



APPLICATION ACCEPTED: March 18, 2016
AMENDED: July 28, 2016
PLANNING COMMISSION: September 14, 2016
BOARD OF SUPERVISORS: September 20, 2016 @ 3:30 p.m.

County of Fairfax, Virginia

August 30, 2016

WS

STAFF REPORT

APPLICATIONS PCA 84-S-027-08, FDPA 84-S-027-06

SULLY DISTRICT



APPLICANT: MACS Retail, LLC

EXISTING/PROPOSED ZONING: PDH-3, WS

PARCEL: 44-3 ((7)) B3 pt.

SITE AREA: 37,561.8 square feet

PROPOSED DENSITY: 0.24 FAR

PLAN MAP: Retail and Other Commercial Uses

PROPOSAL: To modify the existing service station to add three fuel pumps and a quick service food store

STAFF RECOMMENDATIONS:

Staff recommends approval of PCA 84-S-027-08, subject to the execution of proffers consistent with the draft proffers contained in Appendix 1.

Staff recommends approval of FDPA 84-S-027-06, subject to the proposed development conditions contained in Appendix 2 and the Board of Supervisors' approval of the associated proffered condition amendment.

Staff recommends approval of a reaffirmation of the modification of the transitional screening and barrier requirements of Sects. 13-303 and 304 of the Zoning Ordinance in favor of the existing landscaped vegetation.

Staff recommends approval of a waiver of the loading space requirement of Sect. 11-200 of the Zoning Ordinance for the FDPA area, as conditioned.

Carmen Bishop, AICP

Staff recommends approval of a modification of the open space requirement for the FDPA area, pursuant to Sect. 6-110 of the Zoning Ordinance for the FDPA area to permit 13 percent in lieu of 20 percent. (Overall open space for the shopping center remains at 20 percent.)

It should be noted that it is not the intent of the staff to recommend that the Board, in adopting any conditions proffered by the owner, relieve the applicant/owner from compliance with the provisions of any applicable ordinances, regulations, or adopted standards. The approval of this application does not interfere with, abrogate or annul any easements, covenants, or other agreements between parties, as they may apply to the property subject to this application.

It should be further noted that the content of this report reflects the analysis and recommendation of staff; it does not reflect the position of the Board of Supervisors.

For information, contact the Zoning Evaluation Division, Department of Planning and Zoning, 12055 Government Center Parkway, Suite 801, Fairfax, Virginia 22035-5505, (703) 324-1290.



Americans with Disabilities Act (ADA): Reasonable accommodation is available upon 48 hours advance notice. For additional information on ADA call (703) 324-1334 or TTY 711 (Virginia Relay Center).

Proffered Condition Amendment

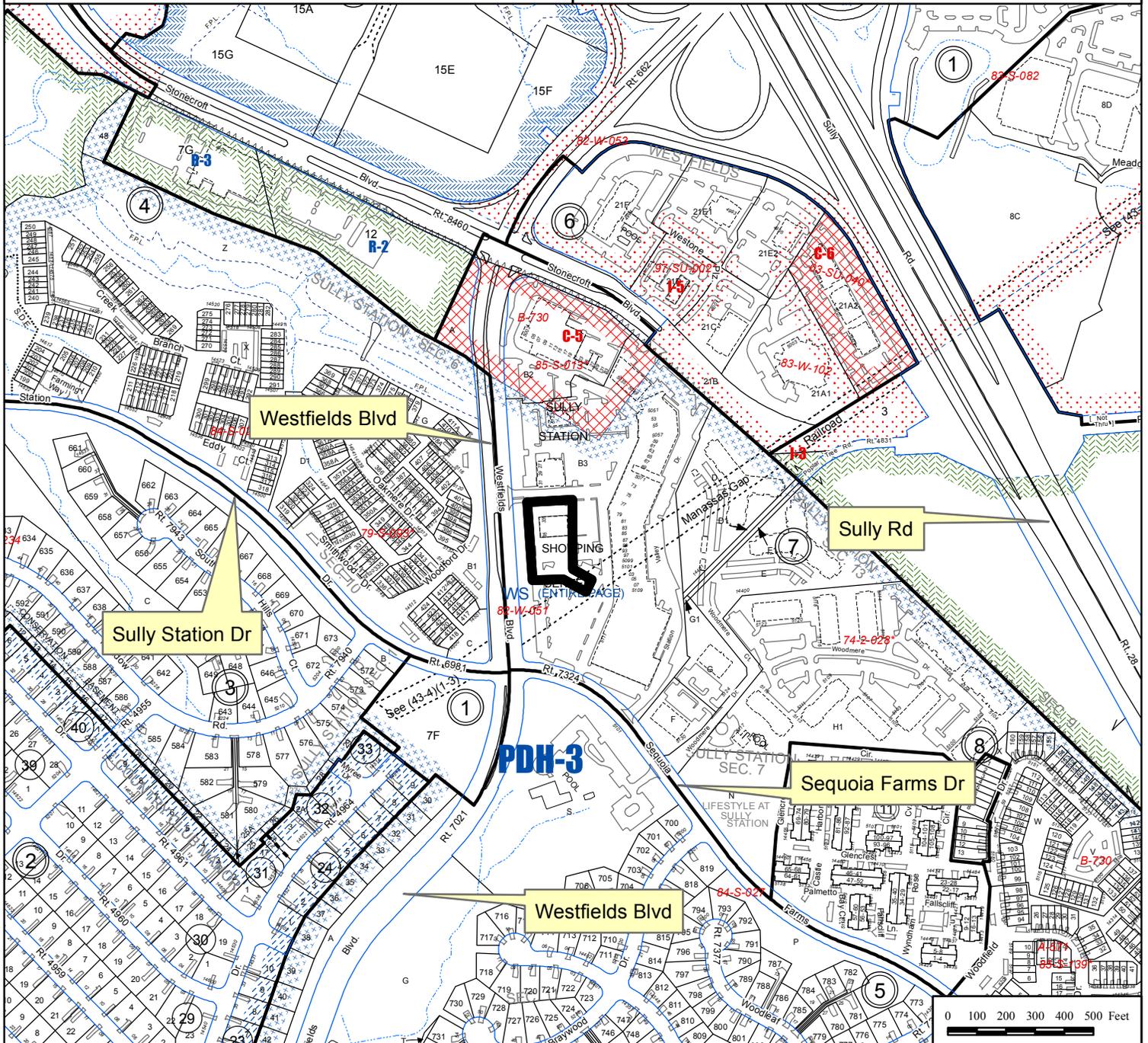
PCA 84-S-027-08

Applicant: MACS RETAIL LLC
Accepted: 03/18/2016
Proposed: AMEND PROFFERS AND CONDITIONS ASSOCIATED WITH RZ 84-S-027 TO ALLOW SERVICE STATION AND QUICK SERVICE FOOD STORE
Area: 37561 SF OF LAND; DISTRICT - SULLY
Zoning Dist Sect:
Located: THE NORTHEAST QUADRANT OF THE INTERSECTION OF WESTFIELDS BOULEVARD AND SEQUOIA FARMS DRIVE
Zoning: PDH-3
Overlay Dist: WS
Map Ref Num: 044-3- /07/ / B3 (pt.)

Final Development Plan Amendment

FDPA 84-S-027-06

Applicant: MACS RETAIL LLC
Accepted: 03/17/2016
Proposed: AMEND FDP 84-S-027 TO ALLOW SERVICE STATION AND QUICK SERVICE FOOD STORE
Area: 37561 SF OF LAND; DISTRICT - SULLY
Zoning Dist Sect:
Located: THE NORTHEAST QUADRANT OF THE INTERSECTION OF WESTFIELDS BOULEVARD AND SEQUOIA FARMS DRIVE
Zoning: PDH-3
Overlay Dist: WS
Map Ref Num: 044-3- /07/ / B3 (pt.)



PROFFERED CONDITION AMENDMENT FINAL DEVELOPMENT PLAN AMENDMENT

FOR SULLY STATION SHOPPING CENTER

5135 WESTFIELDS BOULEVARD
CENTREVILLE
FAIRFAX COUNTY, VIRGINIA
SULLY DISTRICT



VICINITY MAP
1" = 1000'

SHEET NUMBER	SHEET NAME
1	COVER SHEET
2	OVERALL PLAN
3	STORMWATER OUTFALL
4	STORMWATER MANAGEMENT CHECKLIST
5	EXISTING CONDITIONS
6	FINAL DEVELOPMENT PLAN AMENDMENT
7	OPEN SPACE EXHIBIT
8	CIRCULATION PLAN
9-12	BUILDING ELEVATIONS
13	SUNOCO EXISTING VEGETATION PLAN
14	LANDSCAPE PLAN
15	LANDSCAPE CALCULATIONS
16	PHOTOMETRIC PLAN

GENERAL NOTES:

