"			X		Good Condition	
451	<i>Quercus rubra</i>	Northern Red Oak	21"	21"			X		Multi-stem	59.38
452	<i>Quercus rubra</i>	Northern Red Oak	23"	23"			X		Canopy die back	62.50
454	<i>Quercus rubra</i>	Northern Red Oak	21"	21"			X			68.75
459	<i>Pinus strobus</i>	White Pine	19"	19"			X			75.00
460	<i>Pinus strobus</i>	White Pine	17"	17"			X			62.50
461	<i>Pinus strobus</i>	White Pine	13"	13"			X		Leaning	53.13
462	<i>Quercus alba</i>	White Oak	23"	23"			X			78.13
464	<i>Quercus rubra</i>	Northern Red Oak	21"	21"			X		Large trunk wound	43.75
465	<i>Quercus prinus</i>	Chestnut Oak	15"	15"			X			56.25
465A	<i>Quercus rubra</i>	Red Oak	22"	22"			X		Good Condition	
466	<i>Quercus prinus</i>	Chestnut Oak	22"	22"			X		Minor canopy die back	62.50
467	<i>Quercus alba</i>	White Oak	15"	15"			X			75.00
468	<i>Quercus prinus</i>	Chestnut Oak	21"	21"			X			50.00
469	<i>Quercus prinus</i>	Chestnut Oak	22"	22"			X			71.88
470	<i>Quercus rubra</i>	Red Oak	14"	14"			X		Significant Lean	65.63
471	<i>Quercus prinus</i>	Chestnut Oak	28"	28"			X		Co-dominant	53.13
472	<i>Quercus alba</i>	White Oak	20"	20"			X			81.25
473	<i>Quercus prinus</i>	Chestnut Oak	31"	31"			X		Co-dominant; Canopy die back	62.50
474	<i>Pinus strobus</i>	White Pine	21"	21"			X			78.13
474A	<i>Quercus alba</i>	White Oak	14"	14"			X		Good Condition	
475	<i>Quercus alba</i>	White Oak	19"	19"			X			65.63
476	<i>Quercus alba</i>	White Oak	16"	16"			X			59.38
477	<i>Quercus rubra</i>	Northern Red Oak	13"	13"			X			53.13
478	<i>Quercus alba</i>	White Oak	24"	24"			X			68.75
479	<i>Pinus virginiana</i>	Virginia Pine	13"	13"			X			50.00
480	<i>Quercus prinus</i>	Chestnut Oak	41"	41"			X		Co-dominant; Central leader topped	34.38
480A	<i>Quercus alba</i>	White Oak	24"	24"			X		Good Condition	
482	<i>Quercus prinus</i>	Chestnut Oak	43"	43"			X		Multi-stem	59.38
485	<i>Quercus rubra</i>	Northern Red Oak	25"	25"			X		Leader removed	37.50
489	<i>Quercus rubra</i>	Northern Red Oak	14"	14"			X		Split trunk	16.75
491	<i>Quercus rubra</i>	Northern Red Oak	17"	17"			X		Canopy die back	37.50
491A	<i>Quercus prinus</i>	Chestnut Oak	14"	14"			X		Fair Condition	
493	<i>Quercus rubra</i>	Northern Red Oak	20"	20"			X		Dead	
494	<i>Quercus alba</i>	White Oak	21"	21"			X		Co-dominant	62.50

**NOTES:**  
 1. INITIAL DATA COLLECTED BY URBAN, LTD. ON FEBRUARY 5, 2016. ISA CERTIFIED ARBORIST JOHN LIGHTLE, PH. 703-642-3206  
 2. ADDITIONAL DATA COLLECTED DURING SITE OBSERVATION ON JUNE 14, 2016. ATTENDEES INCLUDED ADAM STEINER, PLA, CLAUDIA THOMPSON-DEAHL, CERTIFIED ARBORIST & THREE (3) RESTON ASSOCIATION ARBORISTS

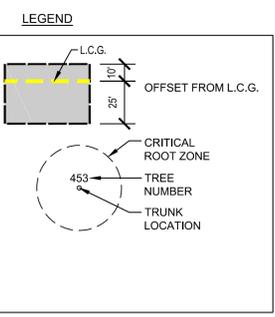


**OFFSITE TREES KEY**

PRESERVE	REMOVE	DESCRIPTION
X	Red circle	TREES >40% CRZ IMPACT
X	Red circle with dot	TREES >40% CRZ IMPACT (CONDITION RATING <40)
X	Orange circle	LARGE TREES <40% CRZ IMPACT
X	Orange circle with dot	LARGE TREES <40% CRZ IMPACT (CONDITION RATING <40)
X	Blue circle	TREES WITH LIMITED OR NO CRZ IMPACT

**ONSITE TREES KEY**

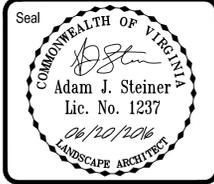
PRESERVE	REMOVE	DESCRIPTION
X	White circle	TREES >40% CRZ IMPACT
X	Purple circle	LARGE TREES >40% CRZ IMPACT
X	Green circle	TREES <40% CRZ IMPACT



K:\NVA\_LALP\110431000 Tall Oaks PRC\CAD\Exhibits\Tree Inventory\Tree Inventory Exhibit.dwg - Layout:36 TREE INVENTORY PLAN & CONDITION ANALYSIS - EX. CONDITIONS Jun 20, 2016 davis.walker  
 XREFS: 00-VBASE\_x\_431000\_Survey-CUT\_x\_431000\_Base\_x\_431000\_Bulk\_x\_431000\_Bulk  
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5th Submission		06.08.2016
6th Submission		06.20.2016

Project Name  
**TALL OAKS**

Hunter Mill District  
 Fairfax, Virginia

Drawn WDW	Checked AJS	QA/QC
--------------	----------------	-------

KH Project No. 110431000

Date June 20, 2016

Drawing Title

**TREE INVENTORY PLAN & CONDITION ANALYSIS**

PROPOSED CONDITIONS

Scale: 1"=50'-0"

Drawing Number

**TREE INVENTORY & CONDITION ANALYSIS**

TREE NO.	BOTANICAL NAME	COMMON NAME	SIZE	CRZ	STATUS		FIELD CHANGES	COMMENTS	CONDITION RATING
					Preserve	Remove			
ONSITE TREES									
			DBH (in)	R (ft.)			06.14.2016		%
91	Quercus rubra	Northern Red Oak	21"	21'		X			81.25
93	Acer rubrum	Red Maple	22"	22'		X			75.00
94	Acer rubrum	Red Maple	21"	21'		X			65.63
421	Pinus strobus	White Pine	14"	14'		X			62.50
422	Quercus alba	White Oak	33"	33'		X		Co-dominant	71.88
424	Acer rubrum	Red Maple	12"	12'		X			78.13
428	Quercus prinus	Chestnut Oak	22"	22'		X			75.00
429	Acer rubrum	Red Maple	13"	13'		X		Leaning	65.63
432	Quercus rubra	Northern Red Oak	13"	13'		X		Disease in canopy	21.88
433	Quercus prinus	Chestnut Oak	22"	22'		X			75.00
444	Pinus strobus	White Pine	19"	19'		X			71.88
445	Quercus alba	White Oak	23"	23'		X			71.88
446	Pinus strobus	White Pine	17"	17'		X		Co-dominant	53.13
447	Tsuga canadensis	Eastern Hemlock	15"	15'		X		Co-dominant	56.25
455	Quercus alba	White Oak	15"	15'		X			65.63
457	Acer rubrum	Red Maple	25"	25'		X			68.75
458	Quercus rubra	Northern Red Oak	19"	19'		X			65.63
463	Acer rubrum	Red Maple	23"	23'		X		Co-dominant; Multi-leader	53.13
481	Diospyros virginiana	Persimmon	17"	17'		X			56.25
487	Quercus prinus	Chestnut Oak	36"	36'		X		Co-dominant	59.38
488	Acer rubrum	Red Maple	13"	13'		X		Co-dominant	46.88
495	Quercus prinus	Chestnut Oak	32"	32'		X		Co-dominant	62.50
499	Quercus alba	White Oak	26"	26'		X			78.13
4589	Pinus strobus	White Pine	14"	14'		X			59.38
4590	Pinus strobus	White Pine	21"	21'		X		Lower branch die back	53.13
4591	Pinus strobus	White Pine	17"	17'		X		Lower branch die back	43.75
4593	Acer rubrum	Red Maple	20"	20'		X			71.88
OFFSITE TREES									
92	Quercus rubra	Northern Red Oak	31"	31'		X		Minor canopy die back	62.50
96	Quercus prinus	Chestnut Oak	45"	45'		X		Multi-stem, co-dominant	43.75
98	Quercus prinus	Chestnut Oak	20"	20'		X			68.75
99	Acer rubrum	Red Maple	20"	20'		X			62.50
100	Quercus prinus	Chestnut Oak	24"	24'		X			59.38
100A	Quercus alba	White Oak	24"	24'		X		Good Condition	
451	Quercus rubra	Northern Red Oak	21"	21'		X		Multi-stem	59.38
452	Quercus rubra	Northern Red Oak	23"	23'		X		Canopy die back	62.50
454	Quercus rubra	Northern Red Oak	21"	21'		X			68.75
459	Pinus strobus	White Pine	19"	19'		X			75.00
460	Pinus strobus	White Pine	17"	17'		X			62.50
461	Pinus strobus	White Pine	13"	13'		X		Leaning	53.13
462	Quercus alba	White Oak	23"	23'		X			78.13
464	Quercus rubra	Northern Red Oak	21"	21'		X		Large trunk wound	43.75
465	Quercus prinus	Chestnut Oak	15"	15'		X			56.25
465A	Quercus rubra	Red Oak	22"	22'		X		Good Condition	
466	Quercus prinus	Chestnut Oak	22"	22'		X		Minor canopy die back	62.50
467	Quercus alba	White Oak	15"	15'		X			75.00
468	Quercus prinus	Chestnut Oak	21"	21'		X			50.00
469	Quercus prinus	Chestnut Oak	22"	22'		X			71.88
470	Quercus rubra	Red Oak	14"	14'		X		Significant Lean	65.63
471	Quercus prinus	Chestnut Oak	28"	28'		X		Co-dominant	53.13
472	Quercus alba	White Oak	20"	20'		X			81.25
473	Quercus prinus	Chestnut Oak	31"	31'		X		Co-dominant; Canopy die back	62.50
474	Pinus strobus	White Pine	21"	21'		X			78.13
474A	Quercus alba	White Oak	14"	14'		X		Good Condition	
475	Quercus alba	White Oak	19"	19'		X			65.63
476	Quercus alba	White Oak	16"	16'		X			59.38
477	Quercus rubra	Northern Red Oak	13"	13'		X			53.13
478	Quercus alba	White Oak	24"	24'		X			68.75
479	Pinus virginiana	Virginia Pine	13"	13'		X			50.00
480	Quercus prinus	Chestnut Oak	41"	41'		X		Co-dominant; Central leader topped	34.38
480A	Quercus alba	White Oak	24"	24'		X		Good Condition	
482	Quercus prinus	Chestnut Oak	43"	43'		X		Multi-stem	59.38
485	Quercus rubra	Northern Red Oak	25"	25'		X		Leader removed	37.50
489	Quercus rubra	Northern Red Oak	14"	14'		X		Split trunk	16.75
491	Quercus rubra	Northern Red Oak	17"	17'		X		Canopy die back	37.50
491A	Quercus prinus	Chestnut Oak	14"	14'		X		Fair Condition	
493	Quercus rubra	Northern Red Oak	20"	20'		X		Dead	
494	Quercus alba	White Oak	21"	21'		X		Co-dominant	62.50

NOTES:  
 1. INITIAL DATA COLLECTED BY URBAN, LTD. ON FEBRUARY 5, 2016. ISA CERTIFIED ARBORIST JOHN LIGHTLE, PH. 703-642-2306  
 2. ADDITIONAL DATA COLLECTED DURING SITE OBSERVATION ON JUNE 14, 2016. ATTENDEES INCLUDED ADAM STEINER, PLA, CLAUDIA THOMPSON-DEAHL, CERTIFIED ARBORIST & THREE (3) RESTON ASSOCIATION ARBORISTS

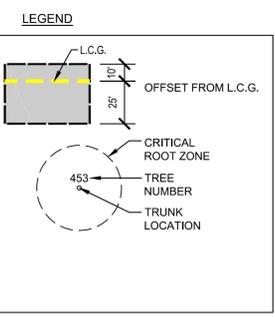


**OFFSITE TREES KEY**

PRESERVE	REMOVE	DESCRIPTION
X	Red circle	TREES >40% CRZ IMPACT
X	Red circle with dot	TREES >40% CRZ IMPACT (CONDITION RATING <40)
X	Orange circle	LARGE TREES <40% CRZ IMPACT
X	Orange circle with dot	LARGE TREES <40% CRZ IMPACT (CONDITION RATING <40)
X	Blue circle	TREES WITH LIMITED OR NO CRZ IMPACT

**ONSITE TREES KEY**

PRESERVE	REMOVE	DESCRIPTION
X	White circle	TREES >40% CRZ IMPACT
X	Purple circle	LARGE TREES >40% CRZ IMPACT
X	Green circle	TREES <40% CRZ IMPACT



K:\NVA\_LALP\110431000 Tall Oaks PRC\CAD\Exhibits\Tree Inventory\Tree Inventory Exhibit.dwg - Jun 20, 2016 - davis.walker  
 XREFS: 00-MBASE\_x\_431000\_Survey-QUI\_x\_431000\_Base\_x\_431000\_Blk\_x\_431000\_Blk  
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Seal

Client  
 Jefferson Apartment Group  
 1420 Spring Hill Road  
 Suite 420  
 McLean, VA 22102

Issues / Revisions

No.	Description	Date
1	Initial Submission	09.08.2015
2	2nd Submission	04.25.2016
3	3rd Submission	05.15.2016
4	4th Submission	05.26.2016
5	5th Submission	06.08.2016
	Draft	06.17.2016

Project Name  
**TALL OAKS**

Hunter Mill District  
 Fairfax, Virginia

Drawn WDW	Checked AJS	QA/QC
--------------	----------------	-------

KH Project No. 110431000

Date June 17, 2016

Drawing Title  
**TREE INVENTORY PLAN & CONDITION ANALYSIS**  
 -  
 EXISTING CONDITIONS

Scale: 1"=50'-0"

Drawing Number

**36**

TREE INVENTORY & CONDITION ANALYSIS										
TREE NO.	BOTANICAL NAME	COMMON NAME	SIZE	CRZ	STATUS			FIELD CHANGES	COMMENTS	CONDITION RATING
					Preserve	Remove	06.14.2016			
<b>ONSITE TREES</b>										
91	<i>Quercus rubra</i>	Northern Red Oak	21"	21"			X			81.25
93	<i>Acer rubrum</i>	Red Maple	22"	22"			X			75.00
94	<i>Acer rubrum</i>	Red Maple	21"	21"			X			65.63
421	<i>Pinus strobus</i>	White Pine	14"	14"			X			62.50
422	<i>Quercus alba</i>	White Oak	33"	33"			X		Co-dominant	71.88
424	<i>Acer rubrum</i>	Red Maple	12"	12"			X			78.13
428	<i>Quercus prinus</i>	Chestnut Oak	22"	22"			X			75.00
429	<i>Acer rubrum</i>	Red Maple	13"	13"			X		Leaning	65.63
432	<i>Quercus rubra</i>	Northern Red Oak	13"	13"			X		Disease in canopy	21.88
433	<i>Quercus prinus</i>	Chestnut Oak	22"	22"			X			75.00
444	<i>Pinus strobus</i>	White Pine	19"	19"			X			71.88
445	<i>Quercus alba</i>	White Oak	23"	23"			X			71.88
446	<i>Pinus strobus</i>	White Pine	17"	17"			X		Co-dominant	53.13
447	<i>Tsuga canadensis</i>	Eastern Hemlock	15"	15"			X		Co-dominant	56.25
455	<i>Quercus alba</i>	White Oak	15"	15"			X			65.63
457	<i>Acer rubrum</i>	Red Maple	25"	25"			X			68.75
458	<i>Quercus rubra</i>	Northern Red Oak	19"	19"			X			65.63
463	<i>Acer rubrum</i>	Red Maple	23"	23"			X		Co-dominant; Multi-leader	53.13
481	<i>Diospyros virginiana</i>	Persimmon	17"	17"			X			56.25
487	<i>Quercus prinus</i>	Chestnut Oak	36"	36"			X		Co-dominant	59.38
488	<i>Acer rubrum</i>	Red Maple	13"	13"			X		Co-dominant	46.88
495	<i>Quercus prinus</i>	Chestnut Oak	32"	32"			X		Co-dominant	62.50
499	<i>Quercus alba</i>	White Oak	26"	26"			X			78.13
4589	<i>Pinus strobus</i>	White Pine	14"	14"			X			59.38
4590	<i>Pinus strobus</i>	White Pine	21"	21"			X		Lower branch die back	53.13
4591	<i>Pinus strobus</i>	White Pine	17"	17"			X		Lower branch die back	43.75
4593	<i>Acer rubrum</i>	Red Maple	20"	20"			X			71.88
<b>OFFSITE TREES</b>										
92	<i>Quercus rubra</i>	Northern Red Oak	31"	31"			X		Minor canopy die back	62.50
96	<i>Quercus prinus</i>	Chestnut Oak	45"	45"			X		Multi-stem, co-dominant	43.75
98	<i>Pinus strobus</i>	White Pine	20"	20"			X			68.75
99	<i>Acer rubrum</i>	Red Maple	20"	20"			X			62.50
100	<i>Quercus prinus</i>	Chestnut Oak	24"	24"			X			59.38
100A	<i>Quercus alba</i>	White Oak	24"	24"			X		Good Condition	
451	<i>Quercus rubra</i>	Northern Red Oak	21"	21"			X		Multi-stem	59.38
452	<i>Quercus rubra</i>	Northern Red Oak	23"	23"			X		Canopy die back	62.50
454	<i>Quercus rubra</i>	Northern Red Oak	21"	21"			X			68.75
459	<i>Pinus strobus</i>	White Pine	19"	19"			X			75.00
460	<i>Pinus strobus</i>	White Pine	17"	17"			X			62.50
461	<i>Pinus strobus</i>	White Pine	13"	13"			X		Leaning	53.13
462	<i>Quercus alba</i>	White Oak	23"	23"			X			78.13
464	<i>Quercus rubra</i>	Northern Red Oak	21"	21"			X		Large trunk wound	43.75
465	<i>Quercus prinus</i>	Chestnut Oak	15"	15"			X			56.25
465A	<i>Quercus rubra</i>	Red Oak	22"	22"			X		Good Condition	
466	<i>Quercus prinus</i>	Chestnut Oak	22"	22"			X		Minor canopy die back	62.50
467	<i>Quercus alba</i>	White Oak	15"	15"			X			75.00
468	<i>Quercus prinus</i>	Chestnut Oak	21"	21"			X			50.00
469	<i>Quercus prinus</i>	Chestnut Oak	22"	22"			X			71.88
470	<i>Quercus rubra</i>	Red Oak	14"	14"			X		Significant Lean	65.63
471	<i>Quercus prinus</i>	Chestnut Oak	28"	28"			X		Co-dominant	53.13
472	<i>Quercus alba</i>	White Oak	20"	20"			X			81.25
473	<i>Quercus prinus</i>	Chestnut Oak	31"	31"			X		Co-dominant; Canopy die back	62.50
474	<i>Pinus strobus</i>	White Pine	21"	21"			X			78.13
474A	<i>Quercus alba</i>	White Oak	14"	14"			X		Good Condition	
475	<i>Quercus alba</i>	White Oak	19"	19"			X			65.63
476	<i>Quercus alba</i>	White Oak	16"	16"			X			59.38
477	<i>Quercus rubra</i>	Northern Red Oak	13"	13"			X			53.13
478	<i>Quercus alba</i>	White Oak	24"	24"			X			68.75
479	<i>Pinus virginiana</i>	Virginia Pine	13"	13"			X			50.00
480	<i>Quercus prinus</i>	Chestnut Oak	41"	41"			X		Co-dominant; Central leader topped	34.38
480A	<i>Quercus alba</i>	White Oak	24"	24"			X		Good Condition	
482	<i>Quercus prinus</i>	Chestnut Oak	43"	43"			X		Multi-stem	59.38
485	<i>Quercus rubra</i>	Northern Red Oak	25"	25"			X		Leader removed	37.50
489	<i>Quercus rubra</i>	Northern Red Oak	14"	14"			X		Split trunk	16.75
491	<i>Quercus rubra</i>	Northern Red Oak	17"	17"			X		Canopy die back	37.50
491A	<i>Quercus prinus</i>	Chestnut Oak	14"	14"			X		Fair Condition	
493	<i>Quercus rubra</i>	Northern Red Oak	20"	20"			X		Dead	
494	<i>Quercus alba</i>	White Oak	21"	21"			X		Co-dominant	62.50

NOTES:  
 1. INITIAL DATA COLLECTED BY URBAN, LTD. ON FEBRUARY 5, 2016. ISA CERTIFIED ARBORIST JOHN LIGHTLE, PH. 703-642-2306  
 2. ADDITIONAL DATA COLLECTED DURING SITE OBSERVATION ON JUNE 14, 2016. ATTENDEES INCLUDED ADAM STEINER, PL, CLAUDIA THOMPSON-DEAHL, CERTIFIED ARBORIST & THREE (3) RESTON ASSOCIATION ARBORISTS

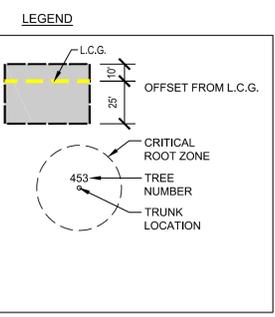


**OFFSITE TREES KEY**

PRESERVE	REMOVE	DESCRIPTION
X	Red circle	TREES >40% CRZ IMPACT
X	Red circle with dot	TREES >40% CRZ IMPACT (CONDITION RATING <40)
X	Orange circle	LARGE TREES <40% CRZ IMPACT
X	Orange circle with dot	LARGE TREES <40% CRZ IMPACT (CONDITION RATING <40)
X	Blue circle	TREES WITH LIMITED OR NO CRZ IMPACT

**ONSITE TREES KEY**

PRESERVE	REMOVE	DESCRIPTION
X	White circle	TREES >40% CRZ IMPACT
X	Purple circle	LARGE TREES >40% CRZ IMPACT
X	Green circle	TREES <40% CRZ IMPACT



K:\NVA\_LALP\110431000 Tall Oaks PRC\CAD\Exhibits\Tree Inventory\Tree Inventory Exhibit.dwg Layout:36 TREE INVENTORY PLAN & CONDITION ANALYSIS - EX. CONDITIONS Jun 17, 2016 davis.walker  
 XREFS: 00-VBASE\_x\_431000\_Survey-QUI\_x\_431000\_Base\_x\_431000\_Bldg\_x\_431000\_BLK  
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Seal

Client  
 Jefferson Apartment Group  
 1420 Spring Hill Road  
 Suite 420  
 McLean, VA 22102

Issues / Revisions

No.	Description	Date
Initial Submission		09.08.2015
2nd Submission		04.25.2016
3rd Submission		05.15.2016
4th Submission		05.26.2016
5th Submission		06.08.2016
Draft		06.17.2016

Project Name  
**TALL OAKS**  
 Hunter Mill District  
 Fairfax, Virginia

Drawn WDW	Checked AJS	QA/QC
KH Project No. 110431000		
Date June 17, 2016		
Drawing Title <b>TREE INVENTORY PLAN &amp; CONDITION ANALYSIS</b>		
PROPOSED CONDITIONS		
Scale: 1"=50'-0"		
Drawing Number <b>37</b>		

TREE INVENTORY & CONDITION ANALYSIS									
TREE NO.	BOTANICAL NAME	COMMON NAME	SIZE	CRZ	STATUS		FIELD CHANGES	COMMENTS	CONDITION RATING
					Preserve	Remove			
ONSITE TREES									
			DBH (in)	R (ft.)			06.14.2016		%
91	<i>Quercus rubra</i>	Northern Red Oak	21"	21'		X			81.25
93	<i>Acer rubrum</i>	Red Maple	22"	22'		X			75.00
94	<i>Acer rubrum</i>	Red Maple	21"	21'		X			65.63
421	<i>Pinus strobus</i>	White Pine	14"	14'		X			62.50
422	<i>Quercus alba</i>	White Oak	33"	33'		X		Co-dominant	71.88
424	<i>Acer rubrum</i>	Red Maple	12"	12'		X			78.13
428	<i>Quercus prinus</i>	Chestnut Oak	22"	22'		X			75.00
429	<i>Acer rubrum</i>	Red Maple	13"	13'		X		Leaning	65.63
432	<i>Quercus rubra</i>	Northern Red Oak	13"	13'		X		Disease in canopy	21.88
433	<i>Quercus prinus</i>	Chestnut Oak	22"	22'		X			75.00
444	<i>Pinus strobus</i>	White Pine	19"	19'		X			71.88
445	<i>Quercus alba</i>	White Oak	23"	23'		X			71.88
446	<i>Pinus strobus</i>	White Pine	17"	17'		X		Co-dominant	53.13
447	<i>Tsuga canadensis</i>	Eastern Hemlock	15"	15'		X		Co-dominant	56.25
455	<i>Quercus alba</i>	White Oak	15"	15'		X			65.63
457	<i>Acer rubrum</i>	Red Maple	25"	25'		X			68.75
458	<i>Quercus rubra</i>	Northern Red Oak	19"	19'		X			65.63
463	<i>Acer rubrum</i>	Red Maple	23"	23'		X		Co-dominant; Multi-leader	53.13
481	<i>Diospyros virginiana</i>	Persimmon	17"	17'		X			56.25
487	<i>Quercus prinus</i>	Chestnut Oak	36"	36'		X		Co-dominant	59.38
488	<i>Acer rubrum</i>	Red Maple	13"	13'		X		Co-dominant	46.88
495	<i>Quercus prinus</i>	Chestnut Oak	32"	32'		X		Co-dominant	62.50
499	<i>Quercus alba</i>	White Oak	26"	26'		X			78.13
4589	<i>Pinus strobus</i>	White Pine	14"	14'		X			59.38
4590	<i>Pinus strobus</i>	White Pine	21"	21'		X		Lower branch die back	53.13
4591	<i>Pinus strobus</i>	White Pine	17"	17'		X		Lower branch die back	43.75
4593	<i>Acer rubrum</i>	Red Maple	20"	20'		X			71.88
OFFSITE TREES									
92	<i>Quercus rubra</i>	Northern Red Oak	31"	31'		X		Minor canopy die back	62.50
96	<i>Quercus prinus</i>	Chestnut Oak	45"	45'		X		Multi-stem, co-dominant	43.75
98	<i>Quercus prinus</i>	Chestnut Oak	20"	20'		X			68.75
99	<i>Acer rubrum</i>	Red Maple	20"	20'		X			62.50
100	<i>Quercus prinus</i>	Chestnut Oak	24"	24'		X			59.38
100A	<i>Quercus alba</i>	White Oak	24"	24'		X		Good Condition	
451	<i>Quercus rubra</i>	Northern Red Oak	21"	21'		X		Multi-stem	59.38
452	<i>Quercus rubra</i>	Northern Red Oak	23"	23'		X		Canopy die back	62.50
454	<i>Quercus rubra</i>	Northern Red Oak	21"	21'		X			68.75
459	<i>Pinus strobus</i>	White Pine	19"	19'		X			75.00
460	<i>Pinus strobus</i>	White Pine	17"	17'		X			62.50
461	<i>Pinus strobus</i>	White Pine	13"	13'		X		Leaning	53.13
462	<i>Quercus alba</i>	White Oak	23"	23'		X			78.13
464	<i>Quercus rubra</i>	Northern Red Oak	21"	21'		X		Large trunk wound	43.75
465	<i>Quercus prinus</i>	Chestnut Oak	15"	15'		X			56.25
465A	<i>Quercus rubra</i>	Red Oak	22"	22'		X		Good Condition	
466	<i>Quercus prinus</i>	Chestnut Oak	22"	22'		X		Minor canopy die back	62.50
467	<i>Quercus alba</i>	White Oak	15"	15'		X			75.00
468	<i>Quercus prinus</i>	Chestnut Oak	21"	21'		X			50.00
469	<i>Quercus prinus</i>	Chestnut Oak	22"	22'		X			71.88
470	<i>Quercus rubra</i>	Red Oak	14"	14'		X		Significant Lean	65.63
471	<i>Quercus prinus</i>	Chestnut Oak	28"	28'		X		Co-dominant	53.13
472	<i>Quercus alba</i>	White Oak	20"	20'		X			81.25
473	<i>Quercus prinus</i>	Chestnut Oak	31"	31'		X		Co-dominant; Canopy die back	62.50
474	<i>Pinus strobus</i>	White Pine	21"	21'		X			78.13
474A	<i>Quercus alba</i>	White Oak	14"	14'		X		Good Condition	
475	<i>Quercus alba</i>	White Oak	19"	19'		X			65.63
476	<i>Quercus alba</i>	White Oak	16"	16'		X			59.38
477	<i>Quercus rubra</i>	Northern Red Oak	13"	13'		X			53.13
478	<i>Quercus alba</i>	White Oak	24"	24'		X			68.75
479	<i>Pinus virginiana</i>	Virginia Pine	13"	13'		X			50.00
480	<i>Quercus prinus</i>	Chestnut Oak	41"	41'		X		Co-dominant; Central leader topped	34.38
480A	<i>Quercus alba</i>	White Oak	24"	24'		X		Good Condition	
482	<i>Quercus prinus</i>	Chestnut Oak	43"	43'		X		Multi-stem	59.38
485	<i>Quercus rubra</i>	Northern Red Oak	25"	25'		X		Leader removed	37.50
489	<i>Quercus rubra</i>	Northern Red Oak	14"	14'		X		Split trunk	16.75
491	<i>Quercus rubra</i>	Northern Red Oak	17"	17'		X		Canopy die back	37.50
491A	<i>Quercus prinus</i>	Chestnut Oak	14"	14'		X		Fair Condition	
493	<i>Quercus rubra</i>	Northern Red Oak	20"	20'		X		Dead	
494	<i>Quercus alba</i>	White Oak	21"	21'		X		Co-dominant	62.50

NOTES:  
 1. INITIAL DATA COLLECTED BY URBAN, LTD. ON FEBRUARY 5, 2016. ISA CERTIFIED ARBORIST JOHN LIGHTLE, PH. 703-642-2306  
 2. ADDITIONAL DATA COLLECTED DURING SITE OBSERVATION ON JUNE 14, 2016. ATTENDEES INCLUDED ADAM STEINER, PLA, CLAUDIA THOMPSON-DEAHL, CERTIFIED ARBORIST & THREE (3) RESTON ASSOCIATION ARBORISTS

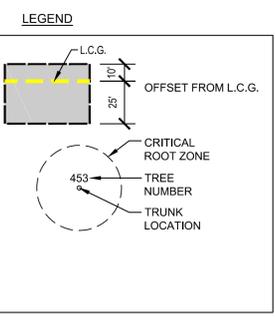


OFFSITE TREES KEY

PRESERVE	REMOVE	Symbol	Description
	X	Red circle with dot	TREES >40% CRZ IMPACT
	X	Red circle with dot	TREES >40% CRZ IMPACT (CONDITION RATING <40)
X		Orange circle with dot	LARGE TREES <40% CRZ IMPACT
X		Orange circle with dot	LARGE TREES <40% CRZ IMPACT (CONDITION RATING <40)
X		Blue circle with dot	TREES WITH LIMITED OR NO CRZ IMPACT

ONSITE TREES KEY

PRESERVE	REMOVE	Symbol	Description
	X	Red circle with dot	TREES >40% CRZ IMPACT
	X	Orange circle with dot	LARGE TREES >40% CRZ IMPACT
X		Green circle with dot	TREES <40% CRZ IMPACT



K:\NVA\_LALP\110431000 Tall Oaks PRC\CAD\Exhibits\Tree Inventory\Tree Inventory Exhibit.dwg Layout:37 TREE INVENTORY PLAN & CONDITION ANALYSIS - PR. CONDITIONS Jun 17, 2016 deavis.walker  
 XREFS: 00-MBASE\_x\_431000\_Survey-QUI\_x\_431000\_Base\_x\_431000\_Base\_x\_431000\_Blk  
 01 AND IMPROPER RELIANCE ON THIS DOCUMENT WITHOUT WRITTEN AUTHORIZATION AND ADAPTATION BY KIMLEY-HORN AND ASSOCIATES, INC. SHALL BE WITH-OUT LIABILITY TO KIMLEY-HORN AND ASSOCIATES, INC.





DESIGN INTENT: MODERN STYLE ARCHITECTURE REMAINING SENSITIVE TO CONTEXT INCLUDING THE EXISTING ASSISTED LIVING BUILDING AND SURROUNDING NEIGHBORHOODS. THE FACADE WILL INCORPORATE HIGH QUALITY MATERIALS INCLUDING BRICK AND FIBER CEMENT CLADDING IN COLORS THAT ARE HARMONIOUS WITH ITS CONTEXT.

Front Elevation

Approximate Scale:  
1/8" = 1'-0"



Side A Elevation



**Tall Oaks**  
Reston, Virginia

Conceptual  
Elevations

*Note: For conceptual illustration only. Design, colors, materials, and the location of signs and doors may change and are subject to DRB approval. Dimensions and topography shown are approximate.*

Multifamily  
Residential

A1

16022.00  
5.27.2016





Rear Elevation

Approximate Scale:  
1/8" = 1'-0"



Side B Elevation



**Tall Oaks**  
Reston, Virginia

**Conceptual  
Elevations**

*Note: For conceptual illustration only. Design, colors, materials, and the location of signs and doors may change and are subject to DRB approval. Dimensions and topography shown are approximate.*

**Multifamily  
Residential**

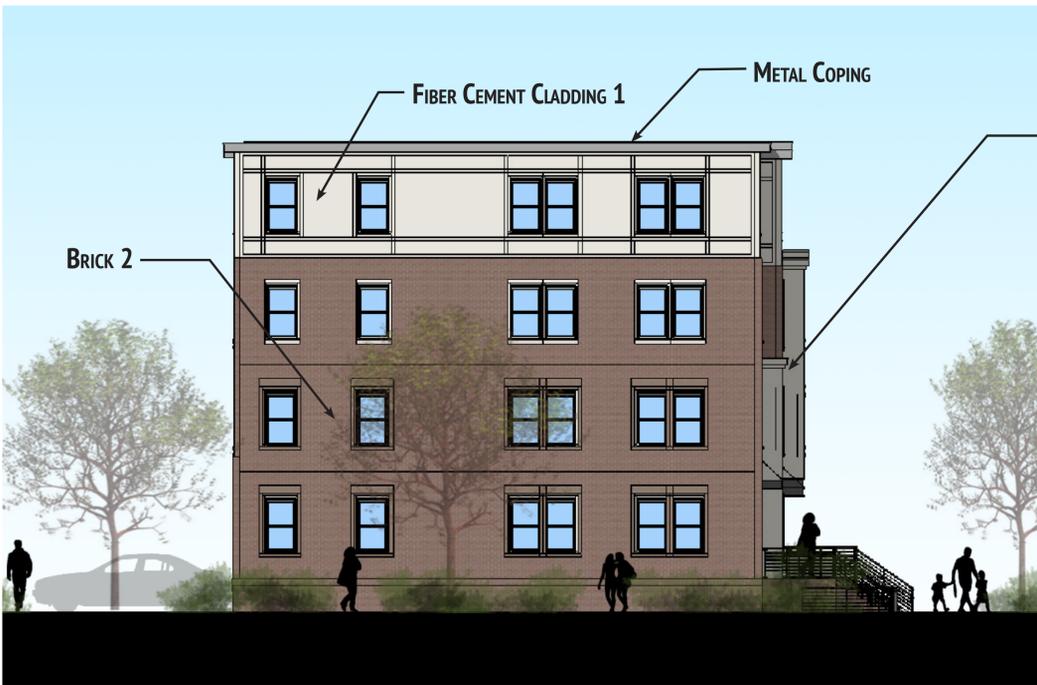
A2

16022.00  
5.27.2016

**Bignell Watkins Hasser**  
ARCHITECTS P.C.



Front Elevation



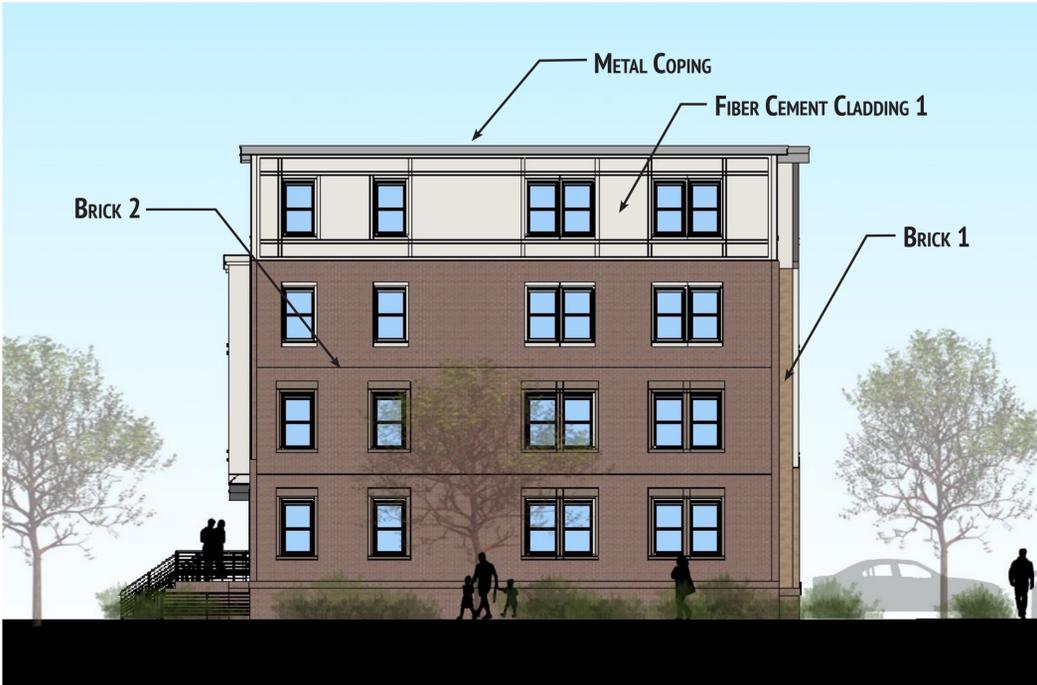
Side A Elevation

DESIGN INTENT: MODERN STYLE ARCHITECTURE REMAINING SENSITIVE TO CONTEXT INCLUDING THE EXISTING ASSISTED LIVING BUILDING AND SURROUNDING NEIGHBORHOODS. THE FACADE WILL INCORPORATE HIGH QUALITY MATERIALS INCLUDING BRICK AND FIBER CEMENT CLADDING IN COLORS THAT ARE HARMONIOUS WITH ITS CONTEXT.

Approximate Scale:  
1/8" = 1'-0"



Rear Elevation

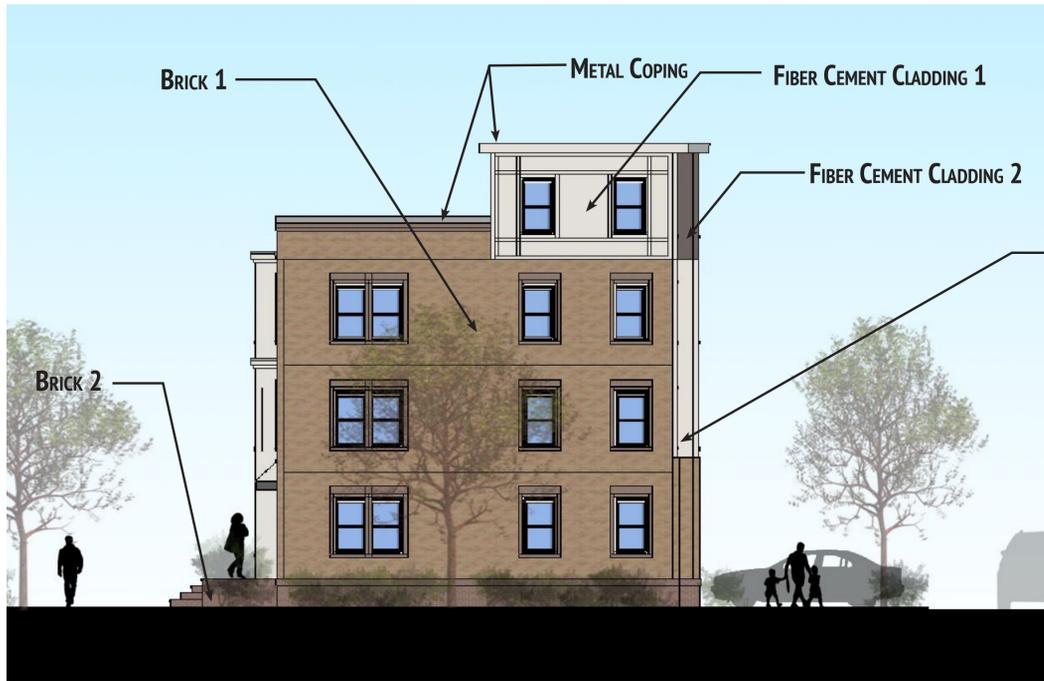


Side B Elevation





Front Elevation



Side A Elevation

DESIGN INTENT: MODERN STYLE ARCHITECTURE REMAINING SENSITIVE TO CONTEXT INCLUDING THE EXISTING ASSISTED LIVING BUILDING AND SURROUNDING NEIGHBORHOODS. THE FACADE WILL INCORPORATE HIGH QUALITY MATERIALS INCLUDING BRICK AND FIBER CEMENT CLADDING IN COLORS THAT ARE HARMONIOUS WITH ITS CONTEXT.

Approximate Scale:  
1/8" = 1'-0"



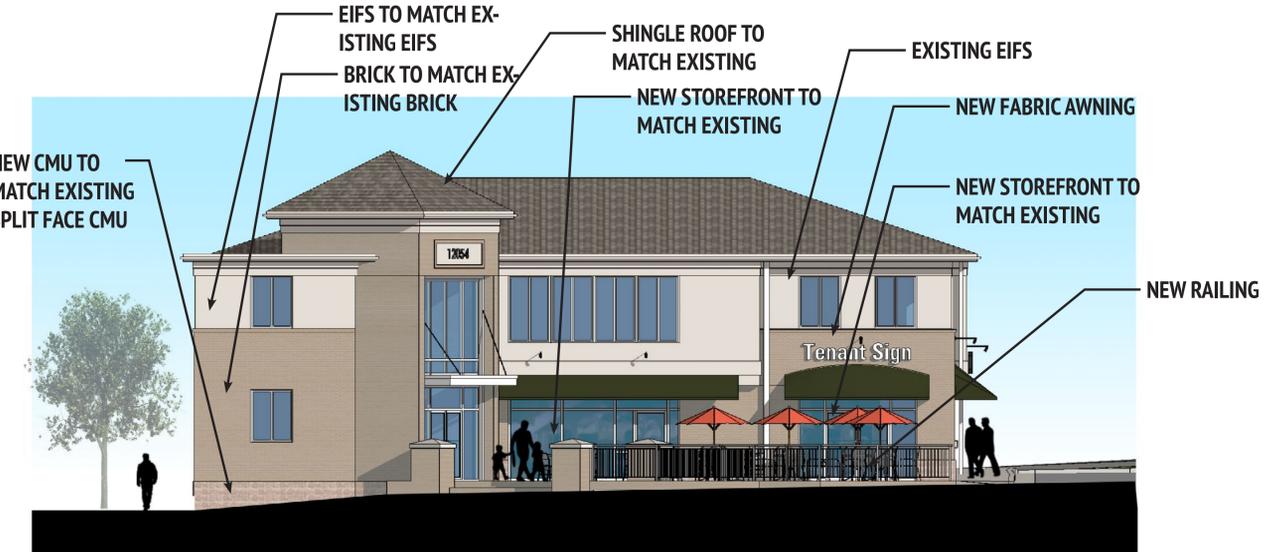
Rear Elevation



Side B Elevation





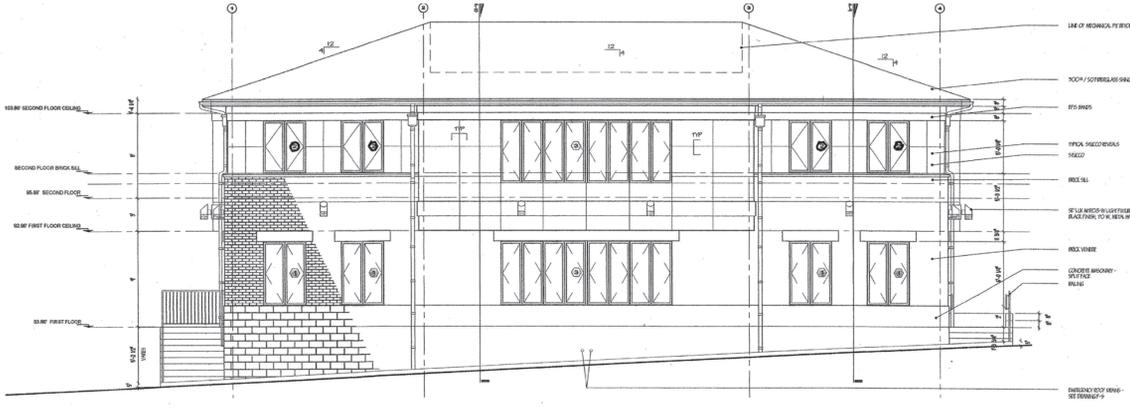
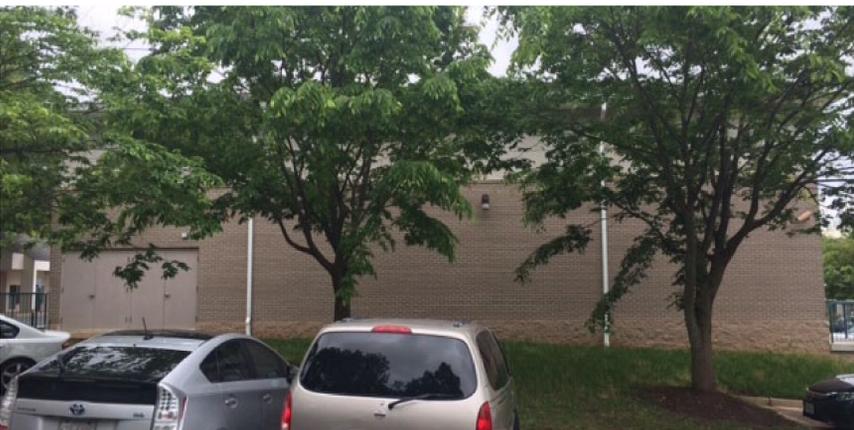


Proposed South Elevation

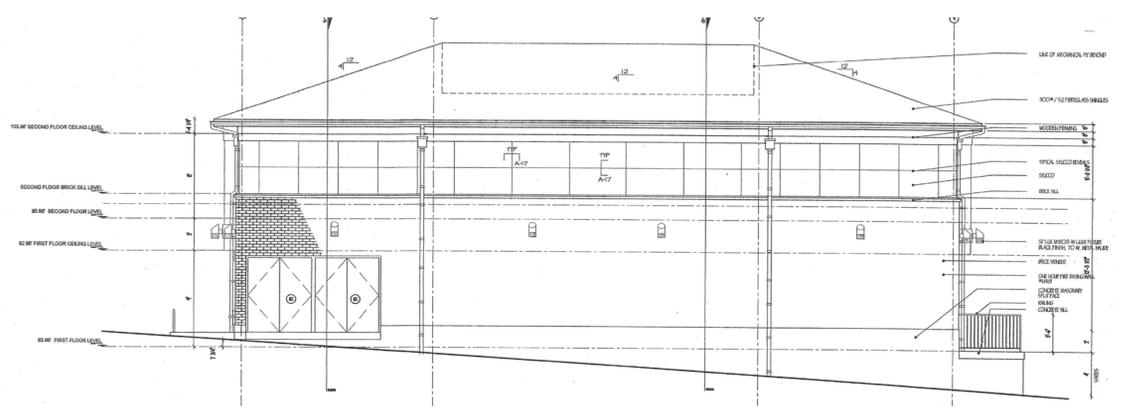


Proposed North Elevation

Approximate Scale:  
1/8" = 1'-0"



Existing Conditions



Existing Conditions



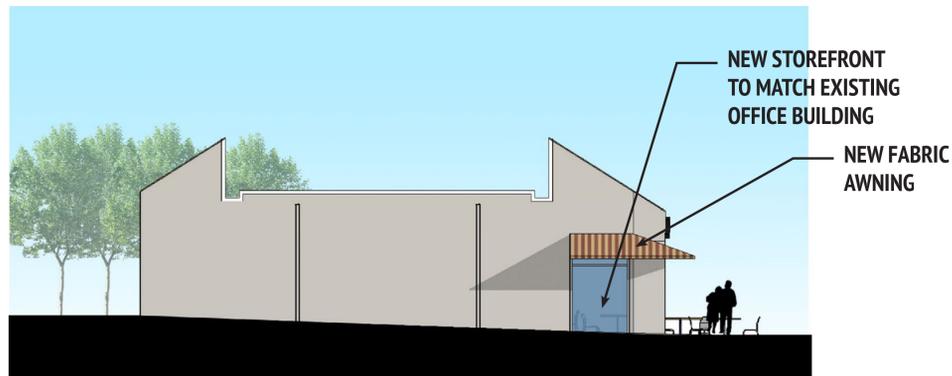
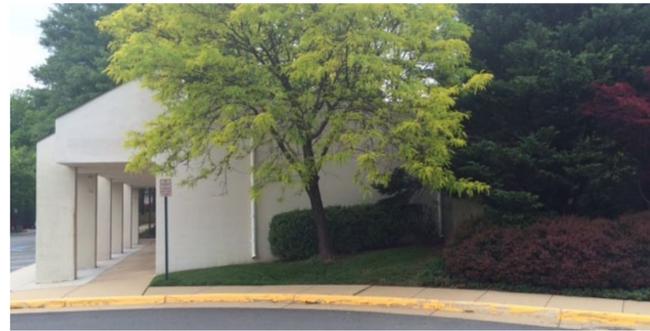


Proposed East Elevation

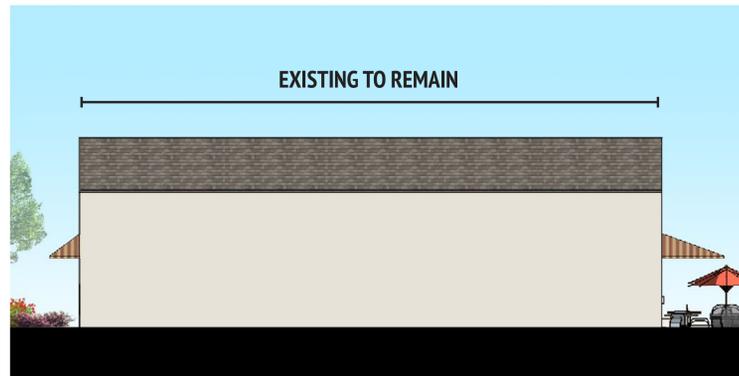


Proposed South Elevation

Approximate Scale:  
1/8" = 1'-0"

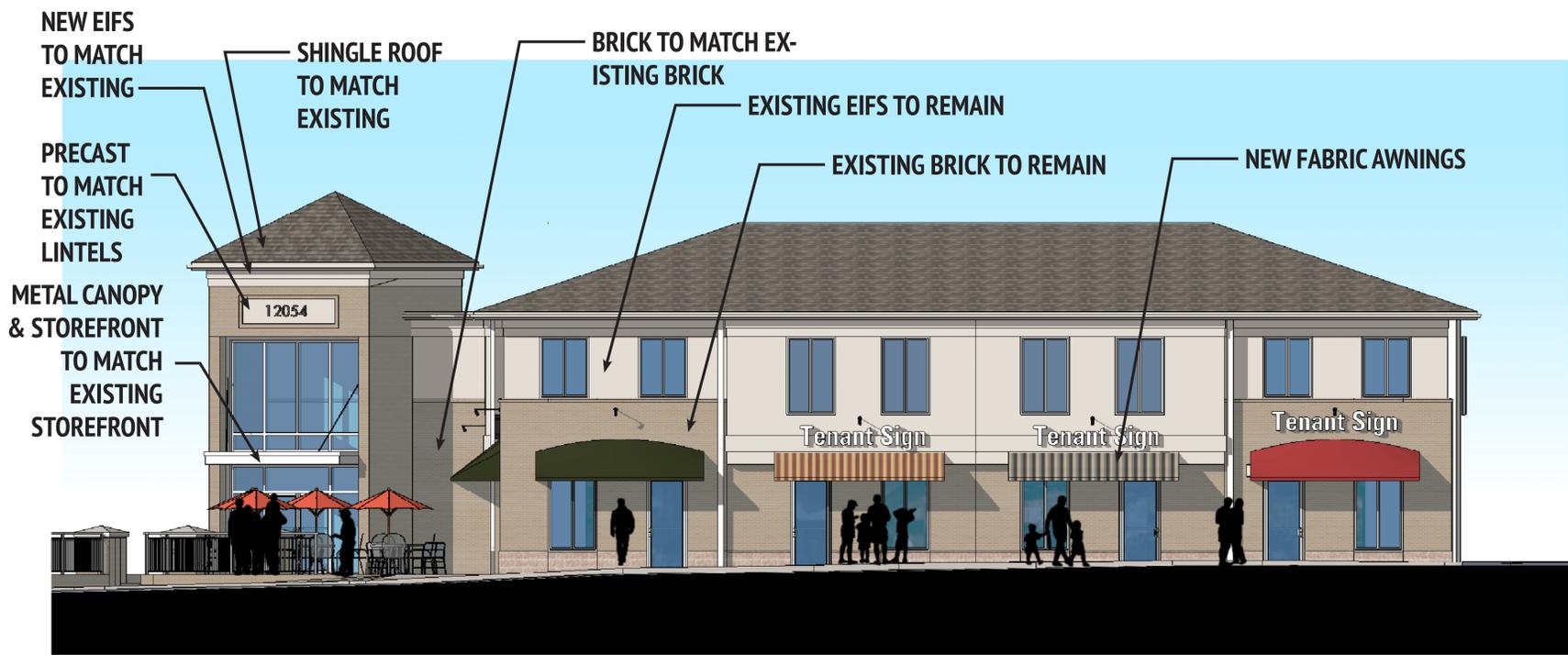


Proposed North Elevation



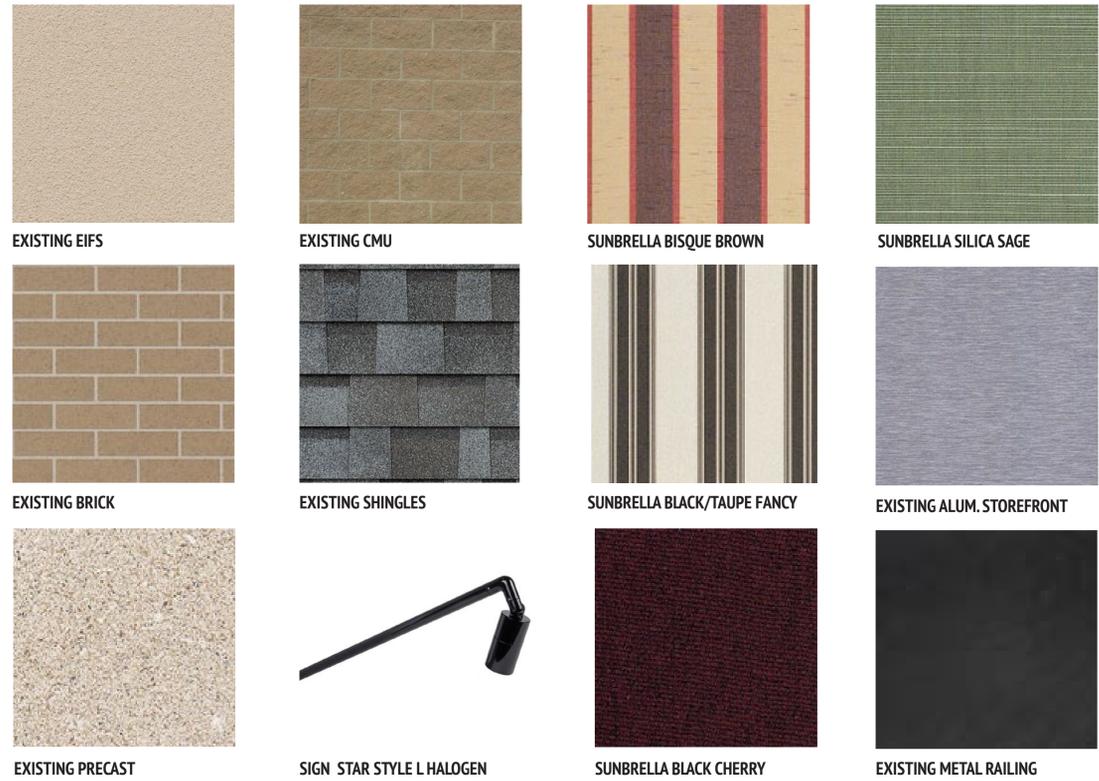
Proposed West Elevation





**Proposed West Elevation**

Approximate Scale:  
1/8" = 1'-0"





**Multifamily Residential**



**Two over Two Residential**



**Townhouse Residential**



**Professional Building and Retail**

**Tall Oaks**  
Reston, Virginia

**Conceptual Perspectives**

*Note: For conceptual illustration only. Design, colors, materials, and the location of signs and doors may change and are subject to DRB approval. Dimensions and topography shown are approximate.*

**Residential and Retail**

**A9**

**16022.00**  
**5.27.2016**





Retail



Outdoor Space



Outdoor Space



Outdoor Space



Outdoor Space



Outdoor Space



Outdoor Space



Outdoor Space

**Tall Oaks**  
Reston, Virginia

**Conceptual Perspectives**

*Note: For conceptual illustration only. Design, colors, materials, and the location of signs and doors may change and are subject to DRB approval. Dimensions and topography shown are approximate.*

**Outdoor Spaces**

**A11**

**16022.00**  
**5.27.2016**

**Bignell Watkins Hasser**  
ARCHITECTS P.C.

## DESCRIPTION OF THE APPLICATIONS

The applicants, Tall Oaks Development Company LLC and Tall Oaks Commercial Center LLC, request approval of a Planned Residential Community Plan (PRC) to redevelop the Tall Oaks Village Center Shopping Center and an existing freestanding office building within the shopping center with a mix of residential, office, and commercial uses (which may include retail, fast food, and quick-service food store uses, among other uses, and collectively referred to as retail uses). Concurrent with the PRC application is a Category 5 Special Exception application to permit up to 2,500 square feet of fast food and up to 4,000 square feet of quick-service food store uses. The special exception is requested since neither fast food nor quick service food store uses were shown on the approved development plan. As such, either an amendment to the development plan or approval of a special exception is required to permit such uses.

The Tall Oaks Village Center Shopping Center comprises the majority of the land area in the Village Center; the remainder of the Village Center includes Tall Oaks Assisted Living and Reston Association open space. The shopping center was anchored by a Giant grocery store and has been vacant without a stable grocery anchor since 2007. These applications seek to replace the predominantly retail Village Center with a mixed-use development in which residential uses comprise the majority of the land area. The redevelopment of the shopping center has been reviewed and evaluated as a redevelopment of a Village Center.



Figure 1: Site design, Source: Sheet 29, PRC Plan/SE Plat

The applicants propose a total of 156 residential units consisting of 44 rear and front loaded single family attached dwelling units (townhomes), 42 two-over-two multi-family

dwelling units (multi-family units that have the exterior appearance of a townhome), and 70 multi-family units in two buildings; 5,809 square feet of office; and 8,584 square feet of retail uses. Figure 1 provides the proposed site design.

### **Waiver and Modifications**

The applicants request the following waiver and modifications:

- Modification of Par. 2 of Sect. 6-306 of the Zoning Ordinance for the 200-square foot privacy yard requirement for single family attached dwelling unit lots to that shown on the PRC Plan/SE Plat;
- Waiver of Par. 10 of Sect. 11-102 of the Zoning Ordinance to permit tandem parking for the two-over-two dwelling units to count towards the off-street parking requirement for multi-family dwelling units;
- Modification of Sect. 11-203 of the Zoning Ordinance for the required number of loading spaces to that shown on the PRC Plan/SE Plat;
- Modification of Sects. 13-303 and 13-304 of the Zoning Ordinance for the transitional screening and barrier requirements to that shown on the PRC Plan/SE Plat.

The staff proposed PRC and SE development conditions, the applicants' statement of justification, and affidavit are provided as Appendices 1 through 4, respectively.

### **CHARACTER AND LOCATION**

Of the five Village Centers in Reston, Tall Oaks Village Center is the smallest with approximately 18 acres of land. It has been in decline without a stable grocery store anchor tenant since 2007; it is approximately 86 percent vacant. The Tall Oaks Village Center Shopping Center is located in the northeast quadrant of the intersection of Wiehle Avenue and North Shore Drive. The shopping center is developed with three retail pad sites, one of which will be retained; a two-story 10,580-square foot office building, which will be retained; and a large surface parking lot.

The surrounding uses include: to the north, Tall Oaks Assisted Living; to the east, Villas de Espana, a townhome development; to the south, Bentana Park, a condominium development, Tall Oaks swimming pool, and Lake Anne Nursery and Kindergarten; and to the west, Reston Association open space. The surrounding area is zoned PRC. Figure 2 provides an aerial image of the subject property and surrounding area.



Figure 2: Subject property and surrounding area, Source: Fairfax County

## BACKGROUND

On November 19, 1969, the Board of Supervisors approved Rezoning RZ C-020 and its associated development plan to rezone 112 acres to the RPC District. The rezoning was not subject to any proffered conditions.

On December 8, 1997, the Board of Supervisors approved SE 97-H-048 and SE 97-H-049 to permit, respectively, a freestanding 2,649-square foot drive-in bank with one drive-through window serving two drive-through lanes on a new pad site within the shopping center, and to permit a 3,300-square foot fast food restaurant with a drive-thru window in an existing building at the shopping center. It is noted that on December 3, 1997, Special Exception SE 97-H-047, to permit a 3,932-square foot child care center with a maximum daily enrollment of 100 children, was withdrawn. This application was filed concurrently with SE 97-H-048 and SE 97-H-049.

On July 11, 2002, the Planning Commission approved Comprehensive Sign Plan CSP C-020 to permit freestanding shopping center signs and individual retail tenant signs, which is still valid. New signage would either have to be in accordance with the CSP or an amendment to the CSP would need to be approved.

On July 12, 2005, the Board of Zoning Appeals approved Special Permit SP 2005-HM-019 to permit a 2,623 square foot health club within an existing building.

On March 6, 2014, the Zoning Administrator determined that for the subject properties, any commercial uses listed in the Village Center designation within the PRC District may be permitted if shown on an approved development plan. However, since specific uses are not shown on the approved development plan Category and Group uses require special exception, special permit, or an amendment to the development plan. In addition, it was determined that there is not a specific floor area limitation depicted on the development plan. Additionally, it was determined that the residential density is "medium density." Areas designated for medium density residential uses are limited to a total density of 14 persons per acre and a maximum density of 20 dwelling units per acre, in addition to the overall density of 13 persons per acre for the entirety of the PRC District. A copy of the Zoning Administrator's determination is provided as part of the applicants' statement of justification in Appendix 3.

## **COMPREHENSIVE PLAN RECOMMENDATIONS**

Applicable Comprehensive Plan guidance is provided in the Fairfax County Comprehensive Plan, 2013 Edition, Area III, Reston, as amended through October 20, 2015, pages 58 through 73, which state:

### *GUIDELINES FOR VILLAGE CENTER REDEVELOPMENT*

*Each of the Village Centers consists of a non-residential mixed-use area and adjacent residential uses. The focus of redevelopment should be in the non-residential mixed-use area. For Hunters Woods, North Point, South Lakes and Tall Oaks Village Centers, at such time as the property owners are contemplating redevelopment, they will need to work with the community and Fairfax County to create a detailed plan for the property, as specified below.*

*In order to establish clear expectations for all residents, landowners and businesses, any proposal for redevelopment of Reston's Village Centers should generally follow the process outlined below. In addition, the proposal should demonstrate achievement of the planning objectives.*

### **Process**

- *Demonstrate how the proposal achieves the general vision and planning objectives (explained below) established for Reston's Village Centers, in addition to all other relevant Plan guidance.*
- *Involve residents and businesses of the Village Center, the residents surrounding the Village Center, as well as the larger Reston*

*community in determining the views and desires of all stakeholders. Design charrettes or other intensive activities designed to gather stakeholder input and build support for the redevelopment proposal are encouraged.*

- *Conduct a market analysis to provide information on the existing and proposed development and the viability of the existing and proposed mix of uses.*
- *Conduct transportation analysis on existing and proposed development.*

### **Planning Objectives**

#### *Land Use*

- *The mix of uses should include neighborhood-serving retail and service uses for neighborhood convenience and activation of the area after work hours.*
- *The mix of uses may also include accessory office use and community uses. Community uses should include public meeting spaces.*
- *The mix of uses should include residential uses to support the retail and service uses, offer additional housing options, as well as enliven the area.*
  - *Residential uses should provide for a variety of housing types as well as affordable housing.*
  - *Senior housing is encouraged due to the proximity and convenience of retail and other service uses, as well as transit accessibility.*
  - *Encourage residents to walk to the other uses and linger, through exceptionally integrated design.*
- *Public plazas are a key element. These spaces should be programmable for community events.*

#### *Urban Design and Placemaking*

...

*In the future, the village centers should be encouraged to be redesigned around a public plaza, framed by a horizontal and vertical mix of uses, anchored by civic uses and ground floor retail, and some traditional main street elements such as wide sidewalks and shade trees. Any transformation will have to provide for outstanding site design and*

*architecture while reflecting the existing Reston character and responding to current market demands and site constraints.*

#### *Village Center Urban Design Principles*

*In addition to the Community-wide urban design principles, the following principles apply in the Village Centers.*

#### *Focus on a Central Public Plaza*

- *Highlight the Village Centers as neighborhood scale gathering places, in contrast to the regional scale gathering places in the Town Center or the community scale gathering places in the other TSAs.*
- *Organize active uses adjacent to and facing the public plaza, providing a strong frame for the plaza.*
- *Create a space that is flexible and adaptable to different uses, during each season, for groups of varying sizes (e.g., farmers markets, concerts, other programmed events).*

#### *Transform the Parking Lots*

- *Use the parking area, either surface parking lots or parking structures, as a multi-use space for public events, recreation, and gathering through the inclusion of green roofs, temporary, creative paving materials, pavement markings and access control strategies.*
- *Capitalize on the parking areas as key elements in the sustainability plan through the use of low impact development tools such as stormwater channels, permeable pavements, large tree beds, and shade trees.*
- *Emphasize pedestrian safety and comfort in the parking areas.*
- *If provided, above-grade structured parking should be “wrapped” with active uses to the maximum extent possible and where exposed, should utilize architectural detailing, lighting and landscaping along the façade to minimize the visual impact of the structure.*

#### *Acknowledge the Adjacent Roadways*

- *Consider access and visibility from the roadway to the central space or commercial core.*
- *Use natural elements or screening, as appropriate, to transition from the roadway.*

- *Highlight pedestrian access from the adjacent roadways as the primary pedestrian access to the site.*

#### *Transition to Existing Uses*

- *Utilize shifts in scale and massing to appropriately transition from new higher density and intensity uses to existing residential neighborhoods both within the Village Center and surrounding the Village Center. This transition should be sensitive to the existing character and feel of the existing uses.*
- *Plan for phased redevelopment by incorporating temporary uses and ensuring that existing structures are included in the overall plan vision.*
- *Maintain the boundaries of Village Centers, unless expanded boundaries are essential to the successful redevelopment of any particular Village Center.*

#### *Transportation*

*Future development in the Village Centers should be balanced with supporting multi-modal transportation improvements and services. To ensure that potential transportation impacts are sufficiently mitigated, the following conditions should be met:*

- *Transportation improvements should be appropriately phased with development, and development proposals should only be approved following additional transportation analysis and the provision of appropriate transportation mitigation measures.*
- *Transportation issues associated with any development, particularly those associated with access, will need to be adequately addressed through appropriate traffic impact analyses. PRC Plan/SE Plats should identify specific improvements needed to support the applications and should include acceptable plans for ingress/egress and vehicular circulation. Parcel and access consolidation, inter-parcel access, pedestrian circulation, safety, Transportation Demand Management measures, and transit improvements should be addressed. Dedication of right-of-way for trails and roadway improvements and associated easements may be required.*
- *Use of public transportation should be enhanced if/when Village Centers redevelop in order to maximize accessibility. Examples of such measures include:*

1. *Private subsidization of internal circulating transit services, which may also connect to transit service outside of the Village Center.*
  2. *Construction of bus shelters and/or other transit supportive facilities.*
  3. *Monetary contributions toward enhancement of existing transit service.*
- *Safe pedestrian circulation should be ensured through an adequate and appropriate sidewalk/trail system, and separate bicycle lanes or trails should be considered and provided where appropriate.*
  - *A combination of public and private sector funding may be necessary to provide for the larger transportation improvements required to serve the general Village Center area.*
  - *Adequate funding for necessary transportation improvements to maintain an acceptable LOS should be provided. Roadway and circulation improvements should address needed improvements to the arterial roadway network, collector and local streets, and the pedestrian and bicycle system. Collector and local street improvements should be provided in conjunction with development proposals.*

#### *Pedestrian Mobility and Bicycle Facilities*

*Reston's Village Centers are connected to other parts of Reston through an extensive trail system. The Village Centers' pedestrian orientation should be enhanced with many highly accessible pedestrian linkages within the Village Centers and connections to existing trail networks at the periphery of the Village Centers. Future development and redevelopment in the Village Center should address the following recommendations:*

- *Bicycling should be encouraged as an alternative to the use of single occupancy vehicles by providing bicycle storage facilities and bike racks. Showering and changing facilities should be provided in buildings with office uses.*
- *Pedestrian connectivity and safety is a critical factor in designing pedestrian links. Auto and pedestrian traffic should be separated to the greatest extent possible.*
- *Village centers should be served by regular bus service.*
- *Pedestrians should be provided with safe and convenient access to bus stops.*

- *Signage should contribute to easy pedestrian way-finding throughout the Village Center.*

...

**Tall Oaks Village Center**

*Tall Oaks Village Center, as shown in Figures 26 and 27, is the smallest Village Center at almost 18 acres, with approximately 8 acres of residential uses and 10 acres of non-residential uses. The residential use includes a mid-rise multifamily apartment providing assisted living for seniors. The non-residential uses include neighborhood serving retail uses and office use. Reston Association owns heavily wooded land within the Village Center along Wiehle Avenue. Topography of the site and nearby areas is rough, with steep slopes and rolling hills. Vehicular access and visibility are provided via North Shore Drive, which ends in a cul-de-sac east of Tall Oaks.*

*Tall Oaks Village Center’s baseline plan recommendation is for neighborhood serving retail and service uses up to .25 FAR, integrated with accessory office, institutional uses, and residential development. Currently, there is no redevelopment plan for this Village Center. However, this village center, which recently changed ownership, was once anchored by a grocery store and has been without this type of key tenant for a number of years. The new property owners have developed a preliminary concept plan to redevelop this center and change the mix of uses to a mix of residential unit types and a much smaller non-residential component. Consideration of this proposal should follow the process and objectives outlined in the Guidelines for Village Center Redevelopment with an emphasis on quality design and creating a neighborhood gathering place.*

**Comprehensive Plan Map: Reston PRC Master Plan – Village Center Mixed Use**

**DESCRIPTION OF THE PLANNED RESIDENTIAL COMMUNITY (PRC) PLAN AND SPECIAL EXCEPTION (SE) PLAT**

The PRC Plan/SE Plat is entitled “Tall Oaks,” and was submitted by Urban, Ltd., consisting of 56 sheets dated September 8, 2015 and revised through June 20, 2016. The following is a description of the PRC Plan/SE Plat.

**Site Layout and Buildings**

Redevelopment of the site includes a mix of residential and commercial uses and community gathering spaces. A total of 156 residential dwellings, inclusive of 11 affordable dwelling units, is provided consisting of 44 single family attached dwellings (townhomes), 42 two-over-two multi-family dwellings, and 70 multi-family

condominium dwellings located in two four-story buildings. The two-over-two dwellings are two-story multi-family units stacked one on top of another with an exterior appearance of a townhome. The two-over-two units are grouped into a row of four to six similar to a row of townhomes and each unit has a one-car garage and a driveway. A total of 8,584 square feet of retail uses and 5,809 square feet of office uses are provided in the two existing freestanding buildings that are to be retained. The retail uses collectively refer to retail, fast food, quick-service food store, and other non-residential uses.

Community gathering spaces include: a linear green horizontally located across the center of the site with a Central Plaza in the northern area of the site; an entrance plaza at the northeast site entrance; and condominium courtyards. Figure 3 provides the proposed site layout.



Figure 3: Site layout, Source: Sheet 29 of PRC Plan/SE Plat

For identification purposes, each building on the PRC Plan/SE Plat is alphabetically labeled. For the townhomes and two-over-two dwellings, a building refers to a row of townhomes or a row of two-over-two dwellings. The following describes each proposed building:

- Buildings A and B: Two 12,300-square foot, 4-story multi-family condominium buildings, located along the northwestern property line, adjacent to Reston Association open space and Wiehle Avenue;
- Buildings C, D, E, and L: Total of 42 two-over-two rear loaded multi-family dwellings, 4 stories in height, located in the interior of the site, along the linear green;

- Buildings F through K and M: Total of 44 townhomes, 4 stories in height, located along the southeastern, southern, and southwestern perimeters of the site. Buildings F, G, and H are front loaded townhomes and Buildings I, J, K, and M are rear loaded townhomes;
- Building N: An existing one-story, 2,623-square foot retail building, located in the northeast area of the site, adjacent to North Shore Drive. A 677-square foot addition is proposed for a total building area of 3,300 square feet; and
- Building O: An existing two-story, 10,580-square foot office building. A 513-square foot addition is proposed for a total building area of 11,093 square feet consisting of 5,284-square feet of ground floor retail uses and 5,809-square feet of office space above.

Access to the site remains from two existing site entrances off North Shore Drive and on-site circulation is provided by internal private roads with surface parking for residential, retail, office employees, and visitors.

### Architecture and Building Design

The general architectural design of the development is shown on Sheets A1 through A11 of the PRC Plan/SE Plat and in Figure 4.



**Figure 4:** Building elevations, Source: Sheet A9 of PRC Plan/SE Plat

Building materials may include: wood, siding, Hardie Board or similar cementitious fiber material, exterior insulation and finishing system, brick, masonry/stone, aluminum, glass, steel, split-face block, and precast panels.

## Community Gathering Spaces

Community gathering spaces are provided throughout the site in the form of a linear green, central plaza, entrance plaza/green, community trail connection, and condominium courtyards. The land area of these spaces individually and collectively is not indicated on the PRC Plan/SE Plat, but the PRC Plan/SE Plat indicates that a total of 2.71 acres (36 percent) of the development is provided as open space, which includes part of the townhome lots.

### Linear Green

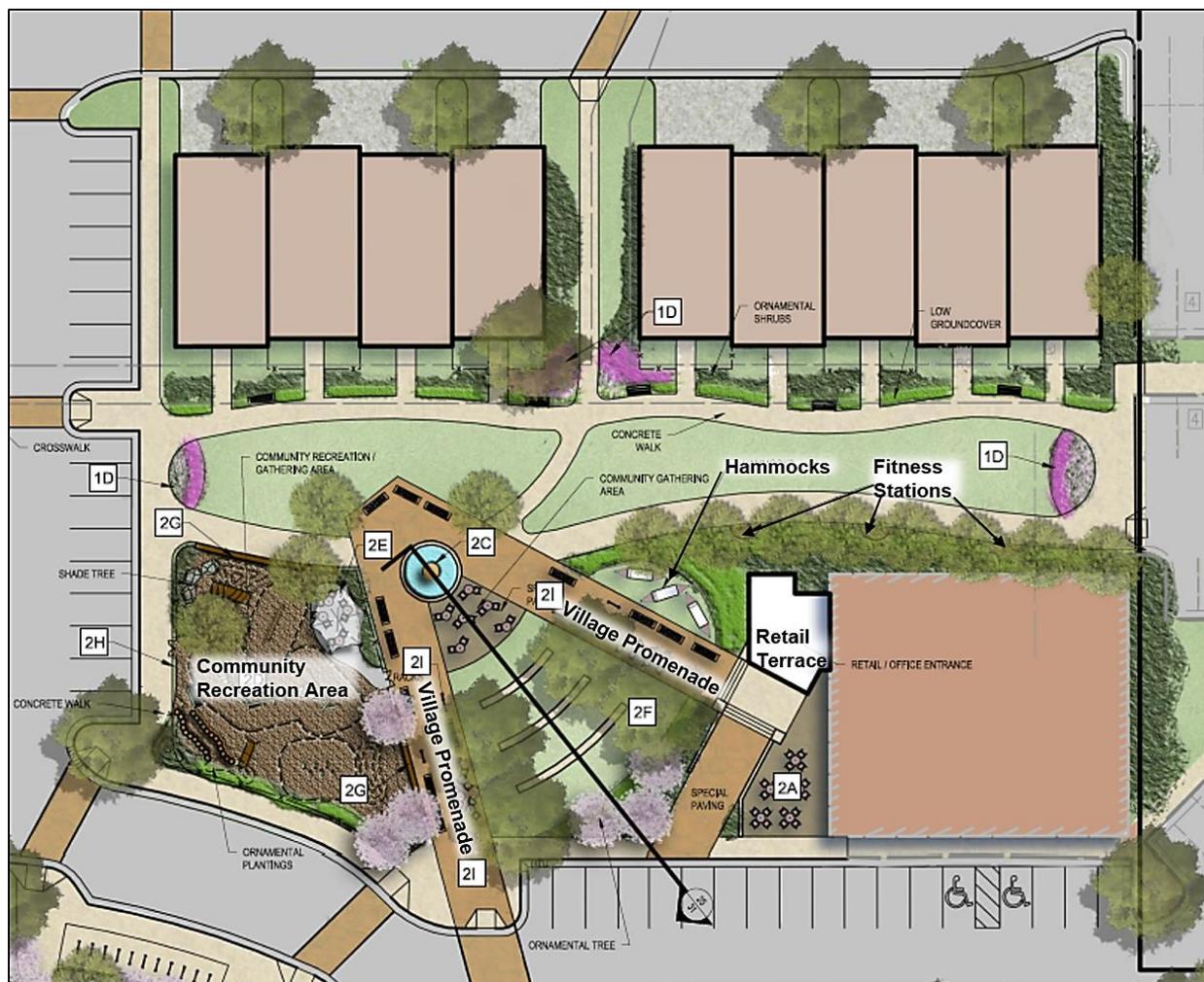
The Linear Green provides a horizontal linear green space with an 8-foot wide serpentine pedestrian walkway through the center of the site from the Community Trail Connection in the southern area of the site through the Central Plaza to Tall Oaks Assisted Living to the north, as shown on Sheet 30 of the PRC Plan/SE Plat and in part in Figure 5. The two-over-two and townhomes dwellings face the Linear Green and features private front yards fronting onto public spaces with landscaping and/or low ornamental fence/walls to distinguish the two spaces. The Linear Green also contains a series of open lawns for recreational uses to be complemented by lighting, benches, and other outdoor furnishings. Specialty paving, such as stamped asphalt, clay pavers, scored concrete, or concrete pavers are shown at crosswalks to emphasize these crossings.



Figure 5: Linear Green, Source: Sheet 30 of PRC Plan/SE Plat

### Central Plaza

The Central Plaza is the main gathering space within the Village Center and consists of three areas, a Community Recreational Area, Village Promenade, and Retail Terrace, which are designed for different users, as shown on Sheet 31 of the PRC Plan/SE Plat and in Figure 6.



**Figure 6:** Central Plaza, Source: Sheet 31 of PRC Plan/SE Plat

The Community Recreational Area features both natural play elements and nature-inspired traditional playground equipment, designed to appeal to a variety of age groups. Specifically, a play area for children is provided with ornamental fencing, shade trees, and seat walls.

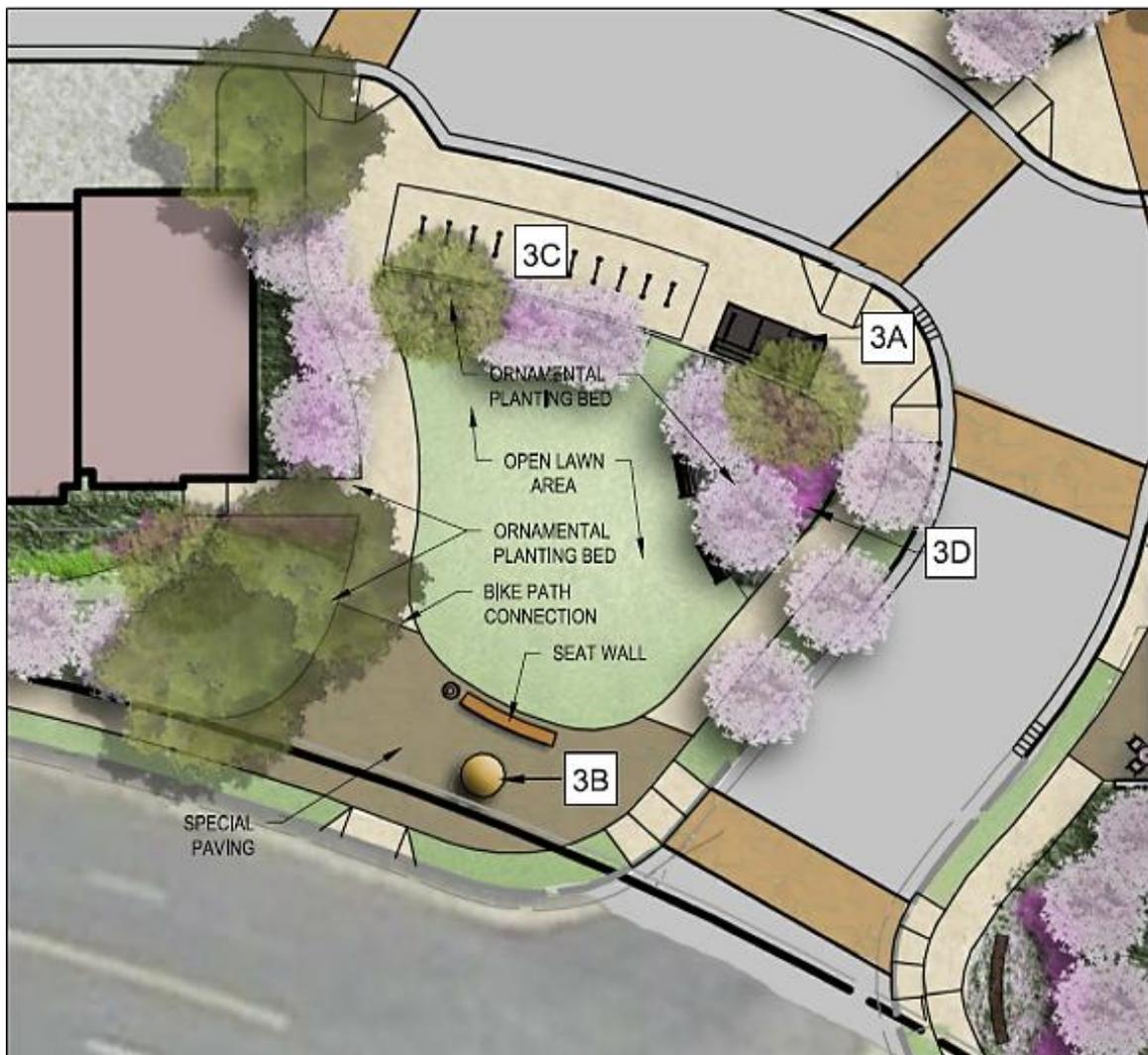
The Village Promenade is a key gathering space and features two hardscape promenades anchored by a sculpture or fountain element at the terminus of the two converging promenade spaces. The sculpture/fountain element is intended to be visible from both the Entrance Plaza and Linear Green to provide a distinct sense of place and arrival. Within the promenade space, shade trees, outdoor seating, bicycle racks, and chess tables may be provided. Terraced seating is located in between the promenades, facing the sculpture/fountain feature and a community gathering area, which provides flexible space for gatherings, performances, and events.

The Retail Terrace is adjacent to the promenade and provides open air, shaded patio seating for potential café/outdoor dining or other associated retail use. Adjacent to the Retail Terrace and along the Linear Green is an additional green space containing

hammocks and fitness stations that provide recreational amenities for a variety of age groups.

Entrance Plaza/Green

The Entrance Plaza/Green is located at the main entrance to the Village Center to welcome visitors into the site and is designed as an open area to preserve the viewshed to the Central Plaza from North Shore Drive, as shown on Sheet 32 of the PRC Plan/SE Plat and in Figure 7. This area contains special paving adjacent to North Shore Drive, an open lawn area, art/sculpture or fountain, seat wall, ornamental plantings, and pedestrian and bicycle paths. The Entrance Plaza/Green provides a centralized location for the bus stop and shelter and bike share facility in proximity to the retail and recreational areas of the development.



**Figure 7:** Entrance plaza/green, Source: Sheet 32 of PRC Plan/SE Plat

Community Trail Connection

The Community Trail Connection is located in the southeastern portion of the site where there is an existing pedestrian tunnel entrance that provides pedestrian access from the east side of North Shore Drive to the west side to link with the Reston Association’s Blue Trail, located behind Building H, as shown in Figure 8. Along the Blue Trail are proposed fitness stations and a retaining wall since the site slopes to the south towards the trail. Access stairs to connect the development to the Blue Trail are provided as part of the Community Trail Connection.



Figure 8: Community Trail Connection, Source: Sheet 33 of PRC Plan/SE Plat

Condominium Courtyards

The Condominium Courtyards are located at the main entrance to Buildings A and B and may include a lawn area, hardscape, ornamental plantings, and outdoor furniture, as shown on Sheet 33 of the PRC Plan/SE Plat and in Figure 9.

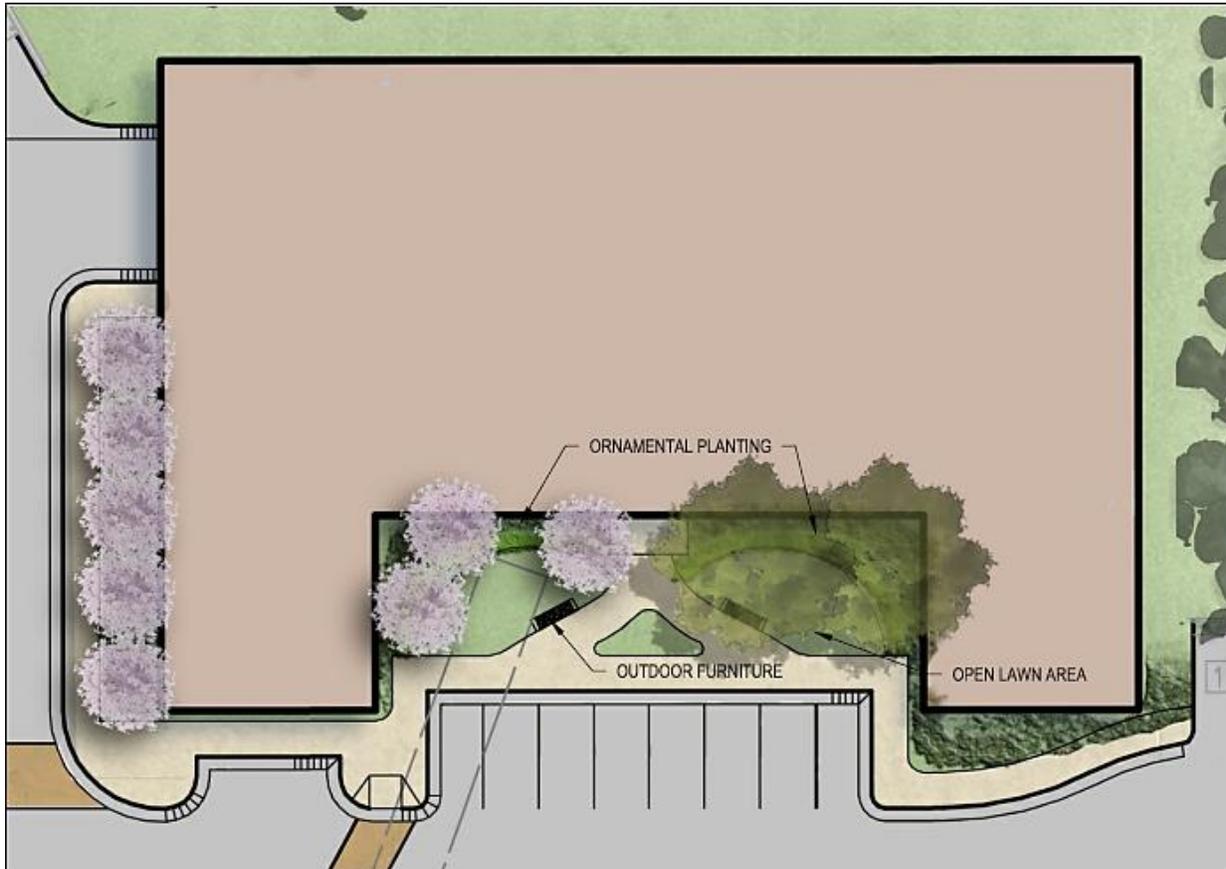


Figure 9: Condominium courtyard, Source: Sheet 33 of PRC Plan/SE Plat

**Streetscape**

The site only has frontage along North Shore Drive and is buffered from Wiehle Avenue by an open space area owned by the Reston Association. Along North Shore Drive, the streetscape includes an on-road bicycle lane, a 4-foot wide buffer zone, a 5-foot wide sidewalk, a landscaped area, and private front yards in front of the townhomes, as shown on Sheets 2 and 34 of the PRC Plan/SE Plat and provided below in Figures 10A and 10B. From the front facades of the closest townhomes in Buildings K and M to the property line adjacent to North Shore Drive are 24.14 feet and 20.90 feet, respectively. The closest townhome facade in Building M is 14 feet from the property line.



