



County of Fairfax, Virginia

To protect and enrich the quality of life for the people, neighborhoods and diverse communities of Fairfax County

July 27, 2016

Lori Greenlief
McGuire Woods LLP
1750 Tysons Boulevard, Ste. 1800
Tysons Corner, VA 22102

RE: Rezoning Application RZ 2014-DR-022

Dear Ms. Greenlief:

Enclosed you will find a copy of an Ordinance adopted by the Board of Supervisors at a regular meeting held on July 26, 2016, granting Rezoning Application RZ 2014-DR-022 in the name of Basheer/Edgemoore-Brooks, LLC. The Board's action rezones certain property in the Dranesville District from the R-A and R-E Districts to the R-E (Cluster) District to permit residential development with a total density of 0.37 dwelling units per acre (du/ac). The subject property is located approximately 600 feet E. of Springvale Road and N. of Parkerhouse Drive, on approximately 51.97 acres of land, [Tax Map 7-2 ((1)) 17 and 23], subject to the proffers dated July 22, 2016.

Sincerely,

Catherine A. Chianese
Clerk to the Board of Supervisors

RECEIVED
Department of Planning & Zoning

AUG 18 2016

Zoning Evaluation Division

RZ 2014-DR-022
July 27, 2016

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Cc: Chairman Sharon Bulova
Supervisor John Foust, Dranesville District
Howard Goodie, Director, Real Estate Division, Dept. of Tax Administration
Barbara Berlin, Director, Zoning Evaluation Division, DPZ
Diane Johnson-Quinn, Deputy Zoning Administrator, Dept. of Planning and Zoning
Thomas Conry, Dept. Manager – GIS - Mapping/Overlay
Michael Davis, Section Chief, Transportation Planning Division
Donald Stephens, Transportation Planning Division
Sandy Stallman, Park Planning Branch Manager, FCPA
Abdi Hamud, Development Officer, DHCD/Design Development Division
Jill Cooper, Executive Director, Planning Commission
Greg Bokan, Coordinator, Facilities Planning, Fairfax County Public Schools
Karyn Moreland, Chief Capital Projects Sections, Dept. of Transportation

At a regular meeting of the Board of Supervisors of Fairfax County, Virginia, held in the Board Auditorium in the Government Center at Fairfax, Virginia, on the 26th day of July, 2016, the following ordinance was adopted:

**AN ORDINANCE AMENDING THE ZONING ORDINANCE
PROPOSAL NUMBER RZ 2014-DR-022**

WHEREAS, Basheer/Edgemoore-Brooks, LLC, filed in the proper form an application requesting the zoning of a certain parcel of land herein after described, from the R-A and R-E Districts to the R-E (Cluster) District

WHEREAS, at a duly called public hearing the Planning Commission considered the application and the propriety of amending the Zoning Ordinance in accordance therewith, and thereafter did submit to this Board its recommendation, and

WHEREAS, this Board has today held a duly called public hearing and after due consideration of the reports, recommendation, testimony and facts pertinent to the proposed amendment, the Board is of the opinion that the Ordinance should be amended,

NOW, THEREFORE, BE IT ORDAINED, that that certain parcel of land situated in the Dranesville District, and more particularly described as follows (see attached legal description):

Be, and hereby is, zoned to the R-E (Cluster) District, and said property is subject to the use regulations of said R-E (Cluster) District, and further restricted by the conditions proffered and accepted pursuant to Va. Code Ann., 15.2-2303(a), which conditions are in addition to the Zoning Ordinance regulations applicable to said parcel, and

BE IT FURTHER ENACTED, that the boundaries of the Zoning Map heretofore adopted as a part of the Zoning Ordinance be, and they hereby are, amended in accordance with this enactment, and that said zoning map shall annotate and incorporate by reference the additional conditions governing said parcel.

GIVEN under my hand this 26th day of July, 2016.



Catherine A. Chianese
Clerk to the Board of Supervisors



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Proffered Conditions
Basheer/Edgemore-Brooks, LLC
RZ 2014-DR-022
January 30, 2015
April 24, 2015
July 8, 2015
November 30, 2015
December 16, 2015
December 30, 2015
February 10, 2016
February 19, 2016
February 23, 2016
March 24, 2016
April 25, 2016
May 31, 2016
July 7, 2016
July 22, 2016

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Department of Planning & Zoning
JUL 25 2016
Zoning Evaluation Division

Pursuant to Section 15.2-2303(A), Code of Virginia, 1950 as amended, the undersigned Owners and Applicant, in this rezoning proffer that the development of the parcel under consideration and shown on the Fairfax County Tax Map as Tax Map Reference 7-2((1))17 and 23 (hereinafter referred to as the "Property") will be in accordance with the following conditions (the "Proffered Conditions"), if and only if, said rezoning request for the R-E Zoning District is granted. In the event said rezoning request is denied, these Proffered Conditions shall be null and void. The Owners and the Applicant, for themselves, their successors and assigns hereby agree that these Proffered Conditions shall be binding on the future development of the Property unless modified, waived or rescinded in the future by the Board of Supervisors of Fairfax County, Virginia, in accordance with applicable County and State statutory procedures. The Proffered Conditions are:

I. GENERAL

1. Substantial Conformance. Subject to the provisions of Section 18-204 of the Fairfax County Zoning Ordinance (hereinafter referred to as the "Zoning Ordinance"), development of the Property shall be in substantial conformance with the Generalized Development Plan (GDP), prepared by christopher consultants, ltd., dated August 28, 2014, revised through May 31, 2016.
2. Maximum Lot Yield. The development shall consist of a maximum of nineteen (19) single family detached units.
3. Minor Modifications. Pursuant to Paragraph 5 of Section 18-204 of the Zoning Ordinance, minor modifications to the GDP may be permitted as determined by the Zoning Administrator.
4. Establishment of Home Owners Association (HOA). Prior to record plat approval, the Applicant shall establish an HOA in accordance with Sect. 2-700 of the Zoning

Ordinance. The purpose of the HOA shall be, among other things, establishing the necessary residential covenants governing the use and operation of common open space and other facilities of the approved development, to provide a mechanism for ensuring the ability to complete the maintenance obligations and other provisions noted in these proffer conditions, including an estimated budget for such common maintenance items, and to establish necessary restrictions and maintenance for any low impact development elements and tree preservation areas located on private lots.

5. Dedication to HOA. At the time of record plat recordation, the open space and common features/amenities not otherwise conveyed or dedicated to the County shall be dedicated to the HOA and maintained by the same.
6. Disclosure. Prior to entering into a contract of sale, prospective purchasers shall be notified in writing by the Applicant of the maintenance responsibility for common area landscaping and any other open space amenities and the disclosures and restrictions contained in Proffer 7 and shall acknowledge receipt of this information in writing.
7. HOA Documents. The HOA governing documents and initial deeds of conveyance shall expressly contain the disclosure outlined in Proffer 6, as well as the following:
 - ◆ A commitment on the part of the HOA to work closely with the Great Falls Trail Blazers on the maintenance of any equestrian trails in the community
 - ◆ The requirement that homeowners maintain their own septic systems and that the HOA maintains information on the maintenance protocol for the same
 - ◆ A disclosure of the fact that some lots have on-lot stormwater management facilities which cannot be altered by individual homeowners
 - ◆ A disclosure of the fact that the lots have compost soil amendment around the perimeter of each house planted with drought resistant turf grasses
 - ◆ A restriction that there shall be no on-lot irrigation systems and that the HOA will not install an irrigation system in any HOA open space areas
 - ◆ A restriction that the on-lot use of lawn fertilization and pest management treatments will be limited to an HOA approved list of environmentally-friendly products and time-of-year application specified by the products for purposes of nutrient reduction and mitigating potential downstream impacts
 - ◆ A restriction that swimming pools cannot be filled via well water
 - ◆ Information regarding the buildable area for each lot as shown on Sheet 6 of the GDP and the restriction that there shall be no accessory sheds or storage units anywhere constructed on individual private lots
 - ◆ Information regarding the no-grading area on Lots 8, 9, and 10 as described in Proffer 8.
8. No Grading Areas. On Lots 8, 9 and 10, the site grades and contours in the area between the crosshatched area, as shown on Sheet 6 of the GDP, and the northern lot line shall not be altered from that shown on the approved grading plan.
9. BMP/Septic System Maintenance. After establishing the HOA pursuant to these proffers, the Applicant shall provide the HOA with written materials describing proper

maintenance of the approved BMPs in accordance with the PFM and County guidelines as well as maintenance procedures for the Alternative on-site sewage system which shall then be included in the disclosure information/HOA documents for each homeowner as outlined in Proffer 6. The HOA shall maintain a copy of the maintenance procedures for the Alternative on-site sewage system and provide the same in the HOA documents package distributed to each new homeowner and successive purchasers.

10. Signs. The Applicant will comply with the General Provisions of Article 12 of the Zoning Ordinance and the Sign Regulations therein. No temporary signs (including “popsicle” style paper or cardboard signs), which are prohibited by Article 12 of the Zoning Ordinance and Chapter 7 of Title 33.1, and Chapter 8 of Title 46.2 of the Code of Virginia, shall be placed on or offsite by the Applicant or at the Applicant’s direction. The Applicant shall direct its agents and employees involved with the Property to adhere to this proffer.
11. Architectural Design. The architectural design of the dwellings shall be in substantial conformance with the bulk, mass and type and quality of materials and elevations shown on the GDP. The primary building materials, exclusive of trim shall be limited to brick, stone, cementitious siding, shingles or other similar masonry materials. The Applicant reserves the right to add extensions, porches and other structural components appurtenant to the elevations as long as they are limited to the buildable area as depicted on the GDP. Modifications may be made with the final architectural designs provided such modifications are in substantial conformance with the elevations shown on the GDP.
12. Peripheral Lot Line Fencing. Any fencing proposed on the perimeter lot line between adjoining property and the subject Property shall be a wooden, four-rail horse paddock style fence painted or stained a dark color, except on the perimeter lot line directly abutting Tax Parcels 0072-01-0033A and 0072-16-0003 said fence shall be of similar style, color, material and treatment as presently installed at Tax Parcel 0072-01-0033A. In the event a lot owner installs a swimming pool, then the fence requirement shall be Ameristar Fence Products Montage series residential ornamental steel fence, in the Majestic Style, 3-rail panel and 6-foot height, or approved equal.
13. Construction Phase. Prior to the commencement of land disturbing activity, the Applicant shall develop a construction management plan. At a minimum the construction management plan shall include the following restrictions and requirements:
 - Hours. While construction is in progress, construction related vehicle traffic shall not commence prior to 7:00 am. Outdoor construction activity shall be limited to between the hours of 7:00 a.m. and 7:00 p.m., Monday through Friday and 9:00 a.m. and 5:00 p.m. on Saturdays. No outdoor construction activities shall be permitted on Sundays or on federal holidays. The site superintendent shall notify all employees and subcontractors of these hours of operation and shall ensure that the hours of operation are respected by all employees and subcontractors. Construction hours shall be posted on-site in both English and Spanish.

- Parking. The parking of construction vehicles and equipment, including personal vehicles utilized by construction workers, shall occur on the application property. There shall be no construction vehicle parking or staging on the existing paved portion of Lake Forest Drive immediately east of the existing cul-de-sac or on adjacent properties, except to allow for the relocation or installation dry utilities and for purposes of implementing traffic control within the identified work safety zone. The Applicant shall communicate these requirements to all construction vehicle drivers in both English and Spanish.
 - Pre-construction Walk/Coordination During Construction. The Applicant shall coordinate with the District Supervisor's office to organize a pre-construction site-walk to inform interested neighbors about pertinent construction phase information. During development of the subject site, the telephone number of the site superintendent that shall be present on-site during construction shall be provided to the Dranesville District Supervisor's Office. The Applicant shall provide updated construction schedules to the adjacent HOAs and the Dranesville Supervisors Office. This development condition applies to the original construction only and not to future additions and renovations by homeowners.
 - Dust Control/Noise. Construction activity will maintain dust control prevention measures and keep Forest Lake Drive free of sediment and debris, in conformance with the Code of Fairfax County. To the greatest extent possible, noise from construction activity will be minimized, in conformance with the Code of Fairfax County.
14. Public Access Easement. Prior to bond release, the Applicant shall cause to be recorded among the land records a public access easement running to the benefit of Fairfax County, in a form acceptable to the County Attorney, over any trails not within the public right-of-way. Such trails shall be maintained by the Applicant.
15. Equestrian Access. The Applicant shall work cooperatively with the Great Falls Trail Blazers to promote equestrian access and use on the Property.

II. TRANSPORTATION

16. Connection to Forest Lake Drive. Generally within the temporary turnaround easement associated with the existing temporary cul-de-sac at the end of Forest Lake Drive, the Applicant shall restore the area to grass and the matching of the existing ditch section. Per the Forest Lake deed of subdivision, the temporary turnaround easement will become null and void at such time as dedication and construction of the connection to the west occurs.

At the completion of installation of the stabilized construction entrance from Forest Lake Drive during the initial period of site development activity, the applicant shall cease use of the existing gravel driveway which currently provides ingress and egress to Springvale

Road. A temporary barricade shall be installed on the property line at this location along with appropriate signage prohibiting further use.

17. Interparcel Connection. At the time of subdivision plat approval, the applicant shall dedicate an interparcel connection between Lots 4 and 5 as shown on the GDP. The interparcel connection shall be constructed as shown on the GDP contemporaneously with the construction of Forest Lake Drive extended into the Property unless a waiver of construction is approved by VDOT. The Applicant shall pursue such waiver prior to or concurrent with the filing of the subdivision plan. If a waiver is approved, the Applicant, prior to subdivision plan approval, shall escrow funds equivalent to that required for construction of the stub street based on Fairfax County's Unit Price Schedule in effect at the time. If a waiver is not approved and the stub connection is constructed, the applicant shall install a Temporary Barrier at the stub-end of the interparcel connection to prevent unauthorized cut-through traffic. In addition, a sign will be conspicuously placed at this location stating that this area will be the site of a future extension of the road by others. Both the barricade and the sign will remain in place until the future road connection is made. Prior to entering into any contract of sale with any purchaser, the applicant shall notify all prospective purchasers in writing that this interparcel connection is anticipated. In addition, the HOA documents shall provide written notification that this interparcel connection is anticipated.
18. Access Easement. To the extent the Applicant is the beneficiary of certain rights under the Deed of Easement recorded at Deed Book 3121 at Page 702, as amended by Deed Book 4360, Page 462, the Applicant hereby agrees to not exercise those rights in connection with the future construction of a public or private street, by the Applicant or others, that would connect the approved development to Springvale Road. The obligations of this proffer shall not preclude the provision of pedestrian access, in the area of the Easement, as reflected on the GDP.

III. ENVIRONMENTAL

19. Stormwater Management Facilities and Best Management Practices. The Applicant shall provide stormwater management ("SWM") and Best Management Practices ("BMPs") as determined by DPWES in the locations as generally shown on the GDP and in accordance with the requirements of the Stormwater Management Ordinance, the Public Facilities Manual (PFM), and the Chesapeake Bay Preservation Ordinance (CBPO). ~~At the time of final subdivision plan approval, and notwithstanding any notes or tabulations to the contrary on the GDP, each of the four (4) bio retention facilities generally described on the GDP shall be engineered as a bio-retention filter and basin meeting the Level 2 Design Criteria as the same is defined in the Virginia Department of Environmental Quality Stormwater Design Specification No. 9, and this shall not result in any reduction in open space or tree preservation.~~ The requirements for maintaining non-County maintained SWM improvements shall be in a standard maintenance agreement between the County and the Applicant who is the land owner, its successor and assigns. This agreement shall be recorded in the County land records and run with the land. Should any deficiencies in the existing SWM or BMP facilities/improvements

be identified by the Stormwater Management Maintenance Division during regular inspections, or when investigating a drainage complaint, then maintenance shall be performed in reasonable fashion and time in accordance with the recorded maintenance agreement. The Applicant and its successors and assigns shall provide any maintenance inspection reports to the Walker Woods Lake HOA and to the District Supervisor's office. Should future County policy permit all or part of the SWM facilities on the Property to be eligible for County Maintenance, then the Applicant or the successor homeowner's association may request County maintenance for eligible facilities.

20. On-Lot Low Impact Development (LID) Facilities. The Applicant shall install LID facilities on those lots shown on the GDP bordering the Resource Protection Area/Environmental Quality Corridor. Such facilities can include but are not limited to rooftop disconnects, biodiffuser infiltration facilities, and rain gardens. These facilities shall be maintained by the HOA and their presence disclosed to homeowners per Proffer 7.
21. BMP/Septic System Maintenance. After establishing the HOA pursuant to these proffers, the Applicant shall provide the HOA with written materials describing proper maintenance of the approved BMPs in accordance with the PFM and County guidelines as well as maintenance procedures for the Alternative on-site sewage system which shall then be included in the disclosure information/HOA documents for each homeowner as outlined in Proffer 6.
22. Stormwater Run-off. The proposed runoff reduction practices shall be designed in accordance with the design criteria outlined in the Virginia Department of Environmental Quality BMP Clearinghouse and additional design requirements outlined in the Fairfax County Public Facilities Manual (PFM). The applicant shall follow the 'Detention Method' methodology for determination of allowable post-development peak rates of runoff for the 1-, 2- and 10-year storm events when addressing adequacy of the downstream receiving system.

The subdivision plan that shows the stormwater outfall/outfalls shall include the following information:

- 1) Five (5) field surveyed cross-sections of the receiving stream channel in locations determined by the project's submitting civil engineer, subject to DPWES approval, to be most susceptible to erosion problems due to soil type or geometric shape. One (1) of the field surveyed cross sections shall be located immediately upstream of the buffer. These sections shall be provided with permanent monuments on each end of the section, with monument coordinates (horizontal and vertical) provided on plans.
- 2) Sieve analysis to determine soil classification data of stream bank and bed materials from representative channel materials, including the material with the lowest allowable velocity in the receiving stream reach.

- 3) A calculation of the allowable average channel velocity at each cross-section using methods in accordance with Chapter 5 of the Virginia Erosion and Sediment Control Handbook, Third Edition, 1992.
23. Pre-construction Monitoring of Receiving Stream Channels Prior to approval of the subdivision plan that shows the stormwater outfall, the Applicant shall submit a stream monitoring report to DPWES for review and approval with a courtesy copy to NVSWCD, that contains the following data for each survey section utilized for the adequate outfall analysis:
- 1) Location of sections and outfall;
 - 2) Cross-section survey data, consisting of a graphical section drawing, coordinates of surveyed points, and the area of the channel below the plane formed by the section monuments;
 - 3) Photograph of each section; and
 - 4) Narrative statement describing the status of the stream channel.
24. Post-construction Monitoring of Receiving Stream Channels. The Applicant shall prepare a stream monitoring report in the same manner as the pre-construction monitoring report in Proffer 21 above. This report shall be submitted to DPWES and the Northern Virginia Soil and Water Conservation District (NVSWCD) annually after submission of each pre-construction report, until two (2) years after the development is completed in the drainage area of each outfall (hereinafter referred to as the "control period"), as evidenced by final bond release. Copies of the submitted report(s) shall be provided to the District Supervisor's office, the Walker Woods Lake Community Association and the two property owners immediately downstream of Outfall A. All survey data shall be compared graphically and numerically to the original pre-construction submission.
25. Criteria for Repair of Outfall Channels: If the stream cross-section (measured vertically from a plane formed by the survey monuments) has not changed by more than an average of 5% or the stream's thalweg (the deepest part of the channel) has not moved in amount greater than three (3) feet or 25% of the stream width (original top-of-bank to top-of-bank), whichever distance is greater, from the pre-construction survey during the monitoring period, then no repairs shall be required. If the repair criteria described above are exceeded, the Applicant accepts responsibility for corrective restoration and/or stabilization measures, as determined by DPWES. The Applicant shall correct the cause of the problem as well as repair any erosion damage.
26. Outfall Channel Design: To the maximum extent possible, as determined by DPWES, restoration and stabilization measure shall incorporate biostabilization or bio-engineering processes to include, but not limited to, stabilization, regarding, or revegetation with native species.
Further, the applicant shall install a "stilling basin" at the Forest Lake Drive culvert crossing as part of the construction of the new roadway.
27. Off-Site Work. Any off-site work required to satisfy Proffers 17 through 20 shall be contingent upon the Applicant obtaining written permission from the respective off-site

property owner(s) at no cost to the Applicant, prior to site plan approval. The Applicant shall use best efforts to obtain this permission and if such permission cannot be secured, the Applicant shall provide DPWES with documentation of the efforts to obtain the permission. If permission is not granted, then the applicant shall be relieved of any requirements related to off-site work as required by these proffers.