1. THE PROPERTY THAT IS THE SUBJECT OF THIS PLAN IS IDENTIFIED ON THE FAIRFAX COUNTY ZONING MAP AS 44-3(07)B3. THE SITE'S OWNER IS SULLY STATION, LLC. DEED BOOK 1064, PAGE 1866. IS 629. THE 0.8293 ACRES AROUND THE PROPOSED SERVICE STATION AND FUEL DISPENSERS ARE NOT INCLUDED IN THIS APPLICATION.
2. THIS PLAN APPLICATION IS FOR THE PROPOSED SERVICE STATION AND FUEL DISPENSERS. THIS FINAL DEVELOPMENT PLAN AMENDMENT (FDPMA) AND PROFFERED CONDITION AMENDMENT (PCA) IS TO MODIFY THE EXISTING SERVICE STATION AND ADD A QUICK SERVICE RESTAURANT (QSR) AND FUEL DISPENSERS.
3. THE TOPOGRAPHY SHOWN HEREON IS AT A CONTOUR INTERVAL OF TWO (2) FEET FROM THE 2005 SURVEY DATA. THE PROPOSED SERVICE STATION AND FUEL DISPENSERS ARE SHOWN HEREON AS SHOWN HEREON IS BASED ON FIELD RUN SURVEY BY TRITEX ENGINEERING.
4. THE PROPOSED SERVICE STATION AND FUEL DISPENSERS ARE SHOWN HEREON AS SHOWN HEREON IS BASED ON FIELD RUN SURVEY BY TRITEX ENGINEERING.
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6. THE PROPOSED SERVICE STATION AND FUEL DISPENSERS ARE SHOWN HEREON AS SHOWN HEREON IS BASED ON FIELD RUN SURVEY BY TRITEX ENGINEERING.
7. STORMWATER DETENTION AND BMP CONTROLS HAVE BEEN PROVIDED BY OFFSITE STORAGE AND TREATMENT FACILITIES. THE PROPOSED SERVICE STATION AND FUEL DISPENSERS ARE SHOWN HEREON AS SHOWN HEREON IS BASED ON FIELD RUN SURVEY BY TRITEX ENGINEERING.
8. THE PROPOSED SERVICE STATION AND FUEL DISPENSERS ARE SHOWN HEREON AS SHOWN HEREON IS BASED ON FIELD RUN SURVEY BY TRITEX ENGINEERING.
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24. THE PROPOSED SERVICE STATION AND FUEL DISPENSERS ARE SHOWN HEREON AS SHOWN HEREON IS BASED ON FIELD RUN SURVEY BY TRITEX ENGINEERING.

SITE TABULATION:

- EXISTING ZONING: PDH-3, 0.8 AC.
- TOTAL AREA OF PROPOSED DEVELOPMENT: 1.4156 AC. (PDH-3 = 1.310 AC, C-5+1.25 AC.)
- AREA SUBJECT TO THIS APPLICATION: 0.8293 AC.
- MAXIMUM APPROVED FLOOR AREA RATIO: 0.24*
- MAXIMUM HEIGHT: 40 FT. (MAX. 102.140 SF.)*
- OPEN SPACE REQUIRED (20%): 128,048 S.F.
- OPEN SPACE PROVIDED (20%): 128,048 S.F.
- APPROVED / PROPOSED OVERALL GROSS FLOOR AREA: 149,899 S.F.
- PARKING TABULATIONS PDH:
 - SHOPPING CENTER USERS (130,836 S.F.): 524 SPACES
 - OFFICE (13,000 S.F.): 11 SPACES
 - EATING ESTABLISHMENTS (618 SEATS): 180 SPACES
 - PARKING REQUIRED (S1): 688 SPACES
 - PARKING PROVIDED: 688 SPACES
- PER PCA 64.5-0277(D)A.4.5-0277(D)A.5.5-0135(E).01-4.040
- THE PROPOSED DEVELOPMENT IS BASED UPON EXISTING DEVELOPMENT AND ADDITIONAL SOURCE FOOTING PROPOSED WITH THE APPLICATION. AN ADDITIONAL 3,478 SQUARE FEET OF DEVELOPMENT IS PROPOSED WITH THIS APPLICATION. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING THE NECESSARY PERMITS AND RIGHTS TO CONSTRUCT THIS ADDITIONAL SQUARE FOOTAGE WITH FUTURE APPLICATION.
- SPECIAL COMMENT GET AS NOT TO USE OF 3,475 SQUARE FEET THAT REMAINS APPROVED, BUT UNCONSTRUCTED.
- PARKING IS PROVIDED FOR CURRENT USERS AND FUTURE USERS WILL HAVE TO DEMONSTRATE COMPLIANCE WITH ZONING ORDINANCE PARKING REQUIREMENTS.
- WITH THIS APPLICATION, AN EXISTING 530 SF ROCK WALL BE MOVED AND 2,990 SF STORMWATER BUILDING SHALL BE ADDED AS WELL AS 3 ADDITIONAL FUELING DISPENSERS TO ALLOW A TOTAL OF 9 FUELING DISPENSERS AND 3,980 SF OF NEW GVA.

CORE STATES GROUP

201 S. Maple Avenue
Amber, PA 19002
Phone (215) 809-2125
Fax (215) 809-2124
Abodenschatz@core-eng.com



Know what should Call before you dig.
811 is the national number for utility locating services. Call 811 to request a utility locate service. This service is provided by the utility companies and is available in all states.

REVISIONS

REV#	DATE	COMMENT	BY
1	09-19-15	PER CLIENT ORDER	DP
2	10-13-15	PER CLIENT COMMENTS	MV
3	11-23-15	PER LAND O&B COMMENTS	MV
4	02-18-16	PER COUNTY COMMENTS	MV
5	12-25-16	PER ATTORNEYS COMMENTS	MV
6	10-08-16	COMMENTS	MV
7	02-18-18	PER STAFF COMMENTS	MV
8	06-28-16	PER STAFFING PER STAFFING	BP
9	08-05-16	COMMENTS	MV

DOCUMENT
FDPMA

PROJECT
SULLY STATION

CLIENT
MACS RETAIL, LLC.

SITE LOCATION
5135 WESTFIELDS BOULEVARD
CENTREVILLE, VA
FAIRFAX COUNTY, VA

EMPLOYER SEAL
CORE STATES GROUP
PROFESSIONAL ENGINEER
ABODENSCHATZ
18-15-18

SHEET TITLE
COVER SHEET

JOB #	SUN 17794
DATE	08/19/15
SCALE	NTS
DRAWN BY	DP
CHECKED BY	AB
SHEET NO.	

NOTE: STREET FURNITURE & LANDSCAPING SHOWN IS PRESENTED ONLY TO ILLUSTRATE CHARACTER OF DESIGN. LOCATIONS, SPECIES & QUANTITIES MAY BE ADJUSTED WITH FINAL DESIGN AND ENGINEERING.

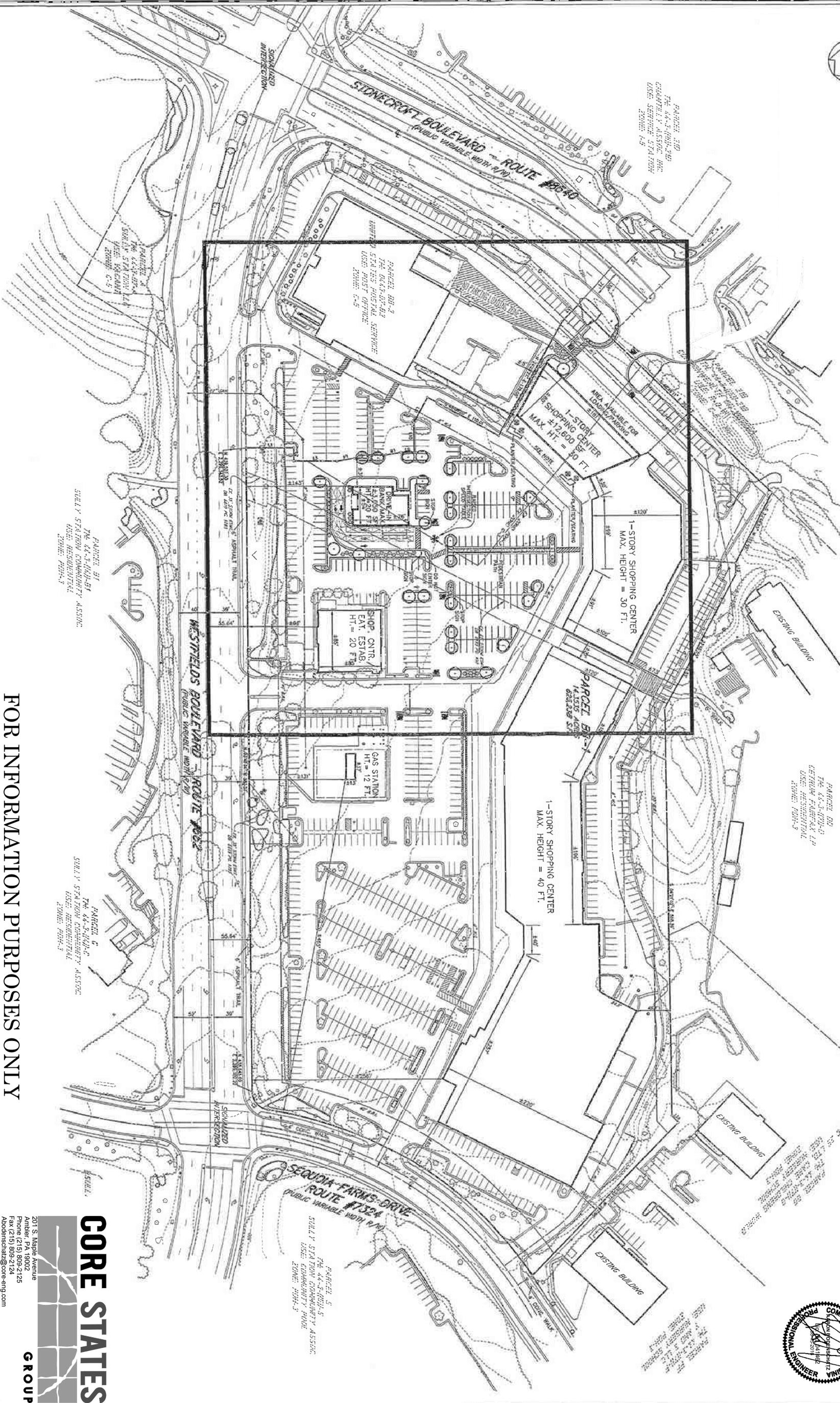


NO.	DATE	DESCRIPTION
1	11/15/06	ISSUED FOR PERMITS
2	12/14/06	PER COUNTY COMMENTS
3	1/10/07	PER COUNTY COMMENTS
4	1/18/07	PER COUNTY COMMENTS
5	3/15/07	PER COUNTY ASSOC. COMMENTS