Figure 10A: North Shore Drive streetscape, Source: Sheet 34 of PRC Plan/SE Plat

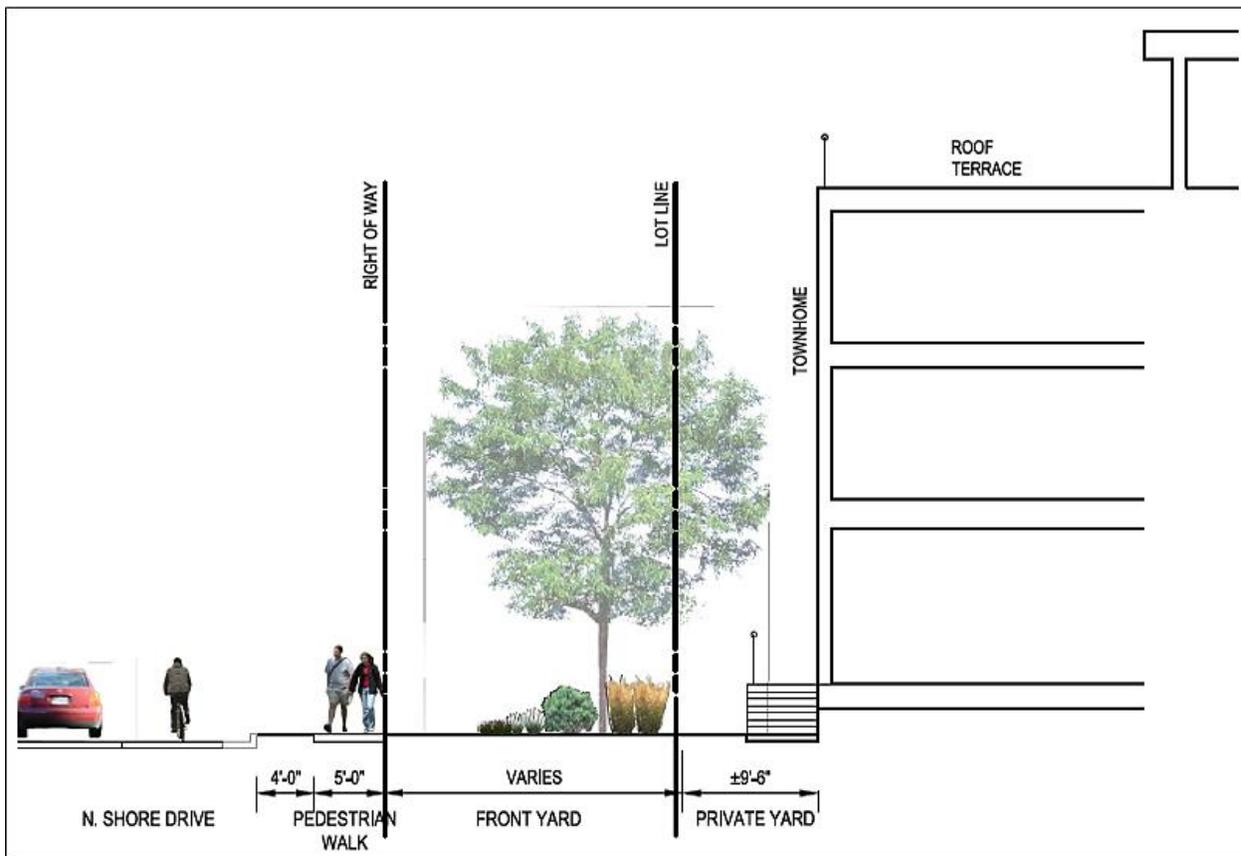


Figure 10B: North Shore Drive streetscape cross section, Source: Sheet 34 of PRC Plan/SE Plat

### Bus, Bicycle, and Pedestrian Facilities

There is an existing Fairfax Connector bus stop located in the Tall Oaks Village Center Shopping Center, which will be relocated to the Entrance Plaza/Green area, as shown in Figure 7. The bus stop includes a bus pull off area and a bus shelter with an adjacent potential location for a bike share facility. Bus circulation occurs from North Shore Drive

into the site's first (southeast), past Building M, to the bus stop, and exit from the development's main (northeast) entrance. Pedestrian and bicyclist path connections are provided from the Entrance Plaza to North Shore Drive, as shown in Figure 7.

Bicycle facilities include a 4-foot wide bicycle lane to be provided on both sides of North Shore Drive, as recommended in the County's Master Bicycle Plan. In addition, space is available adjacent to the bus stop for a bike share station to be provided by others. Bike paths are depicted on Sheet 26A of the PRC Plan/SE Plat to show bicycle paths and connections to both on-site and off-site facilities.

Pedestrian facilities are provided throughout the site, as shown on Sheet 26 of the PRC Plan/SE Plat and in Figure 11. A 5-foot wide sidewalk along the site's North Shore Drive frontage to connect to an existing off-site Reston Association asphalt trail.



Figure 11: Pedestrian travelways, Source: Sheet 26 of PRC Plan/SE Plat

Sidewalks internal to the development include an 8-foot wide serpentine walkway, and two pedestrian promenades. Crosswalks are shown to be emphasized with specialty pavings or markings. Pedestrian connections to off-side sidewalks and trails are provided both in the northern and southern areas of the site. It is noted that on Sheet 26 of the PRC Plan/SE Plat pedestrian access across the townhome and two-over-two dwelling driveways is not provided. Pedestrians either have to walk in the street or cross the street to access a sidewalk. A 4-foot sidewalk is shown between the parking lot near Building N and the property line. The Public Facilities Manual (PFM)

indicates that “[w]hen a sidewalk is designed, it shall be 5 feet wide to allow pedestrian passing, or include passing areas 5 feet x 5 feet at reasonable intervals not to exceed 200 feet.” The PFM indicates that sidewalks less than 5 feet in width require approval by the Director of the Department of Public Works and Environmental Services.

### **Access, Parking, and Vehicular Circulation**

Access to the site is provided from two existing site entrances from North Shore Drive with the second (northeast) entrance serving as the development’s main entrance. Overall, a total of 357 parking spaces are required and 385 provided. A note on the PRC Plan/SE Plat indicates surface parking may be used to supplement the provided townhome parking spaces since 114 spaces are provided and 119 spaces are required. Sheets 24 through 25B provide auto turn exhibits to show a fire truck and Fairfax Connector bus circulation through the site; in some areas, the turn movement appear to be tight.

### **Landscaping/Tree Preservation**

There is 1-acre of existing tree canopy on-site. A total of 10 percent or 32,534 square feet of the site is required to be provided with tree canopy; 1,937 square feet of tree canopy will be provided through tree preservation and an additional 36,075 square feet of tree canopy is proposed to be provided for a total of 38,012 square feet of tree canopy, which exceeds the tree canopy requirement by 5,478 square feet.

The required Tree Preservation Target is 13.4 percent or 4,360 square feet of tree canopy; 6 percent (1,937 square feet) of tree preservation is being provided. Since the 10-Year Tree Preservation Target is not being met, falling short of the requirement by 2,423 square feet, a deviation of the Tree Preservation Target is requested. A monetary contribution of \$3,635 is proposed to the Tree Preservation and Planting Fund, pursuant to Section 12-0512.3 of the Public Facilities Manual, to address the shortfall in tree preservation.

A total of five percent (1,935 square feet) of interior parking lot landscaping is required and 2,000 square feet is being provided. The deviation of the Tree Preservation Target and modifications of the transitional screening and barrier requirements are respectively discussed in more detail in the Tree Preservation and Tree Cover and Waivers and Modifications sections of this report.

### **Stormwater Management**

The subject property is located within the Difficult Run Watershed. The required phosphorous reduction is 2.48 pounds per year. Water quality will be provided through bay filters or equivalent measures.

The existing impervious area is 5.83 acres. The proposed development decreases the total imperviousness of the site to 4.89 acres. There are two stormwater outfalls:

Outfall 1 is the southern portion of the site and Outfall 2 is the remainder of the site, which drains towards the north.

Outfall 1 is approximately 2.85 acres, which is part of a larger drainage area of approximately 671 acres and is more than 100 times the contributing site area and provides channel protection. In general, this portion of the site drains from northeast to southwest. The site runoff will be collected by a storm sewer system with drop inlets that will be adequately sized to intercept the 10-year storm flow and routed to separate closed conduit systems.

Outfall 2 is approximately 3.45 acres and is part of a larger drainage area of approximately 401 acres, which is more than 100 times the contributing site area provides channel protection. In general, this portion of the site drains from the southwest to the northeast. Runoff from the site will be collected by a storm sewer system with drop inlets that will be adequately sized to intercept the 10-year storm flow and will be routed to an existing grass-lined channel.

Due to the post development flow being reduced from the pre-development flow, ultimately reducing the 2- and 10-year concentrated runoff leaving the site for Outfalls 1 and 2, adequate outfall exists for the site. Any additional on-site undetained runoff leaving the site is proposed to do so in the form of sheet flow. The peak rate of sheet flow after development is not exceeding the peak rate prior to redevelopment.

## **RESIDENTIAL DEVELOPMENT CRITERIA AND STAFF ANALYSIS**

Fairfax County expects new residential development to enhance the community by: fitting into the fabric of the neighborhood; respecting the environment; addressing transportation impacts; addressing impacts on other public facilities; being responsive to historic heritage; contributing to the provision of affordable housing; and being responsive to the unique site specific considerations of the property. To that end, the Board of Supervisors adopted the Residential Development Criteria contained in the Land Use Section in the Policy Plan of the Comprehensive Plan to be used in evaluating zoning requests for new residential development. While not a rezoning application, use of the Residential Development Criteria to evaluate the subject PRC application is appropriate given that a redevelopment of the Tall Oaks Village Center Shopping Center is proposed with predominantly residential uses. The resolution of issues identified during the evaluation of an application is critical if the proposal is to receive a favorable recommendation. To that end, the following is an analysis of the proposal and an evaluation of each of the eight Residential Development Criteria along with staff's analysis incorporated into the discussion. The Residential Development Criteria are cited below.

**Site Design** (Appendices 5 and 6)

Applications for residential development should be characterized by high quality site design. Proposals for residential development, regardless of the proposed density, will be evaluated based upon the following principles, although not all of the principles may be applicable for all developments.

*Consolidation. Developments should provide parcel consolidation in conformance with any site specific text and applicable policy recommendations of the Comprehensive Plan. Should the Plan text not specifically address consolidation, the nature and extent of any proposed parcel consolidation should further the integration of the development with adjacent parcels and the proposed consolidation should not preclude nearby properties from developing as recommended by the Plan.*

The Comprehensive Plan does not envision parcel consolidation for Village Centers. However, the applicants have consolidated both the shopping center and office building properties under one owner as part of the applications. With the remaining two properties that comprise the Village Center – Tall Oaks Assisted Living and the Reston Association open space – the applicants have worked directly with these property owners on the site design to transition the proposed development with these adjacent properties.

*Layout. The layout should provide logical, functional and appropriate relationships among the various parts (e.g. dwelling units, yards, streets, open space, stormwater management facilities, existing vegetation, noise mitigation measures, sidewalks, and fences); provide dwelling units that are oriented appropriately to adjacent streets and homes; include usable yard area within the individual lots; provide logical and appropriate relationships among the proposed lots; provide convenient access to transit facilities; identify all existing utilities and make every effort to identify all proposed utilities and stormwater management outfall areas; encourage utility collocation where feasible.*

The site layout is informed by the Comprehensive Plan guidance for redevelopment of a Village Center. The Comprehensive Plan provides that Village Centers were conceived as the places that would draw people together with a public plaza for gatherings of all types, formal and informal; as well as, a grocery store, churches, or other community uses, restaurants, and local services (e.g. dry cleaners, day care providers, etc.). The Comprehensive Plan further provides that redevelopment of Village Centers should be encouraged to be redesigned around a public plaza, framed by a horizontal and vertical mix of uses, anchored by civic uses and ground floor retail, and some traditional main street elements such as wide sidewalks and shade trees.

The Central Plaza is intended to be the central gathering space for the Village Center with opportunities for civic uses. While not framed by a horizontal and vertical mix of uses, but instead by an open lawn and surface parking, it is adjacent to a mix of uses consisting of ground floor retail, fast food, and quick-service food store uses and office

and residential uses. Residential uses are located in townhome, two-over-two, and multi-family buildings 4-stories in height and the commercial uses are located in buildings 1 to 2 stories in height. These building heights are appropriate for the character of the surrounding area. Some traditional main street elements are provided in the form of 8-foot wide pedestrian pathways, two pedestrian promenades, shade trees, landscaping, and outdoor furniture.

Given the lack of visibility of the Village Center from Wiehle Avenue, the Central Plaza and its focal sculpture/fountain are designed to be visible from North Shore Drive to create a sense of arrival in order draw people in. To achieve this, the Entrance Plaza/Green is designed with an open space that provides an unobstructed viewshed to the Central Plaza from North Shore Drive.

The site layout provides appropriate relationships and transitions between the residential, retail, and office uses. A mix of residential dwellings is provided consisting of front and rear loaded townhomes, two-over-two multi-family dwellings, and multi-family condominiums. With 11 dwellings provided as part of the Affordable Dwelling Unit program requirement, a mix of residential dwelling types and affordable housing is provided. Privacy yards are provided for the townhomes and two-over-two dwellings with landscaping and/or low walls/fencing used to transition private front yards to public open spaces. A variety of open space areas, stormwater management facilities, and sidewalks are provided throughout the development, as previously discussed. Preservation of existing and new vegetation are proposed to screen and landscape the development. No new public streets are proposed; internal roads will be private roads. The existing vehicular access points remain unchanged.

While the site layout provides appropriate relationships and transitions between the proposed uses, staff has concern with the lengths of the driveways. Driveways that exceed 5 to 7 feet in length, but are less than 18 feet in length create the potential for vehicles to be parked partially on a driveway and overhang into the street when a driveway does not have enough length for a vehicle to be properly parked on the driveway. Staff recommended that the driveway lengths either be a maximum of 5 feet in length or a minimum of 18 feet in length to prevent such illegal and hazardous parking. The applicants declined to make such revisions. In staff's opinion, the site layout could accommodate such modification to the driveway lengths without affecting the site layout or parking.

The orientation of the buildings is appropriate to achieve a revitalization of the Village Center. Rear loaded townhomes (Buildings K and M) are oriented outward toward North Shore Drive, which is more urban in their orientation with front facades, doors, porch steps, and entry walkways facing the road. This orientation is a departure from the more traditional Reston design that features deeper landscaped or wooded setbacks from roadways and building fronts internal to the site. The building orientation with front facades facing the road activates the street frontage and pedestrian realm along North Shore Drive to create a sense of place that better invites and draws people into the Village Center than rear facades facing the road. The proposed orientation also

provides a better connection with the Reston Association Tall Oaks swimming pool across North Shore Drive. In staff's opinion, the orientation of front facades facing the road is critical for the redevelopment of the Village Center and sustainability of the commercial uses in creating an inviting space to convey to the larger community that the uses and public spaces are available to all.

In keeping with the context of the area, a landscaped buffer is provided along North Shore Drive. Four townhomes (Lots 37 through 40) in Building M have been moved an additional 10 feet back from the road by reducing the driveway lengths to provide a more expansive landscaped buffer. Staff recommended moving the remaining four townhome units (Lots 41 through 44) in Building M further back from North Shore Drive in order to provide a continuous expanded landscaped buffer. However, the applicants declined and indicated an impact to turning movements, but did not demonstrate such impact. In staff's opinion, moving Lots 41 through 41 further back from the road would only reduce driveway lengths, but would affect the lot lines or street dimensions.

The orientation of the remainder of the townhomes and two-over-two dwellings are oriented inward towards the Linear Green and pedestrian walkways. Such orientation effectively creates alleys where the rear facade of the two-over-twos (Building E) faces the front facade of townhomes (Building F); rear faces of townhomes (Buildings I and J) face front facades of townhomes (Buildings G and K); and rear facades of two-over-twos (Buildings C and D) face the front facades of the two multi-family buildings (Buildings A and B). Given these orientations and the effective creation of alleys, staff recommended building elevations for all facades of each building type to demonstrate treatment, architectural materials, design details, and function with trash, parking, and utilities. In staff's opinion, the quality of materials, level of detailing and design for the rear facades of the townhomes and two-over-two dwellings needs to be higher than those in a typical subdivision due to the public nature of the Village Center. In response, the applicants provided conceptual building elevations, as shown in Figures 12A through 12C to address staff's request. The architectural design, materials, and palette are subject to approval by the Reston Design Review Board and substantial conformance with the PRC Plan/SE Plat.

Privacy yards are provided for the townhomes; however, the rear loaded townhomes along North Shore Drive and the Linear Green do not have 200-foot privacy yards as required in the Zoning Ordinance and is discussed in more detail in the Waiver and Modification section of the report. The remaining townhomes appears to have 200-square foot privacy yards. For this reason, the applicants request a modification of the requirement given that substantial public open space areas are available for active and passive recreation as part of the Village Center and within walking distance.



Figure 12A: Multi-family building elevations, Source: Sheets A1 and A2 of PRC Plan/SE Plat



Figure 12B: Two-over-two building elevations, Source: Sheet A3 of PRC Plan/SE Plat



Figure 12C: Townhome elevations, Source: Sheet A4 of PRC Plan/SE Plat

Convenient access to transit facilities is provided. The site currently is along Fairfax Connector bus route 552, which provides service to the Wiehle-Reston metro station. The existing on-site bus stop will be relocated with this development to the Entrance Plaza/Green where a bus shelter will be provided. This bus stop provides a centralized location for the bus stop, bus shelter, and bike share facility in proximity to the retail and recreational areas of the development. Existing utilities and stormwater management outfalls have been identified, as previously discussed in the description of the PRC Plan/SE Plat section of this report.

*Open Space: Developments should provide usable, accessible, and well-integrated open space. This principle is applicable to all projects where open space is required by the Zoning Ordinance and should be considered, whether appropriate, in other circumstances.*

In the PRC District, there is no open space requirement since open space is provided as part of the original development. The PRC Plan/SE Plat shows 2.71 acres (36 percent) of the development as open space, which includes part of the townhome lots that should not be included. As previously described and discussed, such open space areas include the Linear Green, Central Plaza, Entrance Plaza/Green, Community Trail Connection, and Condominium Courtyards. In staff's opinion the Central Plaza area should contain high quality amenities to attract visitors given that it is a focal part of the Village Center. To achieve this, a development condition has been proposed for coordination with the Park Authority.

*Landscaping: Developments should provide appropriate landscaping, for example: in parking lots, in open space areas, along streets, in and around stormwater management facilities, and on individual lots.*

Landscaping is provided throughout the site consisting of Category I and III evergreen trees and Category II, III, and IV deciduous trees are provided throughout the site. Ornamental plantings, such as flowering shrubs perennials are provided in the Linear Green, Central Plaza, Entrance Plaza/Green, and Community Trail Connection areas.

*Amenities: Developments should provide amenities such as benches, gazebos, recreational amenities, play areas for children, walls and fences, special paving treatments, street furniture, and lighting.*

Within the community gathering spaces, amenities such natural and traditional play elements, shade seating, bike racks, outdoor furniture, sculpture and fountain elements, and fitness stations may be provided. These amenities contribute to the vibrancy of the Village Center as a place that draws people in, and together with flexible spaces for formal and informal activities, provides areas to gather and recreate. In particular, staff has proposed a development condition that the amenities in the Central Plaza area shall be provided consistent with or comparable to those shown on the PRC Plan/SE Plat in coordination with the Park Authority given that the plaza is a focal feature of the Village Center.

**Neighborhood Context** (Appendices 5 and 6)

*All rezoning applications for residential development, regardless of the proposed density, should be designed to fit into the community within which the development is to be located. Developments should fit into the fabric of their adjacent neighborhoods, as evidenced by an evaluation of: transitions to abutting and adjacent uses; lot sizes, particularly along the periphery; bulk/mass of the proposed dwelling units; setbacks (front, side and rear); orientation of the proposed dwelling units to adjacent streets and homes; architectural elevations and materials; pedestrian, bicycle and vehicular connections to off-site trails, roadways, transit facilities and land uses; existing topography and vegetative cover and proposed changes to them as a result of clearing and grading. It is not expected that developments will be identical to their neighbors, but that the development fit into the fabric of the community.*

The site layout provides appropriate relationships and transitions between the residential, retail, and office uses. Privacy yards are provided for the townhomes and two-over-two dwellings with landscaping and/or low fences/walls used to transition the private space to the adjacent public open space areas. Landscaping along the periphery of the site also provides a transition from the development to adjacent development. The building elevations conceptually provide the mass and architecture of the buildings, which will be further refined as part of the Reston Design Review Board's (DRB) review and approval of these elements. The four-story mass of the residential buildings are similar to the mass of surrounding dwellings. The multi-family building takes advantage of the grade of the site along the western property line, which slopes to the north to reduce the height and mass of the four-story building by building it into the grade.

In recognition of the need to balance revitalizing the Village Center and the character of the area, as previously discussed, townhome Buildings K and M are oriented towards North Shore Drive, which is a more urban orientation with front facades, doors, porch steps, and entry walkways facing the road. With such orientation towards the road, the buildings have been designed with a landscaped buffer in front of the approximately 9-foot deep private front yards, as previously shown in Figure 10B. From the front facades of the closest townhomes in Buildings K and M to the property line adjacent to North Shore Drive are 24.14 feet and 20.90 feet, respectively. It is noted that Lots 37 through 40 in Building M are set further back from the property line, as conditioned by the Reston DRB's approval of the conceptual site design. Staff recommended moving Lots 41 through 44 of Building M further back from the road since the closest townhome facade is 14 feet from the property line. However, the applicants indicated an impact to turning movements, but did not demonstrate such impact and such impact is unclear to staff. The remainder of the townhomes and multi-family dwellings appropriately are oriented inward toward the Linear Green, Central Plaza, and pedestrian walkways.

Pedestrian, bicycle, and vehicular connections to off-site trails, roadways, transit facilities, and land uses are provided. However, staff notes two areas of pedestrian concern. Pedestrian access across townhome and two-over-two driveways are not

provided, which in staff's opinion, inhibits safe pedestrian access in the townhome and two-over-two dwelling areas. As a result, pedestrian movement has to occur in the street or a pedestrian must cross the street to access a sidewalk. In addition, a 4-foot sidewalk is provided between the adjacent parking area and Building N and the property line instead of a 5-foot sidewalk.

As previously described, connections are provided to the off-site Reston Association Blue Trail that crosses the development in the northern and southern areas of the site and to the pedestrian tunnel entrance on the property. No new public streets are proposed. Convenient access to transit facilities and land uses are provided, as previously described. Landscaping will be provided to transition and screening between the uses both on-site and along the periphery of the site.

### **Environment** (Appendices 7, 8, and 9)

All rezoning applications for residential development should respect the environment. Rezoning proposals for residential development, regardless of the proposed density, should be consistent with the policies and objectives of the environmental element of the Policy Plan, and will also be evaluated on the following principles, where applicable.

*Preservation: Developments should conserve natural environmental resources by protecting, enhancing, and/or restoring the habitat value and pollution reduction potential of floodplains, stream valleys, EQCs, RPAs, woodlands, wetlands and other environmentally sensitive areas.*

There are no floodplains, stream valleys, EQCs, RPAs, woodlands, wetlands, or other environmentally sensitive areas on the subject properties. Tree preservation is discussed in the Tree Preservation and Tree Cover Requirements section of the report.

*Slopes and Soils: The design of developments should take existing topographic conditions and soil characteristics into consideration.*

The site design takes into consideration existing topographic conditions to minimize land disturbance. The site contains slopes in the western and southern areas of the site. In the southern area, the site slopes towards North Shore Drive from an elevation of approximately 362 feet above sea level to an elevation of 358 feet in the vicinity of the center line of North Shore Drive. As a result of such slope and townhomes adjacent to the Reston Association Blue Trail, a retaining wall is proposed. Staff expressed concern on the height of the retaining wall since is not shown on the PRC Plan/SE Plat and could create an environment that could feel unsafe and imposing for users with understory landscaping on the other side of the trail. Staff recommended that the building material of the wall should be concrete or stone and the PRC Plan/SE Plat notes masonry, concrete, or wood building materials. Staff has proposed a development condition on the building materials and yearly maintenance of the understory plantings.

In the western area of the site, the site slopes to the north from an elevation of 368 feet to 340 feet at the northern property line. The slopes on the site contribute the proposed site layout with the multi-family parking garage built into the grade to minimize land disturbance and to reduce the visual height of the building.

On-site soils include Glenelg silt loam, Wheaton-Glenelg Complex, and urban fill. None of these soils are problem soils.

*Water Quality: Developments should minimize off-site impacts on water quality by commitments to state of the art best management practices for stormwater management and better site design and low impact development (LID) techniques.*

The subject property is located within the Difficult Run Watershed. The required phosphorous reduction for the redevelopment of the site is 2.41 pounds per year. Water quality will be provided through bay filters or equivalent measures and will have a phosphorous removal rate of 50 percent in order to achieve compliance with the stormwater regulations in the Public Facilities Manual (PFM). While the proposed stormwater measures may meet current PFM minimum requirements, staff recommended a more creative approach to managing water quantity and quality could be provided through a variety of measures that could include green roof areas, vegetated swales, rain gardens, filterstrips and other measures that could be incorporated into the landscape design of the project.

The Office of Community Revitalization staff recommended including permeable pavement or other form of low impact development in the surfacing parking stalls of the residential areas in the development. Such design would address the Comprehensive Plan recommendation to “[c]apitalize on the parking areas as key elements in the sustainability plan through the use of low impact development tools...” The use of permeable pavement reduces stormwater runoff and improves water quality by filtering pollutants. The applicant expressed concern on the maintenance of permeable pavers and declined to provide permeable pavers.

*Noise: Developments should protect future and current residents and others from the adverse impacts of transportation generated noise.*

The Policy Plan of the Comprehensive Plan provides that new development should not expose people in their homes or other noise sensitive environments to noise in excess of DNL 45 Ldn or to noise in excess of DNL 65 dBA Ldn in the outdoor recreation areas of homes. In response to staff’s recommendation to demonstrate that vehicular noise exposure from Wiehle Avenue will not exceed 65 dBA Ldn, the applicants retained a noise consultant to perform a 24-hour on-site traffic noise measurement to determine the noise impact from Wiehle Avenue and North Shore Drive. Future traffic volumes and proposed grading information were used to determine future noise contours for the site.

The noise study indicated that for future indoor noise impact, residential units are expected to achieve an interior noise level of 45 dBA Ldn and commercial areas are expected to achieve an interior noise level of 50 dBA Ldn with standard construction. Based on the findings of the noise study, no interior or exterior noise mitigation measures are warranted.

*Lighting: Developments should commit to exterior lighting fixtures that minimize neighborhood glare and impacts to the night sky.*

Staff requested that the applicants identify locations for lighting along the trails and walkways to review the quality of the lighting design, conflicts with landscaping, and ensure safe pedestrian walkways. Locations of exterior lighting fixtures are not provided on the PRC Plan/SE Plat and have not been provided. All lighting is subject to the Outdoor Lighting Standards contained in Article 14 of the Zoning Ordinance and the Public Facilities Manual.

*Energy: Developments should use site design techniques such as solar orientation and landscaping to achieve energy savings, and should be designed to encourage and facilitate walking and bicycling. Energy efficiency measures should be incorporated into building design and construction.*

The Comprehensive Plan's Policy Plan recommends the incorporation of green building practices sufficient to attain the U.S. Green Building Council's (USGBC) Leadership in Energy and Environmental Design (LEED) certification at a minimum; attainment of LEED Silver certification is strongly encouraged. To achieve this, staff has proposed a development condition that the residential buildings achieve certification through the 2012 National Green Building Standard using the ENERGY STAR® Qualified Homes path for energy performance for residential development or the EarthCraft House Program. Since minor additions are proposed to the existing commercial buildings, green building practices are not expected for minor additions in the Comprehensive Plan.

### **Tree Preservation and Tree Cover Requirements (Appendix 8)**

*All rezoning applications for residential development, regardless of the proposed density, should be designed to take advantage of the existing quality tree cover. If quality tree cover exists on site as determined by the County, it is highly desirable that developments meet most or all of their tree cover requirement by preserving and, where feasible and appropriate, transplanting existing trees. Tree cover in excess of ordinance requirements is highly desirable. Proposed utilities, including stormwater management and outfall facilities and sanitary sewer lines, should be located to avoid conflicts with tree preservation and planting areas. Air quality-sensitive tree preservation and planting efforts are also encouraged.*

There is 1-acre of existing tree canopy on-site. A total of 10 percent or 32,534 square feet of the site is required to be provided with tree canopy; 1,937 square feet of tree

canopy will be provided through tree preservation and an additional 36,075 square feet of tree canopy is proposed to be provided for a total of 38,012 square feet of tree canopy, which exceeds the tree canopy requirement by 5,478 square feet.

The required Tree Preservation Target is 13.4 percent or 4,360 square feet of tree canopy; 6 percent (1,937 square feet) of tree preservation is being provided. Since the 10-Year Tree Preservation Target is not being met, falling short of the requirement by 2,423 square feet, the applicants submitted a request to the Urban Forest Management Division (UFMD) for a deviation of the Tree Preservation Target, based on Section 12 of the Public Facilities Manual. The applicants propose a monetary contribution of \$3,635 to the Tree Preservation and Planting Fund, pursuant to Section 12-0512.3 of the Public Facilities Manual to address the on-site tree preservation requirements that are not being met. A pro-rated fee contribution to the County's Tree Preservation and Planting Fund may be permitted provided that the criteria for such contribution is met, as determined by the Director of the Department of Public Works and Environmental Services.

UFMD reviewed the deviation request and indicated that on-site trees unnecessarily will be impacted by the proposed development and recommended design modifications to better preserve on-site trees, which could include: adjusting the limits of clearing and grading, extending a retaining wall to protect trees in the vicinity, adjusting the location of proposed landscaping, and expanding planting areas to conserve trees. UFMD indicated that these issues could be addressed at the time of site plan and a development condition is proposed to permit the recommended adjustments to the site design without the need for an amendment to the PRC Plan in order to better preserve on-site trees.

In addition, in reviewing the preliminary tree inventory and condition analysis, UFMD indicated that several off-site trees unnecessarily will be impacted by the proposed development and that it appears that the applicants have not exhausted all reasonable efforts to lessen impacts to off-site trees. UFMD recommended several design modifications that could result in increasing off-site tree preservation, such as: adjusting the footprint of Building A to decrease the impacts to the roots and limbs of off-site trees by either reducing the size or shifting the building 15 feet to the southeast; relocating the proposed dumpsters; and shifting the retaining wall and 6-foot tall wood fence along the northeast property line to the curb. UFMD indicated that if these design modifications are not feasible, then a letter of explanation should be provided from a certified arborist on why the alternative design recommendations were rejected.

The applicants indicated that the design recommendations are not feasible and indicated that they have met with the Reston Association (RA) on removal of impacted off-site trees on RA property. The applicants indicated that RA arborists and RA staff toured the site and identified which trees are anticipated to be impacted by the development. The applicants indicated that RA seemed to consent to their removal.

The on-site tree preservation could be addressed at the time of site plan with UFMD and the applicants continuing to work together on the opportunities to preserve additional trees. If the issue cannot be resolved either a minor modification or an amendment to the PRC Plan may be required.

### **Transportation** (Appendices 10 and 11)

*All rezoning applications for residential development should implement measures to address planned transportation improvements. Applicants should offset their impacts to the transportation network. Accepted techniques should be utilized for analysis of the development's impact on the network. Residential development considered under these criteria will range widely in density and, therefore, will result in differing impacts to the transportation network. Some criteria will have universal applicability while others will apply only under specific circumstances. Regardless of the proposed density, applications will be evaluated based upon the following principles, although not all of the principles may be applicable. The principles include: transportation improvements, transit/transportation management, interconnection of the street network, streets, non-motorized facilities, and alternative street designs.*

The development is located off North Shore Drive, which is a local road east of Wiehle Avenue that dead ends at Park Glen Court and on-street parking is prohibited in the vicinity of the site. At the intersection of Wiehle Avenue and North Shore Drive there is a shared through and right-turn lane and a dedicated left-turn lane. North Shore Drive is proposed to be improved with an on-road bicycle lane with striping and signage. Pedestrian improvements along North Shore Drive include a five-foot wide sidewalk and four-foot wide buffer strip. Pedestrian and bicyclist connections are provided to the Reston Association Blue Trail in southern and northern areas of the site and throughout the property. A Fairfax Connector bus stop will be relocated from within the site to the northeast corner of the property in a landscaped open space area with a bus shelter. The Fairfax Connector route provides local transportation and a stop at the Wiehle-Reston East metro station. Adjacent to the bus stop is a bike share space for a future bike share station by others.

The proposed development did not trigger a need for a Virginia Department of Transportation (VDOT) Chapter 870 Transportation Impact Analysis review since the trip generation did not meet threshold for such review. However, at the request of the community and staff, an Operational Analysis was provided by the applicants to assess the impacts of the proposed development on the surrounding road network. VDOT and the Fairfax County Department of Transportation (FCDOT) reviewed the Operational Analysis and provided comments contained in Appendices 10 and 11. In summary, the comments state while FCDOT staff is able to support the concept that the proposed development would have a lesser impact to the surrounding road network as compared to the allowable existing uses, FCDOT staff cannot support the findings and conclusions in the report given that the scope and the methodology was not agreed upon by FCDOT or the Virginia Department of Transportation (VDOT). FCDOT and VDOT recommend the Operational Analysis be re-scoped and resubmitted with the scope and the

methodology agreed upon by transportation staff. Such analysis would define the impacts the proposal would have on the road network in order to inform the proposed restriping of North Shore Drive from a 4-lane undivided roadway to a 2-lane design with a center turn lane and allow for on-road bicycle lanes. The analysis also would inform any potential modifications needed at the Wiehle Avenue intersection, which would address VDOT's comments on the lane widths, twiddle (back-to-back left turns), and transitions. It is anticipated that these modifications can be done within the existing curbs of the road. Staff has proposed a development condition for the Operational Analysis to be rescoped using a scope and methodology agreed upon by FCDOT and VDOT and comments on the Operational Analysis resolved prior to minor site plan approval for the commercial uses.

The applicants, upon the recommendation from staff, have made an effort to allow the transit route to circulate onsite and provide transit amenities for new residents and the surrounding community. FCDOT staff recommends that the applicants continue to coordinate with FCDOT Fairfax Connector staff during the site plan process to address the following and a development condition has been proposed.

- Coordination on impacts to the existing route during construction of the site and communication to the existing transit riders regarding impacts to service, and
- Modifications to the internal roadway curb radii and ADA ramps, if needed, to allow for the buses to circulate onsite.

In order to address the various types of bicycles riders for the proposed site (residents, visitors, and employees), FCDOT recommends that the applicants provide bicycle racks, bike lockers/ storage areas throughout the site, the specific locations of which can be determined at the time of site plan subject to the approval of the FCDOT. The bike racks should be inverted U-style racks or other design approved by FCDOT. The total number of bike parking/storage spaces should be consistent with the Fairfax County Policy and Guidelines for Bicycle Parking for each building or group of buildings as determined at site plan. With the proposed development conditions, the outstanding issues will be resolved.

## **Public Facilities**

*Residential development impacts public facility systems (i.e., schools, parks, libraries, police, fire and rescue, stormwater management and other publicly owned community facilities). All rezoning applications for residential development are expected to offset their public facility impact and to first address public facility needs in the vicinity of the proposed development.*

### Park Authority (Appendix 12)

The Comprehensive Plan states, in relevant part, that redevelopment in the "...Village Centers should incorporate new park spaces by utilizing guidance from the Urban Parks Framework in the Parks and Recreation section of the Policy Plan (Appendix 2). The

Urban Parks Framework was established to guide the creation of park systems in Fairfax County's urbanizing and redevelopment areas and is to be used to guide park development. This framework provides service level standards, design guidelines and a typology of urban park types to guide the creation of urban parks in Fairfax County." (Reston Plan, Community-wide recommendations, page 41) Applying the urban parkland standard of 1.5 acres per 1,000 residents and 1 acre per 10,000 employees, the proposed development generates a need for 0.54 acres of onsite urban park space and approximately a half-acre appears to be provided.

In keeping with the Comprehensive Plan guidance for the Tall Oaks Village Center, the urban parkland should be provided as a central gathering space or public plaza. With 14,393 square feet of proposed commercial (office and retail) space, the Park Authority indicated that there is not enough retail or civic use in the plan to provide the level of activity that would support a large public plaza or event green. The predominantly residential uses in the Tall Oaks plan cannot support a large volume of the type of programming that a lively commercial/retail center could support (such as movies on the green, farmer's markets, public outdoor yoga classes, etc.).

Given the preponderance of residential uses in the plan and the surrounding areas, the Park Authority recommended the inclusion of a central gathering area that serves a neighborhood and community focus rather than a large public plaza or event green since the amount of retail would not support such spaces. A special playground with combined youth and adult play and fitness elements will provide a draw for a broad range of people. Because the Comprehensive Plan calls for a community gathering space at the Tall Oaks Village Center, any playground facility should be designed to set it apart from the typical out-of-the-box standard play structure. Additionally, play elements for adults (big swings, hammocks, interactive art, etc.) and fitness elements would provide fun and useful activities for adults while the kids are playing and would attract a more multigenerational group of users. A development condition has been proposed for consultation with the Park Authority on the Village Center elements, which includes the play and fitness elements. To address the needs of older adults, the design of the space could incorporate some elements that are specifically designed for the elderly to promote balance, coordination, and stretching. A development condition has been proposed to ensure appropriate older adult fitness equipment.

The community gathering space should be clearly visible from North Shore Drive and the entrance to the development, whether people are in a car or on foot. It should also be clearly visible from the adjacent elderly housing. A variety of seating and shade elements should be included. The applicant responded by providing a central gathering space that is designed as a community gathering and recreation area with a mix of active and passive elements that will meet the outdoor leisure needs of a range of ages of individuals. Sheets 29-33 of the PRC Plan/SE Plat depict the on-site open space and park network. A central gathering area of about 21,200 square feet is provided adjacent to retail and multi-family residential uses. The space includes natural play elements, a terraced lawn, hardscape areas, a variety of seating and shade options, focal point sculpture or fountain, hammocks, and senior fitness stations. A linear green

approximately 26,500 square feet adjacent to the community gathering and recreation area extends the space and provides connectivity to the adjacent senior housing. In staff's opinion the Central Plaza area should contain high quality amenities to attract visitors given that it is a focal part of the Village Center. If the Central Plaza is not programmed well and often, it could become an underutilized space. If there is programming of such space, a nonprofit or governmental partner (such as Reston Community Center or Reston Association) would be essential. To achieve this, a development condition has been proposed for coordination with the Park Authority.

As previously discussed, the Central Plaza is visible from North Shore Drive and the entrance to the development; likewise, from the assisted living facility. With staff's proposed development conditions, the size, location, and design of the on-site community gathering and recreation area provides a good mix of active and passive elements to serve a neighborhood and community focus that will meet the intent of the Comprehensive Plan and serve as a well-used neighborhood gathering place.

#### Fairfax County Public Schools (Appendix 13)

A net of 57 new students is anticipated (33 elementary, 8 middle and 16 high school) from the proposed development. Based on the total number of students generated and the per student contribution amount, a monetary contribution of \$669,693 (57 students x \$11,749) is recommended at the time of site plan to offset the impact that new student growth will have on surrounding schools. Typically, a contribution to off-set the impact of new students generated from residential development is requested at the time of the rezoning, but since the rezoning occurred in 1969 and the site was developed with a shopping center, a schools contribution was not provided. Staff feels that a school contribution is appropriate for this development given that it is a redevelopment of an existing shopping center with predominantly residential uses, which will generate school age children who will attend area schools. The applicants have declined to provide a school contribution.

The proposed residential dwellings are one of several development projects within the Langston Hughes and South Lakes High School attendance areas. Individually, the development will not provide a significant student impact, but collectively with the other developments being proposed and approved within the same middle and high school attendance areas, the combined developments will impact these schools. The following table was provided by Fairfax County Public Schools showing the approved and pending zoning applications currently in process and estimated total student yields.

Application Number	Application Name	Project Status	Proposed Units	Estimated Students
PRC A-502-02	Fairways Apartments	APPROVED	128 SFA; 676 MF (Note: site currently has 348 existing MF)	34
PRC A-502-03	Lake Anne Redevelopment	APPROVED	120 SFA	60 to 93
PRCA B-846	JBG (Reston Heights)	APPROVED	498 MRHRMF	54
PCA 78-C-098-02	Gregor, Inc (Linden Springs)	APPROVED	60 MF	7
PCA 82-C-060-02	Athena Renaissance	APPROVED	180-360 HRMF (Note: site currently has 336 LRMF)	12
PCA 85-C-088-09	Reston Town Center, Block 4	APPROVED	549 MRHRMF	57
PRC 86-C-121-02	Section 89-3 (Windood) RAJ Development	APPROVED	125 MRHRMF	9
PRC 86-C-121-03	Oracle	APPROVED	457 MRHRMF	38
PRC 86-C-121-04	Reston Spectrum LP	APPROVED	1,422 MRHRMF	125
PRC 87-C-088	Four Seasons	APPROVED	11 MF	3
RZ/FDP 2009-HM-019	Reston Station @ Wiehle Ave	APPROVED	513 MRHRMF	35
RZ/FDP 2010-HM-008	RPB&M (Sunset Hills Rd.)	APPROVED	421 MRHRMF	36
RZ 2015-HM-005	Pulte Home Corp	PENDING	42 LRMF	14
RZ/FDP 2015-HM-011	CESC Commerce Executive Park LLC	PENDING	500 MFMR	50
RZ/FDP 2015-HM-013	Wiehle Station Ventures, LLC	PENDING	260 MRHRMF	26
PCA B-846-03	RP 11720, LLC	PENDING	49 SFA	21
RZ/FDP 2016-HM-005	1831 Michael Faraday LLC	PENDING	13 SFA and 230 MFHR	29
RZ/FDP 2016-HM-004	Linden Development Partners, LLC	PENDING	400 MFHR / 712 MFHR	39 to 71

Multi-family (MF); Low-rise multi-family (LRMF); Mid-rise/high-rise multi-family (MRHRMF); Single-family attached (SFA)

As the table indicates, there are a number of other zoning applications that will generate student impacts to Langston Hughes Middle School and South Lakes High School, all of which feed into these schools. This development is the only development that will impact Forest Edge Elementary School; the developments in the chart feed into Sunrise Valley or Lake Anne Elementary Schools. It is further noted, that low-rise multi-family dwellings, such as the ones proposed, as classified by the school system, generates a higher number of students than mid- and high-rise developments since these developments tend to be more affordable. Staff feels a monetary contribution is appropriate since new residential dwellings predominately are replacing an existing shopping center and new student yields from the residential dwellings will impact surrounding schools. It is recommended that notification be provided to FCPS from the developer when development is likely to occur or when a site plan has been filed with the County. This will allow the school system adequate time to plan for anticipated student growth to ensure classroom availability.

#### Fire and Rescue (Appendix 14)

The Tall Oaks Village Center is located in the emergency response area of the Reston Fire and Rescue Station 25 on Wiehle Avenue. The Fire and Rescue Department (FRD) analyzed the historical rate of incidents per population in each fire station's response area across the county to determine workload capacity. In fiscal year 2015, there were 3,337 incidents in the Reston fire station's response area and 1,273 incidents in the North Point fire station's response area. The potential impact on Fire and Rescue services by proposed residential developments currently can be handled by the existing fire stations. However, approval of multiple new developments in one fire station's response area could significantly impact that station's availability and overall response times to all emergency incidents.

As Fairfax County increases in population density and roadways become more congested, it will be challenging for FRD to meet response time goals to emergency incidents. FRD is pursuing installation of preemption devices on traffic signals throughout the County. Traffic preemption improves both civilian and firefighter safety by reducing the potential for accidents at intersections.

The proposed development of 156 new residential dwelling units could generate additional emergency calls for service. Therefore, the FRD requests the cost of two preemption devices (\$20,000) for traffic signals located along the primary travel route from the closest fire station to the proposed development. The applicants have declined to provide a contribution.

#### **Affordable Housing**

*Ensuring an adequate supply of housing for low and moderate income families, those with special accessibility requirements, and those with other special needs is a goal of the County. Part 8 of Article 2 of the Zoning Ordinance requires the provision of Affordable Dwelling Units (ADUs) in certain circumstances. This criterion is applicable to*

*all rezoning applications and/or portions thereof that are not required to provide any ADUs, regardless of the planned density range for the site.*

In staff's opinion, fundamental to the development of Reston was the achievement of a balanced community that includes providing a variety of housing types for all income levels. To achieve this balance, the applicants are proposing a mix of housing types consisting of townhomes, two-over-two multi-family dwellings, and multi-family condominium dwellings. The development is subject to the County's Affordable Dwelling Unit (ADU) Program in the Zoning Ordinance, which requires that 12 percent (5 units) of the 44 townhomes and 5 percent (6 units) of the 112 multi-family units be provided as affordable housing, which the applicant is providing. The ADU Program permits the 5 units generated from the townhomes to be provided in any residential building; however, it is desirable for those units to be provided as townhomes. This would further provide for the diversity of housing for all income levels that is envisioned in a Village Center and in the PRC District.

### **Heritage Resources**

*Heritage resources are those sites or structures, including their landscape settings that exemplify the cultural, architectural, economic, social, political, or historic heritage of the County or its communities. Such sites or structures have been 1) listed on, or determined eligible for listing on, the National Register of Historic Places or the Virginia Landmarks Register; 2) determined to be a contributing structure within a district so listed or eligible for listing; 3) located within and considered as a contributing structure within a Fairfax County Historic Overlay District; or 4) listed on, or having a reasonable potential as determined by the County, for meeting the criteria for listing on, the Fairfax County Inventories of Historic or Archaeological Sites.*

There are no heritage resources on the subject property.

### **ZONING ORDINANCE PROVISIONS**

#### **Planned Residential Community (PRC) District Objectives (Sect. 6-301)**

#### **General Standards for All Planned Districts (Sect. 16-101)**

The PRC District regulations are designed to permit a greater amount of flexibility to a developer of a planned community by removing many of the restrictions of conventional zoning. This flexibility is intended to provide an opportunity and incentive to the developer to achieve excellence in physical, social and economic planning. To be granted this zoning district, the developer must demonstrate the achievement of the following specific objectives throughout all of their planning, design and development. To this end, rezoning to and development under this district will be permitted only in accordance with a comprehensive plan and PRC Plan/SE Plat prepared and approved in accordance with the provisions of Article 16 (PRC Plan/SE Plats). The following is a

combined discussion and analysis of the Planned Residential Community (PRC) District provisions and the General Standards for all P Districts.

*P District General Standard 1: Conformance with the adopted comprehensive plan with respect to type, character, intensity of use, and public facilities. Planned developments shall not exceed the density or intensity PRC District Objective 1: A variety of housing types, employment opportunities and commercial services to achieve a balanced community for families of all ages, sizes and levels of income.*

The Comprehensive Plan provides a general vision and guidelines for redevelopment of a Village Center in order to ensure that such redevelopment fits into the community within which the development is located.

The Comprehensive Plan states that each of the Village Centers consists of a non-residential mixed-use area and adjacent residential uses and the focus of redevelopment should be in the non-residential mixed-use area. The redevelopment of the subject properties is a redevelopment of the Village Center. As such, the Comprehensive Plan provides a general vision for Reston's Village Centers with the following recommendations to achieve the vision of a unique, vibrant community gathering space:

- Enhance Village Centers as vibrant neighborhood gathering places;
- Advance excellence in site design and architecture;
- Strengthen connectivity and mobility; and
- Project and respect the surrounding residential neighborhoods.

To achieve this vision, the Comprehensive Plan states that in order to establish clear expectations for all residents, landowners and businesses, any proposal for redevelopment of Reston's Village Centers should generally follow a process that includes:

- Demonstrating how the proposal achieves the general vision and planning objectives established for Reston's Village Centers and all other relevant Plan guidance;
- Involving residents and businesses of the Village Center, the residents surrounding the Village Center, as well as the larger Reston community in determining the views and desires of all stakeholders;
- Conducting a market analysis to provide information on the existing and proposed development and the viability of the existing and proposed mix of uses; and
- Conducting transportation analysis on existing and proposed development.

The following is staff's analysis and discussion of such process.

## Market Study

At the request of staff, a market study was conducted by the applicants to demonstrate the demand for residential and non-residential uses at the Village Center. The applicants submitted a market analysis dated March 9, 2016, prepared by Robert Charles Lesser & Co. Real Estate Advisors (RCLCO) on the demand for residential and retail development at the Tall Oaks Village Center. For retail demand, the analysis concluded that the Village Center will be unable to attract a quality grocery anchor due to poor visibility, low traffic counts, and proximity to competitive existing stores and new developments in superior locations, which are all insurmountable challenges that will dissuade traditional or specialty grocers from electing to lease space at the site. RCLCO concluded that without a quality grocery store anchor, the poor visibility and low traffic counts at Tall Oaks will result in demand for only a small number of desirable stores, restaurants, and service providers. There may be limited opportunity for a discount retailer on the site, but ultimately, RCLCO concluded, a neighborhood-serving grocer is not viable. A small amount (approximately 7,500 square feet) of food-based and neighborhood-serving retail would be appropriate.

With respect to residential development, RCLCO indicated there is sufficient pent-up demand to support a multifaceted development strategy that includes: for-sale residential consisting of some combination of condo, two-over-two, and townhomes and ancillary retail consisting of small-scale retail to support local residential uses and needs. Given the site challenges and high demand for a residential product, RCLCO concluded that the highest and best use for the Village Center redevelopment is a mix of for-sale residential uses served by a small amount of food-focused and convenience retail.

Subsequently, the County retained RKG Associates to conduct an independent peer review of the retail and residential market analysis performed by RCLCO. RKG Associates concluded that the Village Center will continue to be non-competitive due to its lack of visibility and lack of access from Wiehle Avenue. The type of retailers and service providers that will be attracted to the Tall Oaks Village Center are those that serve the greater Reston market, but do not rely on high volume through-traffic and walk-up business. The three most likely retail/service tenants of the new development will be neighborhood-serving businesses (i.e. dry cleaners, beauty salons, etc.), destination businesses (i.e. pet daycare/grooming), and dining establishments that rely heavily on their take-out and delivery business. In short, the existing Tall Oaks Village Center Shopping Center is attractive because it offers ample parking and a comparatively reduced rent rate (within Reston). Retailers that focus on in-store activity will seek locations at the many shopping centers along the major transportation corridors (i.e. Sunset Hills Road, Reston Parkway, etc.).

In terms of total supportable retail space, RKG Associates indicated that RCLCO's findings are within a reasonable range. At a base level, the site currently supports 9,400 square feet of users. Assuming a similar rent structure, the site likely could continue this level of activity after the redevelopment, especially with 156 new high-

income households on the premises. RKG Associates further indicated that it is reasonable to believe the site could support up to 10,000 square feet of service-based businesses with an appropriate design, pricing, and parking strategy. RKG Associates noted that increasing the total amount of retail/service space in the new development comes with some risk. Adding more commercial space to the new development likely will require the developer to price the space more competitively within the market to reach full occupancy. Given the current success at the Tall Oaks Village Center Shopping Center that relies on below-market cost space compared to elsewhere in Reston, heavier discounts will further negatively impact the financial performance of the project. This is particularly true when considering underlying cost per square foot is much higher for newly constructed space than for older, rehab space.

In summary, RKG Associates found no evidence or methodological flaws to refute the analysis findings from RCLCO. RKG Associates further indicated that the site is a logical location for a medium density ownership and rental housing development given its proximity to metro, Reston Town Center, Tysons, and Washington D.C. A copy of the market analysis performed by RCLCO is provided as Appendix 15A and a copy of the RKG Associates analysis is provided as Appendix 15B.

Based on the conclusions of the market analyses, a total of 8,584 square feet of retail uses and 5,809 square feet of office uses are proposed and provide opportunities for employment and neighborhood-serving services. The Central Plaza space has increased from previous designs with the inclusion of the office building, which provides for a larger plaza and community gathering area and is an improvement to the overall site design. A variety of housing types are being provided in the form of rear and front loaded townhomes, two-over-two multi-family dwellings, and multi-family dwellings. A total of 156 dwellings are proposed, inclusive of 11 affordable dwelling units required through the Affordable Dwelling Unit (ADU) program. While the ADU program permits ADUs generated to be provided in any residential building, it is desirable that the ADUs generated by the townhomes are provided as the townhomes rather than as multi-family dwellings to provide a diversity of housing for families of all ages, sizes, and income levels.

### Community Engagement

Significant involvement of residents and businesses of the Village Center, surrounding area residents, and the larger Reston community has occurred with these applications. Based on the documentation provided by the applicants in Appendix 16, meetings with community groups such as the Reston Design Review Board and Planning and Zoning Committee, community members, and community meetings have occurred since 2014. In addition, the applicants have met with surrounding neighborhoods and businesses such as the assisted living facility and Lake Anne Nursery and Kindergarten. Such meetings were to present and answer questions on the proposed development, provide updates, solicit feedback and discuss the site design and community concerns, and present the findings of the market analysis. Further community engagement will continue to occur through the Reston Design Review Board, which reviews and

approves the architectural design of the buildings and landscaping; as well as, public hearings by the Planning Commission and Board of Supervisors.

### General Vision and Plan Objectives

The overarching element for the redevelopment of the Village Center is to achieve the general vision and planning objectives for the Reston Village Centers. These objectives include: the provision of an appropriate land use mix; high quality, integrated design featuring public open spaces which invite residents and the community to walk, play and linger; multiple housing options including affordable housing, programmable public spaces and community/public meeting spaces.

After multiple design iterations, the proposed site design largely addresses these land use planning objectives based on the mix of uses, which includes a reasonable element of neighborhood serving and convenience retail, a mix of housing types including traditional townhomes, two-over-two multi-family units and multi-family units with parking beneath the building. The internal structure of the open space on which the majority of units front and the public open space that is featured near the site entrance and extends to interact with the retail and residential components, is designed to engage all age ranges and provide both passive and more active use. The incorporation of the existing office building into the proposed development and conversion of some of its square footage to retail uses is an improvement over previous designs and serves to better integrate the Village Center. Of the 7.46-acre site, approximately 2.7 acres are shown as open space, an improvement over previous designs, which will better meet Comprehensive Plan guidance, particularly as it relates to both the retail and residential uses.

Staff notes some areas of continuing concern with the layout and design that merit additional consideration. The fact that the majority of the residential units front on an internal linear open space is a design plus. However, the rear of some of the two-over-two units face the front facade of the multi-family building and front facades of some of the townhomes face the rear of two-over-two units. Strong design details that include landscaping, rear façade, and window treatments should be provided and incorporated to mitigate the service drive/alley perspective that is often characteristic of rear-loaded garage townhouse units.

As previously discussed, the townhome units fronting on North Shore Drive are more urban in their orientation with front facades, doors, porch stoops and entry walkways adjacent to the roadway. This orientation is a departure from the more traditional Reston design that features deeper, landscaped or wooded setbacks from roadways, and building fronts internal to the site. In this instance, the Village Center design is anchored around an internal central open space concept that better serves the future residents and integrates the retail and residential component to draw both pedestrian and vehicular traffic into the site with walkways, active and passive amenities, and convenience parking for the retail component near the site entrance. The PRC Plan/SE Plat provide for the location and provision of a public art element. Finally, staff believes

that the provision of, and commitment to, building elevations that reflect high quality materials and architectural design, is a key planning objective. Conceptual building elevations were provided by the applicants and architectural design, treatments, and color pallet will be refined further as part of the Reston Association's Design Review Board review and approval of the architectural design and treatments to ensure compatibility amongst the uses and with the surrounding community.

#### Transportation Analysis: Existing and Proposed Development

As previously discussed, the proposed development did not trigger a need for a Virginia Department of Transportation (VDOT) Chapter 870 Transportation Impact Analysis review since the trip generation did not meet the threshold for such review. However, at the request of the community and staff, an Operational Analysis was provided by the applicants to assess the impacts of the proposed development on the surrounding road network. VDOT and the County's Department of Transportation (FCDOT) reviewed the Operational Analysis and provided comments contained in Appendices 10 and 11, which previously were discussed in the Transportation section of this report. Staff has proposed a development condition for the Operational Analysis to be rescoped using assumptions and methodology agreed upon by FCDOT and VDOT and comments on the Operational Analysis resolved prior to minor site plan approval for the commercial uses.

In summary, the applicants have addressed the process for redevelopment of a Village Center established through the Guidelines for Village Center Redevelopment in the Comprehensive Plan. As such, the proposed development generally conforms to the adopted Comprehensive Plan. The density and intensity of the development is shown on the Reston Land Use Map as Village Center Mixed Use; the baseline recommendation is for neighborhood serving retail and service uses up to 0.25 floor area ratio (FAR) integrated with accessory office, institutional uses and residential development. Tabulations from the PRC Plan/SE Plat indicate a proposed 0.06 FAR for retail and office use based on a total of 14,393 square feet.

In accordance with Sect. 6-308 of the Zoning Ordinance, in the PRC District, the overall density shall not exceed 13 persons per acre of the gross residential and associated commercial areas. Residential densities are designated low, medium, and high. Based on the approved site plans in the PRC District in Reston, this application would result in 12.07 persons per acre, which does not exceed a density of 13 persons per acre, as shown on Sheet 3 of the PRC Plan. Pursuant to Par. 4 of Sect. 6-308 of the Zoning Ordinance, the applicants will be required to recalculate the overall density when the final plat is recorded.

The maximum density set forth in the Zoning Ordinance in areas designated as medium density development, which has been determined for the subject property, is limited to a maximum of 14 persons per acre of gross residential area. This is based on all of the areas within the PRC District designated as medium density residential and a maximum of 20 dwelling units per acre in any one medium density area. Based on the density

calculations provided on Sheet 2 of the PRC Plan/SE Plat and verified by staff, the proposed residential units brings the total persons per acre in a medium density area to 10.47 persons per acre and does not exceed 14 persons per acre maximum in the Reston PRC District. The development of 156 dwelling units in the 7.46-acre medium density site would result in a density of 19.43 dwelling units per acre, exclusive of the affordable dwelling units, which is less than the 20 dwelling units per acre maximum for any one medium density area. The density calculations noted above are required to be provided with the submission of a PRC Plan and reviewed by staff for conformance with the PRC District density requirements.

*P District General Standard 2: The planned development shall be of such design that it will result in a development achieving the stated purpose and intent of the planned development district more than would development under a conventional zoning district. PRC District Objective 2: An orderly and creative arrangement of all land uses with respect to each other and to the entire community. P District General Standard 4: The planned development shall be designed to prevent substantial injury to the use and value of existing surrounding development, and shall not hinder, deter or impede development of surrounding undeveloped properties in accordance with the adopted comprehensive plan.*

The planned development is located in the PRC District where the purpose and intent is to permit a greater amount of flexibility to a developer of a planned community by removing many of the restrictions of conventional zoning. This flexibility is intended to provide an opportunity and incentive to the developer to achieve excellence in physical, social, and economic planning.

The site design includes new residential dwellings and office and retail uses. Such mix of uses is possible because of the flexibility provided in the PRC District, which permits mixed-use development and the proposed mixed-use development would not be permissible in a conventional district. A conventional zoning district in this area would not achieve the vision and goals of the Comprehensive Plan for redevelopment of a Village Center.

As previously discussed, the proposed site design includes a reasonable element of neighborhood serving and convenience retail, a mix of housing types including traditional townhomes, two-over-two multi-family units and multi-family units with parking beneath the building. The internal structure of the open space on which the majority of units front and the public open space that is featured near the site entrance and extends to interact with the retail and residential components, is designed to engage all age ranges and provide both passive and more active use. The incorporation of the existing office building into the proposed development and conversion of some of its square footage to retail uses serves to better integrate the Village Center. Of the 7.46-acre site, approximately 2.7 acres are shown as open space, which will better meet Comprehensive Plan guidance, particularly as it relates to both the retail and residential uses.

While the orientation of the townhomes facing North Shore Drive is a departure from the more traditional Reston design, the market analyses confirmed that the current 'inward facing' orientation of the site is a limiting factor to commercial viability and visibility from Wiehle Avenue and low traffic counts on North Shore Drive, which greatly limit the retail potential on the site and contributed to the decline of the Village Center Shopping Center. As previously discussed, front facades along North Shore Drive are appropriate given that the development is a redevelopment of the Village Center where the intent of a Village Center is as a community gathering space to draw people in. Residential dwellings facing the road better activate the frontage to create a sense of place and better activate the pedestrian and bicyclist realm to create a vibrancy to encourage activity to the Village Center. In addition, the orientation provides a better connection with the Reston Association Tall Oaks swimming pool across the street.

The Village Center design is anchored around an internal central open space concept that better serves the future residents and integrates the retail and residential component, drawing both pedestrian and vehicular traffic into the site with walkways, active and passive amenities, and convenience parking for the retail component near the site entrance. A public art element will be provided as part of the community gathering spaces.

Aside from the previously discussed impact to off-site trees, while adequate parking is provided to meet the parking requirement, the assisted living facility may still find vehicles from the Village Center parking in the assisted living facility parking lot if surface parking is not available at the Village Center. The assisted living facility may need to provide restricted parking or parking enforcement. In general, it is anticipated that the proposed development will not create substantial injury to the use and value of existing surrounding development, hinder, deter, or impede development or use of surrounding undeveloped properties. To the contrary, the proposal is a redevelopment of the Tall Oaks Village Center and is intended to revitalize the Village Center with a mix of uses, a central community plaza, and opportunities for active and passive recreation intended to draw people into the Village Center.

*P District General Standard 6: The planned development shall provide coordinated linkages among internal facilities and services as well as connections to major external facilities and services at a scale appropriate to the development. PRC Objective 3: A planned and integrated comprehensive transportation system providing for a separation of pedestrian and vehicular traffic, to include facilities such as mass transportation, roadways, bicycle or equestrian paths and pedestrian walkways.*

As previously discussed, the development includes coordinated linkages from internal facilities to connections to external facilities and services through pedestrian walkways, crosswalks, bicycle lanes, and trail connections. However, internal pedestrian access across townhome and two-over-two driveways is not provided, which in staff's opinion, inhibits safe pedestrian access in the townhome and two-over-two dwelling areas of the development and should be reconsidered. In addition, a 4-foot sidewalk is shown

between Building N and parking and the property line. Such sidewalk should be 5 feet in width, as previously discussed.

Additionally, to ensure safe pedestrian walkways, in particular in the vicinity of the pedestrian underpass and trail in the southern area of the site, staff requested that the applicants identify locations for lighting along the trails and walkways in order to assess the quality of the lighting design, conflicts with landscaping, and to ensure adequate lighting is provided. Locations of exterior lighting fixtures are not provided on the PRC Plan/SE Plat and have not been provided.

As previously discussed, facilities such as a bus stop serviced by a route to mass transit, a bike share station area by others, bicycle paths, and pedestrian walkways are provided throughout the site with connections to off-site facilities, as shown on Sheets 26 and 26A of the PRC Plan/SE Plat.

*P District General Standard 3: The planned development shall efficiently utilize the available land, and shall protect and preserve to the extent possible all scenic assets and natural features such as trees, streams and topographic features. PRC District Objective 5: The location of structures to take maximum advantage of the natural and manmade environment.*

The proposed development utilizes available land and preserves to the extent possible natural features, such as existing vegetation in the southern area of the site as a tree save area. As previously discussed in the Tree Preservation and Tree Cover section of this report, a deviation to the tree preservation target has been requested and several off-site trees will have to be removed with the development.

The site design takes advantage of the natural environment by utilizing the existing slope of the site along the northwestern property line to site the multi-family building garage into the topography to minimize land disturbance and its visual height. In the southern area, the site slopes towards North Shore Drive. As a result of such slope and townhomes proposed adjacent to the Reston Association Blue Trail, a retaining wall is shown. However, the height of the retaining wall is not shown on the PRC Plan/SE Plat, and depending on the height, could create an environment that could feel unsafe and imposing for users with understory landscaping on the other side of the trail. Staff recommended that the building material of the wall should be concrete or stone and the PRC Plan/SE Plat notes masonry, concrete, or wood building materials. Staff has proposed a development condition on the building materials and yearly maintenance of the understory plantings.

The site takes advantage of the manmade environment by providing pedestrian and bicycle connections to existing trails, sidewalks, and pedestrian tunnel.

*PRC District Objective 4: The provision of cultural, educational, medical, and recreational facilities for all segments of the community.*

Existing cultural, educational, medical, and recreational facilities exist in the surrounding area to serve the proposed development. The Reston Community Center at Hunters Woods and Lake Anne are nearby and provide both cultural and recreation facilities. Educational opportunities are nearby at the Reston campus of the Northern Virginia Community College and Marymount University at the intersection of Wiehle Avenue and Sunset Hills Road and through Fairfax County Public Schools. The North County Human Services building also is located nearby and provides neighborhood and community services. Reston Association has nearby recreational facilities (swimming pool, tennis and basketball courts, picnic area, and trails) within walking distance of the proposed development.

*P District General Standard 5: The planned development shall be located in an area in which transportation, police and fire protection, other public facilities and public utilities, including sewerage, are or will be available and adequate for the uses proposed; provided, however, that the applicant may make provision for such facilities or utilities which are not presently available. PRC District Objective 7: The staging of development in a manner which can be accommodated by the timely provision of public utilities, facilities and services.*

As previously discussed, public transportation, police and fire protection, public facilities and public utilities are available for the proposed development. However and as previously discussed, the Fire and Rescue Department recommends a monetary contribution for the cost of two preemption devices (\$20,000) for traffic signals located along the primary travel route from the closest fire station to the proposed development. Traffic preemption improves both civilian and firefighter safety by reducing the potential for accidents at intersections. In addition and as previously discussed, the redevelopment with predominately residential uses generates new student growth that will have an impact on surrounding schools when combined with surrounding redevelopment. Staff recommends a monetary public school contribution to off-set the impact.

Public utilities, facilities, and services currently exist to serve the proposed development. Utilities such as water lines, sanitary sewers, storm drains, gas lines, and fire hydrants are identified on the PRC Plan/SE Plat.

*PRC District Objective 6: The provision of adequate and well-designed open space for the use of all residents.*

As previously discussed in the Residential Development Criteria section, the Park Authority memorandum evaluated the open space being provided as part of the redevelopment of the Tall Oaks Village Center and conformance with the Comprehensive Plan. The Park Authority recommended the inclusion of a central gathering area that serves a neighborhood and community focus with amenities to

support its use by all ages from children to older adults. The Central Plaza is designed as such space and provides a community gathering and recreation area with a mix of active and passive elements to meet the outdoor leisure needs of a range of ages of individuals. The Central Plaza contains approximately 21,200 square feet, as indicated by the applicants. The space includes areas for natural play elements, a terraced lawn, hardscape areas, a variety of seating and shade options, focal point sculpture or fountain, hammocks, and senior fitness stations. In staff's opinion the Central Plaza area should contain high quality amenities to attract visitors given that it is a focal part of the Village Center. To achieve this, a development condition has been proposed for the amenities in the Central Plaza area to be coordinated with the Park Authority. With the proposed development conditions, the size, location, and design of the on-site community gathering and recreation areas provide a good mix of active and passive elements that will meet the intent of the Comprehensive Plan and serve as a well-used neighborhood gathering place.

### **Design Standards for All Planned Developments (Sect. 16-102)**

Whereas it is the intent to allow flexibility in the design of all planned developments, it is deemed necessary to establish design standards by which to review rezoning applications, PRC Plan/SE Plats, conceptual PRC Plan/SE Plats, final PRC Plan/SE Plats, PRC plans, site plans and subdivision plats. Therefore, the following design standards apply:

*Design Standard 1: In order to complement development on adjacent properties, at all peripheral boundaries of the PDH, PRM, PDC, PRC Districts the bulk regulations and landscaping and screening provisions shall generally conform to the provisions of that conventional zoning district which most closely characterizes the particular type of development under consideration.*

The proposed development is not located on the periphery of the PRC District. Landscaping and screening are provided on the periphery boundaries and throughout the development. A modification of the transitional screening and barrier requirements has been requested and is discussed in more detail in the Waivers and Modifications section of the staff report.

*Design Standard 2: Other than those regulations specifically set forth in Article 6 for a particular P district, the open space, off-street parking, loading, sign and all other similar regulations set forth in this Ordinance shall have general application in all planned developments.*

As previously discussed, there is no open space requirement in the PRC District for the proposed uses, but 2.71 acres (36 percent) of the site is being provided as open space, which includes part of the townhome lots. Adequate parking is being provided to meet the parking requirement in the Zoning Ordinance; however, the assisted living facility may still find vehicles from the Village Center parking in the assisted living facility parking lot if surface parking is not available at the Village Center. The assisted living

facility may need to provide restricted parking or parking enforcement. A modification of the loading space requirements are requested, which is discussed in more detail in the Waivers and Modifications section of the staff report.

*Design Standard 3: Streets and driveways shall be designed to generally conform to the provisions set forth in this Ordinance and all other County ordinances and regulations controlling same, and where applicable, street systems shall be designed to afford convenient access to mass transportation facilities. In addition, a network of trails and sidewalks shall be coordinated to provide access to recreational amenities, open space, public facilities, vehicular access routes, and mass transportation facilities.*

Streets and driveways are designed to conform with applicable Zoning Ordinance and County provisions. No new public streets are proposed; traffic signal modifications and lane striping will need to be addressed as part of the site plan review process. The existing street system provides convenient access to mass transportation facilities, such as the Wiehle-Reston East metro station. As previously discussed, connections are provided to an existing network of off-site trails and sidewalks that provide access to recreational amenities, open space, public facilities, vehicular access routes, and mass transportation facilities.

**Special Exception General Standards (Sect. 9-006)**  
**Standards for all Category 5 Uses (Sect. 9-503)**

In addition to the specific standards set forth hereinafter with regard to particular special exception uses, all such uses shall satisfy the following general standards and all Category 5 special exception uses shall satisfy the following standards for the proposed fast food and quick-service food store uses.

*General Standard 1: The proposed use at the specified location shall be in harmony with the adopted comprehensive plan.*

As previously discussed, the Comprehensive Plan provides that a Village Center consists of a non-residential mixed-use area and adjacent residential uses. The Comprehensive Plan includes Land Use Planning Objectives that recommends neighborhood serving retail and service uses for neighborhood convenience. Fast food uses currently exist on-site and the special exception would permit those uses to remain and allow for a total of up to 2,500 square feet of fast food uses. In addition, a quick-service food store use is proposed to provide neighborhood convenience. A quick-service food store (7-11) previously was located at the Tall Oaks Village Center Shopping Center. Both the fast food and quick-service food store uses are in harmony with the Comprehensive Plan with the approval of the special exception request.

*General Standard 2: The proposed use shall be in harmony with the general purpose and intent of the applicable zoning district regulations. Category 5 Use Standard 1: Except as qualified in the following Sections, all uses shall comply with the lot size and bulk regulations of the zoning district in which located.*

As previously discussed, the general purpose and intent of the PRC District is permit a greater amount of flexibility to a developer of a planned community by removing many of the restrictions of conventional zoning. This flexibility is intended to provide an opportunity and incentive to the developer to achieve excellence in physical, social, and economic planning.

The PRC District permits a mix of uses that is supported by the Comprehensive Plan guidance for redevelopment of a Village Center. Fast food and quick-service food store uses are in harmony with the purpose and intent of the PRC District, which allows for mixed use developments that provides for residential uses to support retail and service uses, as proposed.

There are no lot size or bulk regulations in the PRC District.

*General Standard 3: The proposed use shall be such that it will be harmonious with and will not adversely affect the use or development of neighboring properties in accordance with the applicable zoning district regulations and the adopted comprehensive plan. The location, size and height of buildings, structures, walls and fences, and the nature and extent of screening, buffering and landscaping shall be such that the use will not hinder or discourage the appropriate development and use of adjacent or nearby land and/or buildings or impair the value thereof.*

Fast food uses exist at the Village Center and a quick-service food store previously was located at the Village Center. In staff's opinion neither use is anticipated to significantly affect the use or development of neighboring properties. The existing office building and a freestanding retail building are proposed to remain with architectural modifications and minor expansions. Therefore, the location, size, height of buildings, and screening, buffering and landscaping are intended to be an improvement to what exists today with façade improvements, additional architectural treatment, and additional landscaping being provided.

*General Standard 4: The proposed use shall be such that pedestrian and vehicular traffic associated with such use will not be hazardous or conflict with the existing and anticipated traffic in the neighborhood.*

As previously discussed, FCDOT staff is able to support the concept that the proposed development would have a lesser impact to the surrounding road network as compared to the allowable existing uses; however, the Operational Analysis needs to be rescoped and submitted for review. The study is needed to inform the proposed restriping of North Shore Drive from a 4-lane undivided roadway to a 2-lane design with a center turn lane and allow for on-road bicycle lanes. The analysis would also inform any potential modifications needed at the Wiehle Avenue intersection. Any modifications would be done within the existing curbs of the road.

Pedestrian traffic associated with the proposed special exception uses are not anticipated to be significantly hazardous or conflict with existing and anticipated traffic in the neighborhood.

*General Standard 5: In addition to the standards which may be set forth in this Article for a particular category or use, the Board shall require landscaping and screening in accordance with the provisions of Article 13.*

Landscaping and screening are being provided; however, a modification of the transitional screening and barrier requirements is being requested and discussed in more detail in the Waiver and Modification section of this report.

*General Standard 6: Open space shall be provided in an amount equivalent to that specified for the zoning district in which the proposed use is located.*

There is no open space requirement, but 2.71 acres of the site is provided as open space, which includes part of the townhome lots.

*General Standard 7: Adequate utility, drainage, parking, loading and other necessary facilities to serve the proposed use shall be provided. Parking and loading requirements shall be in accordance with the provisions of Article 11. Category 5 Use Standard 2: All uses shall comply with the performance standards specified for the zoning district in which located, including the submission of a sports illumination plan or photometric plan as may be required by Part 9 of Article 14. Category 5 Use Standard 3: Before establishment, all uses, including modifications or alterations to existing uses, shall be subject to the provisions of Article 17, Site Plans.*

Adequate utilities, drainage, and parking are provided; a modification of the loading space requirement is requested and discussed in more detail in the Waiver and Modifications section of this report. The uses are subject to the performance standards and Article 17, Site Plans, of the Zoning Ordinance.

*General Standard 8: Signs shall be regulated by the provisions of Article 12; however, the Board may impose more strict requirements for a given use than those set forth in this Ordinance.*

There is an approved Comprehensive Sign Plan (CSP) for the Tall Oaks Village Center, which permits only those signs and sign area shown in the CSP to be permitted. The CSP provides signage for Buildings N and O, which will remain. An amendment to the CSP may be needed if additional signage or sign area is needed from what is permitted in the CSP.

**Additional Standards for Automobile-Oriented Uses, Car Washes, Drive-In Financial Institutions, Drive-Through Pharmacies, Fast Food Restaurants, Quick-Service Food Stores, Service Stations and Service Stations/Mini-Marts**  
(Sect. 9-505)

Additional Standard 1: *In all districts where permitted by special exception:*

- A. *Such a use shall have on all sides the same architectural features or shall be architecturally compatible with the building group or neighborhood with which it is associated.*
- B. *Such a use shall be designed so that pedestrian and vehicular circulation is coordinated with that on adjacent properties.*
- C. *The site shall be designed to minimize the potential for turning movement conflicts and to facilitate safe and efficient on-site circulation. Parking and stacking spaces shall be provided and located in such a manner as to facilitate safe and convenient vehicle and pedestrian access to all uses on the site.*
- D. *In reviewing such a use or combination of uses, it shall be determined that the lot is of sufficient area and width to accommodate the use and that any such use will not adversely affect any nearby existing or planned residential areas as a result of the hours of operation, noise generation, parking, glare or other operational factors.*
- E. *For a drive-through pharmacy, signs shall be required to be posted in the vicinity of the stacking area stating the limitations on the use of the window service and/or drive-through lane. Such signs shall not exceed two (2) square feet in area or be located closer than five (5) feet to any lot line.*

The buildings are shown to be architecturally compatible with the surrounding area and the architectural treatment for the commercial buildings was approved by the Reston Design Review Board. The site is designed with pedestrian and vehicular circulation to adjacent properties. Auto-turn exhibits are provided on Sheets 24 through 25B of the PRC Plan/SE Plat to demonstrate fire truck and bus movements throughout the site. In some areas of the site, fire truck and bus movements may be tight, as shown in the auto-turn exhibits. Parking spaces are conveniently located to all uses on the site. It is noted that parking associated with the special exception uses and/or with the Village Center may spill over into the surface parking spaces for the assisted living facility. The assisted living facility may need to provide restricted parking or parking enforcement.

The Village Center has sufficient area and width to accommodate fast food and quick-service food store uses. However, a modification of the loading space requirement has been requested. A development condition is proposed to limit fast food uses up to a total of 2,500 square feet and quick-service food store uses up to a total of 4,000 square feet. With the staff proposed development condition on scheduling the use of the loading space amongst users, it is not anticipated that these uses will have an adverse on surrounding properties since such uses previously were located at the Village Center with fast food uses still remaining on-site. No drive-through uses are proposed.

Additional Standards 2 through 7 are not applicable since the standards address uses located in the C-3 through C-9 Districts, I-3 through I-6 Districts, PDH, PDC, and PTC Districts. The uses are proposed in the PRC District.

## WAIVER AND MODIFICATIONS

The applicants request the following waiver and modifications.

***Modification of Par. 2 of Sect. 6-306 of the Zoning Ordinance for the 200-square foot privacy yard requirement for single family attached dwelling unit lots to that shown on the PRC Plan/SE Plat***

Par. 2 of Sect. 6-306 of the Zoning Ordinance states in relevant part, “a privacy yard, having a minimum area of 200 square feet, shall be provided on each single family attached dwelling unit lot, unless waived by the Board in conjunction with the approval of a PRC Plan/SE Plat.”

The applicants request a modification of the 200-square foot privacy yard requirement. Rear privacy yards of approximately 400 square feet are provided for Buildings F, G, and H, which are front loaded townhomes. No rear privacy yards are provided for Buildings I, J, K, and M since these are rear loaded townhomes; the modification is needed for these buildings. While the two-over-two dwellings have the exterior appearance of a townhome, these dwellings are multi-family units and privacy yards are not required for multi-family dwellings.

Community open space and a central plaza are provided as part of the larger Village Center and are conveniently located within walking distance and available for use by residents for active and passive recreation and community gatherings. Staff supports the modification request.

***Waiver of Par. 10 of Sect. 11-102 of the Zoning Ordinance to permit tandem parking for the two-over-two dwelling units to count towards the off-street parking requirement for multi-family dwelling units***

A total of 42 two-over-two dwellings are proposed. These dwellings are similar to multi-family dwelling units and are parked at the multi-family dwelling unit parking rate. Par. 10 of Sect. 11-102 of the Zoning Ordinance states that “[a]ll off-street parking space shall be provided with safe and convenient access to a street.”

Sect. 11-103 provides the minimum required parking spaces for residential uses. For single family attached dwellings “[t]wo and seven-tenths (2.7) spaces per unit, provided, however, that only one (1) such space must have convenient access to the street.” However, for multi-family dwellings, only the parking rate is provided, “[o]ne and six-tenths (1.6) spaces per unit” and not further qualified like the single family attached dwellings.

The two-over-two dwellings contain one parking space in the garage and one parking space on the driveway, one directly in front of the other – tandem parking – with the same owner of both spaces. The off-street parking space in the garage does not have convenient access to the street since it abuts the driveway, which has convenient

access to the street. Therefore, the garage parking space does not count as a parking space because it does not meet Par. 10 of Sect. 11-102, as stated above.

It is noted that the applicants proposed a development condition, which staff supports, that the parking garages for the single family attached and multi-family dwelling units will be designed and constructed to a minimum interior width of 11.5 feet for single car garages and 20 feet for two-car garages. The minimum depth of all such garages will be 20 feet. Such dimensions should accommodate vehicular parking and space for trash and receptacle containers. The applicants have indicated to staff that there is flexibility to adjust the depth of the garages to accommodate trash and receptacle containers, if needed.

A waiver is needed to allow the parking space in the garage to count towards the off-street parking requirement for multi-family dwelling units, which the applicants are requesting. Staff does not object to the waiver request.

***Modification of Sect. 11-203 of the Zoning Ordinance for the required loading spaces to that shown on the PRC Plan/SE Plat***

Sect. 11-203 of the Zoning Ordinance provides the minimum required loading spaces for uses. The applicants request a modification of the loading space requirements for the multi-family dwellings and for the retail and office uses.

Multi-Family Dwelling Units

Standard G provides the loading space requirement for multi-family dwellings. Since the two-over-two dwellings are multi-family dwelling units, Standard G provides the loading space requirement as “[o]ne (1) space for the first 25,000 square feet of gross floor area, plus one (1) space for each additional 100,000 square feet or major fraction thereof.” The applicant indicates that loading spaces are not needed for the two-over-two dwellings since each dwelling will have two parking spaces, one in the garage and one on the driveway, which can be used by the occupants of the dwelling. Staff does not object to this request.

Standard G also applies to Buildings A and B, the two multi-family buildings. The PRC Plan/SE Plat does not indicate the square foot for each multi-family building; however, the applicants indicated that each building will contain approximately 49,920 gross square feet. Based on a total building square of approximately 100,000 square feet, a total of four loading spaces are required. The applicants request a modification to provide one loading space in each garage of the multi-family buildings for a total of two loading spaces. Staff does not object to this request.

Office, Retail, Fast Food, and Eating Establishments

Sect. 11-203 of the Zoning Ordinance provides the off-street loading requirements and specifically states in Par. 12 of Sect. 11-202, “[w]here a given use or building contains a

combination of uses as set forth in the following Section, loading facilities shall be provided on the basis of the sum of the required spaces for each use.” Therefore, based on the off-street loading requirements, one loading space is required for the retail uses, one loading space for the office use, and one loading space for the fast food use and eating establishment uses, for a total of three required loading spaces. Loading for quick-service food store uses is not specifically listed and based on the Zoning Administrator.

The applicants request a modification of the off-site loading space requirements to provide one loading space for the office, retail, fast food and eating establishment, quick-service food store uses. In staff’s opinion, the uses that would have the most need for loading are the fast food, eating establishment, and quick-service food store uses. As such, there may be a scheduling conflict with having only one loading space for three uses with regular loading space needs. To avoid conflicts in use of the loading space, a development condition is proposed that the applicants provide a schedule for use of the loading space between the users of the loading space. With the proposed development condition, staff does not object to the modification request.

***Modification of Sects. 13-303 and 13-304 of the Zoning Ordinance for the transitional screening and barrier requirements to that shown on the PRC Plan/SE Plat***

The applicants request the following modifications of the transitional screening and barrier requirements:

Along the western property line between Building N and off-site single family attached dwellings (Buffer F-G)

Transitional Screening 3 and Barriers E, F, or G are required between Building N, which may contain retail, office, fast food, and/or quick-service food store uses and adjacent off-site single family attached dwellings (Villas de Espana). Transitional Screening 3 consists of an unbroken strip of open space a minimum of 50 feet in width planted a mixture of large and medium evergreen trees and large deciduous trees, a mixture of tree evergreen and deciduous trees, and a mixture of evergreen shrubs. Barriers E, F, and G, respectively consists of a 6-foot high wall, a 6-foot high solid wood fence, or a 6-foot high chain link fence. The applicants request a modification of the transitional screening and barrier requirements to that shown on the PRC Plan/SE Plat based on Par. 3 of Sect. 13-305, which states “[t]ransitional screening may be modified where the building, a barrier and/or the land between that building and the property line has been specifically designed to minimize adverse impact through a combination of architectural and landscaping techniques.” In lieu of the required transitional screening and barrier requirements, the applicants state that the following will be provided: a screening yard with variable widths from 6 feet to 25 feet, inclusive of the planting area and sidewalk; a mixture of large and medium deciduous and evergreen trees; and a 6-foot tall fence located on top of a retaining wall.

Along the northeast property line, between Building N and off-site multi-family dwellings (Buffer G-H)

Transitional Screening 2 and Barriers E, F, or G are required between Building N, which may contain retail, office, fast food, and/or quick-service food store uses and adjacent off-site multi-family dwellings (Bentana Woods). Transitional Screening 2 consists of an unbroken strip of open space a minimum of 35 feet in width and planted with a mixture of large and medium evergreen trees, a mixture of evergreen and deciduous trees, and medium evergreen shrubs. Requirements for Barriers E, F, and G were discussed above. The applicants request a modification of the transitional screening and barrier requirements to that shown on the PRC Plan/SE Plat based on Par. 3 of Sect. 13-305 of the Zoning Ordinance; this paragraph previously was discussed above. In lieu of the required transitional screening and barrier requirements, the applicants state that the following will be provided: a screen yard with a variable width from 2 feet to 20 feet, mixture of large and medium deciduous and evergreen trees, and an entrance plaza to serve as a buffered open space area.

Transitional Screening and Barriers within the development

Par. 2 of Sect. 13-302 of the Zoning Ordinance states “[t]ransitional screening and barriers shall be provided within the zoning district and on the lot of the use...” Therefore, within the proposed development, transitional screening and barriers are required between the retail/office building and the multi-family dwellings and between the retail and townhomes.

The applicants request a modification of the transitional screening and barrier requirements between the proposed uses based on Par. 1 of Sect. 13-305 of the Zoning Ordinance, which states “[t]ransitional screening and barriers may be waived or modified between uses that are to be developed under a common development plan in the PDC or PRM Districts or a common development or site plan or series of development or site plans within a PRC District when compatibility between uses has been addressed through a combination of the location and arrangement of buildings or through architectural or landscaping treatments.” The applicants indicate that the proposed development uses a combination of landscaping, pedestrian connectivity and building arrangements to create compatibility between the uses.

Staff from the Urban Forest Management Division initially reviewed the modification requests and indicated that the required transitional screening and barrier yards were not clearly delineated with what is required in each yard and what will be provided. The applicants have since revised the modification request with the requested information. Staff does not object to the request to modify the transitional screening and barrier requirements to that shown on the PRC Plan/SE Plat.

## CONCLUSIONS AND RECOMMENDATIONS

### Conclusions

The PRC application is a redevelopment of the Tall Oaks Village Center with a mix of residential and commercial uses and a central plaza. With a redevelopment of a Village Center, compared to development of a cluster, neighborhood, or commercial area in Reston, there is a higher level of expectation set forth in the Comprehensive Plan where Village Centers are encouraged to be redesigned around a public plaza and any transformation will have to provide for outstanding site design and architecture while reflecting the existing Reston character and responding to market demands and site constraints.

The proposed redevelopment responds market demands as evidenced in the market analysis conducted by RCLCO and peer review provided by RKG Associates, which respectively, concluded that a small amount, approximately 7,500 square feet of food-based and neighborhood-serving retail, and up to 10,000 square feet of service-based businesses, could be supported. A total of 14,393 square feet of office and retail uses are provided.

The site design has been an iterative design process with many stakeholders providing feedback on multiple aspects of the site design. The result has been an effort to achieve a collaborative design to address the desires of the community and guidance in the Comprehensive Plan. High quality amenities should be provided as part of the Central Plaza to attract visitors to this focal feature of the Village Center. A special playground with combined youth and adult play and fitness elements will provide a draw for a broad range of people to attract a more multi-generational group of users. While the proposed redevelopment would have a lesser impact on the surrounding road network compared to the existing uses, a rescoping and resubmission of the Operational Analysis is recommended based on a scope and methodology that is agreed upon by transportation staff. Such analysis will inform the proposed restriping of North Shore Drive and any potential signal modifications and additional signal heads at the Wiehle Avenue intersection, which can be accomplished within the existing street curbs.

Finally, the redevelopment of the Village Center shopping center with predominantly residential uses has an off-site impact on surrounding schools with new students being generated. Individually, a development may not have a significant impact on surrounding schools, but cumulatively, pending and approved but not yet constructed developments will have a collective impact on surrounding school capacities. With the Silver Line extension through Reston, there is a significant amount of redevelopment occurring, which all feeds into Langston Hughes Middle School and South Lakes High School. As previously discussed, staff believes a monetary school contribution is warranted to offset the impact that this development generates on surrounding schools and recommends that a school contribution should be provided.

In conclusion, the redevelopment of the Tall Oaks Village Center provides an opportunity for revitalization with a mix of new residential and commercial uses. For over two years, the applicants have reached out to surrounding neighbors, the larger Reston community, and various interested individuals and groups to discuss the redevelopment of the Village Center. The PRC Plan/SE Plat, in general, achieves the vision in the Comprehensive Plan for redevelopment of a Village Center and has followed the Comprehensive Plan guidelines and process for redevelopment of a Village Center.

### **Recommendations**

Staff recommends approval of PRC C-020, subject to the PRC conditions contained in Appendix 1.

Staff recommends approval of SE 2016-HM-020 to permit a Category 5 special exception uses consisting of up to 2,500 square feet of fast food and up to 4,000 square feet of quick-service food store uses, subject to the development conditions contained in Appendix 2.

Staff recommends approval of a modification of Par. 2 of Sect. 6-306 of the Zoning Ordinance for the 200-square foot privacy yard requirement for single family attached dwelling unit lots to that shown on the PRC Plan/SE Plat.

Staff recommends approval of a waiver of Par. 10 of Sect. 11-102 of the Zoning Ordinance to permit tandem parking for the two-over-two dwelling units to count towards the off-street parking requirement for multi-family dwelling units.

Staff recommends approval of a modification of Sect. 11-203 of the Zoning Ordinance for the required number of loading spaces to that shown on the PRC Plan/SE Plat;

Staff recommends approval of a modification of Sects. 13-303 and 13-304 of the Zoning Ordinance for the transitional screening and barrier requirements to that shown on the PRC Plan/SE Plat.

It should be noted that it is not the intent of staff to recommend that the Board of Supervisors, in adopting any conditions, relieve the applicants/owner(s) from compliance with the provisions of any applicable ordinances, regulations, or adopted standards.

It should be further noted that the content of this report reflects the analysis and recommendation of staff; it does not reflect the position of the Board of Supervisors.

The approval of these applications does not interfere with, abrogate or annul any easement, covenants, or other agreements between parties, as they may apply to the properties subject to these applications.

**APPENDICES**

1. Proposed Planning Residential Community Development Conditions
2. Propose Special Exception Development Conditions
3. Statement of Justification
4. Affidavit
5. Land Use Analysis Memorandum
6. Office of Community Revitalization Memorandum
7. Environmental Analysis Memorandum
8. Urban Forest Management Division Memorandum
9. Stormwater Management Memorandum
10. Virginia Department of Transportation Memorandum
11. Fairfax County Department of Transportation Memorandum
12. Park Authority Memorandum
13. Fairfax County Public Schools Memorandum
14. Fire and Rescue Department Memorandum
- 15A. Robert Charles Lesser & Co. Real Estate Advisors Market Analysis
- 15B. RKG Associates Peer Review
16. Community Meetings
17. Glossary

**PROPOSED PRC DEVELOPMENT CONDITIONS**  
**PRC C-020**

**June 30, 2016**

If it is the intent of the Board of Supervisors to approve PRC C-020 for a mix of residential and non-residential uses proposed on Tax Map 18-1 ((5)) 8A1 and 8A2, staff recommends that the Board of Supervisors condition the approval by requiring conformance with the following development conditions.

1. Substantial Conformance. Development of the property shall be in substantial conformance with the PRC Plan/Special Exception Plat entitled "Tall Oaks," prepared by Urban, Ltd., dated September 8, 2015 and revised through June 20, 2016, consisting of 37 sheets (the "Plan"). Where these conditions use the term "applicant," such term shall also include the applicant's successors and assigns unless otherwise noted.
2. Development. The Property may be developed with up to (a) 156 dwelling units (inclusive of affordable dwelling units) and (b) 14,393 gross square feet of nonresidential uses as permitted by Paragraph C of Section 6-302 of the Zoning Ordinance, provided that not more than 2,500 square feet of fast food uses and 4,000 square feet of quick service food store uses shall be permitted. No other Category or Group uses shall be permitted except as provided in Sections 6-303 and 6-304 of the Zoning Ordinance.
3. Eating Establishments. Prior to the issuance of a Non-Residential Use Permit ("Non-RUP") for an eating establishment use, the applicant shall provide a tabulation to the Zoning Administrator demonstrating that adequate parking under the Zoning Ordinance's standards for both the proposed use and the non-residential portion the development as a whole is available.
4. Affordable Dwelling Units. Unless otherwise exempt pursuant to Section 803 of Part 8 of Article 2 of the Zoning Ordinance, the Applicant shall provide Affordable Dwelling Units ("ADUs") pursuant to the Zoning Ordinance. The specific number of ADUs shall be determined at the time of site plan approval for the dwelling units in accordance with the requirements of the Zoning Ordinance. For example, provided 156 dwelling units are shown on the site plan consistent with the mix of units shown on the Plan, 11 of those units shall be ADUs.
5. Architectural Design. The general architectural design of the development shall be provided as shown on Sheets A1 through A11 of the Plan (the "Conceptual Elevations"). The Conceptual Elevations are conceptual in nature and may be modified by the applicant to secure approval from the Reston Association Design Review Board ("RADRB") and final engineering and building design, provided that such modifications are in substantial conformance with these conditions. Subject

to RADRB approval, the primary building materials for the Proposed Development, as generally reflected on the Conceptual Elevations, shall be selected from among the following: wood, siding, Hardie Board (or similar cementitious fiber material), EIFS, brick, masonry/stone, aluminum, glass, steel, split-face block and pre-cast panels, provided that final architectural details and accents may include other materials. Final architectural design shall be coordinated with the RADRB.