28. Existing Farm Pond. The Applicant shall maintain the pre-development drainage area to the maximum extent possible but in no case change the drainage area by more than 10% of the pre-development drainage area. The applicant shall not reduce the volume of runoff flowing to the existing farm pond. The applicant shall not increase the rate of runoff (cfs) to the existing farm pond.

29. Erosion and Sediment Control. The applicant shall provide, as part of the erosion and sediment control plan and the final subdivision plan, construction phasing and sequencing of land disturbing activities for purposes of limiting areas of bare and exposed soil. The erosion and sedimentation control plan shall provide for stabilization measures within each construction phase prior to the land disturbing activities into the next construction phase. The applicant shall provide additional erosion and sediment control measures which may include but not be limited to: clean-water diversions integrated with temporary slope drains as part of Phase 1 controls, heavy applications of straw mulch (minimum 2 tons/acre) on the individual lots subsequent back-fill of the foundation, and use of innovative practices and measures as part of both Phase 1 and 2 controls such as "Filtrexx Siltsoxx", "Silt-Saver Pipe Stopper" and "Silt Sack". Further, the applicant shall provide additional downstream erosion and sediment control measures on those offsite properties provided written permission is obtained and Proffer 25 is satisfied. The applicant shall provide third-party monitoring and compliance inspection services during the development and construction period activities to insure that all protective measures remain in-place and are fully functional. The applicant shall provide the Walker Woods Lake Community Association, the two property owners immediately downstream of Outfall A, and DPWES copies all of the monitoring and compliance inspection reports associated with land-disturbing activity. The applicant shall include the added measures as part of the Stormwater Pollution Prevention Plan (SWPPP) in compliance with the Virginia Stormwater Management Program (VSMP) General Permit for Discharges of Stormwater from Construction Activities (Permit).

30. Lighting. To further the Great Falls policy on Dark Skies, there shall be no streetlights on the public streets within the development and any other exterior lighting utilized on the property such as entry sign lighting, door sconces, lamp posts and landscape lighting on individual lots shall be full cut-off, emitting no light above the horizon. Exterior fixtures shall not exceed 1600 lumens (including all lamps) each. No light from exterior lighting fixtures shall produce light trespass or glare onto an adjoining property. These restrictions shall be contained within the HOA documents and the HOA shall be responsible for enforcing any violations of these requirements and ensuring remediation in a timely fashion.

31. Energy Conservation. In support of energy conservation and green building techniques; the Applicant shall select one of the following programs, within its sole discretion at the time of subdivision plan submission.
- A. Certification in accordance with the Earthcraft House Program as demonstrated through documentation provided to DPWES and the Environment and Development Review Branch of the Department of Planning of Zoning (EDRB) prior to the issuance of a RUP; or
 - B. Certification in accordance with the 2012 National Green Building Standard (NGBS) using the ENERGY STAR® Qualified Homes path for energy performance, as demonstrated through documentation submitted to DPWES and EDRB from a home energy rater certified through Home Innovation Research Labs that demonstrates that the dwelling unit has attained the certification prior to the issuance of the RUP for each dwelling.

As part of either program, the Applicant shall utilize/install water efficient/low water appliances such as toilets, shower heads, bathroom faucets and dishwashers.

32. Landscaping. Landscaping shall be generally consistent with the quality, quantity and the locations shown on the GDP and shall be non-invasive, predominantly native species. At the time of planting, actual types, sizes, locations and species of vegetation shall be determined pursuant to more detailed landscape plans submitted at the time of submission of the subdivision plans for review and approval by the Urban Forestry Management Division (UFMD), provided that, to the extent possible, all species are indigenous to the Mid-Atlantic region. Notwithstanding that shown on Sheet 7.0 of the GDP, the landscaping on the individual lots shall be in substantial conformance with the type of plantings shown on the typical lot plan on Sheet 9.8 in that there will be a mixture of deciduous shade trees, ornamental trees, evergreen trees, perennials and understory foundation plantings on each lot. The landscape plan submitted at time of subdivision plan review shall show tree preservation and restored forested areas, in substantial conformance with that shown on the GDP. The Landscaping and reforestation plan will be subject to the review and approval by the Urban Forestry Management Division (UFMD) of DPWES. Such landscape plans shall provide tree coverage and species diversity consistent with the PFM criteria. The Applicant reserves the right to make minor modifications to such landscaping to reasonably accommodate utilities and other design considerations, as approved by UFMD, provided such relocated landscaping shall retain a generally equivalent number of plantings as shown on the approved GDP.
33. Landscape Buffering. The Applicant shall provide supplemental landscaping treatment within the proposed tree save area for the benefit of Tax Parcels 0072-01-0033A and 0072-01-0003 to fill “gaps”; and, the Applicant shall include in the HOA documents a restriction that would prohibit future lot owners directly abutting Tax Parcels 0072-01-0033A and 0072-16-0003 from constructing sheds, out-buildings or accessory structures within the rear yards of the proposed lots directly abutting the said Tax Parcels. The Applicant shall consult with the current owners of Tax Parcels 0072-01-0033A and 0072-

16-0003, prior to land disturbing activities and development of the Property, with respect to the type of landscape materials to be planted and their respective locations within the buffer area.

34. Limits of Clearing and Grading. The Applicant shall conform to the limits of clearing and grading as shown on the GDP, subject to allowances for the installation of utilities and/or trails, as determined necessary by the Director of DPWES, as described herein and stream, outfall, or land stabilization measures as determined necessary by the Director of DPWES. If it is determined necessary to install utilities, trails or stream/land stabilization measures in areas protected by the limits of clearing and grading as shown on the GDP, they shall be located in the least disruptive manner necessary. A replanting plan shall be developed and implemented, subject to approval by the UFMD, DPWES, for any areas protected by the limits of clearing and grading that must be disturbed for such elements.
35. Tree Preservation. The applicant shall submit a Tree Preservation Plan and Narrative as part of the first and all subsequent subdivision plan submissions. The preservation plan and narrative shall be prepared by a Certified Arborist, a Registered Consulting Arborist or a Professional Landscape Architect, and shall be subject to the review and approval of the UFMD. The tree preservation plan shall include a tree inventory that identifies the location, species, critical root zone, size, crown spread and condition analysis percentage rating for individual trees, living or dead, with trunks 12 inches in diameter and greater (measured at 4 ½ -feet from the base of the trunk or as otherwise allowed in the latest edition of the Guide for Plant Appraisal published by the International Society of Arboriculture) and within 25 feet of the limits of clearing and grading in the undisturbed area. One exception to this 25 foot offset from the limits shall be along the northern property boundary. The trees along the northern property boundary shown on Sheet 4.1 of 9 of the GDP shall be included in the Tree Preservation Plan even though they are outside of the 25 foot clearing limit. The tree preservation plan shall provide for the preservation of those areas shown for tree preservation, those areas outside of the limits of disturbance shown on the GDP and those additional areas in which trees can be preserved as a result of final engineering. The tree preservation plan and narrative shall include all items specified in PFM 12-0507 and 12-0509. Specific tree preservation activities that will maximize the survivability of any tree identified to be preserved, such as: crown pruning, root pruning, mulching, fertilization, and others as necessary, determined by the certified arborist shall be included in the plan.
36. Tree Preservation Walk-Through. The Applicant shall retain the services of a certified arborist, a Registered Consulting Arborist or a Professional Landscape Architect, and shall have the limits of clearing and grading marked with a continuous line of flagging prior to the walk-through meeting. During the tree-preservation walk-through meeting, the Applicant's certified arborist or landscape architect or designated representative shall walk the limits of clearing and grading with an UFMD, DPWES representative to determine where adjustments to the clearing limits can be made to increase the area of tree preservation, increasing the survivability of trees at the edge of the limits of clearing and grading, and such adjustment shall be implemented. Trees that are identified as dead

or dying may be removed as part of the clearing operation. Any tree that is so designated shall be removed using a chain saw and such removal shall be accomplished in a manner that avoids damage to surrounding trees and associated understory vegetation. If a stump must be removed, this shall be done using a stump-grinding machine in a manner causing as little disturbance as possible to adjacent trees and associated understory vegetation and soil conditions.

37. Tree Preservation Fencing. All trees shown to be preserved on the tree preservation plan shall be protected by tree protection fencing. Tree protection fencing shall be in the form of four (4) foot high, fourteen (14) gauge welded wire attached to six (6) foot steel posts driven eighteen (18) inches into the ground and placed no further than ten (10) feet apart or, super silt fence to the extent that required trenching for super silt fence is done per the root pruning guidelines contained in these proffers. Fencing shall be erected at the limits of clearing and grading as shown on the demolition, and phase I & II erosion and sediment control sheets.

All tree protection fencing shall be installed after the tree preservation walk-through meeting but prior to any clearing and grading activities, including the demolition of any existing structures. The installation of all tree protection fencing shall be performed under the supervision of a certified arborist or professional landscape architect, and accomplished in a manner that does not harm existing vegetation that is to be preserved. Three (3) days prior to the commencement of any clearing, grading or demolition activities, but subsequent to the installation of the tree protection devices, the UFMD, DPWES, shall be notified and given the opportunity to inspect the site to ensure that all tree protection devices have been correctly installed. If it is determined that the fencing has not been installed correctly, no grading or construction activities shall occur until the fencing is installed correctly, as determined by the UFMD, DPWES.

38. Root Pruning. The Applicant shall root prune, as needed to comply with the tree preservation requirements of these proffers. Root pruning shall be clearly identified, labeled, and detailed on the erosion and sediment control sheets of the subdivision plan submission. Root pruning shall be accomplished in a manner that protects affected and adjacent vegetation to be preserved, and may include, but not be limited to the following:
- Root pruning shall be done with a trencher or vibratory plow to a minimum depth of 18 inches.
 - Root pruning shall take place prior to any clearing and grading, or demolition of structures and in conjunction with the installation of all super silt fence being used as tree protection fence.
 - Root pruning shall be conducted under the supervision of a certified arborist.
 - An UFMD, DPWES, representative shall be informed when all root pruning and tree protection fence installation is complete.
39. Tree Appraisal. The Applicant shall retain a certified arborist or professional landscape architect, to determine the replacement value of all trees 12 inches in diameter or greater located on the Application Property that are inventoried to be preserved 25 feet outside and 10 feet inside the proposed limits of clearing and grading, as shown on the Tree

Preservation Plan. This proffer shall not apply to any offsite trees. The on-site trees to be preserved and their value shall be identified on the Tree Preservation Plan at the time of the first submission of the respective subdivision plan(s). The replacement value shall take into consideration the age, size and condition of these trees and shall be determined by the so-called "Trunk Formula Method" contained in the latest edition of the Guide for Plan Appraisal published by the International Society of Arboriculture, subject to review and approval by UFMD.

At the time of the respective subdivision plan approvals, the Applicant shall post a cash bond or a letter of credit payable to the County of Fairfax to ensure preservation and/or replacement of the trees for which a tree value has been determined in accordance with the paragraph above (the "Bonded Trees") that die or are dying due to unauthorized construction activities. The letter of credit or cash deposit shall be equal to 50% of the replacement value of the Bonded Trees. At any time prior to final bond release for the improvements on the Application Property constructed adjacent to the respective tree save areas, should any Bonded Trees die, be removed, or are determined to be dying by the project arborist and/or UFMD due to unauthorized construction activities, the Applicant shall replace such trees at its expense. The replacement of the trees shall be determined by the Fairfax County Public Facilities Manual and by UFMD. Upon release of the bond for the improvements on the Application Property constructed adjacent to the respective tree save areas, any amount remaining in the tree bonds required by this proffer shall be returned/released to the Applicant.

40. Site Monitoring. During any clearing or tree/vegetation/structure removal on the Applicant Property, a representative of the Applicant shall be present to monitor the process and ensure that the activities are conducted as conditioned and as approved by the UFMD. The Applicant shall retain the services of a certified arborist, a Registered Consulting Arborist, or a Professional Landscape Architect to monitor all construction and demolition work and tree preservation efforts in order to ensure conformance with all tree preservation development conditions, and UFMD approvals. The monitoring schedule shall be described and detailed in the Landscape and Tree Preservation Plan, and shall be reviewed and approved by the UFMD, DPWES.
41. Resource Protection Area (RPA) and Environmental Quality Corridor (EQC) Restoration Plan. Specific areas within the RPA/EQC, as agreed upon by the County and Applicant, shall detail restoration measures in accordance with current County requirements and shall include mutually agreed upon bio-engineering techniques where deemed appropriate. This restoration plan shall be reviewed and approved by Urban Forestry Management Division (UFMD). The Applicant shall diligently pursue any Nationwide Permits (NMPs) that may be required by the U.S. Army Corps of Engineers and shall update the County on the progress of those permits throughout the subdivision plan process.
42. Walker Woods Lake. The Applicant shall perform three bathymetric surveys on Walker Woods Lake: pre-development, subsequent to base paving and stabilization of Forest Lake Drive extended into the Property, and post-development. Per the second

bathymetric survey, if construction activities on the Property are shown to be the proximate cause of sedimentation or other downstream water quality impacts, the Applicant shall perform the appropriate remediation work to correct the impact within 60 days. Per the post development bathymetric survey, if construction activities on the Property are shown to be the proximate cause of sedimentation or other downstream water quality impacts, the Applicant shall perform the appropriate remediation work to correct the impact prior to bond release. Since the surveys and any remediation work will be off-site, the ability to satisfy this proffer shall be contingent upon the Applicant obtaining written permission from the respective off-site property owner(s) at no cost to the Applicant. The Applicant shall use best efforts to obtain this permission and if such permission cannot be secured, the Applicant shall provide DPWES with documentation of the efforts to obtain the permission. If permission is not granted, then the applicant shall be relieved of any requirements related to off-site work as required by this proffer.

43. Conservation Easement. Prior to bond release, the forested area at the southeast corner of the property not otherwise a part of the EQC/RPA and unaffected by the Forest Lake roadway extension shall be encumbered by a Conservation Easement, which will be owned and maintained by the HOA, and contain general language as follows:

FURTHER WITNESSETH, that in consideration of the sum of Ten Dollars (\$10.00), cash in hand paid, and other valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the Owner, with the consent and approval of the Trustee and Beneficiary, does convey to the County, Conservation Easements for the purpose of conserving and preserving undisturbed the natural vegetation, topography, habitat and other natural features now existing on and across the Property of Owner, said Easements being more particularly bounded and described as "Conservation Easement" on the Plat attached hereto and incorporated herein. The easements are subject to the following terms and conditions:

1. No use shall be made of, nor shall any improvements be made within, the conservation easement area without prior written authorization from Fairfax County with the exception of the trail as shown on the north side of the entrance road which shall be field located in coordination with the County Urban Forester with the goal of preserving as many trees over eight inches in diameter as possible.
2. All existing vegetation in the conservation easement area shall be preserved and protected and no clearing or grading shall be permitted, nor shall the easement area be denuded, defaced or otherwise disturbed without the prior written approval of the appropriate County agency or department.
3. In the event of any violation of this conservation easement, the Owner shall be solely responsible for the restoration of the conservation easement area to its condition as of the execution of this Deed. Further, the County and its agents shall have the right, but not the obligation, to enter upon the property and restore the conservation easement area to the extent the County may deem necessary. The cost of such restoration by the County

shall be reimbursed to the County by the Owner, its successors and assigns, upon demand.

44. Septic System. An alternative on-site sewage system (AOSS), as approved by the Health Department, will be utilized on each lot.

IV. CONTRIBUTIONS

45. Housing Trust Fund. At the time of the first building permit issuance, the Applicant shall contribute a sum equal to one-half of one percent (0.5%) of the projected sales price for each dwelling unit on the Property to the Fairfax County Housing Trust Fund, as determined by the Department of Housing and Community Development in consultation with the Applicant to assist the County in its goal to provide affordable dwellings. The projected sales price shall be based upon the aggregate sales price of all of the units, as if those units were sold at the time of the issuance of the first building permit and is estimated through comparable sales of similar type units.
46. Recreation Contribution. At the time of subdivision approval, the Applicant shall contribute the sum of \$50,008 to the Fairfax County Park Authority for use at or in connection with off-site recreational facilities that are in the Dranesville District and intended to serve residents within an area generally located north of Route 7 and west of Towlston Road, and south of the Potomac River, as determined by the Fairfax County Park Authority in consultation with the Dranesville District Supervisor.
47. Public Schools. A contribution of \$11,749 per projected student for the total number of units constructed, based on methodology for calculating the number of students outlined by the Office of Facilities Planning Services, Fairfax County Public Schools, shall be made to the Board of Supervisors for transfer to Fairfax County Public Schools (FCPS) and designated for capital improvements at the public schools serving the development. The contribution shall be made at the time of, or prior to, issuance of each residential use permit. Following approval of this Application and prior to the Applicant's payment of the amount set forth in this Proffer, if Fairfax County should increase the ratio of students per unit or the amount of the contribution per student, the Applicant shall increase the amount of the contribution for that phase of development to reflect the then-current contribution. In addition, notification shall be given to FCPS when construction is anticipated to commence to assist FCPS by allowing for the timely projection of future students as a part of the Capital Improvement Program.
48. Escalation. All monetary contributions required by these proffers, with the exception of the proffer relating to the Housing Trust Fund and the proffer relating to the public school contribution, shall escalate on a yearly basis from the base year of 2015, and change effective each January 1 thereafter, based on the Consumer Price Index as published by the Bureau of Labor Statistics, the U.S. Department of Labor for the Washington-Baltimore, MD-VA-DC-WV Consolidated Metropolitan Statistical Area (the "CPI"), as permitted by Virginia State Code Section 15.2-2303.3.

Successors and Assigns

These proffers shall bind and inure to the benefit of the Applicant and his/her successors and assigns.

Counterparts

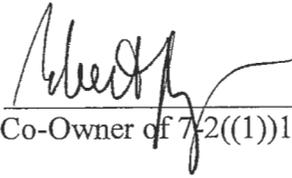
These proffers may be executed in one or more counterparts, each of which when so executed and delivered shall be deemed an original document and all of which taken together shall constitute but one and the same instrument.