DATE	REVISION	BY	CHKD
11/15/06	ISSUED FOR PERMITS	AS	AS
12/14/06	PER COUNTY COMMENTS	AS	AS
1/10/07	PER COUNTY COMMENTS	AS	AS
1/18/07	PER COUNTY COMMENTS	AS	AS
3/15/07	PER COUNTY ASSOC. COMMENTS	AS	AS

LANDSCAPE SCHEDULE

- LARGE DECIDUOUS (3" CAL.)
- SHRUBS
- SHRUBS
- SHRUBS



SULLY STATION SHOPPING CENTER

PRIOR CASE NUMBERS APPROVED 05/07/07:

- PROFFERED CONDITION AMENDMENT (PCA 84-S-027-07)
- FINAL DEVELOPMENT PLAN AMENDMENT (FDPA 84-S-027-05)
- PROFFERED CONDITION AMENDMENT (PCA 85-S-013-04)
- SPECIAL EXCEPTION AMENDMENT (SEA 01-Y-040)



FOR INFORMATION PURPOSES ONLY

CORE STATES
G R O U P

201 S. Main Avenue
 Amber, PA 19002
 Phone: (215) 809-2125
 Fax: (215) 809-2124
 Address: core-eng.com

DATE	REVISION
8/28/06	PER COUNTY COMMENTS
9/7/06	PER COUNTY COMMENTS
9/21/06	PER COUNTY COMMENTS
12/4/06	PER COUNTY COMMENTS
1/3/07	PER COUNTY COMMENTS
1/10/07	PER COUNTY COMMENTS
1/18/07	PER COUNTY COMMENTS
2/7/07	PER COUNTY COMMENTS
3/15/07	PER COUNTY ASSOC. COMMENTS

OVERALL PLAN

SULLY DISTRICT
 FAIRFAX COUNTY, VIRGINIA

SULLY STATION SHOPPING CENTER

SULLY DISTRICT
 FAIRFAX COUNTY, VIRGINIA

TRITON ENGINEERING

ENVIRONMENTAL
 LANDSCAPE ARCHITECTURE

11010 Littleton Road
 Suite 300
 Littleton, Virginia
 (703) 481-5555
 (703) 481-5555
 info@tritek.com

STORMWATER MANAGEMENT NARRATIVE:

STORMWATER QUANTITY AND QUALITY CONTROLS WERE PROVIDED FOR THE SITE BY A SERIES OF DOWNSTREAM PONDING THAT WERE CONSTRUCTED UNDER THE ORIGINAL DEVELOPMENT. THE SW-1 POND (100' x 100') POND NO. 2 IS THE POND THAT OUR SITE WORK AND POND IS LOCATED EAST WESTFIELD DR. ALMOST DIRECTLY ACROSS WESTFIELD DR. FROM THE PROPOSED BANK POND SITE. THE POND CONTROLS A DRAINAGE AREA OF 82.6 ACRES WHICH ENCOMPASSES THE ENTIRE SHOPPING CENTER PROPERTY, THE ORIGINAL SHOPPING CENTER SITE PLAN (PLAN NO. 6139-SP-10-2) WAS DESIGNED BY DEWBERRY AND DAVIS AND DIRECTED THE FLOW THROUGH OUR SITE TO A SERIES OF CLOSED COORDINATE TRENCHES AND PONDING. THE ORIGINAL SITE PLAN AS SUCH THERE IS NO INCREASE IN RUNOFF AS A RESULT OF THE PROPOSED CONSTRUCTION. THE STORMWATER MANAGEMENT POND OUTFALLS INTO A BED AND BANK CHANNEL THAT FLOWS APPROXIMATELY 1,400 FT. TO THE NAILED FLOODPLAIN FLATLICK BRANCH.

OUTFALL NARRATIVE:

THE SITE RUNOFF FOR THE SITE FLOWS IN A WESTERLY DIRECTION TO THE EXISTING STORM DRAIN THEN ENTERS THE SITE. RUNOFF THEN ENTERS THE EXISTING STORMWATER DRAINAGE SYSTEM THROUGH THE SW-1 POND. THE POND THEN OUTFALLS INTO AN EXISTING BED AND BANK CHANNEL. THE POND OUTFALL IS LINED WITH RIP-RAP THE CHANNEL IS A WELL DERIVED INCISED CHANNEL. THE BANKS ARE STABLE AND REGULAR. THE CHANNEL THEN PROCEEDS 1400 FEET TO THE BED AND BANK CHANNEL. THE CHANNEL THEN PROCEEDS 1400 FEET TO THE BED AND BANK CHANNEL. THE CHANNEL THEN PROCEEDS 1400 FEET TO THE BED AND BANK CHANNEL. THE CHANNEL THEN PROCEEDS 1400 FEET TO THE BED AND BANK CHANNEL.

EXTENT OF REVIEW OF DOWNSTREAM DRAINAGE SYSTEM:

THE OUTFALL HAS BEEN REVIEWED TO A POINT 150 FT DOWNSTREAM OF A POINT WHERE THE RECEIVING CHANNEL IS JOINED BY ANOTHER THAT HAS A DRAINAGE AREA THAT IS AT LEAST 90% OF THE SIZE OF THE FIRST DRAINAGE AREA AT THE POINT OF CONFLUENCE. THE SUBJECT SITE'S OUTFALL CHANNEL HAS A DRAINAGE AREA OF 69 ACRES. THE POINT OF CONFLUENCE OF A DOWNSTREAM CHANNEL WITH A DRAINAGE AREA OF 74 ACRES. THE DOWNSTREAM CHANNEL DRAINAGE AREA IS DOWNSTREAM OF THE SITE RECEIVING AREA. THE EXTENT OF REVIEW ENDS 150 DOWNSTREAM OF THE OFF-SITE RECEIVING CHANNEL.

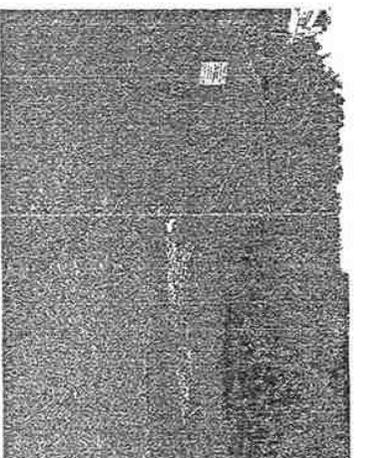


PHOTO AT SITE OUTFALL INTO SWM POND

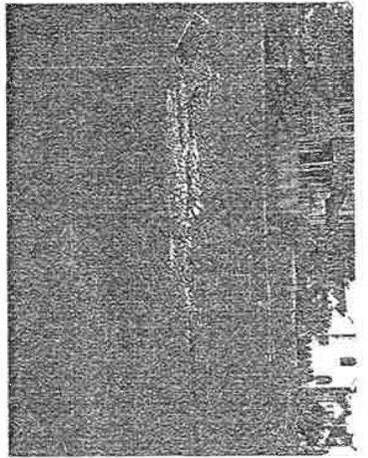


PHOTO AT OUTLET OF SWM POND

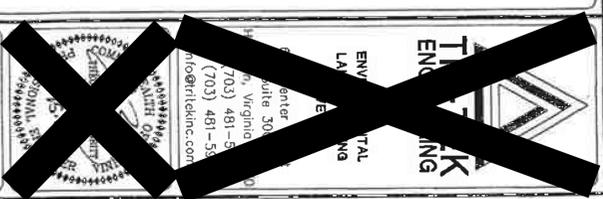


PHOTO AT SITE OUTFALL INTO FLATLICK BRANCH



MAP OF EXTENT OF REVIEW OF DOWNSTREAM DRAINAGE SYSTEM:
1"=500'