6. Building Materials for Retaining Walls. Building materials for retaining walls shall consist of concrete, masonry, wood, and/or similar materials as approved by RADRB.
7. Parking Garages. Parking garages for the single family attached and multifamily dwelling units where the parking space(s) is/are located inside or attached to the individual unit shall be designed and constructed to a minimum interior width of eleven and one-half feet (11.5') for single car garages and twenty feet (20') for two-car garages. The minimum depth of all such garages shall be twenty feet (20').
8. Loading. A schedule shall be maintained by the owner or property manager of the non-residential portion of the development to track the use and availability of the loading space serving the retail, office, fast food and quick-service food store or other uses located on the property. The schedule on the use of the loading space shall be made available to the Zoning Administrator upon request.
9. Village Center Elements. A series of public plazas, open spaces, linear green spaces and similar community gathering spaces shall be provided as part of the development generally as shown on Sheets 30 through 33 of the Plan (collectively, the "Village Center Elements"). The Village Center Elements shall include, but are not limited to, naturalized lawn areas, hardscape and landscape areas, outdoor furniture, benches/seating areas, natural or manmade climbing structures, knee or seating walls, exercise/fitness stations, hammocks, public art, a fountain or other focal feature, and/or similar amenities as conceptually shown on the Plan. The Applicant may adjust the number, type and location of the features/amenities comprising the Village Center Elements as approved by the RADRB and the Park Authority, provided the general character and quality of the Village Center elements are consistent with Sheets 30 through 33 of the Plan, as determined by the Zoning Administrator. The Village Center Elements shall be completed in accordance with the applicant's phased construction of the development, provided that individual elements shall be substantially complete and open for use prior to issuance of the Residential Use Permit ("RUP") for the single-family attached residential buildings immediately adjacent to such elements.
10. Maintenance of Village Center Elements. Ongoing maintenance of the Village Center Elements, including responsibility for programming of the plazas included in the Village Center Elements, shall be completed by the applicant and addressed as part of the declarations, owner association and/or UOA documents required by the Declaration/Association Documents.

11. Public Access Easement. Prior to site plan approval for the first dwelling unit to be constructed on the property, a public access easement in a form approved by the Office of the County Attorney shall be granted across all of the pedestrian and bicycle pathways/sidewalks and plazas that comprise the Village Center Elements or have a direct connection to the offsite trails owned by the Reston Association, provided that no such access easement shall be required for pathways that lead directly to one or more dwelling unit(s), all as more particularly shown on Sheet \_\_\_ of the Plan.
12. Outdoor Fitness Stations. A minimum of six (6) outdoor fitness stations shall be constructed on the property. At least three (3) such stations shall be designed to promote stretching and balance-type exercises that are good for all ages and, especially, older adults, as shown on Sheets 31 and 33 of the Plan. The fitness stations shall be selected in consultation with the Fairfax County Park Authority and the RADRB and clustered in their location, with final locations to be determined at the time of site plan approval for the first dwelling unit to be constructed on the property. The fitness stations shall be completed in accordance with the applicant's phased construction of the development, provided that the three stations geared toward older adults shall be substantially complete and open for use prior to issuance of the Residential Use Permit ("RUP") for the adjacent residential building, Buildings C and D.
13. Public Art. Public art shall be incorporated into the Village Center elements following consultation with the Initiative for Public Art-Reston ("IPAR") on the type and location of such elements, and as may be approved by RADRB. The Applicant shall make the final selection of the public art features in consultation with the RADRB based on recommendations from IPAR and shall incorporate such features into the development prior to issuance of the final RUP.
14. Green Building – Residential. One (or more, depending on the dwelling unit type) of the following sustainability programs shall be selected and implemented by the applicant in order to promote energy conservation and green building techniques for the proposed dwelling units, and the applicant shall inform the Environment and Development Review Branch of DPZ which program the Applicant has chosen as part of the first site plan submission for the portion of the development for which such program is selected.
  - A. NGBS (formerly NAHB). If the Applicant selects National Green Building Standard ("NGBS"), then the Applicant shall seek certification in accordance with the 2012 NGBS using the Energy Star Qualified Homes path for energy performance, as demonstrated through documentation submitted to the Department of Public Works and Environmental Services ("DPWES") and the Environment and Development Review Branch of DPZ from a home energy rater certified through the Home Innovation Research Labs that demonstrates each dwelling unit has

attained certification prior to the issuance of a RUP for the applicable dwelling unit or building.

- B. EarthCraft. If the Applicant selects EarthCraft, then the Applicant shall provide documentation to DPWES and DPZ that the residential building has been awarded certification in accordance with the EarthCraft House Program as demonstrated through documentation submitted to DPWES and the Environment and Development Review Branch of DPZ prior to issuance of a RUP for the applicable dwelling unit or building.
15. Limits of Clearing and Grading. The limits of clearing and grading (“LOC”) shall be in substantial conformance with the limits of clearing and grading shown on the Plan, subject to modification for the installation of utilities and/or trails as determined necessary by the Director of DPWES.
16. Landscape Plan. A landscape plan shall be submitted for review and approval by the Urban Forest Management Division (UFMD), DPWES as part of the first and all subsequent site plan submissions (the “Landscape Plan”) for the portion of the development shown on such plan. The Landscape Plan shall be consistent with the quality and quantity of plantings and materials shown on Sheets 28 and 35 of the Plan, including the preservation of existing trees where possible, and new plantings, including deciduous trees, evergreen trees, shrubs and similar underplantings to replace or supplement any trees that are removed as part of clearing and grading the portion of the property to be redeveloped. New plantings along the property’s frontage on North Shore Drive shall consist primarily of a bio-diverse mix of native or regionally-acclimated shrubs, groundcover, and deciduous tree species, including a complement of three-inch (3”) caliper canopy trees, planted in mulched beds designed to encourage the generation of associated plant communities. The Landscape Plan shall also include the placement of all new public and/or private utilities and the relocation of existing public and/or private utilities. Adjustments to the type and location of vegetation shall be permitted as approved by the Reston Association’s Design Review Board (“RADR”) in consultation with DPZ and the UFMD. If it is determined during site plan review that elements of the streetscape improvements, plantings, tree preservation areas, and/or open space designs conflict with subsequent comments from either the Fire Marshal, the Fairfax County Department of Transportation (“FCDOT”) or the Virginia Department of Transportation (“VDOT”) (related to sight distance), the Applicant may implement adjustments to such features without the need for an amendment to these conditions or the Plan, provided any such modifications: (i) are made in consultation with, and subject to the approval of, DPZ, FCDOT, and UFMD, (ii) with the intent to provide the streetscape improvements, plantings, tree preservation areas, and open space designs shown on the Plan to the extent possible given the Fire Marshal’s and/or FCDOT/VDOT’s comments, and (iii) the overall tree canopy shown on the Plan is not reduced.

17. Onsite Landscaping. Landscaping may be installed in phases based on the applicant's order of construction and staging requirements, provided that the applicant may, due to weather or other conditions and with the concurrence of UFMD, defer installation of all or portions of the required landscaping to the next available planting season so as to provide a better chance for its long term survival. In the event of such delay or deferral, the applicant may continue to receive RUPs by submitting a Seasonal Landscape Deferral application, agreement and bond, as needed, in accordance with Par. 3 of Sect. 18-704 of the Zoning Ordinance, provided the development otherwise remains in substantial conformance with the Plan and these conditions.
18. Tree Inventory and Condition Analysis. A Tree Inventory and Condition Analysis shall be submitted as part of the first and all subsequent plan submissions for the portions of the development shown on such plan. The Tree Inventory and Condition Analysis shall be prepared by a Certified Arborist or Registered Consulting Arborist (the "Project Arborist"), and shall include elements of PFM 12-0507 deemed appropriate to the project site as determined by UFMD.
19. Tree Preservation Plan. The Project Arborist, in consultation with a landscape architect and UFMD, shall identify as part of the Landscape Plan, in accordance with the Zoning Ordinance and Public Facilities Manual requirements, individual trees located on the property and/or located within twenty-five feet (25') of the property's boundary on the adjacent upland forest owned by the Reston Association (Tax Map 18-1 ((5)), Parcel 8C) (the "RA Property") or the property's boundary on the adjacent Villas De Espana townhouse community (Tax Map 18-1 ((5)) Parcel 1B (the "TH Property") that (i) the applicant proposes for preservation ("Trees to be Preserved") (collectively, the "Tree Preservation Plan"). Tree preservation measures shall be clearly identified, labeled, and detailed on the Erosion and Sediment Control Plan sheets and Tree Preservation Plan. Tree preservation measures may include, but are not limited to the following: root pruning, crown pruning, mulching, watering, etc. Specifications shall be provided on the plan detailing how preservation measures shall be implemented.
20. Site Monitoring and Replantings. The Trees to be preserved shall be protected during construction by 14-gauge welded wire fencing, a minimum of four (4) feet in height, attached to steel posts spaced no farther than ten (10) feet apart, or through use of a super silt fence. The fencing shall be erected at the proposed LOC prior to commencement of any demolition, clearing or grading on the relevant portion(s) of the property and shall be made clearly visible to construction personnel. The Applicant's Project Arborist shall be present on the property during implementation of the Phase 1 Erosion and Sediment Control Plan and shall monitor any construction activities conducted within or adjacent to areas of Trees to be Preserved. Construction activities include, but may not be limited to clearing, root pruning, tree protection fence installation, vegetation/tree removal, and demolition activities. During implementation of Phase 2 Erosion and Sediment Control Plan, the Project Arborist shall visit the site on a regular basis to continue

monitoring tree preservation measures and ensure that all activities are conducted as identified in the Tree Preservation Plan and approved by UFMD. Written reports shall be submitted to UFMD and SDID site inspector detailing site visits. A monitoring schedule and Project Arborist reports shall be described and detailed in the Tree Preservation Plan. In the event that any of the Trees to be Preserved, including those 25 feet from the limits of clearing and grading die, as determined by UFMD staff, the applicant shall provide, either on the property or on the RA Property, if permitted by RA, replacement planting equal to the 10-year existing canopy area lost due to the death or removal of trees designated for preservation that do not survive construction. Such replacement trees shall be deciduous trees 2.0-3.0 inches in caliper or 8-ft. tall evergreen trees, as approved by UFMD, from among tree species native or regionally-acclimated to Fairfax County and installed within one planting season following discovery of such tree loss or death or such other time period as the applicant and UFMD may agree. If tree loss is due to construction activity not authorized by the approved Landscape Plan, in addition to replacing any Tree to be Preserved that is removed or irreparably damaged shall be in accordance with Section 12-0516 of the Public Facilities Manual.

21. Project Arborist Pre-Construction Meeting. Prior to the pre-construction meeting, the Applicant shall have the approved limits of clearing and grading flagged with a continuous line of flagging. The Applicant shall retain the services of a Certified Arborist or Registered Consulting Arborist (Project Arborist) to attend the pre-construction meeting to review the limits of clearing and grading with an UFMD representative to determine where adjustments to the clearing limits can be made to increase the area of the tree preservation and/or to increase the survivability of trees at the limits of clearing and grading, and such adjustments shall be implemented.
22. Project Arborist Pre-Installation Meeting. Prior to the installation of plants to meet the requirements of the approved Landscape Plan, the applicant's project arborist shall coordinate a pre-installation meeting on site with the landscape contractor and a representative of UFMD. The installation of plants not approved by UFMD may require the submission of a revision to the landscape plan or removal and replacement with approved trees/shrub prior to bond release. Any proposed changes to the location of planting, size of trees/shrubs, and any proposed plant substitutions of species specified on the approved Landscape Plan shall be reviewed at this time and must be approved by UFMD prior to planting. Notice to UFMD shall be provided not less than 72 hours prior to the applicant's implementation of the tree planting.
23. Stormwater Management. A variety of stormwater management measures may be provided, which include but are not limited to: green roof area, vegetated swales, rain gardens, filteras and other measures that could be incorporated into the landscape design of the project.

24. Maintenance of Landscaping along Reston Association Blue Trail. The landscaping and understory plantings located on the property abutting the Reston Association Blue Trail along the southern property boundary shall be regularly maintained by the applicant to prevent overgrowth in order to maintain clear views along the trail.
25. Bus Shelter. Subject to approval by Fairfax County Department of Transportation (“FCDOT”), a bus shelter shall be installed on the property (“Bus Shelter”), generally in the location shown on the Plan, provided that adjustments to the location may be made in consultation with the Zoning Administrator and FCDOT without a requirement to amend these conditions or the Plan. The Bus Shelter shall be installed prior to issuance of the first RUP for Building M, the townhomes immediately adjacent to the Bus Shelter, unless another time is agreed to in consultation with FCDOT. Subject to RADRB approval, the design and materials of the Bus Shelter shall be of similar size and quality to that shown on Sheet 32 of the Plan and shall include benches and trash receptacles, provided that an alternate design may be provided if approved by RADRB. Ongoing maintenance of the bus shelter and trash pickup shall be completed by the applicant and addressed as part of the declarations, owner association and/or UOA documents required by the Declarations/Association Document condition below. A public access easement in a form approved by the Office of the County Attorney shall be provided as part of site plan approval for the area on which the bus shelter is located.
26. Bus Pad Construction and Maintenance. The portion of the roadway/driveway located in front of the Bus Shelter (but not necessarily the entire roadway/driveway over which a bus may travel) shall be constructed with concrete or reinforced asphalt to minimize roadway damage caused when buses drop off and pick up passengers (the “Bus Pad”). Ongoing maintenance, repair and maintenance of the Bus Pad shall be completed by the applicant and addressed as part of the declarations, owner association and/or UOA documents required by Condition #24 below. Prior to site plan approval, a public vehicle ingress-egress easement shall be granted over the portion of the internal roadway/driveway(s) over which buses will travel through the property.
27. Bus Service. Prior to site plan approval for the residential buildings, the Applicant shall coordinate with FCDOT Fairfax Connector staff to discuss the following:
  - A. Alternatives available to address maintenance of the existing Fairfax Connector route serving the property while the proposed development is under construction;
  - B. Means of communicating to existing transit riders any temporary changes to the Connector route serving the property as a result of construction activity; and
  - C. Modifications to the internal roadway curb radii and ADA ramps, if needed, to improve bus circulation through the property.

28. Bike Racks. Bike racks shall be the inverted U-style racks or other design approved by FCDCO. The total number of bike parking/storage spaces shall be consistent with the Fairfax County Policy and Guidelines for Bicycle Parking with a minimum of 15 bike parking/storage spaces provided for the development. Bicycle facilities shall be installed shall be substantially complete and open for use prior to issuance of the RUP for the adjacent residential building.
29. Bike Share Area. An area for a bike share station shall be made available on the property by the applicant or applicable owners association upon written request of the County, provided funding for the said station is in place, generally as shown on Sheet 32 of the Plan. Access to the location shall be provided at no cost to the operator of such service. The applicant shall have no obligation to build or fund the station or operate the service.
30. Bike Lane. Subject to VDOT and/or FCDOT approval, striping and signage for a dedicated bike lane along the Property's frontage on North Shore Drive shall be provided within the existing right-of-way and curb lines as shown on Sheet 2 of the Plan. The specific lane markings for the bike lane shall be approved by FCDOT and/or VDOT as part of site plan approval, including appropriate transitions to the existing path network serving the property. The striping shall be completed prior to issuance of the first RUP for the property.
31. Transportation Operational Analysis. Prior to site plan approval for the first residential building, the transportation operational analysis submitted to FCDOT and VDOT concurrent with this application and Plan shall be updated in accordance with the scope and methodology agreed upon by the applicant in consultation with FCDOT and VDOT. Thereafter, the applicant shall address with FCDOT and VDOT any adjustments to the striping and/or signal timing recommended by the updated operational analysis for the intersection of North Shore Drive and Wiehle Avenue and shall implement such adjustments, subject to the approval of FCODT and VDOT.
32. Declaration/Association Documents. Prior to recording any declaration of residential condominium for all or part of the property, a declaration and/or Umbrella Owners' Association (the "UOA") shall be recorded for the property to address the general maintenance and other obligations of the owner(s) (and their successors and assigns), including the fulfillment of these conditions. The declaration and/or association documents shall acknowledge that the property already is a member of and subject to the covenants of the Reston Association and shall identify those maintenance or development obligations that will or are expected to fall principally on the owner(s) of any future dwelling unit(s) as a result of being subjected to the respective declarations. Purchasers of individual dwelling units shall be advised in writing of these conditions and any associated maintenance obligations prior to entering into a contract of sale. As applicable, all condominium and/or residential property owner association documents for the single family attached and multifamily dwelling units constructed with garage

parking spaces inside or attached to the individual unit shall include regulations prohibiting (a) the storage/location of trash receptacles outside the unit/garage except for the day before, day of, and day after the scheduled trash and or recycling pickup days and (b) temporary or permanent parking on driveways or sidewalks that overhang into the street, horizontal or diagonal parking across a driveway or any illegal form of parking. Such regulations also shall provide that garages shall be used only for the parking of a vehicle(s) and ancillary uses that do not prevent or interfere with the parking of a vehicle. Copies of the applicable declarations shall be provided to the Office of the County Attorney prior to recordation to confirm the presence of the required prohibitions.

The above proposed conditions are a staff recommendation and do not reflect the position of the Board of Supervisors unless and until adopted by that Board of Supervisors.

This approval, contingent on the above noted conditions, shall not relieve the applicant from compliance with the provisions of any applicable ordinances, regulations, or adopted standards. The applicant shall be responsible for obtaining the required Residential Use Permit and/or Non-Residential Use Permits through established procedures.

**PROPOSED SPECIAL EXCEPTION DEVELOPMENT CONDITIONS**

**SE 2016-HM-012**

**June 30, 2016**

If it is the intent of the Board of Supervisors to approve SE 2016-HM-012 for a fast food restaurant and a quick service food store proposed on Tax Map 18-1 ((5)) 8A1 and 8A2, staff recommends that the Board of Supervisors condition the approval by requiring conformance with the following development conditions.

1. This Special Exception is granted for and runs with the land indicated in this application and is not transferable to other land.
2. This Special Exception is granted only for the purpose, structure and/or use indicated on the special exception plat approved with the application, as qualified by these development conditions.
3. This Special Exception is subject to the provisions of Article 17, Site Plan, as may be determined by the Department of Public Works and Environmental Services (DPWES). Any plan submitted pursuant to this Special Exception shall be in substantial conformance with the PRC Plan/SE Plat entitled "Tall Oaks," prepared by Urban, Ltd., dated September 8, 2015 and revised through June 20, 2016, consisting of 56 sheets (the "Plan"). Minor modifications may be permitted pursuant to Par. 8 of Sect. 16-203 of the Zoning Ordinance.
4. No more than 2,500 square feet of fast food uses shall be permitted and no more than 4,000 square feet of quick service food store uses shall be permitted. No other Category or Group use shall be permitted without the approval of a special permit or special permit except as provided in Sects. 6-303 and 6-304 of the Zoning Ordinance or amendment to the development plan.
5. All trash dumpsters shall be screened on all sides. The screening shall be consistent with the color and style of the building. Doors shall consist of materials that are opaque and fully screen the dumpsters.

The above proposed conditions are staff recommendations and do not reflect the position of the Board of Supervisors unless and until adopted by that Board of Supervisors.

This approval, contingent on the above noted conditions, shall not relieve the applicant from compliance with the provisions of any applicable ordinances, regulations, or adopted standards. The applicant shall be responsible for obtaining the required Non-Residential Use Permit through established procedures, and this Special Exception shall not be valid until this has been accomplished.

Pursuant to Section 9-015 of the Zoning Ordinance, this special exception shall automatically expire, without notice, 30 months after the date of approval unless, at a minimum, the use has been established or construction has commenced and been diligently prosecuted as evidenced by the issuance of a Non-Residential Use Permit for the fast food and/or quick-service food store use(s). The Board of Supervisors may grant additional time to establish the use or to commence construction if a written request for additional time is filed with the Zoning Administrator prior to the date of expiration of the special exception. The request must specify the amount of additional time requested, the basis for the amount of time requested and an explanation of why additional time is required.

**PRC Plan and Special Exception Application  
Tall Oaks Development Company LLC  
Norton Scott LLC  
PRC C-020  
SE 2016-HM-012  
September 8, 2015  
Revised May 12, 2016  
Revised May 26, 2016**

Tall Oaks Development Company LLC, the owner of the property identified as Fairfax County Tax Map 18-1 ((5)) Parcel 8A1 (the “Shopping Center Parcel”), and Norton Scott LLC, the contract purchaser of Tax Map 18-1 ((5)) Parcel 8A2 (the “Office Parcel”) (collectively, Tall Oaks Development Company LLC and Norton Scott LLC are the “Applicant” and both parcels comprise the “Property”), propose to redevelop the Property with a mix of residential and retail uses in accordance with the Property’s existing zoning approvals. The Property is approximately 7.47 acres and comprises the majority of the existing Tall Oaks Village Center. A Tax Map with the Property outlined is attached as Exhibit A.

**1. Current Zoning Approvals and Development**

The Property is zoned PRC-Village Center under Section 6-302(C) of the Fairfax County Zoning Ordinance (the “ZO”). The Property is subject to rezoning application RZ C-020 (the “Rezoning”), which the Fairfax County Board of Supervisors approved on November 19, 1969, to rezone an area of approximately 112 acres to the PRC district. The Property is not subject to any proffered conditions.

The Rezoning included a development plan (the “Development Plan”) designating the Property and two additional parcels (Parcels 8B and 8C) (collectively, the “Adjacent Parcels”) as “Village Center, Miscellaneous Commercial & Residential, Garden Apts &/or Medium Rise Apartments,” which designations were in accordance with the Property’s designation on the Reston Master Plan at the time of the Rezoning. The Development Plan does not identify a maximum non-residential square footage or floor area ratio (“FAR”) for the Property or the Adjacent Parcels. It also does not identify a maximum residential density or a specific PRC residential density category under Section 6-308 of the ZO (i.e., Low, Medium, or High Density). A copy of the Development Plan is attached as Exhibit B.

The Shopping Center Parcel was developed in 1974 and contains approximately 70,000 gross square feet of commercial development, roughly 85% of which currently is vacant. The Office Parcel is developed with an office building containing approximately 10,000 gross square feet on two levels. The Adjacent Parcels are developed with a medical care facility providing assisted living services (Parcel 8B) and open space owned and managed by the Reston Association (Parcel 8C). Together, these parcels represent the land area covered by the Development Plan.

For approximately 35 years, the Shopping Center Parcel operated as a grocery-anchored

(Giant Food) retail center providing retail and personal services to Reston's earliest residents. For the first 15 of these years, the Shopping Center Parcel faced little competition from other retail centers. That all changed starting in 1990, which is the year the Reston Town Center first opened offering approximately 240,000 square feet of retail development. In short order came the openings of five new grocery stores within approximately four miles of the Property, including (i) North Point Village Center in 1993 (134,000 SF), (ii) Reston Spectrum in 1995 (275,000 SF), (iii) Plaza America in 1996 (165,000 SF), (iv) Trader Joe's in 2001, and (v) a Safeway in Herndon in 2004. In the mid-2000s, the Reston Town Center retail expanded to 360,000 SF.

Given its relatively small size, the Shopping Center Parcel struggled to compete in this new retail environment. In 2007, the Shopping Center Parcel's 33-year anchor, Giant Food, closed its store. Two budget-conscious grocers, Fresh World and Compare Foods, each opened and quickly closed, presumably finding it difficult to compete against larger, more established grocers offering better visibility and access when compared to that of the Property. Since 2011, the Shopping Center Parcel has had no anchor tenant, and the smaller, inline retail and service establishments, which often depend on anchor tenants to drive foot traffic, have systematically closed. Today, approximately 15% of the Shopping Center Parcel's square footage is leased, and that number will continue to drop as tenants relocate elsewhere. A retail market study (the "Market Study") completed by Robert Charles Lesser & Co in March 2016 confirmed that the site is unlikely to attract a new grocery anchor due to challenging site and market conditions. As a result, only approximately 7,500 square feet of retail is viable in the Village Center. The Market Study recommends that this retail focus on food and neighborhood-serving convenience uses.

## **2. Zoning Determination Permitting Redevelopment**

In recognition of these challenges, the then-owner of the Shopping Center Parcel submitted a zoning determination request to the Fairfax County Zoning Administrator seeking confirmation of the Property's redevelopment potential under the existing Rezoning and Development Plan. A copy of the determination request is attached as Exhibit C. Section 6-302(C) of the ZO lists 34 different uses or categories of uses available to properties designated as a Village Center under the PRC District regulations. Dwellings are one such permissible use (See Section 6-302(C)(6)), although the ZO does not specifically state which of the three PRC residential density categories – Low, Medium or High – apply in such cases. A copy of the PRC District regulations is attached as Exhibit D.

Among the then-owner's requested determinations was that (a) the Property may be developed with residential uses of any unit type and under the High Density provisions of the PRC Zoning District; (b) the Property may be developed with any non-residential uses permitted in a Village Center under the PRC Zoning District without any limitation on the density or building height of such uses; and (c) the permitted residential and/or non-residential uses may be established on the Property with the approval of a PRC plan, site plan, and applicable permits.

On March 6, 2014, the Zoning Administrator issued a zoning determination for the Property, a copy of which is attached as Exhibit E (the "Determination"). In the Determination, the Zoning Administrator opined that the Property could be developed with residential uses

provided any such proposal meets the density standards set forth in the PRC District regulations, and that the Development Plan “indicates a designation of ‘medium density’ residential uses,” rather than the High Density interpretation suggested by the then-owner. The Zoning Administrator further opined that “any commercial uses listed in the Village Centers designation [other than those requiring approval of a special exception or special permit] within the PRC District are permitted,” and that “there is not specific FAR limitation for this property depicted on the [Development Plan].”

### **3. Applicant’s Redevelopment Complies with Development Plan and Determination**

In reliance on the Determination, the Applicant purchased the Shopping Center Parcel in December 2014 with the intent of redeveloping a largely-vacant shopping center into a mix of residential and retail uses consistent with the PRC District regulations, the Development Plan and the Determination. The Office Parcel has since been incorporated into the PRC Plan to allow for a more unified development with a larger area of open space.

Specifically, the Applicant proposes to develop the Property with 156 residential units, inclusive of 11 required Affordable Dwelling Units (“ADUs”), approximately 5,800 square feet of office, and approximately 8,500 square feet of community-serving retail sales, eating, personal service, business service and similar establishments intended to serve the daily needs of the Property’s new residents and those living in the more than 400 existing homes in multiple clusters along North Shore Drive east of the Property. The Applicant’s development is approximately twenty units per acre, exclusive of the ADUs, which is consistent with the ZO and the Determination.

The development will be focused around a new plaza/open space area offering leisure and community spaces to attract residents from neighboring clusters to visit the development, enjoy time with friends and family, and patronize commercial services. The open space design is composed of a series of greens, plazas, and recreational spaces that link the Village Center together. The key spaces are the Linear Green, Entrance Plaza, Central Green, Trail Connection, and Condominium Courtyards, each described in more detail below:

*Linear Green:* The Linear Green connects the smaller open spaces via a serpentine walk, bringing visitors and residents through the Village Center from the trail connection area, through the Central Green gathering space, and ultimately to the neighboring assisted living facility. The single-family attached residential units lining the Linear Green feature private front yard gardens, with the distinction between public and private space defined by an ornamental fence and ornamental plantings. This space also contains a series of open lawn areas for active and passive recreation uses, complemented by lighting, benches, and other outdoor furnishings.

*Entrance Plaza/Green:* The Entrance Plaza/Green is situated at the main entrance to the Village Center from North Shore Drive to welcome visitors into the site and allow views into the larger open space areas. Along the street edge, the plaza contains seating opportunities surrounding a potential location for public art, with a connection to the North Shore Drive sidewalk and future bike lane. The open lawn area provides

opportunities for active and passive recreation, featuring a seating area enhanced by ornamental plantings. Within the Village Center, the Entrance Plaza/Green provides a centralized location for the bus stop and shelter, in proximity to the retail and recreational components of the development.

*Central Plaza:* The Central Plaza is the main neighborhood gathering space within the Village Center, and is composed of three areas, each oriented toward a different user group. The Community Recreational Area features both natural play elements and nature-inspired traditional playground equipment that will be designed to be appealing to a variety of age groups. Natural elements may include shaped landforms, boulders, or logs integrated into the landscape design. The Village Promenade is a key gathering space that features paving, benches, bike racks, and other outdoor furnishings. It is anchored by an art/sculpture opportunity at its terminus, intended to be visible from the Linear Green to provide a distinct sense of place and arrival. The Retail Terrace flanks the promenade, and provides open air, shaded patio seating for potential café, outdoor dining, or other retail type uses. Connectivity to the Central Plaza is reinforced by a comprehensive network of walkways and trail connections. The open space network design, as well as the routing of the bike lane through this space, make it a focal point within the Village Center, as well as a destination to be accessed by the Reston Association trail network that previously dead-ended on both the east and west ends of the shopping center parking lot.

*Community Trail Connection:* The Trail Connection provides connectivity to the Reston Association trail network via the existing underpass under North Shore Drive, including stair access to North Shore Drive and the Linear Green within the Village Center.

*Condominium Courtyards:* The Condominium Courtyards will be an amenity space for condo residents and the main entrance for their visitors. These spaces serve as welcoming front door garden, and may be feature paved plazas and seating areas, open lawn areas, and outdoor furnishings, enhanced with ornamental plantings. The materials will complement those used throughout the project, further reinforcing the Village Center's sense of place.

Through the design of the open spaces, particular attention has been paid to enhancing the Property's pedestrian circulation system to and through the Property, with strong emphasis on improving its relationship to the adjacent assisted living facility. Indeed, the Applicant's design includes benches and outdoor seating/tables to encourage the assisted living facility's senior population to enjoy modest exercise and engage in "people watching" in ways the current retail center configuration does not permit.

Similarly, the Applicant's plans include improvements to the existing trail network linking the Property to various Reston Association facilities, including walking and biking trails and the Tall Oaks pool across North Shore Drive. The Applicant's design proposes to maintain the existing vehicular ingress and egress points while vastly improving the pedestrian environment, a key component of the original Village Center concept.

The Applicant proposes multiple types of residential units intended to meet the housing

needs of a variety of ages and income levels. 70 of the units will be “condo flats” located in two multifamily buildings offering garage parking beneath each building. Another 42 units will be two-over-two multifamily units in which one unit is stacked on top of another, with a combination of garage and street parking available. A third unit type – single family attached – comprises 44 of the Applicant’s proposed dwelling units, making this development one of the first projects in Reston offering townhome-style units in nearly 20 years. The townhome units will be a combination of front-load and rear-load units with garage parking located inside each unit. All of the units will feature green building techniques and sustainable design elements.

It is anticipated that improvements will be made to the existing office and retail pad buildings that are to remain, in order to allow current tenants of the Shopping Center to be relocated prior to redevelopment of that portion of the Property and the construction of the residential uses and public open space and amenities.

#### **4. Special Exception**

In addition to the PRC Plan, the Applicant also requests approval of a special exception application to permit fast food uses within the Village Center pursuant to Section 6-302(B)(2)(e) of the Zoning Ordinance. Incorporating fast food restaurants into the proposed retail and service offerings will complement other uses in the Village Center and provide a convenient dining option for residents, visitors, and employees at the Village Center, as well as residents of the surrounding neighborhoods. The restaurants will be architecturally integrated with the other retail and service uses and will be compatible with the overall design used throughout the site.

The fast food restaurants are anticipated to have operating hours of 8:00 am to 10:00 pm daily. The number of employees and customers will vary with the sizes of tenants. Approximately 1,340 weekday daily trips are anticipated based on a size of 2,500 square feet, including a pass-by reduction of 25% for the PM peak hours. Additional information regarding the traffic impacts of the proposed use is provided in the Operational Analysis.

Section 9-006 of the Zoning Ordinance requires conformance with the following standards for all special exception uses:

- 1. The proposed use at the specified location shall be in harmony with the adopted comprehensive plan.*

The fast food uses are compatible with the vision for Village Centers as a community gathering space with neighborhood-serving retail and amenities for the surrounding residential areas. The proposed special exception will complement the other uses within the development program.

- 2. The proposed use shall be in harmony with the general purpose and intent of the applicable zoning district regulations.*

The proposed fast food uses are compatible with the PRC district’s objectives including a variety of commercial services, orderly arrangement of land uses, and a balanced community.

- 3. The proposed use shall be such that it will be harmonious with and will not adversely*

*affect the use or development of neighboring properties in accordance with the applicable zoning district regulations and the adopted comprehensive plan. The location, size and height of buildings, structures, walls and fences, and the nature and extent of screening, buffering and landscaping shall be such that the use will not hinder or discourage the appropriate development and use of adjacent or nearby land and/or buildings or impair the value thereof.*

The proposed fast food uses will be completely integrated within the retail/commercial buildings in the Village Center and will complement the neighboring residential and nonresidential uses. The use will not hinder or discourage appropriate development on adjacent land.

- 4. The proposed use shall be such that pedestrian and vehicular traffic associated with such use will not be hazardous or conflict with the existing and anticipated traffic in the neighborhood.*

The proposed uses will be served by internal sidewalks and vehicular travelways within the Village Center, with safe circulation provided for all users.

- 5. In addition to the standards which may be set forth in this Article for a particular category or use, the Board shall require landscaping and screening in accordance with the provisions of Article 13.*

Landscaping and screening will be provided in accordance with the Zoning Ordinance as shown on the special exception plat and PRC plan.

- 6. Open space shall be provided in an amount equivalent to that specified for the zoning district in which the proposed use is located.*

There is no minimum amount of required open space in the PRC district. Approximately 36% of the overall proposed development will be provided as open space.

- 7. Adequate utility, drainage, parking, loading and other necessary facilities to serve the proposed use shall be provided. Parking and loading requirements shall be in accordance with the provisions of Article 11.*

Adequate facilities will be provided. Parking and loading requirements will meet Zoning Ordinance requirements as shown on the special exception plat and PRC plan.

- 8. Signs shall be regulated by the provisions of Article 12; however, the Board may impose more strict requirements for a given use than those set forth in this Ordinance.*

Signage throughout the Village Center shall be in conformance with the Zoning Ordinance or a Comprehensive Sign Plan.

There are no known hazardous or toxic substances on the Property. If any such substances are found, the methods for disposal shall adhere to all local, state, and federal regulations.

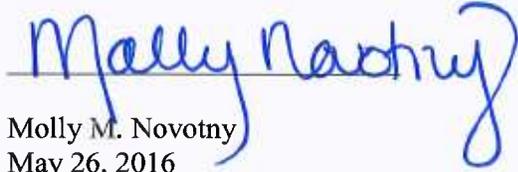
## **5. Waivers and Modifications**

- A. Zoning Ordinance Section 11-103(5), Minimum Required Spaces for Residential and Lodging Uses: The Applicant requests a modification to allow a portion of the off-street parking spaces for the two-over-two units to not have convenient access to a street, as is permitted for single family detached and single family attached residential units. This modification will facilitate the use of tandem spaces for the two-over-two units, considered multifamily units in the Zoning Ordinance. Each residential unit will have one garage space and one driveway space, one directly in front of the other, so that the two spaces assigned to a single unit will have the same owner.
- B. Zoning Ordinance Section 11-203(4), Off-Street Loading Space: The Applicant requests a waiver of the requirement to provide two loading spaces to serve the proposed two-over-two residential uses. Although considered multiple family units by the Zoning Ordinance, the two-over-two units do not require a separate commercial loading area to serve the buildings. Similarly, the condominium flat buildings do not require a dedicated loading area. The building is intended to contain condominium units, so there will not be as much resident turnover as in a rental building that would necessitate loading spaces.
- C. Zoning Ordinance Section 6-306(2), Lot Size Requirements: The Applicant requests a waiver of the 200-square-foot privacy yard requirement for single family attached dwelling units in favor of the yards shown on the PRC/SE Plat. Rather than create large individual yards, the Applicant has focused its attention on creating communal space for its residents to congregate that re-enforces the village center dynamic of Tall Oaks.
- D. Zoning Ordinance Section 13-303, Transitional Screening Requirements: The Applicant requests modifications of the transitional screening requirements around the property as further explained on Sheet 35 of the PRC/SE Plan Set. Rather than the Ordinance prescribed buffer, the Applicant proposes landscaping throughout the property to both integrate the mixed-use site into the surrounding community while also ensuring a buffer from the busier Wiehle Avenue is maintained.
- E. PFM Section 12-0508.3a(1) and Section 12-0508.3a(3), Tree Preservation: The Applicant requests a reduction of the tree canopy preservation to seven percent (7%) to allow the development to occur. The preservation of the existing 13 percent (13%) cover tree would preclude the desired development. Additionally, the critical root zones of some trees are anticipated to be damaged during the construction, thereby harming the trees rate of survivability. For the above two reasons, the Applicant will seek a modification of the canopy coverage percentage, as permitted by PFM 12-0508.3a(1) and Section 12-0508.3a(3). The Applicant's replanting schedule, along with the tree save area will more than exceed the 10 percent (10%) 10-year canopy requirements on the site. Additionally, the Applicant is proposing significant landscaping that will further enhance the tree cover.

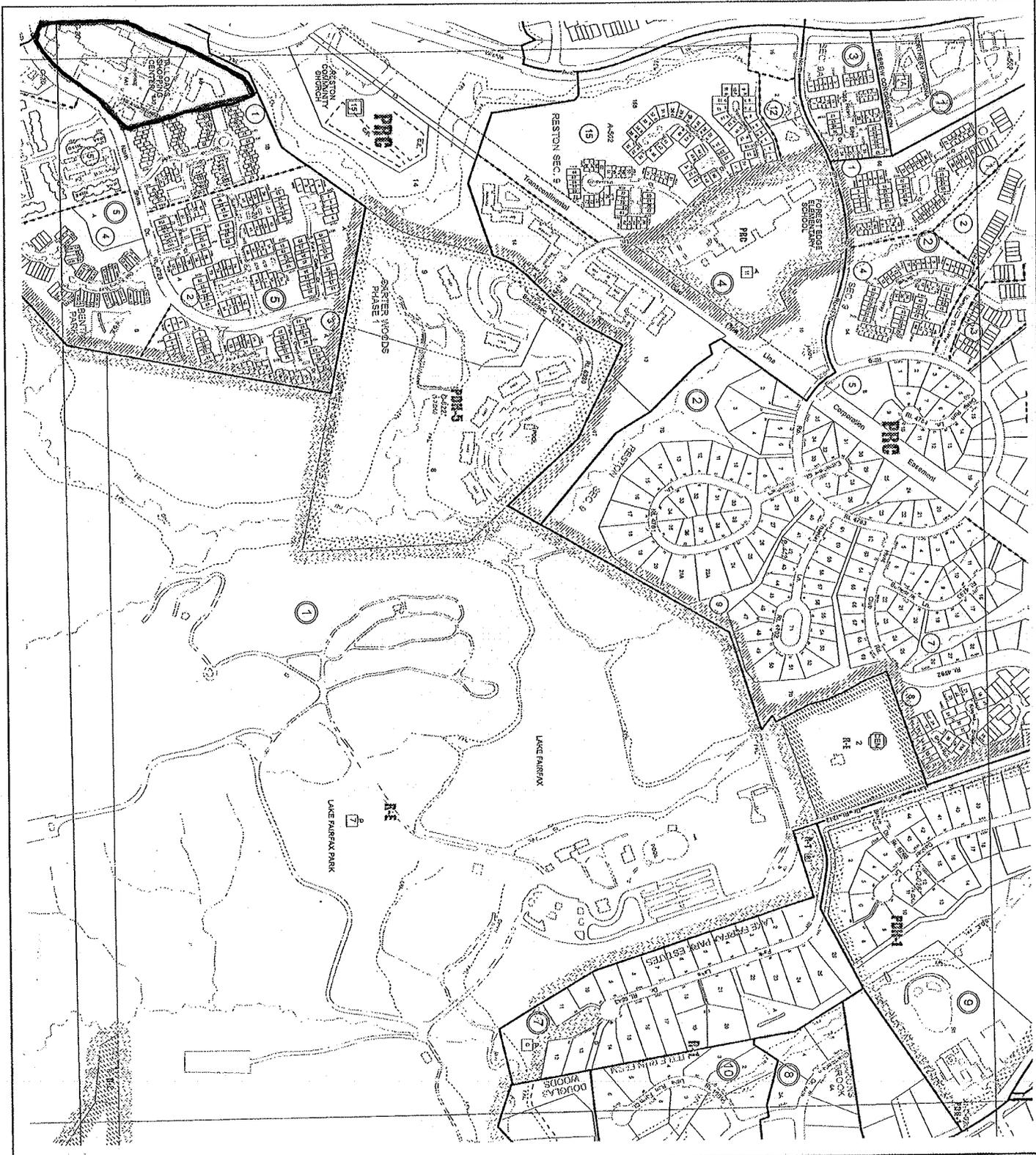
**6. Conclusion**

The Applicant's proposed Development is in accordance with the Rezoning, the Development Plan and the Determination. There is sufficient density available under the density limitations of Section 6-308 of the ZO to accommodate the Applicant's plans, as more particularly described on the PRC Plan. The Applicant respectfully requests approval of its PRC Plan application.

Respectfully submitted,



Molly M. Novotny  
May 26, 2016



tabbles

**EXHIBIT**

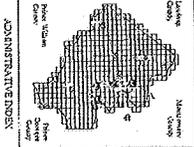
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Revised: 01-01-2012

PROPERTY MAP  
ZONING  
18-1

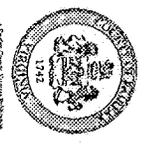
SHEET INDEX

11-4	13-1	12-4
17-2	18-1	
17-4	18-3	18-4

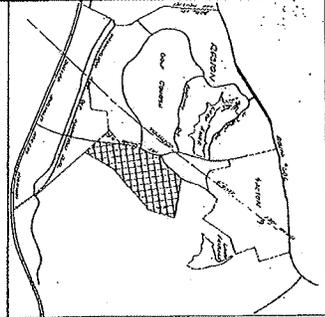


**GENERAL NOTES**

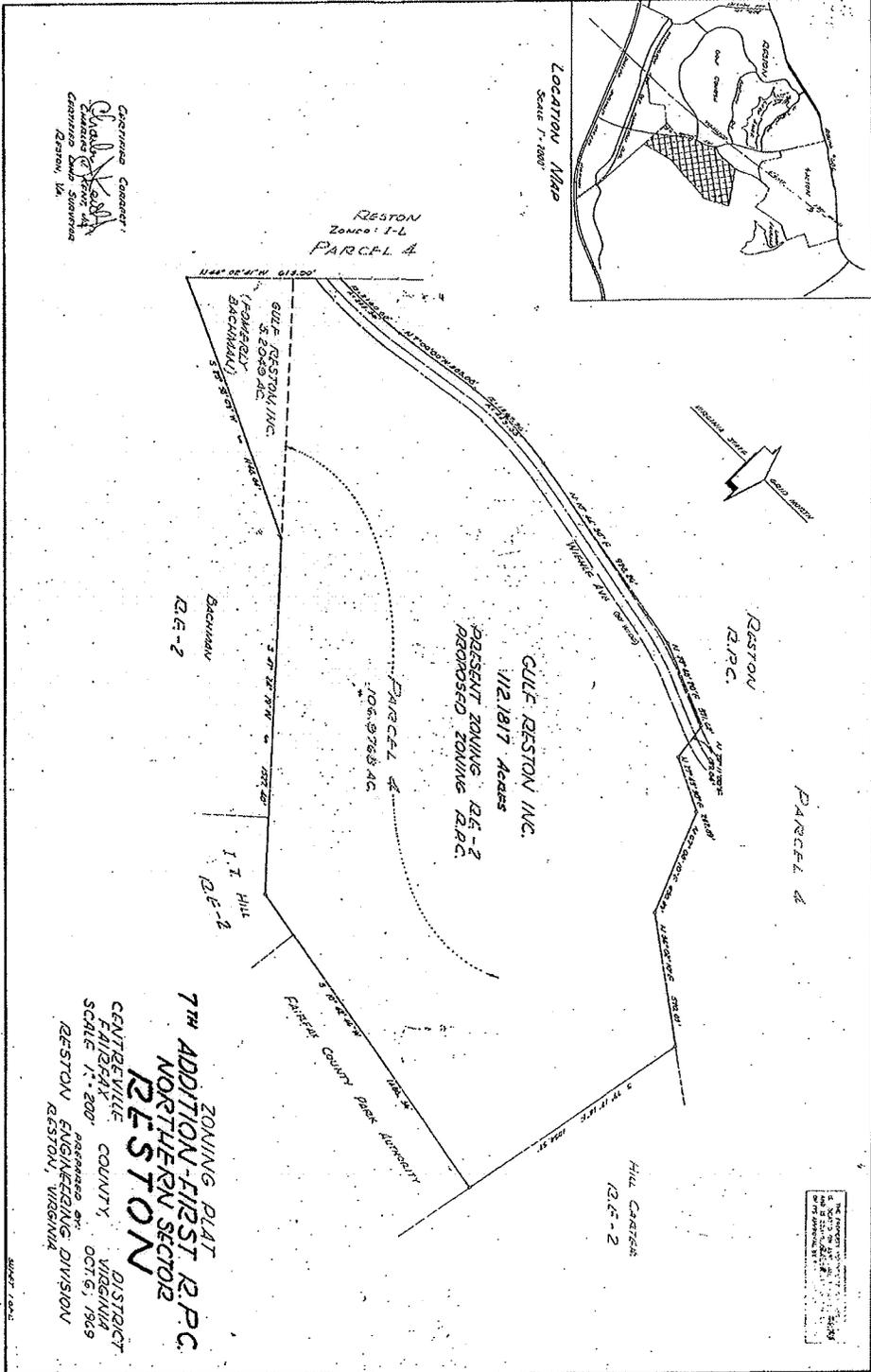
1. This map is a zoning map and does not show lot lines or other details of the property.
2. The zoning code for each lot is shown on this map.
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9-610-69



LOCATION MAP  
Scale 1:1000



RESTON  
Zoning I-L  
PARCEL 4

GULF RESTON INC.  
112,1817 Acres  
PROPOSED ZONING 12.4E-2  
106,978 AC

PARCEL 2

HILL CARTER  
12.4E-2

12.4E-2

1.1 HILL  
12.4E-2

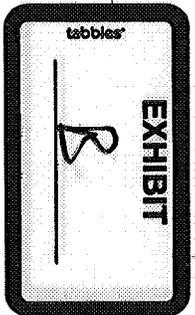
COPIED FROM  
GULF RESTON INC.  
COURTESY OF  
RESTON, VA.

ZONING PLAT  
7TH ADDITION-FIRST NORTH  
RESTON  
CENTREVILLE COUNTY, VIRGINIA  
SCALE 1:200  
OCT 5, 1969  
RESTON ENGINEERING DIVISION  
RESTON, VIRGINIA

NOTE: This is a copy of what is shown on the original plat. The plat was prepared by the State of Virginia, Department of Transportation, on 10/5/69.

RESTON ENGINEERING DIVISION  
RESTON, VIRGINIA

93107-2

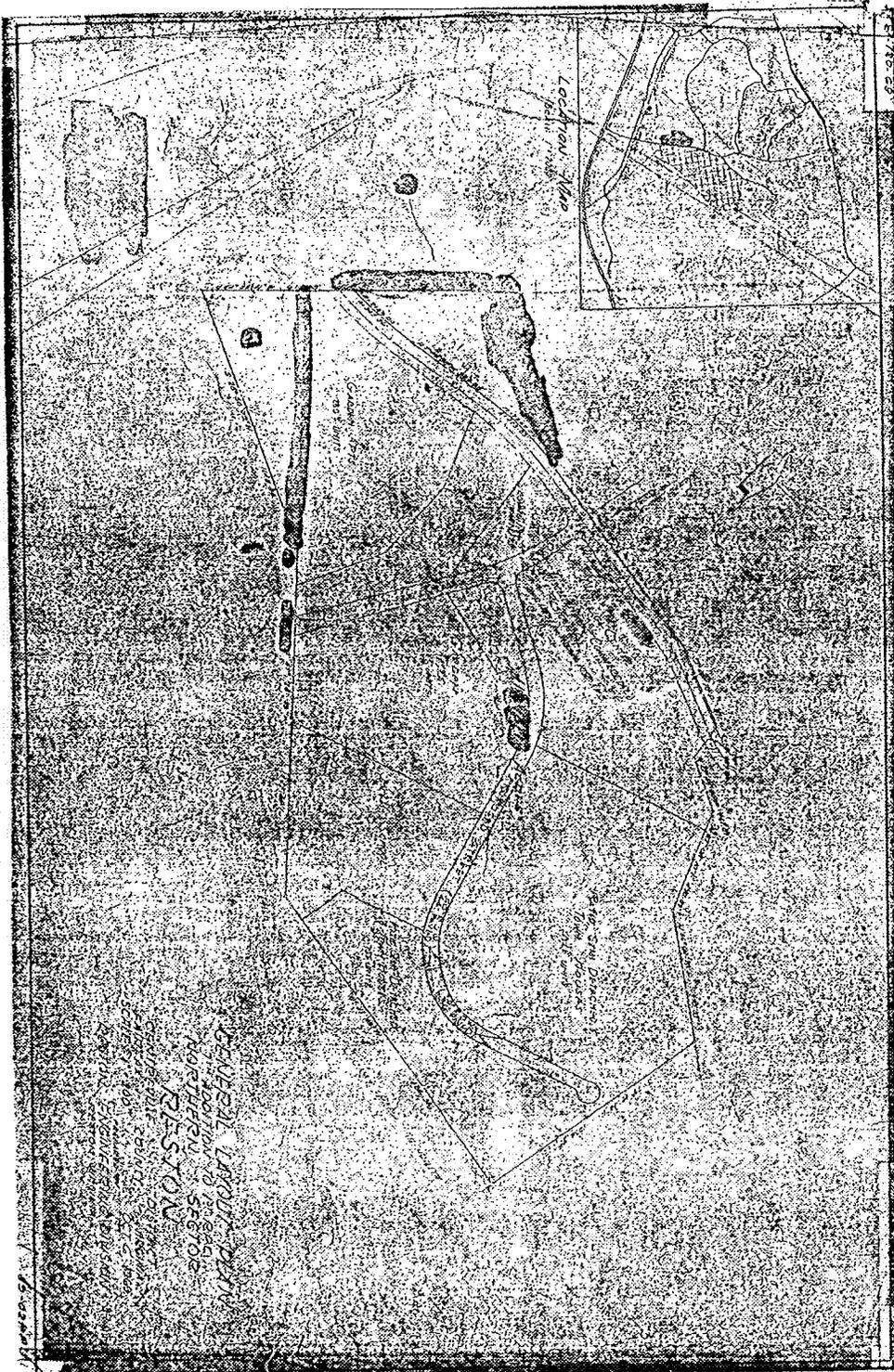


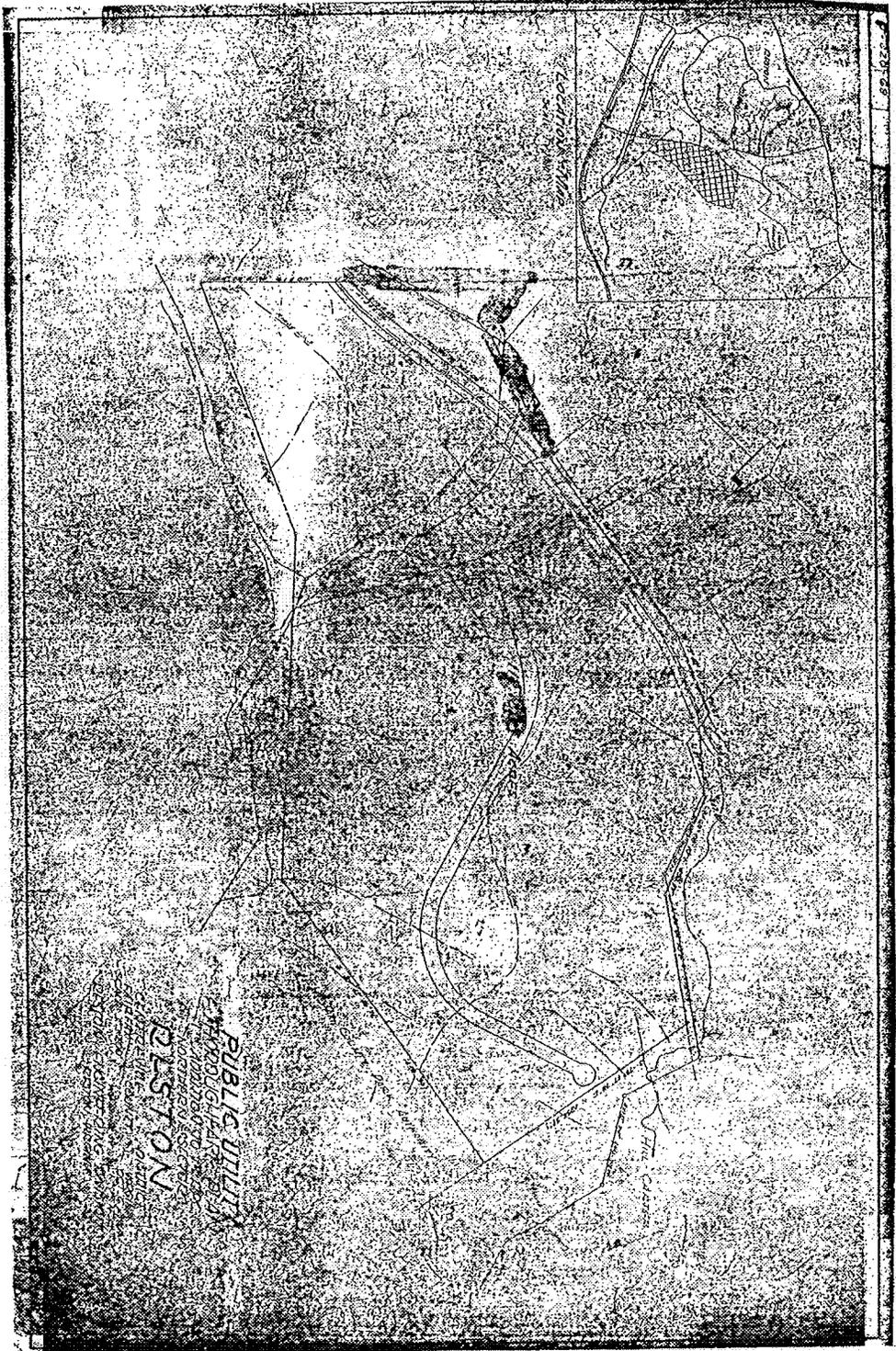


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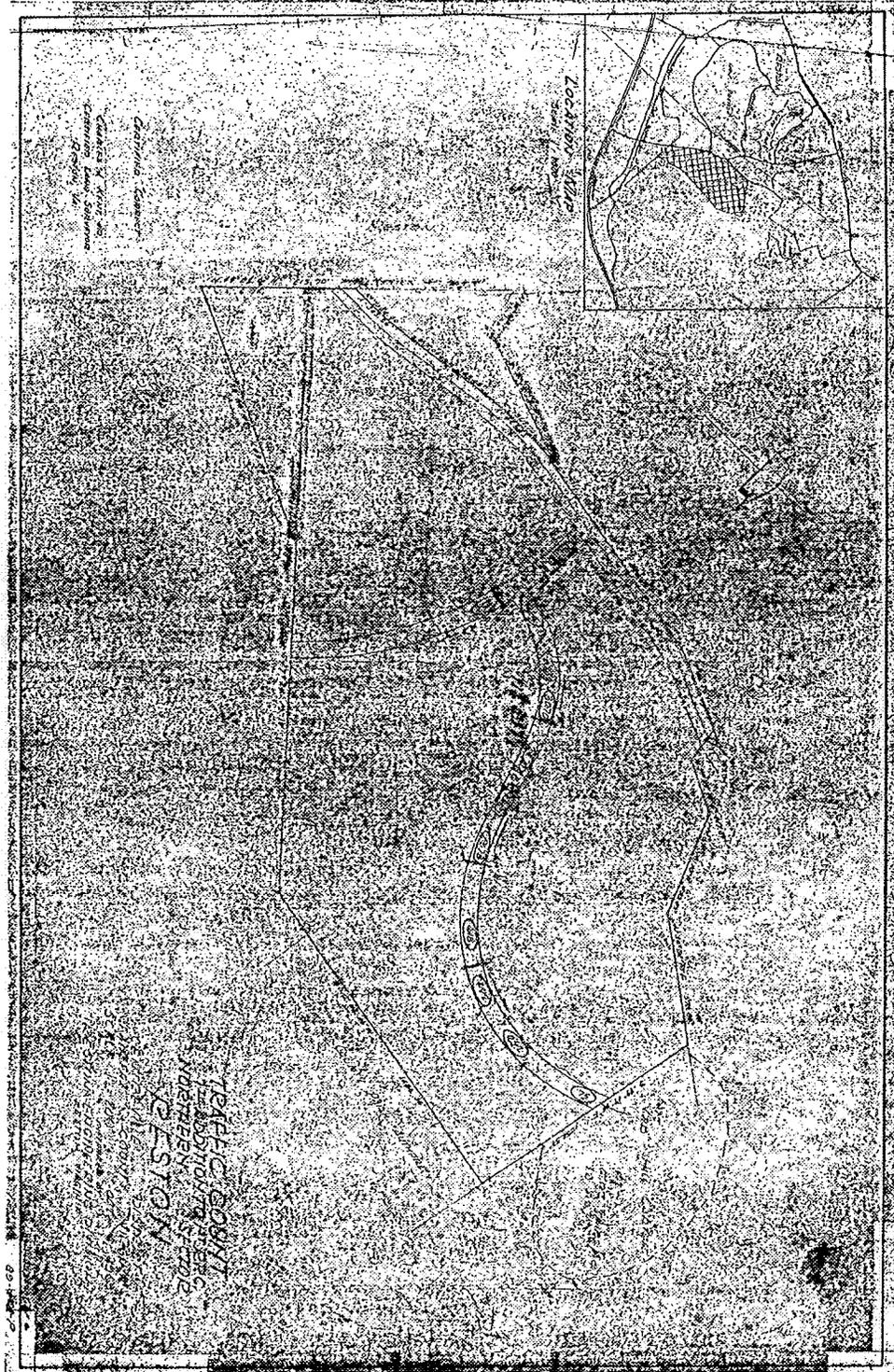
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FOR ADDITION - FIRST PART  
NORTHERN SIDE  
RESTON





PUBLIC UTILITIES  
PROPERTY  
DISTON

12-15-52



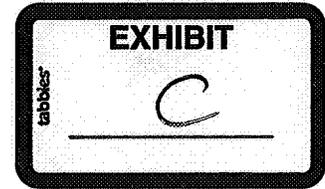
TECH. DRAWING  
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SECTION  
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TECH. DRAWING  
VALVE  
SECTION  
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TECH. DRAWING  
VALVE  
SECTION  
1:1

68





Brian J. Winterhalter  
T: +1 703 456 8168  
bwinterhalter@cooley.com

February 4, 2013

Ms. Leslie Johnson  
Zoning Administrator  
Fairfax County Department of Planning & Zoning  
12055 Government Center Parkway, Suite 807  
Fairfax, Virginia 22035

**RE: Interpretation for the Tall Oaks Village Center  
Tax Map 18-1 ((5)) 8A1, RZ C-020**

Dear Ms. Johnson:

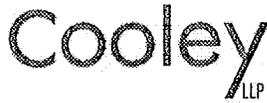
I write on behalf of CRP-2 Holdings Tall Oaks, LLC ("Owner"), an affiliate of Colony Realty Partners and the owner of the above-referenced property (the "Property"), to request your office's confirmation of the residential and non-residential uses and densities permitted for the Property under rezoning RZ C-020. The Property is approximately 7.2 acres and comprises the majority of the Tall Oaks Village Center. A Tax Map with the Property outlined is attached as Exhibit A.

The Owner is contemplating various options for the future of the Property and wants to confirm the Property's development potential under the existing zoning approvals. By this letter, we request your office's confirmation that (i) the Property may be developed with residential uses of any unit type, as permitted in areas designated as a Village Center, under the High Density provisions of the Planned Residential Community ("PRC") zoning district; (ii) the Property may be developed with any non-residential uses permitted in a Village Center under the PRC zoning district without any limitation on the density or building height of such uses; and (iii) the permitted residential and/or non-residential uses may be established on the Property with the approval of a PRC plan, site plan, and applicable permits.

#### **I. Prior Rezoning Approval**

The Property is zoned PRC under the Fairfax County Zoning Ordinance and is designated for Village Center uses on the Reston Master Plan, which is incorporated into the Fairfax County Comprehensive Plan by reference. The Property is subject to rezoning application RZ C-020, which the Fairfax County Board of Supervisors approved on November 19, 1969, to rezone an area of approximately 112 acres to the PRC district. According to Fairfax County's records, the Property is not subject to any proffered conditions.

The rezoning included an approved, but not proffered, development plan (the "Development Plan") designating the Property as a Village Center in accordance with the Property's designation on the Reston Master Plan. The Development Plan further notes the uses for the Property as "miscellaneous commercial and residential uses." The Development Plan does not



Ms. Leslie Johnson  
February 4, 2013  
Page Two

identify a maximum non-residential square footage or floor area ratio ("FAR") for the Property. It also does not identify a maximum residential density or a specific PRC residential density category (i.e., Low, Medium, or High Density). A copy of the Development Plan is attached as Exhibit B.

## II. Establishment of Residential Uses on the Property

### A. Permitted Residential Uses

We request your confirmation that the Property may be developed with residential uses of any dwelling unit type, and any mixture of dwelling unit types, as permitted for a Village Center under the PRC zoning. Under Section 6-302(C) of the Zoning Ordinance, residential uses in the form of single-family detached, single-family attached, and multi-family dwelling units, as well as any mixture of these dwelling unit types, are permitted as by-right uses for areas designated as a Village Center. As noted above, the Development Plan designates the Property as a Village Center that may develop with "miscellaneous commercial and residential uses."

Although the Development Plan also notes that the Property may be developed with "garden apartments or medium-rise apartments," this notation is permissive rather than restrictive given the overall designation for "miscellaneous commercial and residential uses." In addition, the absence of any proffers regarding the type or number of dwelling units to be developed and the fact that the Development Plan itself was not proffered further confirm that the note on the Development Plan is not exclusive of other types of dwelling units permitted in a Village Center. Indeed, a prior interpretation issued by your office on October 11, 2000, a copy of which is attached as Exhibit C, confirms that the Property is "shown on the approved Development Plan as a Village Center designated for miscellaneous commercial and residential uses" without noting any limitations on the type of dwelling units. Therefore, residential uses of any dwelling unit type are permitted uses for the Property under the Village Center provisions of the PRC zoning district.

### B. Residential Density Category

We also seek your confirmation that the permitted residential density on the Property is High Density Residential under the applicable PRC district provisions, which is consistent with the density afforded properties in other urban development areas of Reston, including the Reston Town Center. As you know, although residential uses are permitted in a Village Center, neither the Zoning Ordinance nor the approved Development Plan itself specifies whether such uses are to be developed in accordance with the Low, Medium, or High Density standards of the PRC zoning district. Further, the fact that the Development Plan was not proffered means the note regarding "garden apartments or medium-rise apartments" is not a proffered commitment for development of the Property under the rezoning. As a result, the Property is permitted to develop residential uses but is not subject to any density limitation for such uses.

When confronted with similar situations for properties in the Reston Town Center, the Director of the Zoning Evaluation Division, acting on behalf of your office, opined that the applicable residential density category is High Density residential, consistent with the Reston Master Plan's



Ms. Leslie Johnson  
February 4, 2013  
Page Three

vision for development nodes containing a mix of uses. Copies of the applicable interpretations are attached as Exhibit D and Exhibit E, respectively. These determinations noted, among other things, that multi-family residential is a by-right use for Town Center areas in the PRC zoning district, the Town Center was approved as a high intensity mixed-use development, and the Comprehensive Plan references the development of the Town Center with a mixture of multi-family and single-family housing unit types up to 50 dwelling units per acre.

Like the Town Center, multi-family residential is a by-right use in areas designated as a Village Center in the PRC district. The Zoning Ordinance identifies a Village Center as "a central location for activity of retail, community, and leisure uses on a scale serving a number of neighborhoods" where "the primary emphasis should be on the pedestrian circulation system." The Comprehensive Plan envisions a Village Center as an integrated area of neighborhood retail, accessory office uses, community services, and residential uses. A mixed-use, pedestrian-oriented center of activity is an environment well-suited to, and supported by, higher density residential uses, which indicates that High Density is the appropriate residential designation for the Property.

Further, the Reston Master Plan calls for the properties north and east of the Property to be developed with Medium Density Residential uses, while the parcel south of the Property is recommended to be developed with High Density Residential uses. It makes sense, then, that the Property itself, as the "central location" of activity to enjoy the highest densities available from which the surrounding parcels taper in both density and uses. Accordingly, we request your confirmation that the Property is deemed a High Density Residential area and may be developed up to 50 dwelling units per acre, provided residential uses do not exceed 60 persons per acre across all High Density Residential areas and the entire Reston PRC district does not exceed 13 persons per acre.

### **III. Establishment of Non-Residential Uses on the Property**

#### **A. Permitted Non-Residential Uses**

Additionally, we ask for your confirmation that the Property may be developed with any non-residential uses permitted by right in a Village Center. The identification of "miscellaneous commercial" uses on the approved Development Plan indicates that there are no specific non-residential use limitations applicable to the Property under the approved rezoning. The absence of any use restrictions is further evidenced by the fact that the Development Plan was not proffered as part of the rezoning application. The rezoning to the PRC district with a Village Center designation, in combination with the lack of any proffered use restrictions, means the Property may be developed with any non-residential uses permitted by right for areas designated as a Village Center.

#### **B. Permitted Intensity of Non-Residential Development**

As noted above, the Development Plan does not identify any maximum square footage or FAR for the Property and, as you know, the PRC zoning district does not contain any maximum FAR or maximum lot coverage requirement. Under the PRC zoning district, the maximum permitted



Ms. Leslie Johnson  
February 4, 2013  
Page Four

square footage is determined by reference to the square footage or FAR shown on an approved development plan. In the absence of a proffered development plan with a specific maximum square footage or FAR, the Property may be developed with any non-residential uses permitted under the PRC zoning provisions for areas designated as a Village Center without any maximum square footage or FAR limitations.

#### **IV. Special Exception and Special Permit Uses**

Portions of the Property are subject to special exception SE 97-H-049 to permit the establishment of a fast food restaurant and special permit SP 2005-HM-019 to permit a health club. We request your confirmation that these special exception and special permit approvals may be abandoned in order to facilitate redevelopment of the Property by providing written notification of such abandonment to the County.

#### **V. Conclusion**

In summary, we request your office's confirmation of the following: (i) that the Property may be developed with any mix of residential dwelling unit types under the High Density provisions of the PRC zoning district, (ii) that the Property may be developed with any non-residential uses permitted in a Village Center under the PRC zoning district without any maximum square footage or FAR limitations, (iii) that the permitted uses may be established as by-right uses, subject to the approval of a PRC plan, site plan, and applicable permits; and (iv) that the currently existing special exception and special permit approvals may be abandoned by providing written notification to the County.

We thank you in advance for your time and appreciate your assistance with these issues. Please contact me at 703-456-8168 if you have any questions or need any additional information that would be helpful to respond to this request.

Best regards,

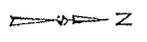
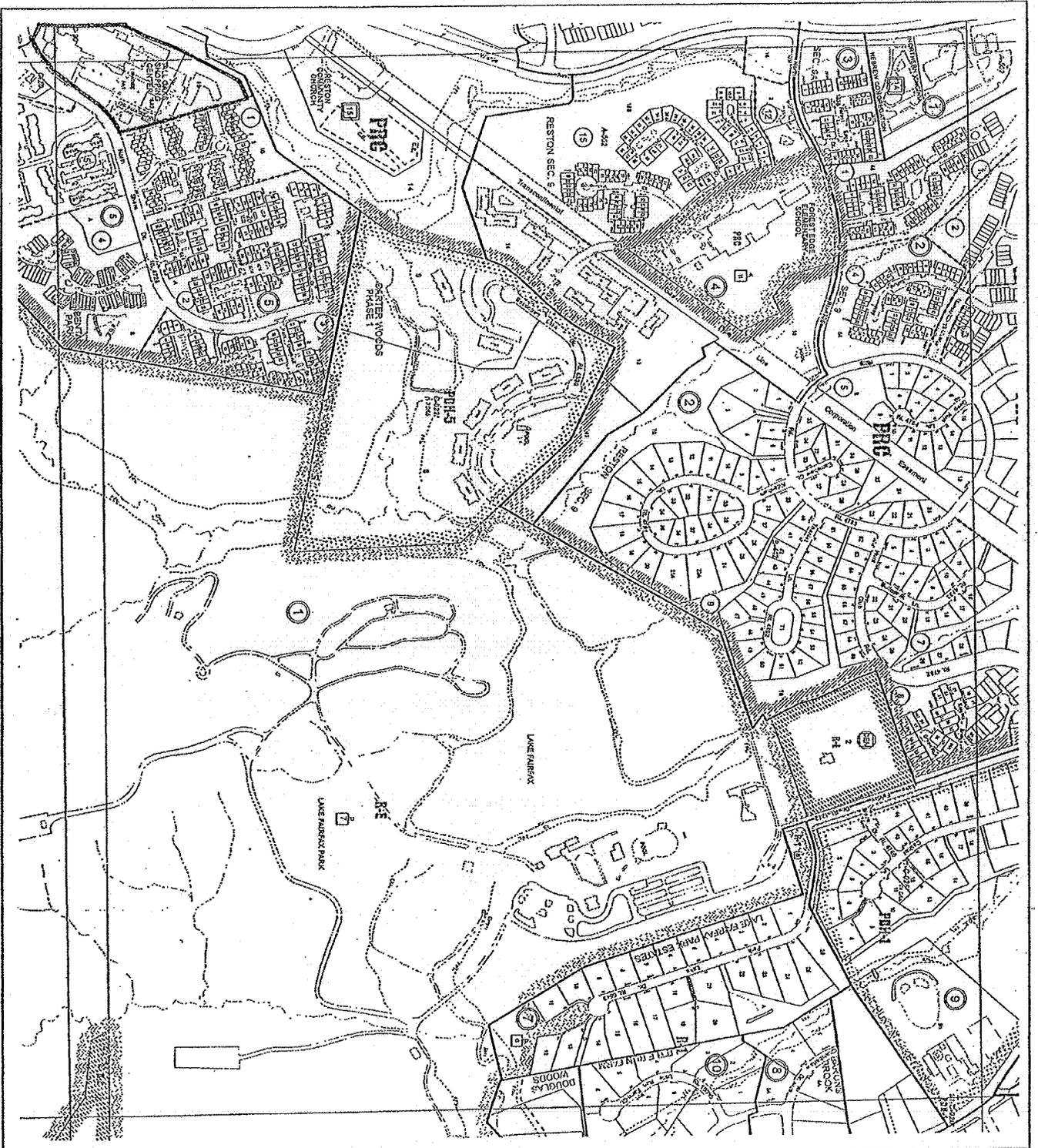
A handwritten signature in black ink that reads "Brian J. Winterhalter".

Brian J. Winterhalter

Enclosures

cc: Jacob Fiumara, Colony Realty Partners  
Mark C. Looney, Cooley LLP

546820 v1/RE



**GENERAL NOTES:**  
 1. The City of Reston, Virginia, is a home rule municipality and is not subject to the provisions of the Virginia Zoning Ordinance, Code of Virginia, § 15-2-1, et seq.  
 2. The City of Reston, Virginia, is a home rule municipality and is not subject to the provisions of the Virginia Zoning Ordinance, Code of Virginia, § 15-2-1, et seq.  
 3. The City of Reston, Virginia, is a home rule municipality and is not subject to the provisions of the Virginia Zoning Ordinance, Code of Virginia, § 15-2-1, et seq.

**LEGEND:**  
 [Symbol] Single-Family Detached  
 [Symbol] Single-Family Attached  
 [Symbol] Medium-Density Residential  
 [Symbol] High-Density Residential  
 [Symbol] Community Center  
 [Symbol] Office  
 [Symbol] Retail  
 [Symbol] Industrial  
 [Symbol] Public Use  
 [Symbol] Agricultural  
 [Symbol] Conservation  
 [Symbol] Water



**ADJACENT JURISDICTIONS:**

114	123	124
172		182
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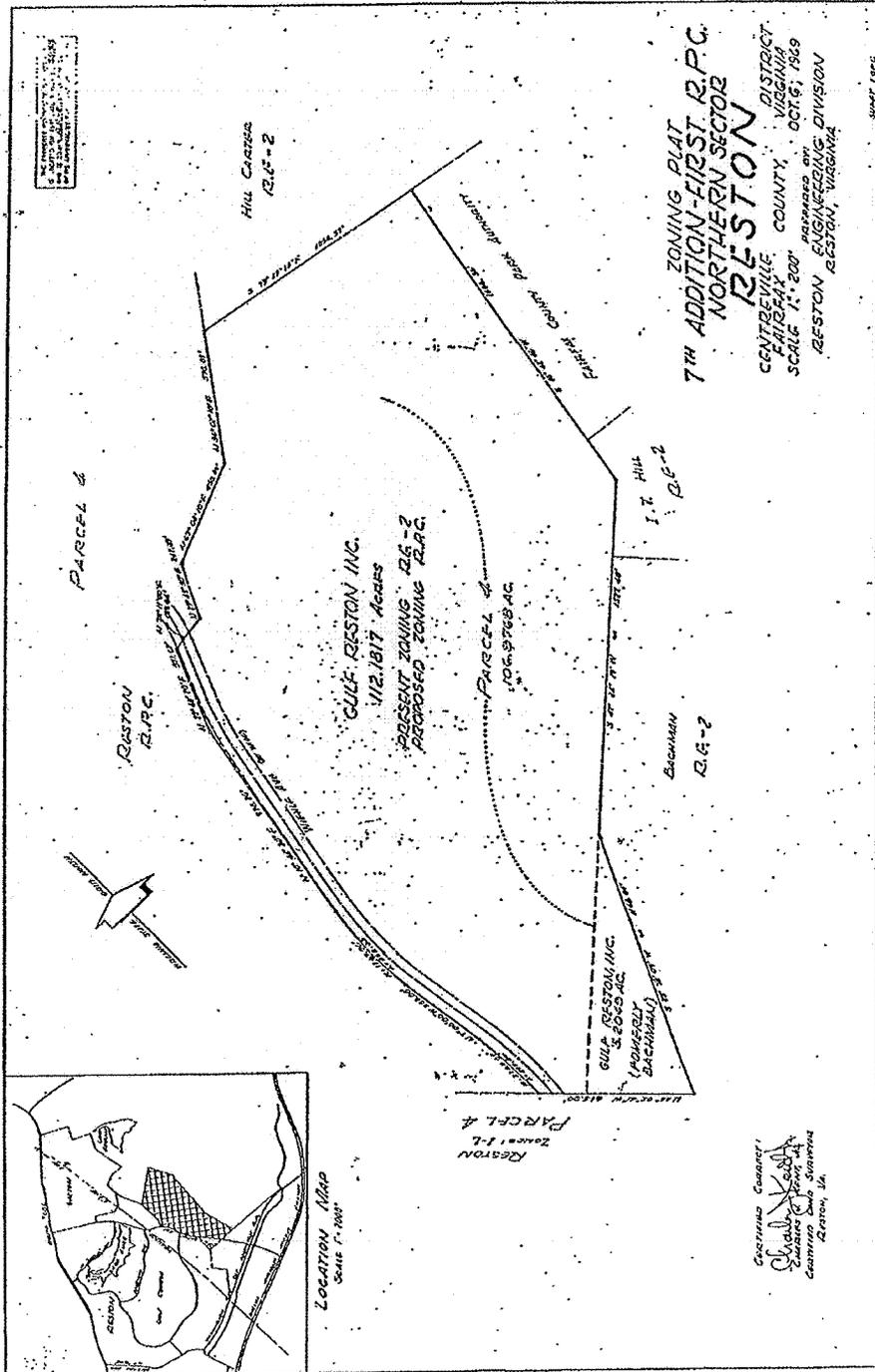
**PROPERTY MAP ZONING 18-1**

tabbles

**EXHIBIT**

**A**

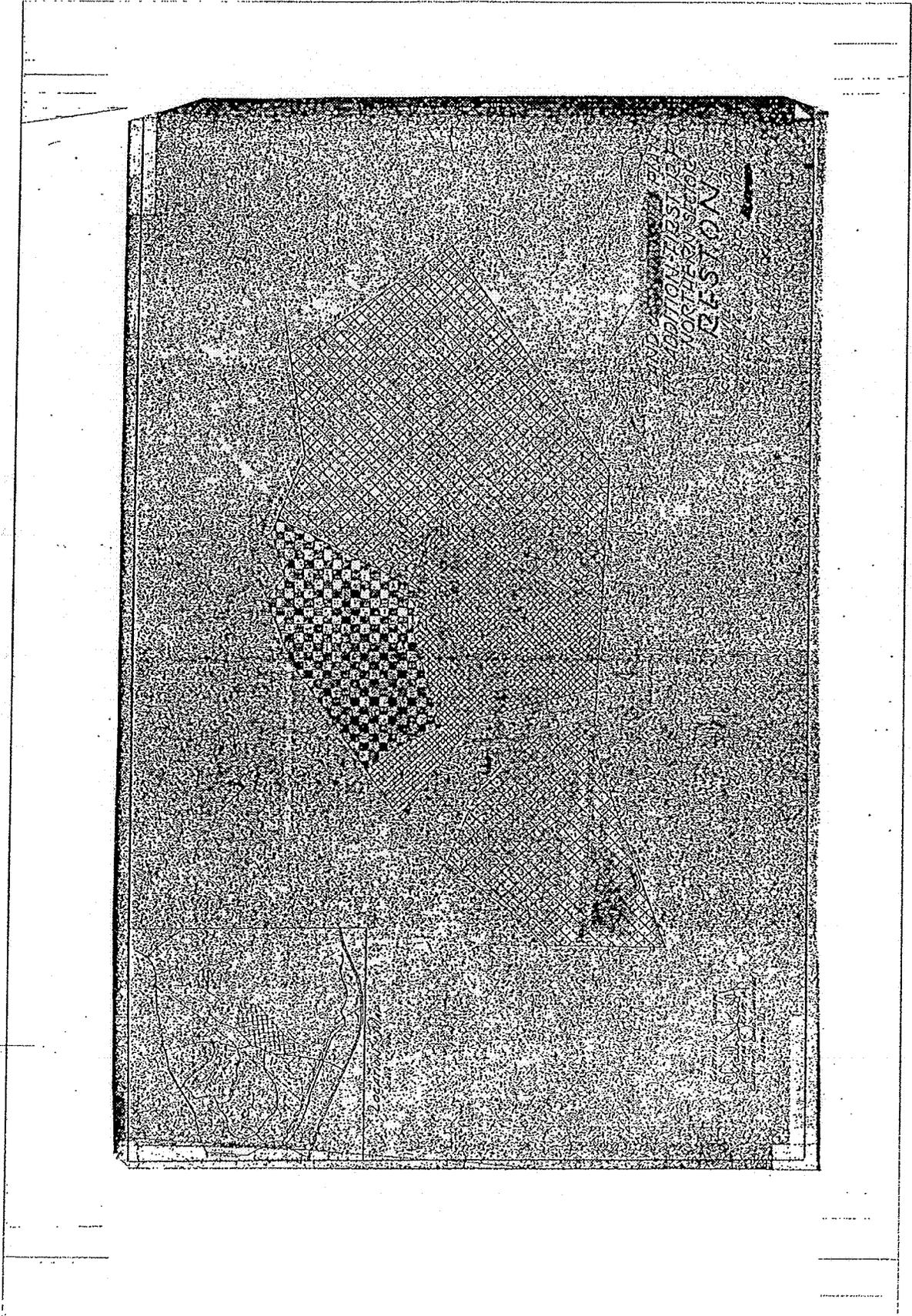
Note: This is a copy of what is submitted to the Planning Commission for their review. The final plat will be prepared by the Surveyor General's Office.



7<sup>TH</sup> ADDITION-FIRST R.P.C.  
NORTHERN SECTOR  
**RESTON**  
COUNTY, VIRGINIA  
SCALE 1"=200'  
PASSAGE BY ENGINEERING DIVISION  
RESTON, VIRGINIA

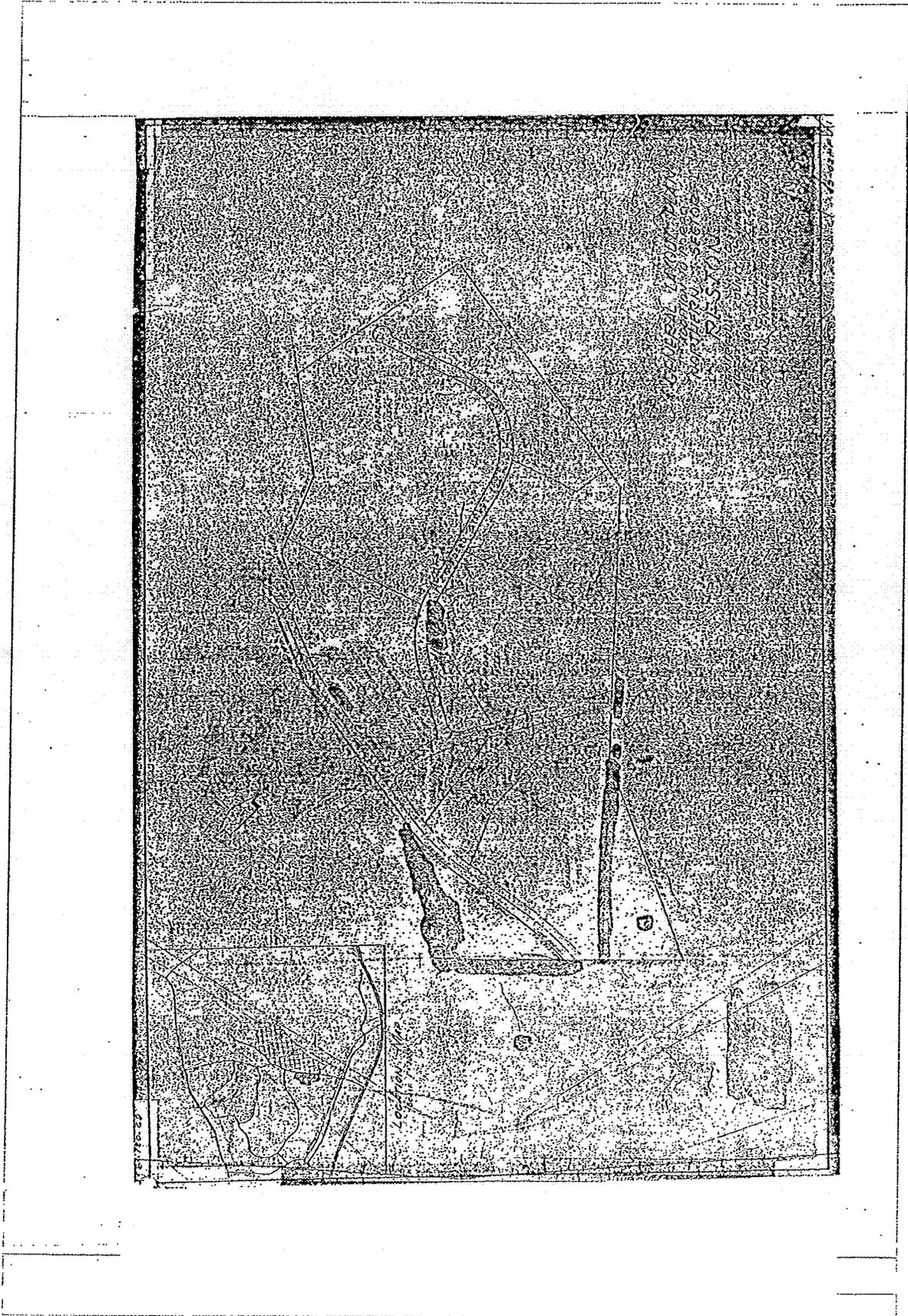
Carroll's Survey  
Surveyor General  
Reston, Va.

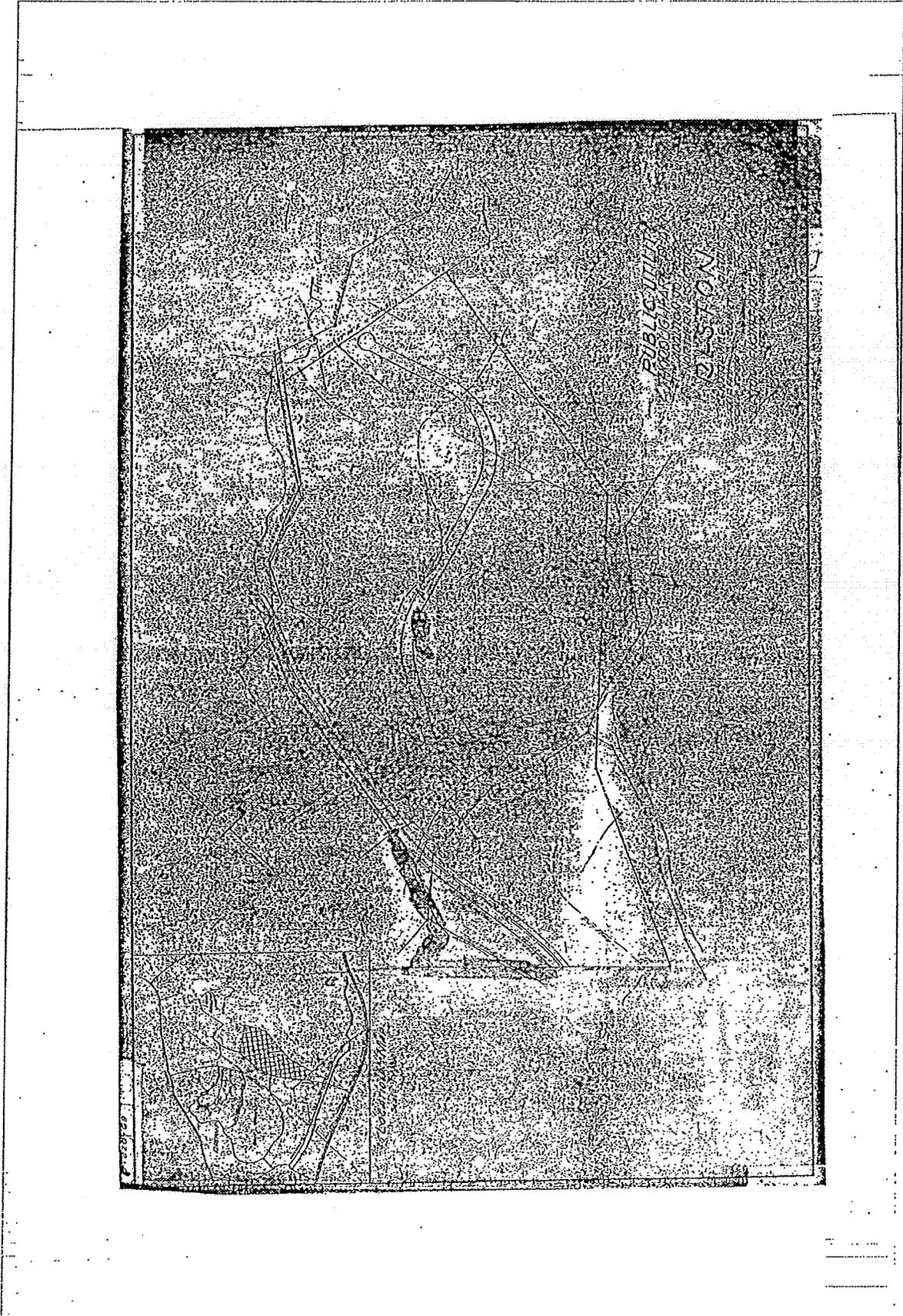
EXHIBIT  
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Labels

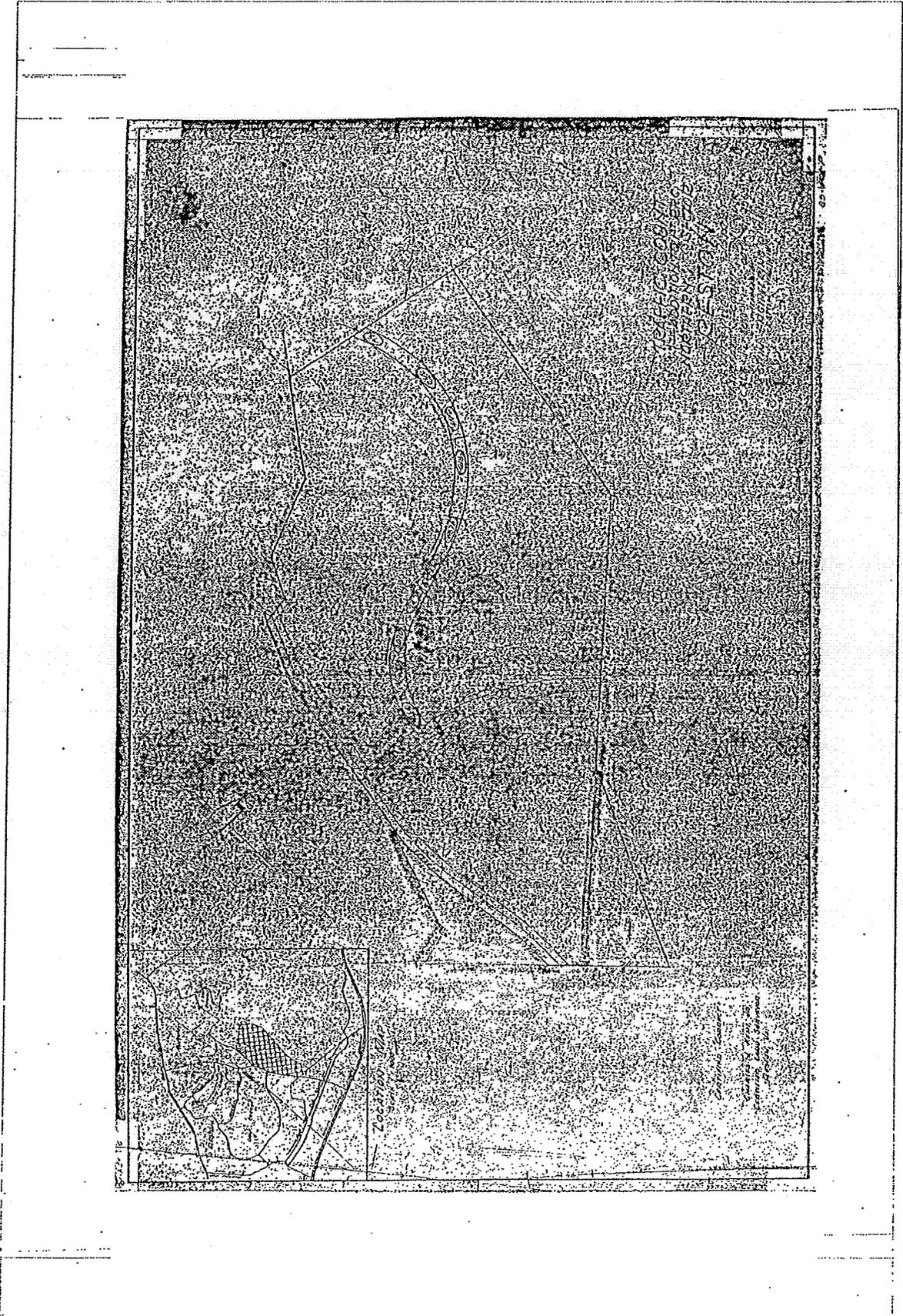


WOLSTON  
PUBLISHED BY  
WOLSTON  
BOSTON

WOLSTON











FAIRFAX  
COUNTY

DEPARTMENT OF PLANNING AND ZONING

Zoning Evaluation Division  
12055 Government Center Parkway, Suite 801  
Fairfax, Virginia 22035-5509

(703) 324-1290

Fax (703) 324-3924

V I R G I N I A

October 11, 2000

Erika L. Byrd  
McGuire Woods Battle & Boothe, LLP  
1750 Tysons Boulevard, Suite 1800  
McLean, VA 22102-3915

Re: Interpretation for SE 97-H-047, SE 97-H-048, Tall Oaks Village Center; Vacation of Special Exception Approvals

Dear Ms. Byrd:

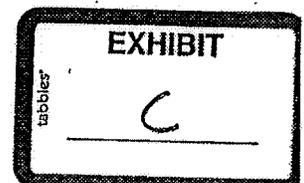
This is in response to your letter of September 7, 2000, requesting information on Special Exceptions SE 97-H-047 and SE 97-H-048. As I understand it, the question is whether the applicant has the option not to implement the approved special exceptions and develop the subject sites with permitted shopping center uses. A copy of the above-referenced letter is attached.