TITLE OWNERS AND APPLICANTS SIGNATURES TO FOLLOW ON THE NEXT PAGE:

Susan M. Pesner
Co-Trustee of Haydown Farm Land Trust U/A dated March 30, 2014

Name: Susan M. Pesner, Co-Trustee
Co-Owner of 7-2((1))17 and 23
07/22/16

Robert J. Segan
Co-Trustee of Haydown Farm Land Trust U/A dated March 30, 2014

Name: 
Co-Owner of 7-2((1))17 and 23

Basheer/Edgemoore-Brooks, L.L.C.
A Virginia limited liability company
Contract Purchaser of 7-2((1))17 and 23

By: Basheer-Brooks, L.L.C.
A Virginia limited liability company
Its Sole Member/Manager

By: 
Diane Cox Basheer
Title: Manager/President

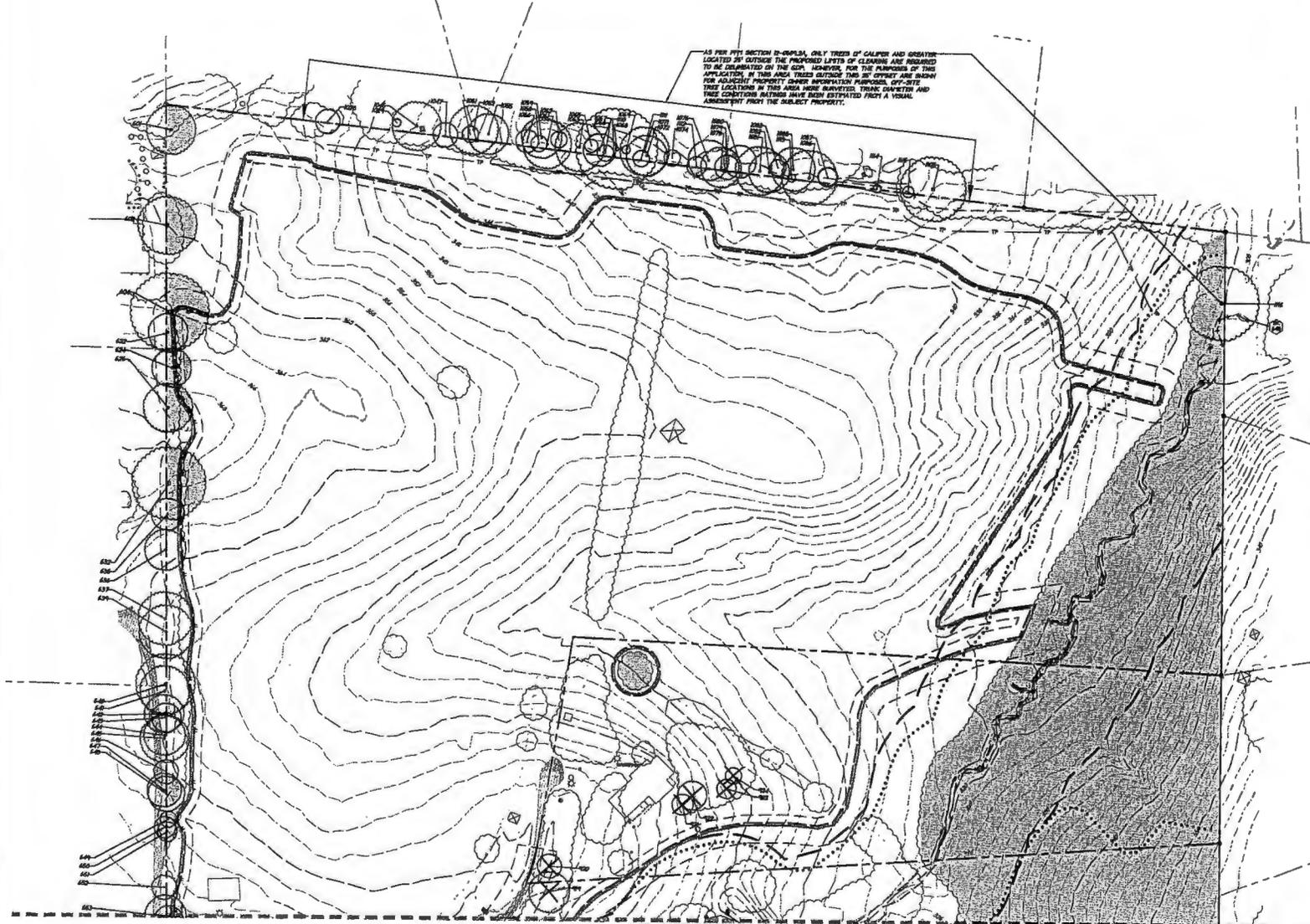
DATE	REVISION
08-12-08	REVISED PER COUNTY COMMENTS
09-01-08	REVISED PER COUNTY COMMENTS
09-02-08	REVISED PER COUNTY MEETING
09-03-08	REVISED PER COUNTY MEETING
09-04-08	REVISED PER COUNTY COMMENTS
09-05-08	REVISED PER COUNTY COMMENTS
09-06-08	REVISED PER COUNTY COMMENTS
09-07-08	REVISED PER COUNTY COMMENTS
09-08-08	REVISED PER COUNTY COMMENTS
09-09-08	REVISED PER COUNTY COMMENTS
09-10-08	REVISED PER COUNTY COMMENTS
09-11-08	REVISED PER COUNTY COMMENTS
09-12-08	REVISED PER COUNTY COMMENTS
10-01-08	REVISED PER COUNTY COMMENTS
10-02-08	REVISED PER COUNTY COMMENTS
10-03-08	REVISED PER COUNTY COMMENTS
10-04-08	REVISED PER COUNTY COMMENTS
10-05-08	REVISED PER COUNTY COMMENTS
10-06-08	REVISED PER COUNTY COMMENTS
10-07-08	REVISED PER COUNTY COMMENTS
10-08-08	REVISED PER COUNTY COMMENTS

AS PER PVI SECTION 9-0015A, ONLY TREES OF CALIPER AND GREATER LOCATED BY OUTSIDE THE PROPOSED LIMITS OF CLEARING ARE REQUIRED TO BE DEMARCATED ON THE GDS. HOWEVER, FOR THE PURPOSES OF THIS APPLICATION, IN THIS AREA TREES OUTSIDE THIS 20' OFFSET ARE SHOWN FOR ADJACENT PROPERTY OWNER INFORMATION PURPOSES. OFF-SITE TREE LOCATIONS IN THIS AREA WERE IDENTIFIED FROM AERIALS AND TREE CONDITION RATINGS HAVE BEEN ESTIMATED FROM A VISUAL ASSESSMENT FROM THE SUBJECT PROPERTY.

LEGEND

- RPA LINE
- SDC LINE
- OVERHEAD UTILITY LINE
- GUARD RAIL
- FENCE
- DITCH CENTERLINE
- CURB & GUTTER
- PROPERTY LINE
- ADJACENT LINE
- 5% AREA CONTOUR (10')
- 5% INT. CONTOUR (10')
- LIMITS OF CONSTRUCTION
- TREE LINE
- ⊗ EXISTING TREE TO BE PRESERVED
- ⊘ EXISTING TREE TO BE REMOVED
- TREE PROTECTION FENCE (TP)
- ROOT PRUNING (RP)
- EXISTING TREES OUTSIDE OF LIMITS TO BE PRESERVED (N/A, P, D, S)

- NOTES:**
1. THE TREE PRESERVATION SCHEDULE IS LOCATED ON SHEET 4.1
 2. OFF-SITE TREES LOCATED ALONG THE NORTHERN PROPERTY LINE, ARE NOTED ON THE PLAN.



FOR CONTINUATION SEE SHEET 4.2



VIRGINIA STATE AND FEDERAL MAPS

christopher consultants
 engineering · surveying · land planning
 3800 main street fourth floor · Fairfax, VA 22030
 phone 703.273.3800 · fax 703.273.7000



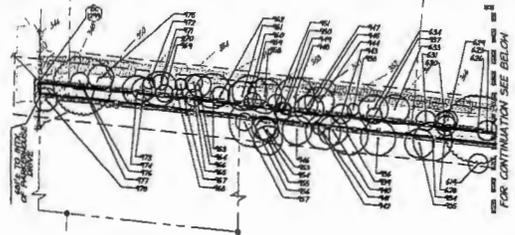
TREE PRESERVATION PLAN

**GENERAL DEVELOPMENT PLAN
 BROOKS PROPERTY
 FAIRFAX COUNTY, VIRGINIA**

PROJECT NO. 18173.004.01
 SCALE: AS NOTED
 DATE: 8/20/14
 DESIGN: JPL, LB
 DRAWN: DL
 CHECKED:
 SHEET NO.:

4.1 of 9

SPRINGVALE ROAD
 WOODS HOLLOW
 ROADWAY IMPROVEMENT
 (ASPHALT ROAD)



DATE	REVISION
2002-02-02	REVISED PER COUNTY COMMENTS
2002-02-03	REVISED PER COUNTY COMMENTS
2002-02-07	REVISED PER COUNTY COMMENTS
2002-02-08	REVISED PER COUNTY COMMENTS
2002-02-09	REVISED PER COUNTY COMMENTS
2002-02-10	REVISED PER COUNTY COMMENTS
2002-02-11	REVISED PER COUNTY COMMENTS
2002-02-12	REVISED PER COUNTY COMMENTS
2002-02-13	REVISED PER COUNTY COMMENTS
2002-02-14	REVISED PER COUNTY COMMENTS
2002-02-15	REVISED PER COUNTY COMMENTS
2002-02-16	REVISED PER COUNTY COMMENTS
2002-02-17	REVISED PER COUNTY COMMENTS
2002-02-18	REVISED PER COUNTY COMMENTS
2002-02-19	REVISED PER COUNTY COMMENTS
2002-02-20	REVISED PER COUNTY COMMENTS
2002-02-21	REVISED PER COUNTY COMMENTS
2002-02-22	REVISED PER COUNTY COMMENTS
2002-02-23	REVISED PER COUNTY COMMENTS
2002-02-24	REVISED PER COUNTY COMMENTS
2002-02-25	REVISED PER COUNTY COMMENTS
2002-02-26	REVISED PER COUNTY COMMENTS
2002-02-27	REVISED PER COUNTY COMMENTS
2002-02-28	REVISED PER COUNTY COMMENTS
2002-02-29	REVISED PER COUNTY COMMENTS
2002-02-30	REVISED PER COUNTY COMMENTS

LEGEND

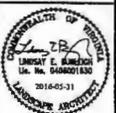
- R/W LINE
- OVERHEAD UTILITY LINE
- GUARD RAIL
- FENCE
- DITCH CENTERLINE
- CURB & GUTTER
- PROPERTY LINE
- GOLFERS LINE
- 50' BUFFER CENTER (1")
- 25' B.T. CENTER (2")
- LIMITS OF CONSTRUCTION
- TREE LINE
- X ○ EXISTING TREE TO BE PRESERVED
- EXISTING TREE TO BE REMOVED
- TREE PROTECTION FENCE (TPF)
- ROOT PRUNING (RP)
- EXISTING TREES OUTSIDE OF LIMITS TO BE PRESERVED (1/46,000 SF)

NOTES:
 1. THE TREE PRESERVATION SCHEDULE IS LOCATED ON SHEET A1



FLORIDA STATE SURVEY
 (AS SHOWN)

christopher consultants
 engineering • surveying • land planning
 2000 Wake Forest Road, Suite 100, Wake, VA 22080
 phone 703.273.8800 fax 703.273.7038

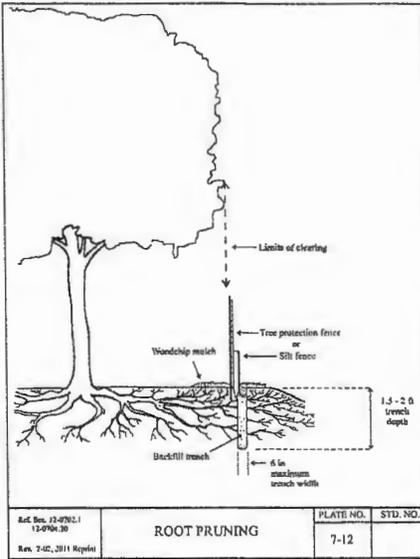


TREE PRESERVATION PLAN

GENERAL DEVELOPMENT PLAN
BROOKS PROPERTY
 FAIRFAX COUNTY, VIRGINIA

PROJECT NO. 0478.0010
 SCALE: AS NOTED
 DATE: 8/26/14
 DESIGN: J.F., L.B.
 DRAWING: D.L.
 CHECKED:
 SHEET NO.

4.2 of 9
 102267



**TREE PRESERVATION NARRATIVE
(AS PER PFM SEC. 12-0509.3B-K)**

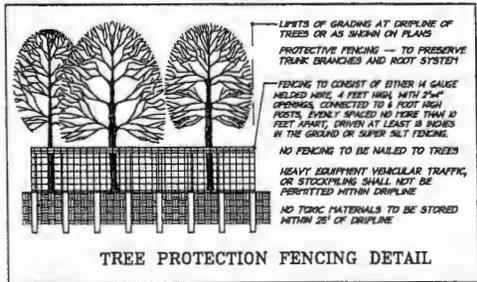
- 3A. THE FOLLOWING TREE PRESERVATION NARRATIVE IS PROVIDED TO ACCOMPANY THE TREE PRESERVATION PLAN AS SHOWN ON SHEETS 4.1 AND 4.2.
- 3B. AS PER A SITE VISIT AUGUST 2014, THERE ARE SOME FALLEN TREES OBSERVED WITHIN THE TREE PRESERVATION AREA ALONG THE EASTERN PROPERTY LINE. WITHIN THE TREE PRESERVATION AREAS, NO WORK OR ACTIVITY IS PROPOSED TO TAKE PLACE.
- 3C. THERE IS NO EVIDENCE OF ANY HAZARDOUS MATERIALS WITHIN THE FORESTED AREAS ADJACENT TO THE DEVELOPMENT SITE.
- 3D. IN SOME EXISTING AREAS OF OPEN FIELD ON THE PROPERTY, THERE IS MICROSTEGIUM VINNIBET (JAPANESE STILTGRASS) THAT IS WELL ESTABLISHED. THERE IS BAMBOO, MULTIFLORA ROSE & AUTUMN OLIVE NEAR THE EXISTING POND. INVASIVE SPECIES MANAGEMENT TREATMENT WILL BE ADDRESSED ON SUBSEQUENT SUBDIVISION PLAN SUBMISSIONS.
- 3E. THERE ARE NO 'HERITAGE', 'SPECIMEN', 'MEMORIAL' OR 'STREET' TREES WITHIN OR ADJACENT TO THE DEVELOPMENT SITE THAT WILL BE ADVERSELY AFFECTED BY THE PROPOSED IMPROVEMENTS.
- 3F. THERE ARE NO 'HERITAGE', 'SPECIMEN', 'MEMORIAL' OR 'STREET' TREES WITHIN OR ADJACENT TO THE DEVELOPMENT SITE (INCLUDING OFF-SITE ON AN ADJACENT PROPERTY) THAT WILL BE ADVERSELY AFFECTED BY THE PROPOSED IMPROVEMENTS.
- 3G. TREE PRESERVATION PROFFERS ARE BEING SUBMITTED WITH THIS APPLICATION.
- 3H. THERE ARE NO TRANSPLANTING EFFORTS REQUIRED OR PROPOSED FOR THIS PROJECT.
- 3I. THE TREE PRESERVATION SCHEDULE ON SHEET 5.1 DESCRIBES WHICH PROCEDURES ARE REQUIRED FOR TREES TO BE PRESERVED OR REMOVED. ROOT PRUNING AND TREE PROTECTION FENCE INSTALLATION SHALL BE COMPLETED DURING EIS PHASE I INSTALLATION AND WILL BE REFLECTED ON THE FINAL SUBDIVISION PLAN. DETAILS AND MAINTENANCE OF SIS CONTROLS/TREE PROTECTION FENCING WILL BE DESCRIBED ON THE SIS SHEETS OF THE APPROVED SUBDIVISION PLAN.
- 3J. WITHIN THE TREE PRESERVATION AREAS, NO WORK OR ACTIVITY IS PROPOSED TO TAKE PLACE. TREE PROTECTION FENCING AND ROOT PRUNING SHALL BE INSTALLED AS PER THE TREE PRESERVATION PLAN AND TREE PRESERVATION NOTES & DETAIL PLAN PROTECT VEGETATION TO BE PRESERVED.
- 3K. THE TREE PRESERVATION SCHEDULE CONTAINS TREE ANALYSES SUCH AS TREE IDENTIFICATION AND TREE CONDITION RATINGS AS SHOWN ON SHEET 5.1. TREE PRESERVATION PROFFERS ADDRESSING TREE APPRAISALS FOR TREES TO BE PRESERVED ARE BEING SUBMITTED WITH THIS APPLICATION.

GENERAL NOTES:

1. IN LIEU OF MORE STRENUOUS SPECIFICATIONS, ALL LANDSCAPE RELATED WORK SHALL BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH THE CURRENT AND MOST UP-TO-DATE EDITION (AT TIME OF CONSTRUCTION) OF 'LANDSCAPE SPECIFICATION GUIDELINES' AS PRODUCED BY THE LANDSCAPE CONTRACTORS ASSOCIATION OF MARYLAND, DISTRICT OF COLUMBIA AND VIRGINIA, GAITHERSBURG, MARYLAND.
2. CONTRACTOR IS RESPONSIBLE FOR CONTACTING MISS UTILITY PRIOR TO BEGINNING ANY WORK.
3. ALL WORK PERFORMED SHALL MEET OR EXCEED THE MOST RECENT INDUSTRY STANDARDS, AS PUBLISHED BY THE INTERNATIONAL SOCIETY OF ARBORICULTURE (ISA), AMERICAN NATIONAL ARBORIST ASSOCIATION (ANA), IN THE EVENT CULTURAL TREATMENTS PRESCRIBED ARE NOT COVERED BY AN EXISTING STANDARD, ALL WORK PERFORMED SHALL MEET OR EXCEED STANDARDS APPROVED BY THE URBAN FORESTRY MANAGEMENT DIVISION.
4. ALL CONSTRUCTION ACTIVITY BEYOND THE LIMITS OF CLEARING AND GRADING SHOWN ON THE SITE PLAN AND THE TREE PRESERVATION PLAN SHALL BE PROHIBITED UNLESS PREVIOUSLY APPROVED BY THE URBAN FORESTRY BRANCH.
5. THE REQUIREMENTS OF THE FAIRFAX COUNTY PUBLIC FACILITIES MANUAL, ARTICLE 12, VEGETATION PRESERVATION AND PLANTING, SHALL BE FOLLOWED.