FOR INFORMATION PURPOSES ONLY

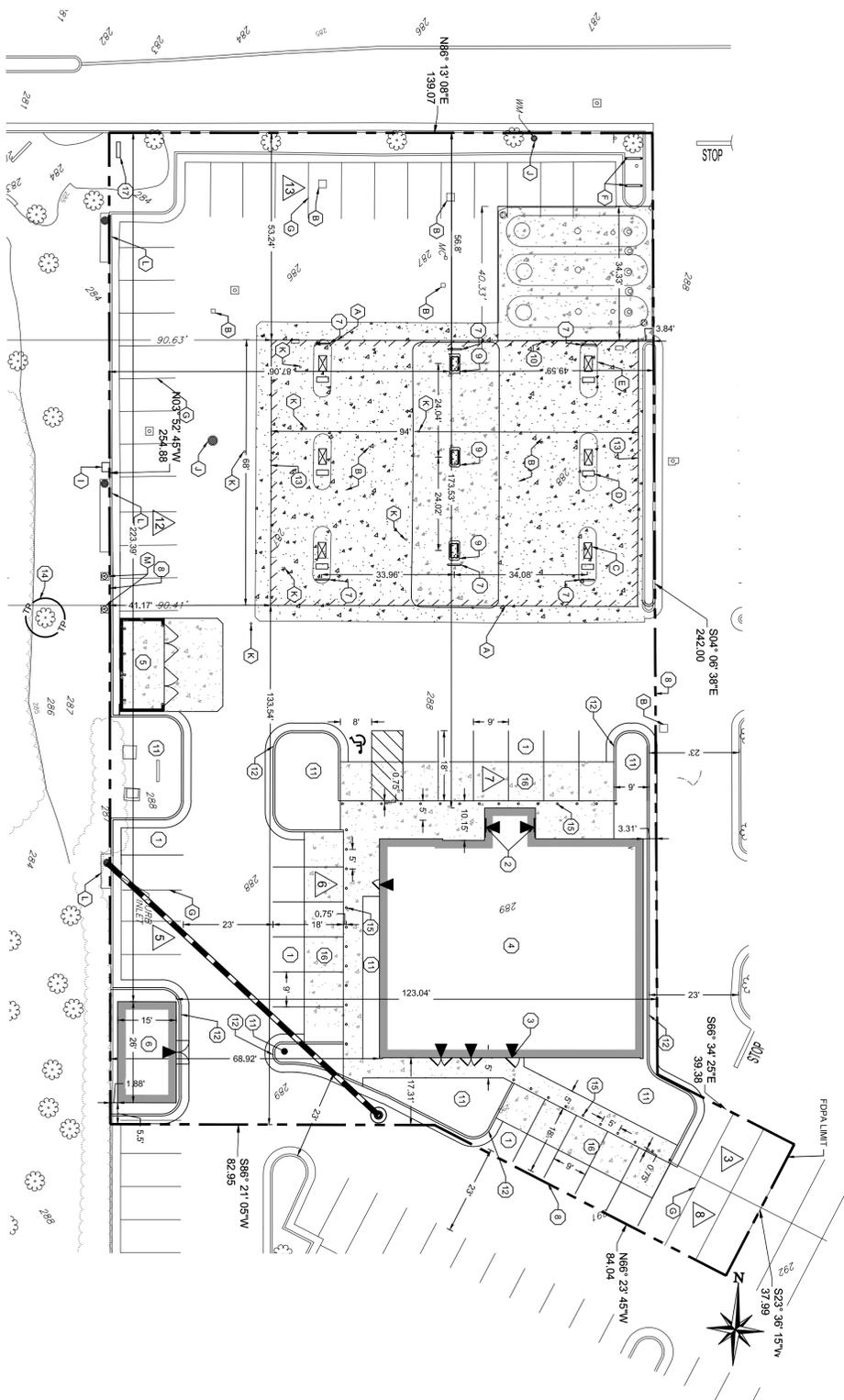


SULLY STATION SHOPPING CENTER
SULLY DISTRICT
FAIRFAX COUNTY, VIRGINIA

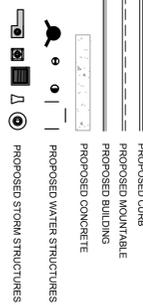
STORMWATER OUTFALL

DATE	REVISION
8/23/06	PER COUNTY COMMENTS.
9/7/06	PER COUNTY COMMENTS.
9/21/06	PER COUNTY COMMENTS.
12/4/06	PER COUNTY COMMENTS.
1/3/07	PER COUNTY COMMENTS.
1/10/07	PER COUNTY COMMENTS.
1/18/07	PER COUNTY COMMENTS.
2/7/07	PER COUNTY COMMENTS.
3/15/07	PER COMMUNITY ASSOC. COMMENTS.

PLM, JDA, SCALE: 1"=500'
PCL, JDB, DATE: 6/20/06
COP, JSD, SHEET: 3 OF 16

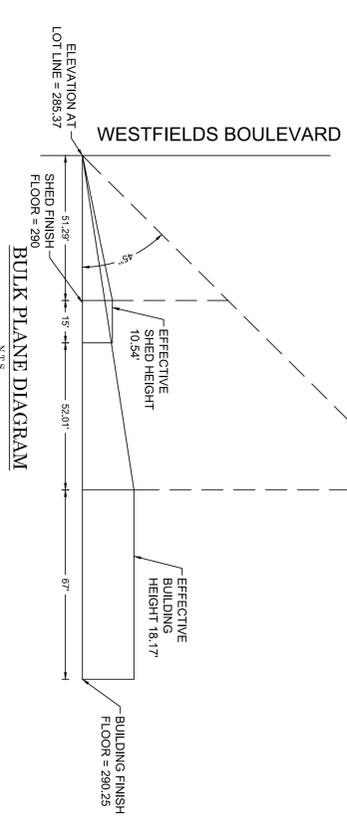


- SITE LEGEND**
- EXISTING PROPERTY BOUNDARY LINE
 - EXISTING ADJOINING PROPERTY LINE
 - PROPOSED ROAD CENTERLINE
 - PROPOSED ROAD CENTERLINE
 - PROPOSED LIMITS OF SHIP / DETENTION
 - EXISTING CURBS
 - PROPOSED MOUNTABLE
 - PROPOSED BUILDING
 - PROPOSED CONCRETE
 - PROPOSED WATER STRUCTURES
 - PROPOSED STORM STRUCTURES
 - PROPOSED SANITARY STRUCTURES
 - PROPOSED SANITARY STRUCTURES
 - PROPOSED SANITARY STRUCTURES
 - EXISTING WATER STRUCTURES
 - PROPOSED PARKING COUNT
 - ▲ PROPOSED BUILDING ENTRANCE



- EXISTING KEYNOTE LEGEND**
- A. EXISTING 21' FUEL CANOPY TO REMAIN AND BE PROTECTED IN PLACE
 - B. EXISTING CONCRETE TO REMAIN AND BE PROTECTED IN PLACE
 - C. EXISTING FUEL DISPENSER (TYP.) TO REMAIN AND BE PROTECTED IN PLACE
 - D. PROTECTED IN PLACE
 - E. EXISTING CONCRETE ISLAND (TYP.) TO REMAIN AND BE PROTECTED IN PLACE
 - F. EXISTING STRIPING TO REMAIN
 - G. EXISTING UTILITY POLE TO REMAIN AND BE PROTECTED IN PLACE
 - H. EXISTING UTILITY POLE TO REMAIN AND BE PROTECTED IN PLACE
 - I. EXISTING MANHOLE TO REMAIN AND BE PROTECTED IN PLACE
 - J. EXISTING CLEAN OUT TO REMAIN AND BE PROTECTED IN PLACE
 - K. EXISTING CURB INLET TO REMAIN AND BE PROTECTED IN PLACE
 - L. EXISTING VACUUM TO REMAIN AND BE PROTECTED IN PLACE
 - M. EXISTING VACUUM TO REMAIN AND BE PROTECTED IN PLACE
- PROPOSED KEYNOTE LEGEND**
- 1. PROP. STORING (8'X18' TYP. SPACE)
 - 2. PROP. STORING (8'X18' TYP. SPACE)
 - 3. PROP. STORING (8'X18' TYP. SPACE)
 - 4. PROP. STORING (8'X18' TYP. SPACE)
 - 5. PROP. CONCRETE DOUBLE TRASH ENCLOSURE APPROX. 280.25 S.F. BUILDING HEIGHT = 18.17'
 - 6. PROP. CONCRETE DOUBLE TRASH ENCLOSURE APPROX. 280.00 S.F. BUILDING HEIGHT = 10.54'
 - 7. PROP. CONCRETE DOUBLE TRASH ENCLOSURE APPROX. 280.00 S.F. BUILDING HEIGHT = 10.54'
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 - 17. PROP. CONCRETE DOUBLE TRASH ENCLOSURE APPROX. 280.00 S.F. BUILDING HEIGHT = 10.54'

- NOTES:**
1. ALL UTILITY EASEMENTS OVER 25 FEET IN WIDTH AND DEPTH SHALL BE PROTECTED AND UTILITY EASEMENTS ARE TO REMAIN AND BE PROTECTED IN PLACE.
 2. THE APPLICATION PROPOSES ENHANCEMENT OF AN EXISTING USE AND WILL HAVE NO ADVERSE IMPACTS ON THE ADJACENT PROPERTIES WITHIN THE SCOPE OF THE APPLICATION.



CORE STATES GROUP

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 Ambler, PA 19002
 Phone (215) 809-2125
 Fax (215) 809-2124
 Abodenschatz@core-eng.com

Know what's better? Call before you die.