You indicated in your letter that your client does not want to implement the two approved special exceptions in the Tall Oaks Village Center, and that they prefer to expand the shopping center for retail uses.

The development of the Tall Oaks Village Center site is governed by two approvals by the Board of Supervisors: Rezoning RZ C-020 was approved in 1969 for the RPC Zoning District (now the PRC District) with this site shown on the approved Development Plan as a Village Center designated for miscellaneous commercial and residential uses; and SE 97-H-049 was approved, concurrently with SE 97-H-048, in 1997 for a fast food restaurant located in the southeast portion of the Village Center site.

Special exception SE 97-H-047 was approved for a child care center, not a drive through bank as you reference in your letter, and was withdrawn. SE 97-H-048 was approved for a drive through bank, not a fast food restaurant, and expired on June 8, 2000. Therefore, neither of these previous approvals are currently valid. In addition, SE 97-H-049, approved for the fast food restaurant, was constructed and has already been implemented. A Non-RUP was approved for Burger King in 1999.

You also requested whether the applicant can expand the shopping center up to an FAR of 0.30 in the area previously included in the special exception for the drive-in bank. It is my determination that permitted Village Center uses could be located in the area previously



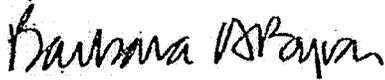
Erika L. Byrd  
Page Two

subject to SE 97-H-048. This determination has been made in my capacity as the duly authorized agent of the Zoning Administrator.

I would note that, according to Par. 2 of Section 16-203 of the Zoning Ordinance, the submittal and approval of a PRC Plan is required for additions to existing buildings or uses when the additions meet or exceed 2,000 square feet or ten percent of the gross floor area of the existing building or use, whichever is less.

If you have any questions regarding this response, please feel free to contact Elaine Jensen at (703) 324-1290.

Sincerely,

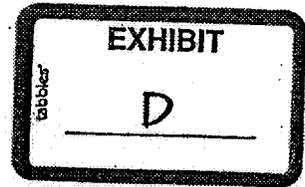


Barbara A. Byron, Director  
Zoning Evaluation Division, DPZ

*BAB/EZJ/NAZEDJENSEN/INTERPS/TallOaksVillageCenter.SEvacationdoc*

Attachments: A/S

cc: Catherine M. Hudgins, Supervisor, Hunter Mill District  
John M. Palatiello, Planning Commissioner, Hunter Mill District  
Jane W. Gwinn, Zoning Administrator  
Michelle A. Brickner, Director, Office of Site Development Services, DPWES  
Angela K. Rodeheaver, Section Chief for Site Analysis, DOT  
Craig A. Carinci, Director, Environmental and Facilities Inspection Division, DPWES  
Files: RZ C-020, SE 97-H-048, SE 97-H-049, SEI 2009 045



**FAIRFAX  
COUNTY**

**DEPARTMENT OF PLANNING AND ZONING**

Zoning Evaluation Division  
12055 Government Center Parkway, Suite 801  
Fairfax, Virginia 22035-5509

(703) 324-1290

Fax (703) 324-3924

V I R G I N I A

October 11, 1999

Ms. Christine G. Kropat  
Planner  
McGuire Woods Battle & Boothe LLP  
8280 Greensboro Drive, Suite 900  
McLean, Virginia 22102

Re: Interpretation for Reston Town Center, Section 91A, RZ 85-C-088  
Residential Density, Open Space, Ancillary Uses

Dear Ms. Kropat:

This is in response to your letter of July 30, 1999 as well as Mr. Calabrese's follow up letter dated August 17, 1999, requesting an interpretation of several issues related to the development of the residential land bays within the Reston Town Center Core Area. Based on your letter, you are requesting an interpretation of the following issues.

- 1) Whether, the residential density proposed within the designated residential landbays as shown on the approved development plan may be calculated on the entire 84.25 acres subject to RZ 85-C-088.
- 2) Whether, the open space areas associated with the proposed residential development as shown on the illustrative site plan entitled "The Legacy at Town Center" prepared by Land Design Inc. and The Lessard Architectural Group Inc., dated August 2, 1999, is in substantial conformance with the approved Development Plan. A copy of this Plan is presented as Attachment 1.
- 3) Whether, ancillary retail and commercial uses, up to a maximum of 30,000 square feet, may be located on the ground floor of the two proposed residential buildings.

Each of these questions will be addressed individually below.

By way of background, the proposed residential development is subject to Development Plan Amendment DPA 85-C-088 approved by the Board of Supervisors on October 15, 1990. This amendment to the Development Plan which was approved with the initial rezoning of the Reston

Ms. Christine G. Kropat  
October 11, 1999  
Page 2

Town Center Core area, facilitated a design change on the western 44 acres of the Town Center Core Area to extend Market Street from east to west with the commercial and residential development reoriented along this street. A copy of the approved Development Plan is presented as Attachment 2.

Residential Density. It is my understanding that approximately 710 dwelling units are being proposed for development in the two most western blocks of the Town Center Urban Core, immediately adjacent to Town Center Parkway as depicted on the approved development plan. The Zoning Ordinance specifies that within the PRC District, the overall density may not exceed 13 persons/acre and that each residential area within the PRC District shall be designated as either low, medium or high density residential. Although no residential density was designated on the approved development plan associated with RZ 85-C-088, the Town Center Core Area was approved as a high intensity mixed use development and, as such, any residential development within the Core should be designated as High Density development. This is evidenced with the recent approval of DPA 85-C-088-2 for The Stratford at Town Center residential development located on the west side of Reston Parkway, which was designated as high density residential. Therefore, it is my determination that the proposed residential development at the western end of the Town Center Core Area shall be designated as high density residential.

The maximum density, as set forth in the Zoning Ordinance, in areas designated as high density development, is limited to a maximum of 60 persons/acre of gross residential area based on all of the areas within the PRC District designated as high density residential and a maximum of 50 du/ac for in any one high density area. For purposes of calculating density for the Town Center Core Area, it is my determination that the density should be based on the entire land area subject to RZ 85-C-088 (84.25 acres) which would include the Stratford development currently under construction. Based on the density calculations provided in the chart attached to your letter of July 30, 1999, the addition of 1,054 dwelling units within the Core Area (710 proposed plus the 344 approved as part of the Stratford Development) would not exceed 60 persons/acre of gross residential area for all high density areas within the Reston PRC District. Further the development of 1,054 dwelling units on the 84.25 acres subject to RZ 85-C-088, would result in a density of 12.51 du/ac, which is significantly less than the 50 du/ac maximum for any one high density area. The density calculations as noted above must be provided with the submission of the site plan for the proposed residential development. In addition, the approved site plan for the Stratford development should be amended to reflect the revised density calculations based on the entire 84.25 acres subject to RZ 85-C-088.

Open Space. You are requesting a determination that the open space treatment proposed with the illustrative site plan for the residential component, is in substantial conformance with the approved Development Plan. The Pedestrian Circulation and Landscape Plan component of the approved Development Plan shows the bulk of open space associated

Ms. Christine G. Kropat

October 11, 1999

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with the residential block provided along the Town Center Parkway frontage of the site as a linear park. The illustrative site plan provides for a narrower landscaped pedestrian corridor along the Town Center Parkway

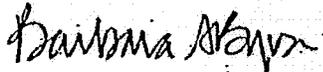
frontage with the buildings located closer to the street frontage. This streetscape plan complements the streetscaping provided along the west side of Town Center Parkway with the West Market Development which was zoned for residential development after the approval of the Town Center Core Area. To compensate for the reduction in open space along Town Center Parkway, the illustrative site plan provides for two public courtyards within the residential blocks which are accessed from the linear park provided along Town Center Parkway or through the ground. You have indicated that the overall amount of open space contemplated will not be reduced with this configuration. It is my determination that the revised open space proposal continues to provide for a highly integrated pedestrian circulation pattern with a series of urban style parks and extensive streetscaping as depicted on the approved Development Plan. Therefore, it is my determination that the open space treatment shown on the illustrative site plan submitted with this request, entitled "The Legacy at Town Center," dated August 2, 1999, is in substantial conformance with the approved Development Plan.

Ancillary Commercial and Retail Uses within the Residential Buildings. The approved Development Plan designates the two westernmost blocks of the Town Center Core Area for residential development and parking up to 15 stories in height. You have requested a determination as to whether the provision of up to 30,000 square feet of commercial uses, including retail, eating establishments and cultural center uses would be permitted within the first floor of the residential buildings. Note 15 on the Development Plan lists the uses permitted within the Town Center which include all uses permitted by right within the Town Center Zoning Category, all special permit and special exception uses specifically designated on the Conceptual Plan and certain special permit and special exception uses which are not defined as to location, to include such uses as eating establishments, places of worship, child care centers, cultural centers, museums, private schools, and the like. Based on this note it is clear that eating establishments and cultural centers could be located within the Town Center Core Area and therefore, staff believes these uses to be appropriate within the residential component. However, of concern is the nature of the general retail to be provided. The approved Development Plan specifically designates areas within the Town Center for development as retail. However, no such designation is reserved for the residential component. Based on our discussions, it is my understanding that the type of retail to be provided within the 30,000 square feet set aside for commercial uses will be limited to those uses generally found accessory to residential development as set forth in Section 10-202 of the Zoning Ordinance which include personal service establishments such as dry cleaning establishments and hair salons; quick service food stores and retail sales of convenience merchandise. Therefore, it is my determination that commercial uses to include eating establishments, cultural center and accessory service uses as set forth in the Section 10-202, not to exceed a total of 30,000 square feet, may be permitted within the residential buildings.

Ms. Christine G. Kropat  
October 11, 1999  
Page 4

These determinations have been made in my capacity as the duly authorized agent of the Zoning Administrator. If you have any questions regarding this interpretation, please feel free to contact Leslie Johnson at (703) 324-1290.

Sincerely,



Barbara A. Byron, Director  
Zoning Evaluation Division, DPZ

BAB/NAZED/JOHNSON/INTERFS/Reston Town Center Core Area PI9908 087.wpd

Attachments: A/S

cc: Robert B. Dix, Jr., Supervisor, Hunter Mill District  
John Palatiello, Planning Commissioner, Hunter Mill District  
Jane W. Gwinn, Zoning Administrator  
Michelle Brickner, Acting Director, Office of Site Development Services, DPWES  
Angela Rodeheaver, Section Chief for Site Analysis, DOT  
Bonds and Agreements Branch, Office of Site Development Services, DPWES  
File: RZ 85-C-088; PI 9908 087



# FAIRFAX COUNTY

## DEPARTMENT OF PLANNING AND ZONING

Zoning Evaluation Division  
12055 Government Center Parkway, Suite 801  
Fairfax, Virginia 22035-5509

(703) 324-1290

Fax (703) 324-3924

# V I R G I N I A

February 14, 2005

Mr. Mark Looney  
Cooley Godward LLP  
One Freedom Square  
Reston Town Center  
11931 Freedom Drive  
Reston, Virginia 20190-5656

Re: Interpretation for RZ 86-C-121, Oracle, Reston Town Center:  
Permitted Uses, FAR, Building Height

Dear Mr. Looney:

This is in response to your letter of December 29, 2004, (attached) requesting an interpretation of the Development Plan and proffers accepted by the Board of Supervisors in conjunction with the approval of RZ 86-C-121, for the Reston Town Center, as it affects the Oracle Property. The subject property is designated as Reston Section 95, Block 2, or Tax Map 17-4 ((1)) Parcel 7A. As I understand it, you inquire as to whether high-density residential use would be permitted for the property, how the residential density would be calculated for the property, what the maximum permitted building height would be, whether a Health Club is a permitted use for the property, whether uses below grade or within cellar space would be counted against the maximum gross floor area of the property, and whether a hotel is a permitted use on the property. This determination is based on your letter dated December 29, 2004, and the attached exhibits, Exhibit A entitled "Rezoning Plans and Development Plans, Parts 4, 5, 6, 7, 8, 9, 10, 11, 12, & 13, Town Center-Reston," which consists of 13 sheets, prepared by Urban Engineering and Associates, Inc., dated November, 1986, and Exhibits B, C, and D, which are previous interpretation letters issued by this office.

The Board of Supervisors approved RZ 86-C-121 on March 9, 1987, as part of one of the four rezoning applications collectively referred to as the "Reston Town Center Rezonings." These approvals included development plans with general information such as land uses, maximum heights and floor areas, but did not include specific development details. Included in the proffers accepted by the Board of Supervisors in conjunction with the approval of these rezonings was a provision for approval by the Planning Commission of Conceptual Plans, prior to receiving approval of a site plan, which would include the more detailed plans for development of each area, and provide Conceptual Plan Notes containing specific commitments from the developer.

This property was designated as Part 11 on the approved Development Plan (DP). The approved DP for Part 11 permits up to a maximum of 729,000 square feet of non-residential gross floor area, a

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EXHIBIT

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Mr. Mark Looney

Page 2

maximum non-residential FAR of 0.70, and a maximum building height of up to 15 stories (180 feet). In addition, uses approved for this property include all uses permitted by-right in the PRC-Town Center District, as well as certain other specified Special Exception and Special Permit uses. Further, the Master Conceptual Plan for the Reston Town Center, which was approved by the Planning Commission on April 2, 1992, reflects permitted uses for Section 95, Block 2 of "Office, Retail, Residential, and/or Parking," with a maximum height of 180 feet and a maximum non-residential FAR of 0.70.

On February 26, 1997, the Planning Commission approved Conceptual Plan CP 86-C-121-8, which permitted development of four office buildings on the subject property, with a maximum gross floor area of 725,000 and a FAR of 0.73. On September 15, 1999, the Planning Commission approved a Conceptual Plan Amendment, CPA 86-C-121-8, to permit an increase in building height of one of the approved office buildings from six to eight stories. On June 27, 2001, the Planning Commission approved CPA 86-C-121-8-2, to permit a change in building height and relocation of floor area between the two of the approved office buildings. To date, two of the four approved office buildings have been constructed on the property.

Your first question is regarding the provision of "high-density" residential uses for the property. The subject property is zoned PRC, with a Town Center designation. Multi-family residential uses are a permitted use by-right in this Zoning District. Although no residential density was designated on the approved development plan for RZ 86-C-121, the Comprehensive Plan states: "*The proposed Town Center development will also include hospital uses and a minimum of 1,400 dwelling units, incorporating a mixture of multi-family and single-family housing unit types at up to 50 dwelling units per acre.*" Other residentially developed properties within the Town Center have been designated "high-density residential," and as such, it is my determination that this property would also include a designation of "high-density residential." Therefore, development of the subject property with a maximum of 50 dwelling units per acre could be permitted, provided that a maximum overall density of 13 persons per acre for the entire PRC District is not exceeded, and provided that a maximum of 60 persons per acre for all areas within the PRC designated for high-density residential development is not exceeded. It is my determination that the construction of 500 dwellings on the subject property would be in substantial conformance with the approved development plan and proffers, provided that the aforementioned thresholds are not exceeded. Such a proposal would be subject to approval of a Conceptual Plan Amendment by the Planning Commission, and subject to demonstration of conformance with the maximum permitted densities for the PRC and for the High-Density Residential Districts.

Your second question is regarding the maximum permitted building height. You state that the number of stories constructed on this property should be permitted to exceed 15 stories, provided the overall height does not exceed 180 feet. The approved Development Plan (DP) for Part 11 states: "Maximum building height shall not exceed 15 stories (180 feet)." It is my determination that a building in excess of 15 stories but which did not exceed an overall height of 180 feet would be in substantial conformance with the approved DP.

Your third question is regarding the establishment of a Health Club on the subject property. Health Clubs are a permitted use in the PRC District for properties within the Town Center. In addition, the DP indicates permitted uses for Parts 9, 10, 11, and 12 which include "Group 5 commercial recreation uses such as health clubs and other similar commercial recreation uses." It is my

Mr. Mark Looney

Page 3

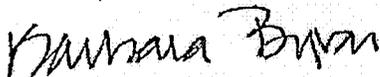
determination that a Health Club would be in conformance with the approved DP and proffers, but would be subject to approval of a Conceptual Plan Amendment by the Planning Commission.

Your fourth question is requesting confirmation that the establishment of uses such as a Health Club or other uses within a building that are below-grade or within a cellar space are not included within the maximum gross floor area calculations. The definition of gross floor area in Sect. 20-300 of the Zoning Ordinance states that gross floor area calculations do not include cellar space. Therefore, it is my determination that uses proposed within a building's cellar are not included in the maximum gross square footage calculations permitted by the DP and proffers for the subject property.

Your fifth question is regarding the establishment of a hotel on the subject property. Hotels are a permitted use within the PRC-Town Center District by-right, but only if designated on the approved Development Plan. If not designated on the DP, hotels are permitted within the PRC-Town Center District with Special Exception approval. A hotel use is not designated on the approved DP for Part 11, therefore it is my determination that a hotel could be permitted on the property if a Special Exception or Development Plan Amendment for the use were approved by the Board of Supervisors, and further if a Conceptual Plan Amendment were approved by the Planning Commission.

These determinations have been made in my capacity as the duly authorized agent of the Zoning Administrator. If you have any questions regarding this interpretation, please feel free to contact Cathy Belgin at (703) 324-1290.

Sincerely,



Barbara A. Byron, Director  
Zoning Evaluation Division, DPZ

BAB/IN/CASES- ACTION ITEMS/ORACLE LETTER.DOC

Attachments: A/S

cc: Catherino Hudgins, Supervisor, Hunter Mill District  
Frank de la Fe, Planning Commissioner, Hunter Mill District  
Leslie Johnson, Chief, Permit Review Branch, ZAD, DPZ  
Michelle Brickner, Assistant Director, Land Development Services, DPWES  
Angela Rodeheaver, Section Chief for Site Analysis, DOT  
Craig Carinci, Director, Environmental and Facilities Inspection Division, DPWES  
File: No. RZ 86-C-121, CPA 86-C-121-8-2, PI 0501 002, Imaging, Reading File

FAIRFAX COUNTY ZONING ORDINANCE

**PART 3 6-300 PRC PLANNED RESIDENTIAL COMMUNITY DISTRICT**

**6-301 Purpose and Intent**

The PRC District is established to permit the development of planned communities on a minimum of 750 contiguous acres of land, which at the time of the initial rezoning to establish a PRC District is owned and/or controlled by a single individual or entity. Such planned communities shall be permitted only in accordance with a comprehensive plan, which plan, when approved, shall constitute a part of the adopted comprehensive plan of the County and shall be subject to review and revision from time to time.

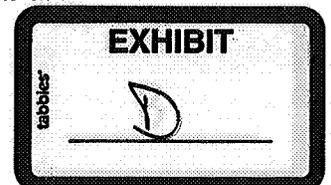
The PRC District regulations are designed to permit a greater amount of flexibility to a developer of a planned community by removing many of the restrictions of conventional zoning. This flexibility is intended to provide an opportunity and incentive to the developer to achieve excellence in physical, social and economic planning. To be granted this zoning district, the developer must demonstrate the achievement of the following specific objectives throughout all of his planning, design and development.

1. A variety of housing types, employment opportunities and commercial services to achieve a balanced community for families of all ages, sizes and levels of income.
2. An orderly and creative arrangement of all land uses with respect to each other and to the entire community.
3. A planned and integrated comprehensive transportation system providing for a separation of pedestrian and vehicular traffic, to include facilities such as mass transportation, roadways, bicycle or equestrian paths and pedestrian walkways.
4. The provision of cultural, educational, medical, and recreational facilities for all segments of the community.
5. The location of structures to take maximum advantage of the natural and manmade environment.
6. The provision of adequate and well-designed open space for the use of all residents.
7. The staging of development in a manner which can be accommodated by the timely provision of public utilities, facilities and services.

To these ends, rezoning to and development under this district will be permitted only in accordance with a comprehensive plan and development plan prepared and approved in accordance with the provisions of Article 16.

**6-302 Permitted Uses**

Subject to the use limitations set forth in Sect. 305 below and the exceptions permitted by Sections 303 and 304 below, the following and similar uses as may be approved shall be permitted only in those locations respectively designated Residential, Neighborhood Convenience Center, Village Center, Town Center and Convention/Conference Center on an



## PLANNED DEVELOPMENT DISTRICT REGULATIONS

approved development plan and PRC plan, if applicable, prepared in accordance with the provisions of Article 16.

- A. The following uses are permitted in those areas approved for Residential Uses:
- (1) Accessory uses, accessory service uses and home occupations as permitted by Article 10 to include garden plots which are not connected with, incidental to, or on the same lot with a principal use.
  - (2) Affordable dwelling unit developments.
  - (3) Automated teller machines, located within a multiple family dwelling.
  - (4) Commercial and industrial uses of special impact (Category 5), limited to:
    - (a) Baseball hitting and archery ranges, outdoor
    - (b) Golf courses, country clubs
    - (c) Golf driving ranges
    - (d) Kennels, animal shelters
    - (e) Marina, docks and boating facilities, commercial
    - (f) Veterinary hospitals, but only ancillary to kennels
  - (5) Community uses (Group 4).
  - (6) Dwellings, single family detached.
  - (7) Dwellings, single family attached.
  - (8) Dwellings, multiple family.
  - (9) Dwellings, mixture of those types set forth above.
  - (10) Institutional uses (Group 3).
  - (11) Interment uses (Group 2).
  - (12) Light public utility uses (Category 1).
  - (13) Outdoor recreation uses (Group 6), limited to:
    - (a) Camp or recreation grounds
    - (b) Riding and boarding stables

FAIRFAX COUNTY ZONING ORDINANCE

- (c) Veterinary hospitals, but only ancillary to riding or boarding stables
  - (14) Public uses.
  - (15) Quasi-public uses (Category 3).
  - (16) Transportation facilities (Category 4).
- B. The following uses are permitted in those locations approved for a Neighborhood Convenience Center, which should be neighborhood-oriented in scope and location. A neighborhood convenience center should be oriented to both pedestrian and vehicular access.
- (1) Accessory uses, accessory service uses and home occupations as permitted by Article 10.
  - (2) Commercial and industrial uses of special impact (Category 5), limited to:
    - (a) Automobile-oriented uses
    - (b) Car washes
    - (c) Drive-in financial institutions
    - (d) Drive-through pharmacies
    - (e) Fast food restaurants
    - (f) Golf courses, country clubs
    - (g) Quick-service food stores
    - (h) Service stations
    - (i) Service station/mini-marts
  - (3) Community uses (Group 4).
  - (4) Dwellings, as set forth in Par. A above.
  - (5) Eating establishments.
  - (6) Financial institutions.
  - (7) Garment cleaning establishments.
  - (8) Institutional uses (Group 3), limited to:

## PLANNED DEVELOPMENT DISTRICT REGULATIONS

- (a) Churches, chapels, temples, synagogues and other such places of worship
  - (b) Churches, chapels, temples, synagogues and other such places of worship with a child care center, nursery school or private school of general or special education
  - (c) Convents, monasteries, seminaries and nunneries
  - (d) Home child care facilities
- (9) Light public utility uses (Category 1).
  - (10) Offices.
  - (11) Personal service establishments.
  - (12) Public uses.
  - (13) Quasi-public uses (Category 3).
  - (14) Retail sales establishments.
  - (15) Taxi stands.
  - (16) Transportation facilities (Category 4), limited to:
    - (a) Electrically-powered regional rail transit facilities
    - (b) Regional non-rail transit facilities
- C. The following uses are permitted in those locations approved for a Village Center which should be a central location for activity of retail, community and leisure uses on a scale serving a number of neighborhoods. A village center should be easily accessible to both vehicles and pedestrians. Within such a center, the primary emphasis should be on the pedestrian circulation system. A village center should contain uses such as professional offices, a supermarket, a hardware store, specialty shops and other uses as listed below.
- (1) Accessory uses, accessory service uses and home occupations as permitted by Article 10.
  - (2) Business service and supply service establishments.
  - (3) Commercial and industrial uses of special impact (Category 5), limited to:
    - (a) Amusement arcades
    - (b) Automobile-oriented uses

FAIRFAX COUNTY ZONING ORDINANCE

- (c) Car washes
- (d) Drive-in financial institutions
- (e) Drive-through pharmacies
- (f) Fast food restaurants
- (g) Golf courses, country clubs
- (h) Marinas, docks and boating facilities, commercial
- (i) Quick-service food stores
- (j) Retail sales establishments-large, limited by the provisions of Sect. 9-533
- (k) Service stations
- (l) Service station/mini-marts
- (4) Commercial recreation uses (Group 5), limited to:
  - (a) Billiard and pool halls
  - (b) Bowling alleys
  - (c) Commercial swimming pools, tennis courts and similar courts
  - (d) Dance halls
  - (e) Health clubs
  - (f) Miniature golf courses
  - (g) Skating facilities
  - (h) Any other similar commercial recreation use
- (5) Community uses (Group 4).
- (6) Dwellings, as set forth in Par. A above.
- (7) Eating establishments.
- (8) Financial institutions.
- (9) Funeral chapels.

## PLANNED DEVELOPMENT DISTRICT REGULATIONS

- (10) Garment cleaning establishments.
  - (11) Institutional uses (Group 3).
  - (12) Kennels, limited by the provisions of Sect. 305 below.
  - (13) Light public utility uses (Category 1).
  - (14) Offices.
  - (15) Personal service establishments.
  - (16) Public uses.
  - (17) Quasi-public uses (Category 3).
  - (18) Repair service establishments.
  - (19) Retail sales establishments.
  - (20) Taxi stands.
  - (21) Theatres.
  - (22) Transportation facilities (Category 4), limited to:
    - (a) Bus or railroad stations
    - (b) Electrically-powered regional rail transit facilities
    - (c) Regional non-rail transit facilities
  - (23) Vehicle light service establishments.
  - (24) Veterinary hospitals, limited by the provisions of Sect. 305 below.
- D. The following uses are permitted in those locations approved for a Town Center, which should be a central location for retail, community and leisure uses on a scale serving the planned community and the surrounding area. There should be no more than one town center in a new town, and it should contain a mixture of uses such as residential, community, office, retail, entertainment and specialty shops. The uses should be well integrated and contain unique design elements. The pedestrian and vehicular traffic within the center should be separated with major emphasis on the pedestrian circulation system.
- (1) All uses set forth for Village Centers in Par. C above.
  - (2) Commercial recreation uses (Group 5).

FAIRFAX COUNTY ZONING ORDINANCE

- (3) Funeral homes.
  - (4) Parking, commercial off-street, as a principal use.
  - (5) Transportation facilities (Category 4), limited to:
    - (a) Heliports
    - (b) Helistops
  - (6) Vehicle sale, rental and ancillary service establishments.
  - (7) Vehicle transportation service establishments.
- E. The following uses are permitted in those locations approved for a Convention/Conference Center, which should have the facilities to accommodate conventions or large meetings and retail or commercial establishments necessary to serve the people using such facilities and any residents of the Center.
- (1) Accessory uses, accessory service uses and home occupations as permitted by Article 10.
  - (2) Business service and supply service establishments.
  - (3) Commercial and industrial uses of special impact (Category 5), limited to:
    - (a) Automobile-oriented uses
    - (b) Car washes
    - (c) Drive-in financial institutions
    - (d) Drive-through pharmacies
    - (e) Fast food restaurants
    - (f) Quick-service food stores
    - (g) Retail sales establishments-large, limited by the provisions of Sect. 9-533
    - (h) Service stations
    - (i) Service station/mini-marts
    - (j) Vehicle sale, rental and ancillary service establishments, limited by the provisions of Sect. 9-518.

## PLANNED DEVELOPMENT DISTRICT REGULATIONS

- (4) Commercial recreation uses (Group 5).
- (5) Cultural and civic centers and exhibition halls.
- (6) Dwellings, multiple family.
- (7) Eating establishments.
- (8) Financial institutions.
- (9) Garment cleaning establishments.
- (10) Hotels/motels, including facilities to accommodate conventions.
- (11) Institutional uses (Group 3), limited to:
  - (a) Churches, chapels, temples, synagogues and other such places of worship
  - (b) Churches, chapels, temples, synagogues and other such places of worship with a child care center, nursery school or private school of general or special education
  - (c) Home child care facilities
- (12) Light public utility uses (Category 1).
- (13) Offices.
- (14) Personal service establishments.
- (15) Public uses.
- (16) Quasi-public uses (Category 3), limited to:
  - (a) Churches, chapels, temples, synagogues and other such places of worship with a child care center, nursery school or private school of general or special education
  - (b) Colleges, universities
  - (c) Child care centers and nursery schools
  - (d) Private clubs and public benefit associations
  - (e) Private schools of general education
  - (f) Private schools of special education

FAIRFAX COUNTY ZONING ORDINANCE

- (17) Repair service establishments.
  - (18) Retail sales establishments.
  - (19) Theatres.
  - (20) Transportation facilities (Category 4), limited to:
    - (a) Bus or railroad stations
    - (b) Electrically-powered regional rail transit facility
    - (c) Regional non-rail transit facilities
  - (21) Vehicle transportation service establishments.
- F. In those areas approved for industrial use on the adopted comprehensive plan of the planned community, upon application, such areas may be reclassified to the I-I, I-1, I-2, I-3, I-4 or I-5 District. Industrial areas shall not be included in the PRC District nor be subject to the requirements thereof.

6-303

**Special Permit Uses**

The following uses shall be permitted uses in those areas as qualified when they are specifically designated on an approved development plan; otherwise they may be allowed in such qualified areas only as a special permit use upon approval by the BZA.

- 1. Uses presented in Par. A, B, C, D and E in Sect. 302 above as a Group use.
- 2. Commercial recreation centers - Village and town centers.
- 3. Open air markets - Neighborhood convenience, village, town and convention/conference centers.
- 4. Open refreshment stands - Neighborhood convenience, village, town and convention/conference centers.
- 5. Group 8 - Temporary Uses.
- 6. Group 9 - Uses Requiring Special Regulation, limited to:
  - A. Home professional offices
  - B. Accessory dwelling units

6-304

**Special Exception Uses**

## PLANNED DEVELOPMENT DISTRICT REGULATIONS

The following uses shall be permitted uses in those areas as qualified when they are specifically designated on an approved development plan; otherwise they may be allowed in such qualified areas only as a special exception use upon approval of the Board.

1. All uses presented in Par. A, B, C, D and E in Sect. 302 above as a Category use.
2. Heavy public utility uses (Category 2), limited to sewage treatment and disposal facilities - Residential.
3. Hotels, motels - Village and town centers.
4. Category 5 - Commercial and Industrial Uses of Special Impact, limited to:
  - A. Bed and breakfasts
  - B. Commercial off-street parking in Metro Station areas as a temporary use
5. Truck rental establishments – Village Center, limited by Sect. 6-305.

### 6-305

#### Use Limitations

1. All development shall conform to the standards set forth in Part 1 of Article 16.
2. Uses in a PRC District shall be permitted only in those areas as designated on the approved development plan, or in those areas as may be approved under Sections 303 and 304 above.
3. When a use presented in Sect. 302 above as a Group or Category use is being considered for approval on a development plan, the standards set forth in Articles 8 and 9 shall be used as a guide.

When a use presented in Sect. 302 above as a Group or Category use is being considered for approval as a special permit or special exception use, pursuant to Sections 303 and 304 above, the use shall be subject to the provisions of Article 8 or Article 9, respectively. Provided that such use is in substantial conformance with the approved development plan and any imposed development conditions or proffered conditions and is not specifically precluded by the approved development plan, no development plan amendment shall be required.

In either of the above, all Group 3 medical care facility uses shall be subject to the review procedures presented in Part 3 of Article 9.
4. All uses permitted pursuant to an approved development plan shall be in substantial conformance with the approved development plan as provided in Sect. 16-202.
5. All uses shall comply with the performance standards set forth in Article 14.
6. In areas approved for low density residential uses, no multiple family dwellings shall be allowed, except if such dwellings are provided pursuant to Part 8 of Article 2 and are specifically shown on the approved development plan.

## FAIRFAX COUNTY ZONING ORDINANCE

7. Where commercial and residential uses are located in the same building, there shall be separate exterior entrances for the two uses.
8. In all commercial centers, all business, service, storage and display of goods shall be conducted within a completely enclosed building, except those particular uses, which by their nature must be conducted outside a building, and the storing of rental trucks approved for a truck rental establishment.
9. Off-street parking and loading facilities and private streets shall be provided in conformance with the provisions of Article 11.
10. Signs shall be permitted in accordance with the provisions of Article 12, and where there is an interpretation needed on the appropriate provisions that are applicable in a neighborhood convenience center, village center, town center or convention/conference center, such shall be made by the Zoning Administrator.
11. Kennels and veterinary hospitals in village and town centers shall be located within a completely enclosed building which is adequately soundproofed and constructed so that there will be no emission of odor or noise detrimental to other property in the area. In addition, the Health Department shall approve the construction and operation of all veterinary hospitals prior to issuance of any Building Permit or Non-Residential Use Permit.
12. Drive-through pharmacies shall be permitted only on a lot which is designed to minimize the potential for turning movement conflicts and to facilitate safe and efficient on-site circulation and parking. Adequate parking and stacking spaces for the use shall be provided and located in such a manner as to facilitate safe and convenient vehicle and pedestrian access to all uses on the lot. In addition, signs shall be required to be posted in the vicinity of the stacking area stating the limitations on the use of the window service and/or drive-through lane. Such signs shall not exceed two (2) square feet in area or be located closer than five (5) feet to any lot line.
13. Vehicle transportation service establishments shall be permitted in accordance with the following:
  - A. The total number of company vehicles permitted on site at any given time shall not exceed five (5).
  - B. There shall be no maintenance or refueling of vehicles on site.
  - C. Notwithstanding the provisions of Par. 15 of the Transitional Screening and Barrier Matrix, the use shall be subject to the provisions of Par. 9 of the Matrix.
14. Truck rental establishments approved in accordance with Sect. 304 above shall be subject to the provisions of Sect. 9-525.

### 6-306

#### Lot Size Requirements

1. Minimum district size: 750 acres.

## PLANNED DEVELOPMENT DISTRICT REGULATIONS

2. Minimum lot area: No requirement for each use or building, provided that a privacy yard, having a minimum area of 200 square feet, shall be provided on each single family attached dwelling unit lot, unless waived by the Board in conjunction with the approval of a development plan.
3. Minimum lot width: No requirement for each use or building.

6-307

### **Bulk Regulations**

1. Maximum building height: No Regulation
2. Minimum yard requirements:
  - A. The location and arrangement of structures shall not be detrimental to existing or prospective adjacent dwellings or to the existing or prospective development of the neighborhood.
  - B. No single family detached dwelling shall be erected closer than sixteen (16) feet to any other single family dwelling unless a lesser distance is specifically identified on an approved development plan.
  - C. No single family detached or attached dwelling or accessory structure shall be erected closer than fifteen (15) feet to any public street right-of-way line unless shown on an approved PRC plan.
3. Maximum floor area ratio: No Regulation
4. Maximum percentage of lot coverage: No Regulation

6-308

### **Maximum Density**

1. The overall density for a PRC District shall not exceed thirteen (13) persons per acre of gross residential and associated commercial areas.
2. In computing density, a factor of 3.0 persons shall be used per single family detached dwelling; 2.7 persons per single family attached dwelling; and 2.1 persons per multiple family dwelling.
3. Residential densities in a PRC District shall be designated low, medium and high on the approved development plan.
  - A. Low: The overall density within the entire area of a PRC District that is designated for low density shall not exceed 3.8 persons per acre of gross residential area. Further, the density in any one low density area shall not exceed five (5) dwelling units per acre.

## FAIRFAX COUNTY ZONING ORDINANCE

- B. Medium: The overall density within the entire area of a PRC District that is designated for medium density shall not exceed 14 persons per acre of gross residential area. Further, the density in any one medium density area shall not exceed twenty (20) dwelling units per acre.
- C. High: The overall density within the entire area of a PRC District that is designated for high density shall not exceed 60 persons per acre of gross residential area. Further, the density in any one high density area shall not exceed fifty (50) dwelling units per acre.

For the purposes of this district, density area shall mean a development unit within an area designated on the approved development plan for low, medium or high density.

- 4. In computing average density on any development plan, subsequent PRC plan or final plat of a part of a PRC District, any excess in land area over that required to support an average density of thirteen (13) persons per acre in any final plat previously recorded may be included. As each plan and subsequent final plat is submitted, the overall density of all areas shown on recorded final plats within the PRC District shall be recomputed so that the average density within the recorded plats of sections of the PRC District shall never at any time in the history of the development exceed a density of thirteen (13) persons.
- 5. The provisions of Paragraphs 1, 3 and 4 above shall not apply to affordable and market rate dwelling units which comprise the increased density pursuant to Part 8 of Article 2 or to proffered bonus market rate units and/or bonus floor area, any of which is associated with the provision of workforce dwelling units, as applicable.

### **6-309 Open Space**

All common open space lands shall be controlled by the provisions of Part 7 of Article 2.

### **6-310 Additional Regulations**

- 1. Refer to Article 16 for the standards for all planned developments and development plan and PRC plan requirements.
- 2. Refer to Article 2, General Regulations, for provisions which may qualify or supplement the regulations presented above, including the shape factor limitations contained in Sect. 2-401.



# County of Fairfax, Virginia

To protect and enrich the quality of life for the people, neighborhoods and diverse communities of Fairfax County

**Via Email to bwinterhalter@cooley.com and Mail**

March 6, 2014

**Revised Letter**

Mr. Brian Winterhalter  
Cooley LLP  
11951 Freedom Drive  
Reston, Virginia 20190-5656

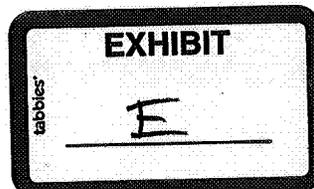
Re: Permitted Residential and Non-Residential Density for Tall Oaks Village Center  
12000 North Shore Drive  
Reston, Section 19, Block 8A  
Tax Map Ref: 18-1 ((5)) 8A1  
Zoning District: PRC

Dear Mr. Winterhalter:

This letter revises our previous letter of February 7, 2014, and is in response to your written request submitted on February 4, 2013, which you had subsequently put on hold after staff had met with you on May 1, 2013, to discuss our findings. You then recently requested a response in writing of the information that was provided at that time. This letter revises the information provided in our February 7, 2014 letter regarding the existing use on an adjacent property, Parcel 8B. The referenced property consists of approximately 7.14 acres zoned PRC, and is developed with a shopping center and a vacant building (most recently used as a health club). The property is subject to the development plan approved with rezoning RZ C-020 by the Board of Supervisors on November 19, 1969, for a larger land area. The property, which was then part of Reston, Section 19, Block 8, was subsequently subdivided on November 8, 1972 into three parcels: Parcel 8A, which included the referenced property and what is now an office building, Parcel 8B, which is developed with an assisted living facility, and Parcel 8C, which is Reston Association owned open space. Parcel 8A was then further subdivided into Parcel 8A1, which is the referenced property with the shopping center and vacant building, and Parcel 8A2, which contains the office building.

You are asking for information on the redevelopment potential of Parcel 8A1, requesting confirmation of permitted residential and non-residential density and uses on the property. According to our records, the property is designated on the approved development plan for RZ C-020 as "**Village Center, Miscellaneous Commercial & Residential, Garden Apts &/or Medium Rise Apts**". The area subject to this designation also includes the now subdivided parcels 8A2, 8B and 8C. Based on this designation, staff has determined that any commercial uses listed in the Village Centers designation within the PRC District are permitted. However, since no more

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Integrity \* Teamwork \* Public Service



Department of Planning and Zoning  
Zoning Administration Division  
Ordinance Administration Branch  
12055 Government Center Parkway, Suite 807  
Fairfax, Virginia 22035-5505  
Phone 703-324-1314 FAX 703-803-6372  
[www.fairfaxcounty.gov/dpz/](http://www.fairfaxcounty.gov/dpz/)

Mr. Brian Winterhalter  
March 6, 2014  
Page 2

specific uses are shown on the DP, Category and Group uses not shown on the development plan require special exception (SE), special permit (SP), or development plan amendment (DPA) approval. While the Comprehensive Plan states that village centers in Reston should be planned and developed for "neighborhood and retail use up to 0.25 FAR...", there is not a specific FAR limitation for this property depicted on the development plan approved by the Board of Supervisors pursuant to RZ C-020.

Based on the development plan designation of "...Residential, Garden Apts &/or Medium Rise Apts", staff has determined that this indicates a designation of "medium density" residential uses. In the PRC District, in addition to the overall density limitation of 13 persons per acre for the entirety of the PRC District, all areas designated for medium density residential uses are limited to a density of 14 persons per acre total, and any individual area designated medium density residential is limited to a maximum of 20 dwelling units per acre. Any residential development proposed on the referenced property must meet these limitations.

This determination was made in conjunction with the Zoning Evaluation Division and is based upon the facts presented in your letter and the applicable Fairfax County Zoning Ordinance provisions in effect as of the date of this letter. If the facts as presented change or if the applicable provisions of the Zoning Ordinance change subsequent to the issuance of this determination, the determination may be subject to modification.

I trust that this letter adequately responds to your request. Should you have any additional questions, please feel free to contact me at 703-324-1314.

Sincerely,



Cathy S. Belgin, AICP  
Senior Assistant to the Zoning Administrator

cc: Catherine M. Hudgins, Supervisor, Hunter Mill District  
Leslie B. Johnson, Zoning Administrator  
Andrew Hushour, Deputy Zoning Administrator for Ordinance Administration Branch  
Diane E. Johnson-Quinn, Deputy Zoning Administrator, Zoning Permit Review Branch  
Barbara Berlin, Director, Zoning Evaluation Division (ZED)  
CRP-2 Holdings Tall Oaks LLC, c/o Lincoln Property Company, 381 Elden Street,  
Suite 1323, Herndon, Virginia 20170 (property owner)  
ZED File: RZ C-020

**SPECIAL EXCEPTION AFFIDAVIT**

DATE: June 9, 2016  
 (enter date affidavit is notarized)

*135025a*

I, Mark C. Looney, do hereby state that I am an  
 (enter name of applicant or authorized agent)

(check one)             applicant  
                               applicant's authorized agent listed in Par. 1(a) below

in Application No.(s): SE 2016-HM-012  
 (enter County-assigned application number(s), e.g. SE 88-V-001)

and that, to the best of my knowledge and belief, the following information is true:

1(a). The following constitutes a listing of the names and addresses of all **APPLICANTS, TITLE OWNERS, CONTRACT PURCHASERS, and LESSEES** of the land described in the application,\* and, if any of the foregoing is a **TRUSTEE,\*\*** each **BENEFICIARY** of such trust, and all **ATTORNEYS** and **REAL ESTATE BROKERS**, and all **AGENTS** who have acted on behalf of any of the foregoing with respect to the application:

**(NOTE:** All relationships to the application listed above in **BOLD** print are to be disclosed. Multiple relationships may be listed together, e.g., **Attorney/Agent, Contract Purchaser/Lessee, Applicant/Title Owner**, etc. For a multiparcel application, list the Tax Map Number(s) of the parcel(s) for each owner(s) in the Relationship column.)

<b>NAME</b> (enter first name, middle initial, and last name)	<b>ADDRESS</b> (enter number, street, city, state, and zip code)	<b>RELATIONSHIP(S)</b> (enter applicable relationships listed in <b>BOLD</b> above)
Tall Oaks Development Company, LLC Agents: Duncan Q. Jones Gregory G. Lamb James A. Butz	1420 Spring Hill Road, Suite 420 McLean, VA 22102	Applicant/Owner of Tax Map 18-1 ((5)) 8A1
Bow Wow LLC Agents: Terry Y. Pao Elizabeth G. Pao	2086 Hunters Crest Way c/o Liz Gavin Pao Vienna, VA 22181	Owner of Tax Map 18-1 ((5)) 8A2
● Norton Scott LLC (former) Agents: Michael W. Scott	PO Box 865 Great Falls, VA 22066	Applicant/Contract Purchaser of Tax Map 18-1 ((5)) 8A2

(check if applicable)             There are more relationships to be listed and Par. 1(a) is continued on a "Special Exception Attachment to Par. 1(a)" form.

\* In the case of a condominium, the title owner, contract purchaser, or lessee of 10% or more of the units in the condominium.  
 \*\* List as follows: Name of trustee, Trustee for (name of trust, if applicable), for the benefit of: (state name of each beneficiary).

*Information updated.*

**Special Exception Attachment to Par. 1(a)**

DATE: June 9, 2016  
 (enter date affidavit is notarized)

*135025a*

for Application No. (s): SE 2016-HM-012  
 (enter County-assigned application number (s))

**(NOTE:** All relationships to the application are to be disclosed. Multiple relationships may be listed together, e.g., **Attorney/Agent, Contract Purchaser/Lessee, Applicant/Title Owner**, etc. For a multiparcel application, list the Tax Map Number(s) of the parcel (s) for each owner(s) in the Relationship column.)

<b>NAME</b> (enter first name, middle initial, and last name)	<b>ADDRESS</b> (enter number, street, city, state, and zip code)	<b>RELATIONSHIP(S)</b> (enter applicable relationships listed in <b>BOLD</b> above)
Urban Engineering & Associates, Inc. t/a Urban, Ltd.) Agents: Clayton C. Tock Joshua T. Reynolds	7712 Little River Turnpike Annandale, VA 22003	Engineer/Agent
Kimley-Horn and Associates, Inc. Agents: Adam J. Steiner W. Davis Walker Michael Casey	11400 Commerce Park Drive Reston, VA 20191	Landscape Architect/Agent
Gorove/Slade and Associates, Inc. Agents: Christopher M. Tacinelli Maria C. Lashinger	3914 Centreville Road, Suite 330 Chantilly, VA 20151	Traffic Engineer/Agent
Cooley LLP Agents: Antonio J. Calabrese, Esq. Mark C. Looney, Esq. Colleen P. Gillis, Esq. Jill S. Parks, Esq. Brian J. Winterhalter, Esq. Amanda R. Williams, Esq. Jeffrey A. Nein, Planner Ben I. Wales, Planner Molly M. Novotny, Planner Matthew S. Diana, Planner	11951 Freedom Drive Reston, VA 20190	Attorney/Agent
Tall Oaks Commercial Center LLC Agents: James A. Butz	1420 Spring Hill Road, Suite 420 McLean, VA 22102	Applicant/Contract Purchaser of Tax Map 18-1 ((5)) 8A2

(check if applicable)

There are more relationships to be listed and Par. 1(a) is continued further on a "Special Exception Attachment to Par. 1(a)" form.

*Information added*

SPECIAL EXCEPTION AFFIDAVIT

DATE: June 9, 2016
(enter date affidavit is notarized)

135025a

for Application No. (s): SE 2016-HM-012
(enter County-assigned application number(s))

1(b). The following constitutes a listing\*\*\* of the SHAREHOLDERS of all corporations disclosed in this affidavit who own 10% or more of any class of stock issued by said corporation, and where such corporation has 10 or less shareholders, a listing of all of the shareholders:

(NOTE: Include SOLE PROPRIETORSHIPS, LIMITED LIABILITY COMPANIES, and REAL ESTATE INVESTMENT TRUSTS herein.)

CORPORATION INFORMATION

NAME & ADDRESS OF CORPORATION: (enter complete name and number, street, city, state, and zip code) Tall Oaks Development Company, LLC
1420 Spring Hill Road, Suite 420
McLean, VA 22102

DESCRIPTION OF CORPORATION: (check one statement)

- [X] There are 10 or less shareholders, and all of the shareholders are listed below.
[ ] There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
[ ] There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF SHAREHOLDERS: (enter first name, middle initial and last name)

Tall Oaks Manager LLC\*
NS Tall Oaks LLC
Van Metre Tall Oaks Investments, L.L.C.

\*Does not own 10% or more of Tall Oaks Development Company LLC

(check if applicable) [X] There is more corporation information and Par. 1(b) is continued on a "Special Exception Affidavit Attachment 1(b)" form.

\*\*\* All listings which include partnerships, corporations, or trusts, to include the names of beneficiaries, must be broken down successively until: (a) only individual persons are listed or (b) the listing for a corporation having more than 10 shareholders has no shareholder owning 10% or more of any class of stock. In the case of an APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\* of the land that is a partnership, corporation, or trust, such successive breakdown must include a listing and further breakdown of all of its partners, of its shareholders as required above, and of beneficiaries of any trusts. Such successive breakdown must also include breakdowns of any partnership, corporation, or trust owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\* of the land. Limited liability companies and real estate investment trusts and their equivalents are treated as corporations, with members being deemed the equivalent of shareholders; managing members shall also be listed. Use footnote numbers to designate partnerships or corporations, which have further listings on an attachment page, and reference the same footnote numbers on the attachment page.

**Special Exception Attachment to Par. 1(b)**

DATE: June 9, 2016  
(enter date affidavit is notarized)

*135025a*

for Application No. (s): SE 2016-HM-012  
(enter County-assigned application number (s))

**NAME & ADDRESS OF CORPORATION:** (enter complete name, number, street, city, state, and zip code)

NS Tall Oaks LLC  
502 Arnon Ridge Court  
Great Falls, VA 22066

**DESCRIPTION OF CORPORATION:** (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

**NAMES OF THE SHAREHOLDERS:** (enter first name, middle initial, and last name)

NS Tall Oaks Investor I LLC	Hussain Investment Partnership III LLC*
F. Joseph Warin*	
Julie L. Lanson Warin*	*Does not own 10% or more of Tall Oaks
Marwan Bitar*	Development Company LLC
David G. Pommerening*	

**NAME & ADDRESS OF CORPORATION:** (enter complete name, number, street, city, state, and zip code)

NS Tall Oaks Investor I LLC  
502 Arnon Ridge Court  
Great Falls, VA 22066

**DESCRIPTION OF CORPORATION:** (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

**NAMES OF THE SHAREHOLDERS:** (enter first name, middle initial, and last name)

Andrew L. Norton*	AJP, Inc.*	*Does not own 10% or more of Tall Oaks
Philip Norton, Jr.*	PAN Family Trust*	Development Company LLC
Jeremiah O. Norton*	Phillip G. Norton Descendants Trust*	

(check if applicable)  There is more corporation information and Par. 1(b) is continued further on a "Special Exception Attachment to Par. 1(b)" form.

**Special Exception Attachment to Par. 1(b)**

DATE: June 9, 2016  
(enter date affidavit is notarized)

*135025a*

for Application No. (s): SE 2016-HM-012  
(enter County-assigned application number (s))

**NAME & ADDRESS OF CORPORATION:** (enter complete name, number, street, city, state, and zip code)

Van Metre Tall Oaks Investments, L.L.C.  
9900 Main Street, Suite 500  
Fairfax, VA 22031

**DESCRIPTION OF CORPORATION:** (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

**NAMES OF THE SHAREHOLDERS:** (enter first name, middle initial, and last name)

Albert G. Van Metre Jr. VMFT Subtrust*	William Bradley Gable Revocable Trust*	*Does not own 10% or more of Tall Oaks
Alison Van Metre Paley VMFT Subtrust*	Kenneth A. Ryan	Development Company LLC
Susan Williams Rabil 2012 Irrevocable Trust*	Albert G. Van Metre, Jr.	

**NAME & ADDRESS OF CORPORATION:** (enter complete name, number, street, city, state, and zip code)

Bow Wow LLC  
2086 Hunters Crest Way  
c/o Liz Gavin Pao  
Vienna, VA 22181

**DESCRIPTION OF CORPORATION:** (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

**NAMES OF THE SHAREHOLDERS:** (enter first name, middle initial, and last name)

Terry Y. Pao  
Elizabeth Gavin Pao

(check if applicable)  There is more corporation information and Par. 1(b) is continued further on a "Special Exception Attachment to Par. 1(b)" form.

**Special Exception Attachment to Par. 1(b)**

DATE: June 9, 2016  
(enter date affidavit is notarized)

135025a

for Application No. (s): SE 2016-HM-012  
(enter County-assigned application number (s))

**NAME & ADDRESS OF CORPORATION:** (enter complete name, number, street, city, state, and zip code)

• Norton Scott LLC (former)  
PO Box 865  
Great Falls, VA 22066

**DESCRIPTION OF CORPORATION:** (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

**NAMES OF THE SHAREHOLDERS:** (enter first name, middle initial, and last name)

Michael W. Scott  
Patricia A. Norton  
Andrew L. Norton  
Phillip Norton, Jr.  
Jeremiah O. Norton

**NAME & ADDRESS OF CORPORATION:** (enter complete name, number, street, city, state, and zip code)

Urban Engineering & Associates, Inc. (t/a Urban, Ltd.)  
7712 Little River Turnpike  
Annandale, VA 22003

**DESCRIPTION OF CORPORATION:** (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

**NAMES OF THE SHAREHOLDERS:** (enter first name, middle initial, and last name)

J. Edgar Sears, Jr.  
Brian A. Sears

(check if applicable)  There is more corporation information and Par. 1(b) is continued further on a "Special Exception Attachment to Par. 1(b)" form.

*Information updated.*

**Special Exception Attachment to Par. 1(b)**

DATE: June 9, 2016  
(enter date affidavit is notarized)

135025a

for Application No. (s): SE 2016-HM-012  
(enter County-assigned application number (s))

**NAME & ADDRESS OF CORPORATION:** (enter complete name, number, street, city, state, and zip code)

Kimley-Horn and Associates, Inc.  
11400 Commerce Park Drive  
Reston, VA 20191

**DESCRIPTION OF CORPORATION:** (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

**NAMES OF THE SHAREHOLDERS:** (enter first name, middle initial, and last name)

**NAME & ADDRESS OF CORPORATION:** (enter complete name, number, street, city, state, and zip code)

Gorove/Slade and Associates, Inc.  
3914 Centreville Road, Suite 330  
Chantilly, VA 20151

**DESCRIPTION OF CORPORATION:** (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

**NAMES OF THE SHAREHOLDERS:** (enter first name, middle initial, and last name)

Christopher M. Tacinelli    Tushar A. Awar  
Chad A. Baird  
Daniel B. VanPelt  
Erwin N. Andres

(check if applicable)     There is more corporation information and Par. 1(b) is continued further on a "Special Exception Attachment to Par. 1(b)" form.



SPECIAL EXCEPTION AFFIDAVIT

DATE: June 9, 2016
(enter date affidavit is notarized)

135025a

for Application No. (s): SE 2016-HM-012
(enter County-assigned application number(s))

1(c). The following constitutes a listing\*\*\* of all of the PARTNERS, both GENERAL and LIMITED, in any partnership disclosed in this affidavit:

PARTNERSHIP INFORMATION

PARTNERSHIP NAME & ADDRESS: (enter complete name, and number, street, city, state, and zip code)

Cooley LLP
11951 Freedom Drive
Reston, VA 20190

(check if applicable) [X] The above-listed partnership has no limited partners.

NAMES AND TITLE OF THE PARTNERS (enter first name, middle initial, last name, and title, e.g. General Partner, Limited Partner, or General and Limited Partner)

- Gian-Michele a Marca
Jane K. Adams
Peter M. Adams
Maureen P. Alger
DeAnna D. Allen
Mazda K. Antia
Orion (nmi) Armon
Gordon C. Atkinson
Michael A. Attanasio
Jonathan P. Bach
Charles J. Bair
Celia G. Barenholtz
Frederick D. Baron
Matthew S. Bartus
Michael D. Basile
Keith J. Berets
Laura A. Berezin

(check if applicable) [X] There is more partnership information and Par. 1(c) is continued on a "Special Exception Affidavit Attachment to Par. 1(c)" form.

\*\*\* All listings which include partnerships, corporations, or trusts, to include the names of beneficiaries, must be broken down successively until: (a) only individual persons are listed or (b) the listing for a corporation having more than 10 shareholders has no shareholder owning 10% or more of any class of stock. In the case of an APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\* of the land that is a partnership, corporation, or trust, such successive breakdown must include a listing and further breakdown of all of its partners, of its shareholders as required above, and of beneficiaries of any trusts. Such successive breakdown must also include breakdowns of any partnership, corporation, or trust owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\* of the land. Limited liability companies and real estate investment trusts and their equivalents are treated as corporations, with members being deemed the equivalent of shareholders; managing members shall also be listed. Use footnote numbers to designate partnerships or corporations, which have further listings on an attachment page, and reference the same footnote numbers on the attachment page.

**Special Exception Attachment to Par. 1(c)**DATE: June 9, 2016  
(enter date affidavit is notarized)

135025a

for Application No. (s): SE 2016-HM-012  
(enter County-assigned application number (s))**PARTNERSHIP NAME & ADDRESS:** (enter complete name & number, street, city, state & zip code)Cooley LLP (continued)  
11951 Freedom Drive  
Reston, VA 20190(check if applicable)  The above-listed partnership has no limited partners.**NAMES AND TITLES OF THE PARTNERS:** (enter first name, middle initial, last name, and title, e.g.,  
**General Partner, Limited Partner, or General and Limited Partner**)Ann (nmi) Bevitt  
Laura G. Birger  
Ryan E. Blair  
Thomas A. Blinka  
Nicholas (nmi) Bolter  
Barbara L. Borden  
Jodie M. Bourdet  
Wendy J. Brenner  
David (nmi) Bresnick  
Matthew J. Brigham  
James P. Brogan  
Nicole C. Brookshire  
Matthew D. Brown  
Alfred L. Browne  
Matthew T. Browne  
Peter F. Burns  
Blain B. Butner  
John T. Byrnes  
Robert T. Cahill  
Antonio J. Calabrese  
Christopher C. Campbell  
William L. Castleberry  
Lynda K. Chandler  
Adam C. Chase  
Reuben H. Chen  
Dennis (nmi) Childs  
William T. Christiansen II  
John A. Clark  
Sean M. Clayton  
John A. Clendenin  
Jeffrey L. Cohen  
Thomas A. Coll  
Joseph W. Conroy  
Christopher (nmi) Coulter  
James R. CrabtreeCarolyn L. Craig  
John W. Crittenden  
Janet L. Cullum  
Nathan K. Cummings  
John A. Dado  
Scott D. Dailard  
Benjamin G. Damstedt  
Craig E. Dauchy  
Mark J. Deem  
Louise M. Delahunty  
Renee R. Deming  
Karen E. Deschaine  
Darren K. DeStefano  
Eric W. Doherty  
William P. Donovan Jr.  
Michelle C. Doolin  
Joseph M. Drayton  
Matthew P. Dubofsky  
Christopher B. Durbin  
John C. Dwyer  
Shannon M. Eagan  
Erik S. Edwards  
Ivor R. Elrifi  
Gordon H. Empey  
Sonya F. Erickson  
Heidi A. Erlacher  
Mark C. Everiss  
Michael R. Faber  
Lester J. Fagen  
Jesse D. Farmer  
Brent D. Fassett  
John R. Feore  
Christopher M. Finney  
M. W. Fishburn Jr.  
Thomas J. FrielFrancis M. Fryscak  
Koji F. Fukumura  
James F. Fulton Jr.  
William S. Galliani  
W. Andrew H. Gantt III  
Eamonn J. Gardner  
Jon E. Gavenman  
Patrick E. Gibbs  
Colleen P. Gillis  
Jonathon C. Glass  
Todd J. Gluth  
Daniel I. Goldberg  
Wendy C. Goldstein  
Kathleen H. Goodhart  
Shane L. Goudey  
Jonathan G. Graves  
Jacqueline I. Grise  
Kenneth L. Guernsey  
Patrick P. Gunn  
Divakar (nmi) Gupta  
Sarah J. Guske  
Jeffrey M. Gutkin  
William N. Haddad  
John B. Hale  
Danish (nmi) Hamid  
Laurence M. Harris  
M. R. Hartman III  
Bernard L. Hatcher  
Matthew B. Hemington  
Cathy Rae Hershcopf  
Gordon K. Ho  
Nicholas A. Hobson  
Paula E. Holland  
Lila W. Hope(check if applicable)  There is more partnership information and Par. 1(c) is continued further on a  
"Special Exception Attachment to Par. 1(c)" form.

**Special Exception Attachment to Par. 1(c)**DATE: June 9, 2016  
(enter date affidavit is notarized)135025afor Application No. (s): SE 2016-HM-012  
(enter County-assigned application number (s))**PARTNERSHIP NAME & ADDRESS:** (enter complete name & number, street, city, state & zip code)Cooley LLP (continued)  
11951 Freedom Drive  
Reston, VA 20190(check if applicable)  The above-listed partnership has no limited partners.**NAMES AND TITLES OF THE PARTNERS:** (enter first name, middle initial, last name, and title, e.g.,  
**General Partner, Limited Partner, or General and Limited Partner**)C. Thomas Hopkins  
Reginald Ronald Hopkinson  
Richard M. Hopley  
Mark M. Hrenya  
Brendan J. Hughes  
Christopher R. Hutter  
Jay R. Indyke  
Craig D. Jacoby  
Eric C. Jensen  
Robert L. Jones  
Jeffrey M. Kaban  
Barclay J. Kamb  
Richard S. Kanowitz  
Kimberley J. Kaplan-Gross  
Jeffrey S. Karr  
Joshua A. Kaufman  
Sally A. Kay  
Natasha E. Kaye  
Heidi L. Keefe  
David R. Kendall  
Jason L. Kent  
Mehdi (nmi) Khodadad  
Charles S. Kim  
Kevin M. King  
Benjamin H. Kleine  
Michael J. Klisch  
Jason M. Koral  
Barbara A. Kosacz  
Kenneth J. Krisko  
Carol D. Laherty  
Mark F. Lambert  
Matthew E. Langer  
Samantha M. LaPineJohn G. Lavoie  
Brian F. Leaf  
Pang (nmi) Lee  
Robin J. Lee  
Jamie K. Leigh  
Natasha V. Leskovsek  
Shira N. Levin  
Alan (nmi) Levine  
Michael S. Levinson  
Stephane (nmi) Levy  
Elizabeth L. Lewis  
Michael R. Lincoln  
James C. Linfield  
Samuel M. Livermore  
Douglas P. Lobel  
J. Patrick Loofbourrow  
Mark C. Looney  
Robert B. Lovett  
Haibo J. Lu  
Edward J. Lukins  
Andrew P. Lustig  
Nicola K. Maguire  
Thomas O. Mason  
Joshua O. Mates  
James J. Maton  
Michael J. McGrail  
Becket (nmi) McGrath  
John T. McKenna  
Bonnie W. McLeod  
Mark A. Medearis  
Laura M. Medina  
Beatriz (nmi) MejiaCraig A. Menden  
Erik B. Milch  
Chadwick L. Mills  
David E. Mills  
J. Kevin Mills  
Barbara R. Mirza  
Patrick J. Mitchell  
Ali M. Mojdehi  
Ann M. Mooney  
Timothy J. Moore  
M. Howard Morse  
Phillip E. Morton  
Colm (nmi) Murphy  
Frederick T. Muto  
Danielle E. Naftulin  
Ryan E. Naftulin  
Jeremy M. Naylor  
Stephen C. Neal  
Ian (nmi) O'Donnell  
Garth A. Osterman  
Rama (nmi) Padmanabhan  
Kathleen M. Pakenham  
Timothy G. Patterson  
Matthew (nmi) Pavao  
Sarah E. Pearce  
Anne H. Peck  
David G. Peinsipp  
Nicole K. Peppe  
Kevin J. Perry  
Robert W. Phillips  
Susan C. Philpot  
Yvan-Claude J. Pierre  
Frank V. Pietrantonio(check if applicable)  There is more partnership information and Par. 1(c) is continued further on a  
"Special Exception Attachment to Par. 1(c)" form.

**Special Exception Attachment to Par. 1(c)**DATE: June 9, 2016  
(enter date affidavit is notarized)

135025a

for Application No. (s): SE 2016-HM-012  
(enter County-assigned application number (s))**PARTNERSHIP NAME & ADDRESS:** (enter complete name & number, street, city, state & zip code)Cooley LLP (continued)  
11951 Freedom Drive  
Reston, VA 20190(check if applicable)  The above-listed partnership has no limited partners.**NAMES AND TITLES OF THE PARTNERS:** (enter first name, middle initial, last name, and title, e.g.,  
**General Partner, Limited Partner, or General and Limited Partner**)Mark B. Pitchford  
Michael L. Platt  
Christian E. Plaza  
Aaron M. Pomeroy  
Marya A. Postner  
Steven M. Przesmicki  
Seth A. Raffkin  
Frank F. Rahmani  
Marc A. Recht  
Michael G. Rhodes  
Michelle S. Rhyu  
Lyle D. Roberts  
John W. Robertson  
Ricardo (nmi) Rodriguez  
Kenneth J. Rollins  
Kevin K. Rooney  
Stephen (nmi) Rosen  
Andrew E. Roth  
Adam J. Ruttenberg  
Akash (nmi) Sachdeva  
Thomas R. Salley  
Glen Y. Sato  
Martin S. Schenker  
Marc G. Schildkraut  
Michelle G. Schulman  
William J. Schwartz  
Ellen A. Scordino  
Audrey K. Scott  
Tene (nmi) Sealman  
John H. Sellers  
Ian R. Shapiro  
Michael N. Sheetz  
Carl C. ShoffJordan A. Silber  
Brent B. Siler  
Ian D. Smith  
Stephen R. Smith  
Whitty Somvichian  
Wayne O. Stacy  
Anthony M. Stiegler  
Justin M. Stock  
Steven M. Strauss  
M. Anne Swanson  
C. Scott Talbot  
Mark P. Tanoury  
Joseph Teja Jr.  
Gregory C. Tenhoff  
Michael E. Tenta  
Timothy S. Teter  
Michael R. Tollini  
Steven J. Tonsfeldt  
Michael S. Tuscan  
Jessica I. Valenzuela Santamaria  
Seth (nmi) Van Aalten  
Joseph J. Vaughan  
Miguel J. Vega  
Erich E. Veitenheimer  
Aaron J. Velli  
David A. Walsh  
Mark B. Weeks  
Mark R. Weinstein  
Thomas S. Welk  
Peter H. Werner  
Scott B. WestonFrancis R. Wheeler  
John (nmi) Wilkinson  
Geoffrey T. Willard  
Andrew S. Williamson  
Peter J. Willsey  
Mark Windfeld-Hansen  
David J. Wittenstein  
Nancy H. Wojtas  
Amy M. Wood  
Jeffery P. Worley  
Nan (nmi) Wu  
Summer J. Wynn  
Babak (nmi) Yaghmaie  
Jonathan (nmi) Yorke  
David R. Young  
Christina (nmi) Zhang  
Kevin J. Zimmer(check if applicable)  There is more partnership information and Par. 1(c) is continued further on a  
"Special Exception Attachment to Par. 1(c)" form.

SPECIAL EXCEPTION AFFIDAVIT

DATE: June 9, 2016  
(enter date affidavit is notarized)

135025a

for Application No. (s): SE 2016-HM-012  
(enter County-assigned application number(s))

1(d). One of the following boxes **must** be checked:

In addition to the names listed in Paragraphs 1(a), 1(b), and 1(c) above, the following is a listing of any and all other individuals who own in the aggregate (directly and as a shareholder, partner, and beneficiary of a trust) 10% or more of the **APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\*** of the land:

Other than the names listed in Paragraphs 1(a), 1(b), and 1(c) above, no individual owns in the aggregate (directly and as a shareholder, partner, and beneficiary of a trust) 10% or more of the **APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\*** of the land.

2. That no member of the Fairfax County Board of Supervisors, Planning Commission, or any member of his or her immediate household owns or has any financial interest in the subject land either individually, by ownership of stock in a corporation owning such land, or through an interest in a partnership owning such land.

**EXCEPT AS FOLLOWS:** (NOTE: If answer is none, enter "NONE" on the line below.)

None

(check if applicable)  There are more interests to be listed and Par. 2 is continued on a "Special Exception Attachment to Par. 2" form.

Application No.(s): SE 2016-HM-012  
(county-assigned application number(s), to be entered by County Staff)

**SPECIAL EXCEPTION AFFIDAVIT**

135025 a

DATE: June 9, 2016  
(enter date affidavit is notarized)

3. That within the twelve-month period prior to the public hearing of this application, no member of the Fairfax County Board of Supervisors, Planning Commission, or any member of his or her immediate household, either directly or by way of partnership in which any of them is a partner, employee, agent, or attorney, or through a partner of any of them, or through a corporation in which any of them is an officer, director, employee, agent, or attorney or holds 10% or more of the outstanding bonds or shares of stock of a particular class, has, or has had any business or financial relationship, other than any ordinary depositor or customer relationship with or by a retail establishment, public utility, or bank, including any gift or donation having a value of more than \$100, singularly or in the aggregate, with any of those listed in Par. 1 above.

**EXCEPT AS FOLLOWS:** (NOTE: If answer is none, enter "NONE" on line below.)

None

**NOTE:** Business or financial relationships of the type described in this paragraph that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings. See Par. 4 below.)

(check if applicable) [ ] There are more disclosures to be listed and Par. 3 is continued on a "Special Exception Attachment to Par. 3" form.

4. **That the information contained in this affidavit is complete, that all partnerships, corporations, and trusts owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\* of the land have been listed and broken down, and that prior to each and every public hearing on this matter, I will reexamine this affidavit and provide any changed or supplemental information, including business or financial relationships of the type described in Paragraph 3 above, that arise on or after the date of this application.**

WITNESS the following signature:

(check one) [ ] Applicant [x] Applicant's Authorized Agent

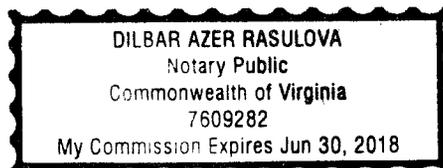
Mark C. Looney, Esq.

(type or print first name, middle initial, last name, and & title of signee)

Subscribed and sworn to before me this 9th day of June 20 16, in the State/Comm. of Virginia, County/City of Fairfax.

Notary Public

My commission expires: June 30, 2018





# County of Fairfax, Virginia

## MEMORANDUM

DATE: June 1, 2016

**TO:** Barbara Berlin, Director  
Zoning Evaluation Division, DPZ

**FROM:** Denise M. James, Chief *DMJ*  
Environment and Development Review Branch, DPZ

**SUBJECT: Land Use Analysis:** PRC-C-020 Tall Oaks Development Company LLC  
SE 2016-HM-012

This memorandum, prepared by Denise James, includes citations from the Comprehensive Plan that provide guidance for the evaluation of the development plans revised through April, 2016. The extent to which the application conforms to the applicable guidance contained in the Comprehensive Plan is noted. Possible solutions to remedy identified issues are suggested. Other solutions may be acceptable, provided that they achieve the desired degree of mitigation and are also compatible with Plan policies.

### DESCRIPTION OF THE APPLICATION

The applicant and developer, Tall Oaks Development Company, LLC, proposes to redevelop the existing Tall Oaks Village Center shopping center, located at 12000 North Shore Drive, with a mix of residential, office and retail uses. The site contains approximately 7.44 acres. The property consists of tax map parcels 18-1 ((5)) 8A1 and 8A2 (the shopping center property and existing office parcel). An immediately adjacent medical care assisted living facility building will remain.

The redevelopment of the Village Center is proposed to consist of a mix of single family attached townhouse units and two multi-family buildings. The applicant's statement of justification dated April 25, 2016, indicates that the proposed development will consist of approximately 8,500 square feet of retail use, 5,800 square feet of office use and a total of 156 residential units with the following mix of unit types:

- 70 multi-family units (35 units in each of two multi-family buildings)
- 42 stacked (two-over-two) multi-family units
- 44 single family attached (townhouse) units

The companion special exception application is to permit fast food restaurant establishments within the newly developed retail element to serve the proposed new residential community and the surrounding neighborhood areas. The applicant states that the restaurants will be architecturally integrated with the other retail and service uses, will operate between the hours of 8:00 am and 10:00 pm and yield approximately 1,340 weekday daily trips based on a size of 2,500 square feet.

### **LOCATION AND CHARACTER OF THE AREA**

The existing shopping center is situated along the east side of Wiehle Avenue in the northeastern quadrant of the intersection of Wiehle Avenue and North Shore Drive. The existing development consists of 72,959 retail square feet including three pad sites and a large expanse of surface parking. The shopping center has been without its anchor grocery store tenant for several years. The applicant has indicated that approximately 15% of the shopping center is leased at the present time. The site is surrounded by a variety of residential development: high density single family (5-12 du/ac) to the east, low density multi-family (13-20 du/ac) to the south, low density single family (0-4 du/ac) across Wiehle Avenue to the west and a swimming pool recreation facility to the south across North Shore Drive. The western edge of the site is buffered from Wiehle Avenue with extensive wooded open space owned by Reston Association.

### **COMPREHENSIVE PLAN CITATIONS:**

The Comprehensive Plan Communitywide Recommendations for Reston may be accessed here: <http://www.fairfaxcounty.gov/dpz/comprehensiveplan/area3/reston.pdf>

The Reston Plan's Village Center guidance includes the Reston Vision and Planning Principles, recommendations from the Community-wide section, as well as a Reston Village Centers section that includes:

- A general vision applicable to all the Village Centers
- Guidelines for Village Center redevelopment, including a process and planning objectives:
  - Land use objectives
  - Urban design objectives
  - Transportation objectives
- Individual Village Center recommendations

The general vision for Reston's Village Centers state that any redevelopment proposal should:

- Enhance Village Centers as vibrant neighborhood gathering places.
- Advance excellence in site design and architecture.
- Strengthen connectivity and mobility.
- Protect and respect the surrounding residential neighborhoods.

In the Fairfax County Comprehensive Plan, 2013 Edition, Area III, Reston, as amended through October 20, 2015, pages 58-73 state:

## “GUIDELINES FOR VILLAGE CENTER REDEVELOPMENT

Each of the Village Centers consists of a non-residential mixed-use area and adjacent residential uses. The focus of redevelopment should be in the non-residential mixed-use area. For Hunters Woods, North Point, South Lakes and Tall Oaks Village Centers, at such time as the property owners are contemplating redevelopment, they will need to work with the community and Fairfax County to create a detailed plan for the property, as specified below.

In order to establish clear expectations for all residents, landowners and businesses, any proposal for redevelopment of Reston’s Village Centers should generally follow the process outlined below. In addition, the proposal should demonstrate achievement of the planning objectives.

### **Process**

- Demonstrate how the proposal achieves the general vision and planning objectives (explained below) established for Reston’s Village Centers, in addition to all other relevant Plan guidance.
- Involve residents and businesses of the Village Center, the residents surrounding the Village Center, as well as the larger Reston community in determining the views and desires of all stakeholders. Design charrettes or other intensive activities designed to gather stakeholder input and build support for the redevelopment proposal are encouraged.
- Conduct a market analysis to provide information on the existing and proposed development and the viability of the existing and proposed mix of uses.
- Conduct transportation analysis on existing and proposed development.

### **Planning Objectives**

#### *Land Use*

- The mix of uses should include neighborhood-serving retail and service uses for neighborhood convenience and activation of the area after work hours.
- The mix of uses may also include accessory office use and community uses. Community uses should include public meeting spaces.
- The mix of uses should include residential uses to support the retail and service uses, offer additional housing options, as well as enliven the area.
  - Residential uses should provide for a variety of housing types as well as affordable housing.
  - Senior housing is encouraged due to the proximity and convenience of retail and other service uses, as well as transit accessibility.

- Encourage residents to walk to the other uses and linger, through exceptionally integrated design.
- Public plazas are a key element. These spaces should be programmable for community events.

### *Urban Design and Placemaking*

...

In the future, the village centers should be encouraged to be redesigned around a public plaza, framed by a horizontal and vertical mix of uses, anchored by civic uses and ground floor retail, and some traditional main street elements such as wide sidewalks and shade trees. Any transformation will have to provide for outstanding site design and architecture while reflecting the existing Reston character and responding to current market demands and site constraints.

### *Village Center Urban Design Principles*

In addition to the Community-wide urban design principles, the following principles apply in the Village Centers.

#### *Focus on a Central Public Plaza*

- Highlight the Village Centers as neighborhood scale gathering places, in contrast to the regional scale gathering places in the Town Center or the community scale gathering places in the other TSAs.
- Organize active uses adjacent to and facing the public plaza, providing a strong frame for the plaza.
- Create a space that is flexible and adaptable to different uses, during each season, for groups of varying sizes (e.g., farmers markets, concerts, other programmed events).

#### *Transform the Parking Lots*

- Use the parking area, either surface parking lots or parking structures, as a multi-use space for public events, recreation, and gathering through the inclusion of green roofs, temporary, creative paving materials, pavement markings and access control strategies.
- Capitalize on the parking areas as key elements in the sustainability plan through the use of low impact development tools such as stormwater channels, permeable pavements, large tree beds, and shade trees.
- Emphasize pedestrian safety and comfort in the parking areas.
- If provided, above-grade structured parking should be “wrapped” with active uses to the maximum extent possible and where exposed, should utilize architectural detailing, lighting and landscaping along the façade to minimize the visual impact of the structure.

#### Acknowledge the Adjacent Roadways

- Consider access and visibility from the roadway to the central space or commercial core.
- Use natural elements or screening, as appropriate, to transition from the roadway.
- Highlight pedestrian access from the adjacent roadways as the primary pedestrian access to the site.

#### Transition to Existing Uses

- Utilize shifts in scale and massing to appropriately transition from new higher density and intensity uses to existing residential neighborhoods both within the Village Center and surrounding the Village Center. This transition should be sensitive to the existing character and feel of the existing uses.
- Plan for phased redevelopment by incorporating temporary uses and ensuring that existing structures are included in the overall plan vision.
- Maintain the boundaries of Village Centers, unless expanded boundaries are essential to the successful redevelopment of any particular Village Center.

...

#### Pedestrian Mobility and Bicycle Facilities

Reston's Village Centers are connected to other parts of Reston through an extensive trail system. The Village Centers' pedestrian orientation should be enhanced with many highly accessible pedestrian linkages within the Village Centers and connections to existing trail networks at the periphery of the Village Centers. Future development and redevelopment in the Village Center should address the following recommendations:

- Bicycling should be encouraged as an alternative to the use of single occupancy vehicles by providing bicycle storage facilities and bike racks. Showering and changing facilities should be provided in buildings with office uses.
- Pedestrian connectivity and safety is a critical factor in designing pedestrian links. Auto and pedestrian traffic should be separated to the greatest extent possible.
- Village centers should be served by regular bus service.
- Pedestrians should be provided with safe and convenient access to bus stops.
- Signage should contribute to easy pedestrian way-finding throughout the Village Center.

...

### **Tall Oaks Village Center**

Tall Oaks Village Center, as shown in Figures 26 and 27, is the smallest Village Center at almost 18 acres, with approximately 8 acres of residential uses and 10 acres of non-residential uses. The residential use includes a mid-rise multifamily apartment providing assisted living for seniors. The non-residential uses include neighborhood serving retail uses and office use. Reston Association owns heavily wooded land within the Village Center along Wiehle Avenue. Topography of the site and nearby areas is rough, with steep slopes and rolling hills. Vehicular access and visibility are provided via North Shore Drive, which ends in a cul-de-sac east of Tall Oaks.

Tall Oaks Village Center's baseline plan recommendation is for neighborhood serving retail and service uses up to .25 FAR, integrated with accessory office, institutional uses, and residential development. Currently, there is no redevelopment plan for this Village Center. However, this village center, which recently changed ownership, was once anchored by a grocery store and has been without this type of key tenant for a number of years. The new property owners have developed a preliminary concept plan to redevelop this center and change the mix of uses to a mix of residential unit types and a much smaller non-residential component. Consideration of this proposal should follow the process and objectives outlined in the Guidelines for Village Center Redevelopment with an emphasis on quality design and creating a neighborhood gathering place."

### **COMPREHENSIVE PLAN MAP: Reston PRC Master Plan – Village Center Mixed Use**

#### **LAND USE ANALYSIS**

The Tall Oaks Village Center is shown on the Reston Land Use Map (page 15 of the Reston Plan) as Village Center Mixed Use; the baseline recommendation is for neighborhood serving retail and service uses up to .25 floor area ratio (FAR) integrated with accessory office, institutional uses and residential development. Tabulations from the PRC plan indicate a proposed .06 FAR for retail and office use based on a total of 14,393 square feet. For residential use, the applicant proposes a density of 20.91 dwelling units per acre, inclusive of affordable dwelling units. The proposed density is consistent with what is considered to be a low-density multi-family residential development under the PRC zoning (13-20 du/ac).

In order to conclude that the proposed mix of use is appropriate, the redevelopment of the Tall Oaks Village center must address the guidelines and process recommendations of the Comprehensive Plan. To address the process and guidelines, the applicant should:

- Demonstrate how the proposal achieves the general vision and planning objectives.
- Involve residents and businesses of the Village Center, the residents surrounding the Village Center, as well as the larger Reston community.
- Conduct a market analysis which evaluates the viability of the existing and proposed mix of uses
- Conduct transportation analysis on existing and proposed development

### Market Study

In order to evaluate the viability of the existing and proposed mix of uses, the applicant submitted a market analysis dated March 9, 2016, prepared by RCLCO. This market analysis was subsequently subject to a peer review by RKG Associates, Inc., a consultant which was retained by Fairfax County to provide a critical analysis of the retail and residential market study provided by RCLCO.

The RCLCO market study demonstrated that the proposed mix of residential and retail development was appropriate and viable given the demand for residential, the suitability of the site for new residential development, the non-competitive elements of the site for retail, including lack of visibility, lack of access from Wiehle Avenue and the availability of other nearby competitive retail centers. The county's peer review analysis generally concurred with the market study findings that Tall Oaks was not a suitable location for a grocery store but could sustain neighborhood serving businesses, destination businesses and dining establishments that include food delivery, all of which would also be supported by new residential development.

In light of the conclusions of the market study and the county's peer review analysis, staff believes that the proposed development has fully addressed the market study element of the redevelopment process and demonstrated that the proposed mix of uses is viable and appropriate.

### Community Engagement

The process guidelines set an expectation that there will be significant involvement of residents and businesses of the Village Center, the residents surrounding the Village Center, as well as the larger Reston community in planning for the redevelopment of the Tall Oaks Village Center. From May through December, 2015, the applicant has met multiple times with people from the surrounding neighborhoods, the larger Reston Community (to include Reston Association, Reston Design Review Board and Reston Planning and Zoning), the assisted living community at Tall Oaks, and other key stakeholder groups and individuals. It is anticipated that community engagement will continue throughout the on-going county zoning process. Staff concludes that the applicant has addressed and will continue to address the community engagement element of the redevelopment process guidelines.

### Vision and Planning Objectives

In addition to the expectation for community engagement and the market study, the over-arching element for the redevelopment of the village center is to achieve the general vision and planning objectives for the Reston Village Centers. These objectives include: the provision of an appropriate land use mix; high quality, integrated design featuring public open spaces which invite residents and the community to walk, play and linger; multiple housing options including affordable housing, programmable public spaces and community/public meeting spaces.

After multiple design iterations, staff finds that the current submission largely addresses these land use planning objectives based on the mix of uses which includes a reasonable element of neighborhood serving and convenience retail, a mix of housing types including traditional

townhomes, two-over two multi-family units and multifamily units with parking beneath the building. The internal structure of the open space on which the majority of units front and the public open space which is featured near the site entrance and extends to interact with the retail and residential components is designed to engage all age ranges and provide both passive and more active use. The incorporation of the existing office building into the proposed development and conversion of some of its square footage to retail uses is an improvement over previous designs and serves to better integrate the village center. Of the 7.4 acre site, approximately 2.7 acres are shown as open space, an improvement over previous designs, which will better meet Comprehensive Plan guidance particularly as it relates to both the retail and residential uses.

Staff notes some areas of continuing concern with the layout and design merit additional consideration. The fact that the majority of the residential units front on an internal linear open space is a design plus. However, the rear of some of the two-over-two units will face on the front of the multi-family building. Strong design details to include landscaping, rear façade and window treatments should be incorporated to mitigate the service drive/alley perspective that is often characteristic of rear-loaded garage townhouse units. In addition, staff notes that the townhouse units fronting on North Shore Drive are more urban in their orientation, with front facades, doors, porch stoops and entry walkways very close to the roadway. While this orientation is a departure from the more traditional Reston design which features deeper, landscaped or wooded setbacks from roadways and building fronts internal to the site it is critical in staff's view for the new residential and other village center development to be visible along North Shore Drive and for the redeveloped village center to be inviting and to convey to the larger community that the uses and public spaces are available to all. In this instance, the village center design is anchored around an internal central open space concept that better serves the future residents and integrates the retail and residential component, drawing both pedestrian and vehicular traffic into the site with walkways, active and passive amenities and convenience parking for the retail component near the site entrance. The development plan should provide for the location and provision of a public art element. Finally, staff believes that the provision of, and commitment to, building elevations that reflect high quality materials and architectural design, is a key planning objective that has not been adequately addressed.

#### Transportation analysis: existing and proposed development

Analysis of this element of the redevelopment process guidelines is deferred to Fairfax County Department of Transportation.

#### **Other Planning Objectives:**

##### Affordable/Workforce Housing

The applicant has provided for affordable housing units within the proposed development and is encouraged to provide commitments to lower income tiers as part of this affordable housing commitment, in keeping Reston Vision and Planning Principles, which envisions housing for all incomes.

Universal Design

As part of achieving the Reston Vision, the Comprehensive Plan recommends developer commitments to provide universally designed residential units above and beyond current policies and regulation requirements. Incorporating these designs into proposals up front incur minimal costs, while serving a large and growing demographic of the community. The applicant should provide a commitment to including such units.

DMJ





# County of Fairfax, Virginia

## MEMORANDUM

**DATE:** May 13, 2016

**TO:** Barbara Berlin, Director  
Zoning Evaluation Division,  
Department of Planning & Zoning

**FROM:** *Barbara A. Byron*  
Barbara A. Byron, Director  
Office of Community Revitalization

**SUBJECT:** PRC-C-020 Tall Oaks

The Office of Community Revitalization (OCR) has reviewed the plan set dated April 25, 2016, for the above referenced case. The application is for a rezoning and development plan amendment for the Tall Oaks Village Center. The application is generally in conformance with urban design guidance in the Comprehensive Plan and good planning practice. Overall, the project will contribute to the vitality of the community by improving the public realm. It will introduce a variety of new housing products, maintain the viable retail uses on the site, and add several open spaces and recreational features to encourage public use. Although the design of the public spaces have greatly improved, additional attention to the site design and building architecture is necessary to ensure that this project meets the quality of development desired at a village center.

The following changes are recommended to address areas of concern:

- Consider reducing the height of the retaining wall along the trail at the eastern edge of the site using a terraced system or other grading strategy. The proposed 10 ft. +/- retaining wall will create an environment that could feel unsafe and imposing for users. The redesign should allow for visual access to the trail from the rear of the townhomes. The material of the wall should be concrete or stone, with open railing above, if necessary. Provide revised drawings for staff review.
- Identify locations for lighting along the trails and walkways and provide for installation.
- Include permeable pavement in the parking stalls provided for visitor parking throughout the residential areas of the community.



**Office of Community Revitalization**  
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- Eliminate the driveways at back of the four westernmost units on North Shore Drive to increase the open space between the units and the road.
- Provide building elevations for all facades of each building type. The quality of materials, level of detailing and design for the rear facades of the town homes need to be higher than those in the typical subdivision due to the public nature of the village center. This is especially important along northern street where the rears of units face the condominium building. Consider landscaping and screening needs based on the visibility and noise impacts on rear of the units from Wiehle Avenue.

cc. Mary Ann Tsai, Staff Coordinator, DPZ  
Tracy Strunk, AICP, Deputy Director, OCR  
OCR Files



# County of Fairfax, Virginia

## MEMORANDUM

DATE: May 15, 2016

**TO:** Barbara C. Berlin, Director  
Zoning Evaluation Division, DPZ

**FROM:** Denise M. James, Chief *DMJ*  
Environment and Development Review Branch, DPZ

**SUBJECT:** ENVIRONMENTAL ASSESSMENT for: **PRC C-020**  
Tall Oaks

This memorandum, prepared by John R. Bell, includes citations from Comprehensive Plan that provide guidance for the evaluation of the subject Planned Residential Community (PRC), application and dated September 8, 2015, as revised through April 25, 2016. The extent to which the application conforms to the applicable guidance contained in the Comprehensive Plan is noted. Possible solutions to remedy identified issues are suggested. Other solutions may be acceptable, provided that they achieve the desired degree of mitigation and are in conformance with Plan policies.

Note: The applicable Comprehensive Plan citations may be found at the end of this report.

### ENVIRONMENTAL ANALYSIS

This section characterizes the environmental concerns raised by an evaluation of this site and the proposed land use. Particular emphasis is given to opportunities provided by this application to conserve the County's remaining natural amenities. Analysis for this application addresses the overall development plan and commitments for the subject property.

#### Green Building Practices

The proposed development is comprised of a mixture of single-family attached dwellings, multi-family dwellings and a small retail component. The applicant has indicated a willingness to accept three options for residential green building certification through the USGBC's LEED program, EarthCraft or National Green Building Standard (NGBS) with ENERGY STAR options for residential development. As such, staff will provide development conditions for these three options for the residential portions of the development site. However, there was no indication in the most recent materials submitted by the applicant that they would support a

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DEPARTMENT OF  
**PLANNING  
& ZONING**

similar approach for the small retail component of the application. To full address the Comprehensive Plan policy on green building, staff feels that the retail building should also be included as part of the overall green building approach to the development.

### **Stormwater Management**

The site is located within a portion of the Difficult Run watershed. Staff had raised concerns regarding measures proposed to reduce runoff and nutrients. The applicant is proposing a combination of open space and structured BMP's in order to meet runoff reduction requirements. The site will consist of a total of 40% open space. The applicant has proposed up to five underground, structured BMP facilities in order to reduce phosphorous runoff by 50%. While the proposed measures may meet current PFM minimum requirements, staff had hoped for a more creative approach to managing water quantity and quality through a variety of measures which could have included green roof areas, vegetated swales, rain gardens, filterstrips and other measures which might have been incorporated into the landscape design of the project. Any final determination regarding the adequacy of the proposed facilities will be made by the Department of Public Works and Environmental Services (DPWES).

### **Transportation Generated Noise**

The subject property includes frontage on a portion of Wiehle Avenue. Staff had raised concerns that this area might be subject to transportation generated noise which could exceed 65 dBA DNL. There was some concern that the noise levels could rise to levels requiring mitigation for the rear of some of the proposed single-family attached units as well as some of the multifamily units. The applicant has provided a noise study which concludes that the noise levels in these areas will not exceed 65 dBA DNL. As a result, no interior or exterior noise mitigation measures appear to be warranted.

### **COMPREHENSIVE PLAN CITATIONS:**

The Comprehensive Plan is the basis for the evaluation of this application. The assessment of the proposal for conformity with the environmental recommendations of the Comprehensive Plan is guided by the following.