TREE PRESERVATION NOTES

1. CLEARING LIMITS SHALL BE CLEARLY MARKED IN THE FIELD WITH FLAGGING PRIOR TO BEGINNING OF ANY CLEARING AND GRADING OPERATIONS AND COORDINATED WITH THE URBAN FORESTRY DIVISION.
2. ALL FENCING AND ROOT PRUNING SHALL BE COMPLETED PRIOR TO ANY CLEARING AND GRADING OPERATIONS.
3. TREE PROTECTION FENCING MATERIAL SHALL BE EITHER FOUR (4) FOOT TALL FOURTEEN (14) GAUGE WELDED WIRE ATTACHED TO SIX (6) FOOT TALL TWO-INCH (2") STEEL TUBING CHANNEL ANCHOR POSTS DRIVEN EIGHTEEN (18) INCHES INTO THE GROUND PLACED NO FURTHER THAN TEN (10) FEET APART OR SUPER SILT FENCE TO THE EXTENT THAT REQUIRED TRENCING FOR SUPER SILT FENCE DOES NOT SAVER OR WEARD COMPRESSION ROOTS OF TREES TO BE PRESERVED AS THIS CAN LEAD TO STRUCTURAL FAILURE AND/OR UPROOTING OF TREES. FENCING SHALL BE INSTALLED AT THE LIMITS OF CLEARING AND GRADING AS ADJUSTED PRIOR TO ANY CLEARING AND GRADING OPERATIONS.
4. ROOT PRUNING SHALL BE COMPLETED AT THE LIMITS OF DISTURBANCE AS SHOWN ON TREE PRESERVATION PLAN PRIOR TO CONSTRUCTION. ROOT PRUNING SHALL BE TO THE DEPTH OF EIGHTEEN (18) TO TWENTY-FOUR (24) INCHES AND SHALL BE ACCOMPLISHED BY USING A TRENCHER, VIBRATING PLUM OR BY HAND. TRENCH SHOULD BE IMMEDIATELY BACKFILLED WITH REPOSED SOIL.
5. BILINGUAL SIGNS SHALL BE INSTALLED EVERY THIRTY (30) FEET ON TREE PROTECTION FENCING WHICH INDICATES TREE PRESERVATION AREA - KEEP OUT.
6. WHEN EXCAVATING ALL TREE ROOTS GREATER THAN 1 INCH IN DIAMETER THAT ARE EXPOSED AND/OR DAMAGED SHALL BE TRIMMED CLEANLY, AND COVERED WITH ORGANIC MULCH, TOPSOIL, OR OTHER SUITABLE MATERIAL TO PREVENT THE EXPOSED ROOTS FROM DRYING OUT.
7. DURING CLEARING AND GRADING OPERATIONS AND THROUGHOUT CONSTRUCTION, NO ACTIVITY SHALL BE PERMITTED IN TREE SAVE AREAS WITHOUT AUTHORIZATION FROM OWNER, ARBORIST/FORESTER, AND URBAN FORESTRY DIVISION. EXCLUDED ACTIVITIES INCLUDE:
 - FELLING OF TREES INTO PRESERVATION AREAS OR OPERATION OF HEAVY MACHINERY IN SAVE AREAS TO FELL TREES ON THE PERIMETER OF PRESERVATION AREAS.
 - OPERATION OF HEAVY EQUIPMENT OR MACHINERY OF ANY KIND IN PRESERVATION AREAS FOR ANY PURPOSE INCLUDING REMOVAL OF TREES ADJACENT TO SAVE AREAS.
 - PLACEMENT OF EXCESS SOIL, FILL, OR MATERIALS OF ANY KIND IN PRESERVATION AREAS.
 - PLACEMENT OF ANY CONSTRUCTION MATERIALS OF ANY KIND IN PRESERVATION AREAS.
 - PARKING OR STORING EQUIPMENT OR VEHICLES IN PRESERVATION AREAS.
 - DUMPING CHEMICALS OR CONCRETE WASHOUT IN PRESERVATION AREAS.
 - BURNING OF ANY MATERIAL OR DEBRIS IN PRESERVATION AREAS OR WITHIN 200 FEET OF PRESERVATION AREAS.
 - TRENCING, GRADING, EXCAVATING FOR ANY PURPOSE IN PRESERVATION AREAS.
 - INSTALLATION OF LANDSCAPING, IRRIGATION, TURF, DRAINAGE SYSTEMS, ETC.
8. ALL EXISTING TRASH AND/OR DEBRIS ON SITE SHALL BE REMOVED AT THE TIME OF DISTURBANCE. INDIVIDUAL TREES AND FORESTED AREAS DESIGNATED TO BE PRESERVED SHALL BE PROTECTED AND MANAGED THAT ENSURES TREE SURVIVAL DURING ALL PHASES OF EXPOSITION, CLEARING AND GRADING, AND CONSTRUCTION. IN ADDITION TO PROTECTING TREES, ALL UNDERSTORY PLANTS, LEAF LITTER AND SOIL CONDITIONS FOUND IN FORESTED AREAS DESIGNATED TO BE LEFT PRESERVED SHALL BE PROTECTED.
9. TREES TO REMAIN LOCATED ALONG THE LIMITS OF CLEARING SHALL BE PRUNED DURING CLEARING OPERATIONS TO AVOID MECHANICAL DAMAGE. THIS SHOULD BE ADMINISTERED UNDER THE SUPERVISION OF THE PROJECT ARBORIST. ANY DAMAGE INFLICTED TO THE ABOVE OR BELOW-GROUND PORTIONS OF THE TREES SHOWN TO BE PRESERVED SHALL BE REPAIRED IMMEDIATELY.
10. ALL PRUNING SHALL CONFORM TO ANSI A300-2001 PRUNING STANDARDS. DISEASED LIMBS SHALL BE REMOVED OR TREATED AT THE DISCRETION OF THE ARBORIST. WHILE PRUNING, THE ARBORIST SHALL MAKE NOTE OF ANY CONDITIONS WHICH AFFECT THE HEALTH OR CONDITION OF THE TREE AND RECOMMEND CORRECTIVE TREATMENT FOR THESE CONDITIONS. WINE REMOVAL SHALL BE INCLUDED IN ALL PRUNING ACTIVITIES. UNDER NO CIRCUMSTANCES SHALL THE INTERIOR OF TREES BE STRIPPED OF FOLIAGE, SUCKERS, EPICORMIC BRANCHING, OR OTHER LIVE GROWTH. INTERIOR GROWTH MAY BE THINNED AS NECESSARY TO REMOVE BRANCHES DAMAGED DURING OPERATIONS. DEBRIS FROM PRUNING SHALL BE CHIPPED AND DEPOSITED INTO THE TREE SAVE AREA AND SPREAD BY HAND TO A UNIFORM THICKNESS OR BE REMOVED FROM SITE.
11. TREES BEING REMOVED SHALL NOT BE FELLED, PUSHED OR PULLED INTO TREE PRESERVATION AREAS. EQUIPMENT OPERATORS SHALL NOT CLEAN ANY PART OF THEIR EQUIPMENT BY SLAMMING AGAINST THE TRUNKS OF TREES TO BE RETAINED.
12. TREES ON THE EDGE OF THE LIMITS OF CLEARING SHALL BE CUT DOWN BY HAND WITH A CHAIN SAW. REMAINING BRUSH STUMPS SHALL EITHER BE LEFT IN PLACE OR GROUND DOWN WITH A STUMP GRINDER.
13. PROJECT ARBORIST SHALL MONITOR THE CONSTRUCTION AND TREE PRESERVATION ACTIVITIES TO ENSURE PLAN IMPLEMENTATION.
14. ALL ACTIVITIES IN TREE PRESERVATION ACTIVITY SCHEDULE SHALL BE PERFORMED UNDER THE DIRECT SUPERVISION OF CERTIFIED ARBORIST.



TREE PROTECTION FENCING SIGNAGE

BILINGUAL SIGNS SHALL BE POSTED AND MAINTAINED AT THE LIMITS OF CLEARING AT A MINIMUM OF 50-FOOT INTERVALS.

SIGNS SHALL BE POSTED THROUGHOUT ALL PHASES OF CONSTRUCTION

SIGNS SHALL BE ATTACHED TO THE TREE PROTECTION FENCING AND SHALL NOT BE NAILED OR IN ANY MANNER ATTACHED TO THE TREES OF VEGETATION TO BE PRESERVED.

TREE PROTECTION AREA - DO NOT ENTER

OFF LIMITS TO CONSTRUCTION EQUIPMENT, MATERIALS AND WORKERS

ÁREA DE PROTECCIÓN DE ÁRBOLES-NO ENTRAR

PROHIBIDO EL INGRESO DE EQUIPO, MATERIALES Y EMPLEADOS DE CONSTRUCCIÓN

christopher consultants
engineering - surveying - land planning
1000 main street (north side) - Fairfax, VA 22030
phone 703.270.0800 - fax 703.270.0700

TREE PRESERVATION NOTES & DETAILS

GENERAL DEVELOPMENT PLAN
BROOKS PROPERTY
FAIRFAX COUNTY, VIRGINIA

PROJECT NO. 1817.001.01
SCALE: AS NOTED
DATE: 8/28/14
DESIGN: LB
DRAWN: DL
CHECKED:
SHEET NO. 5.2 of 9

**ZONING TABULATION REQUIREMENTS
R-E CLUSTER**

LOT SITE REQUIREMENTS:
 MINIMUM LOT AREA: 50,000 SF
 MINIMUM LOT WIDTH: INTERIOR LOT - NO REQUIREMENT
 CORNER LOT - 70 FEET

PUBLIC REGULATION REQUIREMENTS:
 MAX BUILDING HEIGHT: SINGLE FAMILY DWELLINGS - 35'
 MINIMUM YARDS: FRONT 30'
 SIDE 10', BUT A TOTAL MINIMUM OF 45'
 BACK 25'

DENSITY:
 MAXIMUM 0.5 DU/AC FOR SUBDIVISIONS AS A RESULT OF A
 PROPOSED REZONING FROM A DISTRICT THAT ALLOWS A
 PERMITTED MAX DENSITY OF LESS THAN ONE (1)
 DWELLING UNIT PER TWO (2) ACRES

OPEN SPACE: 30%
TREE COVER: 30%
 BASED ON TWO (2) SPACES PER UNIT FOR LOTS WITH
 FRONTAGE ON A PUBLIC STREET (200-40)

**PROPOSED
DEVELOPMENT TABULATIONS**

PROPERTY AREA (GROSS):	2,264,016 SF (51.97 AC)
MINIMUM BUILDING HEIGHT:	35 FEET
MINIMUM FRONT SETBACKS:	FRONT - 30' SIDE - 10', BUT A TOTAL MINIMUM OF 45' BACK - 25'
DENSITY:	0.5 DU/AC (14,570 UNITS PROPOSED)
OPEN SPACE:	2 96,197 SF 1 42%
TREE COVER:	12 678,856 SF 2 30%
PARKING:	3 SPACES PER UNIT (200-30)

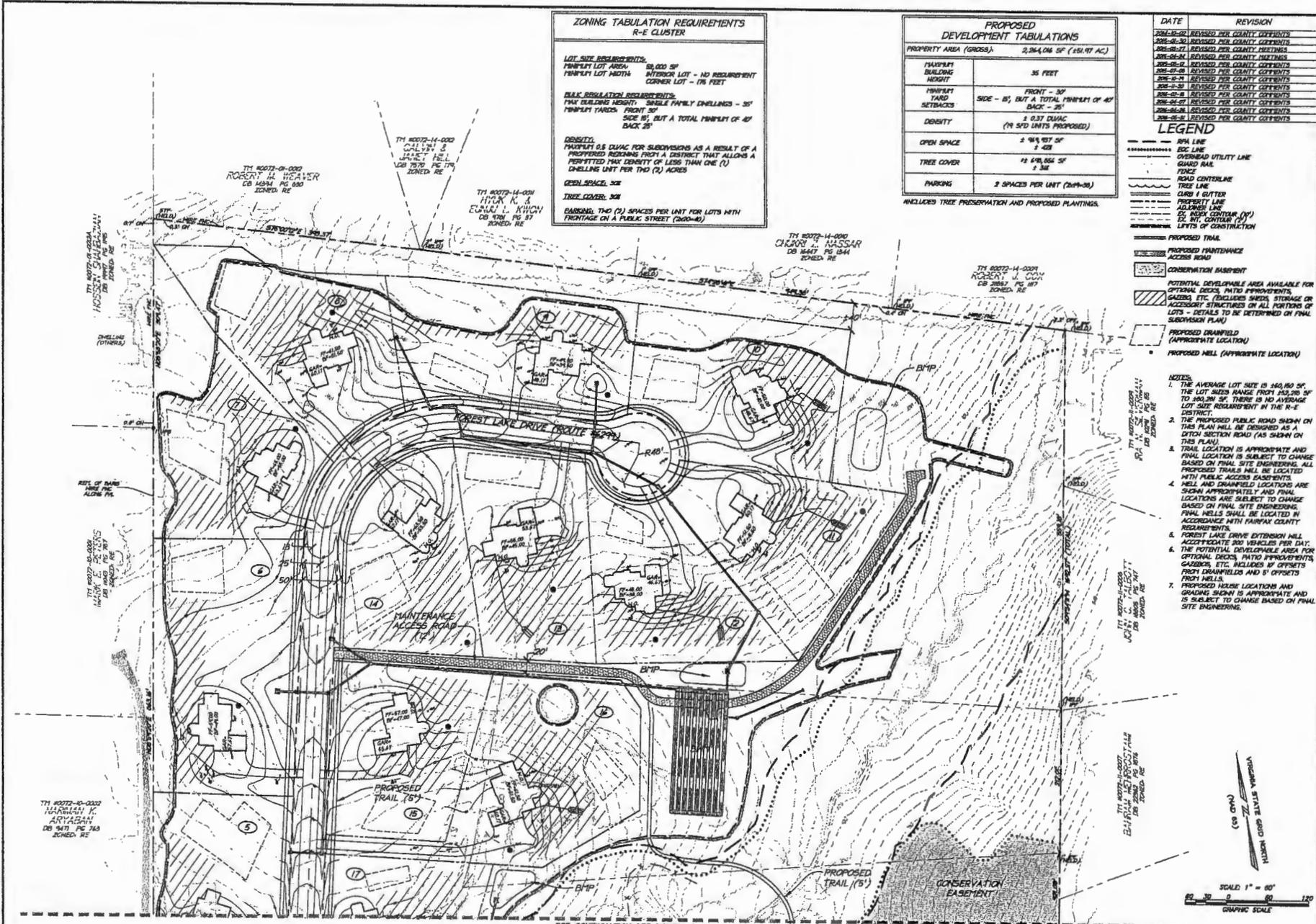
INCLUDES TREE PRESERVATION AND PROPOSED PLANTINGS.

DATE REVISION

2016-02-02	REVISED PER COUNTY COMMENTS
2016-02-20	REVISED PER COUNTY COMMENTS
2016-02-21	REVISED PER COUNTY COMMENTS
2016-02-24	REVISED PER COUNTY COMMENTS
2016-02-25	REVISED PER COUNTY COMMENTS
2016-02-26	REVISED PER COUNTY COMMENTS
2016-02-28	REVISED PER COUNTY COMMENTS
2016-03-01	REVISED PER COUNTY COMMENTS
2016-03-02	REVISED PER COUNTY COMMENTS
2016-03-03	REVISED PER COUNTY COMMENTS
2016-03-04	REVISED PER COUNTY COMMENTS
2016-03-05	REVISED PER COUNTY COMMENTS
2016-03-06	REVISED PER COUNTY COMMENTS
2016-03-07	REVISED PER COUNTY COMMENTS
2016-03-08	REVISED PER COUNTY COMMENTS
2016-03-09	REVISED PER COUNTY COMMENTS
2016-03-10	REVISED PER COUNTY COMMENTS

- LEGEND**
- SPA LINE
 - EDC LINE
 - OVERHEAD UTILITY LINE
 - GUARD RAIL
 - FENCE
 - ROAD CENTERLINE
 - TREE LINE
 - CURB / GUTTER
 - PROPERTY LINE
 - ADDRESS LINE
 - 10' BUFFER CONTOUR (10')
 - 20' BUFFER CONTOUR (20')
 - LIMITS OF CONSTRUCTION
 - PROPOSED TRAIL
 - PROPOSED MAINTENANCE ACCESS ROAD
 - CONSERVATION EASEMENT
 - POTENTIAL DEVELOPABLE AREA AVAILABLE FOR OPTIONAL DECKS, PATIO IMPROVEMENTS, GAZEBOS, ETC. (EXCLUDES SHEDS, STORAGE OR ACCESSORY STRUCTURES ON ALL PORTIONS OF LOTS - DETAILS TO BE DETERMINED ON FINAL SUBDIVISION PLAN)
 - PROPOSED DRAINFIELD (APPROXIMATE LOCATION)
 - PROPOSED WELL (APPROXIMATE LOCATION)

- NOTES:**
- THE AVERAGE LOT SIZE IS 140,80 SF. THE LOT SIZE RANGE FROM 103,200 SF TO 140,200 SF. THERE IS NO AVERAGE LOT SIZE REQUIREMENT IN THE R-E DISTRICT.
 - THE PROPOSED PUBLIC ROAD SHOWN ON THIS PLAN WILL BE ENGINEERED AS A DITCH SECTION ROAD (AS SHOWN ON THIS PLAN).
 - TRAIL LOCATION IS APPROPRIATE AND FINAL LOCATION IS SUBJECT TO CHANGE BASED ON FINAL SITE ENGINEERING. ALL PROPOSED TRAILS WILL BE LOCATED WITH PUBLIC ACCESS EASEMENTS.
 - WELL AND DRAINFIELD LOCATIONS ARE SHOWN APPROXIMATELY AND FINAL LOCATIONS ARE SUBJECT TO CHANGE BASED ON FINAL SITE ENGINEERING. FINAL WELLS SHALL BE LOCATED IN ACCORDANCE WITH FAIRFAX COUNTY REQUIREMENTS.
 - FOREST LAKE DRIVE EXTENSION WILL ACCOMMODATE 200 VEHICLES PER DAY.
 - THE POTENTIAL DEVELOPABLE AREA FOR OPTIONAL DECKS, PATIO IMPROVEMENTS, GAZEBOS, ETC. INCLUDES 10' OFFSETS FROM DRAINFIELDS AND 5' OFFSETS FROM WELLS.
 - PROPOSED WELLS LOCATIONS AND GRADING SHOWN IS APPROPRIATE AND IS SUBJECT TO CHANGE BASED ON FINAL SITE ENGINEERING.



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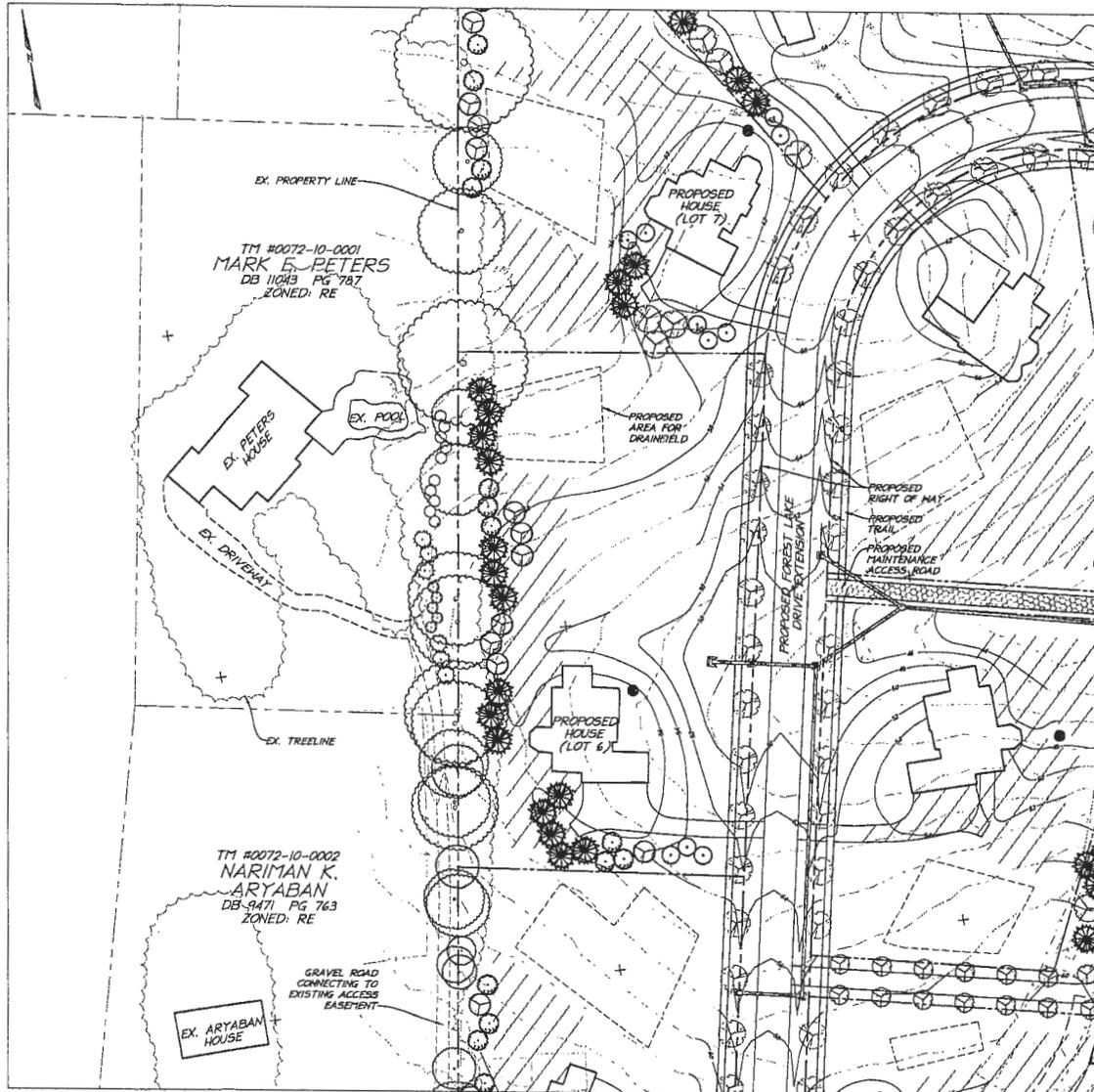
GENERAL DEVELOPMENT PLAN

BROOKS PROPERTY
 FAIRFAX COUNTY, VIRGINIA

PROJECT NO. 1917.021.A
 SCALE: AS NOTED
 DATE: 8/20/14
 DESIGN: TT
 DRAWING: DL
 CHECKED: [Signature]
 SHEET NO.