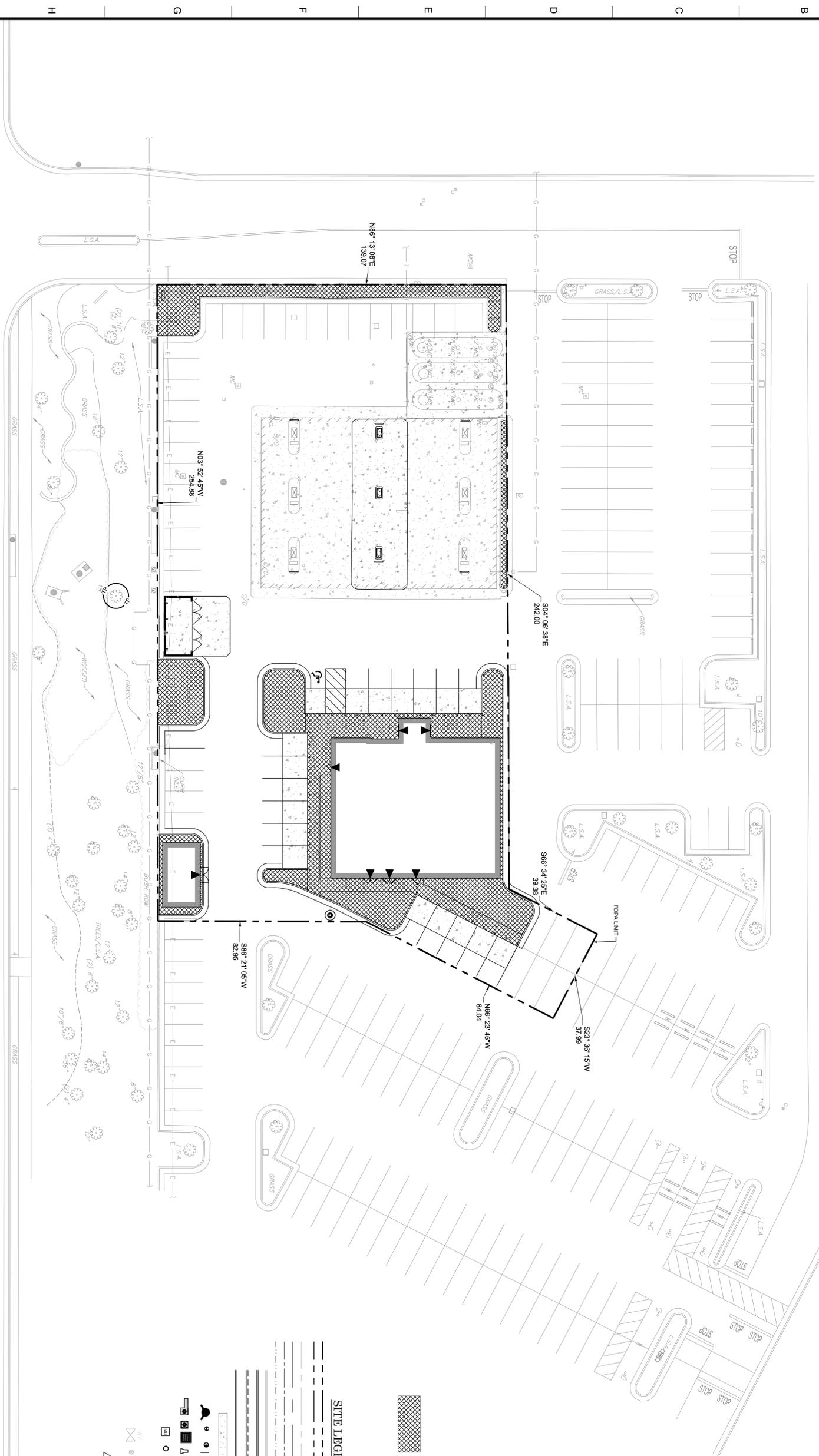
811

REVISIONS

REV#	DATE	COMMENT	BY
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4	02-18-16	PER COUNTY COMMENTS	MV
5	12-25-16	PER ATTORNEY COMMENTS	MV
6	03-08-16	PER STAFF COMMENTS	MV
7	02-18-16	PER STAFF COMMENTS	MV
8	06-29-16	PER STAFF COMMENTS	BP
9	08-05-16	PER STAFF COMMENTS	MV

PROJECT: SULLY STATION
CLIENT: MACS RETAIL, LLC.
ENGINEER: COMMONWEALTH PROFESSIONAL ENGINEER
SITE LOCATION: 5135 WESTFIELDS BOULEVARD CENTREVILLE, FAIRFAX COUNTY, VA
DATE: 08/19/15
SCALE: 1"=20'
DRAWN BY: DP
CHECKED BY: AB
SHEET NO.: 6 OF 16

1 2 3 4 5 6 7 8 9 10 11 12 13



WESTFIELDS ^{100 MACS} BOULEVARD
 (AKA ROUTE 629) (AKA ROUTE 62)
 (AKA POOLY TREE ROAD)
 (50' WID)



OPEN SPACE WITHIN FOPA = 4,524.06 SF

SITE LEGEND

- EXISTING PROPERTY BOUNDARY LINE
- EXISTING ADJOINING PROPERTY LINE
- PROPOSED ROAD CENTERLINE
- PROPOSED ROAD CENTERLINE
- PROPOSED ROAD CENTERLINE
- PROPOSED LIMITS OF BHP / DETENTION
- EXISTING CURB
- PROPOSED CURB
- PROPOSED MOUNTABLE
- PROPOSED BUILDING
- PROPOSED CONCRETE

- PROPOSED WATER STRUCTURES
- PROPOSED STORM STRUCTURES
- PROPOSED SANITARY STRUCTURES
- PROPOSED SANITARY STRUCTURES
- EXISTING WATER STRUCTURES
- EXISTING WATER STRUCTURES
- PROPOSED PARKING COUNT
- ▲ PROPOSED BUILDING ENTRANCE

Know what should **Call before you dig.**
 THE NATIONAL ARCHITECTURAL AND ENGINEERING CONTRACTORS ASSOCIATION (NAEECA) HAS DEVELOPED A NATIONAL CALL BEFORE YOU DIG PROGRAM. CONTACT US AT 1-800-4-A-HEADLINE FOR MORE INFORMATION.



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CORE STATES GROUP

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REVISIONS

REV	DATE	COMMENT	BY
1	09-19-15	PER SUBMITTER CORRECTION	DP
2	10-13-15	PER CLIENT COMMENTS	MV
3	11-23-15	PER LAND GRAB COMMENTS	MV
4	02-18-16	PER COUNTY COMMENTS	MV
5	02-25-16	PER ATTORNEY COMMENTS	MV
6	03-08-16	PER STAFF COMMENTS	MV
7	05-18-16	PER STAFF COMMENTS	MV
8	06-29-16	PER STAFFING PER STARLING	BP
9	08-05-16	PER STAFFING COMMENTS	MV

PROJECT: **SULLY STATION**
 CLIENT: **MACS RETAIL, LLC.**

SITE LOCATION:
5135 WESTFIELDS BOULEVARD CENTREVILLE, FAIRFAX COUNTY, VA



EXHIBIT TITLE:
OPEN SPACE EXHIBIT

JOB #: SUN 17794
 DATE: 08/19/15
 SCALE: 1"=20'
 DRAWN BY: DP
 CHECKED BY: AB



1 SITE PERSPECTIVE

SCALE NONE



2 SITE PERSPECTIVE

SCALE NONE



FOR ILLUSTRATIVE PURPOSES.
SUBJECT TO FINAL DESIGN

REV	DATE	DESCRIPTION	BY	CHKD	APP'D
2		REVISIONS			
1	04/23/2016	REVIEW FOR CLIENT COMMENTS	JCS	RJD	SAVM

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www.cornerstoneconsulting.com