#### **Environment**

In the Fairfax County Comprehensive Plan, 2013 Edition, Policy Plan, Environment, as amended through July 1, 2014, on page 19 -21, the Plan states:

**Objective 13: Design and construct buildings and associated landscapes to use energy and water resources efficiently and to minimize short- and long-term negative impacts on the environment and building occupants.**

Policy a. In consideration of other Policy Plan objectives, encourage the application of energy conservation, water conservation and other green building practices in the design and construction of new development and redevelopment projects. These practices may include, but are not limited to:

- Environmentally-sensitive siting and construction of development;
- Application of low impact development practices, including minimization of impervious cover (See Policy k under Objective 2 of this section of the *Policy Plan*);
- Optimization of energy performance of structures/energy-efficient design;
- Use of renewable energy resources;
- Use of energy efficient appliances, heating/cooling systems, lighting and/or other products;
- Application of best practices for water conservation, such as water efficient landscaping and innovative wastewater technologies, that can serve to reduce the use of potable water and/or reduce stormwater runoff volumes;
- Reuse of existing building materials for redevelopment projects;
- Recycling/salvage of non-hazardous construction, demolition, and land clearing debris;
- Use of recycled and rapidly renewable building materials;
- Environmentally-sensitive siting and construction of development;
- Application of low impact development practices, including minimization of impervious cover (See Policy k under Objective 2 of this section of the *Policy Plan*);
- Optimization of energy performance of structures/energy-efficient design;
- Use of renewable energy resources;
- Use of energy efficient appliances, heating/cooling systems, lighting and/or other products;
- Application of best practices for water conservation, such as water efficient landscaping and innovative wastewater technologies, that can serve to reduce the use of potable water and/or reduce stormwater runoff volumes;
- Reuse of existing building materials for redevelopment projects;
- Recycling/salvage of non-hazardous construction, demolition, and land clearing debris;
- Use of recycled and rapidly renewable building materials;

- Use of building materials and products that originate from nearby sources;
- Reduction of potential indoor air quality problems through measures such as increased ventilation, indoor air testing and use of low-emitting adhesives, sealants, paints/coatings, carpeting and other building materials;
- Reuse, preservation and conservation of existing buildings, including historic structures;
- Retrofitting of other green building practices within existing structures to be preserved, conserved and reused;
- Energy and water usage data collection and performance monitoring;
- Solid waste and recycling management practices; and
- Natural lighting for occupants.

Encourage commitments to implementation of green building practices through certification under established green building rating systems for individual buildings (e.g., the U.S. Green Building Council's Leadership in Energy and Environmental Design for New Construction [LEED-NC<sup>®</sup>] or the U.S. Green Building Council's Leadership in Energy and Environmental Design for Core and Shell [LEED-CS<sup>®</sup>] program or other equivalent programs with third party certification). An equivalent program is one that is independent, third-party verified, and has regional or national recognition or one that otherwise includes multiple green building concepts and overall levels of green building performance that are at least similar in scope to the applicable LEED rating system. Encourage commitments to the attainment of the ENERGY STAR<sup>®</sup> rating where available. Encourage certification of new homes through an established residential green building rating system that incorporates multiple green building concepts and has a level of energy performance that is comparable to or exceeds ENERGY STAR qualification for homes. Encourage the inclusion of professionals with green building accreditation on development teams. Encourage commitments to the provision of information to owners of buildings with green building/energy efficiency measures that identifies both the benefits of these measures and their associated maintenance needs.

Policy b. Within the Tysons Corner Urban Center, Suburban Centers, Community Business Centers, Industrial Areas and Transit Station Areas as identified on the Concept Map for Future Development, unless otherwise recommended in the applicable area plan, ensure that zoning proposals for nonresidential development or zoning proposals for multifamily residential development incorporate green building practices sufficient to attain certification through the LEED-NC or LEED-CS program or an equivalent program specifically incorporating multiple green building concepts, where applicable, where these zoning proposals seek at least one of the following:

- Development in accordance with Comprehensive Plan Options;

- Development involving a change in use from what would be allowed as a permitted use under existing zoning;
- Development at the Overlay Level; or
- Development at the high end of planned density/intensity ranges. For nonresidential development, consider the upper 40% of the range between by-right development potential and the maximum Plan intensity to constitute the high end of the range.

Where developments with exceptional intensity or density are proposed (e.g. at 90 percent or more of the maximum planned density or intensity), ensure that higher than basic levels of green building certification are attained.

Policy c. Ensure that zoning proposals for residential development that are not otherwise addressed in Policy b above will incorporate green building practices sufficient to attain certification under an established residential green building rating system that incorporates multiple green building concepts and that includes an ENERGY STAR Qualified Homes designation or a comparable level of energy performance. Where such zoning proposals seek development at or above the mid-point of the Plan density range, ensure that county expectations regarding the incorporation of green building practices are exceeded in two or more of the following measurable categories: energy efficiency; water conservation; reusable and recycled building materials; pedestrian orientation and alternative transportation strategies; healthier indoor air quality; open space and habitat conservation and restoration; and greenhouse gas emission reduction. As intensity or density increases, the expectations for achievement in the area of green building practices would commensurately increase.

In the Fairfax County Comprehensive Plan, 2013 Edition, Policy Plan, Environment, as amended through July 1, 2014, on page 7, the Plan states:

**Objective 2: Prevent and reduce pollution of surface and groundwater resources. Protect and restore the ecological integrity of streams in Fairfax County.**

Policy b. Update BMP requirements as newer, more effective strategies become available.

In the Fairfax County Comprehensive Plan, 2013 Edition, Policy Plan, Environment, as amended through July 1, 2014, on pages 11-12, the Plan states:

Objective 4: Minimize human exposure to unhealthful levels of transportation generated noise.

Policy a: Regulate new development to ensure that people are protected from unhealthful levels of transportation noise.

Policy b: Reduce noise impacts in areas of existing development.

New development should not expose people in their homes, or other noise sensitive environments, to noise in excess of DNL 45 dBA, or to noise in excess of DNL 65 dBA in the outdoor recreation

areas of homes. To achieve these standards new residential development in areas impacted by highway noise between DNL 65 and 75 dBA will require mitigation. New residential development should not occur in areas with projected highway noise exposures exceeding DNL 75 dBA. Because recreation areas cannot be screened from aircraft noise and because adverse noise impacts can occur at levels below DNL 65 dBA, in order to avoid exacerbating noise and land use conflicts and to further the public health, safety and welfare, new residential development should not occur in areas with projected aircraft noise exposures exceeding DNL 60 dBA. Where new residential development does occur near Washington Dulles International Airport, disclosure measures should be provided.

DMJ: JRB



# County of Fairfax, Virginia

## MEMORANDUM

**DATE:** June 22, 2016

**TO:** Mary Ann Tsai, Staff Coordinator  
Zoning Evaluation Division, DPZ

**FROM:** Linda Barfield, Urban Forester II  
Forest Conservation Branch, DPWES 

**SUBJECT:** Tall Oaks Shopping Center Pcl 8A-1-Reston

I have reviewed the re-submission of sheet 35 for the proposed Planned Residential Community Plan application for the above referenced property dated June 20, 2016. The following comments are based on this review:

### Specific Comments:

1. Comment: It appears that the Transitional Screening Yard (TSY) Buffer E-F does not propose any of the required tree plantings, yet a modification is requested not a waiver. Additionally less than half of the required landscape materials are provided for the other required TSY buffers and required barriers have not been provided nor a waiver requested.

Recommendation: Required TSY and barriers should be provided at time of site plan or a WTSW should be submitted under separate cover.

2. Comment: The preliminary tree inventory submitted did not include all information in accordance with PFM 12-0509.3K., such as tree valuation and tree bonding. The submitted tree inventory and fixed fee value of \$300 for all existing trees stated in development conditions #18 & 20 is not adequate.

Recommendation: A complete tree inventory and condition analysis as needed should be provided at site plan as part of the Tree Preservation Plan.

lb/

UFMDID #: 207620

cc: DPZ File

Department of Public Works and Environmental Services  
Urban Forest Management Division  
12055 Government Center Parkway, Suite 518  
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# County of Fairfax, Virginia

## MEMORANDUM

**DATE:** June 16, 2016

**TO:** Mary Ann Tsai, Staff Coordinator  
Zoning Evaluation Division, DPZ

**FROM:** Linda Barfield, Urban Forester II  
Forest Conservation Branch, DPWES 

**SUBJECT:** Tall Oaks Shopping Center PRC-C-020 & SE 2016-HM-012

I have reviewed the fifth re-submission plan set and tree preservation target deviation request letter for the above referenced property stamped dated "Received by the Zoning Evaluation Division, June 8, 2016". The following comments are based on this review:

Specific Comments:

1. **Comment:** The tree inventory exhibit over proposed conditions submitted by the applicant has identified on-site trees that will be unnecessarily impacted by the proposed development. The proposed clearing appears to exceed the minimum area necessary to provide for the proposed development of the site. The tree preservation target deviation request letter dated June 8, 2016 will therefore not be considered at this time. The request can be re-considered after recommendations below are addressed, as a deviation may not be required. Additionally, a contribution to the tree preservation and planting fund or off-site tree preservation or planting is considered only when providing or planting 10-year tree canopy and not to off-set deficits in the tree preservation target area. The 10-year tree canopy provided through tree planting meets the minimum required.

**Recommendation:** The following alternative design recommendations are provided which could result in increased levels of tree preservation:

- a) Adjust limits of clearing and grading (LOC) and extend retaining wall to Bldg N to protect trees #445 and #444, #433, #455 east of Bldg N where impacts are minimal.
- b) Adjust proposed landscape plantings east of Bldg N within the critical root zone of existing trees which could be conserved.



- c) Relocate sidewalk, retaining wall and eliminate undersized parking space to expand planting area to conserve trees #421 and #424 along TSY F-G.
2. **Comment:** The preliminary tree inventory and condition analysis submitted by the applicant has identified off-site trees that will be unnecessarily impacted by the proposed development. It appears that the applicant has not exhausted all reasonable efforts to lessen impacts to off-site trees (#467 and #482). The preservation of off-site trees has not been fully described. The limits of tree protection have not been illustrated.

**Recommendation:** The following alternative design recommendations are provided which could result in increased levels of tree preservation:

- a) Adjust the cross sectional view of Building A-condominium flats (Side A and Side B Elevations on sheets A1 & A2). The topography shown at the rear of building does not reflect the more than 30 foot drop in elevation at the northern corner nor shows the additional stories below the finish floor elevation. The applicant should illustrate a cross sectional view from the property line to the rear of the proposed Building A with spot elevations, tree critical root zones, and slopes noted.
- b) The applicant should consider adjusting the footprint of the proposed Building A-Condominium Flats to decrease the impacts to the roots and limbs of the off-site trees such as #467 and #482. Either reduce the size or slide the entire building approximately 15' southeast by relocating the public access parking areas along the front façade to the underground garage.
- c) Relocate the proposed dumpsters possibly shifting the garage entrances 18' to 20' southeast to lessen impacts to off-site trees.
- d) Under response to comment #12, the retaining wall and 6' high solid wood fence located on along TSY F-G could be shifted to the curb area. It appears that the current design does not address how the 4 foot drop in elevation will allow for pedestrian access to/from the adjacent property sidewalk and impacts to trees #459 and #460. Provide a ramp and gate as needed.



e) Redesign the plan or provide a letter of explanation that addresses why the alternative design recommendations were rejected. The letter of explanation should be certified by a licensed professional and signed by an ISA Certified Arborist. The Tree Conservation Plan should include the limits of tree protection. The applicant should consider specific methods to further reduce construction impacts, which may include the use of a supersonic air tool to locate and avoid large structural roots and tying back limbs so materials may be lifted onto the building without damaging the limbs.

3. **Comment:** The letter of permission from the adjacent property owner (RA) to impact off-site trees has not been provided.

**Recommendation:** Provide written permission from the adjoining property owner to remove off-site trees listed and impact off-site trees listed to preserve.

4. **Comment:** Under response to comment #12 the applicant has requested a modification of the Transitional Screening Yard (TSY) requirements, however has not clearly delineated what is required for each buffer yard and what will or will not be provided. The note #3, "as shown on the Landscape Plan" will not adequately delineate what is required or provided for each TSY. For example, no planting is proposed for TSY E-F, therefore would be a waiver not a modification. Additionally, the proposed north elevation shown on A6 for professional building and retail shows four trees however no trees are proposed on the landscape plan. The graphic on A6 specifies "only existing to remain" for the north elevation for Bldg O. It is not clear the "architectural techniques" to be utilized as the existing and proposed conditions appear the same. 11 medium to large evergreen trees, 33 shrubs, and barrier A, B, or C should be shown as required for TSY E-F; 25 evergreens, 11 deciduous, 73 shrubs, and barrier D, E, F should be shown as required for TSY F-G; 15 evergreen, 7 deciduous, 63 shrubs, and barrier D,E, or F should be shown as required for TSY G-H; 6 evergreen, 3 deciduous, 24 shrubs, and barrier A, B should be shown as required for TSY H-I. It is not clear the reduction in the quantity of plant materials proposed for each TSY. A waiver to the barrier requirements has not been requested for TSY E-F, G-H nor H-I, yet no measures are provided.

**Recommendation:** The plan should clearly delineate all required transitional screening and barriers along with tables listing what is required in each yard and what will be provided, including interior uses. Then the request for a modification or waiver to the Transitional Screening requirements should be based on how the intent of the screening will be met.

lb/

UFMDID #: 207620

cc: DPZ File

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# County of Fairfax, Virginia

## MEMORANDUM

**DATE:** December 22, 2015

**TO:** Mary Ann Tsai  
Zoning Evaluation Division  
Department of Planning and Zoning

**FROM:** Camylyn Lewis, Senior Engineer III (Stormwater) *cml*  
Site Development and Inspections Division  
Department of Public Works and Environmental Services

**SUBJECT:** PRC-C-020, Tall Oaks Development Company LLC, Tall Oaks PRC Plan Dated November 23<sup>rd</sup> 2015; LDS Project #9559-ZONA-002-1, Tax Map #018-1-05-008A1, Hunter Mill District

We have reviewed the subject application, received December 2<sup>nd</sup>, 2015, and offer the following stormwater management comments.

Chesapeake Bay Preservation Ordinance (CBPO)

There is no Resource Protection Area (RPA) on the property.

Floodplain

There is no regulated floodplain on the property.

Water Quality Control Requirements (124-4)

- The applicant should revise the narratives to indicate how the water quality requirements of Chapter 124-4 could be met. The application should utilize the Virginia Runoff Reduction Spreadsheet and indicate which best management practices from the DEQ BMP clearing house could be used to meet the requirements.

Water Quantity and Adequacy of Outfall Requirements 124-4.

- The applicant should revise the stormwater narratives on sheet 22 to show how the channel protection, flood protection and detention requirements of Chapter 124 could be met.



Page 2 of 2

Downstream Drainage Complaints

There are no applicable downstream drainage complaints on file.

Stormwater Planning Comments

There are no comments from stormwater planning at this time.

Please contact Camylyn Lewis or at 703-324-1808 if you require additional information.

CML/

cc: Fred Rose, Chief, Watershed Planning & Assessment Branch, Storm water Planning  
Division, DPWES  
Shahab Baig, Chief, North Branch, SDID, DPWES  
Zoning Application File



COMMONWEALTH of VIRGINIA  
DEPARTMENT OF TRANSPORTATION

Charlie Kilpatrick  
COMMISSIONER

4975 Alliance Drive  
Fairfax, VA 22030

June 10, 2016

**To:** Ms. Barbara Berlin  
Director, Zoning Evaluation Division

**From:** Noreen H. Maloney  
Virginia Department of Transportation – Land Development Section

**Subject:** PRC-C-020; Tall Oaks Village Center

All submittals subsequent to the first submittal shall provide a response letter to the previous VDOT comments. Submittals without comment response letters are considered incomplete and will be returned without review.

This office has reviewed the subject application and offers the following comments.

- An Operational Analysis has been submitted and reviewed with the attached comments. The OA should be revised and resubmitted.
- The proposed twiddle (back to back left turns) shown along North Shore Drive should be revised showing the appropriate length of the transition of 180' not 100' at approx.. sta. 15+00. VDOT recommends a lane width of 12'.
- The twiddle should extend to the intersection with Wiehle Avenue. This will result in a signal modification and additional signal heads. Additional comments will be provided when the signal modification plan is submitted for review.

June 10, 2016

## MEMORANDUM

**TO:** Land Development

**FROM:** Traffic Engineering

**CC:** File

**SUBJECT:** Tall Oaks Village Center Operational Analysis

TE has reviewed the Operational Analysis (OA) submitted for the subject project and offer the following comments. The (OA) should be revised and resubmitted.

1. Existing traffic volumes are based on traffic counts conducted on Wednesday, February 17, 2016 as given in the appendix; please correct the date in “Existing Traffic Volume” section. As per our records, normal traffic was not flowing on study area roads due to the Level 5 snow event (from 2/14/2016 to 2/17/2016). So traffic counts need to be redone to represent normal weekday traffic conditions when schools are in operation, and the OA needs to be revised.
2. OA report does not include figures showing existing and future lane geometry and intersection control(s), please include.
3. A cursory check of the lane use geometry given in the traffic counts’ appendix for North Shore Dr/ Wiehle Ave showed that the eastbound approach lane geometry is incorrect: The appendix shows a shared through-right-turn lane, but it is a separate right-turn lane on the eastbound North Shore Dr approach as currently exists and as also analyzed in synchro. Please verify lane geometry for rest of the study intersections as well and revise as needed.
4. Tall Oaks PRC/SPE X plan shows 3-lane geometry with TWLTL on North Shore Dr, but OA analyzed North Shore Dr with a 4-lane undivided roadway (as it currently exist) for all analysis scenarios i.e. lane configuration shown on the plan is not analyzed in the OA. OA needs to include analysis and clearly show the lane use changes on North Shore Dr proposed by the applicant. And, note that SimTraffic analysis should be used to analyze conditions with TWLTL on North Shore Dr.
5. Additionally, please note the proposed changes in existing lane geometry on North Shore Dr will need a signal modification at Wiehle Ave and North Shore Dr, and clearly mention that in OA report.
6. Is there a need of separate turn lanes at site access points or a need of a separate westbound right-turn lane on North Shore Dr at Wiehle Ave? Turn lane warrant analysis should be included for all analysis scenarios, and if warranted the turn lanes should be provided (i.e. show on the plan and in lane use figures in OA).
7. Review of the trips at intersections 7 and 8 and those given in tables 4 and 5 shows that in/out trips in the PM peak do not add up, please verify and revise accordingly. Also, please include separate graphic clearly showing site trip assignments.
8. Why pass-by trip reductions are not applied to the existing retail uses in trip generation tables? Please use consistent approach and revise trip generation tables for the existing retail uses.

9. As per the description given regarding mode split reductions in Site Generated Volumes section, similar reductions should be applied to existing office uses as well and the trip tables should be updated accordingly.
10. Existing AM PHFs analyzed in synchro are different than those given in the existing counts' exhibit in appendix, for Wiehle Ave/North Shore Dr. As per VDOT requirements, the existing analysis need to use field measured PHF by approach with a minimum PHF 0.85; and for future conditions analysis, the field measured PHF need to be used with a minimum value of 0.92. All PHF inputs in OA should be verified and updated accordingly.
11. Other studies in this area have used a 1% background growth rate, so for consistency, a 1% instead of a 0.5% growth rate should be used.
12. Existing Roadway Network section; North Shore Dr is mentioned to have posted speed limit of 30mph but it is analyzed with 35mph. Please verify and revise OA for consistency.
13. Additional comments may be forthcoming after the study is revised and resubmitted.



# County of Fairfax, Virginia

## MEMORANDUM

**DATE:** June 9, 2016

**TO:** Barbara Berlin, Director  
Zoning Evaluation Division, Department of Planning & Zoning

**FROM:** Michael A. Davis, Acting Chief   
Site Analysis Section, Department of Transportation

**FILE:** PRC C-020  
SE 2016-HM-012

**SUBJECT:** Tall Oaks Development Company LLC and Norton Scott LLC  
(Tall Oaks Village Center)  
12000 & 12054 North Shore Drive, Reston VA  
Tax Map: #18-1 ((5)) 8A1, 8A2

This department has reviewed the subject application including the PRC plan and Special Exception Plat dated September 8, 2015, revised through June 8, 2016, and the Development Conditions, dated June 8, 2016. We offer the following comments:

- A Traffic Operational Analysis, dated April 20, 2016, was submitted for review. While staff is able to support the concept that the proposed development would have a lesser impact to the surrounding road network as compared to the allowable existing uses, staff cannot support the findings and conclusions in the report given that the scope and the methodology was not agreed upon by Fairfax County Department of Transportation (FCDOT) or the Virginia Department of Transportation (VDOT). Staff recommends the applicant re-scope and resubmit the study given the analysis would define the impacts the proposal would have on the road network, inform the proposed restriping of North Shore Drive from a 4-lane undivided roadway to a 2-lane design with a center turn lane and allow for on-road bicycle lanes, and inform any potential modifications needed at the Wiehle Avenue intersection.
- The existing shopping center parking lot currently serves as a turnaround area for the Fairfax Connector RIBS 1 route. The applicant, upon the recommendation from staff, has made an effort to allow the transit route to circulate onsite and provide transit amenities for new residents and the surrounding community. Staff recommends the applicant agree to a development condition to continue to coordinate with FCDOT Fairfax Connector staff during the site plan process to address the following:
  - Coordination on impacts to the existing route during construction of the site and communication to the existing transit riders regarding impacts to service.
  - Modifications to the internal roadway curb radii and ADA ramps, if needed, to allow for the buses to circulate onsite.

Barbara Berlin, Director

June 9, 2016

Page 2 of 2

- In order to address the various types of bicycles riders for the proposed site (residents, visitors, and employees), the applicant should provide bicycle racks and bike lockers/storage areas throughout the subject property, the specific locations of which can be determined at the time of site plan subject to the approval of the FCDOT. The bike racks shall be inverted U-style racks or other design approved by FCDOT. The total number of bike parking/storage spaces should be consistent with the Fairfax County Policy and Guidelines for Bicycle Parking for each building or group of buildings as determined at site plan. The type of bicycle rack described in the development conditions seems to limit the ability to provide bicycle parking in different areas to serve different users.

cc: Mary Ann Tsai

MAD/EAI



# FAIRFAX COUNTY PARK AUTHORITY

## M E M O R A N D U M

**TO:** Barbara Berlin, AICP, Director  
Zoning Evaluation Division  
Department of Planning and Zoning

**FROM:** Sandy Stallman, AICP, Manager  
Park Planning Branch, PDD 

**DATE:** May 5, 2016

**SUBJECT:** PRC C-020, Tall Oaks Village Center  
Tax Map Number: 18-1 ((5)) 8A1

### BACKGROUND

The Park Authority staff has reviewed the proposed Development Plan dated December 21, 2015, for the above referenced application. The Development Plan shows 156 new dwelling units (112 multifamily and 44 single family attached units) and up to 15,000 square feet of commercial space to replace an existing shopping center having 70,000 square feet of existing retail space. Based on the PRC medium-density household size of 2.7 for single family attached units and 2.1 for multifamily units, the proposed development could add 355 new residents to the Hunter Mill Supervisory District.

### COMPREHENSIVE PLAN GUIDANCE

The County Comprehensive Plan includes both general and specific guidance regarding parks and resources. The Policy Plan describes the need to mitigate adverse impacts to park and recreation facilities caused by growth and development; it also offers a variety of ways to offset those impacts, including contributions, land dedication, development of facilities, and others (Parks and Recreation, Objective 6, p.8). The Parks and Recreation element of the Policy Plan includes an Urban Parks Framework that provides an urban parkland standard and detailed guidance on urban park development. Resource protection is addressed in multiple objectives, focusing on protection, preservation, and sustainability of resources (Parks and Recreation Objectives 2 and 5, p.5-7).

The proposed development is in the Tall Oaks Village Center of Reston and is subject to the Community-wide Parks and Recreation guidance for Reston in the Comprehensive Plan as well as guidance in the Urban Parks Framework found in the Policy Plan. The Village Center Urban Design Principles recommend public plazas and gathering places and specific Plan language for Tall Oaks emphasizes the creation of “a neighborhood gathering place.”

## **ANALYSIS AND RECOMMENDATIONS**

### Park Needs:

Existing nearby Fairfax County parks include Baron Cameron and Lake Fairfax Parks. Nearby Reston Association parks and open space include a stream valley and trail network, community swimming pool, tot lot, open play meadow, and basketball courts. Existing nearby public parks and the open space and park facilities provided by the Reston Association meet only a portion of the demand for parkland generated by residential development in the Upper Potomac Planning District. In addition to parkland, the recreational facilities in greatest need in this area include basketball courts, playgrounds, and athletic fields. Baron Cameron Park, located 1.5 miles from the proposed development, will serve many of these needs. A recently approved park master plan for Baron Cameron Park addresses these identified needs related to growth in Reston including future, but unfunded, athletic fields, basketball courts, and playground enhancements.

### Onsite Facilities:

The Comprehensive Plan states that redevelopment in the "...Village Centers should incorporate new park spaces by utilizing guidance from the Urban Parks Framework in the Parks and Recreation section of the Policy Plan (Appendix 2). The Urban Parks Framework was established to guide the creation of park systems in Fairfax County's urbanizing and redevelopment areas and is to be used to guide park development. This framework provides service level standards, design guidelines and a typology of urban park types to guide the creation of urban parks in Fairfax County." (Reston Plan, Community Wide guidance, page 41)

Applying the urban parkland standard of 1.5 acres per 1,000 residents and 1 acre per 10,000 employees, the proposed development generates a need for 0.54 acres of onsite urban park space. In keeping with Comprehensive Plan guidance for the Tall Oaks Village Center, the urban parkland should be provided as a central gathering space or public plaza. With only 15,000 square feet of proposed commercial (office and retail) space, there is not enough retail or civic use in the plan to provide the level of activity that would support a large public plaza or event green. The predominantly residential uses in the Tall Oaks plan cannot support a large volume of the type of programming that a lively commercial/retail center could support (such as movies on the green, farmer's markets, public outdoor yoga classes, and the like). If there were to be programming, a nonprofit or governmental partner (such as RCC or RA) would be essential. If the plaza/green were not programmed well and often, it could become an underutilized space.

Given the preponderance of residential uses in the plan and the surrounding areas, the Park Authority recommended to the applicant the inclusion of a central gathering area that serves a neighborhood and community focus. A special playground with combined youth and adult play and fitness elements will provide a draw for a broad range of people. Because the Comprehensive Plan calls for a community gathering space at Tall Oaks, any playground facility should be designed to set it apart from the typical out-of-the-box standard play structure. Additionally, play elements for adults (big swings, hammocks, interactive art, etc.) and fitness elements would provide fun and useful activities for adults while the kids are playing and would attract a more multigenerational group of users. To address the needs of older adults, the design of the space could incorporate some elements that are specifically designed for the elderly to promote balance, coordination, and stretching. The community gathering space should be clearly visible from North Shore Drive and the entrance to the development, whether people are in a car

or on foot. It should also be clearly visible from the adjacent elderly housing. A variety of seating and shade elements should be included.

The applicant responded by providing a central gathering space that is designed as a community gathering and recreation area with a mix of active and passive elements that will meet the outdoor leisure needs of a range of ages of individuals. Sheets 29-33 of the development plan show the onsite open space and park network. A central gathering area of about 21,200 square feet (about ½ acre) is provided adjacent to retail and multi-family residential uses. The space includes natural play elements, a terraced lawn, hardscape areas, a variety of seating and shade options, focal point sculpture or fountain, hammocks, and senior fitness stations. A linear common green of about 26,500 square feet adjacent to the community gathering and recreation area extends the space and provides connectivity to the adjacent senior housing.

*Evaluation:* The proposed development generates a need for 0.54 acres of onsite urban park space. In keeping with Comprehensive Plan guidance for the Tall Oaks Village Center, the urban parkland should be provided as a central gathering space or public plaza. As proposed, the size, location, and design of the onsite community gathering and recreation area provides a good mix of active and passive elements that will meet the intent of the Plan and serve as a well-used neighborhood gathering place.

Natural Resources Impact:

There is an opportunity in this application to provide landscaping that is attractive, filters pollutants and serves an ecosystem function simultaneously. Species should be native to Fairfax County to provide the greatest ecosystem benefit. Many of the species included in this application are non-native to Fairfax County and/or to the United States. Numerous native alternatives are available.

1. *Ulmus parviflora* is an invasive species in northern Virginia and should be replaced with a suitable alternative.
2. *Carpinus betulus* could be replaced with the native *Carpinus caroliniana*.
3. Several of the evergreen trees could be replaced with native alternatives.

All landscaping to be installed should be of *non-invasive* species to protect the environmental health of nearby parkland.

1. Common invasive plant species in Northern Virginia are included on the following list: <http://alexandriava.gov/uploadedFiles/recreation/parks/InvasiveExoticPlantsThatThreatenParksinAlexandria.pdf>
2. The Invasive Plant Atlas of the United States may include less common species that are not on the above list: <http://www.invasiveplantatlas.org/> (search by type).
3. Native alternatives can be found in ***Native Plants for Conservation, Restoration, and Landscaping, Virginia Piedmont Region*** (VA DCR): [http://www.dcr.virginia.gov/natural\\_heritage/documents/pied\\_nat\\_plants.pdf](http://www.dcr.virginia.gov/natural_heritage/documents/pied_nat_plants.pdf)

4. If there is a question as to whether a *species is native to Fairfax County*, the applicant should check the Digital Atlas of Virginia Flora at <http://vaplantatlas.org/>.

*Evaluation:* Several plant species noted on the landscape plan are invasive and many of the species included are non-native to Fairfax County and/or to the United States. All landscaping to be installed should be of *non-invasive* species to protect the environmental health of nearby parkland. Species should be native to Fairfax County to provide the greatest ecosystem benefit.

## **SUMMARY**

This section summarizes the analysis and recommendations included in the preceding section.

- The proposed development generates a need for 0.54 acres of onsite urban park space.
- In keeping with Comprehensive Plan guidance for the Tall Oaks Village Center, the urban parkland should be provided as a central gathering space or public plaza.
- As proposed, the size, location, and design of the onsite community gathering and recreation area provides a good mix of active and passive elements that will meet the intent of the Plan and serve as a well-used neighborhood gathering place.
- All landscaping to be installed should be of *non-invasive* species to protect the environmental health of nearby parkland. Species should be native to Fairfax County to provide the greatest ecosystem benefit.

Please note the Park Authority would like to review and comment on development conditions related to park and recreation issues. We request that draft and final development conditions be submitted to the assigned reviewer noted below for review and comment prior to completion of the staff report and prior to final Board of Supervisors approval.

FCPA Reviewer: Andrea L. Dorlester  
DPZ Coordinator: Mary Ann Tsai

Copy: Cindy Walsh, Director, Resource Management Division  
John Stokely, Manager, Natural Resource Management & Protection Section  
Andrea L. Dorlester, Planner IV, Park Planning Branch  
Chron File  
File Copy



**FAIRFAX COUNTY  
PUBLIC SCHOOLS**

Department of Facilities and Transportation Services  
Office of Facilities Planning Services  
8115 Gatehouse Road, Suite 3300  
Falls Church, Virginia 22042

January 13, 2016

RECEIVED  
Department of Planning & Zoning

JAN 20 2016

Zoning Evaluation Division

**TO:** Barbara Berlin, AICP  
Director, Zoning Evaluation Division  
Fairfax County Department of Planning & Zoning

**FROM:** Aimee Holleb, Assistant Director *AH*  
Office of Facilities Planning Services

**SUBJECT:** PRC-C-020 (Tall Oaks Development Company LLC)  
**ACREAGE:** 7.14

**TAX MAP:** 18-1 ((5)) 8A1

**PROPOSAL:**

The rezoning application proposes multiple types of residential units intended to meet the housing needs of a variety of ages and income levels in the Reston area. Seventy of the units will be multi-family low rise condo flats. Another 42 units will be two-over-two multi-family low rise units. A third unit type will be 44 single-family attached units.

**ANALYSIS:**

The schools serving this area are South Lakes High, Hughes Middle and Forest Edge Elementary schools. The chart below shows the existing school capacity, enrollment, and projected enrollment.

School	Capacity 2015 / 2020	Enrollment (9/30/15)	Projected Enrollment SY16-17	Capacity Balance SY16-17	Projected Enrollment SY20-21	Capacity Balance SY20-21
South Lakes HS	2,123 / 2,700	2,436	2,455	-332	2,431	269
Hughes MS	1,094 / 1,094	964	1,041	53	1,021	73
Forest Edge ES	880 / 880	723	708	172	625	255

*Capacities based on proposed 2017-21 Capital Improvement Program (December 2015)  
Projected Enrollments based on 2016-17 to 2020-21 five-year projections (October 2015)*

The school capacity chart above shows a snapshot in time for student enrollments and school capacity balances. Student enrollment projections are done on a six year timeframe, currently through school year 2020-21 and are updated annually. At this time, if development occurs within the next five years, all three schools are projected to have surplus capacity. Beyond the six year projection horizon, enrollment projections are not available.

Capital Improvement Program Projects

The 2017-21 Capital Improvement Program (CIP) includes:

**South Lakes High School**

- At the conclusion of the renovation and capacity enhancement in SY 2018-19, South Lakes HS will have a capacity of 2,700 students. Construct a new high school in the western end of the Silver Line Metro vicinity. This solution will involve multiple boundary adjustments to the schools in the western portion of the county such as Chantilly, Centreville, Herndon, Oakton, South Lakes, and Westfield High schools.

Hughes Middle School

- Renovation and capacity enhancement to be completed in the 10-year CIP cycle.

Forest Edge Elementary School

- Reassign the AAP students residing within the Aldrin ES and Armstrong ES attendance areas from Forest Edge ES AAP Center to the already existing Clearview ES AAP Center upon completion of the renovation. This AAP Center realignment will keep the pyramid cohorts together.

Development Impact

Based on the number of residential units proposed, the charts below shows the number of anticipated students by school level based on the current countywide student yield ratio.

Proposed

School Level	Single-Family Attached Ratio	Proposed # of Units	Proposed Student Yield
High	.127	44	6
Middle	.062	44	3
Elementary	.252	44	11
<b>Total Student Count</b>			<b>20</b>

2013 countywide student yield ratios (November 2014)

School Level	Low-Rise Multi-Family Ratio	Proposed # of Units	Proposed Student Yield
High	.085	112	10
Middle	.046	112	5
Elementary	.194	112	22
<b>Total Student Count</b>			<b>37</b>

2013 countywide student yield ratios (November 2014)

**Total Number of Students 57**

A net of 57 new students is anticipated (16 high, 8 middle, and 33 elementary), from the proposed development. While this is a PRC plan proposal and not a rezoning request, should the developer be inclined to make a monetary contribution, a proffer contribution of \$669,693 (57x\$11,749) is recommended to offset the impact that new student growth will have on surrounding schools.

*...to be utilized for capital improvements to Fairfax County public schools to address impacts on the school division resulting from [the applicant's development].*

It is also recommended that proffer payment occur at the time of the site plan or first building permit approval. A proffer contribution at the time of occupancy is not recommended since this does not allow the school system adequate time to use the proffer contribution to offset the impact of new students.

In addition, an "escalation" proffer is recommended. The suggested per student proffer contribution is updated on an annual basis to reflect current market conditions. As a result, an escalation proffer would allow for payment of the school proffer based on the current suggested per student proffer contribution in effect at the time of development. This would better offset the impact that new student yields will have on surrounding schools at the time of development. For your reference, below is an example of an escalation proffer that was included as part of an approved proffer contribution to FCPS.

*Adjustment to Contribution Amounts. Following approval of this Application and prior to the Applicant's payment of the amount(s) set forth in this Proffer, if Fairfax County should modify the ratio of students per unit or the amount of contribution per student, the Applicant shall pay the modified contribution amount for that phase of development to reflect the then-current ratio and/or contribution.*

Proffer Notification

It is also recommended that the proffer notification be provided to FCPS from the developer when development is likely to occur or when a site plan has been filed with the County. This will allow the school system adequate time to plan for anticipated student growth to ensure classroom availability.

AJH/sm

Attachment: Locator Maps

cc: Pat Hynes, Chairman, School Board Member, Hunter Mill District  
Jane Strauss, School Board Member, Dranesville District  
Thomas Wilson, School Board Member, Sully District  
Jeanette Hough, School Board Member, At-Large  
Ryan McElveen, School Board Member, At-Large  
Ilryong Moon, School Board Member, At-Large  
Jeffrey Platenberg, Assistant Superintendent, Facilities and Transportation Services  
Douglas Tyson, Assistant Superintendent, Region 1  
Kevin Sneed, Special Projects Administrator, Capital Projects and Planning  
Kimberly Retzer, Principal, South Lakes High School  
Aimee Monticchio, Principal, Hughes Middle School  
Leona Smith-Vance, Principal, Forest Edge Elementary School



# County of Fairfax, Virginia

## MEMORANDUM

DATE: December 22, 2015

**TO:** Mary Ann Tsai  
Staff Coordinator, Zoning Evaluation Division  
Department of Planning and Zoning

**FROM:** Laurie Stone  
Strategic Planner  
Fire and Rescue Department

**SUBJECT:** Zoning Application Analysis

**REFERENCE:** Application Number: PRC-C-020 (Tall Oaks Development Company LLC)

The Fire and Rescue Department (FRD) is providing the following comments on the referenced rezoning application.

### **Current Fire and Rescue Service Delivery**

The proposed Tall Oaks development is located in the emergency response area of the Reston Fire and Rescue Station 25 on Wiehle Avenue in Reston, Virginia. The next closest fire station is the North Point Fire and Rescue Station 39 located at 1117 Reston Avenue in Herndon, VA.

### **Emergency Response Impact of Proposed Development**

The proposed Tall Oaks development of 156 residential units (112 multifamily condos and two-over-two units and 44 single family townhouses) and 7,000 sf of retail space will result in an increase in residential population.

FRD analyzes the historical rate of incidents per population in each fire station's response area across the county to determine workload capacity. In FY2015, there were 3,337 incidents in the Reston fire station's response area and 1,273 incidents in the North Point fire station's response area. The potential impact on Fire and Rescue services of the proposed multiple type residential development currently can be handled by the existing fire stations. However, approval of multiple new development rezoning applications in one station's response area could significantly impact that station's availability and overall response times to all emergency incidents.

Furthermore, residential units may be occupied 24/7 and include high risk populations such as children and older adults which directly correlate with increases in major medical and other types of emergency calls for service.

**Traffic Signal Preemption Equipment for Emergency Responders:**

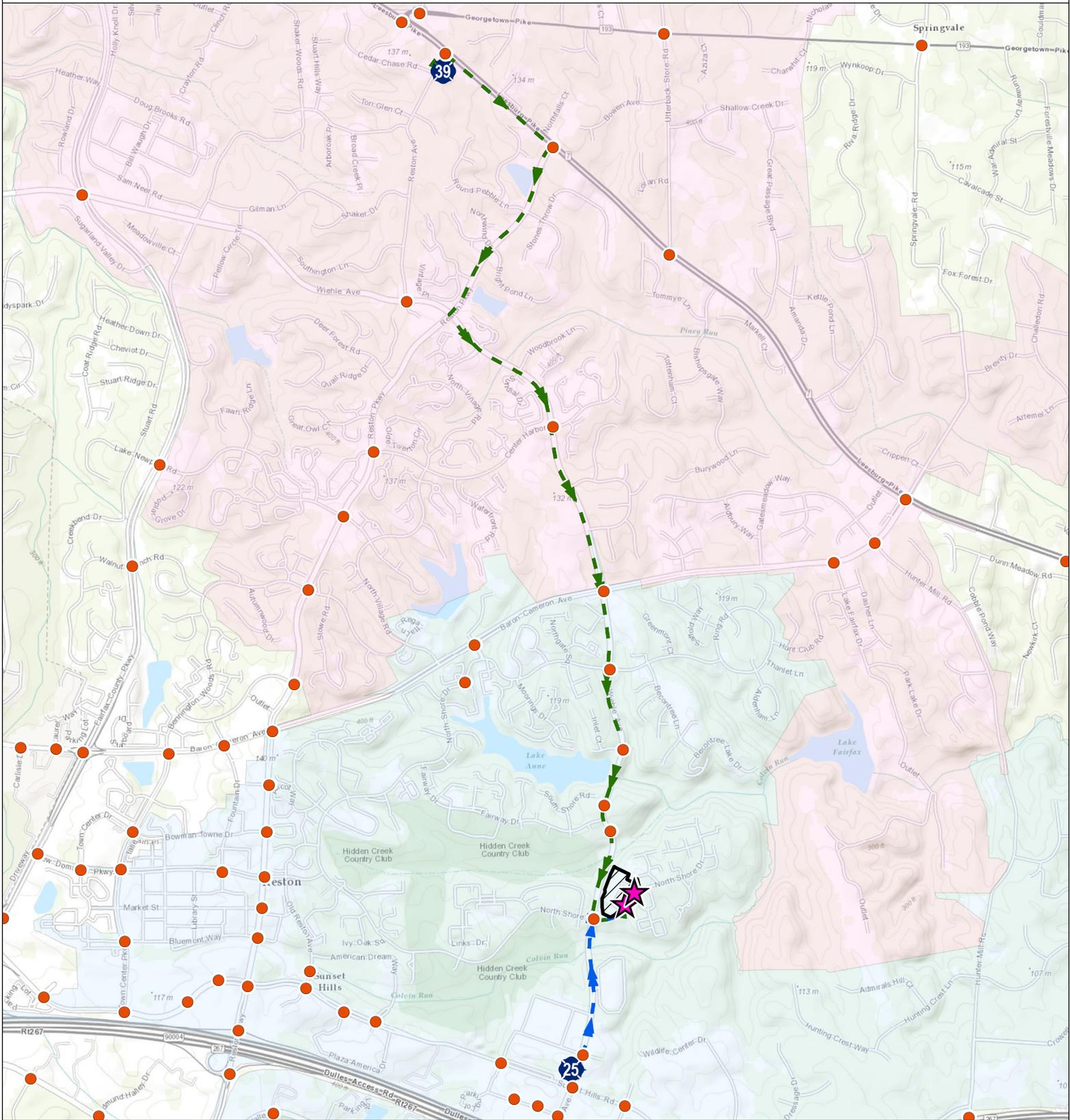
As Fairfax County increases in population density and roadways become more congested, it will be challenging for FRD to meet response time goals to emergency incidents. For medical emergencies in high-rise buildings, response times include travel time to the site as well as the vertical response time for first responders to get to the patient's side. Therefore, the FRD is aggressively pursuing installation of preemption devices on traffic signals throughout the county. Traffic preemption also improves both civilian and firefighter safety by reducing the potential for accidents at intersections.

In summary, the proposed development of 156 new residential dwelling units could impact the Fire and Rescue Department with additional emergency calls for service. Therefore, the FRD requests the developer proffer the cost of two preemption devices (about \$20K) for traffic signals located along the primary travel route from the closest fire station to the proposed development. The attached map identifies the traffic signals needing preemption equipment.

Please contact me at 703-246-3889 if you have any questions regarding the comments.



# FRD Tall Oaks (Reston) Study



- Access Points
- Property Boundary
- Fire Stations
- VDOT Traffic Signals

- Route: Station 25 to Access Points
  - Route: Station 39 to Access Points
- First Due Boundaries**
- |     |     |
|-----|-----|
| 425 | 439 |
|-----|-----|

FRD-GIS. Current as of: 12/14/2015



Routing based on June 2015 street network.

# **Retail and Residential Market Analysis Tall Oaks Village Center Redevelopment**

Prepared for Jefferson Apartment Group | Reston, Virginia | March 9, 2016

# Contents

Key Findings	03
Retail Market Analysis	07
Residential Market Analysis	18
Critical Assumptions	29
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# Objectives

Jefferson Apartment Group is the owner of Tall Oaks Shopping Center in Reston, Virginia, which has been languishing as an underperforming retail center since the departure of the Giant grocery store in 2007. Jefferson Apartment Group is currently exploring the redevelopment potential of a mix of uses on the site. The Reston Comprehensive Plan includes the following recommendation for the redevelopment of Reston's Village Centers: "Conduct a market analysis to provide information on the existing and proposed development and the viability of the existing and proposed mix of uses."

RCLCO has been engaged to help explore the market dynamics and development economics that govern both retail and residential opportunities to provide strategic consulting to help arrive at a better understanding of the market, and to determine what the site can support.

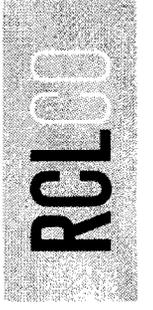
The following key questions to be addressed from a market perspective are:

1. What is the market for retail in this area of Reston and at Tall Oaks specifically? What type(s) of retail would be most successful, and in what quantities? How viable is the existing retail at Tall Oaks?
2. What is the market for conventional townhomes, two-over-two townhomes, and condominium apartments in this area of Reston and at Tall Oaks specifically?
3. If more than one of the types of housing specified in Question 2 is marketable, what would be the relative profitability of the different types of housing and mixes of housing, taking account of how many units could be accommodated on the site?



## Key Findings

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# Key Findings

Based on both residential and retail demand analysis, along with the location/urban fabric analysis and an overview of the competitive market, in the professional opinion of RCLCO Tall Oaks will be unable to attract a quality grocery anchor. Poor visibility, low traffic counts, and proximity to competitive existing stores and new developments in superior locations are all insurmountable challenges that will dissuade traditional or specialty grocers from electing to lease space at the project. RCLCO concluded that without a quality grocery anchor, the poor visibility and low traffic counts at Tall Oaks will result in demand for only a small number of desirable stores, restaurants, and service providers. There may be limited opportunity for a discount retailer on the site, but ultimately in RCLCO's professional opinion a neighborhood-serving grocer is not viable.

However, there is certainly sufficient pent-up demand to support a multifaceted development strategy:

1. **For-Sale Residential: Some combination of condo, two-over-two, and townhome product**
2. **Ancillary Retail: Small-scale retail to support local residential uses, and needs**

Given the inherent site challenges, difficult (if not impossible) market conditions for a grocery-anchored retail center, and high demand for residential product, RCLCO concludes that the highest and best use for the Tall Oaks site is a mix of for-sale residential uses served by a small amount of food-focused and convenience retail.

## **Retail Findings and Recommendations**

- The retail market in the Reston area is performing well; overall vacancies are steady, and rents have been rising.
- Other shopping centers located within Village Centers are performing much better than the shopping center at Tall Oaks, with locations closer to Reston Town Center and/or with a higher degree of visibility performing best.
- Poor site conditions, with limited visibility from nearby Wiehle Avenue, and low traffic counts on North Shore Drive, greatly limit the retail potential on the site.
- There is little to no market opportunity for a grocery anchor on the site. A small amount (approximately 7,500 square feet) of food-based and neighborhood-serving retail would be supportable.

## **Residential Findings and Recommendations**

- The site is surrounded by residential uses, making additional residential in-line with existing urban form.
- There is a lack of supply of new product in the Reston area, although there is a large pipeline of rental and for-sale multifamily units near current and future Silver Line stations.
- Demand for condominiums, two-over-two, and townhome products is strong, with townhomes in particular being the most desirable product from a market perspective.
- The combined lack of new supply and pent-up demand for new townhome and two-over-two product are likely to result in a healthy absorption pace for residential product—particularly townhomes.

## Challenging Site Conditions

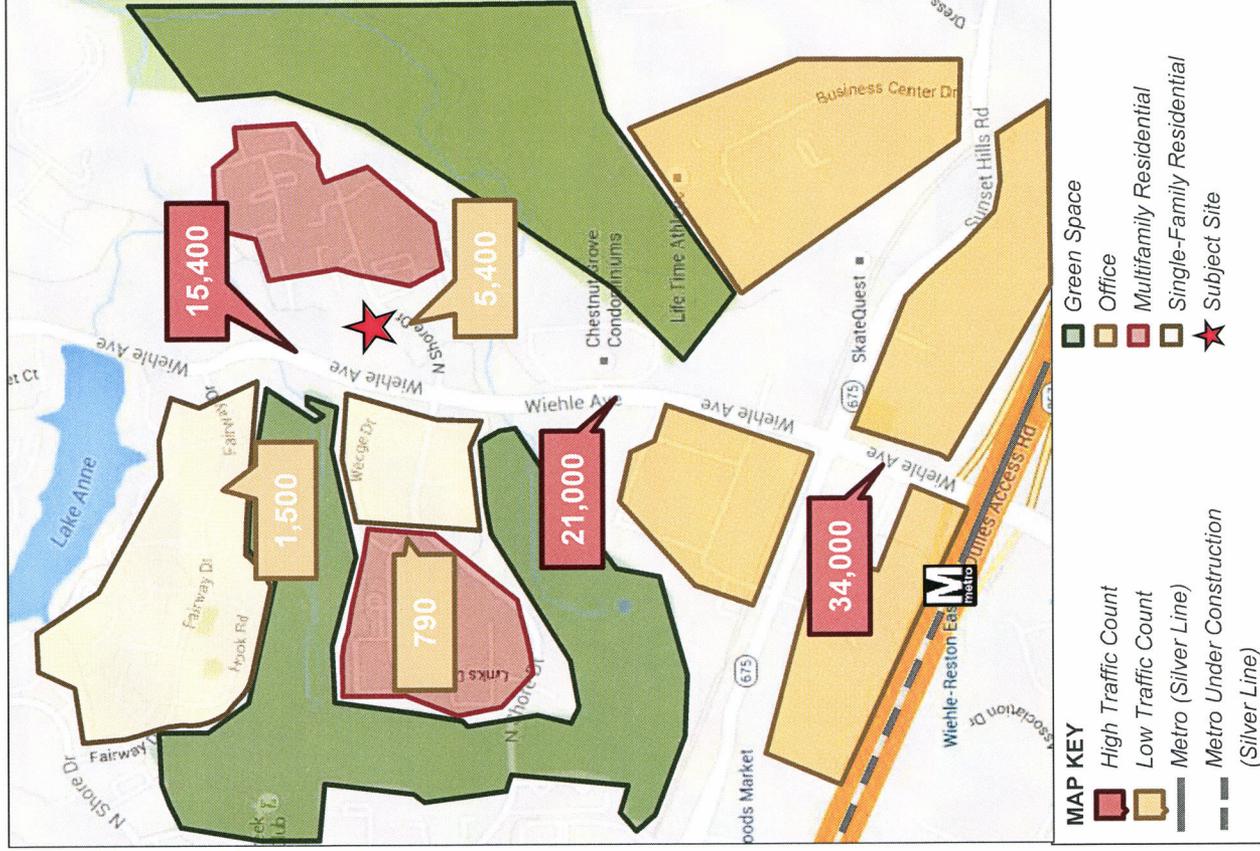
- One of the principal reasons for the limited retail potential of the subject site is the lack of visibility from Wiehle Avenue. There is limited opportunity to enhance signage, and desirable retailers are unlikely to locate at Tall Oaks given the lack of orientation to a major arterial, rather than a smaller connector street.
- Based on 2010 traffic counts, between 15,400 and 21,000 vehicles travel daily along Wiehle Ave. However, fewer than 5,500 vehicles pass by the site on North Shore Drive daily. This is a major consideration as retailers decide where to locate.
- While there is no data on pedestrian traffic by the site, anecdotal observations indicate that there is limited foot traffic at the site, despite the Reston Trail Network passing through the site.
- Traffic volume near the site will likely remain constant, given limited future development projected north of Sunset Hills Road.
- Given that North Shore Drive is a residential street with no outlet, there is virtually no chance that traffic volumes directly in front of Tall Oaks will increase in the foreseeable future.

Subject Site Looking Southwest



Source: RCLCO; Esri; Google Maps

Average Daily Traffic By Subject Site



# Subject Site Overview – SWOT

	STRENGTHS	WEAKNESSES	OPPORTUNITIES	THREATS
Location – Regional Context	Reston is a desirable, prestigious location	Strong growth in competitive areas, particularly Tysons, Herndon, and potentially Loudoun County	Growth along Silver Line as additional stations added	More affordable developments farther west
	High-end retail and restaurants, as well as strong employment base			
Location – Site Specific	One of five village centers, historical significance to Reston	Weak transit connections as compared with other new developments near Metro stations	Residential mixed-use development with some supporting retail	Other locations are more walkable
	Established residential areas close to site	Poor visibility from Wiehle Avenue	Proximity to Reston Pathways	
Retail Land Uses	Village Center identity	Anchor stores recent failures at the site	New residential may support higher quality retail	Most promising grocery chains already have locations serving the Tall Oaks Primary Market Area (PMA)
	Connected to Reston path network, makes on-foot retail possible	Lack of street frontage compared with other Reston retail locations		Additional retail coming to market, making feasibility tougher
Residential Land Uses	Limited new single-family attached product available in this area	Competing locations are closer to the Silver Line	Dated residential product nearby, opportunity to offer a new alternative	Other developments have better access to Metro
	Residential surroundings, would blend well with existing fabric	Not walkable to Reston Town Center	Limited locations in Reston for townhomes and two-over-tvos mean minimal supply risk	Loudoun County offers less expensive residential products

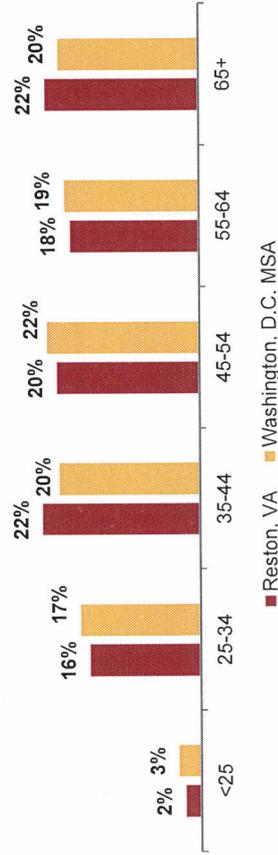
# Retail Market Analysis

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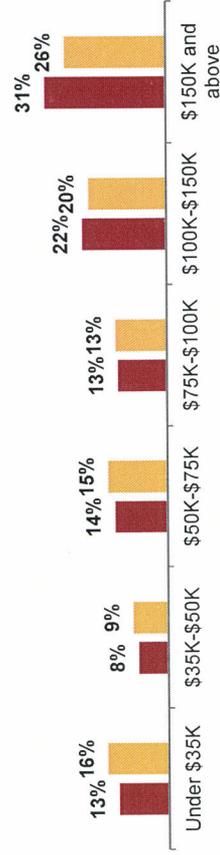
# Demographic Characteristics

- The Reston Census Designated Place (CDP) boundaries were selected and used for the statistical analysis of rents, vacancy rates, square footage, and center anchors in the pages that follow.
- In comparison to the Washington, D.C., MSA:
  - Reston has a higher percentage of 35-44 and 65+ residents, suggesting a concentration of families and retirees in the area.
  - Reston has a relatively affluent income distribution, with a smaller percentage in the lower income categories, and over 50% of households with incomes greater than \$100,000.
- Both of these characteristics are important when determining the demand and positioning of any potential retail at Tall Oaks.

Household Distribution by Age, 2015



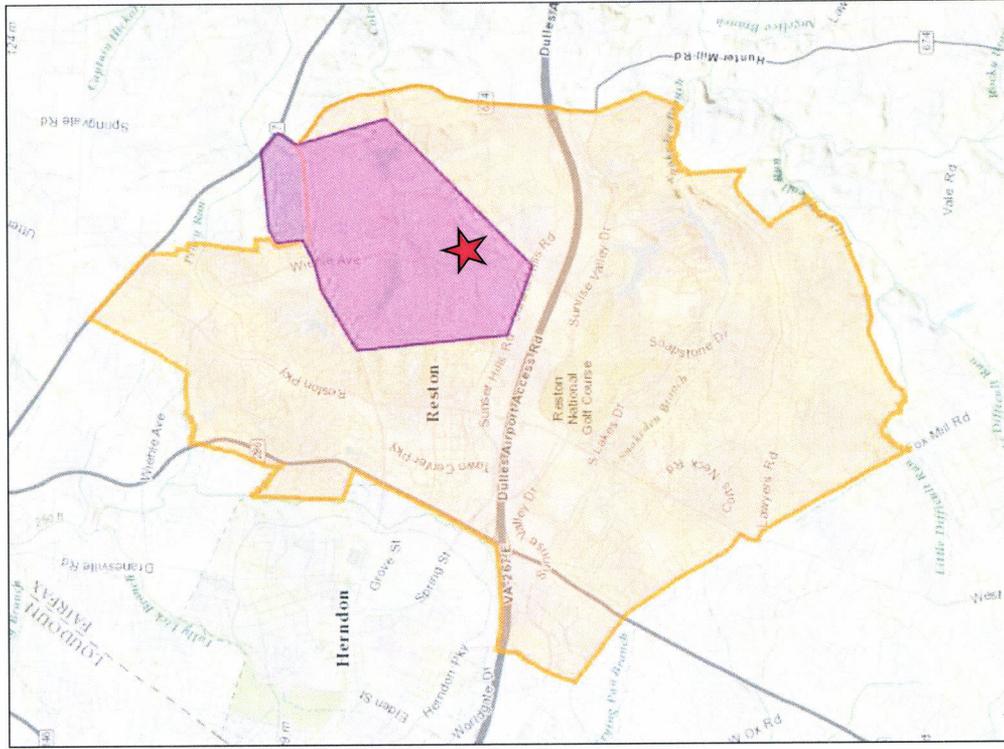
Household Distribution by Income, 2015



Reston, VA Washington, D.C. MSA

Source: Esri; RCLCO

Map of Reston and the Tall Oaks Retail Primary Market Area (PMA)



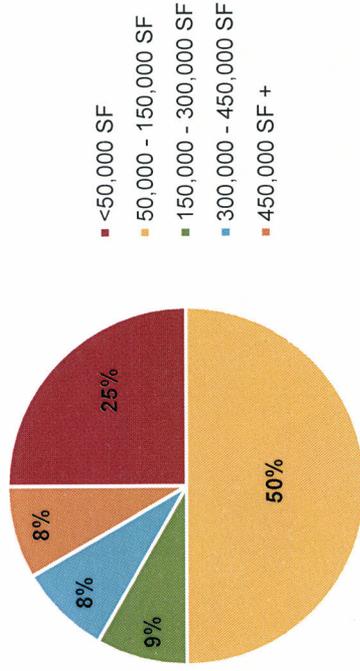
Reston Market: Retail PMA: Subject Site:



# Reston Retail Market Conditions

- The total square footage of Reston's retail centers has remained steady over the last 10 years at over 1.4 million square feet, with essentially no new inventory added.
- Vacancy rates were at their lowest in 2009, although they have remained steady between 4% and 5% since 2011.
- Average asking rents have been increasing, likely in part because of the lack of space added. The average increased from \$32 in 2006 to over \$37 in 2014 (latest available CoStar data).
- When analyzing retail by center size, the majority of centers are between 50,000 and 150,000 square feet. Further, they generally exhibit healthy occupancy levels, likely due to strong anchor tenants such as grocers.

Number of Retail Centers by Size  
Reston, VA, 2016



Retail Vacancy and Asking Rent  
Reston, VA, 2006-2016 YTD



Source: CoStar

# Comparable Retail Centers

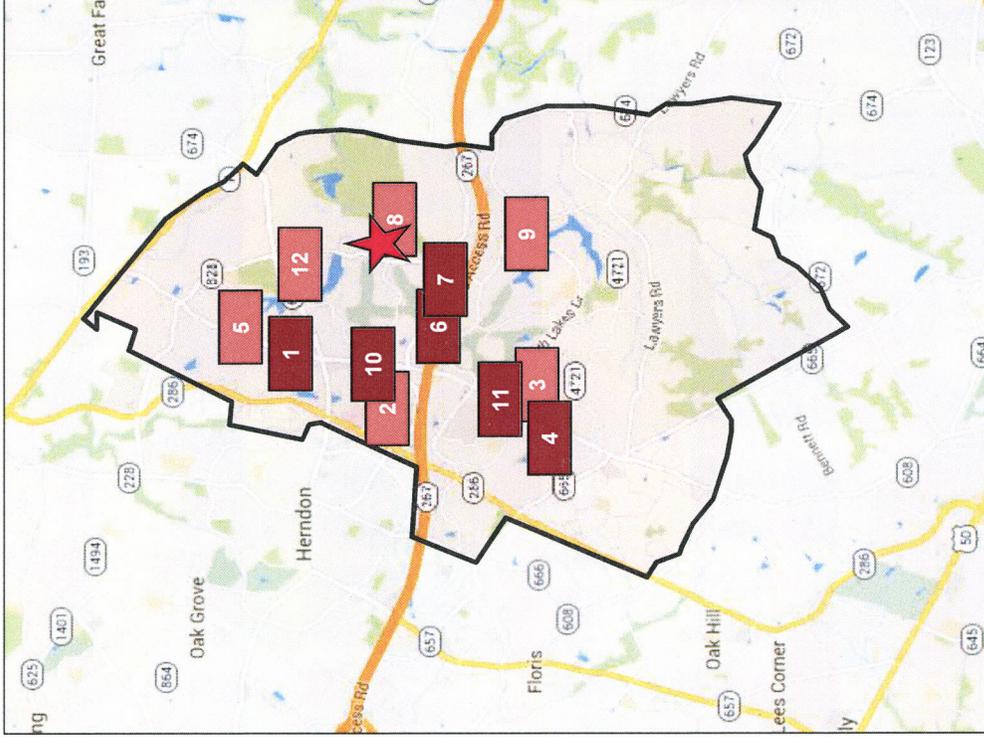
- RCLCO evaluated comparable retail centers in Reston to understand market dynamics. As there is only one soon-to-deliver retail center (Reston Station, 120,000 SF) within close proximity to the subject site, and no recently completed centers, other properties were included based on their age, proximity to the project site, and overall quality. All of the shopping centers within Village Centers were included; the Village Centers and Reston Town Center are highlighted in the table below.
- Generally the shopping centers are larger than 100,000 square feet, with the average for the competitive set over 150,000 square feet. Another key observation is the presence of a grocery store anchor at six of the 12 centers.
- North Point Village Center* demonstrates how a shopping center within a Village Center, albeit the newest of the five, can thrive in a contemporary retail environment. The center is anchored by a Giant grocery store, and is achieving high rents. Surrounding the store are a number of smaller neighborhood-serving retail stores, as well as a variety of restaurants and fast food retailers. The center has excellent visibility from Reston Parkway, with over 18,000 vehicles passing by each day.
- Reston Town Center is another major retail hub for the area, with *Reston Town Center* and *The Spectrum at Reston Town Center* accounting for over 58% of the total retail square footage in the market.

KEY	CENTER NAME	YEAR BUILT	GLA	% LEASED	RENT
1	Home Depot Shopping Center	1977	132,738	100%	N/A
2	Reston Town Center	1988	336,566	99%	N/A
3	Hunters Woods Village Center	1972	124,238	88%	\$32.52
4	Fox Mill Shopping Center	1977	108,032	100%	N/A
5	North Point Village Center	1993	148,196	100%	\$51.96
6	Plaza America	1995	164,398	100%	N/A
7	Reston Station	2016	50,000	83%	N/A
8	Tall Oaks Village Center	1974	72,000	13%	\$29.74*
9	South Lakes Village Center	1984	110,159	99%	N/A
10	The Spectrum At Reston Town Center	1995	455,611	100%	N/A
11	Village Commons	2002	20,225	100%	N/A
12	Lake Anne Village Center	1964	27,974	70%**	N/A

\* Rental rates reflect leases signed while grocery anchor was in place. New leases are likely to be significantly lower without an anchor.

\*\* Estimate based on site visit and visual inspection  
Source: RCLCO, CoStar

Map of Comparable Retail Centers



KEY: Retail Center: ■ Town/Village Center: ■



# Demographic Comparison of Shopping Centers Within a Village Center

- Of the five shopping centers within a Village Center, South Lakes and North Point have the strongest demographics within a one-mile radius, with the highest median household incomes and home values of the areas surrounding the village centers.
- Tall Oaks and Lake Anne are the only two shopping centers within a Village Center that do not have a grocery store anchor tenant. They also both suffer from extremely poor visibility, which is a major contributor to their low occupancy rates and inability to secure credit tenants.

1-MILE SITE RADIUS	VILLAGE CENTER	YEAR BUILT	MEDIAN HH INC.	POPULATION	RETAIL OCC. RATE	RETAIL SF	KEY RETAILERS
	Lake Anne	1964	\$90,013	17,837	70%*	27,974	Reston Farmers Market
	Hunters Woods	1972	\$82,958	17,543	88%	124,238	Safeway
	Tall Oaks	1974	\$78,535	11,377	13%	72,000	Paisano's Pizza
	South Lakes	1984	\$127,825	7,087	99%	110,159	Safeway
	North Point	1993	\$113,123	16,027	100%	148,196	Giant

\* Estimate based on site visit and visual inspection  
Source: RCLCO; CoStar; ESRI

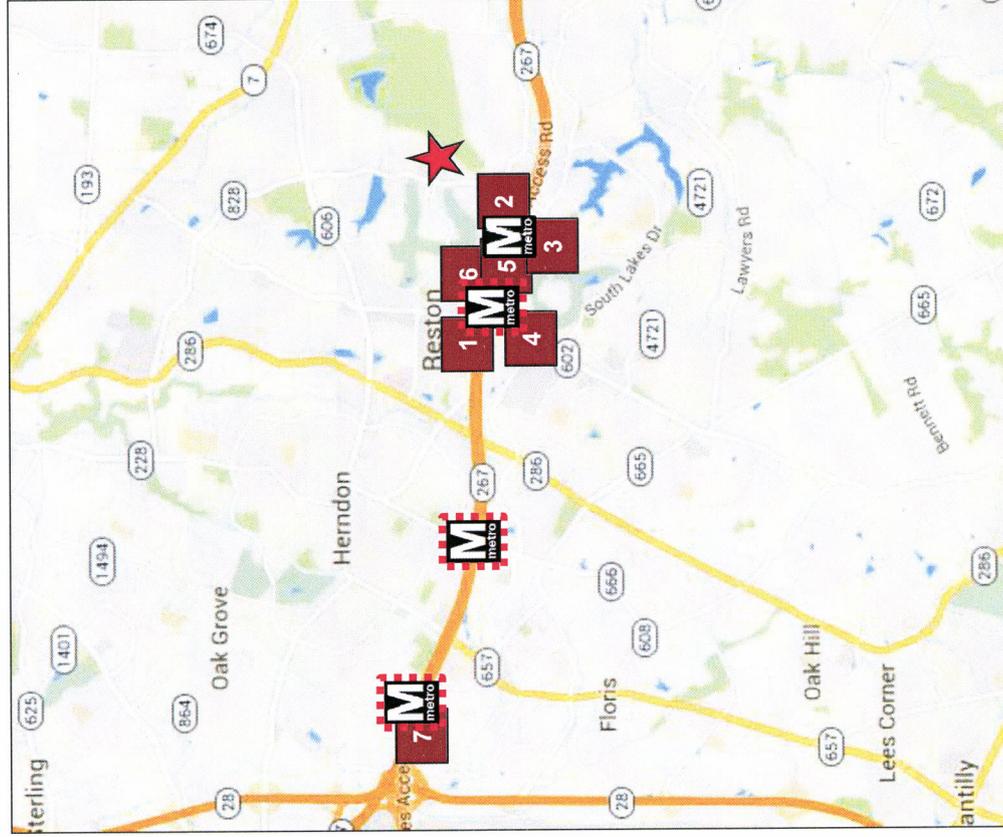
# Planned and Proposed Retail Centers

- The Reston-Herndon area has a deep pipeline of under construction and planned and proposed retail projects. Approximately 225,000 square feet are currently under construction, with another 165,000 planned. There are additional retail projects in the area that are in early planning phases or not near an existing or future Metro station and are therefore not included in the table below.
- RCLCO expects the overall vacancy rate in Reston to increase moderately as new space comes to market. However, demand will largely keep pace with the supply and the market will maintain a healthy overall demand-supply balance over the mid-term. Nevertheless, any retail at Tall Oaks will deliver into a highly competitive market, mainly because of developments located near existing and future Silver Line Metro stations.
- Any new retail space with excellent visibility and easy access to Metro will meet the preferences and expectations of most retailers. The Tall Oaks site lacks this visibility and walkability to transit, and will therefore continue to be an inferior alternative to these other developments.

MAP KEY	CENTER NAME	EXPECTED DELIVERY	STATUS	GLA
1	Reston Town Center West	2017	N/A	40,000
2	1831 Wiehle Ave	N/A	Reqstd Rezoning	61,000
3	1850 Centennial Park Drive	N/A	Reqstd Rezoning	N/A
4	Reston Heights West	2017/2018	N/A	65,000
5	Triangle Park	N/A	Reqstd Rezoning	N/A
6	Reston Station	2016	U/C	120,000
7	Innovation Center Metro	2017-2019	U/C	104,000
<b>TOTAL</b>				<b>390,000</b>

Source: Google Maps; Washington Business Journal; Internet Searches; RCLCO

Map of Planned and Proposed Retail Centers



KEY: Silver Line Metro Station: Future Metro Station:

# Determining Retail Demand Potential at Tall Oaks

- RCLCO uses a demand model to determine the types and amounts of retail square footage that are supportable on a given site.
  - After determining an appropriate market area (PMA) based on locations of competitive stores and centers, RCLCO determines the average spending per household for each category of retail establishment. This spending is then multiplied by the number of households in the PMA to determine the total retail spending at each type of store.
  - RCLCO then determines the achievable capture rate (the percentage of this spending that will occur at the location being analyzed) and applies this capture rate to the potential pool of demand, as well as adding in some demand from outside the PMA, based on the competitive market and desirability of the site for retail. Higher capture rates are applied to households expected to live in new housing at Tall Oaks, who will also have higher median incomes than the PMA as a whole, and therefore higher retail spending per household.
  - Finally, this "captured" demand is multiplied by a dollar amount per square foot (PSF) that retailers require to open and continue to operate a store. These thresholds vary by use, retailer, and region.
  - These calculations are strictly an analysis of the demand potential of the PMA and the capture rates that Tall Oaks could achieve given current competition. Any additional delivery of the planned new supply serving the PMA will likely put further downward pressure on the capture rates that Tall Oaks can achieve.
- A Full-Size Supermarket** – Large space (45,000 SF+) with offerings that meet most, if not all, of a household's grocery needs. They frequently contain a pharmacy, bank, and coffee shop.
  - Specialty Organic Grocer** – Smaller in size (12,500-30,000 SF) with a focus on a specific type of offer. Will not meet the everyday needs of a household, who will have to supplement grocery spending at a supermarket (and will thus have a lower capture rate of overall PMA spending).
  - Trader Joe's** – A unique and highly desirable grocery chain with its own branded goods. It is the smallest in size, but has the highest sales per SF requirements and an existing location nearby.
- There may be a limited opportunity to secure a non-grocery, discount-goods anchor to the Tall Oaks site. However, such a non-neighborhood-serving retailer would serve a much larger PMA at a lower overall capture rate and in professional opinion would not be an asset to the Village Center or the surrounding neighborhood. There is insufficient demand from the Tall Oaks PMA alone to support such a retailer.

Diagram of a Retail Demand Model



Source: RCLCO



# Retail Concept Program 1: Full-Size Supermarket

- RCLCO evaluated three potential neighborhood center concepts for the Tall Oaks site. The first concept considered is a shopping center anchored by a full-size supermarket.
- Full-size grocers, such as Giant, Safeway, and Harris Teeter, usually require between 45,000 SF and 60,000 SF. Some grocers require even more space, with Wegmans requiring over 100,000 SF. Given the evolution of supermarkets, which now regularly include an in-store bank and coffee shop, and sometimes a pharmacy, these grocers do not open a new store unless there is market support for at least 45,000 SF and limited transfer of sales from their existing stores. This is the minimal square footage necessary to meet the needs of contemporary supermarket, which is above the existing anchor square footage at Tall Oaks.
- A full-size supermarket will average about \$500/SF in annual retail sales.

**Opportunity**

- Lowest required sales per square foot
- Alternative grocery option for residents in the area
- A good anchor that makes it possible to attract other retail

**Tall Oaks' Challenges**

- Exceedingly poor visibility
- Numerous grocers have failed at this location previously, which will contribute to scaring off any potential anchor tenant
- All likely chains already have stores serving the PMA.

**Conclusion**

A full-size supermarket is not supportable at Tall Oaks. Taking account of Tall Oaks' site challenges, there is only sufficient demand for approximately 12,500 SF of grocery retail. This is below the required threshold of 45,000 SF for this type of retailer. Without an anchor, there will only be sufficient demand for a few restaurants and limited additional neighborhood-serving retail and services.

## Summary of Retail Demand Model

RESTON DEMAND DEMOGRAPHICS	2020 DEMAND FROM PMA				2020 DEMAND FROM ON-SITE <sup>1</sup>			2020 TOTAL DEMAND			SUPPORTABLE SQUARE FOOTAGE			
	Expenditure of HHs In PMA	Ideal Capture Rate	Site Issues Capture Penalty	Actual Capture of PMA	Subtotal from PMA	Subtotal from On-site HHs	Expenditures of On-Site HHs	Capture Rate	Total Est. On-Site Retail Spending	Est. Sales PSF	Supportable SF from PMA + On-Site HH	Total Supportable SF from 10%-15% Outside PMA	Minimum Store Size	Total Possible Square Feet
Grocery & Drug	\$9,100	35%	65%	12%	\$4,800,000	\$910,000	\$2,000,000	45%	\$5,700,000	\$600	11,300	12,500	45,000	0
Restaurant & Specialty	\$4,400	40%	75%	10%	\$1,900,000	\$588,000	\$980,000	60%	\$2,300,000	\$425	5,800	6,700	1,500	6,000
Boutique Soft Goods	\$2,100	4%	75%	1%	\$92,000	\$9,000	\$460,000	2%	\$101,000	\$350	290	320	2,000	0
Home Goods	\$1,200	4%	75%	1%	\$52,000	\$5,000	\$267,000	2%	\$57,000	\$350	170	180	1,500	0
Florist/Gift/Hobby	\$2,400	6%	75%	2%	\$160,000	\$43,000	\$540,000	8%	\$203,000	\$350	580	640	1,200	0
Electronics	\$1,700	4%	75%	1%	\$71,000	\$7,000	\$370,000	2%	\$79,000	\$400	200	220	2,500	0
Beer/Wine/Specialty	\$500	9%	75%	2%	\$48,000	\$40,000	\$115,000	35%	\$88,000	\$450	200	220	1,300	0
+ 15% Additional SF for Services													1,500	1,500
<b>TOTAL SUPPORTABLE SF</b>														<b>7,500</b>

<sup>1</sup> Based on number of households from the November 2015 Conceptual Plan and RCLCO's estimates for average home prices. The retail demand would be slightly less under scenarios that have fewer total units.  
Source: RCLCO



## Retail Concept Program 2: Specialty Grocer

- The second neighborhood center concept that RCLCO evaluated was one anchored by a specialty grocer.
- Specialty grocers, such as MOM's Organic Market, Sprouts Farmers Market, or The Fresh Market, specialize in organic products. They tend to have a smaller footprint (typically 12,500 SF for MOM's, 30,000 SF for Sprouts, and 21,000 SF for The Fresh Market) than a full-size supermarket and offer a more limited selection of goods.
- These grocers will not satisfy all of the needs of the average household, which will still need to shop at a full-size supermarket. Therefore, the specialty grocer has a lower capture rate.
- A specialty grocer will average about \$525-\$625/SF in annual retail sales, depending on the chain.

### Opportunity

- Potential to increase the "catchment," with shoppers willing to travel further for something different
- A unique offering with limited direct competition in PMA

### Tall Oaks' Challenges

- Exceedingly poor visibility
- Unique product but still not able to overcome hurdle of limited demand in a market with many grocer options, including Whole Foods

### Conclusion

A specialty grocer is not supportable at Tall Oaks site. There is only sufficient demand for approximately 7,600 SF of specialty grocery retail. This is below the required threshold of 12,500-30,000 SF for this type of retailer, depending on the chain. Without an anchor, there will only be sufficient demand for a few restaurants and limited additional neighborhood-serving retail and services.

### Summary of Retail Demand Model

TYPE OF RETAIL	RESTON DEMAND DEMOGRAPHICS		2020 DEMAND FROM PMA			2020 DEMAND FROM ON-SITE <sup>1</sup>			2020 TOTAL DEMAND			SUPPORTABLE SQUARE FOOTAGE			
	Avg. HH Spending	Expenditure of HHs In PMA	Ideal Capture Rate	Site Issues Capture Penalty	Actual Capture of PMA	Subtotal from PMA	Expenditures of On-Site HHs	Capture Rate	Subtotal from On-site HHs	Total Est. On-Site Retail Spending	Est. Sales PSF	Supportable SF from PMA + On-Site HH	Addl. 10%-15% from Outside PMA	MINIMUM STORE SIZE SQUARE FEET	TOTAL POSSIBLE SQUARE FEET
Grocery & Drug	\$9,100	\$39,000,000	25%	65%	7%	\$3,200,000	\$2,000,000	30%	\$607,000	\$3,800,000	\$550	6,900	7,600	12,500 - 30,000	0
Restaurant & Specialty	\$4,400	\$18,900,000	40%	75%	12%	\$1,900,000	\$980,000	60%	\$588,000	\$2,500,000	\$425	5,800	6,700	1,500	6,000
Boutique Soft Goods	\$2,100	\$9,000,000	4%	75%	1%	\$92,000	\$460,000	2%	\$9,000	\$101,000	\$350	290	320	2,000	0
Home Goods	\$1,200	\$5,200,000	4%	75%	1%	\$52,000	\$267,000	2%	\$5,000	\$57,000	\$350	170	180	1,500	0
Florist/Gift/Hobby	\$2,400	\$10,400,000	6%	75%	2%	\$160,000	\$540,000	8%	\$43,000	\$203,000	\$350	580	640	1,200	0
Electronics	\$1,700	\$7,100,000	4%	75%	1%	\$71,000	\$370,000	2%	\$7,000	\$79,000	\$400	200	220	2,500	0
Beer/Wine/Specialty	\$500	\$2,200,000	9%	75%	2%	\$48,000	\$115,000	35%	\$40,000	\$88,000	\$450	200	220	1,300	0
+ 15% Additional SF for Services														1,500	1,500
<b>TOTAL SUPPORTABLE SF</b>															<b>7,500</b>

<sup>1</sup> Based on number of households from the November 2015 Conceptual Plan and RCLCO's estimates for average home prices. The retail demand would be slightly less under scenarios that have fewer total units.

Source: RCLCO

## Retail Concept Program 3: Trader Joe's

- Finally, RCLCO evaluated the potential for a center anchored by a Trader Joe's. This was determined to be even less viable than the other two scenarios that were investigated.
- Trader Joe's is an incredibly popular and well-regarded specialty grocery store. Rather than stocking national brands, Trader Joe's exclusively sells in-house products at lower cost. Trader Joe's has had great success in smaller, urban spaces (usually around 10,000-12,000 SF) with an incredibly high sales volume.
- Trader Joe's reportedly average about \$1,700-\$1,750 per square foot in annual retail sales.

### Opportunity

- Smallest land footprint required of the three options
- Highly desirable grocer

### Tall Oaks' Challenges

- Exceedingly poor visibility
- Highest required sales per square foot
- Already another Trader Joe's in Reston, which limits the PMA

### Conclusion

A Trader Joe's is not supportable at the Tall Oaks site. There is only sufficient demand for approximately 2,800 SF of retail of this type. This is below the required threshold of 10,000-12,000 SF for this type of retailer. Without an anchor, there will only be sufficient demand for a few restaurants and limited additional neighborhood-serving retail and services.

### Summary of Retail Demand Model

RESTON DEMAND DEMOGRAPHICS	2020 DEMAND FROM PMA				2020 DEMAND FROM ON-SITE <sup>1</sup>			2020 TOTAL DEMAND			SUPPORTABLE SQUARE FOOTAGE				
	Avg. HH Spending	Expenditure of HHs in PMA	Ideal Capture Rate	Site Issues Capture Penalty	Actual Capture of PMA	Subtotal from PMA	Expenditures of On-Site HHs	Capture Rate	Subtotal from On-Site HHs	Total Est. On-Site Retail Spending	Est. Sales PSF	Supportable SF from PMA + On-Site HH	Addl. 10%-15% from Outside PMA	MINIMUM STORE SIZE	TOTAL POSSIBLE SQUARE FEET
Grocery & Drug	\$9,100	\$39,000,000	25%	65%	9%	\$3,700,000	\$2,000,000	30%	\$607,000	\$4,300,000	\$1700	2,600	2,800	10,000 - 12,000	0
Restaurant & Specialty	\$4,400	\$18,900,000	40%	75%	10%	\$1,900,000	\$980,000	60%	\$588,000	\$2,300,000	\$425	5,800	6,700	1,500	6,000
Boutique Soft Goods	\$2,100	\$9,000,000	4%	75%	1%	\$92,000	\$460,000	2%	\$9,000	\$101,000	\$350	290	320	2,000	0
Home Goods	\$1,200	\$5,200,000	4%	75%	1%	\$52,000	\$267,000	2%	\$5,000	\$7,000	\$350	170	180	1,500	0
Florist/Gift/Hobby	\$2,400	\$10,400,000	6%	75%	2%	\$160,000	\$540,000	8%	\$43,000	\$203,000	\$350	580	640	1,200	0
Electronics	\$1,700	\$7,100,000	4%	75%	1%	\$71,000	\$370,000	2%	\$7,000	\$79,000	\$400	200	220	2,500	0
Beer/Wine/Specialty	\$500	\$2,200,000	9%	75%	2%	\$48,000	\$115,000	35%	\$40,000	\$88,000	\$450	200	220	1,300	0
+ 15% Additional SF for Services														1,500	1,500
<b>TOTAL SUPPORTABLE SF</b>															<b>7,500</b>

<sup>1</sup> Based on number of households from the November 2015 Conceptual Plan and RCLCO's estimates for average home prices. The retail demand would be slightly less under scenarios that have fewer total units.

Source: RCLCO

# Tall Oaks Retail Opportunities Conclusion

• After extensive research on Tall Oaks site conditions, the competitive retail environment and local and regional trends in retailer requirements, and demand and likely capture rates for various types of retailers, RCLCO reached the following conclusions:

1. **A grocery store anchor is not supportable at the Tall Oaks site** – There are multiple existing grocers within close proximity to Tall Oaks that are already meeting the needs of the existing households in the PMA. The demand from new residents on the Tall Oaks site would not be able to make up this gap to support a grocer. Additionally, the extremely poor visibility and track record of failed grocery stores at Tall Oaks would dissuade any potential tenant from leasing at the location. Without a grocery anchor, it will be much more difficult to attract desirable retailers and for retailers to succeed.
2. **There may be limited opportunity for a discount retailer on the site, but it would not serve neighborhood needs** – Such a retail anchor could be drawn to the site due to the relative affluence of the surrounding area and low rents in the existing retail center. However, this type of retailer would not have the same kind of positive impact to draw neighborhood-serving, ancillary retail uses.
3. **Food-service, specialty food, and service-based retail is supportable on the site** – Based on overall demand, RCLCO’s professional opinion is that approximately 7,500 SF of this type of retail would be supportable on the site. Such a mix of retailers would serve the convenience needs of the on-site residents and local neighborhood.



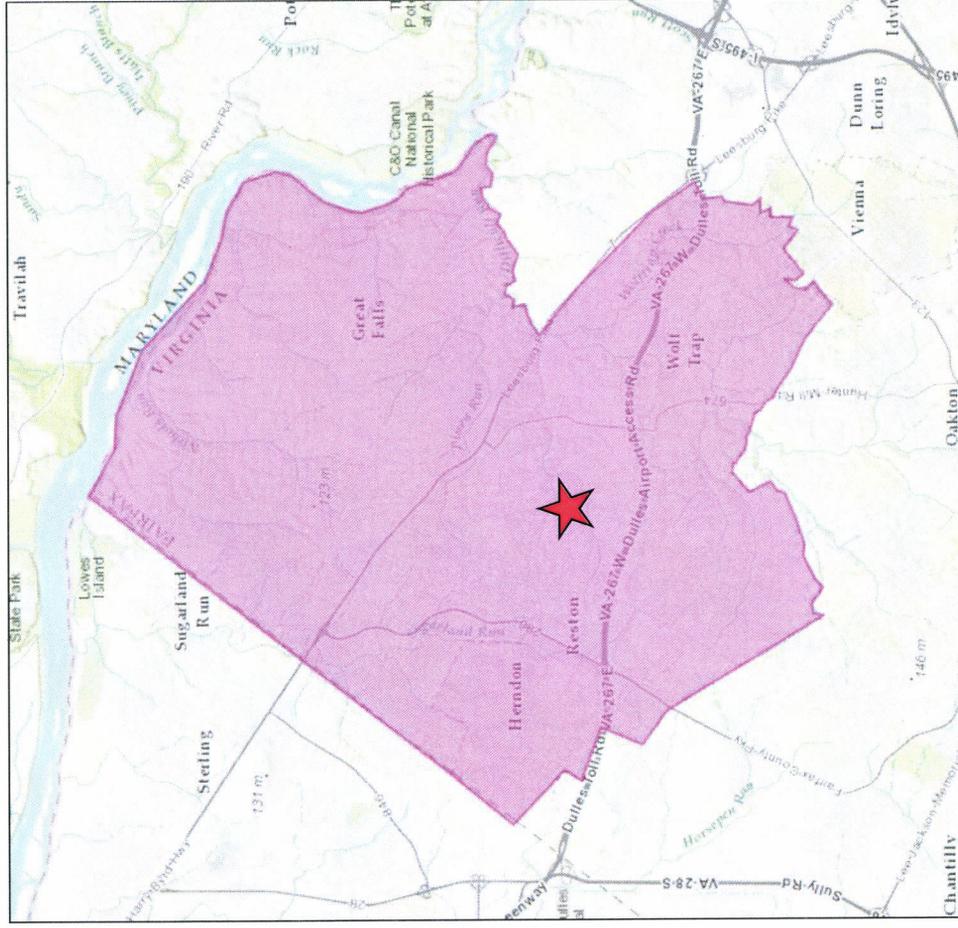
# Residential Market Analysis

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## Residential PMA

- The residential primary market area (PMA) includes Reston, Herndon, Great Falls, and Wolf Trap, VA, all located in Fairfax County around 20-30 minutes west of Washington, D.C.
- The introduction of the Silver Line has made the PMA even more attractive for those commuting into Washington, D.C., the Rosslyn-Ballston corridor, and Tysons.
- New residential development will likely be further spurred by the extension of the Metro Silver Line farther west. Developers are recognizing the market potential, as indicated by a strong pipeline of residential projects near stations. Most of the planned units are likely to be rental apartments, although some will be condos. Very few, if any, of these new units are expected to be townhomes or two-over-tuos.
- Development has also increased in Loudoun County, with generally lower prices than in western Fairfax County.
- Reston is a very desirable residential location, with locations in or close to Reston Town Center garnering the highest prices and rents.

Primary Market Area Map; Reston, VA



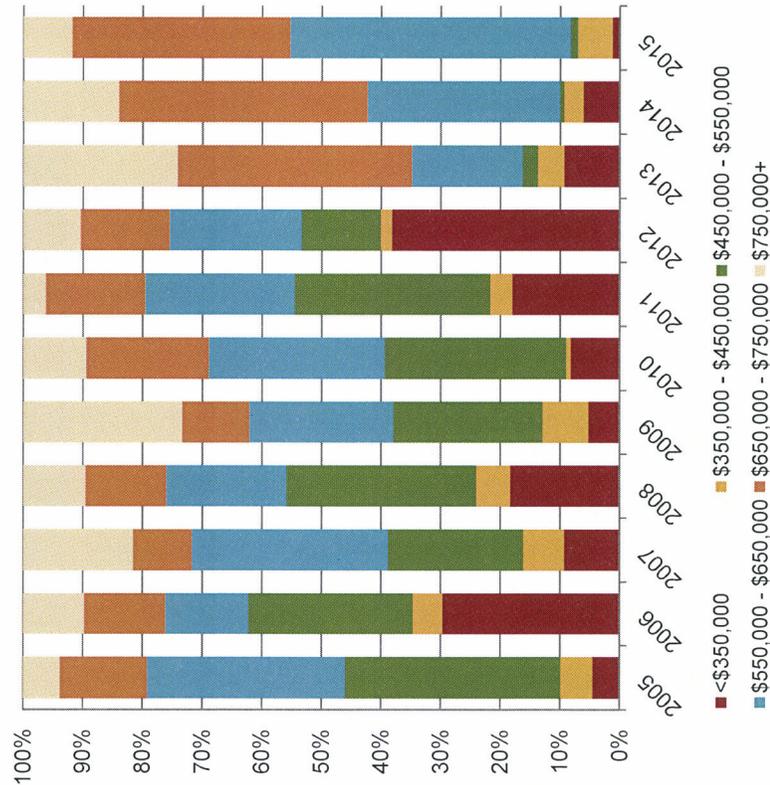
KEY:  Primary Market Area:  Subject Site:

## Market Conditions in Fairfax County

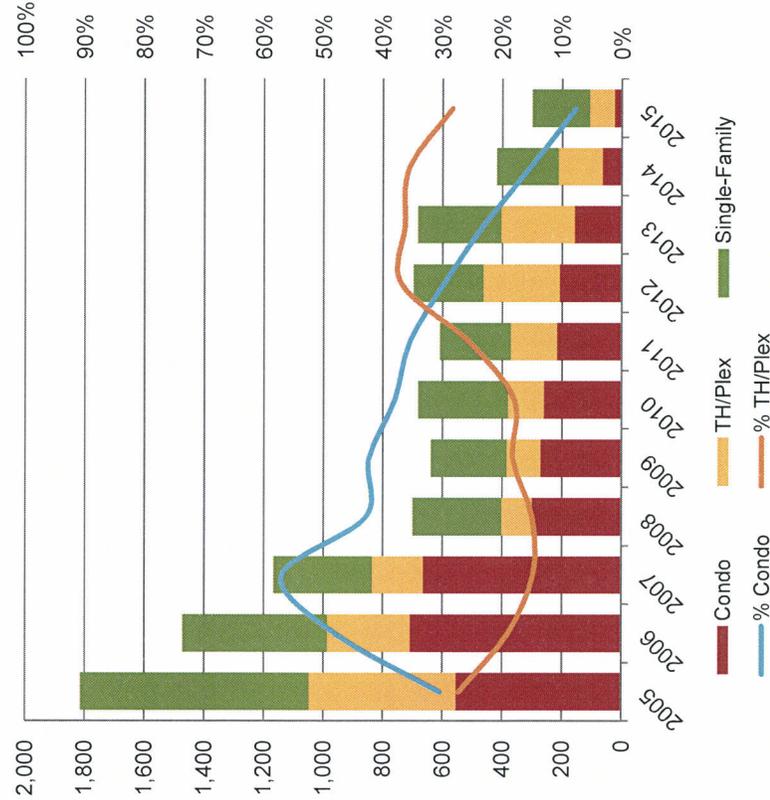
- The percentage of townhome sales (new and resale) in Fairfax County priced \$550,000 and above, and \$650,000 and above, increased dramatically from 2011/12 to 2015. Prices have been increasing overall, with townhome sales less than \$350,000 dropping from a high of around 35% to less than 5% in 2015.

- The decreasing sales at the top of the townhome market is likely attributable to limited supply, as much as a change in demand. The number of new home sales has dropped precipitously in the last 10 years. The percentage of townhome sales decreased by around 10% from a high in 2012/2013 to 2015. An even more extreme path is evident for condos, seeing their market share decrease from over 50% in 2007 to less than 10% in 2015.