6.1 of 9
 102267

FOR CONTINUATION SEE SHEET 6.2



DATE	REVISION
2014-02-02	REVISED PER COUNTY COMMENTS
2014-02-20	REVISED PER COUNTY COMMENTS
2014-03-07	REVISED PER COUNTY COMMENTS
2014-03-14	REVISED PER COUNTY COMMENTS
2014-03-21	REVISED PER COUNTY COMMENTS
2014-03-28	REVISED PER COUNTY COMMENTS
2014-04-04	REVISED PER COUNTY COMMENTS
2014-04-11	REVISED PER COUNTY COMMENTS
2014-04-18	REVISED PER COUNTY COMMENTS
2014-04-25	REVISED PER COUNTY COMMENTS
2014-05-02	REVISED PER COUNTY COMMENTS
2014-05-09	REVISED PER COUNTY COMMENTS
2014-05-16	REVISED PER COUNTY COMMENTS
2014-05-23	REVISED PER COUNTY COMMENTS

PROPOSED PLANT LIST
 THIS LIST IS SUBJECT TO CHANGE BASED ON SPECIES AVAILABILITY AT THE TIME OF FINAL SITE PLAN AND MAY INCLUDE BUT SHOULD NOT BE LIMITED TO THE FOLLOWING SPECIES:

- ACER RUBRUM (RED MAPLE)
- CERCIS CANADENSIS (EASTERN REDBUD)
- ILEX x NELLIE STEVENS (NELLIE STEVENS HOLLY)
- ILEX OPACA (AMERICAN HOLLY)
- JUNIPERUS VIRGINIANA (EASTERN RED CEDAR)
- MAGNOLIA VIRGINIANA (SWEETBAY MAGNOLIA)
- QUERCUS PALUSTRIS (PIN OAK)
- VIBURNUM DENTATUM (ARROWWOOD VIBURNUM)

- NOTE:**
- THE PURPOSE OF THIS EXHIBIT IS TO HIGHLIGHT EXISTING AND PROPOSED LANDSCAPE SCREENING ALONG THE PETERS PROPERTY AND THE BROOKS PROPERTY BOUNDARY.
 - PROPOSED VEGETATION IS SHOWN AS A MIXTURE OF DECIDUOUS AND EVERGREEN SPECIES IN GENERAL LOCATIONS THAT IS SUBJECT TO CHANGE BASED ON FINAL SITE ENGINEERING. A MIXTURE OF CALIPER SIZES WILL BE UTILIZED UPON FINAL SPECIES SELECTION AND AVAILABLE NURSERY STOCK.
 - BASE INFORMATION FOR BROOKS PROPERTY SHOWN ON THIS EXHIBIT IS BASED ON A BOUNDARY SURVEY PREPARED AND CERTIFIED BY christopher consultants ltd. DATED MARCH 13, 2014.
 - OFF-SITE BASE INFORMATION IS APPROXIMATE AND BASED ON AVAILABLE IMAGERY FROM GOOGLE MAPS DATED SEPTEMBER 10, 2015.
 - THIS IS A CONCEPT SKETCH AND IS SUBJECT TO CHANGE BASED ON COOPERATION WITH ADJOINING PROPERTY OWNERS DURING DESIGN DEVELOPMENT.



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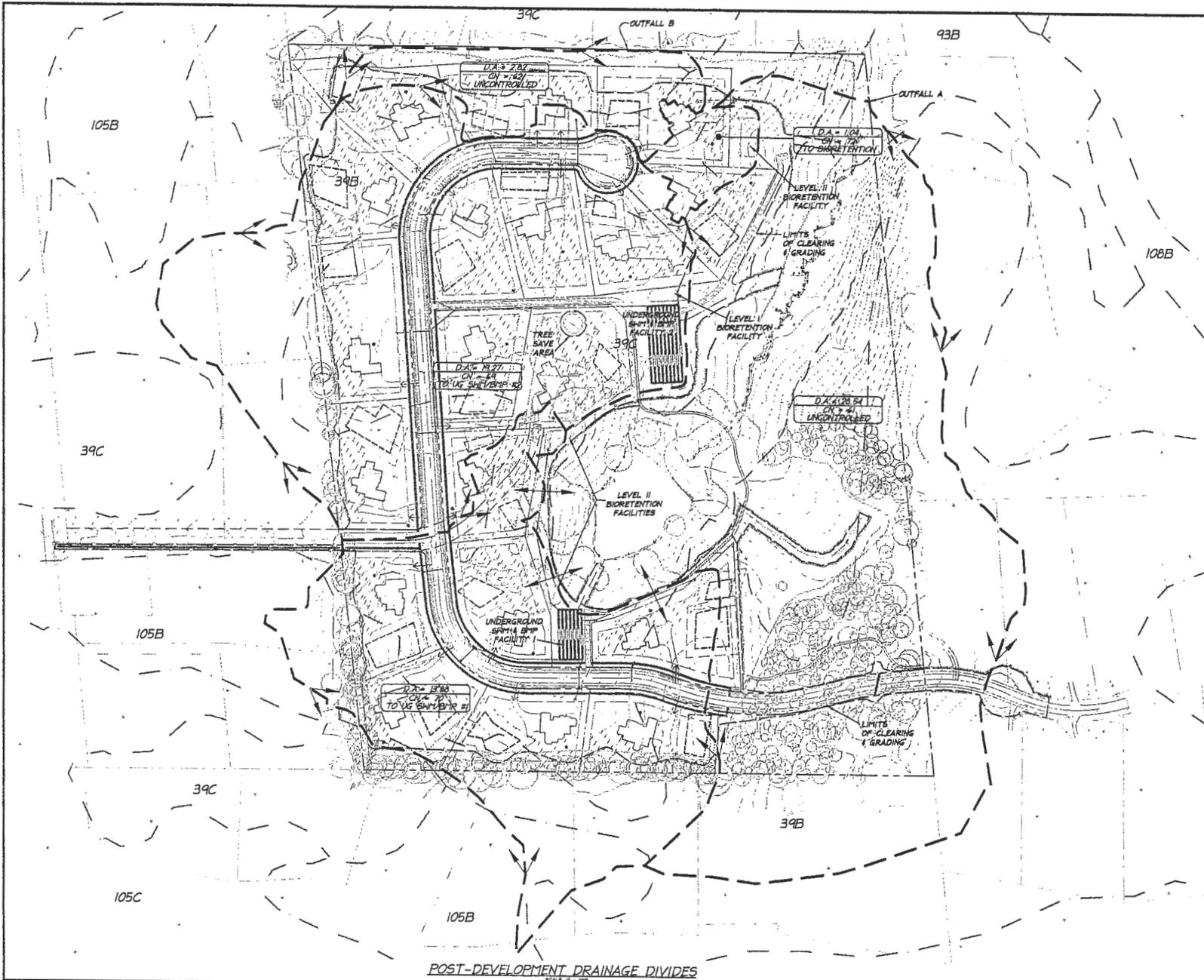


GENERAL DEVELOPMENT PLAN
BROOKS PROPERTY
 FAIRFAX COUNTY, VIRGINIA
 CONCEPTUAL LANDSCAPE
 BUFFER PLAN

GENERAL DEVELOPMENT PLAN
BROOKS PROPERTY
 FAIRFAX COUNTY, VIRGINIA

PROJECT NO:	1517.001.01
SCALE:	AS NOTED
DATE:	8/25/14
DESIGN:	DL
DRAWN:	DL
CHECKED:	
SHEET NO.	

7.3 of 9



DATE	REVISION
2011-12-22	REVISED PER COUNTY COMMENTS
2011-09-30	REVISED PER COUNTY COMMENTS
2011-08-17	REVISED PER COUNTY MEETING
2011-06-21	REVISED PER COUNTY MEETING
2011-06-14	REVISED PER COUNTY COMMENTS
2011-05-08	REVISED PER COUNTY COMMENTS
2011-05-01	REVISED PER COUNTY COMMENTS
2011-04-14	REVISED PER COUNTY COMMENTS
2011-04-07	REVISED PER COUNTY COMMENTS
2011-03-30	REVISED PER COUNTY COMMENTS
2011-03-23	REVISED PER COUNTY COMMENTS
2011-03-16	REVISED PER COUNTY COMMENTS
2011-03-09	REVISED PER COUNTY COMMENTS
2011-03-02	REVISED PER COUNTY COMMENTS
2011-02-25	REVISED PER COUNTY COMMENTS
2011-02-18	REVISED PER COUNTY COMMENTS

NOTES:
 1. DRAINAGE DIVIDES, DRAINAGE AREAS, C.V. VALUES, AND SWIFTS CONTROL MEASURES (TYPE/LOCATION) SHOWN ARE PRELIMINARY AND ARE SUBJECT TO CHANGE DURING FINAL ENGINEERING. THE INFORMATION SHOWN HEREON IS A CONCEPTUAL DESIGN TO PRESENT AN OPTION FOR MEETING VARIETY REQUIREMENTS & STORMWATER CHANNEL & FLOOD PROTECTION CRITERIA. FINAL DESIGN SHALL BE ENGINEERED TO MEET WATER QUALITY AND CHANNEL AND FLOOD PROTECTION REQUIREMENTS (CHAPTER 104-4 OF COUNTY CODE).

LEGEND

25C SOIL CATEGORY

SOIL LINE

POST-DEVELOPED DRAINAGE DIVIDE

COUNTY RPA LINE



christopher consultants
 engineering - surveying - land planning
 10000 Westpark Drive, Suite 100
 Fairfax, VA 22030
 Phone: 703.273.6800 Fax: 703.273.7606



COMPANILTY OF VIRGINIA
 JOHN C. LEVTOV
 Lic. No. 33835
 5/31/16
 PROFESSIONAL ENGINEER

POST-DEVELOPMENT
 DRAINAGE DIVIDES

GENERAL DEVELOPMENT PLAN
BROOKS PROPERTY
 FAIRFAX COUNTY, VIRGINIA

PROJECT NO: 10171.001.01
 SCALE: 1" = 100'
 DATE: 8/28/14
 DESIGN: JES
 DRAWN: JES
 CHECKED: ES

SHEET NO.
8.2 of **9**

POST-DEVELOPMENT DRAINAGE DIVIDES
 SCALE: 1" = 100'

ALLOWABLE RELEASE RATE CALCULATIONS.

DRAINAGE AREA:	PRE-DEVELOPMENT FORESTED			RV and Q	
	DESCRIPTION	AREA (Ac.)	CN	1-yr	10-yr
ON-SITE TO OUTFALL A	WOODED (B SOILS)	75.70	55		
TOTAL		75.70	55	8948	22566
BT-PASS/UNCONTROLLED TO OUTFALL A	WOODED (B SOILS)	17.06	55		
WOODED (C SOILS)	0.28	70			
1 ACRE LOTS (B SOILS)	13.76	68			
1 ACRE LOTS (D SOILS)	7.49	84			
IMPERVIOUS	0.85	98			
TOTAL	33.44	63	34384	50772	172988
ON-SITE TO OUTFALL B	GRASS (B SOILS)	4.98	61		
WOODED AREA (D SOILS)	0.00	77			
TOTAL	4.98	61	4756	7900	23643
BT-PASS/UNCONTROLLED TO OUTFALL B	WOODED (B SOILS)	0.25	55		
GRASS AREA (B SOILS)	1.23	61			
GRASS AREA (D SOILS)	0.05	80			
1 ACRE LOTS (B SOILS)	0.05	68			
TOTAL	1.58	61	1334	2475	7028

DRAINAGE AREA:	POST-DEVELOPMENT			RV and Q	
	DESCRIPTION	AREA (Ac.)	CN	1-yr	10-yr
ON-SITE TO OUTFALL A	GRASS AREA (B SOILS)	35.50	61		
IMPERVIOUS	5.30	98			
TOTAL	75.70	68	41382	58528	188776
ON-SITE TO OUTFALL B	GRASS AREA (B SOILS)	35.50	61		
IMPERVIOUS	5.30	98			
TOTAL	75.70	68	41382	58528	188776

ALLOWABLE RELEASE RATE COMPUTATIONS

TO OUTFALL A:

Flowrate 5 L.F. * (Cn stormflow * RV for seasonal) / RV seasonal

1-YR $Q_c < 0.51 \text{ cfs} + 8.846 \text{ cfs} / 43.342 \text{ cfs} + 4.03 \text{ cfs}$

$Q_c < 0.12 \text{ cfs} + 4.03 \text{ cfs} + 6.35 \text{ cfs}$

2-YR $Q_c < (2.09 \text{ cfs} + 22.985 \text{ cfs}) / 86.838 \text{ cfs} + 9.15 \text{ cfs}$

$Q_c < 0.71 \text{ cfs} + 9.15 \text{ cfs} + 9.88 \text{ cfs}$

10-YR $Q_c < (14.87 \text{ cfs} + 25.453 \text{ cfs}) / 146.770 \text{ cfs} + 33.05 \text{ cfs}$

$Q_c < 7.81 \text{ cfs} + 33.05 \text{ cfs} + 46.87 \text{ cfs}$

SHEDFLOW COMPUTATIONS

TO OUTFALL B:

Flowrate 5 L.F. * Cn stormflow

1-YR $Q_c < 0.50 \text{ cfs} + 0.16 \text{ cfs} + 0.86 \text{ cfs}$

2-YR $Q_c < 1.38 \text{ cfs} + 0.45 \text{ cfs} + 1.81 \text{ cfs}$

10-YR $Q_c < 5.71 \text{ cfs} + 1.89 \text{ cfs} + 7.60 \text{ cfs}$

POST-DEVELOPMENT DRAINAGE AREA SUMMARY.

DRAINAGE AREA:	POST-DEVELOPMENT			RV and Q	
	DESCRIPTION	AREA (Ac.)	CN	1-yr	10-yr
TO US SWM/BMP #1	GRASS AREA (B SOILS)	7.33	61		
IMPERVIOUS	3.09	98			
WOODED (B SOILS)	0.77	55			
1 ACRE LOT (D SOILS)	1.49	84			
1 ACRE LOT (B SOILS)	2.18	68			
TOTAL	13.86	70			
TO US SWM/BMP #2	IMPERVIOUS	5.31	98		
GRASS AREA (B SOILS)	11.98	61			
WOODED (B SOILS)	0.41	55			
1 ACRE LOT (B SOILS)	3.58	68			
TOTAL	20.27	69			
TO MORE/RETENTION FACILITY	IMPERVIOUS	0.31	98		
GRASS AREA (B SOILS)	0.72	61			
TOTAL	1.04	72			
UNCONTROLLED TO OUTFALL B	GRASS AREA (C SOILS)	0.05	74		
IMPERVIOUS	0.11	98			
GRASS AREA (B SOILS)	2.57	61			
WOODED (B SOILS)	0.09	55			
TOTAL	2.82	62			
UNCONTROLLED TO OUTFALL A	IMPERVIOUS	0.09	98		
GRASS AREA (B SOILS)	3.80	61			
1 ACRE LOT (B SOILS)	8.02	68			
WOODED (B SOILS)	15.75	55			
WOODED (C SOILS)	0.38	70			
TOTAL	28.54	61			

NOTES:
1. STORMWATER FACILITIES SHALL BE DESIGNED TO ACCOMMODATE 40% OF ADDITIONAL IMPERVIOUS AREA ON EACH LOT FOR FUTURE IMPROVEMENTS BY FUTURE PROPERTY OWNERS.

POST-DEVELOPED SUMMARY.

Hydrograph Return Period Recap

Hydrograph No.	Hydrograph Name	Return Period (yr)	Peak Outflow (cfs)						Hydrograph Description
			1-yr	2-yr	5-yr	10-yr	100-yr	1000-yr	
1	100% Rainfall	1	6,077	7,888	11,187	14,887	19,887	26,887	PRE ON-SITE OUTFALL A
2	100% Rainfall	1	8,882	11,887	16,887	22,887	30,887	40,887	PRE BT-PASS/UNCONTROLLED TO OUTFALL A
3	100% Rainfall	1	6,487	8,487	11,487	15,487	20,487	26,487	PRE ON-SITE TO OUTFALL B
4	100% Rainfall	1	6,981	9,487	13,487	18,487	24,487	31,487	PRE BT-PASS/UNCONTROLLED TO OUTFALL B
5	100% Rainfall	2	7,287	9,787	13,787	18,787	24,787	31,787	POST ON-SITE TO OUTFALL A
6	100% Rainfall	2	7,487	9,987	13,987	18,987	24,987	31,987	POST ON-SITE TO OUTFALL B
7	100% Rainfall	5	8,882	11,887	16,887	22,887	30,887	40,887	TO US SWM/BMP #1
8	100% Rainfall	5	6,187	8,187	11,187	14,187	18,187	23,187	TO US SWM/BMP #2
9	100% Rainfall	10	6,587	8,587	11,587	14,587	18,587	23,587	TO US SWM/BMP #2
10	100% Rainfall	10	6,981	8,981	11,981	14,981	18,981	23,981	TO US SWM/BMP #2
11	100% Rainfall	10	6,587	8,587	11,587	14,587	18,587	23,587	LEVEL 4 MORE/RETENTION TO OUTFALL A
12	100% Rainfall	10	6,981	8,981	11,981	14,981	18,981	23,981	LEVEL 4 MORE/RETENTION TO OUTFALL B
13	100% Rainfall	10	2,888	3,888	5,188	6,888	9,188	11,888	UNCONTROLLED TO OUTFALL A
14	100% Rainfall	10	2,888	3,888	5,188	6,888	9,188	11,888	UNCONTROLLED TO OUTFALL B
15	100% Rainfall	10	2,888	3,888	5,188	6,888	9,188	11,888	UNCONTROLLED TO OUTFALL A
16	100% Rainfall	10	2,888	3,888	5,188	6,888	9,188	11,888	UNCONTROLLED TO OUTFALL B
17	100% Rainfall	10	2,888	3,888	5,188	6,888	9,188	11,888	UNCONTROLLED TO OUTFALL A
18	100% Rainfall	10	2,888	3,888	5,188	6,888	9,188	11,888	UNCONTROLLED TO OUTFALL B
19	100% Rainfall	10	2,888	3,888	5,188	6,888	9,188	11,888	UNCONTROLLED TO OUTFALL A
20	100% Rainfall	10	2,888	3,888	5,188	6,888	9,188	11,888	UNCONTROLLED TO OUTFALL B

ALLOWABLE RELEASE RATE SUMMARY.

(SEE SHEET 8.6 FOR COMBINED OUTFLOW HYDROGRAPHS)

OUTFALL A
PEAK FLOWS FROM THE 1-YEAR, 2-YEAR AND 10-YEAR STORM EVENTS HAVE BEEN DETAILED ON-SITE BELOW
ALLOWABLE RELEASE RATES (CALCULATED ON THIS SHEET - SEE CHART TO THE LEFT) IN ACCORDANCE WITH THE
DESIGNER RECOMMENDATION (1.5-4-05) OF THE COUNTY CODE, NO FURTHER WATER QUALITY CONTROLS ARE REQUIRED.

1YR Q = 2.76 CFS < 4.15 CFS
2YR Q = 6.21 CFS < 8.88 CFS
10YR Q = 33.27 CFS < 46.87 CFS

OUTFALL B
PEAK FLOWS FROM THE 1-YEAR, 2-YEAR AND 10-YEAR STORM EVENTS SHEET FLOW OFFSITE AND HAVE BEEN
DETAILED BELOW PRE-DEVELOPED CONDITIONS. (CALCULATED ON THIS SHEET - SEE CHART TO THE LEFT) IN
ACCORDANCE WITH (1.5-4-05) OF THE COUNTY CODE, NO FURTHER WATER QUALITY CONTROLS ARE REQUIRED.

1YR Q = 0.41 CFS < 0.86 CFS
2YR Q = 1.13 CFS < 1.81 CFS
10YR Q = 4.21 CFS < 7.60 CFS

NOTES:
1. DRAINAGE DIVIDES, DRAINAGE AREAS, ON-VALVES, AND SWM/BMP CONTROL MEASURES (TYPE/LOCATION) SHOWN ARE
PRELIMINARY AND ARE SUBJECT TO CHANGE DURING FINAL ENGINEERING. THE INFORMATION SHOWN HEREIN IS A
CONCEPTUAL DESIGN TO PRESENT AN OPTION FOR IMPROVING WATER QUALITY, STORMWATER CHANNELS, & FLOOD PROTECTION
CRITICAL. FINAL DESIGN WILL BE ENGINEERED TO MEET WATER QUALITY AND CHANNEL AND FLOOD PROTECTION
REQUIREMENTS (CHAPTER 151-4 OF COUNTY CODE). THE DETENTION FACILITIES CONCEPTUALLY SHOWN AS SHOWN ON
PLAN AND ADDITIONAL ROOM IS AVAILABLE TO EXPAND THE FACILITY SIZES IF NEEDED AT FINAL DESIGN.