CCEA #: 15-0373

SUNOCO, INC.
Retail Engineering
3801 West Chester Pike, Newtown Square, PA 19073

LOCATION: 5155 WESTFIELD BLVD
TOWN OF CENTREVILLE
FAIRFAX COUNTY, VIRGINIA

PROJECT NO.
MX13460

EXTERIOR PERSPECTIVE

APPROVED	RJD	FACILITY NO.	SCALE	AS SHOWN
CHECKED	SAVM	0597-7525		
DRAWN				
DATE	7-17-15			

SHEET 9 OF 16



1 SITE PERSPECTIVE

SCALE NONE



2 SITE PERSPECTIVE

SCALE NONE



FOR ILLUSTRATIVE PURPOSES.
SUBJECT TO FINAL DESIGN

REV	DATE	DESCRIPTION	DESIGNED BY	CHECKED BY
2	EXXON/EXXON	---	MBR	RJD
1	4/23/2016	REVIEWED PER CLIENT COMMENTS	JCS	RJD

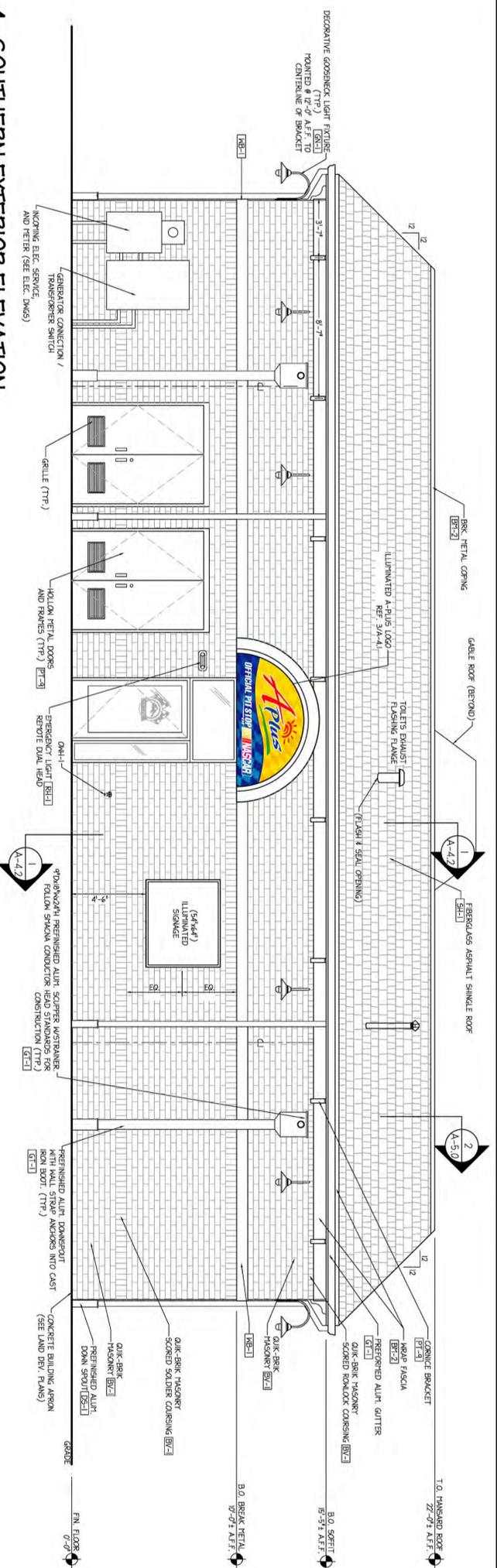
Cornerstone Consulting
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SUNOCO, INC.
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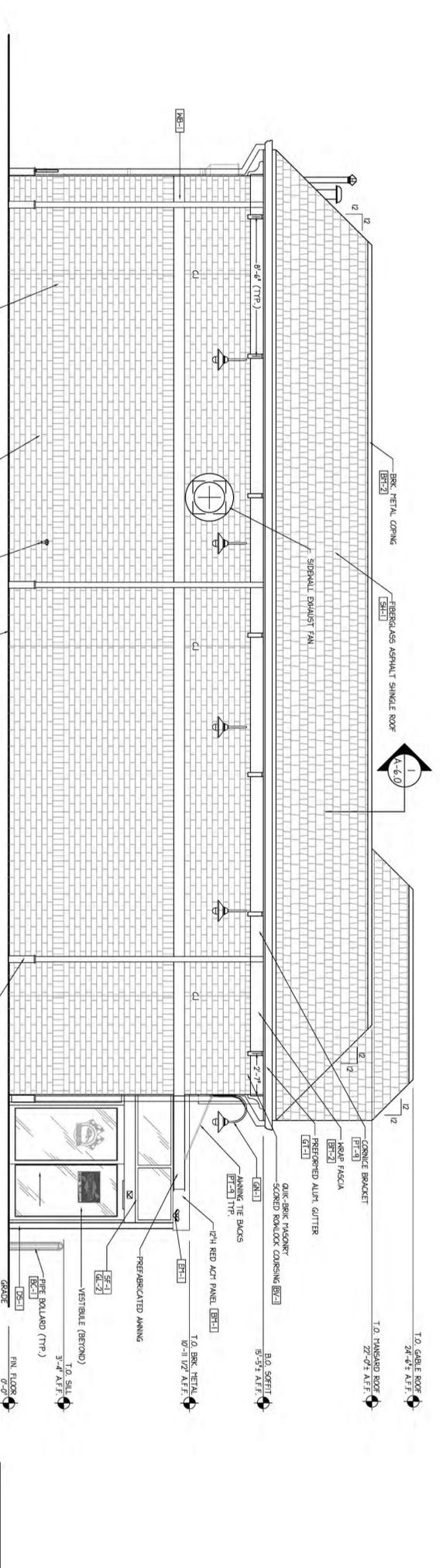
LOCATION: 5153 WESTFIELD BLVD
TOWN OF CENTREVILLE
FAIRFAX COUNTY, VIRGINIA

PROJECT NO. MX13460

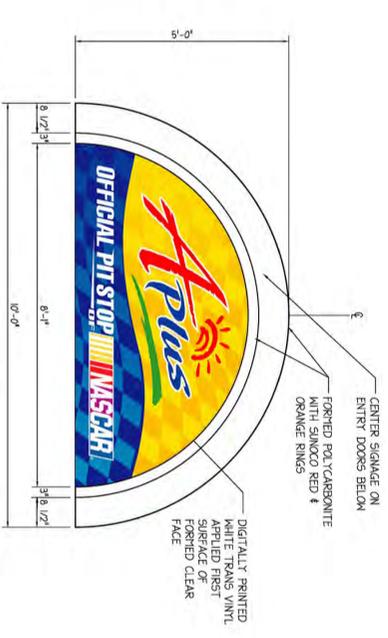
APPROVED	RJD	FACILITY NO.	SCALE	AS SHOWN
CHECKED	MWV	0597-7525		
DRAWN	CJD			
DATE	7-17-15			



1 SOUTHERN EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"



2 EASTERN EXTERIOR ELEVATION
SCALE: 1/4"=1'-0"



3 A PLUS ARCH DETAIL
SCALE: 1/2"=1'-0"

EXTERIOR FINISH SCHEDULE

KEY	FINISH MATERIAL	MANUFACTURER / MODEL	COLOR	SPECIFICATION / SIZE	LOCATION / NOTES	VENDOR CONTACT
B1-1	Quick-Brick Masonry	Quick-Brick	Hedgehog Brand	Brick Masonry	Exterior Walls	Quick-Brick (877) 536-2745
P1-9	Panel - Treatment	Shawn Williams	Refer to SW1754	Sign Glass Panel (Inlet or Door and Door Frames)	Doors and Frames (Item glass only)	Shawn Williams (610) 388-2000
BC-1	Board Cover	AGI/FCB Guard	Grey w/ 2 white stripes	7" Diameter	Locker/Pop Panel Details	AGI/FCB Guard (781) 486-0000
BH-1	Break Head - Red	ATIS International, Inc.	ATIS - 24 Red #17	Painted	Where noted on drawings - submit samples when specified	Joe Rygiel (per @ata.com) 484-553-4146
BH-2	Break Head - White	ATIS International, Inc.	ATIS - White # 10	Painted	Where noted on drawings when noted	Joe Rygiel (per @ata.com) 484-553-4146
GT-1	Grille / Suspense - White	ATIS International, Inc.	ATIS - White # 10	Painted (see plans for configurations)	Along rear exterior wall (see exterior elevations and roof plan for placement)	Joe Rygiel (per @ata.com) 484-553-4146
GT-2	Grille - Red	ATIS International, Inc.	ATIS - 24 Red #17	Painted	Where noted on drawings when specified (see exterior elevations)	Joe Rygiel (per @ata.com) 484-553-4146
DS-1	Downspout - White	ATIS International, Inc.	ATIS - White # 10	Exterior downspouts where specified (see exterior elevations)	Mounted at eave (termination over vestibule entry points)	Joe Rygiel (per @ata.com) 484-553-4146
SF-1	Sheetrock Framing - Clear Acoustic	Knauf Insulation - 118410 451 Series	Acoustic Aluminum - #14 (Clear)	457 Series w/ Z-System	On Wall at Egress Locations	Dave Trankter (dave.trankter@ata.com) 717-503-3300
RH-1	Rough Head Light Fixture	LSI - 5m Double Head Round	White (pre-finished)	HL-002N-04/08/06/07	Exterior Vestibule	Brian Renne (brenne@corr.com) 201-644-8182
EM-1	Emergency Light - Aluminum	Acoustic Aluminum - #14 (Clear)	White (pre-finished)	HL-002N-04/08/06/07	Exterior Vestibule	Brian Renne (brenne@corr.com) 201-644-8182
WB-1	Window	Program	Refer to RB1203	6" Extended	Per Plan	Program (410) 268-9715
GD-1	Standard Glazing	PPG Industries, Inc. - Solarban 72	Specify	1" Low E Insulating Glazing (see also SF-1 specification)	Where required glazing to 18" AFF and adjacent to entry assemblies	PPG Industries, Inc. (1-888-774-4333)
GD-2	Specialty Glazing	Vitreum	Grey 1008	1" Low E Insulating Glazing	Where required glazing to 18" AFF and adjacent to entry assemblies	Vitreum (800) 252-2000
GN-1	Concrete Exterior Light	LSI - Pradent Mounting Bracket	Red RB1203	20" Bracket	Building Exterior (see elevations for placement)	LSI Pradent Mounting Bracket (per @corr.com) 201-644-8182
SH-1	Structural Glass Stages	Owners/Contractor/Designer	Brownwood	Structural Glass	Handrail and Glass Rails	Owners/Contractor - 800-438-3485

NOTE: BUILDING MATERIALS AND DESIGN MAY BE MODIFIED AT TIME OF FINAL DESIGN PROVIDED THAT THE MODIFICATIONS ARE IN SUBSTANTIAL COMPLIANCE WITH THE DESIGN PRESENTED HEREIN.



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CCA #: 15-0373

SINOCO, INC.
Retail Engineering
3801 West Chester Pike, Newtown Square, PA 19073

LOCATION: 5153 WESTFIELD BLVD
TOWN OF CENTREVILLE
FAIRFAX COUNTY, VIRGINIA

PROJECT NO. MX13460

EXTERIOR ELEVATIONS & SCHEDULE

APPROVED: [Signature] DATE: 7/17/25
CHECKED: [Signature] DATE: 7/17/25

FACILITY NO. 0597-7525
DRAWING NO. SHEET 12 OF 16
REV. NO. 2

FOR ILLUSTRATIVE PURPOSES. SUBJECT TO FINAL DESIGN

TABLE 12.3 TREE PRESERVATION TARGET CALCULATIONS AND STATEMENT

STEP	TOTALS	REFERENCE
A	PRE-DEVELOPMENT AREA OF EXISTING TREE CANOPY (FROM EXISTING VEGETATION MAP) = 1,089 SF	
B	PERCENTAGE OF GROSS SITE AREA COVERED BY EXISTING TREE CANOPY =	3%
C	PERCENTAGE OF 10-YEAR TREE CANOPY REQUIRED FOR SITE (SEE TABLE 12.4) =	10%
D	PERCENTAGE OF THE 10-YEAR TREE CANOPY REQUIREMENT THAT SHOULD BE MET THROUGH TREE PRESERVATION =	3%
E	PROPOSED PERCENTAGE OF CANOPY REQUIREMENT THAT WILL BE MET THROUGH TREE PRESERVATION =	69%
F	HAS THE TREE PRESERVATION TARGET MINIMUM BEEN MET?	Yes
G	IF NO FOR LINE F, THEN A REQUEST TO DEVIATE FROM THE TREE PRESERVATION TARGET SHALL BE PROVIDED ON THE PLAN THAT STATES ONE OR MORE OF THE JUSTIFICATIONS LISTED IN § 12.0508.3 ALONG WITH A NARRATIVE THAT PROVIDES A SITE-SPECIFIC EXPLANATION OF WHY THE TREE PRESERVATION TARGET CANNOT BE MET. PROVIDE SHEET NUMBER WHERE DEVIATION REQUEST IS LOCATED.	N/A
H	IF STEP G REQUIRES A NARRATIVE, IT SHALL BE PREPARED IN ACCORDANCE WITH § 12.0508.4	SEE BELOW

NOTE:
PER DIRECTION FROM FAIRFAX COUNTY, 10% WAS DETERMINED TO BE THE ACCURATE TREE CANOPY COVERAGE REQUIRED.