Townhome Sales, Fairfax County, 2005-2015



Total New Homes Sold by Product Type, Fairfax County, 2005-2015



Source: RealQuest

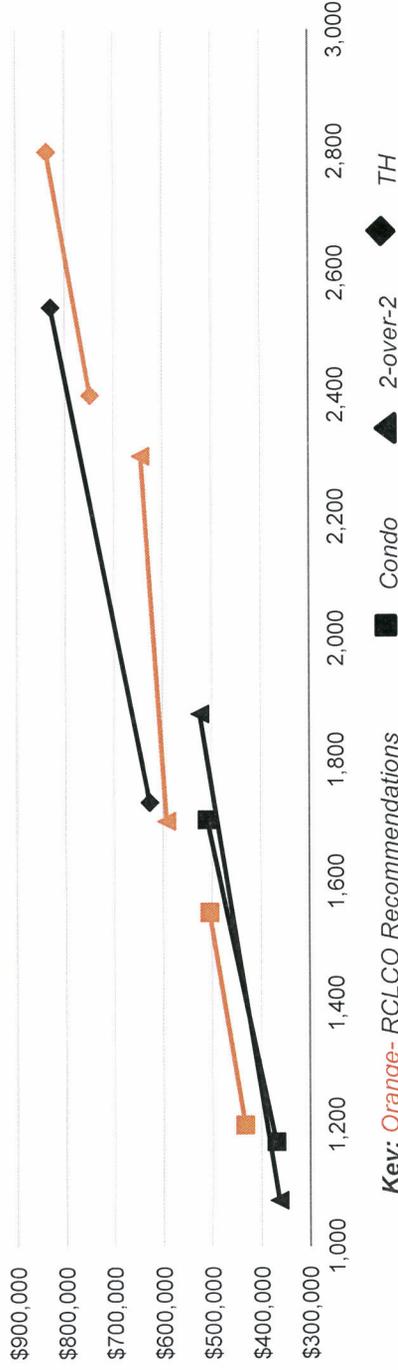


# For-Sale Housing Price and Size Positioning

Using market information regarding comparable developments, RCLCO determined achievable prices and recommended unit sizes for the product types based on the November 2015 Conceptual Plan. The general positioning averages around \$565,000, or \$301/SF base price. Townhomes are the most expensive, with base prices around \$700,000, while condos are the most affordable, with base prices averaging \$470,000. These prices are generally positioned below Reston Town Center resales, which are believed to be the top of the market for the Reston area.

UNIT TYPE	# UNITS	% OF TOTAL	AVERAGE SIZE	AVERAGE BASE PRICE	AVERAGE FINAL PRICE	\$/SF
2BR/1b Condo Flat	21	30%	1,200	\$420,000	\$432,600	\$350
2BR/2b Condo Flat	49	70%	1,550	\$490,000	\$504,700	\$316
<b>Condo Subtotal</b>	<b>70</b>	<b>100%</b>	<b>1,445</b>	<b>\$469,000</b>	<b>\$483,070</b>	<b>\$326</b>
3BR Two-Over-Two	21	50%	1,700	\$570,000	\$592,800	\$335
3BR Two-Over-Two	21	50%	2,300	\$620,000	\$644,800	\$270
<b>Two-Over-Two Subtotal</b>	<b>42</b>	<b>100%</b>	<b>2,000</b>	<b>\$595,000</b>	<b>\$618,800</b>	<b>\$302</b>
3BR Townhome	35	80%	2,400	\$680,000	\$748,000	\$283
4BR Townhome	9	20%	2,800	\$760,000	\$836,000	\$271
<b>Townhome Subtotal</b>	<b>44</b>	<b>100%</b>	<b>2,480</b>	<b>\$696,000</b>	<b>\$765,600</b>	<b>\$281</b>
<b>TOTAL / AVERAGE</b>	<b>156</b>	<b>100%</b>	<b>1,886</b>	<b>\$566,949</b>	<b>\$599,301</b>	<b>\$301</b>

Recommended Unit Mix, Unit Sizes, and Price Ranges



Source: RCLCO



# Demand Analysis

- RCLCO used a proprietary, demographic-based statistical demand model to estimate the annual demand for the subject site's for-sale product types.
- RCLCO estimates that there is annual, income-qualified demand for approximately 185 condo units and 315 townhome and two-over-two units in the subject site's residential PMA. "Income-qualified" is defined as households with incomes of \$100,000 and over annually and one-half of households with incomes between \$75,000 and \$100,000.
- Because of the limited pipeline of planned for-sale housing in the PMA, it is assumed that the subject site will capture a substantial share of the demand in the area.
- Assuming the subject property captures 35% of demand, Tall Oaks should be able to achieve an average absorption rate of approximately 5-6 condominiums and 7-11 townhomes and two-over-tvos per month. At this pace, the community will sell out in approximately 12-14 months.

## Summary of Demand Analysis

Age and Income Range <sup>1</sup>	DEMAND FROM EXISTING HOUSEHOLDS				DEMAND FROM NEW HOUSEHOLDS				CONDO DEMAND				TOWNHOME & 2-OVER-2 DEMAND			
	Total HHs <sup>2</sup>	% Owners	% in Renters	Annual Owners becoming Owners <sup>3</sup>	Demand from Existing HHs	Demand from Existing HHs	Net New HHs	% Owners <sup>3</sup>	Total Owner Demand from New Demand Pool	Total For-Sale Demand	% Choosing Condo <sup>3</sup>	% Choosing New Product	Total Demand for New MF	% Choosing New Townhome Product	Total Demand for New SFA	
UNDER-\$35K	4,901	10%	35%	180	34	214	195	27%	53	267	1%	5%	3	1%	5%	
\$35K-\$50K	3,191	7%	59%	262	29	291	130	54%	70	361	16%	30%	59	7%	30%	
\$50K-\$75K	5,167	11%	55%	158	119	277	200	44%	87	364	12%	35%	43	12%	35%	
\$75K-\$100K	5,446	11%	53%	193	175	368	205	41%	84	453	12%	40%	53	16%	40%	
\$100K-\$150K	9,530	20%	69%	313	317	631	280	61%	171	801	8%	40%	66	16%	40%	
\$150K-OVER	20,393	42%	86%	716	265	981	417	81%	338	1,319	7%	50%	95	13%	50%	
<b>Total/Average</b>	<b>48,628</b>	<b>100%</b>	<b>69%</b>	<b>1,823</b>	<b>939</b>	<b>2,762</b>	<b>1,428</b>	<b>9%</b>	<b>803</b>	<b>3,565</b>	<b>9%</b>	<b>320</b>	<b>12%</b>	<b>438</b>		

Capture Rate Analysis		CONDO	TH & 2-OVER-2
Annual Units Delivering in Similar Time Frame		400	150
Units at Subject Site		70	86
Subject Site Capture Rate		35.0%	35.0%
Subject Site Capture of Income-Qualified Demand		66	111
Market Exposure (Months to 100% occupancy)		12.8	9.3
Units Purchased Per Month		5.5	9.2

<sup>1</sup> Assumes that mortgage payments make up 24%-34% of monthly household budget

<sup>2</sup> ESRI estimate

<sup>3</sup> Estimates based on Census data and further adjusted by RCLCO

Source: RCLCO

# Supply and Demand Summary

- After determining the amount of income-qualified, annual demand for new condominiums, townhomes, and two-over-two units in the PMA, RCLCO further analyzed the projected supply to evaluate the likely absorption pace and overall health in the market.
- Clearly, there is much pent-up demand for these product types in the PMA. This is due to the lack of new deliveries in recent years, coupled with strong job and income growth in the immediate area. It is likely that households that prefer to live in the PMA are constrained in their choices and are buying in the resale market or in other areas rather than new product in Reston because it is simply unavailable.
- There is much greater demand for townhomes and two-over-twos than for condos. Demand for all product types is expected to continue to increase with the arrival and further extension of the Silver Line.
- There is a slight supply risk for condominiums, given the planned delivery of 400 luxury condo units in Momentum, a project in the second phase of Comstock's Reston Station development. However, even if this project and the subject site development deliver concurrently, RCLCO anticipates that the absorption pace at Tall Oaks will still be a robust 5-6 units monthly.

## Summary of Supply and Absorption Analysis

PMA SUPPLY AND DEMAND BALANCE	CONDOMINIUM ANALYSIS			TOWNHOME & 2-OVER-2 ANALYSIS		
	LOW DEMAND	RCLCO ESTIMATE	HIGH DEMAND	LOW DEMAND	RCLCO ESTIMATE	HIGH DEMAND
Total Income-Qualified Annual Demand	187			316		
Projected Demand Variance	100%		110%	100%		110%
Annual Condo Demand	169	187	206	284	316	348
<b>Total 3-Year Demand</b>	<b>506</b>	<b>562</b>	<b>619</b>	<b>853</b>	<b>948</b>	<b>1,043</b>
<b>Planned and Proposed 3-Year Supply<sup>1</sup></b>	<b>470</b>	<b>470</b>	<b>470</b>	<b>291</b>	<b>291</b>	<b>291</b>
	<b>Oversupply or (Undersupply)</b>					
If 70% of Planned Supply Delivers	(177)	(233)	(290)	(650)	(745)	(839)
If 80% of Planned Supply Delivers	(130)	(186)	(243)	(621)	(716)	(810)
If 90% of Planned Supply Delivers	(83)	(139)	(196)	(592)	(686)	(781)
If 100% of Planned Supply Delivers	(36)	(92)	(149)	(562)	(657)	(752)
If 110% of Planned Supply Delivers	11	(45)	(102)	(533)	(628)	(723)
	<b>Projected 2018 Monthly Absorption Pace</b>					
If 25% Capture Rate for New Product	3.5	3.9	4.3	5.9	6.6	7.2
If 30% Capture Rate for New Product	4.2	4.7	5.2	7.1	7.9	8.7
If 35% Capture Rate for New Product	4.9	5.5	6.0	8.3	9.2	10.1
If 40% Capture Rate for New Product	5.6	6.2	6.9	9.5	10.5	11.6
If 45% Capture Rate for New Product	6.3	7.0	7.7	10.7	11.9	13.0

<sup>1</sup> Includes subject site units  
Source: RCLCO

# Market Audience Segments



	POST-GRAD	YOUNG PROFESSIONAL	FAMILY	NEVER NESTER	EMPTY NESTER
<b>Description</b>	Just completed degree, in first job or grad school, single	Well into career, singles and couples	Children at home, usually young children	Couples and singles, established wealth	Couple or single, active in community and socially
<b>Motivated By...</b>	Price-point, location, transit	Location, amenities, quality, transit	Value-orientation, convenience, good schools	Nice finishes and amenities, convenience	Downsizing, urban living, nice finishes
<b>Moves from</b>	College housing	Washington, D.C., or inside the Beltway	Fairfax or Arlington Counties	Reston, Western Fairfax County	Reston, Western Fairfax County
<b>Age Range</b>	Early and mid 20s	Late 20s and 30s	30s and 40s	Late 30s, 40s, some 50s	60s, 70s
<b>Location Preferences</b>	Walkable urban, affordable, transit	Walkable urban, close to employment	Good school district, close to employment, retail	Walkable, sensitive to reputation	Walkable, urban-suburban locations
<b>Opportunity to Capture</b>	Anticipated price points will be too high to capture this demographic	Largest market segment; likely moving out of sub-par housing, ready for something new in an area with access to jobs and good schools	Will be attracted to family-friendly nature of Reston and strong school district. Will be interested in largest townhomes and two-over-twos	With the robust job growth that Fairfax continues to experience, more mature working professionals will be looking for top-end housing options in the area	This demographic will likely be downsizing but still wanting to remain in Reston.

Source: RCLCO



# Target Market Segments

- Due to the location of the site and demographic trends in the PMA, the likely target market audiences at the community will consist mostly of young professionals, families, never nesters, and empty nesters, including professional singles, couples, and families.
- These market segments comprise approximately 230 households that can afford luxury, new product annually within the PMA. There are also an additional 265 market-rate buyers, some of whom the subject site could capture as well.
- RCLCO recommends that the subject site target the luxury end of the market, with a particular focus on older buyers looking to downsize while still remaining in the area.
- There is also a strong opportunity to capture older young professionals who are transitioning to a family-oriented lifestyle.

## Market Segmentation Definitions

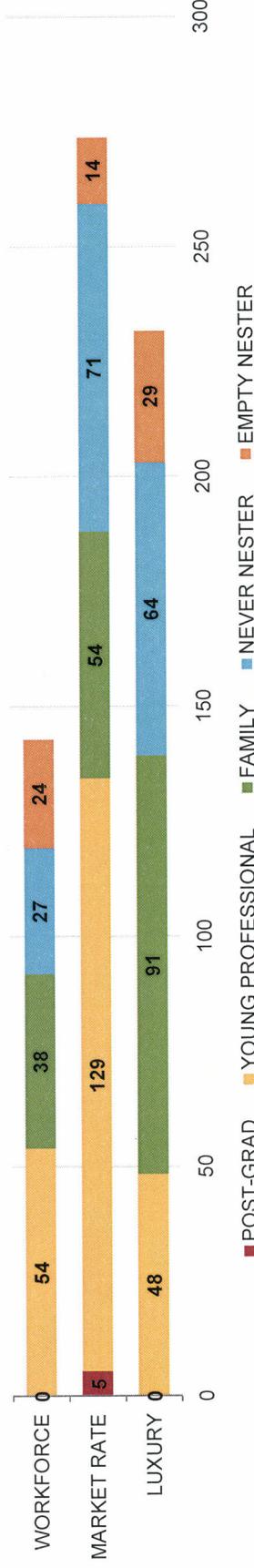
Market Segments				
POST-GRAD	YOUNG PROFESSIONAL	FAMILY	NEVER NESTER	EMPTY NESTER
Age 18-24 Roommates: Less than \$100k Single: Less than \$50k	Age 25-34 Roommates: \$35k-\$50k Singles and Couples: \$35k-\$50k	Any household with children  Incomes \$35k-\$100k	Age 35-54 Roommates: \$35k-\$100k Singles and Couples: \$35k-\$75k	Age 55+ Roommates: \$35k-\$100k Singles and Couples: \$35-\$75k
Age 18-24 Roommates: Over \$100k Single: \$50k-\$100k	Age 25-34 Roommates: \$50k-\$150k Singles and Couples: \$50k-\$150k	Any household with children  Incomes \$100k-\$150k	Age 35-54 Roommates: Over \$100k Singles and Couples: \$75k-\$150k	Age 55+ Roommates: Over \$100k Singles and Couples: \$75k-\$150k
	Age 25-34 Singles and Couples: Over \$150k	Any household with children  Incomes \$150k+	Age 35-54 Singles and Couples: Over \$150k	Age 55+ Singles and Couples: Over \$150k

WORKFORCE

MARKET RATE

LUXURY

Distribution of Annual New Condo, Townhome and Two-Over-Two Demand in the PMA by Market Segments



Source: RCLCO



# Comparable Properties Summary

- To understand market dynamics and pricing, RCLCO evaluated comparable communities in the PMA. These communities include newly constructed properties within close proximity to the subject site as well as selected resales of other properties based on their age, proximity to the site, and overall quality.

MAP KEY	PROPERTY	BUILDER	YEAR BUILT	# OF HOMES	AVG. BASE PRICE	PRICE \$/SF	AVG. FINAL PRICE	PRICE \$/SF
1	Townes at Hallcrest	Comstock	2014	42	\$405,990	\$197	\$438,469	\$207
2	Loudoun Valley	Toll Brothers	2015	401	\$491,890	\$237	\$541,079	\$267
3	Westmoore	NV/Homes	2015	300	\$547,000	\$223	\$601,700	\$234
4	Westmoore	Ryan Homes	2015	300	\$496,992	\$252	\$546,691	\$252
5	Discovery Square	NV/Homes	2014	85	\$613,859	\$275	\$675,245	\$275
6	Links Drive <sup>1</sup>	N/A	1968	28	\$420,370	\$199	\$462,414	\$199
7	West Market <sup>1</sup>	N/A	1998	20	\$728,000	\$375	\$801,000	\$375
8	East Gate	KB Home	2015	158	\$346,490	\$166	\$381,139	\$182
9	Discovery Square	Ryan Homes	2014	208	\$450,000	\$213	\$450,000	\$213
10	Crescent Collection	Wormald	2016	N/A	\$472,740	\$225	\$472,740	\$225
11	Loudoun Valley	Toll Brothers	2015	306	\$344,495	\$187	\$378,945	\$187
12	Lincoln Park <sup>1</sup>	N/A	1999	104	\$454,686	\$329	\$500,155	\$329
13	Discovery Square	K Hovnanian	2014	100+	-	-	\$368,990	\$299
14	The Flats at MetroWest <sup>1</sup>	Pulte	2014	128	-	-	\$559,990	\$401
15	Madison Park at West Market <sup>1</sup>	VanMetre	2000	98	-	-	\$423,816	\$313
16	Fortnightly Square <sup>1</sup>	Carr Homes	2005	N/A	-	-	\$269,627	\$238
17	Potomac Green <sup>2</sup>	Del Webb	2012	N/A	-	-	\$293,490	\$231
18	The Mercer	JBG	2006	300+	-	-	\$316,218	\$352
19	Stratford at Reston Town Ctr.	Renaissance	1998	338	-	-	\$521,347	\$428

<sup>1</sup> Resale data. Base prices have been estimated.

<sup>2</sup> Age-restricted community

Source: Leasing agent interviews; Builder websites

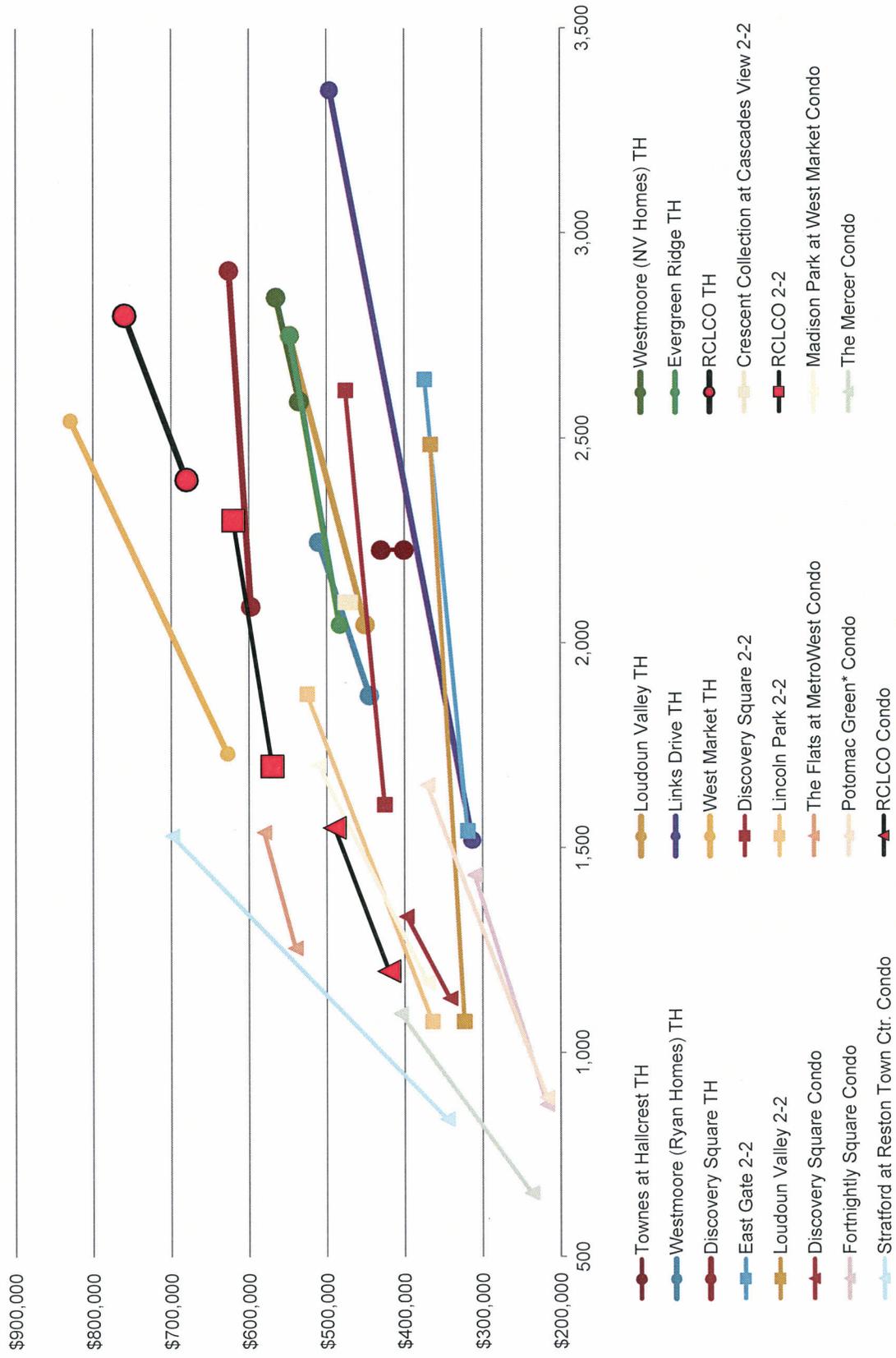
Map of Comparable Properties



KEY ■ Townhomes ■ 2-over-2 ■ Condo



# Price-to-Size Comparison



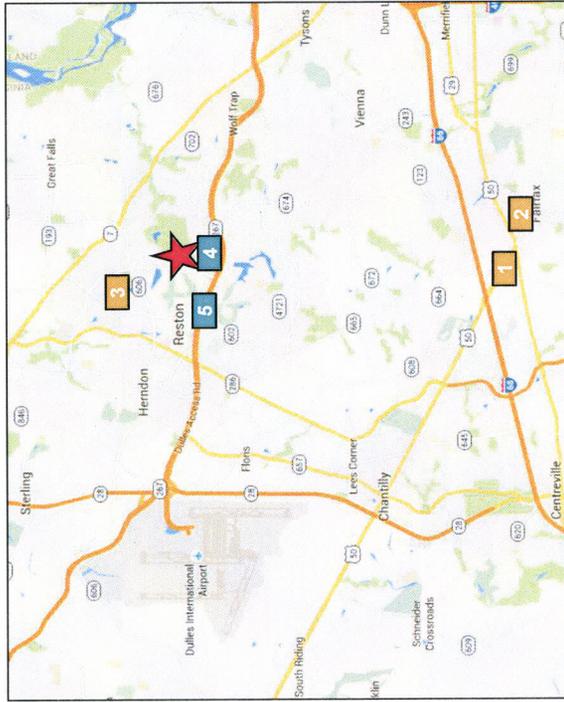
Source: RCLCO



# Planned and Proposed

- The proposed townhome and two-over-two projects include two Metro-accessible sites, as well as two located near the City of Fairfax. In addition to those shown, there are also a number of currently selling projects, including Discovery Square, that have additional phases planned.

Map of Planned & Proposed Townhome and 2-over-2 Projects

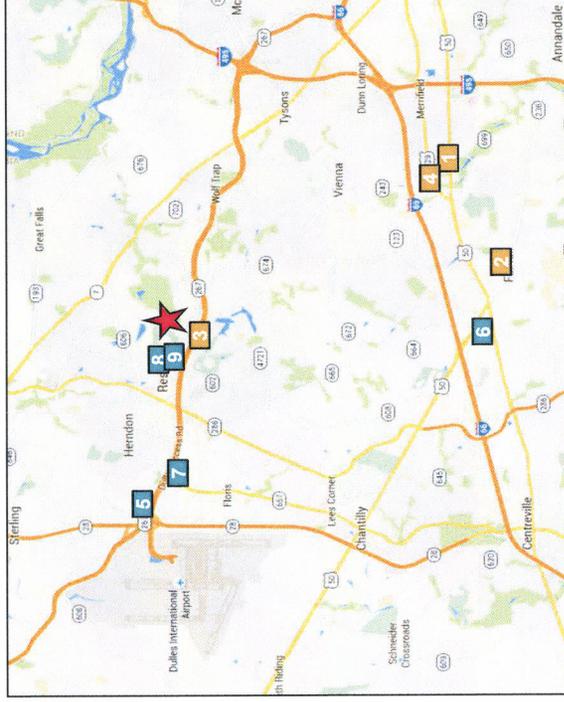


MAP KEY	COMMUNITY	UNITS	STATUS	EST. OPENING
<b>Short Term Planned and Proposed</b>				
1	8301 Lee Highway (Vienna Metro)	141	Planned	2017/2018
2	Oak Knolls development (Condo & TH)	40	Planned	2017/2018
3	St John's Wood (Apt. & TH)	34	Planned	2017/2018
<b>Long Term Planned and Proposed</b>				
4	The Lofts at Reston Station	42	Proposed	2018+
5	American Press Institute Site	37	Proposed	2018+

Source: Leasing agent interviews; Apartment websites

- The pipeline for condominium projects is less certain, as some planned projects could be developed as either rentals or condos. Their impact on demand at Tall Oaks will depend on tenure, quality, and delivery date.

Map of Planned and Proposed Condominium Communities



MAP KEY	COMMUNITY	UNITS	STATUS	EST. OPENING
<b>Short Term Planned and Proposed</b>				
1	The Enclave	80	Proposed	2018
2	Oak Knolls development (Condo & TH)	94	Proposed	2018
3	Momentum	400	Proposed	2019
4	MetroWest - Mid/High Rise	848	Site Plan	2020+
<b>Long Term Planned and Proposed</b>				
5	The Rocks	411	Proposed	2020+
6	Fairfax Corner	290	Site Plan	2020+
7	Arrowbrook Center - Phase III	508	Proposed	2020+
8	Spectrum North I & II	880	Proposed	2020+
9	Spectrum South	546	Proposed	2020+

## Critical Assumptions

Our conclusions are based on our analysis of the information available from our own sources and from the client as of the date of this report. We assume that the information is correct, complete, and reliable.

We made certain assumptions about the future performance of the global, national, and local economy and real estate market, and on other factors similarly outside either our control or that of the client. We analyzed trends and the information available to us in drawing these conclusions. However, given the fluid and dynamic nature of the economy and real estate markets, as well as the uncertainty surrounding particularly the near-term future, it is critical to monitor the economy and markets continuously and to revisit the aforementioned conclusions periodically to ensure that they are reflective of changing market conditions.

We assume that the economy and real estate markets will grow at a stable and moderate rate to 2020 and beyond. However, stable and moderate growth patterns are historically not sustainable over extended periods of time, the economy is cyclical, and real estate markets are typically highly sensitive to business cycles. Further, it is very difficult to predict when an economic and real estate upturn will end.

With the above in mind, we assume that the long-term average absorption rates and price changes will be as projected, realizing that most of the time performance will be either above or below said average rates.

Our analysis does not consider the potential impact of future economic shocks on the national and/or local economy, and does not consider the potential benefits from major "booms" that may occur. Similarly, the analysis does not reflect the residual impact on the real estate market and the competitive environment of such a shock or boom. Also, it is important to note that it is difficult to predict changing consumer and market psychology.

As such, we recommend the close monitoring of the economy and the marketplace, and updating this analysis as appropriate.

Further, the project and investment economics should be "stress tested" to ensure that potential fluctuations in revenue and cost assumptions resulting from alternative scenarios regarding the economy and real estate market conditions will not cause failure.

In addition, we assume that the following will occur in accordance with current expectations:

- Economic, employment, and household growth.
- Other forecasts of trends and demographic and economic patterns, including consumer confidence levels.
- The cost of development and construction.
- Tax laws (i.e., property and income tax rates, deductibility of mortgage interest, and so forth).
- Availability and cost of capital and mortgage financing for real estate developers, owners and buyers.
- Competitive projects will be developed as planned (active and future) and that a reasonable stream of supply offerings will satisfy real estate demand.
- Major public works projects occur and are completed as planned.

Should any of the above change, this analysis should be updated, with the conclusions reviewed accordingly (and possibly revised).

## General Limiting Conditions

Reasonable efforts have been made to ensure that the data contained in this study reflect accurate and timely information and are believed to be reliable. This study is based on estimates, assumptions, and other information developed by RCLCO from its independent research effort, general knowledge of the industry, and consultations with the client and its representatives. No responsibility is assumed for inaccuracies in reporting by the client, its agent, and representatives or in any other data source used in preparing or presenting this study. This report is based on information that to our knowledge was current as of the date of this report, and RCLCO has not undertaken any update of its research effort since such date.

Our report may contain prospective financial information, estimates, or opinions that represent our view of reasonable expectations at a particular time, but such information, estimates, or opinions are not offered as predictions or assurances that a particular level of income or profit will be achieved, that particular events will occur, or that a particular price will be offered or accepted. Actual results achieved during the period covered by our prospective financial analysis may vary from those described in our report, and the variations may be material. Therefore, no warranty or representation is made by RCLCO that any of the projected values or results contained in this study will be achieved.

Possession of this study does not carry with it the right of publication thereof or to use the name of "Robert Charles Lesser & Co." or "RCLCO" in any manner without first obtaining the prior written consent of RCLCO. No abstracting, excerpting, or summarization of this study may be made without first obtaining the prior written consent of RCLCO. This report is not to be used in conjunction with any public or private offering of securities or other similar purpose where it may be relied upon to any degree by any person other than the client without first obtaining the prior written consent of RCLCO. This study may not

be used for any purpose other than that for which it is prepared or for which prior written consent has first been obtained from RCLCO.

## Appendix: Supporting Exhibits

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# JEFFERSON APARTMENT GROUP

## LIST OF EXHIBITS

### I. ECONOMICS AND DEMOGRAPHICS

- Exhibit I-1* Regional Map; Select Geographies; 2016
- Exhibit I-2* Summary of Demographic Characteristics; PMA (Fairfax County), City of Reston, and Washington-Arlington-Alexandria, MSA; 2000, 2015 and 2020
- Exhibit I-3* Population Growth; Washington, D.C.-Arlington-Alexandria MSA; 1990-2040
- Exhibit I-4* Household Growth and Persons Per Household; Washington, D.C.-Arlington-Alexandria MSA; 1990-2040
- Exhibit I-5* Household Growth; Reston, Fairfax County, and Washington, D.C MSA; 2000-2020
- Exhibit I-6* Single-Family and Multifamily Building Permits; Washington, D.C.-Arlington-Alexandria MSA; 1980-2030
- Exhibit I-7* Median Existing Single-Family Home Price; Washington, D.C.-Arlington-Alexandria MSA; 1980-2030
- Exhibit I-8* Median Household Income; Washington, D.C.-Arlington-Alexandria MSA; 1980-2030
- Exhibit I-9* Annual Employment Growth; Washington, D.C.-Arlington-Alexandria MSA; 1990-2040
- Exhibit I-10* Job Growth by Sector; Washington, D.C.-Arlington-Alexandria MSA; 2000-2040
- Exhibit I-11* Top Employers in Primary Market Area; Fairfax County, VA; 2016
- Exhibit I-12* Where Employees in Reston, VA Live; Washington, D.C.-Arlington-Alexandria MSA; 2013
- Exhibit I-13* Where Residents of Reston, VA Work; Washington, D.C.-Arlington-Alexandria MSA; 2013
- Exhibit I-14* Age of Householder by Income; Washington, D.C.-Arlington-Alexandria MSA; 2015
- Exhibit I-15* Age of Householder by Income; Washington, D.C.-Arlington-Alexandria MSA; 2020
- Exhibit I-16* Age of Householder by Income; Secondary Market Area; 2015

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*Exhibit I-17* Age of Householder by Income; Secondary Market Area, 2020

*Exhibit I-18* Subject Site Analysis; Tall Oaks Site; 2016

## **II. RETAIL MARKET ANALYSIS**

*Exhibit II-1* Surrounding Grocers; Subject Area; 2016

*Exhibit II-2* Village Centers of Reston; Reston, VA; 2016

*Exhibit II-3* Local Retail Market Overview; Reston, VA; February 2016

*Exhibit II-4* Selected Retail and Other Properties; Reston, VA; February 2016

*Exhibit II-5* Overview of Planned and Proposed Retail Centers; Reston, VA; 2016

*Exhibit II-6* Retail Market Statistics; Reston, VA; 2016

*Exhibit II-7* Retail Vacancy Rate and Square Footage by Center Type; Reston, VA; 2016 QTD

*Exhibit II-8* Current Retail Under and Over Supply; Reston, VA; February 2016

*Exhibit II-9* Current Retail Under and Over Supply; 1 Mile Radius; February 2016

*Exhibit II-10* Current Retail Under and Over Supply; 3 Mile Radius; February 2016

*Exhibit II-11* Site Selection Criteria For High End Retailers; United States; 2015

## **III. RESIDENTIAL MARKET ANALYSIS**

*Exhibit III-1* Proposed For-Sale Program Based On Competitive Market; Tall Oaks; February 2016

*Exhibit III-2* Alternative For-Sale Programs Based On Competitive Market; Tall Oaks; February 2016

*Exhibit III-3* Residential Building Permits and Percent Multifamily; Fairfax County, VA; 2000-2015

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- Exhibit III-4* Fairfax County Capture of MSA Total Residential Building Permits; Fairfax County, VA; 2000-2015
- Exhibit III-5* Historical Residential Sales (All Homes); Fairfax County, VA; 2005-2015
- Exhibit III-6* Historical Residential Sales (Existing Homes); Fairfax County, VA; 2005-2015
- Exhibit III-7* Historical Residential Sales (New Homes); Fairfax County, VA; 2005-2015
- Exhibit III-8* Historical Residential Sales (Townhomes); Fairfax County, VA; 2005-2015
- Exhibit III-9* Map of For-Sale Condo and Townhome Developments; Reston and Surrounding Area; February 2016
- Exhibit III-10* For-Sale Townhomes & 2-Over-2; Reston and Surrounding Area; February 2016
- Exhibit III-11* For-Sale Condominiums; Reston and Surrounding Area; February 2016
- Exhibit III-12* Price-To-Size Relationship of Actively Selling Townhomes1; Reston and Surrounding Area; February 2016
- Exhibit III-13* Price-To-Size Relationship of Actively Selling 2-Over-21; Reston and Surrounding Area; February 2016
- Exhibit III-14* Price-To-Size Relationship of Actively Selling Condominiums1; Reston and Surrounding Area; February 2016
- Exhibit III-15* Under Construction, Planned, and Proposed Townhome and 2-Over-2 Projects; Reston and Surrounding Area; February 2016
- Exhibit III-16* Under Construction, Planned, and Proposed Condominium Projects; Reston and Surrounding Area; February 2016
- Exhibit III-17* Land Values; Reston and Surrounding Area; February 2016

## IV. RESIDENTIAL DEMAND

- Exhibit IV-1* Annual For-Sale Residential Demand; Primary Market Area; 2016-2021
- Exhibit IV-2* Condo Supply and Demand Balance; Primary Market Area; 2016-2019

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*Exhibit IV-3* Townhome and Two-Over-Two Supply and Demand Balance; Primary Market Area; 2016-2019

*Exhibit IV-4* Renter Market Segmentation Matrix - Definitions; Primary Market Area

*Exhibit IV-5* Summary of Condo and Townhome Demand by Household Segmentation; Primary Market Area; Annual 5-Year Demand

*Exhibit IV-6* Reference Map; Primary Market Area; February 2016

## V. RETAIL DEMAND

*Exhibit V-1* Retail Primary Market Area; Reston, VA; 2016

*Exhibit V-2* Retail Demand For Traditional Grocer; Retail Primary Market Area; 2015-2020

*Exhibit V-3* Retail Demand For Specialty Grocer Anchor; Retail Primary Market Area; 2015-2020

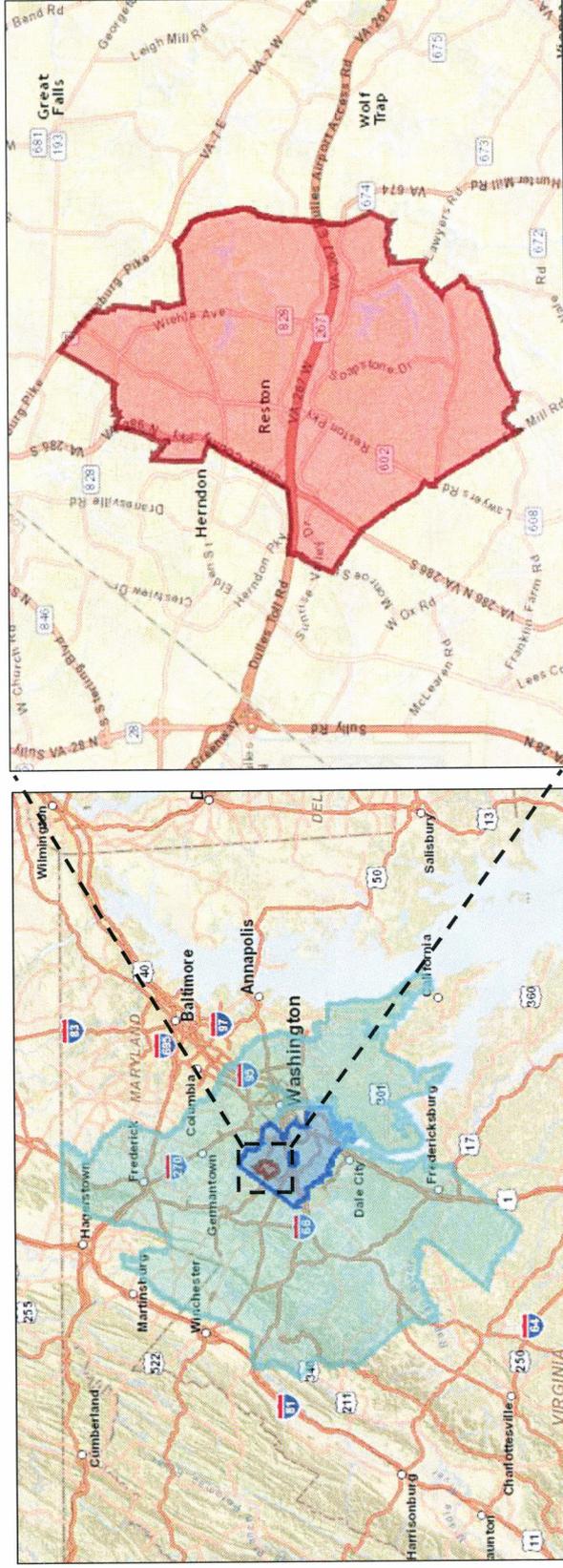
*Exhibit V-4* Retail Demand For Trader Joe's; Retail Primary Market Area; 2015-2020

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I. ECONOMICS AND DEMOGRAPHICS

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Exhibit I-1  
 REGIONAL MAP  
 SELECT GEOGRAPHIES  
 2016



Washington-Arlington-Alexandria, DC-VA-MD-WV MSA  
 Fairfax County

Reston, VA

SOURCE: Esri; RCLCO

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## Exhibit I-2

### SUMMARY OF DEMOGRAPHIC CHARACTERISTICS PMA (FAIRFAX COUNTY), CITY OF RESTON, AND WASHINGTON-ARLINGTON-ALEXANDRIA, MSA 2000, 2015 AND 2020

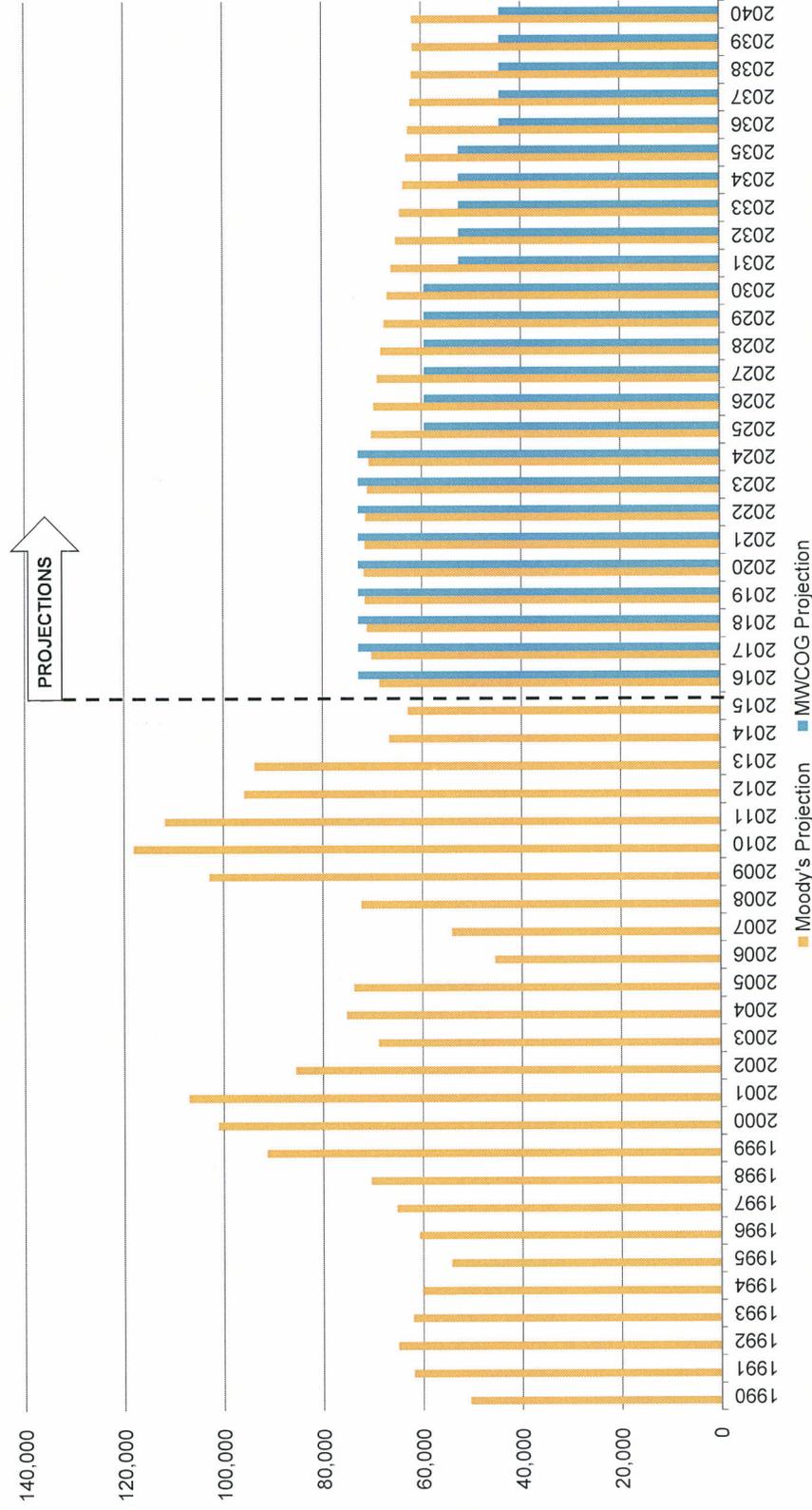
	RESTON	FAIRFAX COUNTY	MSA
<b>2000</b>			
Population	54,487	969,836	4,837,430
Households	22,756	350,752	1,815,193
Average Household Size	2.39	2.77	2.66
<b>2015</b>			
Population	59,254	1,115,882	5,941,189
2000-2015 Annual Population Growth	0.56%	0.94%	1.38%
Households	25,906	403,745	2,206,969
Average Household Size	2.29	2.76	2.69
Median Income	\$104,865	\$111,614	\$91,943
Average Income	\$132,725	\$148,413	\$120,456
Median Home Value	\$503,679	\$578,374	\$428,384
<b>2020</b>			
Population	61,295	1,168,178	6,338,910
2015-2020 Annual Population Growth	0.68%	0.92%	1.30%
Households	26,811	422,786	2,356,569
Average Household Size	2.29	2.76	2.69
Median Income	\$113,120	\$118,911	\$102,095
2015-2020 Annual Median Income Growth	1.53%	1.27%	2.12%
Median Home Value	\$640,366	\$690,981	\$510,431

SOURCE: Esri; RCLCO

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Exhibit I-3

## POPULATION GROWTH WASHINGTON, D.C.-ARLINGTON-ALEXANDRIA MSA 1990-2040

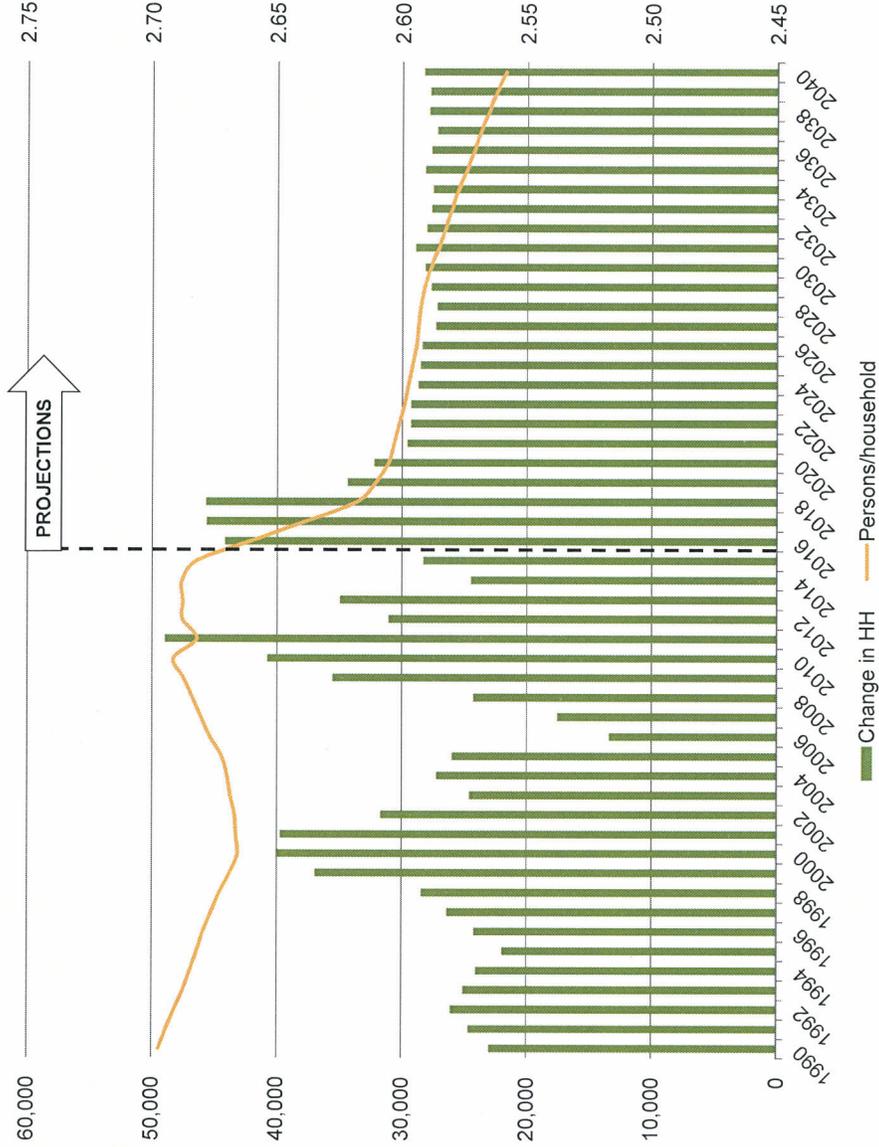


Note: MWCOC projections adjusted by 7% to reflect different MSA definitions between two data sources  
SOURCE: Moody's Analytics; ESRI; Loudoun County Gov't; MW COG

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Exhibit I-4

HOUSEHOLD GROWTH AND PERSONS PER HOUSEHOLD  
WASHINGTON, D.C.-ARLINGTON-ALEXANDRIA MSA  
1990-2040



SOURCE: Moody's Analytics

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## Exhibit I-5

### HOUSEHOLD GROWTH RESTON, FAIRFAX COUNTY, AND WASHINGTON, D.C MSA 2000-2020

	Population	HH	Persons/Household
<b>Reston</b>			
<b>2000</b>	54,487	22,756	2.39
<b>2010</b>	58,404	25,522	2.29
2000-2010 Yearly % Growth	0.63%	1.05%	
<b>2015</b>	59,254	25,906	2.29
2010-2015 Yearly % Growth	0.36%	0.37%	
<b>2020</b>	61,295	26,811	2.29
2015-2020 Yearly % Growth	0.57%	0.57%	
<b>Fairfax County</b>			
<b>2000</b>	969,836	350,752	2.77
<b>2010</b>	1,081,726	391,627	2.76
2000-2010 Yearly % Growth	1.00%	1.01%	
<b>2015</b>	1,115,882	403,745	2.76
2010-2015 Yearly % Growth	0.78%	0.76%	
<b>2020</b>	1,168,178	422,786	2.76
2015-2020 Yearly % Growth	0.77%	0.77%	
<b>WASHINGTON D.C. MSA</b>			
<b>2000</b>	4,837,430	1,815,193	
<b>2010</b>	5,636,232	2,094,033	2.69
2000-2010 Yearly % Growth	1.40%	1.31%	
<b>2015</b>	5,941,189	2,206,969	2.69
2010-2015 Yearly % Growth	1.33%	1.32%	
<b>2020</b>	6,338,910	2,356,569	2.69
2015-2020 Yearly % Growth	1.09%	1.10%	

SOURCE: Esri; RCLCO

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Exhibit I-6

## SINGLE-FAMILY AND MULTIFAMILY BUILDING PERMITS WASHINGTON, D.C.-ARLINGTON-ALEXANDRIA MSA 1980-2030



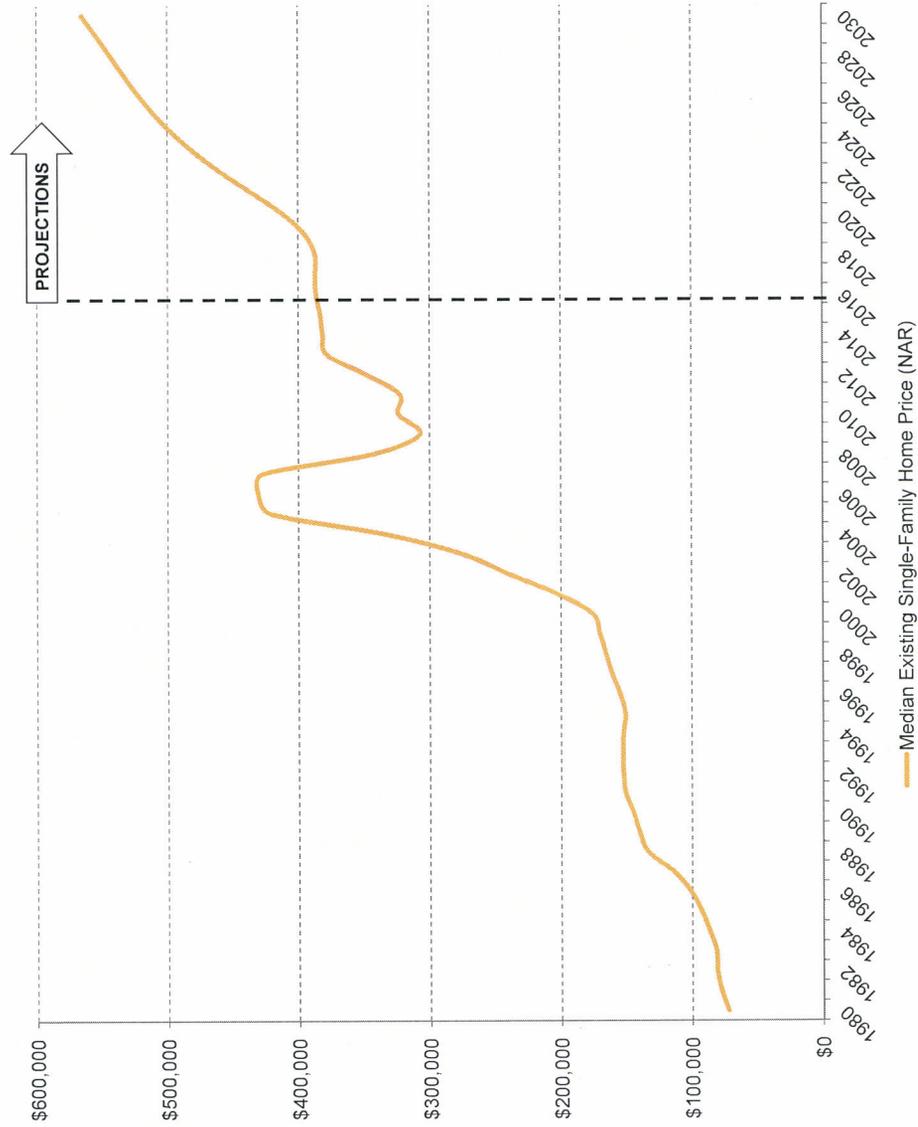
YEAR	AVG. ANNUAL PERMITS	SF	%	MF	%
1980-1985	29,144	24,271	83%	4,873	17%
1986-1990	40,698	29,175	71%	11,523	29%
1991-1995	27,165	22,904	84%	4,261	16%
1996-2000	34,414	26,037	76%	8,377	24%
2001-2005	38,175	28,105	74%	10,070	26%
2006-2010	18,382	12,627	69%	5,755	31%
2011-2015	22,840	11,866	52%	10,974	48%
2016-2020	31,871	23,769	74%	8,103	26%
2021-2025	33,321	26,496	80%	6,825	20%
2026-2030	28,283	22,709	80%	5,574	20%

SOURCE: Moody's Analytics

# JEFFERSON APARTMENT GROUP

## Exhibit I-7

**MEDIAN EXISTING SINGLE-FAMILY HOME PRICE  
WASHINGTON, D.C.-ARLINGTON-ALEXANDRIA MSA  
1980-2030**

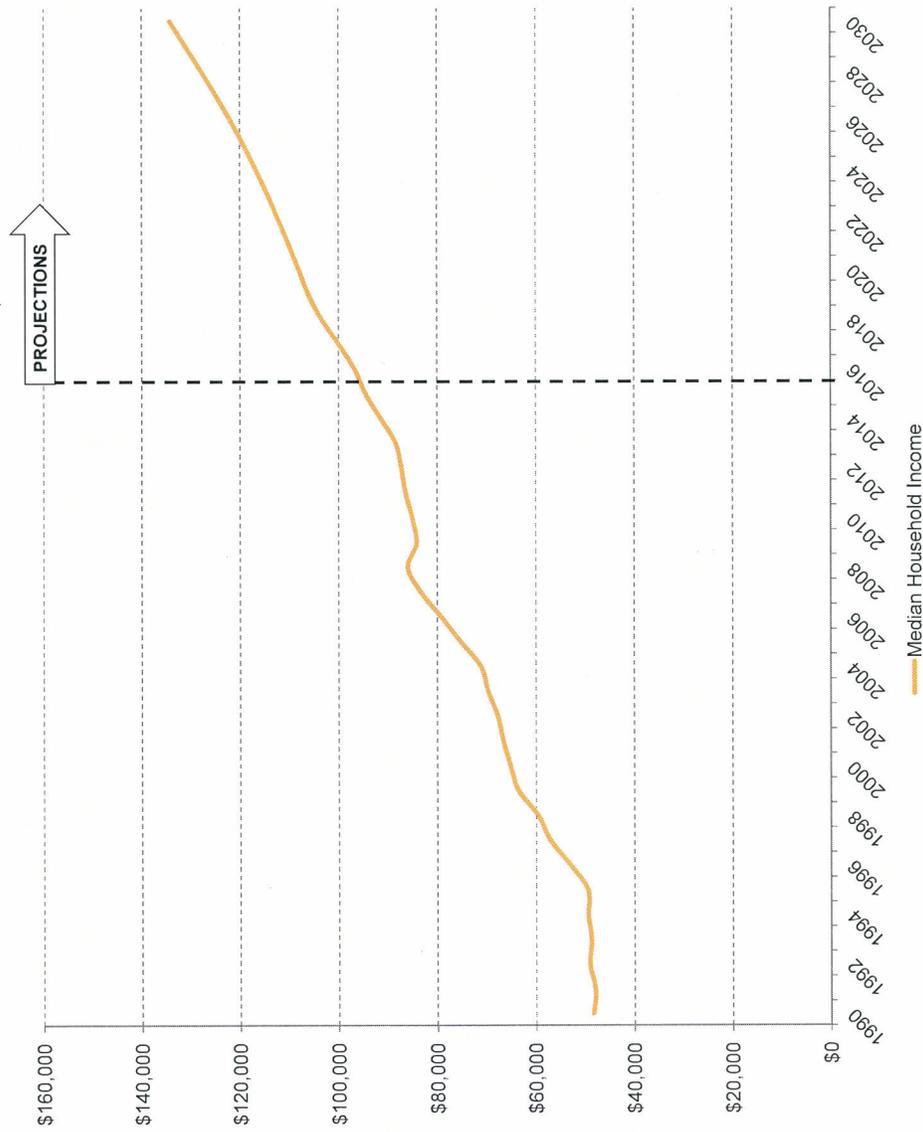


SOURCE: Moody's Analytics

# JEFFERSON APARTMENT GROUP

Exhibit I-8

MEDIAN HOUSEHOLD INCOME  
WASHINGTON, D.C.-ARLINGTON-ALEXANDRIA MSA  
1980-2030



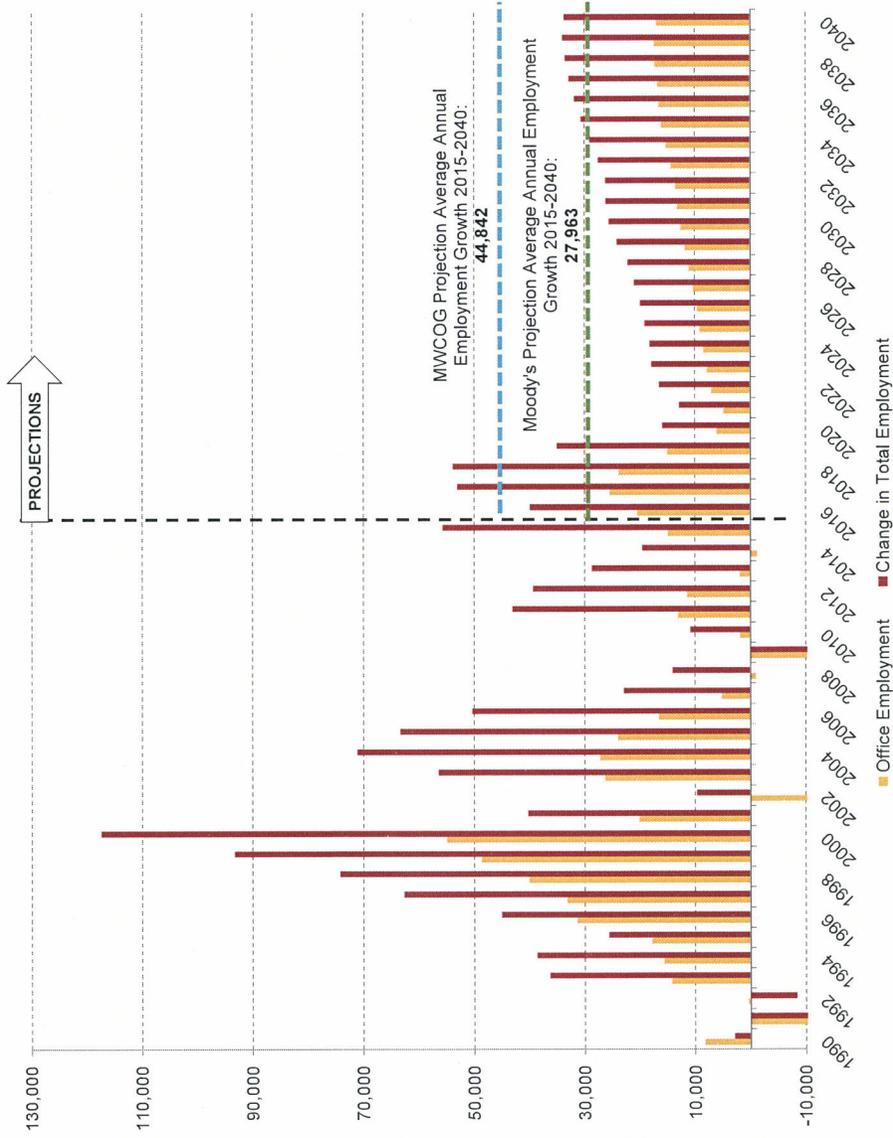
SOURCE: Moody's Analytics



# JEFFERSON APARTMENT GROUP

## Exhibit I-9

### ANNUAL EMPLOYMENT GROWTH WASHINGTON, D.C.-ARLINGTON-ALEXANDRIA MSA 1990-2040



YEAR	TOTAL EMPLOYMENT	CAGR
1990	2,261,667	
1995	2,301,975	0.35%
2000	2,694,267	3.20%
2005	2,934,892	1.73%
2010	2,981,683	0.32%
2015	3,167,653	1.22%
2020	3,365,140	1.22%
2025	3,449,356	0.50%
2030	3,561,781	0.64%
2035	3,701,185	0.77%
2040	3,866,748	0.88%
AVG. ANNUAL GROWTH		
1990-2000	43,260	
2000-2010	28,742	
2010-2020	38,346	
2020-2030	19,664	
2030-2040	30,497	

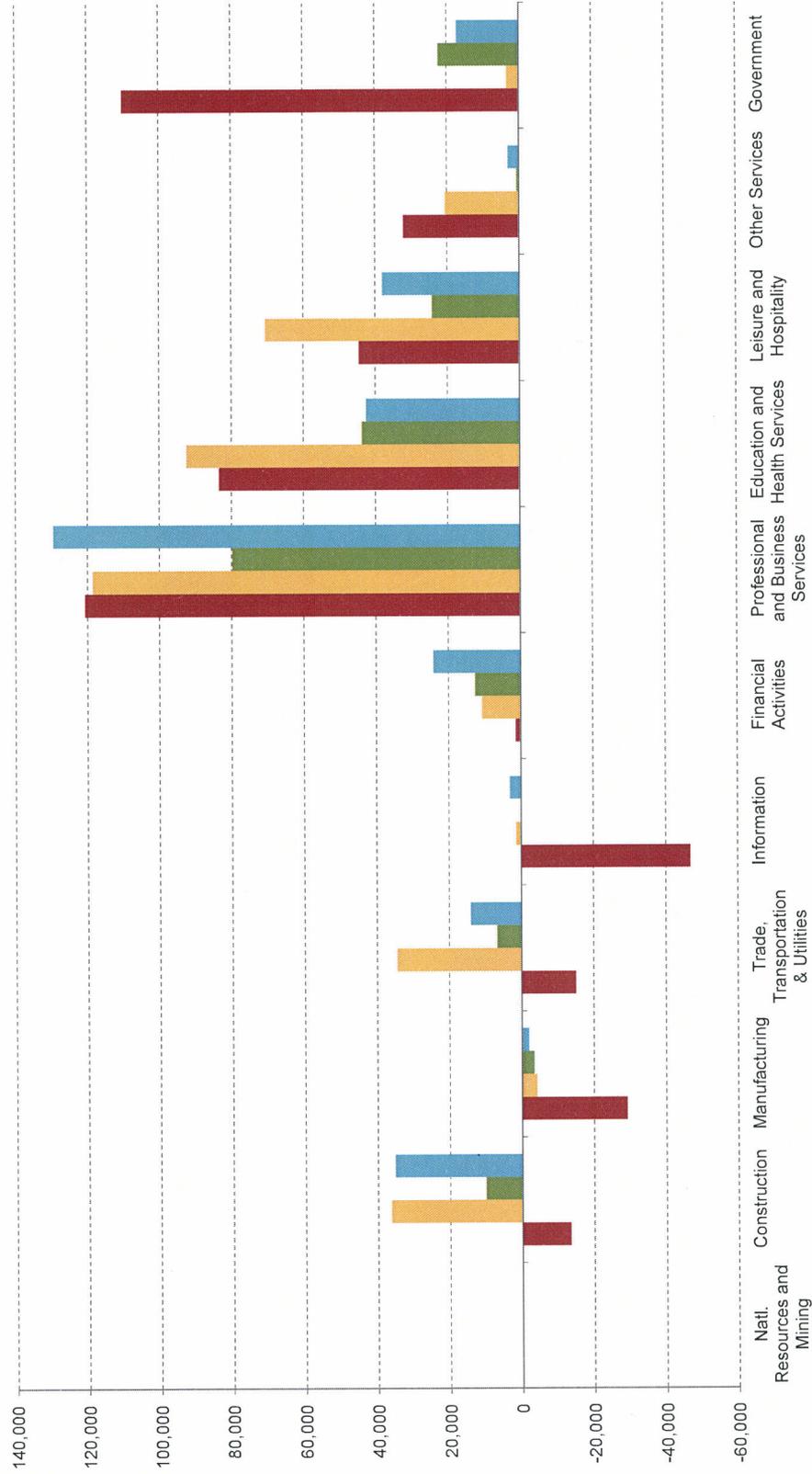
YEAR	TOTAL OFFICE EMPLOYMENT	CAGR
1990	590,063	
1995	625,821	1.18%
2000	833,759	5.91%
2005	908,594	1.73%
2010	908,801	0.00%
2015	948,673	0.86%
2020	1,039,341	1.84%
2025	1,076,563	0.71%
2030	1,131,747	1.00%
2035	1,203,915	1.24%
2040	1,288,515	1.37%
AVG. ANNUAL GROWTH		
1990-2000	24,370	
2000-2010	7,504	
2010-2020	13,054	
2020-2030	9,241	
2030-2040	15,677	

SOURCE: Moody's Analytics

# JEFFERSON APARTMENT GROUP

Exhibit I-10

JOB GROWTH BY SECTOR  
WASHINGTON, D.C.-ARLINGTON-ALEXANDRIA MSA  
2000-2040



SOURCE: Moody's Analytics

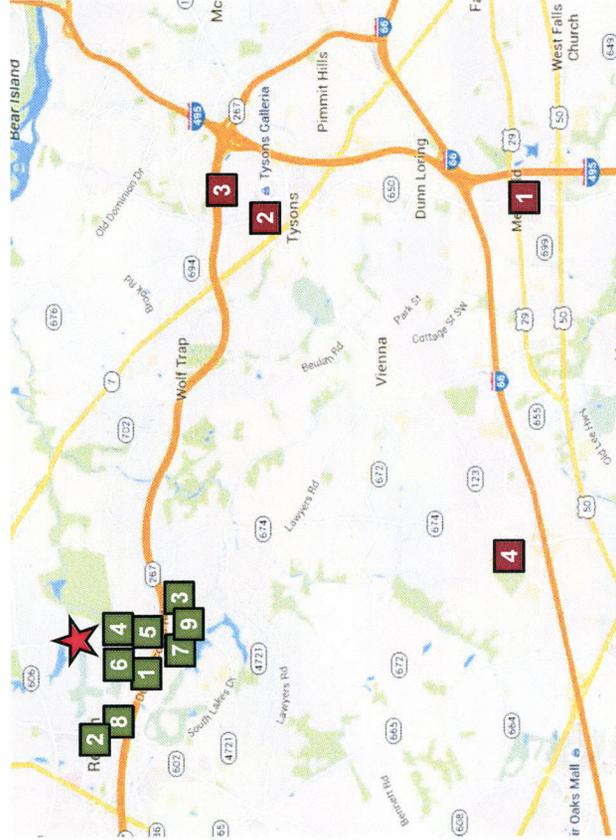
# JEFFERSON APARTMENT GROUP

Exhibit I-11

## TOP EMPLOYERS IN PRIMARY MARKET AREA FAIRFAX COUNTY, VA 2016

Largest employers in Fairfax County, and Firms with HQ in Reston

MAP KEY	RANK IN VA*	COMPANY	EMPLOYEES
<b>Largest employers in Fairfax Co</b>			
1	13	Inova Health System	7,000+
2	24	Booz Allen Hamilton	4,000-6,999
3	-	Federal Home Loan Mortgage Corp.	4,000-6,999
4	-	General Dynamics	4,000-6,999
<b>Firms with HQ in Reston</b>			
1		Maximus	515
2		Applan	274
3		Acclaim Technical Services	139
4		Knight Point Systems	136
5		Virginia Spine Institute	68
6		Dev Technology Group	57
7		Collaborative Solutions	56
8		IBC	56
9		iWorks	50

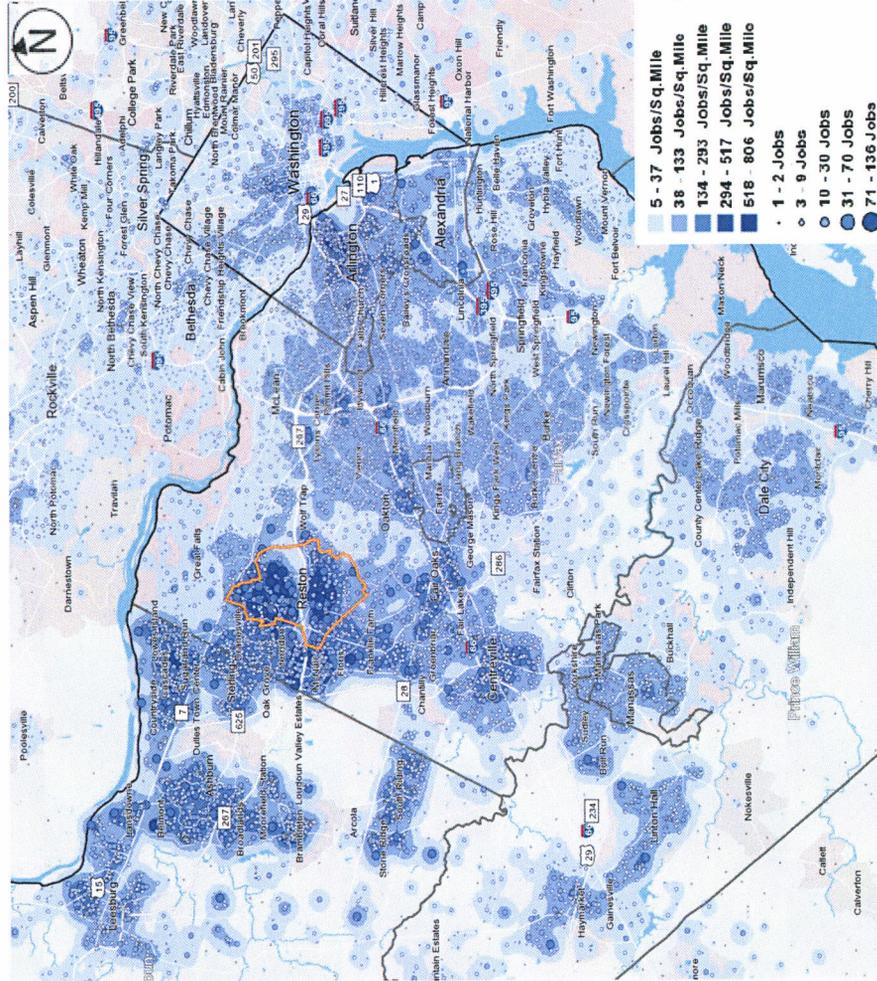


\*Based on Virginia LMI 50 Largest Employers  
SOURCE: Fairfax County EDA

# JEFFERSON APARTMENT GROUP

Exhibit I-12

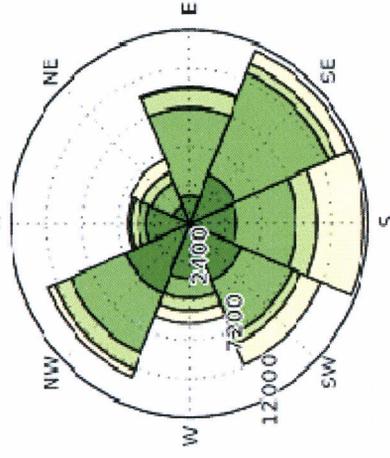
WHERE EMPLOYEES IN RESTON, VA LIVE  
WASHINGTON, D.C.-ARLINGTON-ALEXANDRIA MSA  
2013



SOURCE: US Census On The Map

	NUMBER	SHARE
Less than 10 miles	24,179	37%
10 to 24 miles	27,185	41%
25 to 50 miles	6,981	11%
Greater than 50 miles	7,860	12%
<b>Total</b>	<b>66,205</b>	

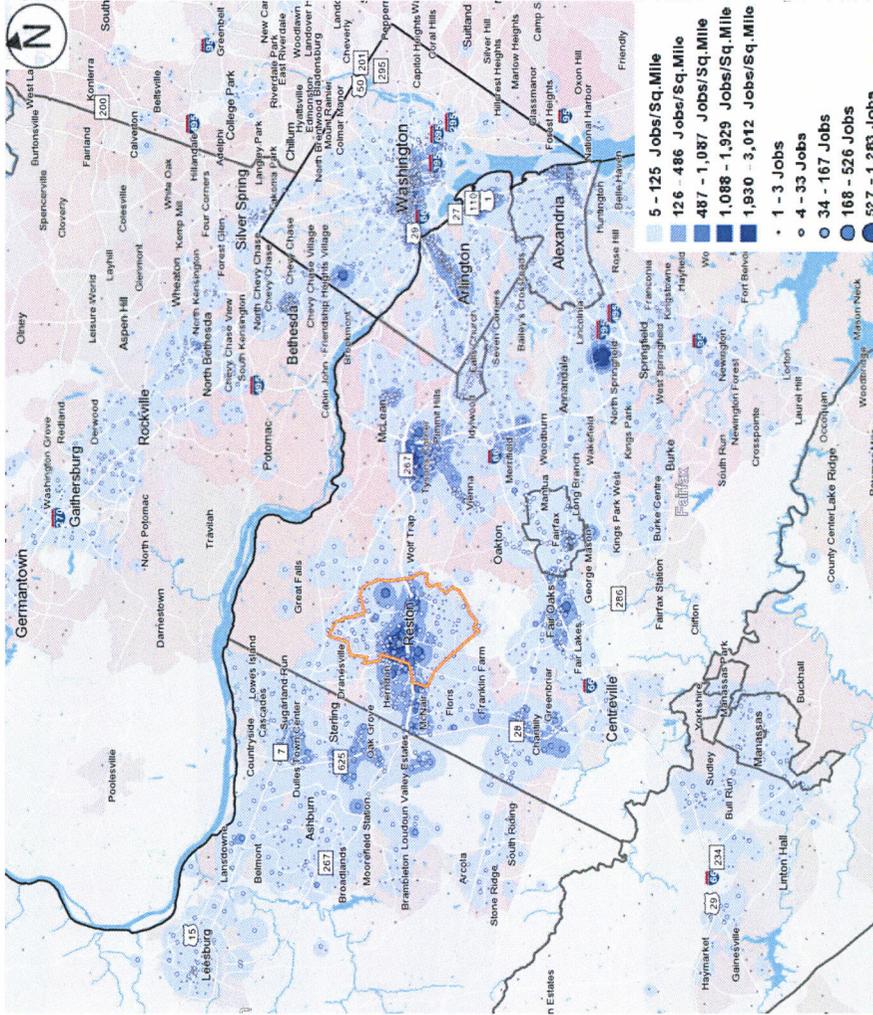
Job Counts by Distance/Direction in 2013  
All Workers



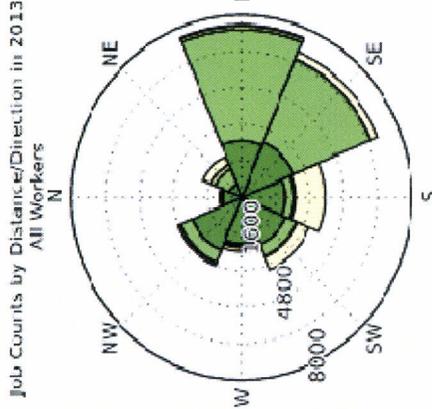
# JEFFERSON APARTMENT GROUP

Exhibit I-13

WHERE RESIDENTS OF RESTON, VA WORK  
WASHINGTON, D.C.-ARLINGTON-ALEXANDRIA MSA  
2013



	NUMBER	SHARE
Less than 10 miles	15,497	51%
10 to 24 miles	11,155	37%
25 to 50 miles	698	2%
Greater than 50 miles	3,078	10%
<b>Total</b>	<b>30,428</b>	



SOURCE: US Census On The Map

# JEFFERSON APARTMENT GROUP

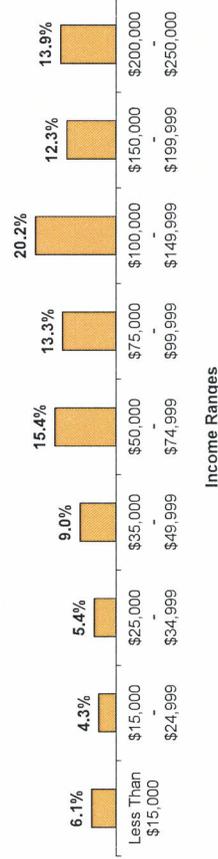
## Exhibit I-14

### AGE OF HOUSEHOLDER BY INCOME WASHINGTON, D.C.-ARLINGTON-ALEXANDRIA MSA 2015

INCOME RANGE	15-24		25-34		35-44		45-54		55-64		65 Plus		TOTAL	
	#	%	#	%	#	%	#	%	#	%	#	%	#	%
Less Than \$15,000	9,490	14.0%	23,921	6.4%	16,917	3.9%	18,518	3.9%	25,141	6.0%	40,852	9.4%	134,839	6.1%
\$15,000 - \$24,999	6,088	9.0%	15,767	4.2%	14,596	3.3%	12,794	2.7%	16,500	3.9%	28,954	6.6%	94,709	4.3%
\$25,000 - \$34,999	7,290	10.7%	24,935	6.7%	18,649	4.3%	16,435	3.5%	16,934	4.0%	35,904	8.2%	120,147	5.4%
\$35,000 - \$49,999	10,704	15.8%	41,932	11.3%	35,425	8.1%	29,186	6.2%	26,361	6.3%	55,101	12.6%	198,709	9.0%
\$50,000 - \$74,999	13,383	19.7%	66,008	17.7%	63,079	14.4%	59,376	12.5%	53,187	12.7%	84,122	19.3%	339,155	15.4%
\$75,000 - \$99,999	8,233	12.1%	60,852	16.3%	65,506	15.0%	57,568	12.2%	51,422	12.3%	50,724	11.6%	294,305	13.3%
\$100,000 - \$149,999	8,988	13.2%	79,924	21.4%	93,382	21.4%	114,040	24.1%	88,233	21.0%	61,638	14.1%	446,205	20.2%
\$150,000 - \$199,999	2,503	3.7%	37,046	9.9%	70,227	16.1%	69,522	14.7%	62,146	14.8%	30,930	7.1%	272,374	12.3%
\$200,000 or more	1,215	1.8%	22,247	6.0%	59,008	13.5%	96,272	20.3%	79,394	18.9%	48,350	11.1%	306,486	13.9%
<b>TOTAL</b>	<b>67,904</b>	<b>100%</b>	<b>372,632</b>	<b>100%</b>	<b>436,789</b>	<b>100%</b>	<b>473,711</b>	<b>100%</b>	<b>419,318</b>	<b>100%</b>	<b>436,575</b>	<b>100%</b>	<b>2,206,929</b>	<b>100%</b>

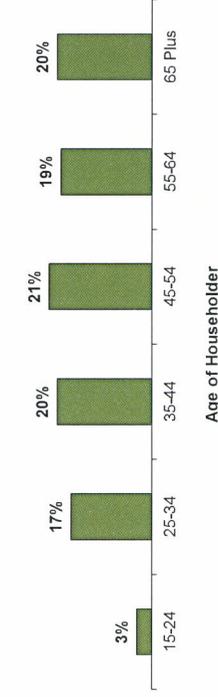
Percent of Total

HOUSEHOLD INCOME DISTRIBUTION



SOURCE: ESRI

DISTRIBUTION BY AGE OF HOUSEHOLDER



# JEFFERSON APARTMENT GROUP

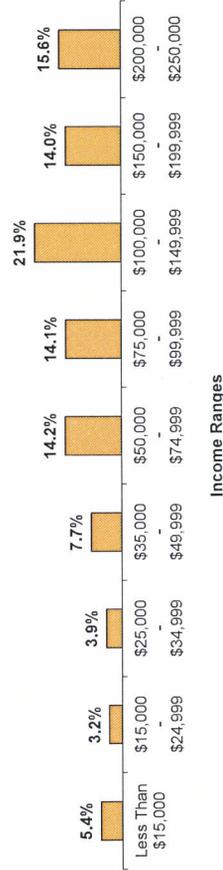
## Exhibit I-15

### AGE OF HOUSEHOLDER BY INCOME WASHINGTON, D.C.-ARLINGTON-ALEXANDRIA MSA 2020

INCOME RANGE	15-24		25-34		35-44		45-54		55-64		65 Plus		TOTAL	
	#	%	#	%	#	%	#	%	#	%	#	%	#	%
Less Than \$15,000	9,156	13.4%	22,075	5.6%	15,450	3.3%	14,786	3.3%	22,049	4.9%	43,383	8.3%	126,899	5.4%
\$15,000 - \$24,999	5,337	7.8%	12,965	3.3%	11,082	2.4%	8,570	1.9%	11,123	2.5%	26,884	5.1%	75,961	3.2%
\$25,000 - \$34,999	5,642	8.3%	18,609	4.7%	13,723	2.9%	10,737	2.4%	11,840	2.7%	31,937	6.1%	92,488	3.9%
\$35,000 - \$49,999	9,865	14.4%	38,239	9.7%	31,141	6.6%	21,879	4.8%	23,371	5.2%	57,810	11.0%	182,305	7.7%
\$50,000 - \$74,999	13,722	20.1%	65,369	16.5%	60,108	12.8%	48,699	10.8%	51,451	11.5%	95,956	18.3%	335,305	14.2%
\$75,000 - \$99,999	9,722	14.2%	70,361	17.8%	71,885	15.3%	56,252	12.4%	56,367	12.6%	66,904	12.8%	331,491	14.1%
\$100,000 - \$149,999	10,218	15.0%	93,362	23.6%	107,727	22.9%	114,805	25.3%	101,381	22.7%	87,646	16.7%	515,139	21.9%
\$150,000 - \$199,999	3,165	4.6%	46,505	11.8%	86,252	18.4%	74,432	16.4%	74,282	16.7%	45,503	8.7%	330,139	14.0%
\$200,000 or more	1,492	2.2%	27,976	7.1%	72,338	15.4%	102,792	22.7%	94,094	21.1%	68,110	13.0%	366,802	15.6%
<b>TOTAL</b>	<b>68,319</b>	<b>100%</b>	<b>395,461</b>	<b>100%</b>	<b>469,706</b>	<b>100%</b>	<b>452,852</b>	<b>100%</b>	<b>445,958</b>	<b>100%</b>	<b>524,133</b>	<b>100%</b>	<b>2,356,529</b>	<b>100%</b>

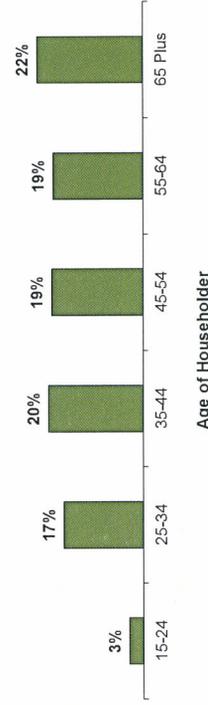
Percent of Total

HOUSEHOLD INCOME DISTRIBUTION



SOURCE: ESRI

DISTRIBUTION BY AGE OF HOUSEHOLDER



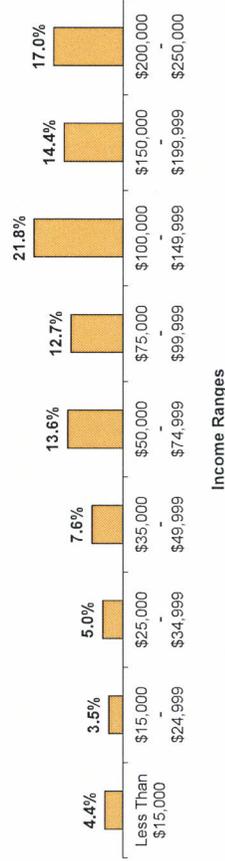
# JEFFERSON APARTMENT GROUP

## Exhibit I-16

### AGE OF HOUSEHOLDER BY INCOME SECONDARY MARKET AREA 2015

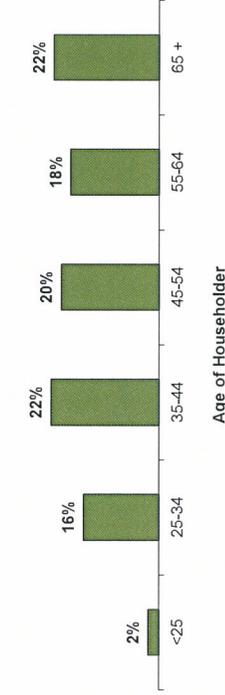
INCOME RANGE	<25		25-34		35-44		45-54		55-64		65 +		TOTAL	
	#	%	#	%	#	%	#	%	#	%	#	%	#	%
Less Than \$15,000	46	8.0%	186	4.6%	165	2.9%	133	2.5%	148	3.1%	464	8.3%	1,142	4.4%
\$15,000 - \$24,999	42	7.3%	145	3.6%	168	2.9%	124	2.4%	138	2.9%	289	5.1%	906	3.5%
\$25,000 - \$34,999	52	9.0%	270	6.7%	241	4.2%	180	3.5%	205	4.3%	341	6.1%	1,289	5.0%
\$35,000 - \$49,999	81	14.1%	412	10.2%	412	7.2%	229	4.4%	258	5.5%	585	10.4%	1,977	7.6%
\$50,000 - \$74,999	135	23.5%	667	16.6%	722	12.5%	495	9.5%	471	10.0%	1,026	18.3%	3,516	13.6%
\$75,000 - \$99,999	93	16.2%	719	17.8%	943	16.4%	481	9.2%	472	10.0%	590	10.5%	3,298	12.7%
\$100,000 - \$149,999	85	14.8%	951	23.6%	1,203	20.9%	1,410	27.0%	1,003	21.3%	993	17.7%	5,645	21.8%
\$150,000 - \$199,999	33	5.7%	451	11.2%	1,066	18.5%	764	14.6%	824	17.5%	595	10.6%	3,733	14.4%
\$200,000 or more	8	1.4%	228	5.7%	842	14.6%	1,400	26.8%	1,194	25.3%	731	13.0%	4,403	17.0%
<b>TOTAL</b>	<b>575</b>	<b>100%</b>	<b>4,029</b>	<b>100%</b>	<b>5,762</b>	<b>100%</b>	<b>5,216</b>	<b>100%</b>	<b>4,713</b>	<b>100%</b>	<b>5,614</b>	<b>100%</b>	<b>25,909</b>	<b>100%</b>
Percent of Total	2%		16%		22%		20%		18%		22%		100%	

HOUSEHOLD INCOME DISTRIBUTION



SOURCE: ESRI; RCLCO

DISTRIBUTION BY AGE OF HOUSEHOLDER



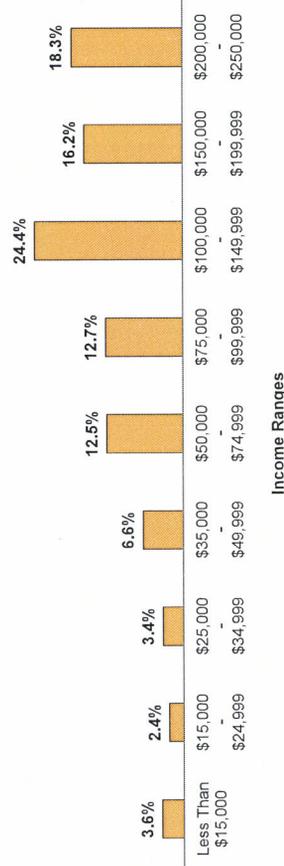
# JEFFERSON APARTMENT GROUP

## Exhibit I-17

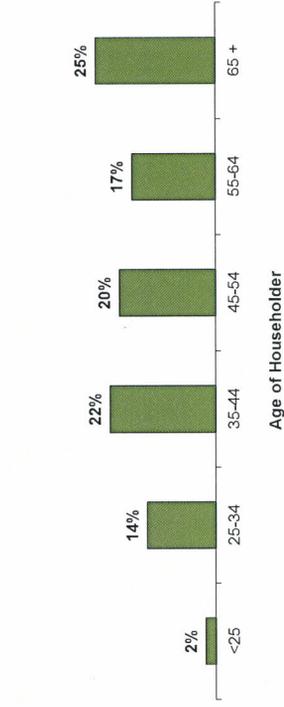
### AGE OF HOUSEHOLDER BY INCOME SECONDARY MARKET AREA 2020

INCOME RANGE	<25		25-34		35-44		45-54		55-64		65 +		TOTAL	
	#	%	#	%	#	%	#	%	#	%	#	%	#	%
Less Than \$15,000	46	8.1%	142	3.7%	120	2.0%	101	1.9%	97	2.1%	446	6.7%	952	3.6%
\$15,000 - \$24,999	35	6.2%	102	2.7%	113	1.9%	82	1.5%	69	1.5%	239	3.6%	640	2.4%
\$25,000 - \$34,999	39	6.9%	166	4.4%	162	2.8%	115	2.2%	132	2.9%	291	4.4%	905	3.4%
\$35,000 - \$49,999	67	11.8%	317	8.3%	346	5.9%	183	3.4%	215	4.7%	647	9.8%	1,775	6.6%
\$50,000 - \$74,999	131	23.1%	587	15.4%	640	10.9%	433	8.1%	444	9.6%	1,126	17.0%	3,361	12.5%
\$75,000 - \$99,999	104	18.3%	715	18.8%	945	16.1%	481	9.0%	461	10.0%	699	10.5%	3,405	12.7%
\$100,000 - \$149,999	93	16.4%	1,027	27.0%	1,387	23.7%	1,581	29.7%	1,072	23.2%	1,373	20.7%	6,533	24.4%
\$150,000 - \$199,999	44	7.7%	503	13.2%	1,213	20.7%	869	16.3%	877	19.0%	827	12.5%	4,333	16.2%
\$200,000 or more	9	1.6%	246	6.5%	935	16.0%	1,481	27.8%	1,256	27.2%	980	14.8%	4,907	18.3%
<b>TOTAL</b>	<b>568</b>	<b>100%</b>	<b>3,805</b>	<b>100%</b>	<b>5,861</b>	<b>100%</b>	<b>5,326</b>	<b>100%</b>	<b>4,623</b>	<b>100%</b>	<b>6,628</b>	<b>100%</b>	<b>26,811</b>	<b>100%</b>
Percent of Total	2%		14%		22%		20%		17%		25%		100%	

HOUSEHOLD INCOME DISTRIBUTION



DISTRIBUTION OF AGE BY HOUSEHOLDER

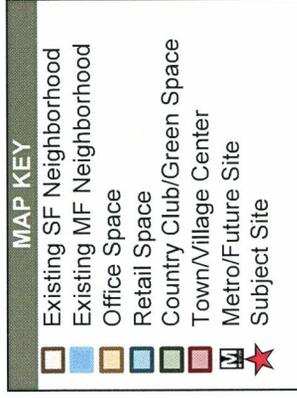
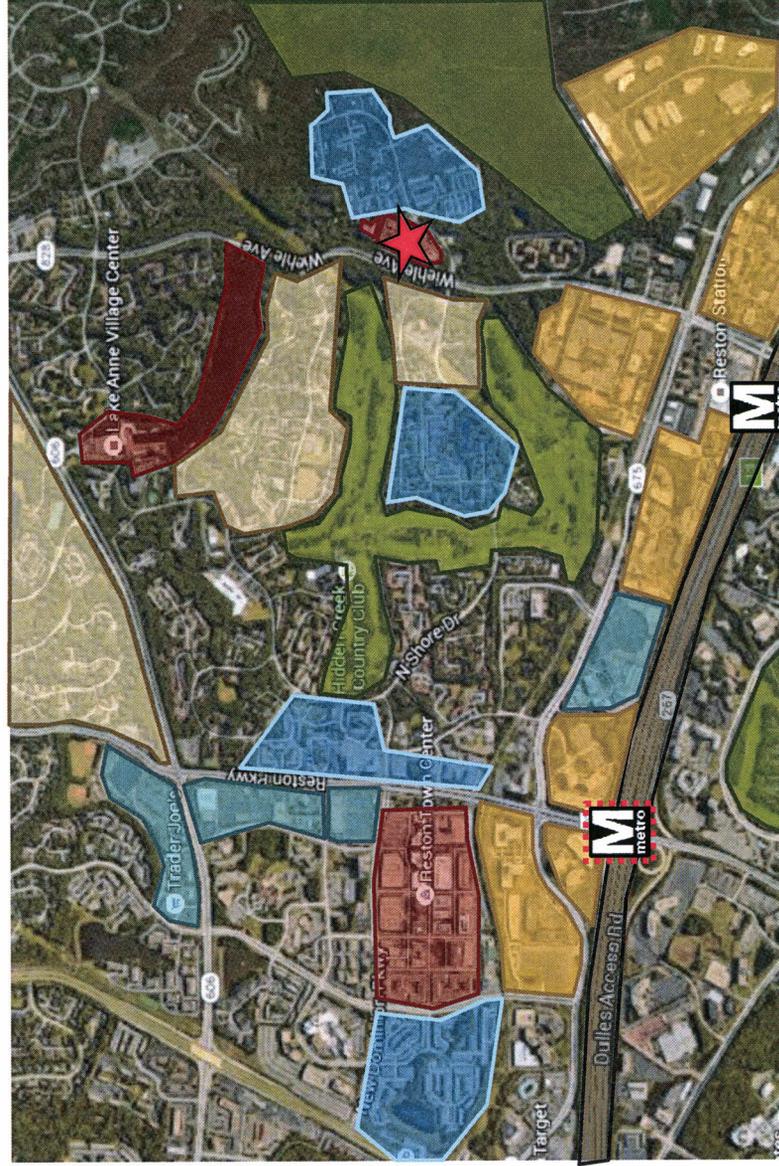


SOURCE: ESRI, RCLCO

# JEFFERSON APARTMENT GROUP

Exhibit I-18

SUBJECT SITE ANALYSIS  
TALL OAKS SITE  
2016



SOURCE: Google Maps; RCLCO

# JEFFERSON APARTMENT GROUP

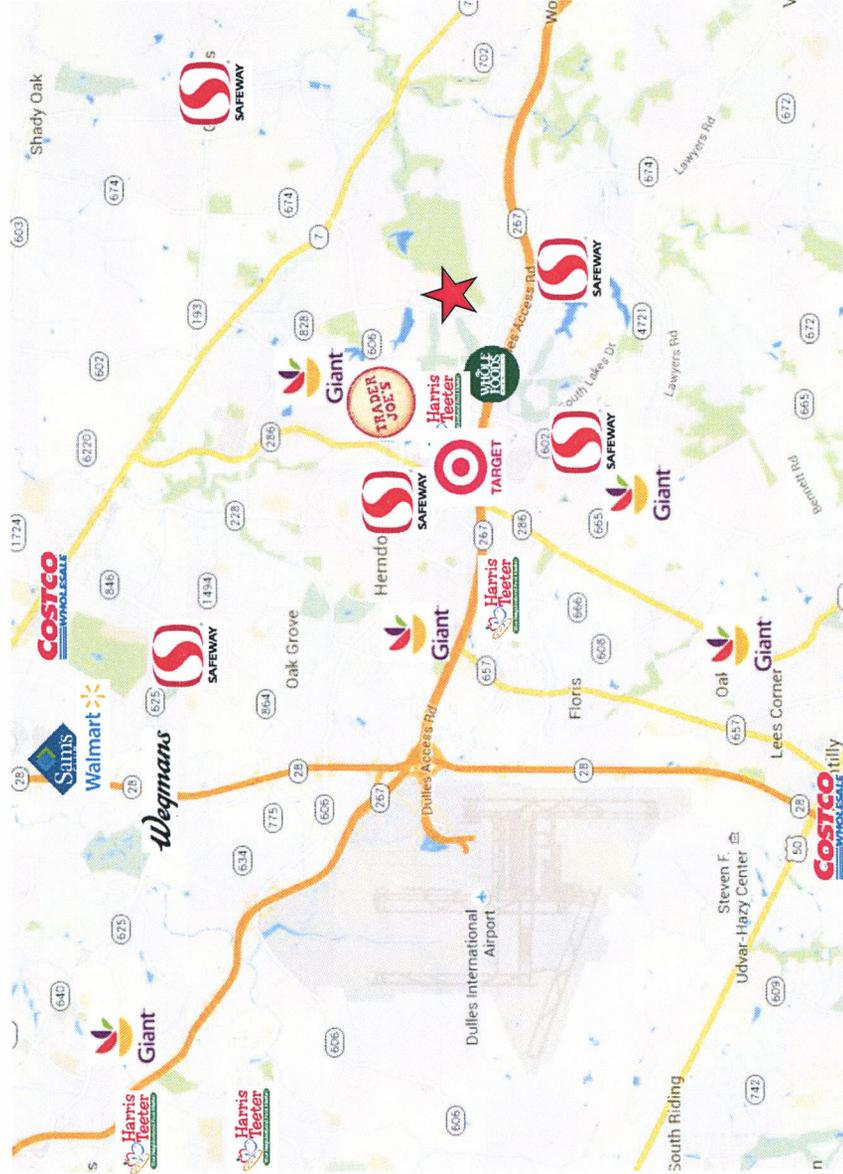
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## II. RETAIL MARKET ANALYSIS

# JEFFERSON APARTMENT GROUP

Exhibit II-1

## SURROUNDING GROCERS SUBJECT AREA 2016



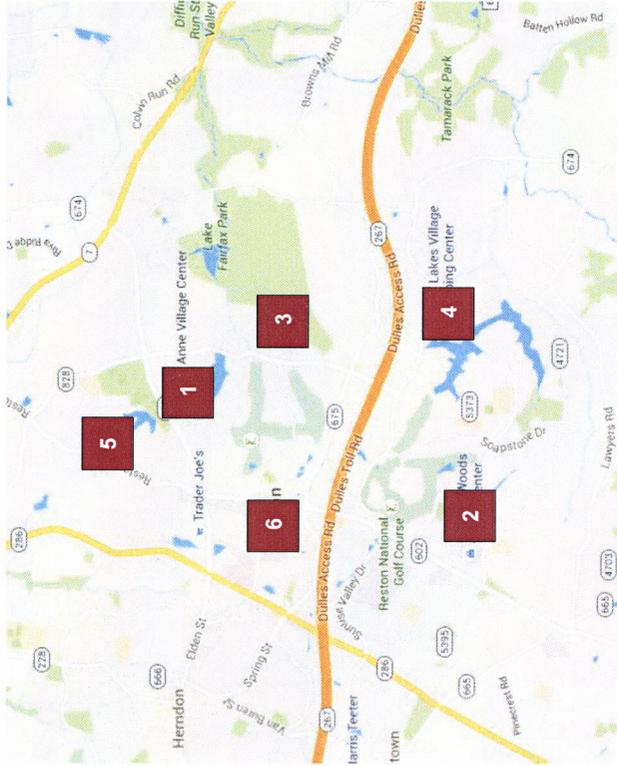
	# Within 5 Minute Drive	# Within 10 Minute Drive
	1	2
	0	3
	0	0
	0	3
	1	0
	0	0
	0	0
	0	1
	0	1
	0	0
Ideal Conditions Capture Rate		35%
Poor Visibility Penalty		65%
<b>Potential Capture Rate</b>		<b>12.3%</b>

SOURCE: Google Maps, RCLCO

# JEFFERSON APARTMENT GROUP

## Exhibit II-2

### VILLAGE CENTERS OF RESTON RESTON, VA 2016



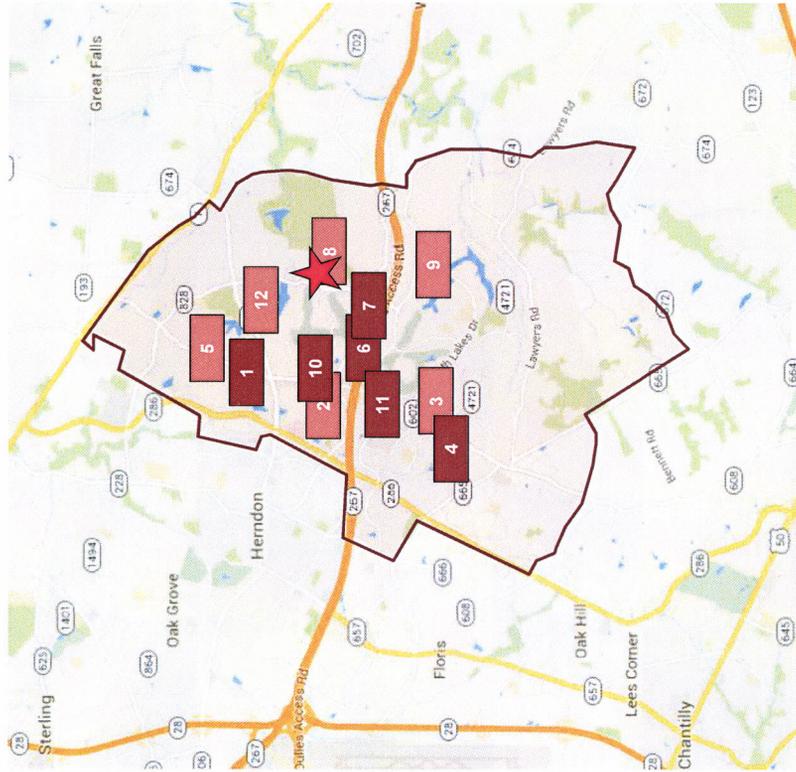
	Lake Anne (1)	Hunters Woods (2)	Tall Oaks (3)	South Lakes (4)	North Point (5)	Reston Town Center (6)
Date opened	1964	1972	1974	1984	1993	1990
Population	17,837	17,543	11,377	7,087	16,027	13,404
Median HH Inc.	\$90,013	\$82,958	\$78,535	\$127,825	\$113,123	\$97,028
Median Home Val.	\$469,859	\$406,423	\$449,926	\$541,563	\$563,470	\$489,355
Median Age	38.8	36.2	38.5	45.5	40.4	38.6
Retail Occ. Rate	70%*	88%	35%	99%	100%	99%
Retail Asking Rent	N/A	\$32.52	\$29.74	N/A	\$51.96	N/A
Key Retailers	Reston Farmers Market	Safeway	Paisano's Pizza	Safeway	Giant	Williams-Sonoma
Traffic Count	5,300 (Washington Plaza)	7,850 (Glade Dr.)	5,400 (N Shore Dr.)	10,000 (South Lakes Dr.)	18,000 (Reston Pkwy.)	9,100 (Market St.)