UNDERGROUND DETENTION VOLUME REPORTS.

Pond Report

Hydrograph Hydrographs Database for AutoCAD/Excel 2004 by Autodesk, Inc. V18.1

Pond No. 7 - US SWM/BMP #1 (FOR ROUTING)

Pond Data

Pond storage is based on unattenuated volumes.

Stage / Storage Table	Storage (cu ft)	Outflow (cfs)	Control area (sq ft)	Vol. Storage (cu ft)	Total Storage (cu ft)
0.00	347.00	0.00	0.00	0.00	347.00
0.05	347.78	0.00	0.00	1.78	349.56
0.10	348.56	0.00	0.00	3.56	352.12
0.15	349.34	0.00	0.00	5.34	354.68
0.20	350.12	0.00	0.00	7.12	357.24
0.25	350.90	0.00	0.00	8.90	359.80
0.30	351.68	0.00	0.00	10.68	362.36
0.35	352.46	0.00	0.00	12.46	364.92
0.40	353.24	0.00	0.00	14.24	367.48
0.45	354.02	0.00	0.00	16.02	370.04
0.50	354.80	0.00	0.00	17.80	372.60
0.55	355.58	0.00	0.00	19.58	375.16
0.60	356.36	0.00	0.00	21.36	377.72
0.65	357.14	0.00	0.00	23.14	380.28
0.70	357.92	0.00	0.00	24.92	382.84
0.75	358.70	0.00	0.00	26.70	385.40
0.80	359.48	0.00	0.00	28.48	387.96
0.85	360.26	0.00	0.00	30.26	390.52
0.90	361.04	0.00	0.00	32.04	393.08
0.95	361.82	0.00	0.00	33.82	395.64
1.00	362.60	0.00	0.00	35.60	398.20
1.05	363.38	0.00	0.00	37.38	400.76
1.10	364.16	0.00	0.00	39.16	403.32
1.15	364.94	0.00	0.00	40.94	405.88
1.20	365.72	0.00	0.00	42.72	408.44
1.25	366.50	0.00	0.00	44.50	411.00
1.30	367.28	0.00	0.00	46.28	413.56
1.35	368.06	0.00	0.00	48.06	416.12
1.40	368.84	0.00	0.00	49.84	418.68
1.45	369.62	0.00	0.00	51.62	421.24
1.50	370.40	0.00	0.00	53.40	423.80
1.55	371.18	0.00	0.00	55.18	426.36
1.60	371.96	0.00	0.00	56.96	428.92
1.65	372.74	0.00	0.00	58.74	431.48
1.70	373.52	0.00	0.00	60.52	434.04
1.75	374.30	0.00	0.00	62.30	436.60
1.80	375.08	0.00	0.00	64.08	439.16
1.85	375.86	0.00	0.00	65.86	441.72
1.90	376.64	0.00	0.00	67.64	444.28
1.95	377.42	0.00	0.00	69.42	446.84
2.00	378.20	0.00	0.00	71.20	449.40
2.05	378.98	0.00	0.00	72.98	451.96
2.10	379.76	0.00	0.00	74.76	454.52
2.15	380.54	0.00	0.00	76.54	457.08
2.20	381.32	0.00	0.00	78.32	459.64
2.25	382.10	0.00	0.00	80.10	462.20
2.30	382.88	0.00	0.00	81.88	464.76
2.35	383.66	0.00	0.00	83.66	467.32
2.40	384.44	0.00	0.00	85.44	469.88
2.45	385.22	0.00	0.00	87.22	472.44
2.50	386.00	0.00	0.00	89.00	475.00
2.55	386.78	0.00	0.00	90.78	477.56
2.60	387.56	0.00	0.00	92.56	480.12
2.65	388.34	0.00	0.00	94.34	482.68
2.70	389.12	0.00	0.00	96.12	485.24
2.75	389.90	0.00	0.00	97.90	487.80
2.80	390.68	0.00	0.00	99.68	490.36
2.85	391.46	0.00	0.00	101.46	492.92
2.90	392.24	0.00	0.00	103.24	495.48
2.95	393.02	0.00	0.00	105.02	498.04
3.00	393.80	0.00	0.00	106.80	500.60
3.05	394.58	0.00	0.00	108.58	503.16
3.10	395.36	0.00	0.00	110.36	505.72
3.15	396.14	0.00	0.00	112.14	508.28
3.20	396.92	0.00	0.00	113.92	510.84
3.25	397.70	0.00	0.00	115.70	513.40
3.30	398.48	0.00	0.00	117.48	515.96
3.35	399.26	0.00	0.00	119.26	518.52
3.40	400.04	0.00	0.00	121.04	521.08
3.45	400.82	0.00	0.00	122.82	523.64
3.50	401.60	0.00	0.00	124.60	526.20
3.55	402.38	0.00	0.00	126.38	528.76
3.60	403.16	0.00	0.00	128.16	531.32
3.65	403.94	0.00	0.00	129.94	533.88
3.70	404.72</				

GEO TECHNICAL ENGINEER ASSESSMENT OF EX. FARM POND



Geotechnical Engineering
Environmental Consulting & Construction, Inc.

October 5, 2015

16. Main Road
Lovers, Lead Development & Acquisition
KASULEKACORRE PROPERTIES, LLC
5071 Chain Bridge Road, Suite 510
Vienna, VA 22182

GIS Project No. GIS-1977

Reference: Data Establishment Observations
Breakdown Property
Fauquier County, Virginia

Dear Sir, Please:

As requested, Geotechnical Solutions, Inc. (GSI) has completed a re-evaluation of the existing data establishment at the Upper Property parcel located at Chain Bridge, Virginia.

Background

We understand the subject property is currently known as Upper Farm Pond and consists of two (2) parcels totaling approximately 51.87 acres. The site is located east of Chesapeake Road in Fairfax County, VA 22066. The site is located just south of the intersection of Springhill Road and Chesapeake Drive. The property is located in a primarily residential area. Surrounding property was various single family residential developments on all sides. Based on the residential site layout plan prepared by Christopher Consultants, LLC dated April 23, 2015, the site is proposed for the development of 70 single family units with all associated parcel numbers, EROD plan and site underground utilities. The existing farm pond, which is currently located on the property, is to remain.

Observations

A GSI Professional Checkup performed a site re-evaluation of the existing data establishment on May 12, 2015 to assess the horizontal condition along the natural portions of the dam. Several discrepancies were identified and are noted as follows. It was noted that the data establishment is not in accordance with the design intent.

The upper portion of emergency spillway located at the northeast end of the dam establishment appears to be a good condition as shown in Figure 1. However, an erosion channel approximately 2.5 feet wide and 1.5 feet deep was observed in the downstream half of the emergency spillway (Figure 1).

16. Main Road
Lovers, Lead Development & Acquisition
KASULEKACORRE PROPERTIES, LLC
5071 Chain Bridge Road, Suite 510
Vienna, VA 22182

Breakdown Property
Fauquier County, Virginia
GIS Project No. GIS-1977
Page 1

The retention slope of the dam establishment (Figure 1 and 3) appears to be stable. Within the retention slope appear to be some soil conditions. The soil's ability to resist the full normal pond water appears to be intact except at the northeast end of the dam. However, some erosion channels are observed from the upstream slope. In the downstream half of the dam establishment near the normal pool elevation. This area requires some attention for water seepage through the dam if not addressed properly.

The downstream slope of the dam establishment (Figure 4, 5, and 6) appear to be stable. Within the downstream slope appear to be some soil conditions. However, an erosion channel was observed near the northeast end of the dam establishment. The soil's ability to resist the full normal pond water appears to be intact except at the northeast end of the dam. However, some erosion channels are observed from the upstream slope. In the downstream half of the dam establishment near the normal pool elevation. This area requires some attention for water seepage through the dam if not addressed properly.

Conclusions and Recommendations

Based on our observations, the existing data establishment appears for the most part to be satisfactory. However, the existing erosion channels appear to be in need of attention. The erosion channels appear to be in need of attention. The erosion channels appear to be in need of attention. The erosion channels appear to be in need of attention.

We thank you for your confidence in our services. We will remain available for future consultation during the design and construction phases of the project. Should you have any questions regarding the content of this report, please direct inquiries to me at (703) 427-4711.

Respectfully submitted,
GEO TECHNICAL SOLUTIONS, INC.

[Signature]
Sandy A. Alford, P.E.,
Project Manager

[Signature]
Sandy A. Alford, P.E.,
Principal Engineer

Attachment: Data Establishment



1-YR POST-DEVELOPED HYDROGRAPH

Hydrograph Report

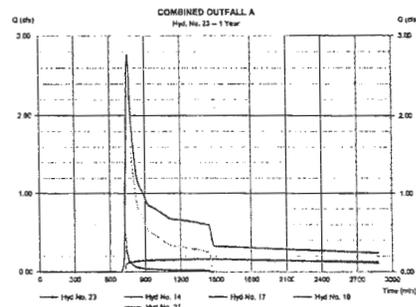
Hydrograph Hydrograph Report for ASAC/CR 010 2014 by ALUMVA, Inc. 11/5

Page: 01/17/2014

Hyd. No. 23

COMBINED OUTFALL A

Hydrograph type = Composite Peak discharge = 7,764 cfs
Storm frequency = 1 yrs Time to peak = 750 min
Time interval = 1 min Hyd. volume = 89,363 cuf-ft
Inflow hydro. = 14, 17, 19, 21 Contrib. drain. area = 29,580 ac



2-YR POST-DEVELOPED HYDROGRAPH

Hydrograph Report

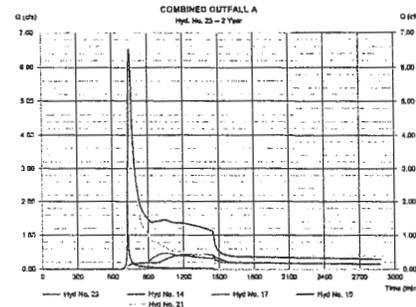
Hydrograph Hydrograph Report for ASAC/CR 010 2014 by ALUMVA, Inc. 11/5

Page: 01/17/2014

Hyd. No. 23

COMBINED OUTFALL A

Hydrograph type = Composite Peak discharge = 6,512 cfs
Storm frequency = 2 yrs Time to peak = 750 min
Time interval = 1 min Hyd. volume = 100,027 cuf-ft
Inflow hydro. = 14, 17, 19, 21 Contrib. drain. area = 29,580 ac



10-YR POST-DEVELOPED HYDROGRAPH

Hydrograph Report

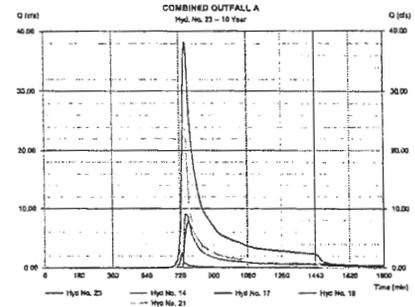
Hydrograph Hydrograph Report for ASAC/CR 010 2014 by ALUMVA, Inc. 11/5

Page: 01/17/2014

Hyd. No. 23

COMBINED OUTFALL A

Hydrograph type = Composite Peak discharge = 58.27 cfs
Storm frequency = 10 yrs Time to peak = 750 min
Time interval = 1 min Hyd. volume = 134,382 cuf-ft
Inflow hydro. = 14, 17, 19, 21 Contrib. drain. area = 29,580 ac



MINIMUM INFORMATION FOR RECORDING, SPECIAL EXCEPTIONS, SPECIAL PERMITS AND DEVELOPMENT PLAN APPLICATIONS

The following information is required to be shown or provided in all permit applications for a return report of the drainage development with 24-hour peak discharge. If not shown, the applicant will be required to provide the information in the application.

This information is required under the following zoning Ordinance provisions:

Special Provisions 9-11.13 & 9.12 Special Provisions 9-11.13 & 9.12
County Subdivision 9-11.13 & 9.12 Subdivision 9-11.13 & 9.12
Development Plan 9-11.13 & 9.12 Development Plan 9-11.13 & 9.12
Zoning Plan 9-11.13 & 9.12 Zoning Plan 9-11.13 & 9.12

1. Plot of all easements with a 10' buffer on the boundary and limits of clearing and grading to be shown on the site plan. The site plan shall also show the location of all easements with a 10' buffer.

2. A profile diagram of the drainage development (hydrograph) and limits of clearing and grading to be shown on the site plan. The site plan shall also show the location of all easements with a 10' buffer.

3. A plan view of the drainage development (hydrograph) and limits of clearing and grading to be shown on the site plan. The site plan shall also show the location of all easements with a 10' buffer.

4. A plan view of the drainage development (hydrograph) and limits of clearing and grading to be shown on the site plan. The site plan shall also show the location of all easements with a 10' buffer.

5. A plan view of the drainage development (hydrograph) and limits of clearing and grading to be shown on the site plan. The site plan shall also show the location of all easements with a 10' buffer.

6. A plan view of the drainage development (hydrograph) and limits of clearing and grading to be shown on the site plan. The site plan shall also show the location of all easements with a 10' buffer.

7. A plan view of the drainage development (hydrograph) and limits of clearing and grading to be shown on the site plan. The site plan shall also show the location of all easements with a 10' buffer.

8. A plan view of the drainage development (hydrograph) and limits of clearing and grading to be shown on the site plan. The site plan shall also show the location of all easements with a 10' buffer.

9. A plan view of the drainage development (hydrograph) and limits of clearing and grading to be shown on the site plan. The site plan shall also show the location of all easements with a 10' buffer.

10. A plan view of the drainage development (hydrograph) and limits of clearing and grading to be shown on the site plan. The site plan shall also show the location of all easements with a 10' buffer.

11. A plan view of the drainage development (hydrograph) and limits of clearing and grading to be shown on the site plan. The site plan shall also show the location of all easements with a 10' buffer.

12. A plan view of the drainage development (hydrograph) and limits of clearing and grading to be shown on the site plan. The site plan shall also show the location of all easements with a 10' buffer.

13. A plan view of the drainage development (hydrograph) and limits of clearing and grading to be shown on the site plan. The site plan shall also show the location of all easements with a 10' buffer.

14. A plan view of the drainage development (hydrograph) and limits of clearing and grading to be shown on the site plan. The site plan shall also show the location of all easements with a 10' buffer.

15. A plan view of the drainage development (hydrograph) and limits of clearing and grading to be shown on the site plan. The site plan shall also show the location of all easements with a 10' buffer.

16. A plan view of the drainage development (hydrograph) and limits of clearing and grading to be shown on the site plan. The site plan shall also show the location of all easements with a 10' buffer.

17. A plan view of the drainage development (hydrograph) and limits of clearing and grading to be shown on the site plan. The site plan shall also show the location of all easements with a 10' buffer.

18. A plan view of the drainage development (hydrograph) and limits of clearing and grading to be shown on the site plan. The site plan shall also show the location of all easements with a 10' buffer.

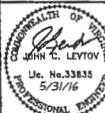
19. A plan view of the drainage development (hydrograph) and limits of clearing and grading to be shown on the site plan. The site plan shall also show the location of all easements with a 10' buffer.

20. A plan view of the drainage development (hydrograph) and limits of clearing and grading to be shown on the site plan. The site plan shall also show the location of all easements with a 10' buffer.

FACILITY	DRAINAGE AREA (AC)	POVERTY AREA (AC)	STORAGE VOLUME (CU FT)	IF FLOOD, ANY REPORT (CY)
UNDERGROUND DETENTION #1	0.00	0.00	0.00	0.00
UNDERGROUND DETENTION #2	0.00	0.00	0.00	0.00
TOTALS	0.00	0.00	0.00	0.00

NOTES:
1. DRAINAGE DIVIDES, DRAINAGE AREAS, C.V. VALUES, AND 5-MINUTE CONTROL MEASURES (TYPE/LOCATION) SHOWN ARE PRELIMINARY AND ARE SUBJECT TO CHANGE DURING FINAL ENGINEERING. THE INFORMATION SHOWN HEREON IS A CONCEPTUAL DESIGN TO PRESENT AN OPTION FOR MEETING WATER QUALITY, STORMWATER CHANNEL & FLOOD PROTECTION CRITERIA. FINAL DESIGN SHALL BE ENGINEERED TO MEET WATER QUALITY AND CHANNEL AND FLOOD PROTECTION REQUIREMENTS (CHAPTER 124-4 OF COUNTY CODE).

christopher consultants
engineering - surveying - land planning
3800 main street (south floor) - suite 2000
petersburg, virginia 22504
phone 757.273.0000 fax 757.273.0000



SWMT COMPUTATIONS

GENERAL DEVELOPMENT PLAN
BROOKS PROPERTY
FAIRFAX COUNTY, VIRGINIA

PROJECT NO. 1317.001.01
SCALE: 1" = 100'

DATE: 8/28/14

DESIGN: JES
DRAWN: JES
CHECKED: ES

SHEET NO:
8.6 of 9

102267

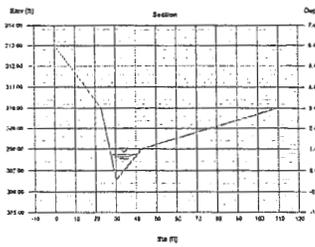
DOWNSTREAM CHANNEL CROSS SECTIONS

Channel Report
Project: Lower James River at Mill Creek, VA, 10/10/14

Cross Section 1-1

User-defined Invert Elev (ft) = 305.56 Slope (%) = 1.19 W-Value = 2.24 Velocity (ft/s) = 4.36 Calculations Known Q = Computed by Known Q (cfs) = 33.15 EOL (ft) = 1.47	Highlighted Depth (ft) = 5.17 Q (cfs) = 29.18 Area (sqft) = 7.97 Velocity (ft/s) = 3.66 Wetted Perim (ft) = 13.28 Chl Depth, Tc (ft) = 1.94 Top Width (ft) = 12.94 EOL (ft) = 1.47
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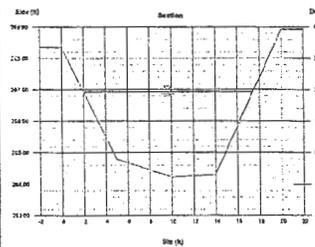


Channel Report
Project: Lower James River at Mill Creek, VA, 10/10/14

Cross Section 6-6

User-defined Invert Elev (ft) = 284.24 Slope (%) = 1.70 W-Value = 0.000 Velocity (ft/s) = 8.48 Calculations Known Q = Computed by Known Q (cfs) = 398.80 EOL (ft) = 4.08	Highlighted Depth (ft) = 2.00 Q (cfs) = 333.70 Area (sqft) = 26.21 Velocity (ft/s) = 8.48 Wetted Perim (ft) = 18.88 Chl Depth, Tc (ft) = 2.00 Top Width (ft) = 18.00 EOL (ft) = 4.08
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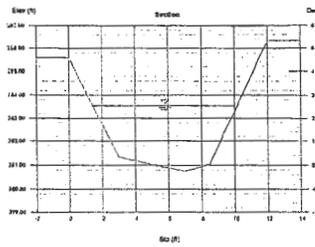


Channel Report
Project: Lower James River at Mill Creek, VA, 10/10/14

Cross Section 2-2

User-defined Invert Elev (ft) = 190.74 Slope (%) = 1.90 W-Value = 0.000 Velocity (ft/s) = 6.71 Calculations Known Q = Computed by Known Q (cfs) = 150.01 EOL (ft) = 3.51	Highlighted Depth (ft) = 2.81 Q (cfs) = 107.89 Area (sqft) = 17.88 Velocity (ft/s) = 6.01 Wetted Perim (ft) = 11.39 Chl Depth, Tc (ft) = 2.81 Top Width (ft) = 8.73 EOL (ft) = 3.51
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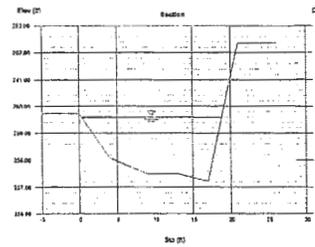