TREE PRESERVATION NARRATIVE:
THE EXISTING VEGETATION ON THIS COMMERCIAL SITE CONSISTS OF MAPLE AND ZELKOVA TREES. THE ESTIMATED AGE FOR THESE TREES IS APPROXIMATELY 30+ YEARS OLD. THE PRIMARY TREE SPECIES CONSISTS OF THE FOLLOWING:

- ZELKOVA
 - RED MAPLE
- THE OVERALL HEALTH OF THE ZELKOVA AND MAPLE IS GOOD.

PLANTING SPECIFICATIONS:

1. PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS SHOWN, INCLUDING ALL LABOR, MATERIALS, PLANTS, EQUIPMENT, INCIDENTALS AND CLEAN-UP.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT THE CORRECT GRADES AND ALIGNMENT AS SHOWN ON THE LANDSCAPE PLAN.
3. PLANTS SHALL BE TYPICAL OF THEIR SPECIES, CULTIVAR OR VARIETY, HAVE NORMAL GROWTH HABITS, WELL DEVELOPED BRANCHES, DENSE FOLIAGE, VIGOROUS ROOT SYSTEM, AND FREEDOM FROM DEFECTS AND INJURIES.
4. THE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DEMENTAL TO THE GROWTH OF THE PROPOSED PLANT MATERIAL.
5. ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR TO BE IN A VIGOROUS GROWING CONDITION. PROVISIONS SHALL BE MADE AT THE BEGINNING OF THE FIRST SUCCEEDING GROWING SEASON.
6. INSUFFICIENTLY PACKAGED PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THAT THIS IS NOT POSSIBLE, THE CONTRACTOR SHALL STORE PLANTS IN A PROTECTED LOCATION UNTIL PLANTING. PLANTS SHALL NOT REMAIN UNPLANTED FOR LONGER THAN A (2) TWO DAY PERIOD AFTER DELIVERY.
7. QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALL SHALL BE IN ACCORDANCE WITH ANSI Z60.1 (REV. 1986) AMERICAN STANDARDS FOR NURSERY STOCK AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN, INC.
8. ALL PLANTS SHALL BE PLANTED IN AN APPROVED BACKFILL MEDIUM THAT IS THOROUGHLY WATERED AND TAMPED AS SHOWN ON THE LANDSCAPE PLAN. PLANTS SHALL BE PLANTED WITH PROPER SPACING AND PROPER SOIL. PLANTS SHALL NOT BE BOUND AT ANY TIME WITH WIRE OR ROPE AS TO DAMAGE THE BARK OR BRANCHES. PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE ROOT BALL ONLY.
9. PLANTS SHALL NOT BE BOUND AT ANY TIME WITH WIRE OR ROPE AS TO DAMAGE THE BARK OR BRANCHES. PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE ROOT BALL ONLY.
10. PLANTING OPERATIONS SHALL BE PERFORMED DURING HOURS WITHIN THE PLANTING SEASON WHEN WEATHER AND SOIL CONDITIONS ARE SUITABLE AND IN ACCORDANCE WITH APPLICABLE LOCAL PROVISIONS.
11. ALL PLANTS SHALL BE SET PLUMB AND STRAIGHT, AT SUCH A LEVEL THAT AFTER SETTLEMENT, A NORMAL RELATIONSHIP EXISTS BETWEEN THE CENTER OF THE PLANT AND THE CENTER OF THE PLANTING PIT.
12. EACH PLANT SHALL BE PLANTED IN ACCORDANCE WITH THE STANDARD HORIZONTAL ROOT PRUNING TO PRESERVE THE CENTRAL LEADER OF THE PLANT. BRANCHES SHALL BE CUT WITH A CLEAN SHARP TOOL. BRANCHES TO BE RETAINED SHOULD BE THOROUGHLY WATERED AND TAMPED AS SHOWN ON THE LANDSCAPE PLAN. LONG SIDE BRANCHES SHOULD BE SHORTENED.
13. ALL NURSERY ROOTS SHALL BE PRUNED PRIOR TO PLANTING. IT IS ADVISABLE TO PRUNE THE BRANCHES WHICH CROSS THE CENTRAL LEADER OF TREES SHOULD NOT BE CUT. LONG SIDE BRANCHES SHOULD BE SHORTENED.
14. ANY DISCREPANCY BETWEEN THE PLANS AND FIELD CONDITIONS SHALL BE RESOLVED BY THE LANDSCAPE ARCHITECT AND CONTRACTOR IN THE FIELD.
15. ALL PLANTS SHALL BE GUARANTEED BY THE CONTRACTOR FOR A PERIOD OF (2) TWO YEARS FROM THE COMPLETION DATE OF THE INSTALLATION.
16. ALL PLANTS SHALL RECEIVE (3) THREE INCHES OF SHREDED BARK MULCH.

TABLE 12.10 10-YEAR TREE CANOPY CALCULATION WORKSHEET

STEP	TOTALS	REFERENCE
A	PLACE THE TREE PRESERVATION TARGET CALCULATIONS AND STATEMENT HERE PRECEDING THE 10-YEAR TREE CANOPY CALCULATIONS	SEE § 12.0508.2 FOR LIST OF REQUIRED ELEMENTS AND WORKSHEET
B	TREE PRESERVATION TARGET AND STATEMENT	
B1	IDENTIFY GROSS SITE AREA =	\$ 12,051.1A
B2	SUBTRACT AREA DEDICATED TO PARKS, ROAD FRONTAGE, AND	\$ 12,051.1B
B3	SUBTRACT AREA OF EXEMPTIONS =	\$ 12,051.1C(1) THROUGH \$ 12,051.1C(6)
B4	ADJUSTED GROSS SITE AREA (B1 - B2) =	
B5	IDENTIFY SITE ZONING AND/OR USE	PLANNED DEVELOPMENT HOUSING
B6	PERCENTAGE OF 10-YEAR TREE CANOPY REQUIRED =	10%
B7	AREA OF 10-YEAR TREE CANOPY REQUIRED (B4 X B6) =	3,735.10 SF
B8	MODIFICATION OF 10-YEAR TREE CANOPY REQUIREMENTS REQUESTED?	NO
C	TREE PRESERVATION (3,736.1 SF X 3% = 112.69 SF) - SEE SHEET 14 FOR TREES BEING SAVED	
C1	TREE PRESERVATION TARGET AREA =	112.69 SF
C2	TOTAL CANOPY AREA MEETING STANDARDS OF § 12.0400 =	749.56 SF
C3	C2 X 1.25 =	936.95 SF
C4	TOTAL CANOPY AREA PROVIDED BY UNIQUE OR VALUABLE FOREST OR WOODLAND COMMUNITIES =	0
C5	C4 X 1.5 =	0
C6	TOTAL OF CANOPY AREA PROVIDED BY "HERITAGE," "MEMORIAL," "SPECIMEN," OR "STREET" TREES =	0
C7	C6 X 1.5 TO 3.0 =	0
C8	CANOPY AREA OF TREES WITHIN RESOURCE PROTECTION AREAS AND 100-YEAR FLOOD PLAINS =	0
C9	C8 X 1.0 =	0
C10	TOTAL OF C3, C5, C7 AND C9 =	936.95 SF
D	TREE PLANTING	
D1	AREA OF CANOPY TO BE MET THROUGH TREE PLANTING (97-C10) = 3,736.1 SF - 936.95 SF	2,819.15 SF
D2	AREA OF CANOPY PLANTED FOR AIR QUALITY BENEFITS =	2,280 SF
D3	X 1.5 =	3,375 SF
D4	AREA OF CANOPY PLANTED FOR ENERGY CONSERVATION	0 SF
D5	X 1.5 =	0 SF
D6	AREA OF CANOPY PLANTED FOR WATER QUALITY BENEFITS =	0 SF
D7	X 1.5 =	0 SF
D8	AREA OF CANOPY PLANTED FOR WILDLIFE BENEFITS =	0 SF
D9	X 1.5 =	0 SF
D10	AREA OF CANOPY PROVIDED BY NATIVE TREES =	0 SF
D11	X 1.5 =	0 SF
D12	AREA OF CANOPY PROVIDED BY IMPROVED CULTIVARS AND VARIETIES =	0 SF
D13	X 1.25 =	\$ 12,051.04B(6)
D14	AREA OF CANOPY PROVIDED THROUGH TREE SEEDLINGS =	0 SF
D15	X 1.0 =	\$ 12,051.04D(1)
D16	PERCENTAGE OF D14 REPRESENTED BY D15 =	0 SF
D17	TOTAL OF CANOPY AREA PROVIDED THROUGH TREE PLANTING	3,375 SF
D18	IS AN OFF-SITE PLANTING RELIEF REQUESTED?	NO
D19	TREE BANK OR TREE FUND?	NO
D20	CANOPY AREA REQUESTED TO BE PROVIDED THROUGH OFF-SITE BANKING OR TREE FUND	0 SF
D21	AMOUNT TO BE DEPOSITED INTO THE TREE PRESERVATION AND PLANTING FUND	0 SF
E	TOTAL OF 10-YEAR TREE CANOPY PROVIDED	
E1	TOTAL OF CANOPY AREA PROVIDED THROUGH TREE PRESERVATION (C10) =	936.95 SF
E2	TOTAL OF CANOPY AREA PROVIDED THROUGH TREE PLANTING (D17) =	3,375 SF
E3	TOTAL OF CANOPY AREA PROVIDED THROUGH OFF-SITE MECHANISM (D19) =	0 SF
E4	TOTAL OF 10-YEAR TREE CANOPY PROVIDED = (E1 + E2 + E3)	4,311 SF