\* Estimate based on site visit and visual survey  
SOURCE: Google Maps, RCLCO

# JEFFERSON APARTMENT GROUP

Exhibit II-3

## LOCAL RETAIL MARKET OVERVIEW RESTON, VA FEBRUARY 2016



MAP KEY	CENTER NAME	YEAR BUILT	YEAR RENOV.	GLA	% LEASED	RENT
1	Home Depot Shopping Center	1977	-	132,738	100%	N/A
2	Reston Town Center	1988	-	336,566	99%	N/A
3	Hunters Woods Village Center	1972	1998	124,238	88%	\$32.52
4	Fox Mill Shopping Center	1977	-	108,032	100%	N/A
5	North Point Village Center	1993	-	148,196	100%	\$51.96
6	Plaza America	1995	-	164,398	100%	N/A
7	Reston Station	2016	-	50,000	83%	N/A
8	Tall Oaks Village Center	1974	2004	72,000	35%	\$29.74
9	South Lakes Village Shopping Center	1984	-	110,159	99%	N/A
10	The Spectrum At Reston Town Center	1995	-	455,611	100%	N/A
11	Village Commons	2002	-	20,225	100%	N/A
12	Lake Anne Village Center	1964	-	27,974	70%*	N/A

KEY  
 = Retail Center  
 = Town/Village Center

\* Estimate based on site visit and visual survey  
 SOURCE: CoStar

# JEFFERSON APARTMENT GROUP

## Exhibit II-4

### SELECTED RETAIL AND OTHER PROPERTIES RESTON, VA FEBRUARY 2016

MAP KEY	PROPERTY NAME STREET ADDRESS	SIZE (SF)	RETAIL (SF)	YEAR BUILT	NON-ANCHOR TENANT RETAIL GLA	ANCHOR TENANT GLA	OCCUPANCY RATE (%)	ANCHOR AND MAJOR TENANTS	RENT	ACRES
1	Home Depot Shopping Center 11800 Baron Cameron Ave Reston, VA 20194	132,738	132,738	1977	41,218	91,520	100%	The Home Depot	N/A	14.3445
2	Reston Town Center 11921 Freedom Dr Reston, VA 20190	336,566	336,566	1988	336,566	N/A	99%		N/A	25.6591
3	Hunters Woods Village Center 2204-2280 Hunters Woods Plz Reston, VA 20191	124,238	124,238	1972	44,786	79,452	88%	Safeway, Rite Aid	\$32.52	26.467
4	Fox Mill Shopping Center 2521-2559 John Milton Dr Herndon, VA 20171	108,032	108,032	1977	58,195	49,837	100%	Giant Food	N/A	24.42
5	North Point Village Center 1400-1498 Northpoint Village Cir Reston, VA 20194	148,196	148,196	1993	89,511	58,685	100%	Giant Food	\$51.96	17.0447
6	Plaza America 11600-11694 Plaza America Dr Reston, VA 20190	164,398	164,398	1995	111,118	53,280	100%	Whole Foods, Michaels, CVS	N/A	38.0998

# JEFFERSON APARTMENT GROUP

## Exhibit II-4

### SELECTED RETAIL AND OTHER PROPERTIES RESTON, VA FEBRUARY 2016

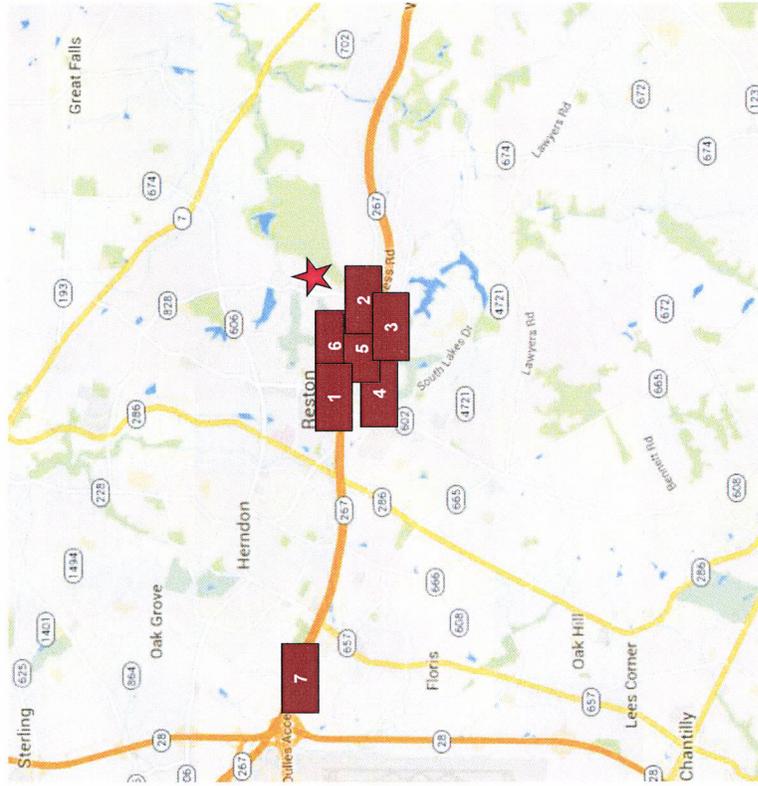
MAP KEY	PROPERTY NAME STREET ADDRESS	SIZE (SF)	RETAIL (SF)	YEAR BUILT	NON-ANCHOR TENANT RETAIL GLA	ANCHOR TENANT GLA	OCCUPANCY RATE (%)	ANCHOR AND MAJOR TENANTS	RENT	ACRES
7	Reston Station 1906 Reston Meire Plz Reston, VA 20190	50,000	50,000	2016	50,000	N/A	83%		N/A	-
8	Tall Oaks Village Center 12000-12056 N Shore Dr Reston, VA 20190	72,000	72,000	1974	72,000	N/A	35%		N/A	29.0854
9	South Lakes Village Shopping Center 11130-11180 South Lakes Dr Reston, VA 20191	110,159	110,159	1984	48,928	61,231	99%	Safeway, CVS Pharmacy	N/A	13.0238
10	The Spectrum At Reston Town Center 11846-11860 Spectrum Ctr Reston, VA 20190	455,611	455,611	1985	413,311	42,300	100%	Best Buy, Harris Teeter	N/A	40.231
11	Village Commons 12150-12160 Sunset Hills Rd Reston, VA 20190	20,225	20,225	2002	20,225	N/A	100%		N/A	11.8722
12	Lake Anne Village Center 11404 Washington Plaza W Reston, VA 20190	27,974	27,974	1964	27,974	N/A	70%*		N/A	-
<b>TOTAL</b>		<b>1,750,137</b>			<b>1,313,832</b>	<b>436,305</b>	<b>94%</b>			

\* Estimate based on site visit and visual survey  
SOURCE: CoStar, RCLCO

# JEFFERSON APARTMENT GROUP

## Exhibit II-5

### OVERVIEW OF PLANNED AND PROPOSED RETAIL CENTERS RESTON, VA 2016



MAP KEY	CENTER NAME	EXPECTED DELIVERY	STATUS	GLA
1	Reston Town Center West	2017	N/A	40,000
2	1831 Wiehle Ave	N/A	Requested Rezoning	61,000
3	1850 Centennial Park Drive	N/A	Requested Rezoning	N/A
4	Reston Heights West	2017/2018	N/A	65,000
5	Triangle Park	N/A	Requested Rezoning	N/A
6	Reston Station	2016	U/C	120,000
7	Innovation Center Metro	2017-2019	U/C	104,000
<b>TOTAL</b>				<b>390,000</b>

★ Subject Site

# JEFFERSON APARTMENT GROUP

## Exhibit II-6

### RETAIL MARKET STATISTICS RESTON, VA 2016

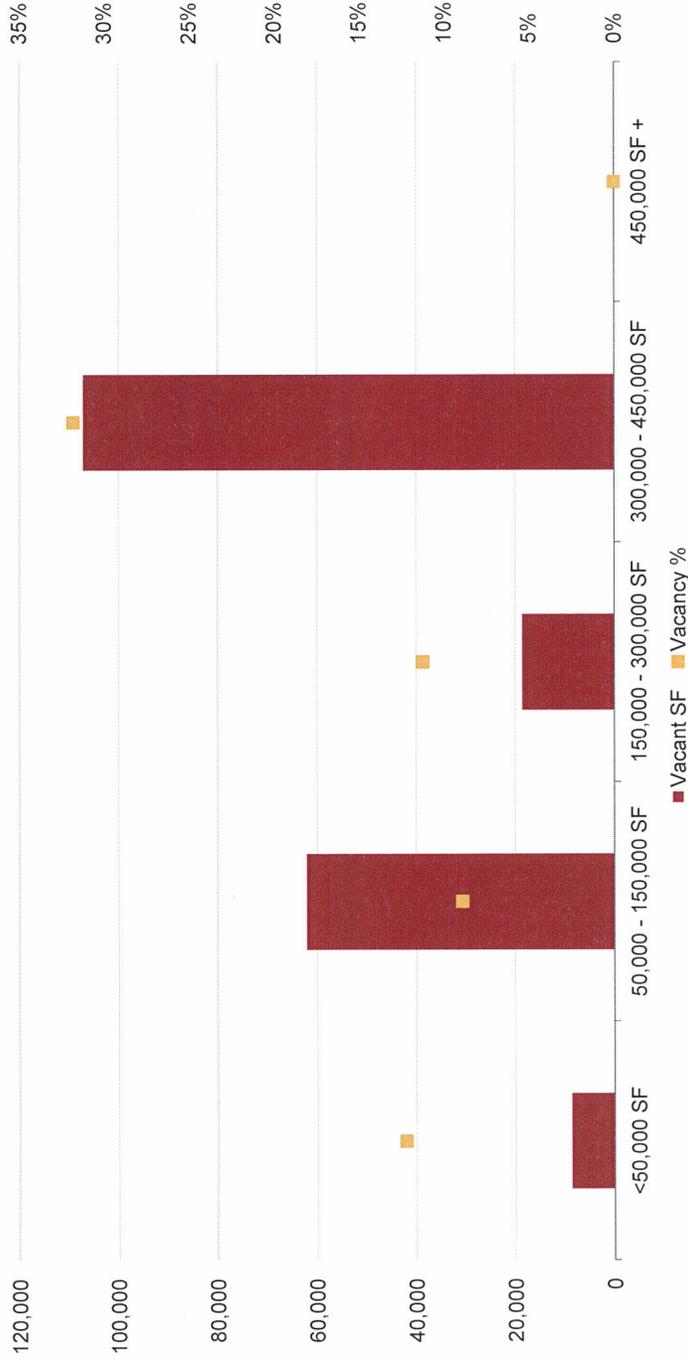
Reston	2006	2007	2008	2009	2010	2011	2012	2013	2014	2015	2016 YTD
Total Retail Inventory	1,436,844	1,436,844	1,436,844	1,436,844	1,436,844	1,436,844	1,436,844	1,436,844	1,436,844	1,436,844	1,436,844
Occupied SF	1,394,625	1,397,844	1,389,978	1,404,873	1,407,163	1,365,416	1,363,532	1,369,604	1,378,483	1,376,125	1,370,975
Completions (SF)	0	0	0	0	0	0	0	0	0	0	0
Net Absorption (SF)	-32,895	3,219	-7,866	14,895	2,290	-41,747	-1,884	6,072	8,879	-2,358	-5,150
Vacancy Rate	2.9%	2.6%	3.3%	2.2%	2.1%	5.0%	5.1%	4.7%	4.1%	4.2%	4.6%
Average Asking Rent	\$32.24	\$31.42	\$32.74	\$29.87	\$32.98	\$33.04	\$32.91	\$36.24	\$37.34	-	-

SOURCE: CoStar

# JEFFERSON APARTMENT GROUP

## Exhibit II-7

RETAIL VACANCY RATE AND SQUARE FOOTAGE BY CENTER TYPE  
 RESTON, VA  
 2016 QTD

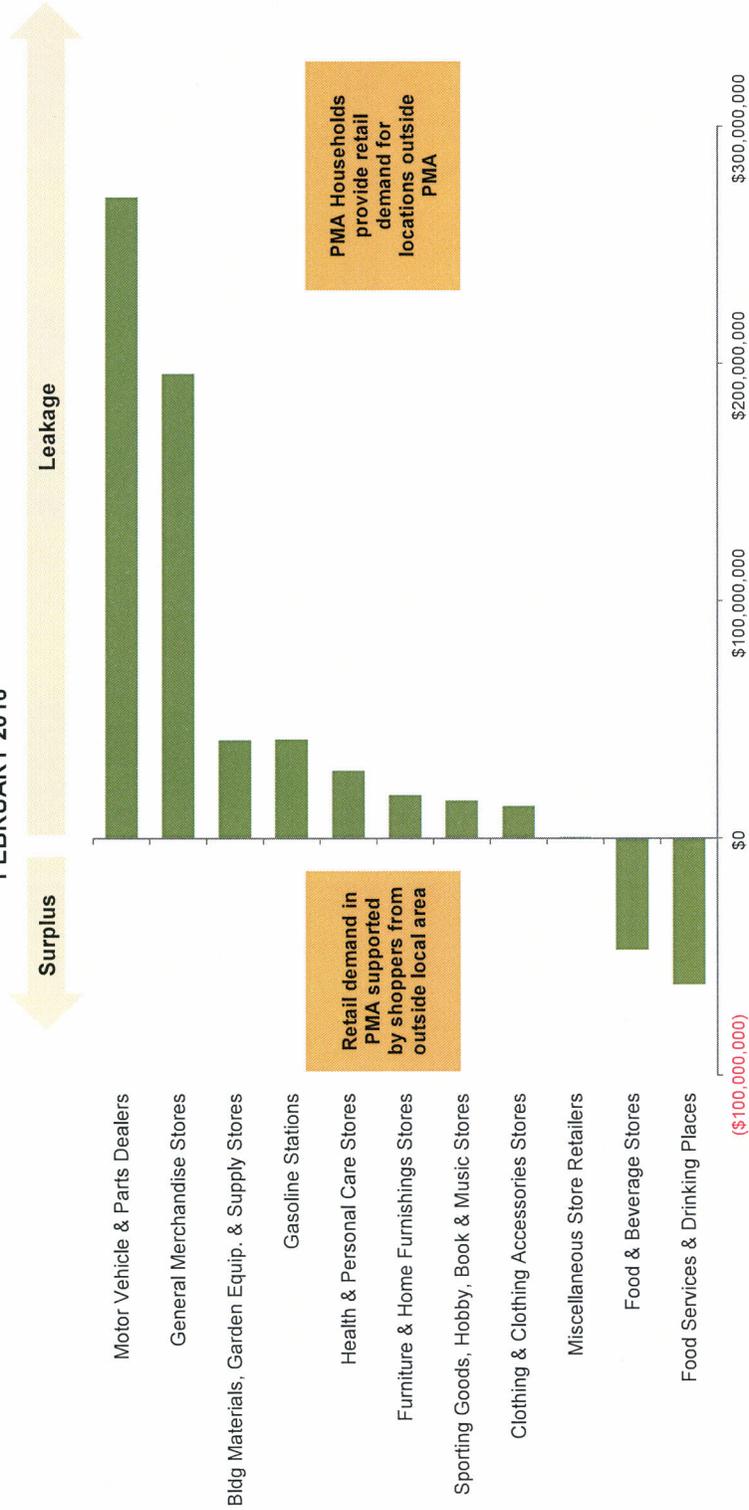


SOURCE: CoStar, RCLCO

# JEFFERSON APARTMENT GROUP

Exhibit II-8

CURRENT RETAIL UNDER AND OVER SUPPLY  
RESTON, VA  
FEBRUARY 2016

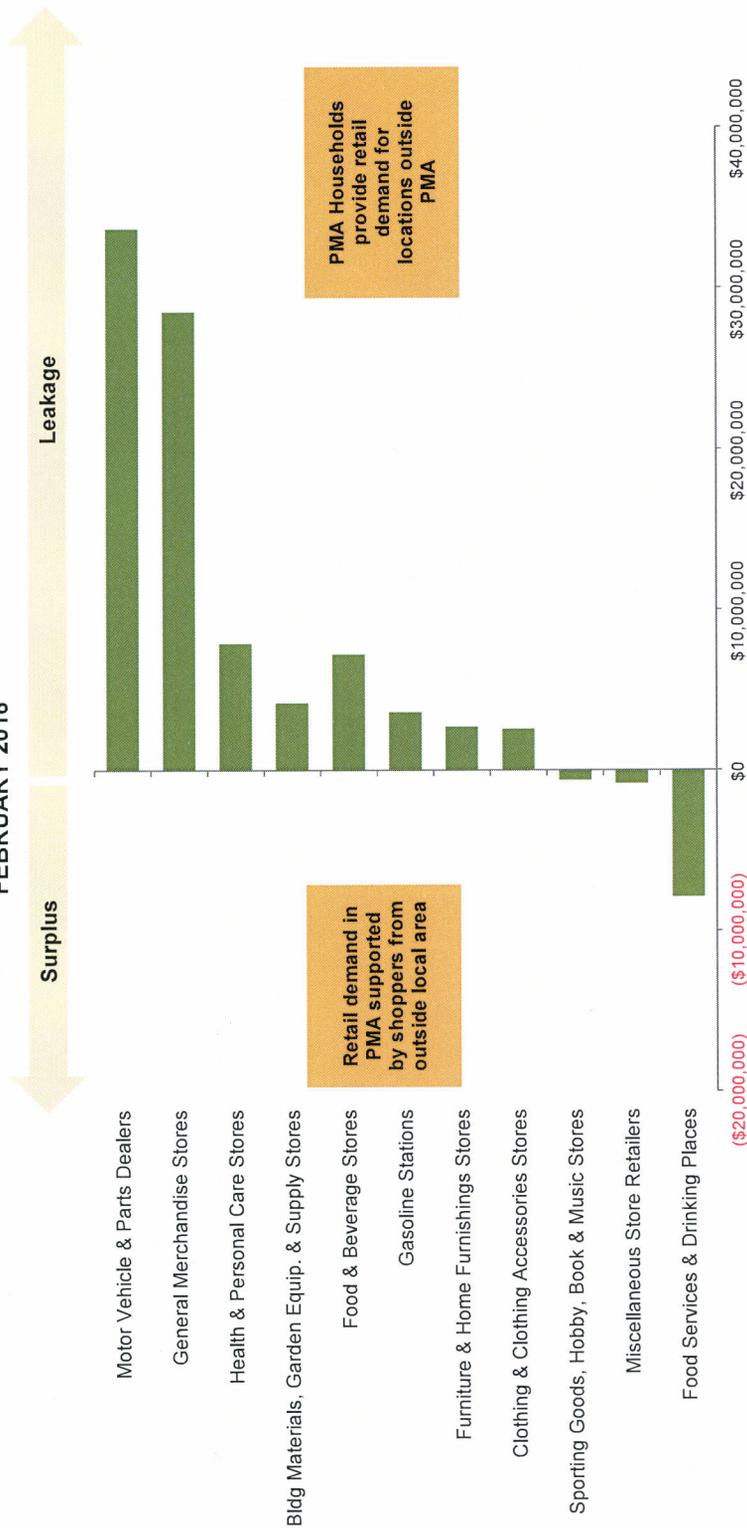


SOURCE: Esri; RCLCO

# JEFFERSON APARTMENT GROUP

Exhibit II-9

CURRENT RETAIL UNDER AND OVER SUPPLY  
1 MILE RADIUS  
FEBRUARY 2016

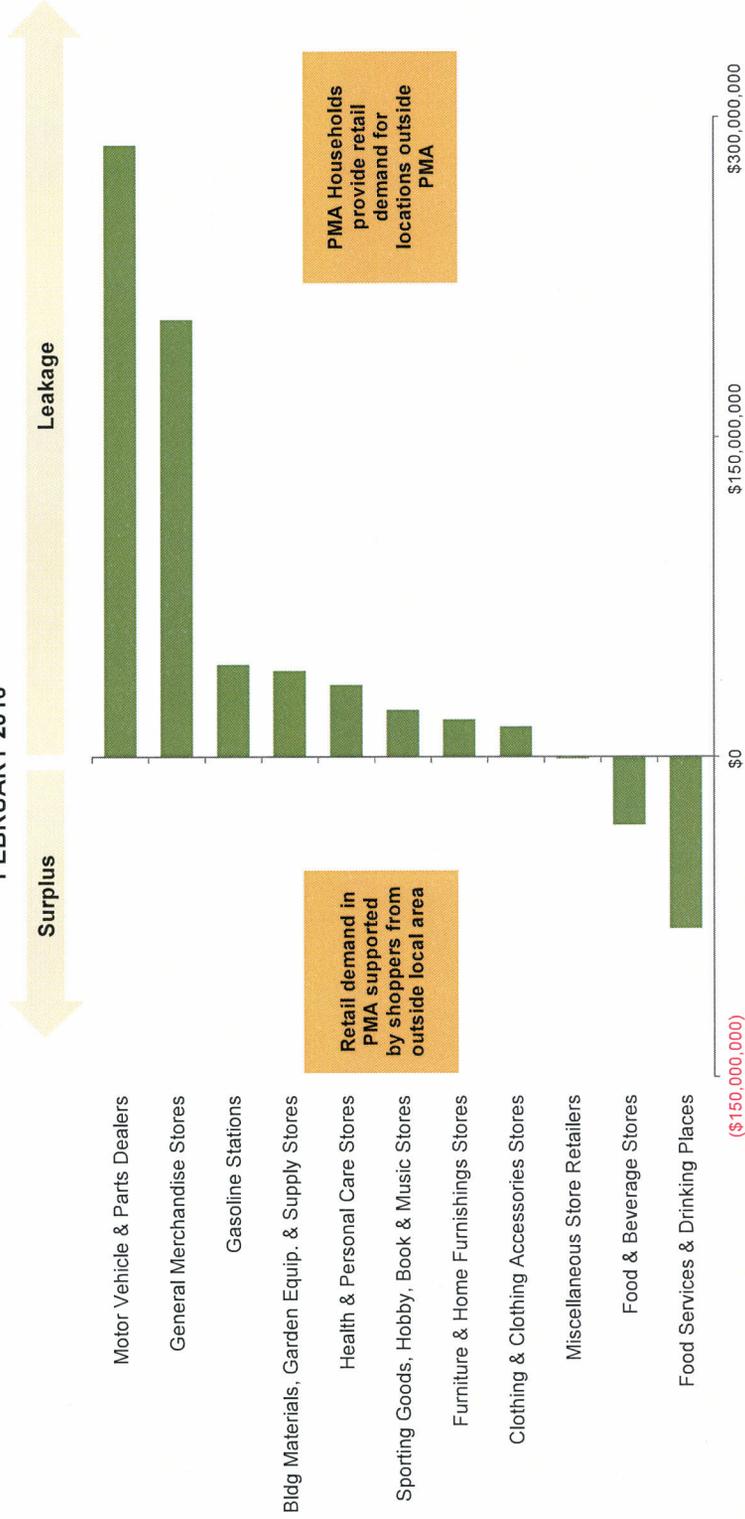


SOURCE: Esri; RCLCO

# JEFFERSON APARTMENT GROUP

Exhibit II-10

CURRENT RETAIL UNDER AND OVER SUPPLY  
3 MILE RADIUS  
FEBRUARY 2016



SOURCE: Esri; RCLCO

# JEFFERSON APARTMENT GROUP

Exhibit II-11

## SITE SELECTION CRITERIA FOR HIGH END RETAILERS UNITED STATES 2015

Site Location Criteria				Population	Median HH Inc	Avg HH Inc	Radius	Income	Median or Average	Other Criteria
Retailer	Type	Population	Median HH Inc	Avg HH Inc	Radius	Income	Median or Average	Other Criteria		
Tall Oaks 1 mile radius		11,377	\$78,535	\$101,755						
Tall Oaks 3 mile radius		81,003	\$113,504	\$151,297						
Tall Oaks 5 mile radius		209,496	\$124,690	\$168,292						
Saks Off 5th	Clothing	400,000				\$85,000				
Lofi/Chico's/White House Black Market	Clothing	150,000			5	\$75,000				
Bon Worth	Clothing	100,000								
Brooks Brothers	Clothing									
South Moon Under	Clothing									
Bevello	Clothing	200,000				\$100,000	average	"Affluent areas"		
Carter's / Osh Kosh B'Gosh	Clothing	150,000			5	\$75,000	average	Lululemon, Blue Mercury, Banana Republic		
Bevello	Clothing	200,000				\$75,000	average	10,000 kids under age 5		
Dick's Sporting Goods	Clothing	200,000			Trade Area	\$70,000	average			
Dick's Sporting Goods	Clothing	100,000			Trade Area	\$70,000	average			
Famous Footwear	Clothing	100,000			Trade Area	\$60,000	average			
Beauty Brands	Cosmetics	150,000			Trade Area	\$70,000	average			
Cobb Theaters	Entertainment	100,000				\$75,000	average			
LA Fitness	Fitness	60,000			3	\$20,000	per capita			
Complete Nutrition	Fitness	50,000			Trade Area	\$70,000	average			
Lifetime Fitness	Fitness	50,000				\$70,000	median			
Wegmans	Grocery	50,000			3	\$85,000	average			
Fresh Market	Grocery	150,000			5	\$75,000	median			
Whole Foods	Grocery	200,000			5	\$75,000		Psychographics of "leading edge of food" in area; like sites near large universities; 50% college educated; Home Owner (60%+ Owner Occupied Homes)		
Sprouts Farmers Market	Grocery	100,000			3	"above avg."		"High % white collar jobs"; 40% college educated Median age of 44; 36,000 college educated in 5 mile; Home Owner (60%+ Owner Occupied Homes)		
Trader Joe's	Grocery	200,000			5	\$64,000		"Affluent areas"		
Costco	Grocery	200,000			5	\$75,000				
Plow and Hearth	Home Goods	150,000			5	\$60,000	median			
Pier 1 Imports	Home Goods	100,000			5	\$65,000	average			
Mattress Firm	Home Goods	250,000			10	\$75,000	average			
Sterling Jewelers	Jewelry									

# JEFFERSON APARTMENT GROUP

## Exhibit II-11

### SITE SELECTION CRITERIA FOR HIGH END RETAILERS UNITED STATES 2015

	Population	Median HH Inc	Avg HH Inc
Tall Oaks 1 mile radius	11,377	\$78,535	\$101,755
Tall Oaks 3 mile radius	81,003	\$113,504	\$151,297
Tall Oaks 5 mile radius	209,496	\$124,690	\$168,292

#### Site Location Criteria

Retailer	Type	Population	Radius	Income	Median or Average	Other Criteria
Massage Heights	Other	30,000	3	\$80,000	average	
Hand & Stone Massage Spa	Other	100,000	5	\$60,000	average	
Pump It Up	Other	30,000 kids	5	\$75,000	median	
Learning Express Toys	Other	100,000	5	\$80,000	average	
Performance Bicycle	Other	700,000	10	\$75,000	average	
Cabela's	Other	250,000	30			75,000 cars per day
La Madeleine	Restaurant	60,000		\$75,000		Female-oriented retail; 50,000 cpd
J. Alexanders	Restaurant	150,000	3	\$60,000		
Pei Wei	Restaurant	250,000	5	\$75,000		
Smashburger	Restaurant	50,000	3	\$60,000		50,000 cpd
Wolfgang Puck Pizza Bistro	Restaurant	200,000		\$80,000		"Recycled funky sites - gas stations"
World of Beer	Restaurant	75,000		\$80,000		
Cheesecake Factory	Restaurant	25,000	5	\$75,000	average	Bloomingtondale's, Nordstrom, Nieman Marcus
Chuy's	Restaurant	50,000	5	\$65,000	average	
Dickey's BBQ Pit	Restaurant	30,000	5	\$60,000	average	
Ted's Montana Grill	Restaurant	60,000	3	\$100,000		Urban properties
Bonefish Grill	Restaurant	200,000	5	\$100,000	median	Pay most attention to performance of surrounding
Robeks	Restaurant	35,000	2	\$60,000	average	restaurants - demographics aren't the whole story
Pancheros Mexican Grill	Restaurant	20,000	2	\$65,000	average	
CeFlore Italian Yogurt	Restaurant	45,000	1.5	\$75,000	average	
Outback Steakhouse	Restaurant	150,000	5	\$65,000	average	
Eddie Merlot's	Restaurant	35,000	7	\$100,000	Average	
Red Robin	Restaurant	75,000	5	\$70,000	Average	
DSW	Shoes	200,000		\$70,000	average	

JEFFERSON APARTMENT GROUP

III. RESIDENTIAL MARKET ANALYSIS

# JEFFERSON APARTMENT GROUP

## Exhibit III-1

### PROPOSED FOR-SALE PROGRAM BASED ON COMPETITIVE MARKET TALL OAKS FEBRUARY 2016

Scenario 1: Nov 2015 Plan		Program					
Unit Type	# Units	% of Total	Average Size	Average Base Price	\$/SF	Average Final Price	\$/SF
2BR/1b Condo Flat	21	30%	1,200	\$420,000	\$350	\$432,600	\$361
2BR/2b Condo Flat	49	70%	1,550	\$490,000	\$316	\$504,700	\$326
<b>Subtotal</b>	<b>70</b>	<b>100%</b>	<b>1,445</b>	<b>\$469,000</b>	<b>\$326</b>	<b>\$483,070</b>	<b>\$341</b>
3BR Two-Over-Two	21	50%	1,700	\$570,000	\$335	\$592,800	\$349
3BR Two-Over-Two	21	50%	2,300	\$620,000	\$270	\$644,800	\$280
<b>Subtotal</b>	<b>42</b>	<b>100%</b>	<b>2,000</b>	<b>\$595,000</b>	<b>\$302</b>	<b>\$618,800</b>	<b>\$309</b>
3B Townhome	35	80%	2,400	\$680,000	\$283	\$748,000	\$312
4B Townhome	9	20%	2,800	\$760,000	\$271	\$836,000	\$299
<b>Subtotal</b>	<b>44</b>	<b>100%</b>	<b>2,480</b>	<b>\$696,000</b>	<b>\$281</b>	<b>\$765,600</b>	<b>\$305</b>
<b>TOTAL / AVERAGE</b>	<b>156</b>	<b>100%</b>	<b>1,886</b>	<b>\$566,949</b>	<b>\$301</b>	<b>\$599,301</b>	<b>\$318</b>

SOURCE: RCLCO

# JEFFERSON APARTMENT GROUP

## Exhibit III-2

### ALTERNATIVE FOR-SALE PROGRAMS BASED ON COMPETITIVE MARKET TALL OAKS FEBRUARY 2016

Scenario 2: Townhome & 2-Over-2	Program					
	# Units	% of Total	Average Size	Average Price	Average Final Price	\$/SF
3BR Two-Over-Two	28	50%	1,700	\$570,000	\$592,800	\$349
3BR Two-Over-Two	28	50%	2,300	\$620,000	\$644,800	\$280
<b>Subtotal</b>	<b>56</b>	<b>100%</b>	<b>2,000</b>	<b>\$595,000</b>	<b>\$618,800</b>	<b>\$309</b>
3B Townhome	42	80%	2,400	\$680,000	\$748,000	\$312
4B Townhome	10	20%	2,800	\$760,000	\$836,000	\$299
<b>Subtotal</b>	<b>52</b>	<b>100%</b>	<b>2,480</b>	<b>\$696,000</b>	<b>\$765,600</b>	<b>\$305</b>
<b>TOTAL / AVERAGE</b>	<b>108</b>	<b>100%</b>	<b>2,231</b>	<b>\$643,630</b>	<b>\$689,481</b>	<b>\$309</b>

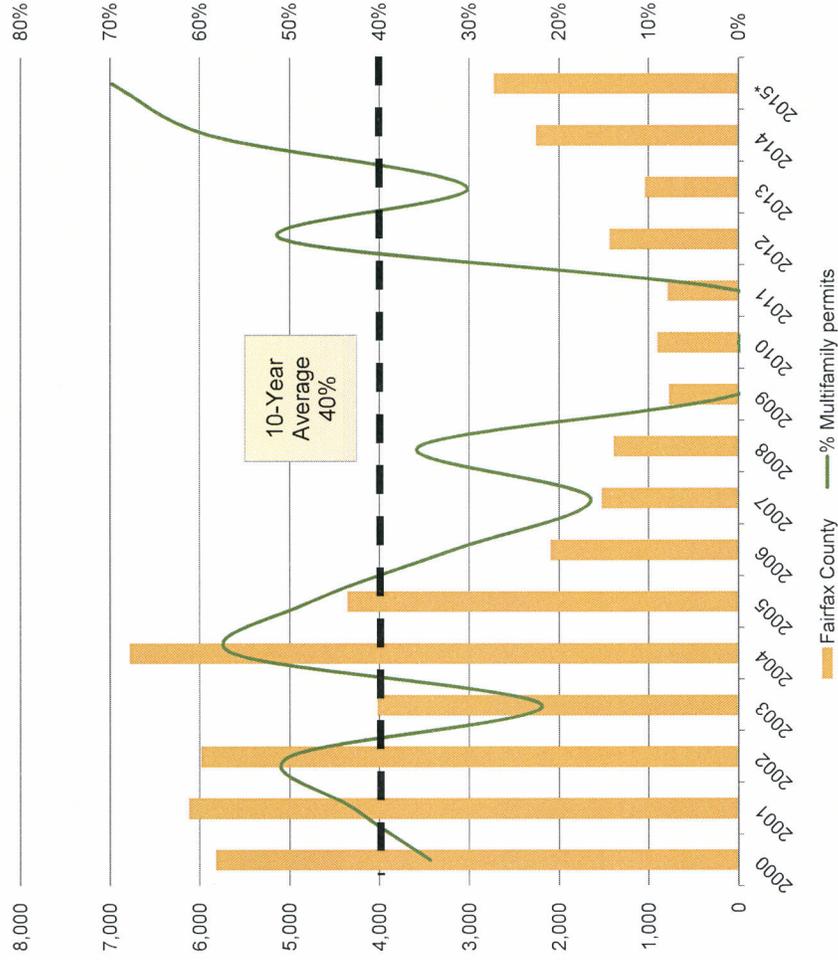
Scenario 3: Townhome Only	Program					
	# Units	% of Total	Average Size	Average Price	Average Final Price	\$/SF
3B Townhome	80	80%	2,400	\$680,000	\$748,000	\$312
4B Townhome	20	20%	2,800	\$760,000	\$836,000	\$299
<b>Subtotal</b>	<b>100</b>	<b>100%</b>	<b>2,480</b>	<b>\$696,000</b>	<b>\$765,600</b>	<b>\$305</b>
<b>TOTAL / AVERAGE</b>	<b>100</b>	<b>100%</b>	<b>2,480</b>	<b>\$696,000</b>	<b>\$765,600</b>	<b>\$305</b>

SOURCE: RCLCO

# JEFFERSON APARTMENT GROUP

## Exhibit III-3

### RESIDENTIAL BUILDING PERMITS AND PERCENT MULTIFAMILY FAIRFAX COUNTY, VA 2000-2015



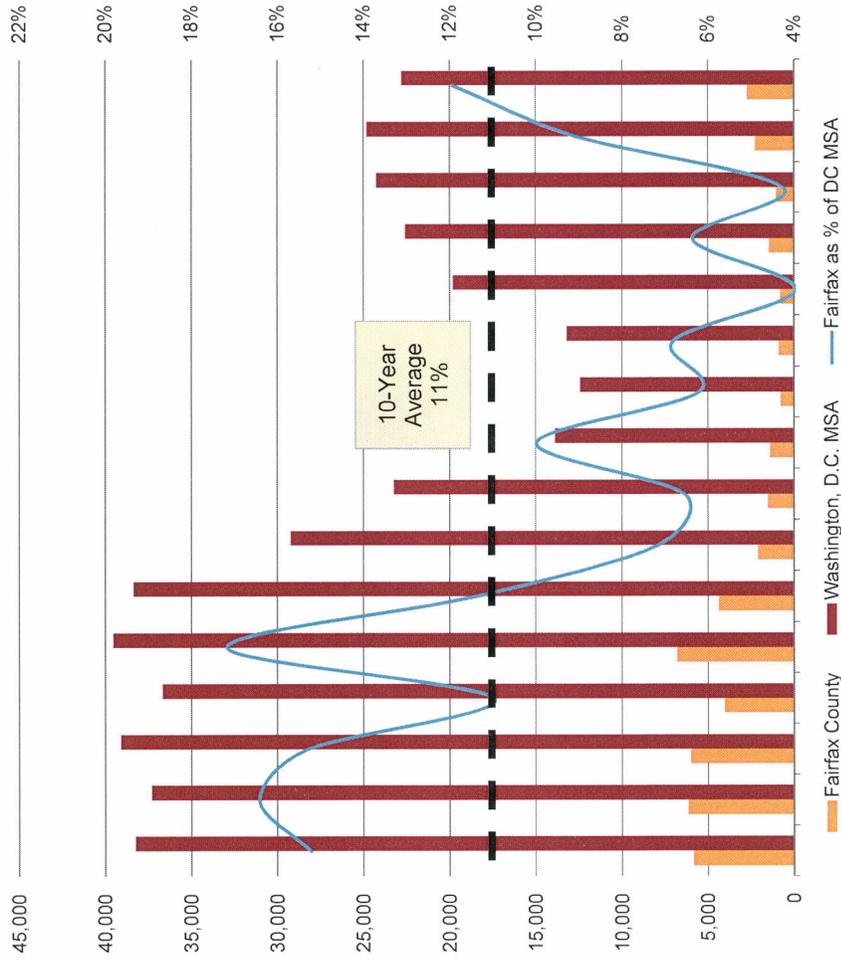
	Average Annual Residential Permits	
	FAIRFAX	D.C. MSA
# MF Permits	1,254	8,964
Total Permits	2,997	27,203
% MF Permits	42%	33%

\* 2015 figures are preliminary estimates  
SOURCE: HUD SOCCDS

# JEFFERSON APARTMENT GROUP

## Exhibit III-4

### FAIRFAX COUNTY CAPTURE OF MSA TOTAL RESIDENTIAL BUILDING PERMITS FAIRFAX COUNTY, VA 2000-2015



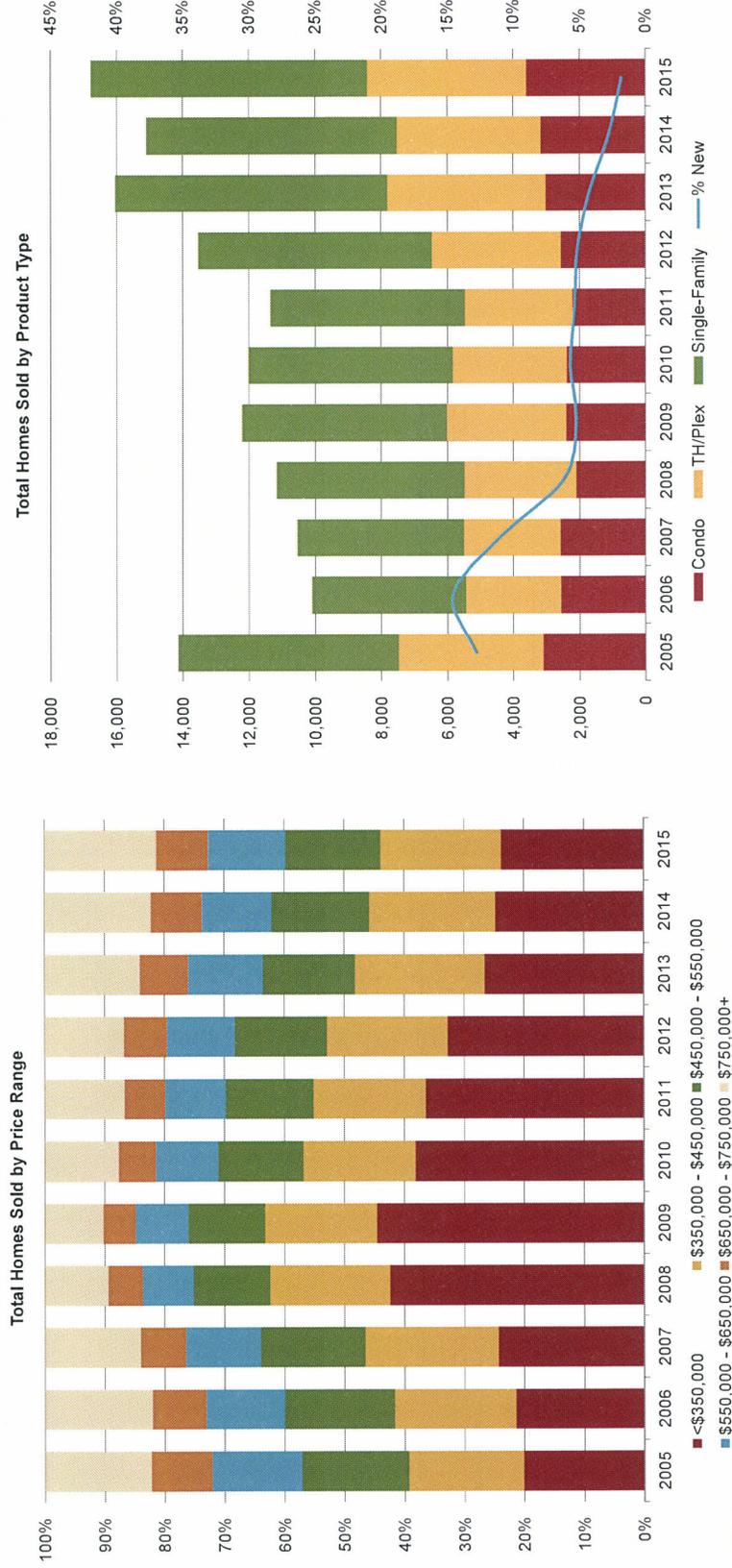
Average Annual Residential Permits		
Total Permits County as % of MSA	2000 - 2015 YTD	
	FAIRFAX	D.C. MSA
	4,251	36,167
	--	12%

\* 2015 figures are preliminary estimates  
SOURCE: HUD SOCCDS

# JEFFERSON APARTMENT GROUP

Exhibit III-5

## HISTORICAL RESIDENTIAL SALES (ALL HOMES) FAIRFAX COUNTY, VA 2005-2015

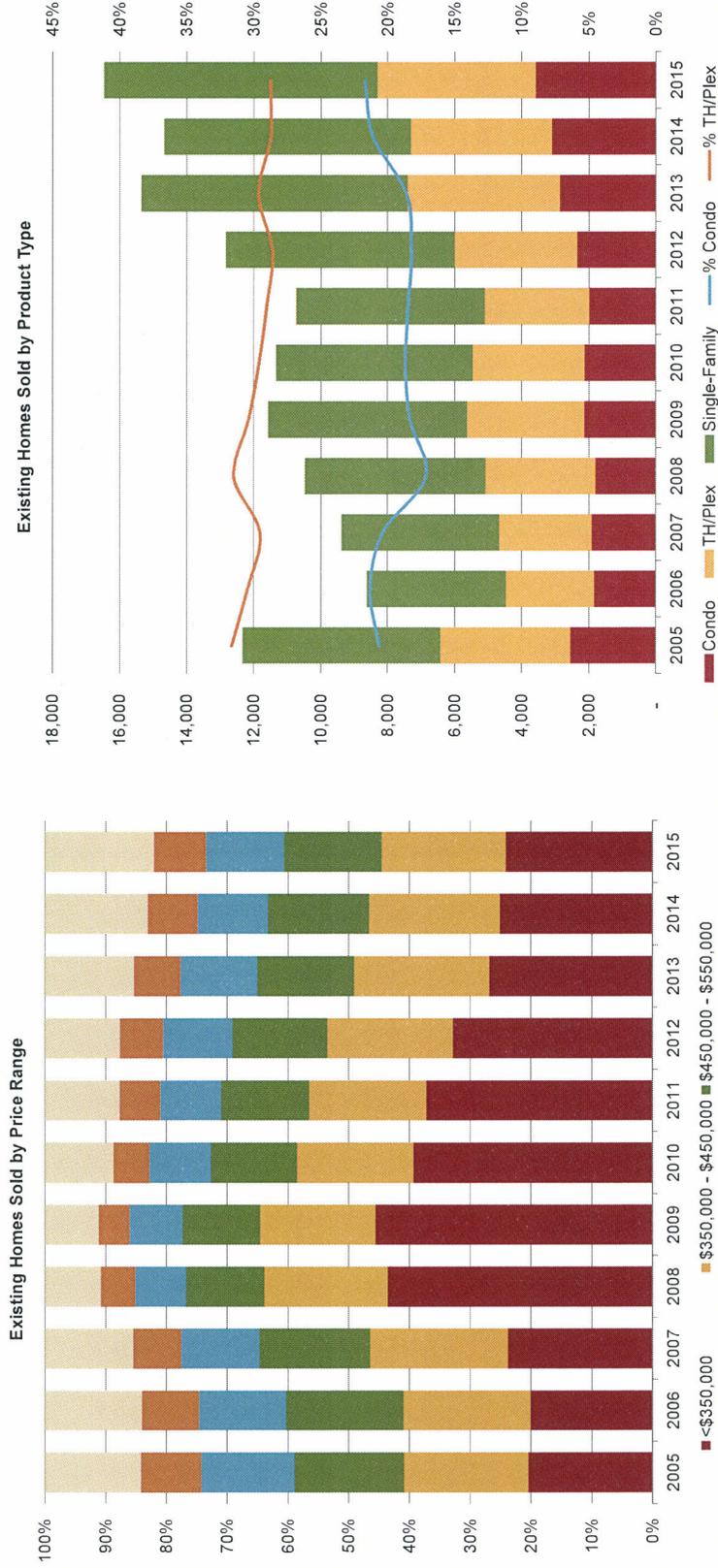


SOURCE: RealQuest

# JEFFERSON APARTMENT GROUP

Exhibit III-6

## HISTORICAL RESIDENTIAL SALES (EXISTING HOMES) FAIRFAX COUNTY, VA 2005-2015

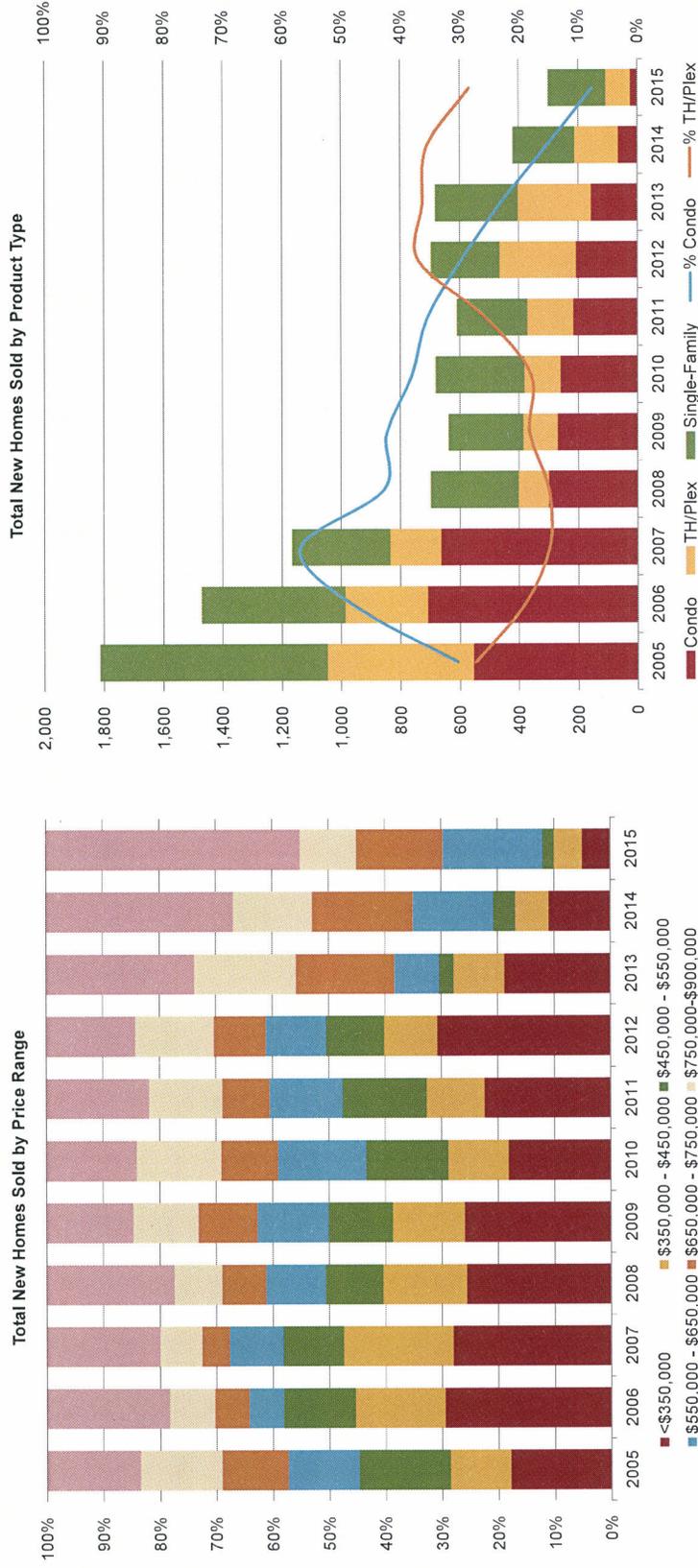


SOURCE: RealQuest

# JEFFERSON APARTMENT GROUP

Exhibit III-7

## HISTORICAL RESIDENTIAL SALES (NEW HOMES) FAIRFAX COUNTY, VA 2005-2015

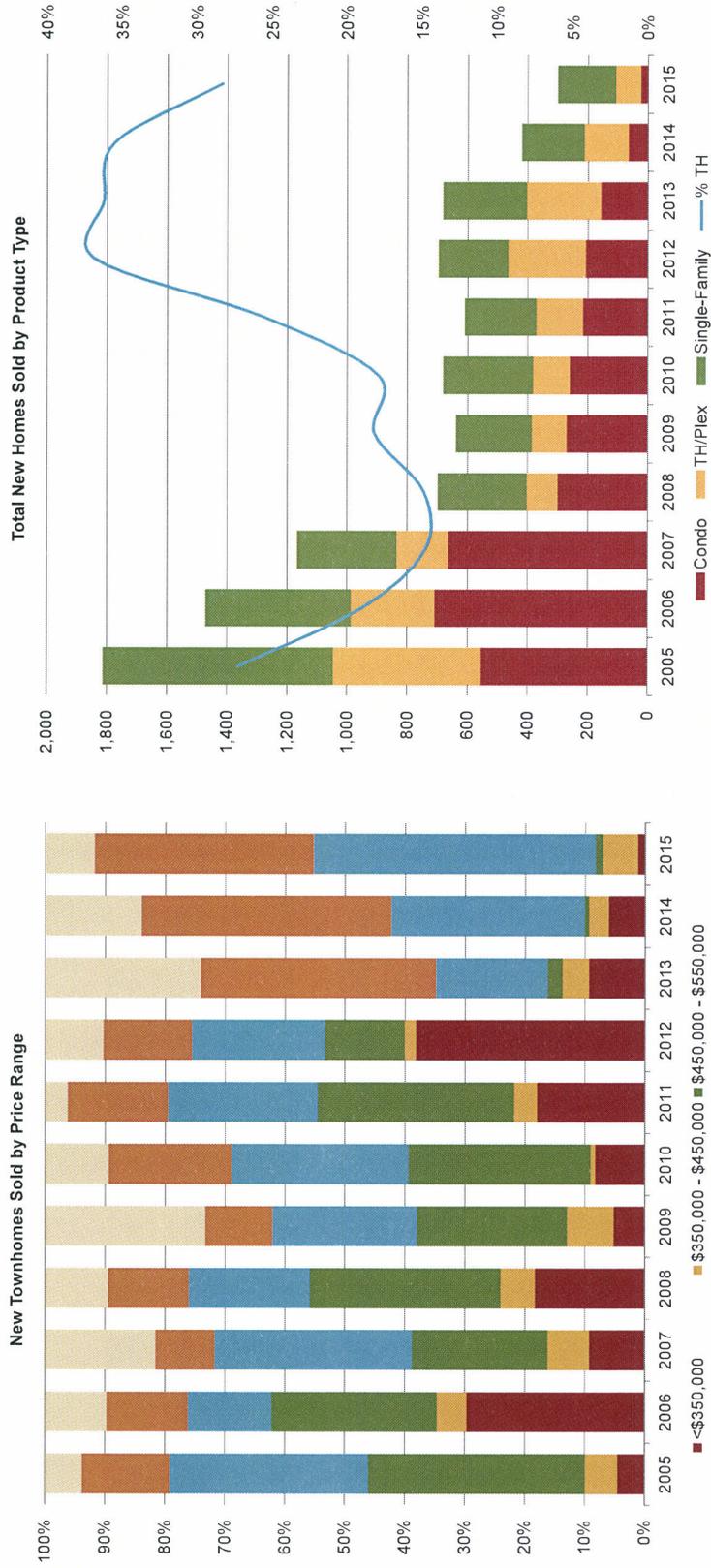


SOURCE: RealQuest

# JEFFERSON APARTMENT GROUP

Exhibit III-8

## HISTORICAL RESIDENTIAL SALES (TOWNHOMES) FAIRFAX COUNTY, VA 2005-2015

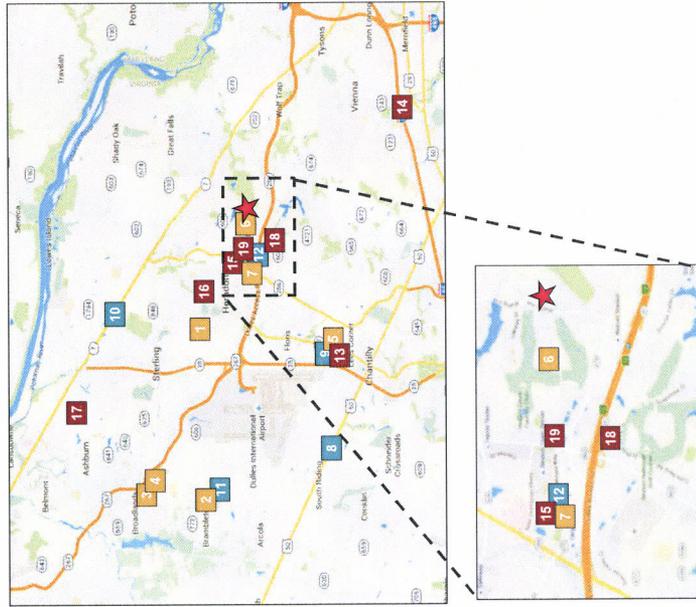


SOURCE: RealQuest

# JEFFERSON APARTMENT GROUP

Exhibit III-9

## MAP OF FOR-SALE CONDO AND TOWNHOME DEVELOPMENTS RESTON AND SURROUNDING AREA FEBRUARY 2016



MAP KEY	PROPERTY	BUILDER	YEAR BUILT	# OF HOMES	AVG. BASE PRICE	PRICE \$/SF	AVG. FINAL PRICE	FINAL PRICE
1	Townes at Hallcrest	Comstock	2014	42	\$405,990	\$197	\$438,469	\$197
2	Loudoun Valley	Toll Brothers	2015	401	\$491,890	\$237	\$541,079	\$237
3	Westmoore	NVHomes	2015	300	\$547,000	\$223	\$601,700	\$223
4	Westmoore	Ryan Homes	2015	300	\$496,992	\$252	\$546,691	\$252
5	Discovery Square	NVHomes	2014	85	\$613,859	\$275	\$675,245	\$275
6	Links Drive	N/A	1968	28	\$420,370	\$199	\$462,414	\$199
7	West Market	N/A	1998	20	\$728,000	\$375	\$801,000	\$375
8	East Gate	KB Home	2015	158	\$346,490	\$166	\$381,139	\$162
9	Discovery Square	Ryan Homes	2014	208	\$450,000	\$213	\$450,000	\$213
10	Crescent Collection at Cascades View	Wormald	2016	N/A	\$472,740	\$225	\$472,740	\$225
11	Loudoun Valley	Toll Brothers	2015	306	\$344,495	\$187	\$376,945	\$187
12	Lincoln Park	N/A	1999	104	\$454,686	\$329	\$500,155	\$329
13	Discovery Square	K Hovnanian	2014	100+	-	-	\$368,990	\$299
14	The Flats at MetroWest	Pulte	2014	128	-	-	\$559,990	\$401
15	Malden Park at West Market	VanMetre	2000	98	-	-	\$423,616	\$313
16	Fortnightly Square	Carr Homes	2005	N/A	-	-	\$269,627	\$238
17	Potomac Green*	Del Webb	2012	N/A	-	-	\$293,490	\$231
18	The Mercer	JBG	2006	300+	-	-	\$316,218	\$352
19	Stratford at Reston Town Ctr.	Renaissance	1998	338	-	-	\$521,347	\$428

KEY  
 Townhomes  
 Two-over-Two  
 Condo  
★ Subject Site

\*Age-restricted community  
 SOURCE: Property websites; Leasing agent interviews; RCLCO

# JEFFERSON APARTMENT GROUP

Exhibit III-10

## FOR-SALE TOWNHOMES & 2-OVER-2 RESTON AND SURROUNDING AREA FEBRUARY 2016

MAP KEY	COMMUNITY	YEAR BUILT	BUILDER	TYPE/FLOOR PLANS	TOTAL UNITS	UNIT MIX	UNIT RANGE	AVG. SIZE	UNIT BASE PRICE	AVG. PRICE	AVG. BASE \$/SF	AVG. ADP'L UPGRADES	AVG. FINAL PRICE	AVG. \$/SF
1	Townes at Hallcrest Oakgrove Road Sterling, VA 20166	2014	Comstock	Townhomes 3B/2.5b 4B/2.5b	42	100%	2,228 - 2,228 2,228 - 2,228 2,228 - 2,228	2,228	\$399,990 - \$429,990 \$399,990 - \$399,990 \$429,990 - \$429,990	\$405,990	\$182	8.00%	\$438,469	\$197
2	Loudoun Valley Evergreen Ridge Ashburn, VA 20148	2015	Toll Brothers	Townhomes 3B/2.5b 4B/3.5b	401	100%	2,046 - 2,751 2,046 - 2,751 2,103 - 2,142	2,281	\$449,985 - \$546,995 \$482,985 - \$546,995 \$449,985 - \$470,995	\$491,890	\$216	10.00%	\$541,079	\$237
3	Westmoore Ghazwa Square Ashburn, VA 20148	2015	NVHomes	Townhomes 3B/2.5b 3B/3.5b	300	100%	2,591 - 2,844 2,591 - 2,591 2,844 - 2,844	2,692	\$535,000 - \$565,000 \$535,000 - \$535,000 \$565,000 - \$565,000	\$547,000	\$203	10.00%	\$601,700	\$223
4	Westmoore Ghazwa Square Ashburn, VA 20148	2015	Ryan Homes	Townhomes 3B/2.5b 3B/3.5b	300	100%	1,873 - 2,247 2,247 - 2,247 1,873 - 1,873	2,172	\$445,000 - \$509,990 \$509,990 - \$509,990 \$445,000 - \$445,000	\$496,992	\$229	10.00%	\$546,591	\$252
5	Discovery Square Neil Armstrong Ave Hemdon, VA 20171 <i>Based on past listings</i>	2014	NVHomes	Townhomes 4B/4b 4B/3.5b	85	100%	2,090 - 2,909 2,090 - 2,090 2,500 - 2,909	2,459	\$597,000 - \$625,099 \$597,000 - \$597,000 \$625,099 - \$625,099	\$613,859	\$250	10.00%	\$675,245	\$275
6	Links Drive Links Drive Reston, VA 20190 <i>Resales (unit mix based on 3yr sales)</i>	1988	N/A	Townhomes 2B/1.5b 3B/2.5b 4B/3b	28	100%	1,520 - 3,350 1,520 - 1,520 1,780 - 2,388 1,928 - 3,350	2,321	\$313,000 - \$495,455 \$313,000 - \$341,000 \$364,545 - \$495,455 \$355,455 - \$495,455	\$420,370	\$181	10.00%	\$462,414	\$199
7	West Market Logan Manor Drive Reston, VA 20190 <i>Resales (unit mix based on 3yr sales)</i>	1998	N/A	Townhomes 3B/3b	20	100%	1,731 - 2,544 1,731 - 2,544	2,138	\$627,000 - \$629,000 \$627,000 - \$629,000	\$728,000	\$341	10.00%	\$801,000	\$375
8	East Gate 25563 Feltre Terrace Chantilly, VA 20152	2015	KB Home	Two-over-Two 3B/2.5b	158	100%	1,542 - 2,643 1,542 - 2,643	2,093	\$316,990 - \$373,990 \$316,990 - \$373,990	\$346,490	\$166	10.00%	\$381,139	\$182
9	Discovery Square Endeavor Drive Oak Hill, VA 20171	2014	Ryan Homes	Two-over-Two 3B/2.5b	208	100%	1,606 - 2,617 1,606 - 2,617	2,112	\$425,000 - \$475,000 \$425,000 - \$475,000	\$450,000	\$213	N/A	\$450,000	\$213
10	Crescent Collection at Cascades View 21406 Potomac View Road Sterling, VA 20164	2016	Wormald	Two-over-Two 3B/2.5b	N/A	100%	2,100 - 2,100 2,100 - 2,100	2,100	\$469,490 - \$475,990 \$469,490 - \$475,990	\$472,740	\$225	N/A	\$472,740	\$225
11	Loudoun Valley Evergreen Ridge Ashburn, VA 20148	2015	Toll Brothers	Two-over-Two 3B/2.5b	306	100%	1,076 - 2,485 1,575 - 2,485	2,030	\$322,995 - \$365,995 \$322,995 - \$365,995	\$344,495	\$170	10.00%	\$378,945	\$187
12	Lincoln Park Trumbull Way Reston, VA 20190 <i>Resales (unit mix based on 3yr sales)</i>	1999	N/A	Two-over-Two 2B/2.5b 3B/2.5b	104	100%	1,076 - 1,876 1,076 - 1,076 1,876 - 1,876	1,521	\$363,636 - \$524,545 \$363,636 - \$418,182 \$482,727 - \$524,545	\$464,686	\$299	10.00%	\$500,155	\$329

Note: Resale prices deducted 10% to estimate base price  
SOURCE: Brokers; Homebuilder Websites; RCLCO



ROBERT CHARLES LESSER & CO.

# JEFFERSON APARTMENT GROUP

Exhibit III-11

## FOR-SALE CONDOMINIUMS RESTON AND SURROUNDING AREA FEBRUARY 2016

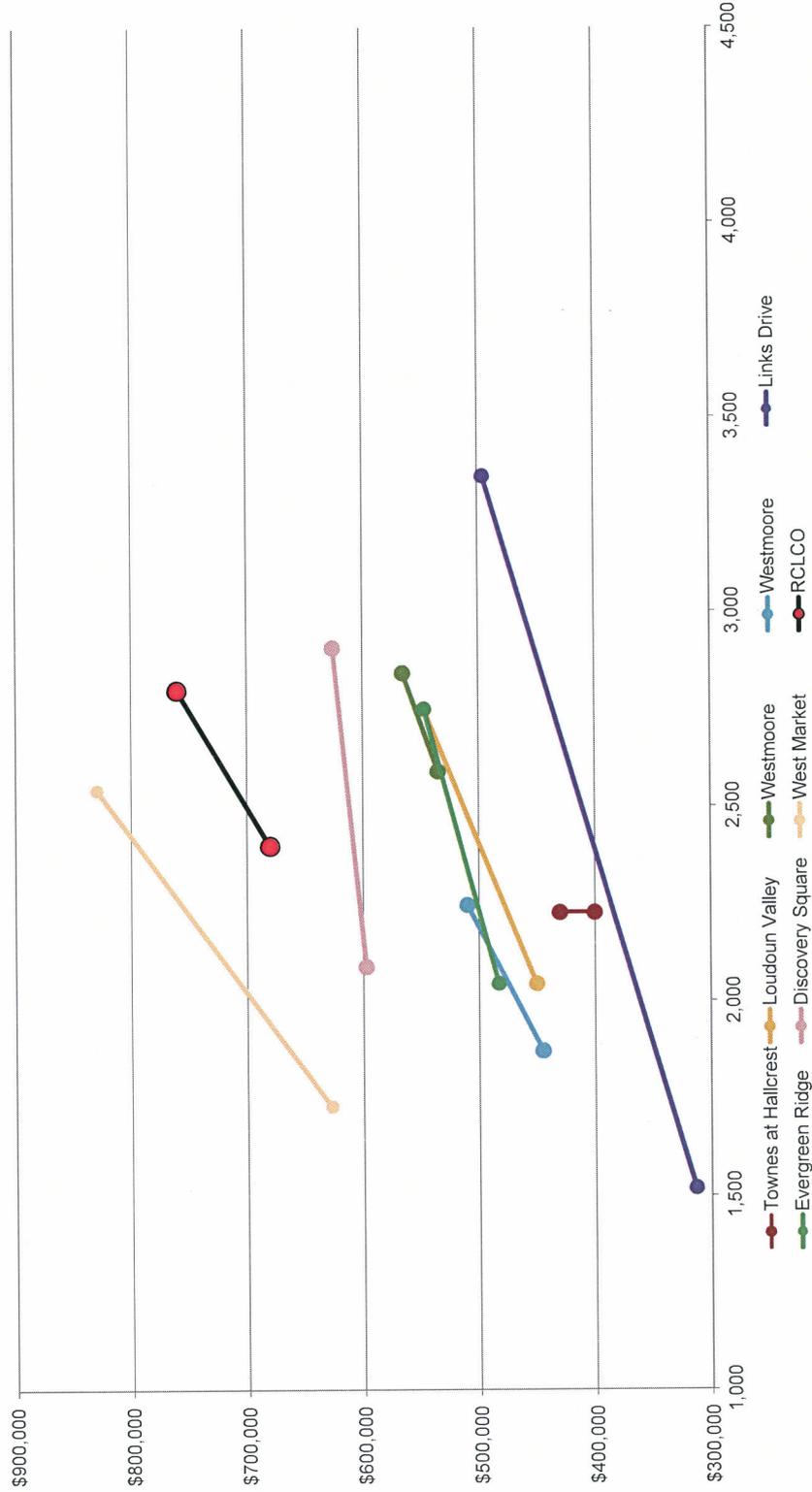
MAP KEY	COMMUNITY	YEAR BUILT	BUILDER	TYPE/FLOOR PLANS	TOTAL UNITS	UNIT MIX	UNIT SIZE RANGE	AVG. SIZE	UNIT BASE PRICE	AVG. BASE PRICE	AVG. BASE \$/SF
13	Discovery Square Endeavor Drive Oak Hill, VA 20171	2014	K Hovnanian	Condo 2B/2b	100+	100%	1,133 - 1,333 1,133 - 1,333	1,233 1,233	\$340,990 - \$396,990 \$340,990 - \$396,990	\$368,990 \$368,990	\$299 \$299
14	The Flats at MetroWest Bastille St Fairfax, VA 22031	2014	Pulte	Condo 2B/2b	128	100%	1,256 - 1,539 1,256 - 1,539	1,398 1,398	\$539,990 - \$579,990 \$539,990 - \$579,990	\$559,990 \$559,990	\$401 \$401
15	Madison Park at West Market Abington Hall Place Reston, VA 20190	2000	VanMetre	Condo 2B/2b 3B/2b	98	100%	1,172 - 1,702 1,172 - 1,419 1,334 - 1,702	1,354 1,296 1,518	\$370,000 - \$510,000 \$370,000 - \$437,500 \$450,000 - \$510,000	\$423,816 \$403,750 \$480,000	\$313
16	Fortnightly Square Branch Dr Herndon, VA 20170	2005	Carr Homes	Condo 2B/1.5b 2B/2b	N/A	100%	873 - 1,434 873 - 1,147 950 - 1,434	1,131 1,010 1,192	\$217,000 - \$309,880 \$217,000 - \$285,000 \$248,000 - \$309,880	\$269,627 \$251,000 \$278,940	\$238
17	Potomac Green* Hope Spring Terrace Ashburn, VA 20147	2012	DelWebb	Condo 2B/2b	N/A	100%	890 - 1,654 890 - 1,654	1,272 1,272	\$216,990 - \$369,990 \$216,990 - \$369,990	\$293,490 \$293,490	\$231
18	The Mercer 11760 Sunrise Valley Dr Reston, VA 20190	2006	JBG	Condo 1B/1b 2B/2b	300+	100%	656 - 1,095 656 - 741 922 - 1,095	898 699 1,009	\$237,000 - \$405,000 \$237,000 - \$265,000 \$299,900 - \$405,000	\$316,218 \$251,000 \$352,450	\$352
19	Stratford at Reston Town Ctr. 1854 Stratford Park Pl Reston, VA 20190	1998	Renaissance	Condo 2B/2b 3B/2.5b	338	100%	836 - 1,530 836 - 1,524 1,524 - 1,530	1,219 1,180 1,527	\$345,000 - \$699,000 \$345,000 - \$699,000 \$487,500 - \$545,000	\$521,347 \$522,000 \$516,250	\$428

SOURCE: Brokers; Homebuilder Websites; RCLCO

# JEFFERSON APARTMENT GROUP

Exhibit III-12

PRICE-TO-SIZE RELATIONSHIP OF ACTIVELY SELLING TOWNHOMES<sup>1</sup>  
RESTON AND SURROUNDING AREA  
FEBRUARY 2016

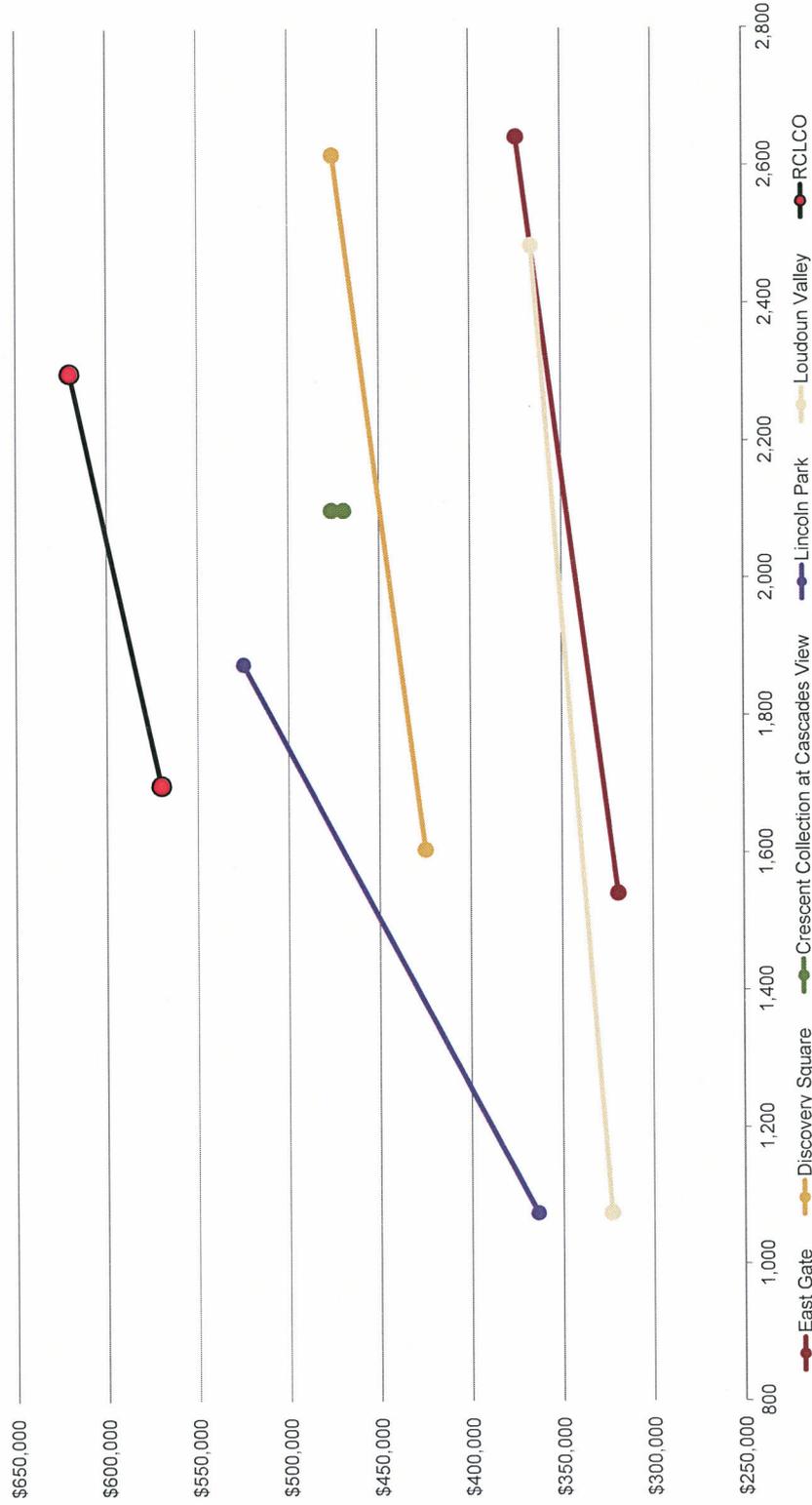


<sup>1</sup> Selected communities are those RCLCO believes to be most similar to Subject Site properties and future residential opportunities  
NOTE: RCLCO recommendations shown are base prices  
SOURCE: RCLCO

# JEFFERSON APARTMENT GROUP

Exhibit III-13

PRICE-TO-SIZE RELATIONSHIP OF ACTIVELY SELLING 2-OVER-2<sup>1</sup>  
RESTON AND SURROUNDING AREA  
FEBRUARY 2016



<sup>1</sup> Selected communities are those RCLCO believes to be most similar to Subject Site properties and future residential opportunities

NOTE: RCLCO recommendations shown are base prices

SOURCE: RCLCO

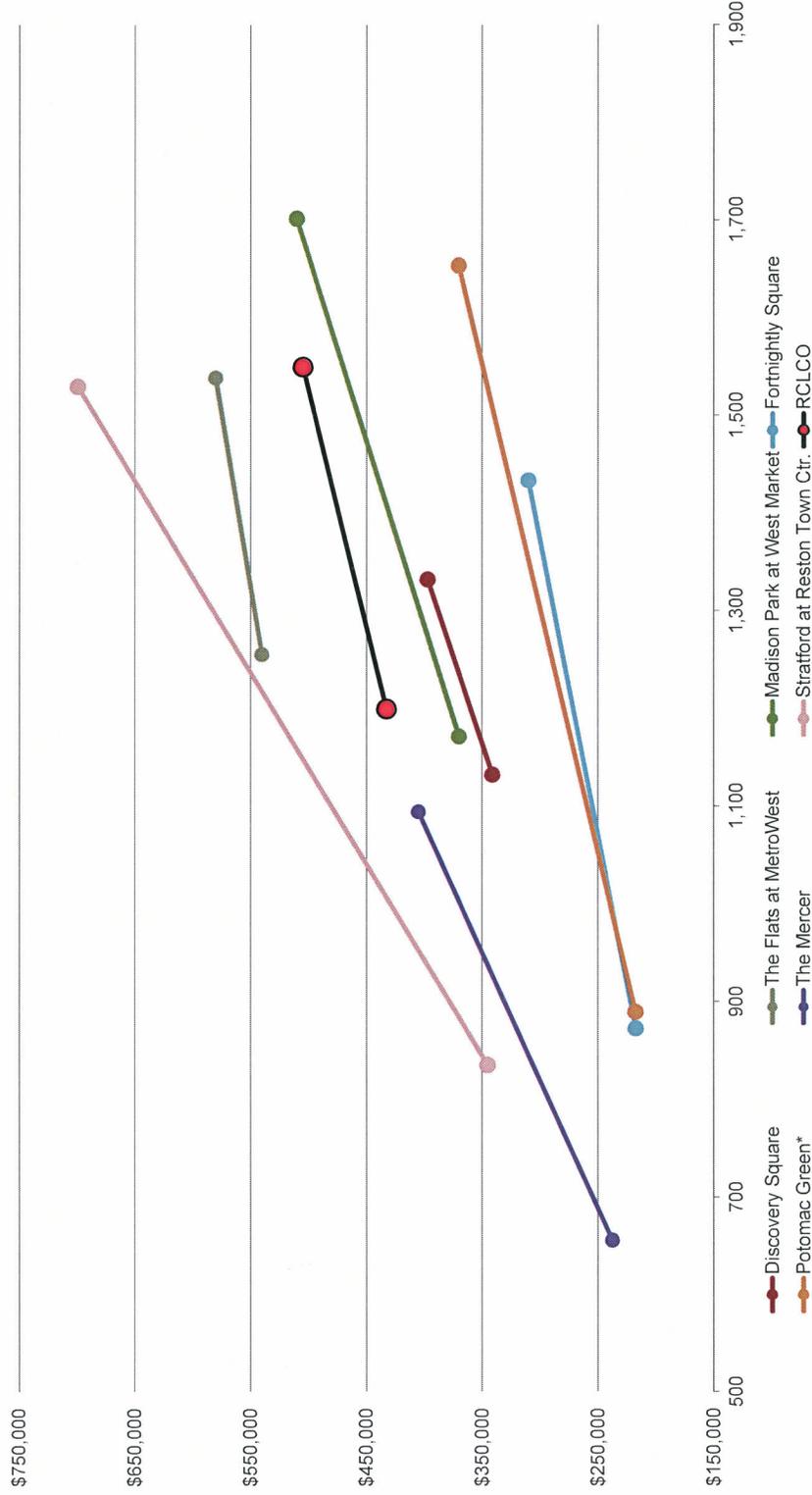


ROBERT CHARLES LESSER & CO.