Channel Report
Project: Lower James River at Mill Creek, VA, 10/10/14

Cross Section 7-7

User-defined Invert Elev (ft) = 257.27 Slope (%) = 3.50 W-Value = 0.000 Velocity (ft/s) = 8.48 Calculations Known Q = Computed by Known Q (cfs) = 329.70 EOL (ft) = 4.91	Highlighted Depth (ft) = 3.37 Q (cfs) = 333.70 Area (sqft) = 21.21 Velocity (ft/s) = 15.82 Wetted Perim (ft) = 12.46 Chl Depth, Tc (ft) = 3.37 Top Width (ft) = 18.00 EOL (ft) = 4.91
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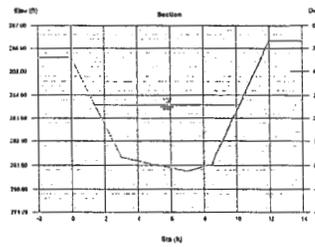


Channel Report
Project: Lower James River at Mill Creek, VA, 10/10/14

Cross Section 3-3

User-defined Invert Elev (ft) = 285.74 Slope (%) = 1.77 W-Value = 0.000 Velocity (ft/s) = 8.81 Calculations Known Q = Computed by Known Q (cfs) = 103.55 EOL (ft) = 4.10	Highlighted Depth (ft) = 2.84 Q (cfs) = 109.88 Area (sqft) = 18.13 Velocity (ft/s) = 6.01 Wetted Perim (ft) = 11.37 Chl Depth, Tc (ft) = 2.84 Top Width (ft) = 8.77 EOL (ft) = 4.10
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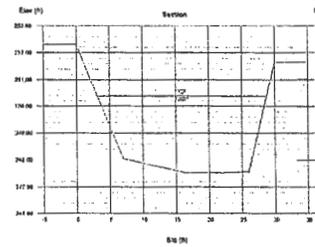


Channel Report
Project: Lower James River at Mill Creek, VA, 10/10/14

Cross Section 8-8

User-defined Invert Elev (ft) = 217.63 Slope (%) = 0.80 W-Value = 0.000 Velocity (ft/s) = 8.48 Calculations Known Q = Computed by Known Q (cfs) = 389.80 EOL (ft) = 3.80	Highlighted Depth (ft) = 2.85 Q (cfs) = 389.80 Area (sqft) = 28.92 Velocity (ft/s) = 13.45 Wetted Perim (ft) = 21.43 Chl Depth, Tc (ft) = 2.85 Top Width (ft) = 21.55 EOL (ft) = 3.80
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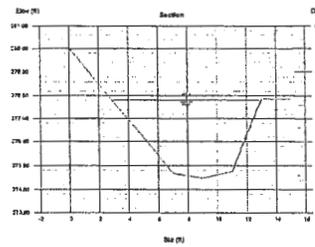


Channel Report
Project: Lower James River at Mill Creek, VA, 10/10/14

Cross Section 4-4

User-defined Invert Elev (ft) = 374.48 Slope (%) = 1.38 W-Value = 0.000 Velocity (ft/s) = 8.81 Calculations Known Q = Computed by Known Q (cfs) = 201.85 EOL (ft) = 4.20	Highlighted Depth (ft) = 3.25 Q (cfs) = 201.85 Area (sqft) = 22.34 Velocity (ft/s) = 6.01 Wetted Perim (ft) = 12.85 Chl Depth, Tc (ft) = 3.25 Top Width (ft) = 10.09 EOL (ft) = 4.20
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(Sta. E1, n1(Sta. E1, n1) - 100.00 to Sta. E1, n1(Sta. E1, n1) + 100.00)

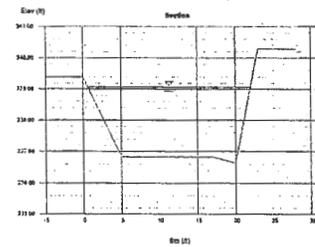


Channel Report
Project: Lower James River at Mill Creek, VA, 10/10/14

Cross Section 5-5

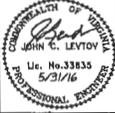
User-defined Invert Elev (ft) = 297.20 Slope (%) = 2.88 W-Value = 0.000 Velocity (ft/s) = 8.81 Calculations Known Q = Computed by Known Q (cfs) = 288.33 EOL (ft) = 4.20	Highlighted Depth (ft) = 3.72 Q (cfs) = 288.33 Area (sqft) = 22.34 Velocity (ft/s) = 6.01 Wetted Perim (ft) = 12.85 Chl Depth, Tc (ft) = 3.72 Top Width (ft) = 10.09 EOL (ft) = 4.20
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(Sta. E1, n1(Sta. E1, n1) - 100.00 to Sta. E1, n1(Sta. E1, n1) + 100.00)



DATE	REVISION
2014-02-03	REVISED PER COUNTY COMMENTS
2014-02-20	REVISED PER COUNTY COMMENTS
2014-03-17	REVISED PER COUNTY COMMENTS
2014-04-14	REVISED PER COUNTY COMMENTS
2014-05-11	REVISED PER COUNTY COMMENTS
2014-05-28	REVISED PER COUNTY COMMENTS
2014-06-14	REVISED PER COUNTY COMMENTS
2014-06-21	REVISED PER COUNTY COMMENTS
2014-07-08	REVISED PER COUNTY COMMENTS
2014-07-15	REVISED PER COUNTY COMMENTS
2014-07-22	REVISED PER COUNTY COMMENTS
2014-07-29	REVISED PER COUNTY COMMENTS
2014-08-05	REVISED PER COUNTY COMMENTS
2014-08-12	REVISED PER COUNTY COMMENTS
2014-08-19	REVISED PER COUNTY COMMENTS
2014-08-26	REVISED PER COUNTY COMMENTS
2014-09-02	REVISED PER COUNTY COMMENTS

christopher consultants
 engineering - surveying - land planning
 9000 main street (south side) - suite 100
 fairfax, virginia 22031-4206
 phone: 703.673.7200



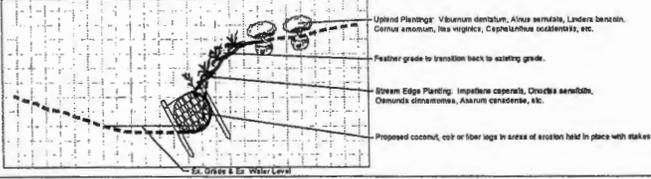
CHANNEL CROSS SECTIONS

GENERAL DEVELOPMENT PLAN
BROOKS PROPERTY
 FAIRFAX COUNTY, VIRGINIA

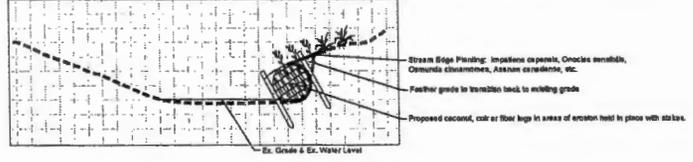
PROJECT NO:	13171.001.01
SCALE:	N.T.S.
DATE:	8/26/14
DESIGN:	JES
DRAWN:	JES
CHECKED:	ES
SHEET NO:	

8.8 of 9

SECTION 1 (±25 LF) (Scale: 1"=2')

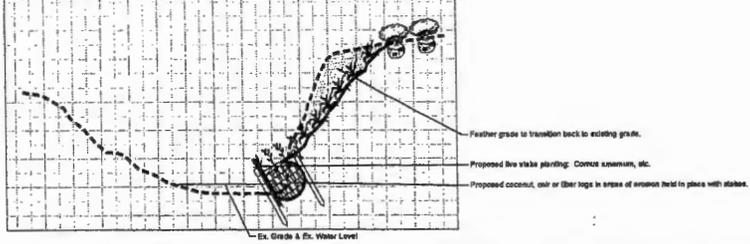


SECTION 2 (±15 LF) (Scale: 1"=2')



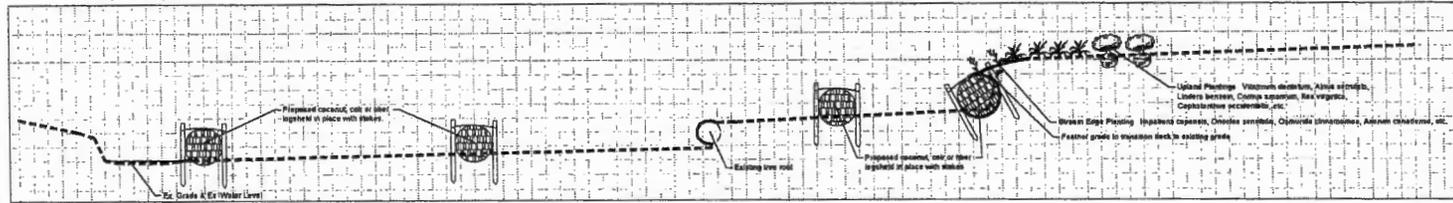
DATE	REVISION
2016-05-02	REVISED PER COUNTY COMMENTS
2016-05-03	REVISED PER COUNTY COMMENTS
2016-05-07	REVISED PER COUNTY COMMENTS
2016-05-08	REVISED PER COUNTY COMMENTS
2016-05-09	REVISED PER COUNTY COMMENTS
2016-05-10	REVISED PER COUNTY COMMENTS
2016-05-11	REVISED PER COUNTY COMMENTS
2016-05-12	REVISED PER COUNTY COMMENTS
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2016-05-15	REVISED PER COUNTY COMMENTS
2016-05-16	REVISED PER COUNTY COMMENTS
2016-05-17	REVISED PER COUNTY COMMENTS
2016-05-18	REVISED PER COUNTY COMMENTS
2016-05-19	REVISED PER COUNTY COMMENTS
2016-05-20	REVISED PER COUNTY COMMENTS

SECTION 3 (±13 LF) (Scale: 1"=2')

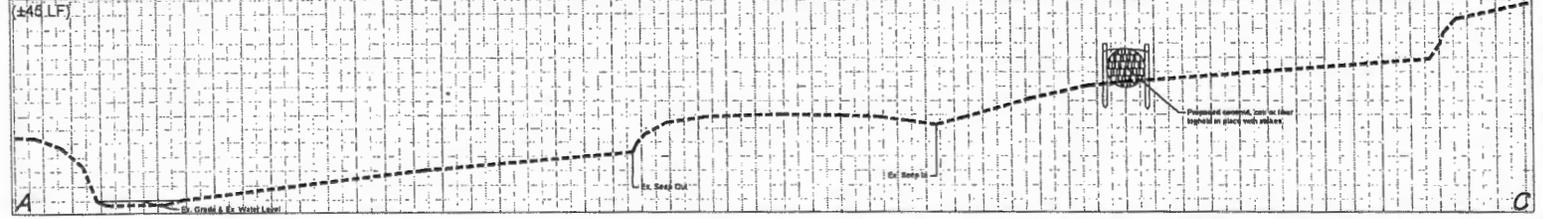
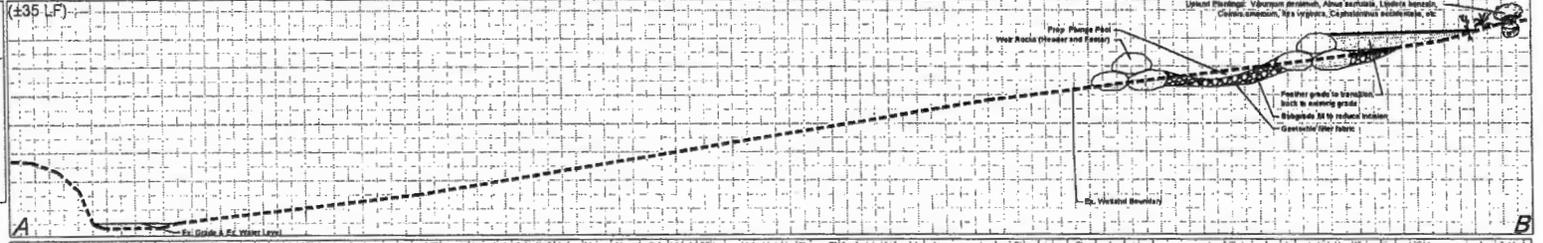
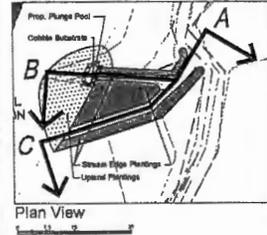


- NOTES:
1. THESE STREAM RESTORATION CROSS SECTIONS ARE BASED ON PLAN SECTIONS ON SHEET 9.3.
 2. THESE CROSS SECTIONS PROPOSE STREAMBANK RESTORATION SOLUTIONS TO MITIGATE FURTHER DETERIORATION OF THE CURRENT STREAMBANK. THESE CROSS SECTIONS ARE CONCEPTUAL IN NATURE AND SHOULD ACT AS A GUIDE FOR FINAL SITE PLAN PURPOSES.
 3. EACH GRID SQUARE IS SHOWN AT 6"X8".

SECTION 4 (±35 LF) (Scale: 1"=2')



SECTION 5 (±80 LF) (Plan Scale: 1"=10', Section Scale: 1"=2')



THIS SHEET IS FOR ILLUSTRATIVE PURPOSES ONLY. THIS IS NOT FOR CONSTRUCTION.

christopher consultants
 engineering · surveying · land planning
 phone 703.273.8800 · fax 703.273.7958



RPA RESTORATION
 CONCEPT PLAN

GENERAL DEVELOPMENT PLAN
BROOKS PROPERTY
 FAIRFAX COUNTY, VIRGINIA

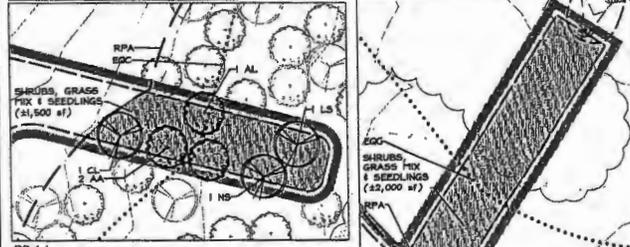
PROJECT NO	1817.001.01
SCALE	AS NOTED
DATE	8/28/14
DESIGN	LB
DRAWN	LB
CHECKED	
SHEET No.	

9.4 of 9
 102267

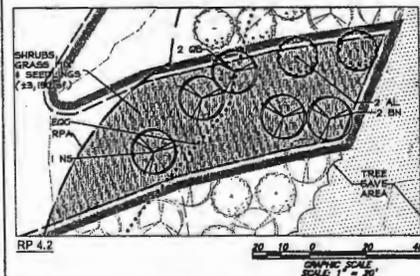
RPA/EQO RESTORATION NOTES

- All restoration and remediation proposed within the Resource Protection Area (RPA) and Environmental Quality Corridor (EQC) is provided to demonstrate to reviewing agencies that efforts taken will result in improving and enhancing the RPA/EQO through replanting, debris removal and invasive/unwanted species management, including the removal of invasive species and noxious weeds (as defined by Section 116-2-14(f) of the Code of Virginia).
 - There are minor encroachments into the RPA/EQO for stormwater outfall as allowed per Section 116-2-14(f) of the Fairfax County Chesapeake Bay Preservation Ordinance (CBPO). Replanting to mitigate this disturbance shall abide by the most current specifications within the Fairfax County Public Facilities Manual (PFM), specifically section 12-0516, Chapter 118 of the Chesapeake Bay Preservation Ordinance, and the "Riparian Buffers, Modification and Mitigation Guidance Manual" as published by the Division of Chesapeake Bay Local Assistance, Virginia Department of Conservation and Recreation (DCR) and is provided on this page and Sheet 5's.
 - The plant lists provided on this sheet from DCR and the PFM detail representative species allowable to plant within the RPA per the sources listed above. The plant lists on this page are recommendations and are not all-inclusive. Actual plant list and quantities are subject to availability and seasonal installation needs during final site plan and planting stages.
 - Appropriate nationwide permits from USAFCE will be applied to any activity occurring within the RPA.
 - All areas of razing shall be cleared of all existing perennial groundcover and grubbed to a depth of six to twelve inches, free of stumps, roots, trash or debris. The area shall be compacted to the least extent necessary to stabilize the site. Only tracked mechanical equipment shall be used within working within the RPA/EQO. The surface layer shall be made to meet the following standards to a minimum depth of six inches either by amending the existing soils or by the addition of top soil meeting the following specifications:
 - Imported Topsoil
 - Loamy, friable soil, containing a minimum of 2.0 percent by dry weight organic matter, free from silt, sand, rocks, heavy or stiff clay, stones larger than 25mm (1 in.), noxious weeds, sticks, brush, litter, and other deleterious substances; suitable for the germination of trees and the support of vegetative growth. The pH value shall be between 5.5 and 6.5.
 - Soil Texture: loam soil with the following particle size distribution:
 Approximate Particle Distribution Imported Topsoil
 Coarse to medium sand 30-65%
 Fine sand 5-20%
 Very fine sand 15-25%
 Silt 15-25%
 Clay 15-25%
 - Existing Topsoil
 - Existing topsoil from the site may be used if it meets the requirements for imported topsoil as approved by a contractor certified or certified subcontract with concurrence from the LUFMD. Provided a minimum of one soil sample with accompanying soil test report for each topsoil type found at the site.
- Monitoring of RPA/EQO plantings should occur during the growing season and at least once during the 1st, 2nd, 3rd and 5th growing seasons. If installation of material is reported to occur under permit based on standards set forth during the final subdivision process as recorded in monitoring reports, monitoring shall be required for each consecutive year until the annual sequential reports indicate that the criteria has been successfully satisfied and that corrective actions were successful. Monitoring reports should note the condition of the material, whether desirable material is being maintained, and whether there are any pests, noxious species or diseases present that threaten the health and vigor of the materials planted. If any deficiencies are noted, a recommendation for corrective action should also be made.
- Invasive species management will follow either a 5-year monitoring program or shall be completed on until total release, whichever comes first (as agreed upon with LUFMD during the final subdivision plan process).