# JEFFERSON APARTMENT GROUP

Exhibit III-14

PRICE-TO-SIZE RELATIONSHIP OF ACTIVELY SELLING CONDOMINIUMS<sup>1</sup>  
RESTON AND SURROUNDING AREA  
FEBRUARY 2016

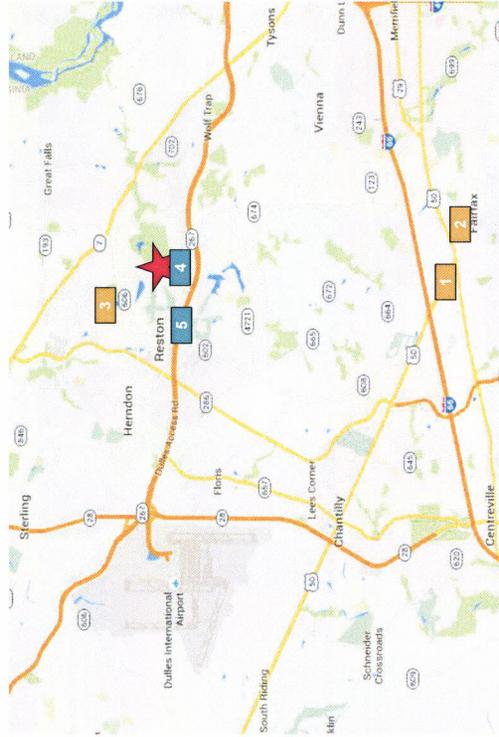


<sup>1</sup> Selected communities are those RCLCO believes to be most similar to Subject Site properties and future residential opportunities  
NOTE: RCLCO recommendations shown final prices  
SOURCE: RCLCO

# JEFFERSON APARTMENT GROUP

Exhibit III-15

## UNDER CONSTRUCTION, PLANNED, AND PROPOSED TOWNHOME AND 2-OVER-2 PROJECTS RESTON AND SURROUNDING AREA FEBRUARY 2016



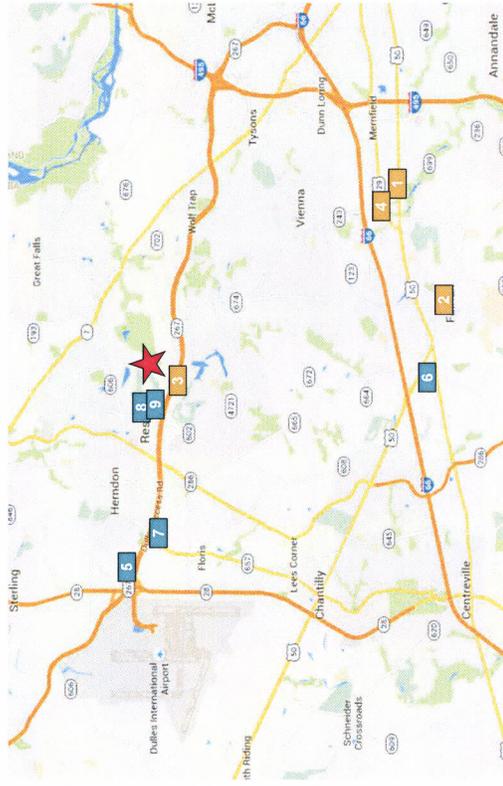
MAP KEY	COMMUNITY	DEVELOPER	UNITS	STATUS	EST. OPENING
<b>Short Term Planned and Proposed</b>					
1	8301 Lee Highway (Vienna Metro)	NVR	141	Planned	2017/2018
2	Oak Knolls development (Condo & TH)	Oak Knolls Realty Corp.	40	Planned	2017/2018
3	St John's Wood (Apt. & TH)	Bozzuto	34	Planned	2017/2018
<b>Long Term Planned and Proposed</b>					
4	The Lofts at Reston Station	Pulte Home Corp.	42	Proposed	2018+
5	American Press Institute Site	Sekas Homes	37	Proposed	2018+
★ Subject Site					

Note: Locations are an estimate  
SOURCE: Delta Associates; Local news sources

# JEFFERSON APARTMENT GROUP

Exhibit III-16

## UNDER CONSTRUCTION, PLANNED, AND PROPOSED CONDOMINIUM PROJECTS RESTON AND SURROUNDING AREA FEBRUARY 2016



MAP KEY	COMMUNITY	DEVELOPER	UNITS	STATUS	EST. OPENING
<b>Short Term Planned and Proposed</b>					
1	The Enclave	-	80	Proposed	2018
2	Oak Knolls development (Condo & TH)	Oak Knolls Realty Corp.	94	Proposed	2018
3	Momentum	-	400	Proposed	2019
4	MetroWest - Mid/High Rise	-	848	Site Plan	2020+
<b>Long Term Planned and Proposed</b>					
5	The Rocks	-	411	Proposed	2020+
6	Fairfax Corner	-	290	Site Plan	2020+
7	Arrowbrook Center - Phase III	-	508	Proposed	2020+
8	Spectrum North I & II	-	880	Proposed	2020+
9	Spectrum South	-	546	Proposed	2020+
★	Subject Site	-	-	-	-

Note: Locations are an estimate. Based on planned and proposed MF units, unit mix to be determined  
SOURCE: Delta Associates; Local news sources

# JEFFERSON APARTMENT GROUP

Exhibit III-17

## LAND VALUES RESTON AND SURROUNDING AREA FEBRUARY 2016

PROJECT	LOCATION	BUILDER	COST OF LAND	# OF PARCELS / UNITS	\$ PER PARCEL / UNIT	AVG. SALES PRICE PER UNIT	LAND AS % OF COST
<b>Townhomes</b>							
Discovery Square	Herndon, VA	NVHomes	\$1,406,980	5	\$281,396	\$625,500	45.0%
Townes at Autumn Oaks	Sterling, VA	NVHomes	\$1,143,425	8	\$142,928	\$480,000	29.8%
Chestnut Place	Falls Church, VA	NVHomes	\$3,630,000	6	\$605,000	\$1,082,500	55.9%
Ridgewood	Fairfax, VA	NVHomes	\$2,205,000	9	\$245,000	\$690,675	35.5%
Brambleton	Ashburn, VA	Van Metre	\$3,290,000	20	\$164,500	\$503,250	32.7%
River Crest	Ashburn, VA	Pulte	\$11,500,000	95	\$121,053	--	--
					<b>AVERAGE</b>		<b>39.8%</b>
<b>Two-Over-Two</b>							
Discovery Square	Herndon, VA	Ryan Homes	\$2,802,419	16	\$175,151	\$464,000	37.7%
East Gate	Chantilly, VA	KB Homes	\$1,264,000	10	\$126,400	\$346,500	36.5%
Cascades View	Sterling, VA	Wormald	\$7,000,000	38	\$184,211	\$472,750	39.0%
					<b>AVERAGE</b>		<b>37.7%</b>
<b>Condo</b>							
Discovery Square	Herndon, VA	K Hovnanian	\$3,600,000	36	\$100,000	\$359,600	27.8%
					<b>AVERAGE</b>		<b>27.8%</b>

SOURCE: RCLCO

**JEFFERSON APARTMENT GROUP**

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**IV. RESIDENTIAL DEMAND**

# JEFFERSON APARTMENT GROUP

## Exhibit IV-1

### ANNUAL FOR-SALE RESIDENTIAL DEMAND PRIMARY MARKET AREA 2016-2021

Age and Income	Mortgage as a % of Income	Affordable Home Price Range <sup>1</sup>	Total HHs <sup>2</sup>	DEMAND FROM EXISTING HOUSEHOLDS				DEMAND FROM NEW HOUSEHOLDS				CONDO DEMAND				TOWNHOME & 2-OVER-2 DEMAND			
				% Owners <sup>3</sup>	% Owners <sup>3</sup> Turnover <sup>3</sup>	Annual Owners in Turnover <sup>3</sup>	Demanded from Renters becoming Owners <sup>3</sup>	Demand from Existing HHs	Net New HHs	% Owners <sup>3</sup>	Total Demand from New HHs	Total Demand from New Pool	% Choosing New Condo <sup>3</sup>	% Choosing New Product <sup>3</sup>	Total Demand for New MF	% Choosing New TH	% Choosing New Product	Total Demand for New SFA	
<b>Under 25</b>			<b>816</b>	<b>100%</b>		<b>79</b>	<b>24</b>	<b>38</b>	<b>62</b>	<b>117</b>	<b>73</b>	<b>9</b>	<b>14</b>						
UNDER \$35,000	34% - 32%	UNDER - \$190,000	195	24%	7%	13	3	3	5	28	7%	25%	5%	0	25%	5%	0		
\$35,000 - \$50,000	32% - 30%	\$190,000 - \$260,000	114	14%	0%	-	1	1	1	16	0%	0%	0	0	25%	30%	0		
\$50,000 - \$75,000	30% - 28%	\$260,000 - \$360,000	177	22%	6%	10	6	6	16	25	5%	50%	35%	3	40%	35%	2		
\$75,000 - \$100,000	28% - 26%	\$360,000 - \$450,000	133	16%	5%	6	12	13	13	19	5%	40%	40%	2	50%	40%	3		
\$100,000 - \$150,000	26% - 25%	\$450,000 - \$650,000	131	16%	38%	49	10	8	18	19	38%	30%	40%	3	60%	40%	6		
\$150,000 - AND OVER	25% - 24%	\$650,000 - AND OVER	66	8%	0%	-	9	9	9	9	0%	10%	50%	0	60%	50%	3		
<b>25-34</b>			<b>6,136</b>	<b>100%</b>		<b>1,901</b>	<b>483</b>	<b>397</b>	<b>879</b>	<b>437</b>	<b>1,015</b>	<b>119</b>	<b>169</b>						
UNDER \$35,000	34% - 32%	UNDER - \$190,000	842	14%	5%	39	8	17	25	60	5%	25%	5%	0	5%	5%	0		
\$35,000 - \$50,000	32% - 30%	\$190,000 - \$260,000	608	10%	47%	266	14	14	179	43	47%	30%	30%	9	15%	30%	9		
\$50,000 - \$75,000	30% - 28%	\$260,000 - \$360,000	892	15%	13%	112	20	23	75	64	13%	40%	35%	15	30%	35%	11		
\$75,000 - \$100,000	28% - 26%	\$360,000 - \$450,000	1,103	18%	22%	283	62	71	132	79	26%	40%	40%	24	40%	40%	24		
\$100,000 - \$150,000	26% - 25%	\$450,000 - \$650,000	1,454	24%	18%	515	94	137	230	104	35%	20%	40%	21	55%	40%	59		
\$150,000 - AND OVER	25% - 24%	\$650,000 - AND OVER	1,237	20%	54%	667	132	84	215	88	54%	10%	50%	13	50%	50%	66		
<b>35 - 44</b>			<b>9,721</b>	<b>100%</b>		<b>5,349</b>	<b>498</b>	<b>239</b>	<b>737</b>	<b>426</b>	<b>971</b>	<b>55</b>	<b>127</b>						
UNDER \$35,000	34% - 32%	UNDER - \$190,000	809	8%	21%	173	35	6	40	35	21%	10%	5%	0	35%	5%	1		
\$35,000 - \$50,000	32% - 30%	\$190,000 - \$260,000	681	7%	34%	253	64	8	72	30	34%	35%	30%	9	35%	30%	9		
\$50,000 - \$75,000	30% - 28%	\$260,000 - \$360,000	1,096	11%	10%	316	21	1	44	41	10%	20%	18	35%	35%	6			
\$75,000 - \$100,000	28% - 26%	\$360,000 - \$450,000	1,420	15%	41%	576	61	154	154	64	41%	40%	14	50%	40%	36			
\$100,000 - \$150,000	26% - 25%	\$450,000 - \$650,000	1,853	19%	61%	1,137	129	58	187	81	61%	15%	14	30%	40%	28			
\$150,000 - AND OVER	25% - 24%	\$650,000 - AND OVER	3,948	41%	74%	2,820	153	83	236	173	74%	5%	9	25%	50%	45			
<b>45 - 54</b>			<b>11,019</b>	<b>100%</b>		<b>8,447</b>	<b>320</b>	<b>108</b>	<b>427</b>	<b>42</b>	<b>459</b>	<b>22</b>	<b>45</b>						
UNDER \$35,000	34% - 32%	UNDER - \$190,000	634	6%	29%	183	16	5	20	2	29%	10%	5%	0	35%	5%	0		
\$35,000 - \$50,000	32% - 30%	\$190,000 - \$260,000	402	4%	36%	146	8	4	12	2	36%	20%	1	15%	30%	1			
\$50,000 - \$75,000	30% - 28%	\$260,000 - \$360,000	785	7%	62%	483	9	15	23	3	62%	10%	1	65%	35%	6			
\$75,000 - \$100,000	28% - 26%	\$360,000 - \$450,000	856	8%	66%	565	9	0	9	3	69%	10%	0	45%	40%	2			
\$100,000 - \$150,000	26% - 25%	\$450,000 - \$650,000	2,408	22%	71%	1,713	18	9	76	9	71%	15%	6	40%	40%	13			
\$150,000 - AND OVER	25% - 24%	\$650,000 - AND OVER	5,934	54%	90%	5,357	261	26	287	23	90%	10%	15	15%	50%	23			
<b>55 - 64</b>			<b>10,358</b>	<b>100%</b>		<b>8,681</b>	<b>216</b>	<b>82</b>	<b>298</b>	<b>-56</b>	<b>297</b>	<b>37</b>	<b>28</b>						
UNDER \$35,000	34% - 32%	UNDER - \$190,000	436	4%	55%	151	3	1	11	4	55%	5%	0	25%	5%	0			
\$35,000 - \$50,000	32% - 30%	\$190,000 - \$260,000	754	7%	75%	324	6	0	7	-2	75%	30%	1	25%	30%	1			
\$50,000 - \$75,000	30% - 28%	\$260,000 - \$360,000	1,420	14%	69%	514	13	3	52	4	69%	30%	5	45%	35%	8			
\$75,000 - \$100,000	28% - 26%	\$360,000 - \$450,000	864	8%	73%	628	13	3	16	-5	73%	40%	2	50%	40%	3			
\$100,000 - \$150,000	26% - 25%	\$450,000 - \$650,000	1,905	18%	80%	1,529	31	42	72	-10	80%	30%	9	20%	40%	6			
\$150,000 - AND OVER	25% - 24%	\$650,000 - AND OVER	5,674	55%	93%	5,281	106	34	139	-31	93%	50%	21	15%	50%	10			
<b>65+</b>			<b>10,578</b>	<b>100%</b>		<b>8,942</b>	<b>283</b>	<b>76</b>	<b>359</b>	<b>462</b>	<b>750</b>	<b>77</b>	<b>55</b>						
UNDER \$35,000	34% - 32%	UNDER - \$190,000	1,685	16%	54%	907	111	1	112	74	54%	5%	2	20%	5%	2			
\$35,000 - \$50,000	32% - 30%	\$190,000 - \$260,000	845	9%	95%	884	18	1	19	41	95%	30%	4	35%	30%	6			
\$50,000 - \$75,000	30% - 28%	\$260,000 - \$360,000	1,665	15%	91%	1,431	39	0	39	68	91%	35%	11	25%	35%	9			
\$75,000 - \$100,000	28% - 26%	\$360,000 - \$450,000	1,070	10%	77%	825	16	28	45	47	77%	30%	10	20%	40%	6			
\$100,000 - \$150,000	26% - 25%	\$450,000 - \$650,000	1,429	14%	81%	1,126	30	14	66	16	81%	40%	1	30%	40%	14			
\$150,000 - AND OVER	25% - 24%	\$650,000 - AND OVER	3,534	33%	92%	3,264	65	31	96	154	92%	30%	36	15%	50%	18			

# JEFFERSON APARTMENT GROUP

## Exhibit IV-1

### ANNUAL FOR-SALE RESIDENTIAL DEMAND PRIMARY MARKET AREA 2016-2021

Age and Income Mortgage as a % of Income	DEMAND FROM EXISTING HOUSEHOLDS										DEMAND FROM NEW HOUSEHOLDS				CONDO DEMAND				TOWNHOME & 2-OVER-2 DEMAND			
	Total HHs <sup>2</sup>	% Owners <sup>3</sup>	% Owners <sup>3</sup> Turnover <sup>3</sup>	% Owners <sup>3</sup> in Turnover <sup>3</sup>	Annual Owners <sup>3</sup> becoming Owners <sup>3</sup>	Demand from Existing HHs	Net New HHs	% Owners <sup>3</sup>	Total Owner Demand from New HHs	Total For-Sale Demand Pool	% Choosing Condo <sup>4</sup>	% Choosing New Product <sup>4</sup>	Total Demand for New MP	% Choosing TH	% Choosing New Product	Total Demand for New SFA						
Under - 25	816	2%	30%	79	24	38	10%	117	10%	11	73	9	42%	43%	9	14						
25 - 34	6,136	13%	25%	1,601	453	397	31%	136	31%	136	1,015	119	37%	33%	119	169						
35 - 44	9,721	20%	5%	5,349	458	239	55%	426	21%	234	971	55	31%	35%	55	127						
45 - 54	11,019	23%	4%	8,447	320	108	77%	427	42%	32	469	22	26%	36%	22	45						
55 - 64	10,358	21%	2%	6,661	216	82	84%	286	-56	-1	297	37	30%	30%	37	28						
65 - AND OVER	10,358	22%	3%	8,962	253	76	85%	359	462	381	750	77	24%	24%	77	55						
<b>Total</b>	<b>46,628</b>	<b>100%</b>	<b>5%</b>	<b>33,389</b>	<b>1,823</b>	<b>939</b>	<b>2,762</b>	<b>1,428</b>	<b>803</b>	<b>3,565</b>	<b>320</b>	<b>30%</b>	<b>33%</b>	<b>33%</b>	<b>320</b>	<b>438</b>						
<b>Summary of Demand by Income and Price Band</b>																						
UNDER \$35,000	4,801	10%	10%	1,722	180	34	35%	214	195	53	267	3	1%	1%	3	3						
\$35,000 - \$50,000	3,191	7%	14%	1,863	262	29	59%	291	130	70	381	59	16%	7%	59	25						
\$50,000 - \$75,000	5,167	11%	5%	2,868	158	119	55%	277	200	44%	87	43	12%	30%	43	25						
\$75,000 - \$100,000	5,446	11%	7%	2,863	193	175	53%	368	205	41%	84	453	12%	16%	453	44						
\$100,000 - \$150,000	9,530	20%	69%	6,563	313	317	69%	631	280	61%	171	801	8%	40%	801	75						
\$150,000 - AND OVER	20,383	42%	4%	17,480	716	939	85%	981	1,319	338	1,319	95	13%	50%	95	126						
<b>Total</b>	<b>46,628</b>	<b>100%</b>	<b>5%</b>	<b>33,389</b>	<b>1,823</b>	<b>939</b>	<b>2,762</b>	<b>1,428</b>	<b>803</b>	<b>3,565</b>	<b>320</b>	<b>30%</b>	<b>33%</b>	<b>33%</b>	<b>320</b>	<b>438</b>						

Capture Rate Analysis		CONDO	TH & 2-OVER-2
Annual Units Delivering in Similar Time Frame	Units at Subject Site	400	150
Subject Site Capture Rate	Subject Site Capture Rate	70	86
Subject Site Capture of Income-Qualified Demand	Subject Site Capture of Income-Qualified Demand	35.0%	35.0%
Market Exposure (Months to 100% occupancy)	Market Exposure (Months to 100% occupancy)	66	111
Units Purchased Per Month	Units Purchased Per Month	12.8	9.3
		5.5	9.2

<sup>1</sup> RCLCO determined propensity to spend on mortgages at various income levels. This was used to calculate the affordable monthly mortgage range for each income range  
<sup>2</sup> Calculated using Esri Age by Income data  
<sup>3</sup> Calculated using PUMS American Community Survey (2013-2014) data for Fairfax County North Central (PUMS 50305) and Fairfax County Northwest (50307)  
<sup>4</sup> Preference for multifamily (condominium) from existing owner distribution by product type. Preference in model accounts for all owners in 10+ unit multifamily buildings, plus half of renters in buildings with 2-10 units, assuming lack of larger building options  
 SOURCE: Esri; PUMS ACS 2013-2014; RCLCO

# JEFFERSON APARTMENT GROUP

## Exhibit IV-2

### CONDO SUPPLY AND DEMAND BALANCE PRIMARY MARKET AREA 2016-2019

	PMA SUPPLY AND DEMAND BALANCE	LOW DEMAND	RCLCO ESTIMATE	HIGH DEMAND
--	-------------------------------	------------	----------------	-------------

Total Income-Qualified Annual Demand For Condo Units <sup>1</sup>			187	
Projected Demand Variance	90%		100%	110%
Annual Condo Demand	169		187	206
<b>Total 3-Year Demand</b>	<b>506</b>		<b>562</b>	<b>619</b>
<b>Planned and Proposed 3-Year Supply<sup>2</sup></b>	<b>470</b>		<b>470</b>	<b>470</b>

	Oversupply or (Undersupply)
If 70% of Planned Supply Delivers	(177)
If 80% of Planned Supply Delivers	(130)
If 90% of Planned Supply Delivers	(83)
If 100% of Planned Supply Delivers	(36)
If 110% of Planned Supply Delivers	<b>11</b>
	(45)
	(102)

	Projected 2018 Monthly Absorption Pace
If 25% Capture Rate for New Product	3.5
If 30% Capture Rate for New Product	4.2
If 35% Capture Rate for New Product	4.9
If 40% Capture Rate for New Product	5.6
If 45% Capture Rate for New Product	6.3
	3.9
	4.7
	5.5
	6.2
	7.0

If 70% of Planned Supply Delivers  
 If 80% of Planned Supply Delivers  
 If 90% of Planned Supply Delivers  
 If 100% of Planned Supply Delivers  
 If 110% of Planned Supply Delivers

If 25% Capture Rate for New Product  
 If 30% Capture Rate for New Product  
 If 35% Capture Rate for New Product  
 If 40% Capture Rate for New Product  
 If 45% Capture Rate for New Product

<sup>1</sup> See Exhibit IV-1 Condo demand for households with incomes above \$100,000 and half of households \$75k-100k.

<sup>2</sup> Source: Delta Associates

# JEFFERSON APARTMENT GROUP

## Exhibit IV-3

### TOWNHOME AND TWO-OVER-TWO SUPPLY AND DEMAND BALANCE PRIMARY MARKET AREA 2016-2019

PMA SUPPLY AND DEMAND BALANCE	LOW DEMAND	RCLCO ESTIMATE	HIGH DEMAND
Total Income-Qualified Annual Demand For Townhome Units <sup>1</sup>		316	
Projected Demand Variance	90%	100%	110%
Annual Townhome Demand	284	316	348
<b>Total 3-Year Demand</b>	<b>853</b>	<b>948</b>	<b>1,043</b>
<b>Planned and Proposed 3-Year Supply<sup>2</sup></b>	<b>291</b>	<b>291</b>	<b>291</b>

Oversupply or (Undersupply)
If 70% of Planned Supply Delivers
If 80% of Planned Supply Delivers
If 90% of Planned Supply Delivers
If 100% of Planned Supply Delivers
If 110% of Planned Supply Delivers

(650)  
(621)  
(592)  
(562)  
(533)

Projected 2018 Monthly Absorption Pace
If 25% Capture Rate for New Product
If 30% Capture Rate for New Product
If 35% Capture Rate for New Product
If 40% Capture Rate for New Product
If 45% Capture Rate for New Product

6.6  
7.9  
9.2  
10.5  
11.9

<sup>1</sup> See Exhibit IV-1 Townhome demand for households with incomes above \$100,000 and half of households \$75k-\$100k.

<sup>2</sup> Source: RCLCO

# JEFFERSON APARTMENT GROUP

## Exhibit IV-4

### RENTER MARKET SEGMENTATION MATRIX - DEFINITIONS PRIMARY MARKET AREA

Market Segments				
POST-GRAD	YOUNG PROFESSIONAL	FAMILY	NEVER NESTER	EMPTY NESTER
Age 18 - 24 Roommates: Less than \$100k Single: Less than \$50k	Age 25-34 Roommates: \$35k-\$50k Singles and Couples: \$35k-\$50k	Any household with children Incomes \$35k-\$100k	Age 35-54 Roommates: \$35k-\$100k Singles and Couples: \$35k-\$75k	Age 55+ Roommates: \$35k-\$100k Singles and Couples: \$35k-\$75k
Age 18 - 24 Roommates: Over \$100k Single: \$50k-\$100k	Age 25-34 Roommates: \$50k-\$150k Singles and Couples: \$50k-\$150k	Any household with children Incomes \$100k- \$150k	Age 35-54 Roommates: Over \$100k Singles and Couples: \$75k-\$150k	Age 55+ Roommates: Over \$100k Singles and Couples: \$75k-\$150k
	Age 25-34 Singles and Couples: Over \$150k	Any household with children Incomes \$150k+	Age 35-54 Singles and Couples: Over \$150k	Age 55+ Singles and Couples: Over \$150k

WORKFORCE

MARKET RATE

LUXURY

SOURCE: American Community Survey 2013 - 2014 PUMS

# JEFFERSON APARTMENT GROUP

## Exhibit IV-5

### SUMMARY OF CONDO AND TOWNHOME DEMAND BY HOUSEHOLD SEGMENTATION PRIMARY MARKET AREA ANNUAL 5-YEAR DEMAND

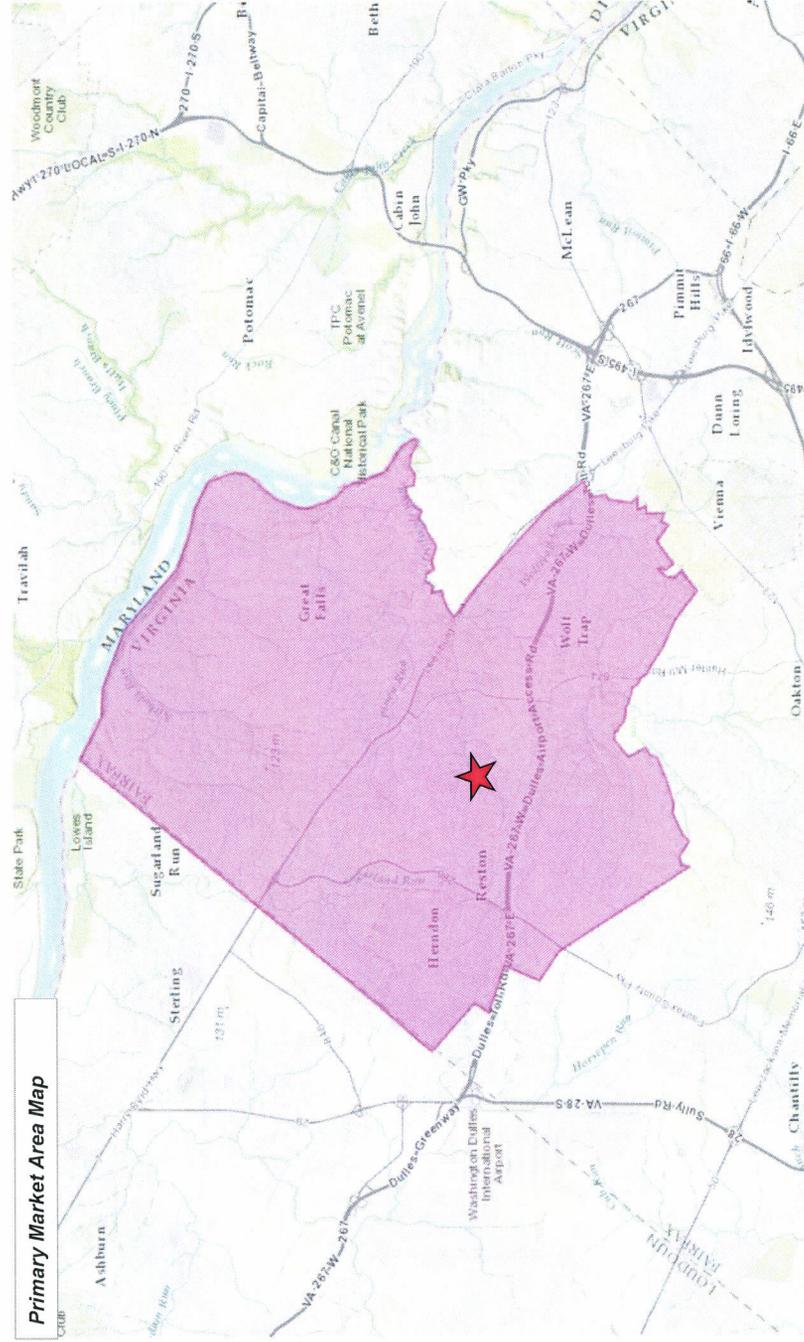
	Market Segments				
	POST-GRAD	YOUNG PROFESSIONAL	FAMILY	NEVER NESTER	EMPTY NESTER
WORKFORCE	0	54	38	27	24
MARKET RATE	5	129	54	71	14
LUXURY	0	48	91	64	29

SOURCE: American Community Survey 2013 - 2014 PUMS

# JEFFERSON APARTMENT GROUP

Exhibit IV-6

REFERENCE MAP  
PRIMARY MARKET AREA  
FEBRUARY 2016



★ Subject Site

SOURCE: RCLCO; Esri

JEFFERSON APARTMENT GROUP

V. RETAIL DEMAND



# JEFFERSON APARTMENT GROUP

## Exhibit V-2

### RETAIL DEMAND FOR TRADITIONAL GROCER RETAIL PRIMARY MARKET AREA 2015-2020

SCENARIO A:  
NEIGHBORHOOD CENTER WITH TRADITIONAL GROCER SCENARIO

DETAILED DEMAND FROM PMA

STORE TYPE	ANNUAL RETAIL IN PMA EXPENDITURES		SUBJECT SITE IDEAL CAPTURE % of PMA <sup>2</sup>	SUBJECT SITE POOR VISIBILITY / NO ANCHOR PENALTY <sup>3</sup>	SUBJECT SITE ACTUAL CAPTURE % of PMA	ANNUAL RETAIL CAPTURE AT SUBJECT SITE \$ in 2015	SALES / SF THRESHOLD <sup>4</sup>	TOTAL RETAIL SPACE DEMANDED	
	PER HH <sup>1</sup>	PMA 2015						PMA 2020	2015
<b>ANCHOR TENANTS</b>									
Grocery Stores	\$6,991	\$28,942,360	\$30,025,951	35%	65%	\$3,545,439	\$600	7,091	7,356
Health & Personal Care Stores (drugstore)	\$2,087	\$8,635,661	\$8,962,089	35%	65%	\$1,056,236	\$500	2,116	2,196
<b>SECONDARY TENANTS</b>									
Automobile Dealers	\$7,423	\$30,730,196	\$31,880,722	0%	75%	\$0	\$300	0	0
Other Motor Vehicle Dealers	\$901	\$3,728,301	\$3,867,887	0%	75%	\$0	\$300	0	0
Auto Parts, Accessories, and Tire Stores	\$549	\$2,272,871	\$2,357,967	12%	75%	\$70,739	\$300	227	236
Furniture Stores	\$722	\$2,985,635	\$3,100,528	4%	75%	\$31,005	\$350	85	89
Home Furnishings Stores	\$479	\$1,962,872	\$2,057,110	4%	75%	\$20,571	\$350	57	59
Electronics & Appliance Stores	\$1,662	\$6,875,707	\$7,137,280	4%	75%	\$68,797	\$400	172	178
Building Material and Supplies Dealers	\$1,827	\$7,563,902	\$7,847,092	4%	75%	\$78,471	\$300	252	262
Lawn and Garden Equipment and Supplies Stores	\$163	\$673,416	\$698,628	4%	75%	\$6,734	\$300	22	23
Specialty Food Stores	\$217	\$895,415	\$929,976	0%	75%	\$0	\$450	0	0
Beer, Wine, and Liquor Stores	\$299	\$1,237,453	\$1,283,783	15%	75%	\$46,404	\$450	103	107
Gasoline Stations	\$2,622	\$10,653,774	\$11,260,135	0%	75%	\$0	\$750	0	0
Clothing Stores	\$1,475	\$6,105,088	\$6,334,698	4%	75%	\$61,061	\$350	174	181
Shoe Stores	\$230	\$953,530	\$989,230	4%	75%	\$9,535	\$350	27	28
Jewelry, Luggage, and Leather Goods Stores	\$360	\$1,489,436	\$1,545,200	5%	75%	\$18,618	\$350	53	55
Sporting Goods/Hobby/Musical Instrument Stores	\$668	\$3,593,535	\$3,728,076	10%	75%	\$99,838	\$350	257	266
Book, Periodical, and Music Stores	\$215	\$888,566	\$921,833	4%	75%	\$8,886	\$350	25	26
Department Stores Excluding Leased Depts.	\$5,755	\$23,826,410	\$24,718,462	0%	75%	\$0	\$400	0	0
Other General Merchandise Stores	\$1,720	\$7,122,647	\$7,389,316	4%	75%	\$71,226	\$400	178	185
Florists	\$1,274	\$5,275,144	\$5,473,681	4%	75%	\$52,761	\$350	151	156
Office Supplies, Stationery, and Gift Stores	\$70	\$289,724	\$300,571	4%	75%	\$2,897	\$350	8	9
Used Merchandise Stores	\$382	\$1,579,828	\$1,638,976	4%	75%	\$15,798	\$300	53	55
Other Miscellaneous Store Retailers	\$193	\$797,663	\$827,527	4%	75%	\$7,977	\$300	27	28
Full-Service Restaurants	\$2,439	\$10,097,143	\$10,475,176	40%	75%	\$1,005,714	\$425	2,376	2,465
Limited-Service Eating Places	\$1,844	\$7,633,516	\$7,919,312	40%	75%	\$791,931	\$425	1,796	1,863
Special Food Services (NAICS 7223)	\$84	\$348,104	\$361,137	40%	75%	\$36,810	\$425	82	85
Drinking Places - Alcoholic Beverages	\$34	\$141,036	\$146,316	40%	75%	\$14,104	\$425	33	34
<b>TOTAL / AVERAGE</b>	<b>\$35,805</b>	<b>\$139,950,909</b>	<b>\$146,190,617</b>	<b>10%</b>	<b>75%</b>	<b>\$2,476,054</b>	<b>\$377</b>	<b>6,159</b>	<b>6,390</b>

PMA Households  
ESRI Households

2015  
4,140

2020  
4,295

# JEFFERSON APARTMENT GROUP

## Exhibit V-2

### RETAIL DEMAND FOR TRADITIONAL GROCER RETAIL PRIMARY MARKET AREA 2015-2020

SCENARIO A:  
NEIGHBORHOOD CENTER WITH TRADITIONAL GROCER SCENARIO

SUMMARY DEMAND FROM PMA		PMA Households		2015		2020	
		ESRI Households		4,140		4,295	
STORE TYPE	PER HH <sup>1</sup>	ANNUAL RETAIL IN PMA EXPENDITURES		ANNUAL RETAIL CAPTURE AT SUBJECT SITE		TOTAL RETAIL SPACE DEMANDED	
		PMA 2015	PMA 2020	\$ in 2015	\$ in 2020	2015	2020
Grocery & Drug	\$9,078	\$37,581,020	\$38,988,039	\$4,603,675	\$4,776,035	9,207	9,552
Restaurant/Specialty Foods	\$4,401	\$18,219,799	\$18,901,941	\$1,821,980	\$1,890,194	4,287	4,448
Boutique Soft Goods	\$2,065	\$8,549,054	\$8,869,128	\$89,214	\$82,554	255	264
Home Goods	\$1,201	\$4,971,506	\$5,157,638	\$45,715	\$51,576	142	147
Florist/Gift/Hobby	\$2,427	\$10,047,968	\$10,424,160	\$154,383	\$160,163	441	458
Electronics	\$1,662	\$6,879,707	\$7,137,280	\$68,797	\$71,373	172	178
Beer/Wine/Specialty	\$515	\$2,133,868	\$2,213,759	\$46,404	\$48,142	103	107
<b>TOTAL DEMAND POTENTIAL</b>						<b>14,608</b>	<b>15,154</b>

DEMAND FROM SUBJECT SITE NEW HOUSEHOLDS		Subject Site Households		2015		2020	
		Total Units		156		156	
STORE TYPE	PER HH <sup>1</sup>	ANNUAL RETAIL EXPENDITURES		ANNUAL RETAIL CAPTURE AT SUBJECT SITE		TOTAL RETAIL SPACE DEMANDED	
		PMA 2015	PMA 2020	\$ in 2015	\$ in 2020	2015	2020
Grocery & Drug	\$12,863	\$0	\$2,022,186	0	\$909,884	0	1,820
Restaurant/Specialty Foods	\$6,285	\$0	\$980,384	0	\$588,230	0	1,384
Boutique Soft Goods	\$2,949	\$0	\$460,013	0	\$9,200	0	26
Home Goods	\$1,715	\$0	\$267,510	0	\$5,350	0	15
Florist/Gift/Hobby	\$3,466	\$0	\$540,668	0	\$43,253	0	124
Electronics	\$2,373	\$0	\$370,188	0	\$7,404	0	19
Beer/Wine/Specialty	\$736	\$0	\$114,821	0	\$40,187	0	89
<b>TOTAL DEMAND POTENTIAL</b>						<b>0</b>	<b>3,477</b>

# JEFFERSON APARTMENT GROUP

## Exhibit V-2

### RETAIL DEMAND FOR TRADITIONAL GROCER RETAIL PRIMARY MARKET AREA 2015-2020

SCENARIO A:  
NEIGHBORHOOD CENTER WITH TRADITIONAL GROCER SCENARIO

STORE TYPE	TOTAL RETAIL SPACE DEMANDED		PLUS % OUTSIDE OF ANALYSIS REGION <sup>1</sup>	ANNUAL RETAIL CAPTURE AT SUBJECT SITE		SALES/SF THRESHOLD	TOTAL RETAIL SPACE DEMANDED	
	2015	2020		2015	2020		2015	2020
Grocery & Drug	9,207	11,372	10%	10%	\$500	10,128	12,509	
Restaurant/Specialty Foods	4,287	5,832	15%	15%	\$425	4,930	6,706	
Boutique Soft Goods	255	291	10%	10%	\$350	280	320	
Home Goods	142	163	10%	10%	\$350	156	179	
Florist/Gift/Hobby	441	581	10%	10%	\$350	485	639	
Electronics	172	197	10%	10%	\$400	189	217	
Beer/Wine/Specialty	103	196	10%	10%	\$450	113	216	
<b>+ 15% Total Additional SF for Service Uses</b>			14%	14%		2,345	2,993	
<b>TOTAL DEMAND POTENTIAL</b>						<b>18,827</b>	<b>23,779</b>	

Total Households  
4,140 4,451

SUPPORTABLE SF WITH REASONABLE STORE SIZES	STORE SIZE	2015	2020
Grocery & Drug	45,000	0	0
Restaurant/Specialty Foods	1,500	4,500	6,000
Boutique Soft Goods	2,000	0	0
Home Goods	1,500	0	0
Florist/Gift/Hobby	1,200	0	0
Electronics	2,500	0	0
Beer/Wine/Specialty	1,300	0	0
<b>+ 15% Additional SF for Service Uses</b>	<b>1,500</b>	<b>1,500</b>	<b>1,500</b>
<b>TOTAL DEMAND POTENTIAL</b>		<b>6,000</b>	<b>7,500</b>

<sup>1</sup> Based on ESRI expenditure data by retail category.  
<sup>2</sup> Site capture is based on competing locations in the market and likelihood of households to make store type expenditures at the property.  
<sup>3</sup> Penalty on demand due to poor visibility and lack of traffic at subject site. If an anchor is unsupportable, penalty is applied to all secondary tenants.  
<sup>4</sup> RCLCO  
<sup>5</sup> Includes employees working in PMA

# JEFFERSON APARTMENT GROUP

## Exhibit V-3

### RETAIL DEMAND FOR SPECIALTY GROCER RETAIL PRIMARY MARKET AREA 2015-2020

SCENARIO B: SPECIALTY GROCER - MOM'S ORGANIC / FRESH MARKET / SPROUTS FARMER'S MARKET

STORE TYPE	ANNUAL RETAIL IN PMA EXPENDITURES		SUBJECT SITE IDEAL CAPTURE / NO ANCHOR % of PMA <sup>2</sup>	SUBJECT SITE POOR VISIBILITY PENALTY <sup>3</sup>	SUBJECT SITE ACTUAL CAPTURE % of PMA	ANNUAL RETAIL CAPTURE AT SUBJECT SITE \$ in 2015	ANNUAL RETAIL CAPTURE AT SUBJECT SITE \$ in 2020	SALES / SF THRESHOLD <sup>4</sup>	TOTAL RETAIL SPACE DEMANDED	
	PER HH <sup>1</sup>	PMA 2015							PMA 2020	2015
DETAILED DEMAND FROM PMA										
PMA Households										
ESRI Households										
ANCHOR TENANTS										
Grocery Stores	\$6,991	\$28,942,360	\$30,025,951	20%	65%	\$2,025,965	\$2,101,817	\$800	2,532	2,627
Health & Personal Care Stores (drugstore)	\$2,087	\$8,639,661	\$8,962,089	35%	65%	\$1,059,236	\$1,097,856	\$500	2,116	2,196
SECONDARY TENANTS										
Automobile Dealers	\$7,423	\$30,730,196	\$31,880,722	0%	75%	\$0	\$0	\$300	0	0
Other Motor Vehicle Dealers	\$901	\$3,728,301	\$3,867,887	0%	75%	\$0	\$0	\$300	0	0
Auto Parts, Accessories, and Tire Stores	\$549	\$2,272,871	\$2,357,967	12%	75%	\$68,186	\$70,739	\$300	227	236
Furniture Stores	\$722	\$2,988,635	\$3,100,528	4%	75%	\$31,005	\$31,005	\$350	85	89
Home Furnishings Stores	\$479	\$1,862,872	\$2,057,110	4%	75%	\$19,829	\$20,571	\$350	57	59
Electronics & Appliance Stores	\$1,662	\$6,879,707	\$7,137,280	4%	75%	\$68,797	\$71,373	\$400	172	178
Building Material and Supplies Dealers	\$1,827	\$7,563,902	\$7,847,092	4%	75%	\$75,639	\$78,471	\$300	252	262
Lawn and Garden Equipment and Supplies Stores	\$163	\$673,418	\$698,628	4%	75%	\$6,734	\$6,986	\$300	22	23
Specialty Food Stores	\$217	\$896,415	\$929,976	0%	75%	\$0	\$0	\$450	0	0
Beer, Wine, and Liquor Stores	\$299	\$1,237,453	\$1,283,783	15%	75%	\$46,404	\$48,142	\$450	103	107
Gasoline Stations	\$2,622	\$10,653,774	\$11,260,135	0%	75%	\$0	\$0	\$750	0	0
Clothing Stores	\$1,475	\$6,106,088	\$6,334,698	4%	75%	\$61,061	\$63,347	\$350	174	181
Shoe Stores	\$230	\$953,530	\$985,230	4%	75%	\$9,535	\$9,892	\$350	27	28
Jewelry, Luggage, and Leather Goods Stores	\$360	\$1,489,436	\$1,545,200	5%	75%	\$18,618	\$19,315	\$350	53	55
Sporting Goods/Hobby/Musical Instrument Stores	\$868	\$3,593,535	\$3,728,076	10%	75%	\$89,838	\$93,202	\$350	257	266
Book, Periodical, and Music Stores	\$215	\$888,566	\$921,833	4%	75%	\$8,886	\$9,218	\$350	25	26
Department Stores Excluding Leased Depts.	\$5,755	\$23,826,410	\$24,718,482	4%	75%	\$0	\$0	\$400	0	0
Other General Merchandise Stores	\$1,720	\$7,122,647	\$7,385,316	4%	75%	\$71,226	\$73,893	\$400	178	185
Florists	\$1,274	\$5,276,144	\$5,473,681	4%	75%	\$52,761	\$54,737	\$350	151	156
Office Supplies, Stationery, and Gift Stores	\$70	\$289,724	\$300,571	4%	75%	\$2,897	\$3,006	\$350	8	9
Used Merchandise Stores	\$382	\$1,579,828	\$1,638,976	4%	75%	\$16,390	\$16,390	\$300	53	55
Other Miscellaneous Store Retailers	\$193	\$797,663	\$827,527	4%	75%	\$7,977	\$8,275	\$300	27	28
Full-Service Restaurants	\$2,439	\$10,097,143	\$10,475,176	40%	75%	\$1,005,714	\$1,047,518	\$425	2,376	2,465
Limited-Service Eating Places	\$1,844	\$7,633,516	\$7,919,312	40%	75%	\$791,931	\$816,352	\$425	1,796	1,863
Specialty Food Services (NAICS 7223)	\$84	\$348,104	\$361,137	40%	75%	\$36,810	\$38,114	\$425	82	85
Drinking Places - Alcoholic Beverages	\$34	\$141,036	\$146,316	40%	75%	\$14,104	\$14,632	\$425	33	34
<b>TOTAL / AVERAGE</b>	<b>\$33,805</b>	<b>\$139,950,909</b>	<b>\$145,190,617</b>	<b>10%</b>	<b>75%</b>	<b>\$2,476,054</b>	<b>\$2,568,757</b>	<b>\$377</b>	<b>6,159</b>	<b>6,390</b>

# JEFFERSON APARTMENT GROUP

## Exhibit V-3

### RETAIL DEMAND FOR SPECIALTY GROCER RETAIL PRIMARY MARKET AREA 2015-2020

SCENARIO B:  
SPECIALTY GROCER ANCHOR - MOM'S ORGANIC / FRESH MARKET / SPROUTS FARMER'S MARKET

SUMMARY DEMAND FROM PMA

STORE TYPE	ANNUAL RETAIL IN PMA EXPENDITURES		ANNUAL RETAIL CAPTURE AT		TOTAL RETAIL SPACE		
	PER HH <sup>1</sup>	PMA 2015	PMA 2020	SUBJECT SITE \$ in 2015	SUBJECT SITE \$ in 2020	2015	2020
Grocery & Drug	\$9,078	\$37,581,020	\$38,688,039	\$3,084,201	\$3,199,672	4,649	4,823
Restaurant/Specialty Foods	\$4,401	\$18,219,799	\$18,901,941	\$1,821,980	\$1,890,194	4,287	4,448
Boutique Soft Goods	\$2,065	\$8,549,054	\$8,869,128	\$89,214	\$82,554	255	264
Home Goods	\$1,201	\$4,971,506	\$5,157,638	\$49,715	\$51,576	142	147
Florist/Gift/Hobby	\$2,427	\$10,047,988	\$10,424,160	\$164,383	\$160,163	441	458
Electronics	\$1,662	\$6,879,707	\$7,137,280	\$68,797	\$71,373	172	178
Beer/Wine/Specialty	\$515	\$2,133,868	\$2,213,759	\$45,404	\$48,142	103	107
<b>TOTAL DEMAND POTENTIAL</b>						<b>10,049</b>	<b>10,425</b>

PMA Households	
ESRI Households	4,140
2020	4,295

DEMAND FROM SUBJECT SITE NEW HOUSEHOLDS

STORE TYPE	ANNUAL RETAIL EXPENDITURES		SUBJECT SITE CAPTURE <sup>2</sup> % Capture	ANNUAL RETAIL CAPTURE AT		TOTAL RETAIL SPACE	
	PER HH <sup>1</sup>	PMA 2015		PMA 2020	SUBJECT SITE \$ in 2015	SUBJECT SITE \$ in 2020	2015
Grocery & Drug	\$12,963	\$0	30%	0	606,656	0	1,103
Restaurant/Specialty Foods	\$6,285	\$0	60%	0	588,230	0	1,384
Boutique Soft Goods	\$2,949	\$0	2%	0	9,200	0	26
Home Goods	\$1,715	\$0	2%	0	5,350	0	15
Florist/Gift/Hobby	\$3,466	\$0	8%	0	43,253	0	124
Electronics	\$2,373	\$0	2%	0	7,404	0	19
Beer/Wine/Specialty	\$736	\$0	35%	0	40,187	0	89
<b>TOTAL DEMAND POTENTIAL</b>						<b>0</b>	<b>2,760</b>

Subject Site Households	
Total Units	156
2015	156

# JEFFERSON APARTMENT GROUP

## Exhibit V-3

### RETAIL DEMAND FOR SPECIALTY GROCER RETAIL PRIMARY MARKET AREA 2015-2020

SCENARIO B:  
SPECIALTY GROCER ANCHOR - MOM'S ORGANIC / FRESH MARKET / SPROUTS FARMER'S MARKET

STORE TYPE	TOTAL RETAIL SPACE DEMANDED		PLUS % OUTSIDE OF ANALYSIS REGION <sup>3</sup>	ANNUAL RETAIL CAPTURE AT SUBJECT SITE		TOTAL RETAIL SPACE DEMANDED	
	2015	2020		2015	2020	2015	2020
Grocery & Drug	4,649	5,926	10%	10%	\$550	5,114	6,519
Restaurant/Specialty Foods	4,287	5,832	15%	15%	\$425	4,930	6,706
Boutique Soft Goods	255	291	10%	10%	\$350	280	320
Home Goods	142	163	10%	10%	\$350	156	179
Florist/Gift/Hobby	441	581	10%	10%	\$350	485	639
Electronics	172	197	10%	10%	\$400	189	217
Beer/Wine/Specialty	103	196	10%	10%	\$450	113	216
<b>TOTAL DEMAND POTENTIAL</b>			15%	15%		<b>12,959</b>	<b>17,015</b>

Total Households  
2015 4,140  
2020 4,451

SUPPORTABLE SF WITH REASONABLE STORE SIZES	STORE SIZE	2015	2020
Grocery & Drug	12,500	0	0
Restaurant/Specialty Foods	1,500	4,500	6,000
Boutique Soft Goods	2,000	0	0
Home Goods	1,500	0	0
Florist/Gift/Hobby	1,200	0	0
Electronics	2,500	0	0
Beer/Wine/Specialty	1,300	0	0
+ 15% Additional SF for Service Use	1,500	1,500	1,500
<b>TOTAL DEMAND POTENTIAL</b>		<b>6,000</b>	<b>7,500</b>

<sup>1</sup> Based on ESRI expenditure data by retail category.

<sup>2</sup> Site capture is based on competing locations in the market and likelihood of households to make store type expenditures at the property.

<sup>3</sup> Penalty on demand due to poor visibility and lack of traffic at subject site. If an anchor is unsupportable, penalty is applied to all secondary tenants

<sup>4</sup> RCLCO

<sup>5</sup> Includes employees working in PMA

# JEFFERSON APARTMENT GROUP

## Exhibit V-4

### RETAIL DEMAND FOR TRADER JOE'S RETAIL PRIMARY MARKET AREA 2015-2020

SCENARIO C:  
NEIGHBORHOOD CENTER WITH TRADER JOE'S SCENARIO

STORE TYPE	ANNUAL RETAIL IN PMA EXPENDITURES		PMA 2020	SUBJECT SITE IDEAL CAPTURE / NO ANCHOR	POOR VISIBILITY PENALTY <sup>3</sup>	SUBJECT SITE ACTUAL CAPTURE % of PMA	ANNUAL RETAIL CAPTURE AT SUBJECT SITE	SALES / SF THRESHOLD <sup>4</sup>	TOTAL RETAIL SPACE DEMANDED	
	PER HH <sup>1</sup>	PMA 2015							2015	2020
DETAILED DEMAND FROM PMA										
PMA Households										
ESRI Households										
ANCHOR TENANTS										
Grocery Stores	\$6,991	\$28,942,360	\$30,025,951	25%	65%	9%	\$2,532,458	\$1,700	1,490	1,545
Health & Personal Care Stores (drugstore)	\$2,087	\$8,639,661	\$8,962,089	35%	65%	12%	\$1,097,866	\$500	2,116	2,196
SECONDARY TENANTS										
Automobile Dealers	\$7,423	\$30,730,196	\$31,880,722	0%	75%	0%	\$0	\$300	0	0
Other Motor Vehicle Dealers	\$901	\$3,728,301	\$3,867,887	0%	75%	0%	\$0	\$300	0	0
Auto Parts, Accessories, and Tire Stores	\$549	\$2,272,871	\$2,357,967	12%	75%	3%	\$68,186	\$300	227	236
Furniture Stores	\$722	\$2,989,635	\$3,100,528	4%	75%	1%	\$29,886	\$350	85	89
Home Furnishings Stores	\$479	\$1,962,872	\$2,057,110	4%	75%	1%	\$19,829	\$350	57	59
Electronics & Appliance Stores	\$1,662	\$6,879,707	\$7,137,280	4%	75%	1%	\$68,797	\$400	172	178
Building Material and Supplies Dealers	\$1,827	\$7,563,902	\$7,847,092	4%	75%	1%	\$75,639	\$300	252	262
Lawn and Garden Equipment and Supplies Stores	\$163	\$673,416	\$698,628	4%	75%	1%	\$6,734	\$300	22	23
Specialty Food Stores	\$217	\$896,415	\$929,976	0%	75%	0%	\$0	\$450	0	0
Beer, Wine, and Liquor Stores	\$299	\$1,237,463	\$1,283,783	15%	75%	4%	\$46,404	\$450	103	107
Gasoline Stations	\$2,622	\$10,853,774	\$11,260,135	0%	75%	0%	\$0	\$750	0	0
Clothing Stores	\$1,475	\$6,106,088	\$6,334,698	4%	75%	1%	\$63,347	\$350	174	181
Shoe Stores	\$230	\$953,530	\$989,230	4%	75%	1%	\$9,535	\$350	27	28
Jewelry, Luggage, and Leather Goods Stores	\$360	\$1,489,436	\$1,545,200	5%	75%	1%	\$18,618	\$350	53	55
Sporting Goods/Hobby/Musical Instrument Stores	\$668	\$3,593,535	\$3,728,076	10%	75%	3%	\$93,202	\$350	257	266
Book, Periodical, and Music Stores	\$215	\$888,566	\$921,833	4%	75%	1%	\$8,866	\$350	25	26
Department Stores Excluding Leased Depts.	\$5,755	\$23,826,410	\$24,716,462	0%	75%	0%	\$0	\$400	0	0
Other General Merchandise Stores	\$1,720	\$7,122,647	\$7,389,316	4%	75%	1%	\$71,226	\$400	178	185
Florists	\$1,274	\$5,276,144	\$5,473,681	4%	75%	1%	\$52,761	\$350	151	156
Office Supplies, Stationery, and Gift Stores	\$70	\$289,724	\$300,571	4%	75%	1%	\$2,897	\$350	8	9
Used Merchandise Stores	\$382	\$1,579,828	\$1,638,976	4%	75%	1%	\$15,798	\$300	53	55
Other Miscellaneous Store Retailers	\$193	\$797,663	\$827,597	4%	75%	1%	\$7,977	\$300	27	28
Full-Service Restaurants	\$2,439	\$10,097,143	\$10,475,176	40%	75%	10%	\$1,009,714	\$425	2,376	2,465
Limited-Service Eating Places	\$1,844	\$7,633,516	\$7,919,312	40%	75%	10%	\$791,931	\$425	1,796	1,863
Special Food Services (NAICS 7223)	\$84	\$348,104	\$361,137	40%	75%	10%	\$36,114	\$425	82	85
Drinking Places - Alcoholic Beverages	\$34	\$141,036	\$146,316	40%	75%	10%	\$14,104	\$425	33	34
<b>TOTAL / AVERAGE</b>	<b>\$33,805</b>	<b>\$139,950,909</b>	<b>\$145,190,617</b>	<b>10%</b>	<b>75%</b>	<b>2%</b>	<b>\$2,476,054</b>	<b>\$377</b>	<b>6,159</b>	<b>6,390</b>



# JEFFERSON APARTMENT GROUP

## Exhibit V-4

### RETAIL DEMAND FOR TRADER JOE'S RETAIL PRIMARY MARKET AREA 2015-2020

SCENARIO C:  
NEIGHBORHOOD CENTER WITH TRADER JOE'S SCENARIO

STORE TYPE	TOTAL RETAIL SPACE DEMANDED		PLUS % OUTSIDE OF ANALYSIS REGION <sup>5</sup>	ANNUAL RETAIL CAPTURE AT SUBJECT SITE		TOTAL RETAIL SPACE DEMANDED	
	2015	2020		2015	2020	2015	2020
Grocery & Drug	3,606	4,098	10%	10%	\$1,700	3,967	4,508
Restaurant/Specialty Foods	4,287	5,832	15%	15%	\$425	4,930	6,706
Boutique Soft Goods	255	291	10%	10%	\$350	280	320
Home Goods	142	163	10%	10%	\$350	156	179
Florist/Gift/Hobby	441	581	10%	10%	\$350	485	639
Electronics	172	197	10%	10%	\$400	189	217
Beer/Wine/Specialty	103	196	10%	10%	\$450	113	216
<b>+ 15% Total Additional SF for Service Uses</b>			15%	15%		1,518	1,918
<b>TOTAL DEMAND POTENTIAL</b>						<b>11,639</b>	<b>14,702</b>

Total Households	2015	2020
Total Households	4,140	4,451

SUPPORTABLE SF WITH REASONABLE STORE SIZES	STORE SIZE	2015	2020
Grocery & Drug	10,000	0	0
Restaurant/Specialty Foods	1,500	4,500	6,000
Boutique Soft Goods	2,000	0	0
Home Goods	1,500	0	0
Florist/Gift/Hobby	1,200	0	0
Electronics	2,500	0	0
Beer/Wine/Specialty	1,300	0	0
<b>+ 15% Additional SF for Service Use</b>	1,500	1,500	1,500
<b>TOTAL DEMAND POTENTIAL</b>		<b>6,000</b>	<b>7,500</b>

<sup>1</sup> Based on ESRI expenditure data by retail category.

<sup>2</sup> Site capture is based on competing locations in the market and likelihood of households to make store type expenditures at the property.

<sup>3</sup> Penalty on demand due to poor visibility and lack of traffic at subject site. If an anchor is unsupportable, penalty is applied to all secondary tenants

<sup>4</sup> RCLCO

<sup>5</sup> Includes employees working in PMA

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**RCLCO**

04.5.2016

## Tall Oaks Market Analysis Peer Review

**To**

Barbara Byron, Director of  
the Office of Community  
Revitalization  
Fairfax County, VA

**From**

Kyle Talente, Vice President  
and Principal  
RKG Associates, Inc.

**Re**

Peer Review of the Retail  
and Residential Market  
Analysis for the Tall Oaks  
Shopping Center - DRAFT

**I. BACKGROUND**

Tall Oaks Shopping Center was opened in 1974 as a grocery-anchored strip center to serve one of the five village centers in Reston. The shopping center totals approximately 72,000 square feet of leasable retail space. The center has not had a stable grocery anchor since 2007, when Giant grocery store vacated. Current occupancy rates are estimated to be 13% (approximately 9,400 square feet).

The site's current owner, Jefferson Apartment Group, currently is exploring the redevelopment potential of the shopping center with a mix of uses. As part of this process, the Reston Comprehensive Plan recommends conducting a market analysis to provide information on the existing and proposed development and the viability of the existing and proposed mix of uses. Jefferson Apartment Group hired Robert Charles Lesser & Co. Real Estate Advisors (RCLCO) to perform the market analyses. RCLCO analyzed the existing development as well as a proposed development program totaling 156 residential units (70 condominiums/flats, 42 two-over-two townhouses, and 44 townhouses) and 7,000 square feet of commercial space.

RKG Associates was retained by the Fairfax County Office of Community Revitalization on March 10, 2016 to critically review the retail and residential market analysis performed by RCLCO (analysis dated March 9, 2016) for the redevelopment of the Tall Oaks Shopping Center. RKG focused its peer review on the market research components of the study. The following elements were addressed with this analysis.

Retail Market:

- Definition of Primary and Secondary Trade Areas,
- Suitability of retail supply and demand data, sales per square foot by merchandise categories, household spending characteristics, etc.,
- Analysis of retail sales leakage and potential sales capture assumptions,
- Assessment of competitive retail space within the primary and secondary market,
- Justification for the applicant's proposed retail component (i.e., store types, store size, projected sales \$/SF).

Residential Market:

- Analysis of demographic and economic trends specifically driving the demand for new residential development at the Tall Oaks Village Center location in Reston,
- Review of locational attributes that make the site suitable for residential development (i.e., access to major transportation routes, public transit, proximity to employment centers, shopping, schools, etc.)

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- Analysis of recent residential development and sales activity within the primary market to support the absorption of additional conventional townhomes, two-over-two townhomes, and condominium apartments.
- Analysis of competitive developments containing similar residential product types as those proposed for Tall Oaks Village Center. The analysis should include a breakdown of units by type, size configuration and price.

## II. RETAIL MARKET ANALYSIS REVIEW

### 1. Approach

RCLCO used a retail demand model to determine the potential capture for the Tall Oaks Shopping Center. Effectively, the analysis identifies the total demand for retail goods within a primary trade area and adjusts that demand for site, location, and competitive market factors. The resulting 'potential capture' is then adjusted by a 'sales per square foot' factor that retailers typically seek to meet their return goals. Sales per square foot estimates vary by retail category, and are well documented by a number of sources (i.e. Urban Land Institute). This is a common industry approach to determining retail market potential, but relies heavily on the expertise of the analyst to assess the site, location, and competitive market factors.

RCLCO's approach to assessing site, location, and competitiveness involved a thorough assessment of the strengths and weaknesses of the subject property as well as analyzing the current and potential demand and competition within the market. RKG Associates' site analysis of the Tall Oaks Shopping Center and the competitive market surrounding the site found RCLCO's findings to be reasonable.

RCLCO used reasonable assumptions throughout the retail market analysis, including the estimated sales per square foot assumptions to determine market potential. RKG would not make any substantive changes to the performance assumptions used in the analysis.

The one area of the approach that RKG questions is the definition of the Primary Trade Area (PTA). A PTA typically is the area from which 70% of sales will be generated. RCLCO used a 1-mile radius area to determine demand. Given the transportation (Dulles Toll Road), physical (Lake Fairfax Park), and competitive environment (seven grocery stores within 2.5 miles of the subject property), RKG Associates would likely have used a drive time analysis to determine the Primary Trade Area. Drive time analyses account for these factors, and customize the boundary to a site's true accessibility.

### 2. Data Sources

RCLCO's local market performance analysis utilized the standard data sources used for these analyses. In addition to its own field research and assessment of primary market data (i.e. pipeline projects), RCLCO used sources such as CoStar, ESRI, retailer site location metrics to

determine market feasibility. These sources are industry standard, and provide the most accurate and complete data readily available for these analyses.

### 3. **Completeness of the Analysis**

RKG Associates believes the RCLCO analysis is complete and consistent with industry standards. RKG would not substantively change the depth of analysis followed by RCLCO.

### 4. **Suitability of the Findings**

RKG Associates reviewed the two primary findings from the retail market analysis; [1] the potential for a grocer at the study site, and [2] the total supportable square footage on the site.

#### *Site Location Factors*

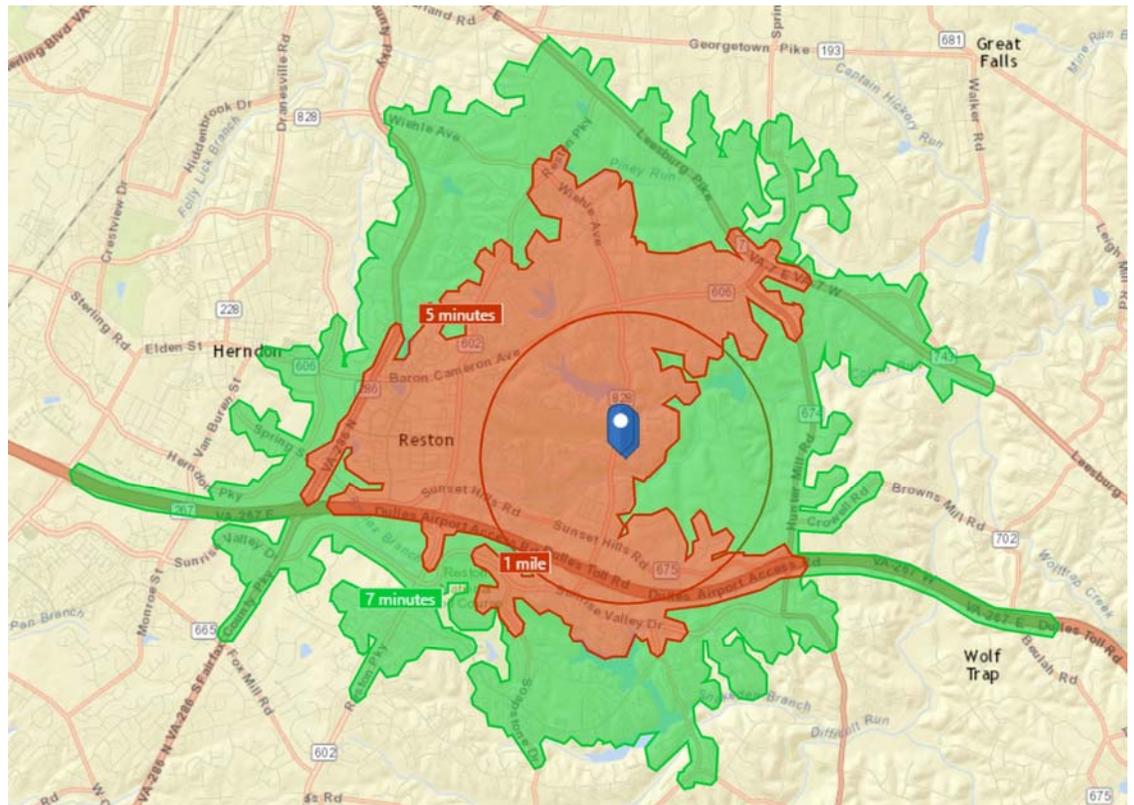
The RCLCO analysis identified a number of strengths and weaknesses of the subject property in its analysis. The following findings are most relevant to the critical review of that work.

- **Traffic** – North Shore Drive has fewer than 5,500 cars per day in front of the Tall Oaks entrance. While Wiehle Avenue traffic counts are consistent with other major commercial corridors in the area (i.e. Reston Parkway), the Tall Oaks site does not have any visibility or transportation access from Wiehle Avenue.
- **Accessibility** – North Shore Drive east of Wiehle Avenue is a dead-end street that ends at the edge of Lake Fairfax Park. This lack of connectivity is the primary reason for the low traffic counts. That said, the inability of Tall Oaks to improve visibility or gain vehicular access to Wiehle Avenue substantially inhibits the commercial potential of the site.
- **Orientation** – As noted, the ‘inward facing’ orientation of the site and its potential use/development is a limiting factor from a commercial viability perspective. The lack of visibility and access also adversely impacts the commercial center at Lake Anne. In contrast the other local commercial centers have substantial visibility and accessibility from their respective main thoroughfares (and are more viable in the marketplace).
- **Competition** – Since 1974, the Reston area of Fairfax County has grown substantially. The introduction of Reston Town Center and the expansion of Metro with the Silver Line are two more recent occurrences that have spurred the development of more modern, well situated, and competitive centers to Tall Oaks. Today, there are seven traditional groceries within 2.5 miles of the Tall Oaks property (Giant Foods, Whole Foods, Harris Teeter, Trader Joe’s, and three Safeway stores). Six of the seven of these groceries are in centers built since Tall Oaks was developed.

Grocery Anchor

RKG Associates performed a cursory retail leakage analysis using 5-minute and 7-minute drive time boundaries (see Map 1) to test the suitability of the 1-mile radius PTA demand approach. The leakage analysis identifies uncaptured sales by retail category within the defined boundary. The leakage approach using a drive time boundary for the PTA provides two comparative metrics against the RCLCO analysis. First, it adjusts the PTA boundaries to an area more consistent with the physical locational attributes of Reston. Simply put, it accounts for accessibility of Tall Oaks. Five-minute (conservative) and seven-minute (aggressive) boundaries are consistent for grocery-anchored shopping centers in communities like Reston in the greater Washington DC market. Second, it incorporates the capture of sales by other grocery stores within the PTA. This approach differs from a pure demand analysis approach used by RCLCO, as it accounts for the demand already being captured by competitors in the market.

Map 1 – Tall Oaks Shopping Center Drive Time and Radius PTA Boundaries



The analysis identified that the subject property has greater retail capture by local businesses within the 5-minute drive time than there is demand from area residents. The 7-minute drive time shows a sales leakage<sup>1</sup> of nearly \$35.6M for grocery sales (demand not captured by local businesses). The data indicate Tall Oaks would need to draw from a larger market than the immediate area in order to support a grocery store. Given the site challenges enumerated in the RCLCO analysis, this would be highly unlikely. Even if the site barriers could be addressed, the 7-minute drive time area market demand could support nearly 65,000 SF of grocery store (at RCLCO's \$550 PSF capture rate for specialty groceries<sup>2</sup>). That said, Tall Oaks would not be able to capture 100% of this leaked sales. Using RCLCO's 35% 'ideal' capture rate<sup>3</sup> for groceries yields less than 22,600 SF of supportable grocery store. When site limitations (low traffic counts/no through access on North Shore Drive, lack of vehicular and visual connectivity to Wiehle Avenue), an aggressive capture rate likely would be in the 20% range (or 13,000 SF). To this point, RCLCO's findings that Tall Oaks is not a suitable location for a grocer are substantiated.

#### Total Retail/Service Space

The site currently supports approximately 9,400 SF of tenants, including four delivery and take-out focused dining establishments, two pet-oriented service providers, a dry cleaner, and an early childhood education provider. The common link to these businesses is that they do not require high-traffic, high-visibility locations. In fact, the service-based businesses likely prefer the abundant parking that Tall Oaks offers.

To this point, the subject property will continue to be non-competitive due to its lack of visibility and lack of access from Wiehle Avenue. The type of retailers and service providers that will be attracted to the Tall Oaks site are those that serve the greater Reston market, but do not rely on high volume through traffic and walk-up business. The three most likely retail/service tenants of the new development will be neighborhood-serving businesses (i.e. dry cleaners, beauty salons...), destination businesses (i.e. pet daycare/grooming), and dining establishments that rely heavily on their take-out and delivery business. In short, Tall Oaks is attractive because it offers ample parking and a comparatively reduced rent rate (within Reston). Retailers that focus on in-store activity will seek locations at the many shopping centers along the major transportation corridors (i.e. Sunset Hills Road, Reston Parkway...).

In terms of total supportable retail space, RCLCO's findings are within a reasonable range. At a base level, the site currently supports 9,400 SF of users. Assuming a similar rent structure, the site likely could continue this level of activity after the redevelopment, especially with 156 new

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<sup>1</sup> 2015 ESRI Retail MarketPlace Profile

<sup>2</sup> RCLCO Study, Summary of Retail Demand Model, pp 15

<sup>3</sup> *ibid*

high-income households on the premises. The RCLCO analysis indicates that total unmet retail demand available to be captured on the site ranges between 9,000<sup>4</sup> square feet and 24,000<sup>5</sup> square feet (depending on the grocer assumptions). However, these totals do not account for minimum store footprints. For example, a new shoe store will not open if there is only enough demand to support 75 square feet of sales activity. RCLCO's conclusion that the site can support 6,000 square feet of retail activity reflects those categories where the supportable demand is greater than the minimum store size (restaurant/specialty foods and service use).

That said, the RCLCO analysis only accounts for 1,500 square feet of service-based business demand, or those commercial businesses that transact in services and not goods. The groomer, dry cleaner, and child education center are prime examples of these uses. At a base level, the site currently supports more than 4,000 square feet of service-based businesses. To this point, there likely will be more demand for these users above the 1,500 square feet presented in the analysis. Without performing a more detailed analysis, it is challenging to estimate what that demand would be. That said, it is reasonable to believe the site could support up to 10,000 square feet of service-based businesses with an appropriate design, pricing, and parking strategy.

It is important to note that increasing the total amount of retail/service space in the new development comes with some risk. Adding more commercial space to the new development likely will require the developer to price the space more competitively within the market to reach full occupancy. Given the current success at Tall Oaks relies on below-market cost space compared to elsewhere in Reston, heavier discounts will further negatively impact the financial performance of the project. This is particularly true when considering underlying cost per square foot is much higher for newly constructed space than for older, rehab space.

In any case, the type of commercial business will be consistent with existing patterns despite the amount of space. The Tall Oaks site is an 'off market' location within a highly competitive and better-positioned local marketplace.

### III. RESIDENTIAL MARKET ANALYSIS REVIEW

#### 1. Approach

RCLCO performed a thorough residential supply and demand analysis to understand the likely absorption rate, penetration rate, and price point for housing at the Tall Oaks site. The approach is consistent with industry standards. The assumptions used throughout the analysis are reasonable and consistent with the local market climate. RKG Associates would not make any substantive changes to the approach.

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<sup>4</sup> 2015 demand level, Trader Joe's scenario

<sup>5</sup> 2020 demand level, traditional grocer scenario

**2. Data Sources**

RCLCO used the most recent and appropriate data sources to perform the residential market analysis. In addition to using locally relevant comparable property data to determine market performance levels at the subject site, RCLCO also used a number of industry standard data sources (i.e. ACS, HUD, RealQuest...) to complete the analysis. RKG finds the data sources consistent with industry standards and would not substantially change the approach as followed by RCLCO.

**3. Completeness of the Analysis**

RKG Associates believes the RCLCO analysis is complete and consistent with industry standards. RKG would not substantively change the depth of analysis followed by RCLCO.

**4. Suitability of the Findings**

Given the approach, sources, and completeness of the residential market analysis are appropriate and within industry standards, the analysis findings are reasonable. RKG Associates sees no evidence or methodological flaws to refute the analysis findings. The site is a logical location for medium-density ownership and rental housing development given its proximity to Metro, Reston Town Center, Tyson's Corner and Washington DC.

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Date	Meeting	Attendance
5/23/2014	FC Staff - Pre-App Meeting	FC Staff, Cooley, VIKA, JAG
5/27/2014	Supervisor Hudgins Overview	Cathy Hudgins, JAG, Cooley
6/19/2014	Dick Kennedy (P&Z)	Dick Kennedy (P&Z), JAG, Cooley
6/24/2014	Rob Walker, Jared Wilcox, Steve Cerny	Rob Walker, Jared Wilcox, Steve Cerny (all P&Z), JAG, Cooley
7/10/2014	DRB-Pre-Informational	Select DRB Members, Cooley, JAG
6/25/2014	Follow Up County Staff Meeting	Fairfax County Staff, JAG, Cooley
11/13/2014	Meeting to evaluate coordination with EYA	Cathy Hudgins, JAG, JBG, EYA, Cooley
2/19/2015	Tall Oaks Zoning Path	Supervisor Hudgins, Barbara Byron, Fred Seldin, Winterhalter JAG
3/18/2015	Community-Meeting (RA/Stakeholder)	Community, Select DRB Members, P&Z Members, RA Staff, Cooley, JAG
4/17/2015	Assisted Living Meeting (Neighbor)	Assisted Living Management
4/23/2015	Community- (RA/Stakeholder)	150-200 ppl Community, Select DRB Members, P&Z Members, RA Staff, Cooley, JAG
5/4/2015	Community- (RA/Stakeholder)	150-200 ppl Community, Select DRB Members, P&Z Members, RA Staff, Cooley, JAG
5/7/2015	Bob Simon (Tour of Lake Anne, Discussion)	Bob Simon, JAG
5/8/2015	Tall Oaks Zoning Path	FC Staff (Seldin, ....)
5/18/2015	Reston Planning & Zoning Informational (I)	P&Z, Cooley, JAG, Select Community
5/19/2015	DRB Informational (I)	DRB, Cooley, JAG, Community
5/28/2015	Neighborhood Meeting	Dick Rogers
6/9/2015	Tall Oaks Zoning Path	FC Staff, Cooley, JAG
6/10/2015	Lake Anne Nursery Kindergarten Meeting	LANK Board of Directors, JAG
6/16/2015	Neighborhood Meeting	Sherri Herbert, JoAnne Henck, Dick Rogers, Lynne Holston, Mariane Whitaker
6/22/2015	Community-Meeting (Hudgins/FC)	150-200 ppl Community, FC Staff, Select DRB Members, P&Z Members, RA Staff, Cooley, JAG
6/23/2015	Tall Oaks Revised Concept Review	OCR, FCDOT, DPZ, etc
7/1/2015	Call with Supervisor Hudgins	Goldie, Hudgins, Cooley, JAG
7/2/2015	Tall Oaks Revised Concept Review	OCR, FCDOT, DPZ, etc
7/23/2015	Tall Oaks Revised Concept Review	OCR, FCDOT, DPZ, etc
7/27/2015	FCDOT Conceptual Design Input	Beth Iannetta, Clayton Tock, JAG
10/14/2015	Neighborhood Meeting	Sherri Herbert, JoAnne Henck, Dick Rogers, Bill Wolloch
10/19/2015	Assisted Living Meeting	Assisted Living ownership and management
11/16/2015	Reston Planning & Zoning Informational (II)	P&Z, Cooley, JAG, Select Community
11/17/2015	DRB Informational (II)	DRB, Cooley, JAG, Community
12/16/2015	Neighborhood Meeting (RA Steering/Community)	RA Steering Committee, Community
12/21/2015	Meeting with Staff (PRC Submission)	FC Staff, Cooley, JAG
1/21/2016	Meeting with Staff (PRC Submission)	FC Staff, Cooley, JAG
2/9/2016	Meeting with Staff (PRC Submission)	FC Staff, Cooley, JAG
2/24/2016	RA Staff Meeting	Cate, Larry, John, Looney
4/12/2016	Cathy Hudgins & Staff Meeting	Cathy Hudgins, Goldie Harris, Barbara Byron, Fred Seldin, Barbara Berlin, Bill Mayland, Mary Ann Tsai
4/19/2016	FC Open Space Design Review Meeting	Barbara Byron, Sonja Ewing, Fred Selden, Bill Mayland, Mary Ann Tsai, Andy Dorlester, Jennifer Bonnette
5/10/2016	Community Meeting Update - at Tall Oaks	150-200 people including Cathy Hudgins, Goldie Harris, Barbara Byron, and many active community members
5/16/2016	Reston Planning & Zoning - Approval	P&Z, Cooley, JAG, Select Community
5/17/2016	FCDPZ Meeting	FC Staff, Cooley, JAG, Urban, Kimley Horn
5/17/2016	RA Staff Meeting	Cate, Larry, John, Looney
5/17/2016	Reston DRB - Approval	DRB, Cooley, JAG, Community

## GLOSSARY

This Glossary is provided to assist the public in understanding the staff evaluation and analysis of development proposals. It should not be construed as representing legal definitions. Refer to the Fairfax County Zoning Ordinance, Comprehensive Plan or Public Facilities Manual for additional information.

**ABANDONMENT:** Refers to road or street abandonment, an action taken by the Board of Supervisors, usually through the public hearing process, to abolish the public's right-of-passage over a road or road right-of way. Upon abandonment, the right-of-way automatically reverts to the underlying fee owners. If the fee to the owner is unknown, Virginia law presumes that fee to the roadbed rests with the adjacent property owners if there is no evidence to the contrary.

**ACCESSORY DWELLING UNIT (OR APARTMENT):** A secondary dwelling unit established in conjunction with and clearly subordinate to a single family detached dwelling unit. An accessory dwelling unit may be allowed if a special permit is granted by the Board of Zoning Appeals (BZA). Refer to Sect. 8-918 of the Zoning Ordinance.

**AFFORDABLE DWELLING UNIT (ADU) DEVELOPMENT:** Residential development to assist in the provision of affordable housing for persons of low and moderate income in accordance with the affordable dwelling unit program and in accordance with Zoning Ordinance regulations. Residential development which provides affordable dwelling units may result in a density bonus (see below) permitting the construction of additional housing units. See Part 8 of Article 2 of the Zoning Ordinance.

**AGRICULTURAL AND FORESTAL DISTRICTS:** A land use classification created under Chapter 114 or 115 of the Fairfax County Code for the purpose of qualifying landowners who wish to retain their property for agricultural or forestal use for use/value taxation pursuant to Chapter 58 of the Fairfax County Code.

**BARRIER:** A wall, fence, earthen berm, or plant materials which may be used to provide a physical separation between land uses. Refer to Article 13 of the Zoning Ordinance for specific barrier requirements.

**BEST MANAGEMENT PRACTICES (BMPs):** Stormwater management techniques or land use practices that are determined to be the most effective, practicable means of preventing and/or reducing the amount of pollution generated by nonpoint sources in order to improve water quality.

**BUFFER:** Graduated mix of land uses, building heights or intensities designed to mitigate potential conflicts between different types or intensities of land uses; may also provide for a transition between uses. A landscaped buffer may be an area of open, undeveloped land and may include a combination of fences, walls, berms, open space and/or landscape plantings. A buffer is not necessarily coincident with transitional screening.

**CHESAPEAKE BAY PRESERVATION ORDINANCE:** Regulations which the State has mandated must be adopted to protect the Chesapeake Bay and its tributaries. These regulations must be incorporated into the comprehensive plans, zoning ordinances and subdivision ordinances of the affected localities. Refer to Chesapeake Bay Preservation Act, Va. Code Section 10.1-2100 et seq and VR 173-02-01, Chesapeake Bay Preservation Area Designation and Management Regulations.

**CLUSTER DEVELOPMENT:** Residential development in which the lots are clustered on a portion of a site so that significant environmental/historical/cultural resources may be preserved or recreational amenities provided. While smaller lot sizes are permitted in a cluster subdivision to preserve open space, the overall density cannot exceed that permitted by the applicable zoning district. See Sect. 2-421 and Sect. 9-615 of the Zoning Ordinance.

**COUNTY 2232 REVIEW PROCESS:** A public hearing process pursuant to Sect. 15.2-2232 (Formerly Sect. 15.1-456) of the Virginia Code which is used to determine if a proposed public facility not shown on the adopted Comprehensive Plan is in substantial accord with the plan. Specifically, this process is used to determine if the general or approximate location, character and extent of a proposed facility is in substantial accord with the Plan.

**dba:** The momentary magnitude of sound weighted to approximate the sensitivity of the human ear to certain frequencies; the dBA value describes a sound at a given instant, a maximum sound level or a steady state value. See also Ldn.

**DENSITY:** Number of dwelling units (du) divided by the gross acreage (ac) of a site being developed in residential use; or, the number of dwelling units per acre (du/ac) except in the PRC District when density refers to the number of persons per acre.

**DENSITY BONUS:** An increase in the density otherwise allowed in a given zoning district which may be granted under specific provisions of the Zoning Ordinance when a developer provides excess open space, recreation facilities, or affordable dwelling units (ADUs), etc.

**DEVELOPMENT CONDITIONS:** Terms or conditions imposed on a development by the Board of Supervisors (BOS) or the Board of Zoning Appeals (BZA) in connection with approval of a special exception, special permit or variance application or rezoning application in a "P" district. Conditions may be imposed to mitigate adverse impacts associated with a development as well as secure compliance with the Zoning Ordinance and/or conformance with the Comprehensive Plan. For example, development conditions may regulate hours of operation, number of employees, height of buildings, and intensity of development.

**DEVELOPMENT PLAN:** A graphic representation which depicts the nature and character of the development proposed for a specific land area: information such as topography, location and size of proposed structures, location of streets trails, utilities, and storm drainage are generally included on a development plan. A development plan is a submission requirement for rezoning to the PRC District. A **GENERALIZED DEVELOPMENT PLAN (GDP)** is a submission requirement for a rezoning application for all conventional zoning districts other than a P District. A development plan submitted in connection with a special exception (SE) or special permit (SP) is generally referred to as an SE or SP plat. A **CONCEPTUAL DEVELOPMENT PLAN (CDP)** is a submission requirement when filing a rezoning application for a P District other than the PRC District; a CDP characterizes in a general way the planned development of the site. A **FINAL DEVELOPMENT PLAN (FDP)** is a submission requirement following the approval of a conceptual development plan and rezoning application for a P District other than the PRC District; an FDP further details the planned development of the site. See Article 16 of the Zoning Ordinance.

**EASEMENT:** A right to or interest in property owned by another for a specific and limited purpose. Examples: access easement, utility easement, construction easement, etc. Easements may be for public or private purposes.

**ENVIRONMENTAL QUALITY CORRIDORS (EQCs):** An open space system designed to link and preserve natural resource areas, provide passive recreation and protect wildlife habitat. The system includes stream valleys, steep slopes and wetlands. For a complete definition of EQCs, refer to the Environmental section of the Policy Plan for Fairfax County contained in Vol. 1 of the Comprehensive Plan.

**ERODIBLE SOILS:** Soils that wash away easily, especially under conditions where stormwater runoff is inadequately controlled. Silt and sediment are washed into nearby streams, thereby degrading water quality.

**FLOODPLAIN:** Those land areas in and adjacent to streams and watercourses subject to periodic flooding; usually associated with environmental quality corridors. The 100 year floodplain drains 70 acres or more of land and has a one percent chance of flood occurrence in any given year.

**FLOOR AREA RATIO (FAR):** An expression of the amount of development intensity (typically, non-residential uses) on a specific parcel of land. FAR is determined by dividing the total square footage of gross floor area of buildings on a site by the total square footage of the site itself.

**FUNCTIONAL CLASSIFICATION:** A system for classifying roads in terms of the character of service that individual facilities are providing or are intended to provide, ranging from travel mobility to land access. Roadway system functional classification elements include Freeways or Expressways which are limited access highways, Other Principal (or Major) Arterials, Minor Arterials, Collector Streets, and Local Streets. Principal arterials are designed to accommodate travel; access to adjacent properties is discouraged. Minor arterials are designed to serve both through traffic and local trips. Collector roads and streets link local streets and properties with the arterial network. Local streets provide access to adjacent properties.

**GEOTECHNICAL REVIEW:** An engineering study of the geology and soils of a site which is submitted to determine the suitability of a site for development and recommends construction techniques designed to overcome development on problem soils, e.g., marine clay soils.

**HYDROCARBON RUNOFF:** Petroleum products, such as motor oil, gasoline or transmission fluid deposited by motor vehicles which are carried into the local storm sewer system with the stormwater runoff, and ultimately, into receiving streams; a major source of non-point source pollution. An oil-grit separator is a common hydrocarbon runoff reduction method.

**IMPERVIOUS SURFACE:** Any land area covered by buildings or paved with a hard surface such that water cannot seep through the surface into the ground.

**INFILL:** Development on vacant or underutilized sites within an area which is already mostly developed in an established development pattern or neighborhood.

**INTENSITY:** The magnitude of development usually measured in such terms as density, floor area ratio, building height, percentage of impervious surface, traffic generation, etc. Intensity is also based on a comparison of the development proposal against environmental constraints or other conditions which determine the carrying capacity of a specific land area to accommodate development without adverse impacts.

**Ldn:** Day night average sound level. It is the twenty-four hour average sound level expressed in A-weighted decibels; the measurement assigns a "penalty" to night time noise to account for night time sensitivity. Ldn represents the total noise environment which varies over time and correlates with the effects of noise on the public health, safety and welfare.

**LEVEL OF SERVICE (LOS):** An estimate of the effectiveness of a roadway to carry traffic, usually under anticipated peak traffic conditions. Level of Service efficiency is generally characterized by the letters A through F, with LOS-A describing free flow traffic conditions and LOS-F describing jammed or grid-lock conditions.

**MARINE CLAY SOILS:** Soils that occur in widespread areas of the County generally east of Interstate 95. Because of the abundance of shrink-swell clays in these soils, they tend to be highly unstable. Many areas of slope failure are evident on natural slopes. Construction on these soils may initiate or accelerate slope movement or slope failure. The shrink-swell soils can cause movement in structures, even in areas of flat topography, from dry to wet seasons resulting in cracked foundations, etc. Also known as slippage soils.

**OPEN SPACE:** That portion of a site which generally is not covered by buildings, streets, or parking areas. Open space is intended to provide light and air; open space may function as a buffer between land uses or for scenic, environmental, or recreational purposes.

**OPEN SPACE EASEMENT:** An easement usually granted to the Board of Supervisors which preserves a tract of land in open space for some public benefit in perpetuity or for a specified period of time. Open space easements may be accepted by the Board of Supervisors, upon request of the land owner, after evaluation under criteria established by the Board. See Open Space Land Act, Code of Virginia, Sections 10.1-1700, et seq.

**P DISTRICT:** A "P" district refers to land that is planned and/or developed as a Planned Development Housing (PDH) District, a Planned Development Commercial (PDC) District or a Planned Residential Community (PRC) District. The PDH, PDC and PRC Zoning Districts are established to encourage innovative and creative design for land development; to provide ample and efficient use of open space; to promote a balance in the mix of land uses, housing types, and intensity of development; and to allow maximum flexibility in order to achieve excellence in physical, social and economic planning and development of a site. Refer to Articles 6 and 16 of the Zoning Ordinance.

**PROFFER:** A written condition, which, when offered voluntarily by a property owner and accepted by the Board of Supervisors in a rezoning action, becomes a legally binding condition which is in addition to the zoning district regulations applicable to a specific property. Proffers are submitted and signed by an owner prior to the Board of Supervisors public hearing on a rezoning application and run with the land. Once accepted by the Board, proffers may be modified only by a proffered condition amendment (PCA) application or other zoning action of the Board and the hearing process required for a rezoning application applies. See Sect. 15.2-2303 (formerly 15.1-491) of the Code of Virginia.

**PUBLIC FACILITIES MANUAL (PFM):** A technical text approved by the Board of Supervisors containing guidelines and standards which govern the design and construction of site improvements incorporating applicable Federal, State and County Codes, specific standards of the Virginia Department of Transportation and the County's Department of Public Works and Environmental Services.

**RESOURCE MANAGEMENT AREA (RMA):** That component of the Chesapeake Bay Preservation Area comprised of lands that, if improperly used or developed, have a potential for causing significant water quality degradation or for diminishing the functional value of the Resource Protection Area. See Fairfax County Code, Ch. 118, Chesapeake Bay Preservation Ordinance.

**RESOURCE PROTECTION AREA (RPA):** That component of the Chesapeake Bay Preservation Area comprised of lands at or near the shoreline or water's edge that have an intrinsic water quality value due to the ecological and biological processes they perform or are sensitive to impacts which may result in significant degradation of the quality of state waters. In their natural condition, these lands provide for the removal, reduction or assimilation of sediments from runoff entering the Bay and its tributaries, and minimize the adverse effects of human activities on state waters and aquatic resources. New development is generally discouraged in an RPA. See Fairfax County Code, Ch. 118, Chesapeake Bay Preservation Ordinance.

**SITE PLAN:** A detailed engineering plan, to scale, depicting the development of a parcel of land and containing all information required by Article 17 of the Zoning Ordinance. Generally, submission of a site plan to DPWES for review and approval is required for all residential, commercial and industrial development except for development of single family detached dwellings. The site plan is required to assure that development complies with the Zoning Ordinance.

**SPECIAL EXCEPTION (SE) / SPECIAL PERMIT (SP):** Uses, which by their nature, can have an undue impact upon or can be incompatible with other land uses and therefore need a site specific review. After review, such uses may be allowed to locate within given designated zoning districts if appropriate and only under special controls, limitations, and regulations. A special exception is subject to public hearings by the Planning Commission and Board of Supervisors with approval by the Board of Supervisors; a special permit requires a public hearing and approval by the Board of Zoning Appeals. Unlike proffers which are voluntary, the Board of Supervisors or BZA may impose reasonable conditions to assure, for example, compatibility and safety. See Article 8, Special Permits and Article 9, Special Exceptions, of the Zoning Ordinance.

**STORMWATER MANAGEMENT:** Engineering practices that are incorporated into the design of a development in order to mitigate or abate adverse water quantity and water quality impacts resulting from development. Stormwater management systems are designed to slow down or retain runoff to re-create, as nearly as possible, the pre-development flow conditions.

**SUBDIVISION PLAT:** The engineering plan for a subdivision of land submitted to DPWES for review and approved pursuant to Chapter 101 of the County Code.

**TRANSPORTATION DEMAND MANAGEMENT (TDM):** Actions taken to reduce single occupant vehicle automobile trips or actions taken to manage or reduce overall transportation demand in a particular area.

**TRANSPORTATION SYSTEM MANAGEMENT (TSM) PROGRAMS:** This term is used to describe a full spectrum of actions that may be applied to improve the overall efficiency of the transportation network. TSM programs usually consist of low-cost alternatives to major capital expenditures, and may include parking management measures, ridesharing programs, flexible or staggered work hours, transit promotion or operational improvements to the existing roadway system. TSM includes Transportation Demand Management (TDM) measures as well as H.O.V. use and other strategies associated with the operation of the street and transit systems.

**URBAN DESIGN:** An aspect of urban or suburban planning that focuses on creating a desirable environment in which to live, work and play. A well-designed urban or suburban environment demonstrates the four generally accepted principles of design: clearly identifiable function for the area; easily understood order; distinctive identity; and visual appeal.

**VACATION:** Refers to vacation of street or road as an action taken by the Board of Supervisors in order to abolish the public's right-of-passage over a road or road right-of-way dedicated by a plat of subdivision. Upon vacation, title to the road right-of-way transfers by operation of law to the owner(s) of the adjacent properties within the subdivision from whence the road/road right-of-way originated.

**VARIANCE:** An application to the Board of Zoning Appeals which seeks relief from a specific zoning regulation such as lot width, building height, or minimum yard requirements, among others. A variance may only be granted by the Board of Zoning Appeals through the public hearing process and upon a finding by the BZA that the variance application meets the required Standards for a Variance set forth in Sect. 18-404 of the Zoning Ordinance.

**WETLANDS:** Land characterized by wetness for a portion of the growing season. Wetlands are generally delineated on the basis of physical characteristics such as soil properties indicative of wetness, the presence of vegetation with an affinity for water, and the presence or evidence of surface wetness or soil saturation. Wetland environments provide water quality improvement benefits and are ecologically valuable. Development activity in wetlands is subject to permitting processes administered by the U.S. Army Corps of Engineers

**TIDAL WETLANDS:** Vegetated and nonvegetated wetlands as defined in Chapter 116 Wetlands Ordinance of the Fairfax County Code: includes tidal shores and tidally influenced embayments, creeks, and tributaries to the Occoquan and Potomac Rivers. Development activity in tidal wetlands may require approval from the Fairfax County Wetlands Board.

#### Abbreviations Commonly Used in Staff Reports

A&F	Agricultural & Forestal District	PDH	Planned Development Housing
ADU	Affordable Dwelling Unit	PFM	Public Facilities Manual
ARB	Architectural Review Board	PRC	Planned Residential Community
BMP	Best Management Practices	RC	Residential-Conservation
BOS	Board of Supervisors	RE	Residential Estate
BZA	Board of Zoning Appeals	RMA	Resource Management Area
COG	Council of Governments	RPA	Resource Protection Area
CBC	Community Business Center	RUP	Residential Use Permit
CDP	Conceptual Development Plan	RZ	Rezoning
CRD	Commercial Revitalization District	SE	Special Exception
DOT	Department of Transportation	SEA	Special Exception Amendment
DP	Development Plan	SP	Special Permit
DPWES	Department of Public Works and Environmental Services	TDM	Transportation Demand Management
DPZ	Department of Planning and Zoning	TMA	Transportation Management Association
DU/AC	Dwelling Units Per Acre	TSA	Transit Station Area
EQC	Environmental Quality Corridor	TSM	Transportation System Management
FAR	Floor Area Ratio	UP & DD	Utilities Planning and Design Division, DPWES
FDP	Final Development Plan	VC	Variance
GDP	Generalized Development Plan	VDOT	Virginia Dept. of Transportation
GFA	Gross Floor Area	VPD	Vehicles Per Day
HC	Highway Corridor Overlay District	VPH	Vehicles per Hour
HCD	Housing and Community Development	WMATA	Washington Metropolitan Area Transit Authority
LOS	Level of Service	WS	Water Supply Protection Overlay District
Non-RUP	Non-Residential Use Permit	ZAD	Zoning Administration Division, DPZ
OSDS	Office of Site Development Services, DPWES	ZED	Zoning Evaluation Division, DPZ
PCA	Proffered Condition Amendment	ZPRB	Zoning Permit Review Branch
PD	Planning Division		
PDC	Planned Development Commercial		