RPA REFORESTATION PLANS



RP 4.1



RP 4.2

RP 4.3

REFORESTATION REQUIREMENTS WITHIN THE RESOURCE PROTECTION AREA

OVERSTORY TREES	REQUIRED		PROVIDED		REQUIRED		PROVIDED	
	DESCRIPTION	AMOUNT	DESCRIPTION	AMOUNT	DESCRIPTION	AMOUNT	DESCRIPTION	AMOUNT
25% OF TREE CANOPY	1,785 SF	1,785 SF	100% PER ACRE	33	33	18 BRB and 25 SEEDLINGS		
UNDERSTORY TREES	25% OF TREE CANOPY	1,785 SF	100% PER ACRE	66	66	15 BRB and 61 SEEDLINGS		
SHRUBS	25 PER 1000 SF	179	179	1,000 PER ACRE	179	179		
SEEDLINGS	10 PER 1000 SF	71	71	N/A	71	71		
GROUND COVER	AREA WITHIN RPA	7,140 SF	7,140 SF	AREA WITHIN RPA	7,140 SF	7,140 SF		

RPA PLANTING SCHEDULE

(INCLUDED AREA WITHIN RPA: 1,130 SF, 15.18 AC)

KEY	QTY	NOTATIONAL NAME	COMMON NAME	STOCK SIZE	STOCK HEIGHT	STOCK TYPE	CANOPY PER TREE (SQ FT)	TOTAL COVER (SQ FT)	COMMENTS
LN 1	1	LICHNERIA STRYMONICA	WINDFLOWER	2" MIN	N/A	BAR	200	100	NATIVE
LN 2	1	ORIGANUM BICOLOR	SWAMP WHITE OAK	2" MIN	N/A	BAR	200	100	NATIVE
LN 3	1	CATALPA BICOLOR	SWAMP WHITE OAK	2" MIN	N/A	BAR	200	100	NATIVE
LN 4	1	CESTRUM	CATALPA	2" MIN	N/A	BAR	200	100	NATIVE
LN 5	1	CESTRUM	CATALPA	2" MIN	N/A	BAR	200	100	NATIVE
LN 6	1	CESTRUM	CATALPA	2" MIN	N/A	BAR	200	100	NATIVE
LN 7	1	CESTRUM	CATALPA	2" MIN	N/A	BAR	200	100	NATIVE
LN 8	1	CESTRUM	CATALPA	2" MIN	N/A	BAR	200	100	NATIVE
LN 9	1	CESTRUM	CATALPA	2" MIN	N/A	BAR	200	100	NATIVE
LN 10	1	CESTRUM	CATALPA	2" MIN	N/A	BAR	200	100	NATIVE
LN 11	1	CESTRUM	CATALPA	2" MIN	N/A	BAR	200	100	NATIVE
LN 12	1	CESTRUM	CATALPA	2" MIN	N/A	BAR	200	100	NATIVE
LN 13	1	CESTRUM	CATALPA	2" MIN	N/A	BAR	200	100	NATIVE
LN 14	1	CESTRUM	CATALPA	2" MIN	N/A	BAR	200	100	NATIVE
LN 15	1	CESTRUM	CATALPA	2" MIN	N/A	BAR	200	100	NATIVE
LN 16	1	CESTRUM	CATALPA	2" MIN	N/A	BAR	200	100	NATIVE
LN 17	1	CESTRUM	CATALPA	2" MIN	N/A	BAR	200	100	NATIVE
LN 18	1	CESTRUM	CATALPA	2" MIN	N/A	BAR	200	100	NATIVE
LN 19	1	CESTRUM	CATALPA	2" MIN	N/A	BAR	200	100	NATIVE
LN 20	1	CESTRUM	CATALPA	2" MIN	N/A	BAR	200	100	NATIVE
LN 21	1	CESTRUM	CATALPA	2" MIN	N/A	BAR	200	100	NATIVE
LN 22	1	CESTRUM	CATALPA	2" MIN	N/A	BAR	200	100	NATIVE
LN 23	1	CESTRUM	CATALPA	2" MIN	N/A	BAR	200	100	NATIVE
LN 24	1	CESTRUM	CATALPA	2" MIN	N/A	BAR	200	100	NATIVE
LN 25	1	CESTRUM	CATALPA	2" MIN	N/A	BAR	200	100	NATIVE
LN 26	1	CESTRUM	CATALPA	2" MIN	N/A	BAR	200	100	NATIVE
LN 27	1	CESTRUM	CATALPA	2" MIN	N/A	BAR	200	100	NATIVE
LN 28	1	CESTRUM	CATALPA	2" MIN	N/A	BAR	200	100	NATIVE
LN 29	1	CESTRUM	CATALPA	2" MIN	N/A	BAR	200	100	NATIVE
LN 30	1	CESTRUM	CATALPA	2" MIN	N/A	BAR	200	100	NATIVE
LN 31	1	CESTRUM	CATALPA	2" MIN	N/A	BAR	200	100	NATIVE
LN 32	1	CESTRUM	CATALPA	2" MIN	N/A	BAR	200	100	NATIVE
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LN 36	1	CESTRUM	CATALPA	2" MIN	N/A	BAR	200	100	NATIVE
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LN 44	1	CESTRUM	CATALPA	2" MIN	N/A	BAR	200	100	NATIVE
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LN 89	1	CESTRUM	CATALPA	2" MIN	N/A	BAR	200	100	NATIVE
LN 90	1	CESTRUM	CATALPA	2" MIN	N/A	BAR	200	100	NATIVE
LN 91	1	CESTRUM	CATALPA	2" MIN	N/A	BAR	200	100	NATIVE
LN 92	1	CESTRUM	CATALPA	2" MIN	N/A	BAR	200	100	NATIVE
LN 93	1	CESTRUM	CATALPA	2" MIN	N/A	BAR	200	100	NATIVE
LN 94	1	CESTRUM	CATALPA	2" MIN	N/A	BAR	200	100	NATIVE
LN 95	1	CESTRUM	CATALPA	2" MIN	N/A	BAR	200	100	NATIVE
LN 96	1	CESTRUM	CATALPA	2" MIN	N/A	BAR	200	100	NATIVE
LN 97	1	CESTRUM	CATALPA	2" MIN	N/A	BAR	200	100	NATIVE
LN 98	1	CESTRUM	CATALPA	2" MIN	N/A	BAR	200	100	NATIVE
LN 99	1	CESTRUM	CATALPA	2" MIN	N/A	BAR	200	100	NATIVE
LN 100	1	CESTRUM	CATALPA	2" MIN	N/A	BAR	200	100	NATIVE

RECOMMENDED RIPARIAN BUFFER PLANTS

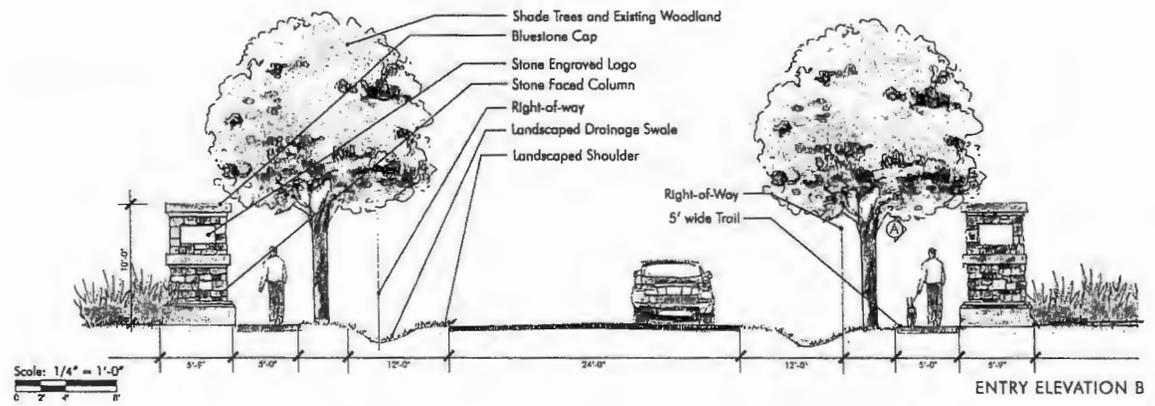
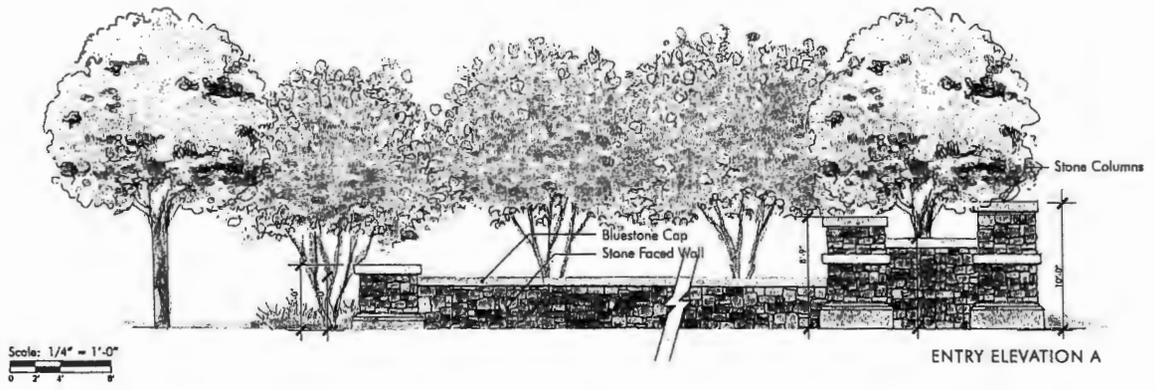
SOURCE: RIPARIAN BUFFER MODIFICATION & MITIGATION GUIDANCE MANUAL BY DCR CHESAPEAKE BAY LOCAL ASSISTANCE, 2008

APPENDIX A - PLANT LIST

These plants are recommended for riparian buffer plantings. They are not a plant list.

PLANT LIST	PLANT LIST
WATERBURY TO LAUREL	SHRUBS, GRASS MIX & SEEDLINGS (21,600 sq ft)
SHRUBS, GRASS MIX & SEEDLINGS (25,000 sq ft)	SHRUBS, GRASS MIX & SEEDLINGS (21,600 sq ft)
SHRUBS, GRASS MIX & SEEDLINGS (25,000 sq ft)	SHRUBS, GRASS MIX & SEEDLINGS (25,000 sq ft)
SHRUBS, GRASS MIX & SEEDLINGS (21,600 sq ft)	SHRUBS, GRASS MIX & SEEDLINGS (21,600 sq ft)
SHRUBS, GRASS MIX & SEEDLINGS (25,000 sq ft)	SHRUBS, GRASS MIX & SEEDLINGS (25,000 sq ft)
SHRUBS, GRASS MIX & SEEDLINGS (21,600 sq ft)	SHRUBS, GRASS MIX & SEEDLINGS (21,600 sq ft)
SHRUBS, GRASS MIX & SEEDLINGS (25,000 sq ft)	SHRUBS, GRASS MIX & SEEDLINGS (25,000 sq ft)
SHRUBS, GRASS MIX & SEEDLINGS (21,600 sq ft)	SHRUBS, GRASS MIX & SEEDLINGS (21,600 sq ft)
SHRUBS, GRASS MIX & SEEDLINGS (25,000 sq ft)	SHRUBS, GRASS MIX & SEEDLINGS (25,000 sq ft)
SHRUBS, GRASS MIX & SEEDLINGS (21,600 sq ft)	SHRUBS, GRASS MIX & SEEDLINGS (21,600 sq ft)

DATE	REVISION
2014-05-02	REVISED PER COUNTY COMMENTS
2014-05-02	REVISED PER COUNTY COMMENTS
2014-05-07	REVISED PER COUNTY MEETINGS
2014-05-24	REVISED PER COUNTY MEETINGS
2014-05-24	REVISED PER COUNTY COMMENTS
2014-07-08	REVISED PER COUNTY COMMENTS



BROOKS PROPERTY

ENTRANCE CONCEPT ELEVATION & DESIGN IMAGERY

christopher consultants
 engineering, architecture, land planning
 10000 Lee Road, Suite 2000
 Fairfax, VA 22031
 Phone: 703.273.8820 Fax: 703.273.7826

ENTRANCE CONCEPT
 ELEVATION & DESIGN
 IMAGERY

GENERAL DEVELOPMENT PLAN
BROOKS PROPERTY
 FAIRFAX COUNTY, VIRGINIA

PROJECT NO:	1317.000.0
SCALE:	AS SHOWN
DATE:	1/28/14
DESIGN:	-
DRAWN:	-
CHECKED:	-
SHEET NO.:	

DATE	REVISION
2014-02-02	REVISED PER COUNTY COMMENTS
2014-02-26	REVISED PER COUNTY COMMENTS
2014-03-27	REVISED PER COUNTY MEETINGS
2014-04-24	REVISED PER COUNTY MEETINGS
2014-05-14	REVISED PER COUNTY COMMENTS
2014-05-28	REVISED PER COUNTY COMMENTS
2014-06-11	REVISED PER COUNTY COMMENTS
2014-06-25	REVISED PER COUNTY COMMENTS
2014-07-08	REVISED PER COUNTY COMMENTS
2014-07-22	REVISED PER COUNTY COMMENTS
2014-08-05	REVISED PER COUNTY COMMENTS
2014-08-19	REVISED PER COUNTY COMMENTS
2014-09-02	REVISED PER COUNTY COMMENTS
2014-09-16	REVISED PER COUNTY COMMENTS
2014-09-30	REVISED PER COUNTY COMMENTS

christopher consultants
 engineering • surveying • land planning
 9800 main street fourth floor • suite 200
 phone 703.570.8820 fax 703.570.7606



TYPICAL
 ARCHITECTURE
 ELEVATIONS

GENERAL DEVELOPMENT PLAN
BROOKS PROPERTY
 FAIRFAX COUNTY, VIRGINIA

PROJECT NO. 1317.001.0
 SCALE: AS SHOWN
 DATE: 8/26/14
 DESIGN: -
 DRAWN: -
 CHECKED: -
 SHEET NO.



BROOKS PROPERTY
 TYPICAL ARCHITECTURE ELEVATIONS

STUDIO39 Landscape Architecture, PC 6416 Grovedale Drive, Suite 100-A Alexandria, Virginia 22310 703.719.6500 www.studio39.com

LANDSCAPE ARCHITECTURE ■ PLANNING ■ URBAN DESIGN ■ GRAPHIC DESIGN

OCTOBER 16, 2015

THIS SHEET IS BY OTHERS FOR ILLUSTRATIVE PURPOSES ONLY. THIS IS NOT FOR CONSTRUCTION.

9.10 of 9
 102267



AUG 28 2014

Zoning Evaluation Division

**Description of
 A parcel of the land now in the name of Susan M. Pesner and Robert J. Segan as
 Co-Trustees Acquired by them at Deed Book 23640 Page 2172
 Dranesville District
 Fairfax County, Virginia
 August 27, 2014**

BEGINNING at an iron pipe on the westerly right-of-way line of Springvale Road, Route #674, a variable width right-of-way, said point being the northwestern corner of the lands of N/F Claude J. Andersen (DB 8131 PG 1124); said point also being the westernmost point of the parcel herein described;

Thence departing the said northwestern corner and running with the eastern right-of-way of Springvale Road Route # 674 N 10°07'50" E 15.31' to a point;

Thence departing the easterly line of Springvale Road and running with the line common with N/F Mohammad Didehvar and N/F Nariman Aryaban S 75°21'57" E 665.44' to an iron pipe;

Thence with the easterly lines of N/F Aryban, N/F Peters and N/F Shahbazian
 1.) N 08°59'20" E 863.16' and
 2.) N 08°58'20" E 309.47' to a stone found marking the southwest corner of the lands of N/F Robert M. Weaver;

Thence with the southerly line of N/F Robert M. Weaver S 75°00'12" E 393.37' to an iron pipe found marking the southwest corner of the lands of N/F Kwon and N/F Hill;

Thence with the southerly lines of N/F Kwon, N/F Hill, N/F Nassar and N/F Cox S 74°28'41" E 949.38' to an iron pipe found in the westerly line of N/F Silverman;

Thence with the westerly line of N/F Silverman, N/F Talbott, N/F Mehrrostami, N/F Mills and Quick, N/F Turkeltaub, and N/F Orme S 09°34'11" W passing through an iron pipe at 559.18', passing through an additional iron pipe at 771.19', and traveling an entire distance of 1692.27 feet to an iron pipe found marking the northeast corner of N/F Steven Pann;

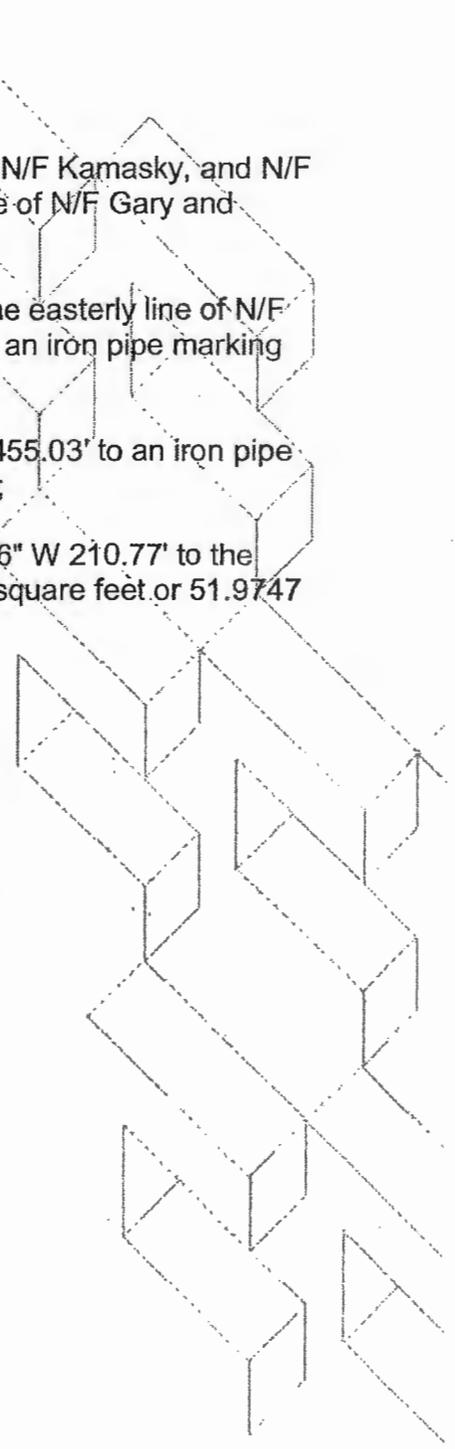


Thence with the northerly line of N/F Pann, N/F Brant, N/F Krohl, N/F Kamasky, and N/F Cuppernull N 75°01'18" W 1324.41' to a point in the northerly line of N/F Gary and Carolyn Cuppernull;

Thence departing the lands of N/F Cuppernull and running with the easterly line of N/F Juniper Farms LLC, N/F Baughman, Tr. N 08°59'20" E 514.69' to an iron pipe marking the northeast corner of N/F Baughman;

Thence with the northerly line of N/F Baughman N 75°19'47" W 455.03' to an iron pipe marking the northeast corner of the land of N/F Claude Anderson;

Thence with the northerly line of N/F Claude Anderson N 75°18'06" W 210.77' to the POINT AND PLACE OF BEGINNING and containing 2,264,016 square feet or 51.9747 acres of land





COUNTY OF FAIRFAX
Department of Planning and Zoning
Zoning Evaluation Division
 12055 Government Center Parkway, Suite 801
 Fairfax, VA 22035 (703) 324-1290, TTY 711
www.fairfaxcounty.gov/dpz/zoning/applications

APPLICATION No: RZ 2014-DR-022
 (Assigned by staff)

RECEIVED
 Department of Planning & Zoning
 OCT 03 2014
 Zoning Evaluation Division

APPLICATION FOR A REZONING
 (PLEASE TYPE or PRINT IN BLACK INK)

PETITION

TO: THE BOARD OF SUPERVISORS OF FAIRFAX COUNTY, VIRGINIA

I (We), Basheer/Edgemoore-Brooks, LLC, the applicant (s) petition you to adopt an ordinance amending the Zoning Map of Fairfax County, Virginia, by reclassifying from the R-A, R-E District to the R-E Cluster District the property described below and outlined in red on the Zoning Section Sheet(s) accompanying and made part of this application.

LEGAL DESCRIPTION:

17 and 23		Springvale	23640	2172
Lot(s)	Block(s)	Subdivision	Deed Book	Page No.

TAX MAP DESCRIPTION:

7-2	1		17, 23	
Map No.	Double Circle No.	Single Circle No.	Parcel(s)/Lot(s) No.	Total Acreage
				51.97

POSTAL ADDRESS OF PROPERTY:

439 and 439-A Springvale Road, Great Falls, VA, 22066

ADVERTISING DISCRIPTION: (Example - North side of Lee Highway approx. 1000 feet west of its intersection with Newgate Blvd.)

Approximately 600 feet east of Springvale Road and north of Parkerhouse Drive

PRESENT USE: SFD	PROPOSED USE: SFD
MAGISTERIAL DISTRICT: Dranesville	OVERLAY DISTRICT (S): N/A

The name(s) and address(s) of owner(s) of record shall provided on the affidavit form attached and made part of this application. The undersigned has the power to authorize and does hereby authorize Fairfax County staff representative on official business to enter on the subject property as necessary to process the application.

Lori R. Greenlief, Sr. Land Use Planner

L.R. Greenlief
 Signature of Applicant or Agent

Type or Print Name
 McGuireWoods LLP
 1750 Tysons Blvd., Suite 1800, Tysons Corner, VA 22102 (Work) (703) 712-5433 (Mobile) (571) 274-1316
 Address Telephone Number

Please provide name and telephone number of contact if different from above:

DO NOT WRITE BELOW THIS SPACE

Date application accepted: October 10, 2014 RZ 2014-0428 Deborah Lesko Penberton mpc
 Fee Paid \$ 56,920.00 10/10/14