CORE STATES GROUP

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REVISIONS

REV#	DATE	COMMENT	BY
1	09-19-15	PER GREGG OBER	DP
2	10-13-15	PER CLIENT	MV
3	11-23-15	PER LAND GRD	MV
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6	03-08-16	PER STAFF	MV
7	05-18-16	PER STAFF	MV
8	06-29-16	PER STAFFING	BP
9	08-05-16	COMMENTS	MV

DOCUMENT: **RDDA**

PROJECT: **SULLY STATION**

CLIENT: **MACS RETAIL, LLC.**

SITE LOCATION: **5135 WESTFIELDS BOULEVARD CENTREVILLE, FAIRFAX COUNTY, VA**

ENGINEER: **ABODENSCHATZ**

PROFESSIONAL ENGINEER: **ABODENSCHATZ**

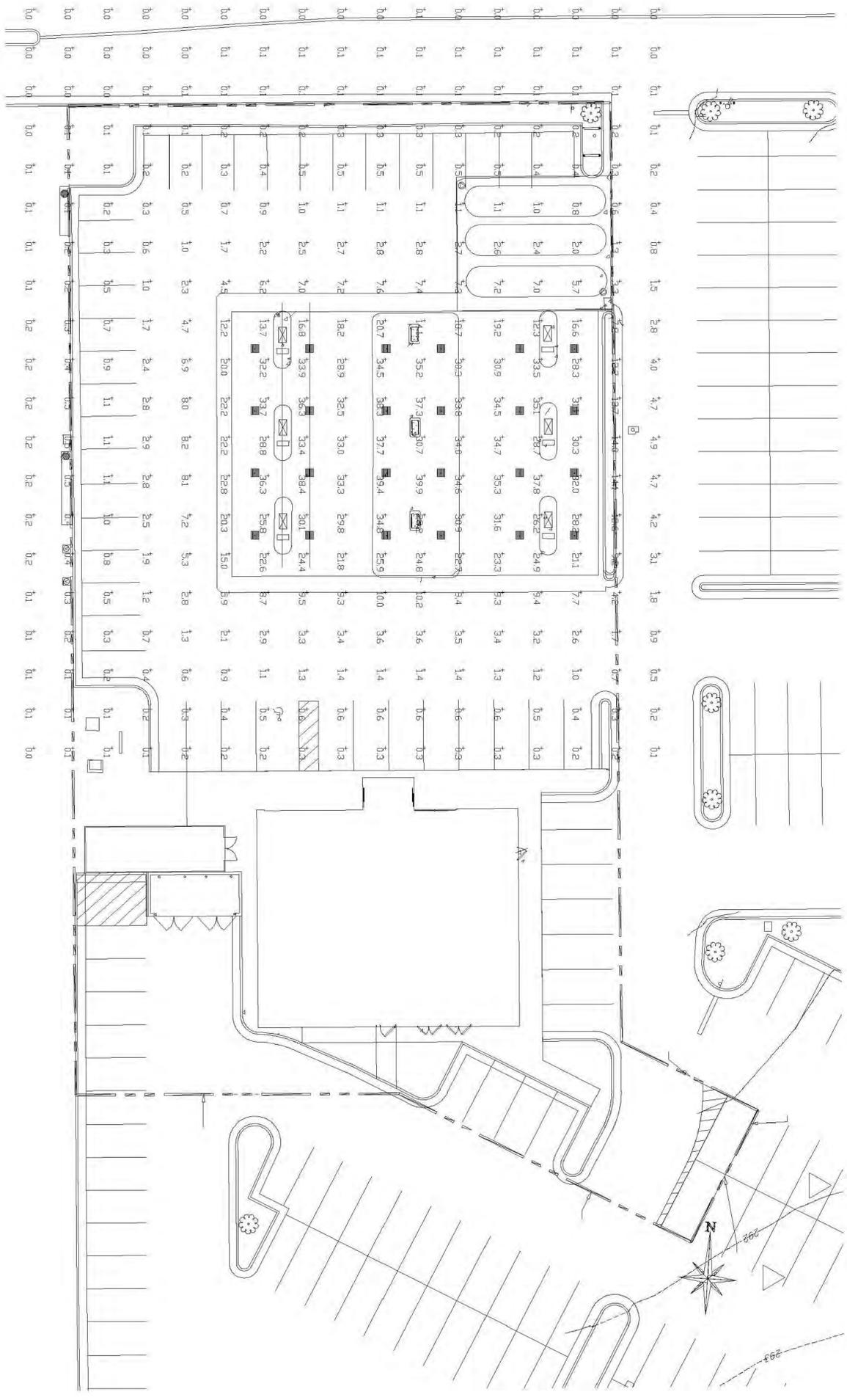
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DRAWN BY: **DP**

CHECKED BY: **AB**

SHEET NO.: **15**

OF **16**



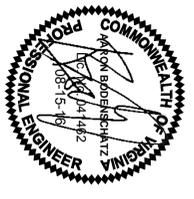
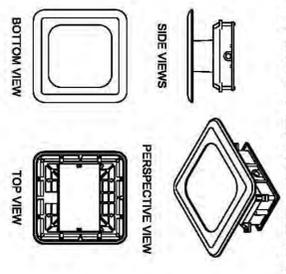
Symbol	Qty	Label	Arrangement	Description	LLF	Lumens/Lamp	Arr. Lum. Lumens	Arr. Watts
	24	A	SINGLE	CRUS-SC-LED-LV-CV-UFC	1.000	N/A	10871	879

Calculation Summary							
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min
ALL CALC POINTS	FC	FC	723	399	0.0	N/A	N/A
UNDER CANOPY SUMMARY	Illuminance	FC	28.30	39.9	12.2	2.32	3.27

Drawing scaled or converted from PDF file or scanned / submitted image. Dimensions are approximate.

Based on the information provided, all dimensions and luminaire locations shown represent recommended positions. The engineer and/or architect must determine the applicability of the layout to existing or future field conditions. The lighting plan represents illumination levels calculated from laboratory data taken under controlled conditions in accordance with The Illuminating Engineering Society (IES) approved methods. Actual performance of any manufacturer's luminaires may vary due to changes in electrical voltage, tolerance in lamps/LED's and other variable field conditions. Calculations do not include obstructions such as buildings, curbs, landscaping or any other architectural elements unless noted.

CRUS-SC-LED LED CANOPY LIGHT - LEGACY



Total Product Watts
Total Watts = 2096



LIGHTING PROPOSAL L0-13340

SINER
5108 WESTFIELD BLVD
FAIRFAX COUNTY, VA
PHONE: 703-998-9816 FAX: 703-998-9816

DESCRIPTION OF THE APPLICATION

The applicant, MACS Retail, LLC, requests to modify the proffers and the conceptual and final development plans approved for approximately 37,561.8 square feet within the 14.35-acre Sully Station Shopping Center to modify the existing service station to add three pumps for a total of nine pumps under the existing canopy, remove the 530-square foot retail kiosk, and construct a 3,520-square foot quick service food store and a 390-square foot storage building. Parking would be modified, resulting in a reduction of 32 spaces. The service station does not include service bays. The overall development will remain at 0.24 FAR.

A reduced copy of the Conceptual/Final Development Plan Amendment (CDPA/FDPA) is included at the front of this report. The applicant's draft proffers and staff's proposed FDPA conditions are included in Appendices 1 and 2, respectively. The applicant's statement of justification and affidavit are included in Appendices 3 and 4, respectively.

Waivers and Modifications Requested:

The applicant requests approval of the following waivers and modifications:

- reaffirmation of the modification of transitional screening and barrier requirements;
- waiver of the loading space requirement; and
- modification of the open space requirement for the FDPA area.

LOCATION AND CHARACTER

The subject property consists of a 37,562-square foot portion of the Sully Station Shopping Center located southeast of the intersection of Stonecroft Boulevard and Westfields Boulevard. The property is developed with a gas station with six fuel pumps and a retail kiosk under a lighted canopy, and surface parking. The gas station is located adjacent to a main entrance to the shopping center off Westfields Boulevard.

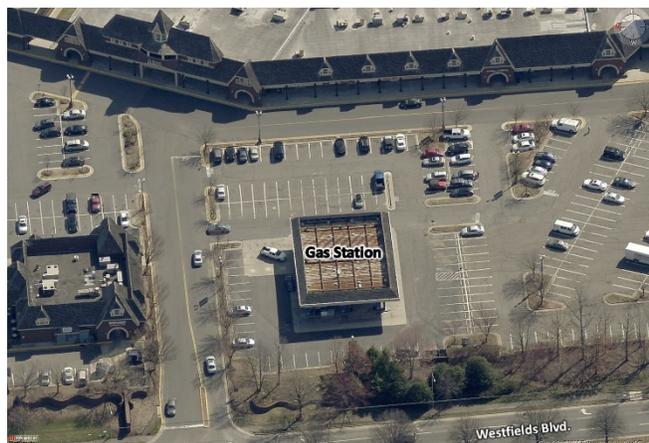


Figure 1: Source Pictometry, 2015 Imagery with added annotations

The surrounding area is shown on the map below, with the gas station identified. The parcel boundary for Lot B3 is displayed, as well as the approximate boundaries of the FDPA area.

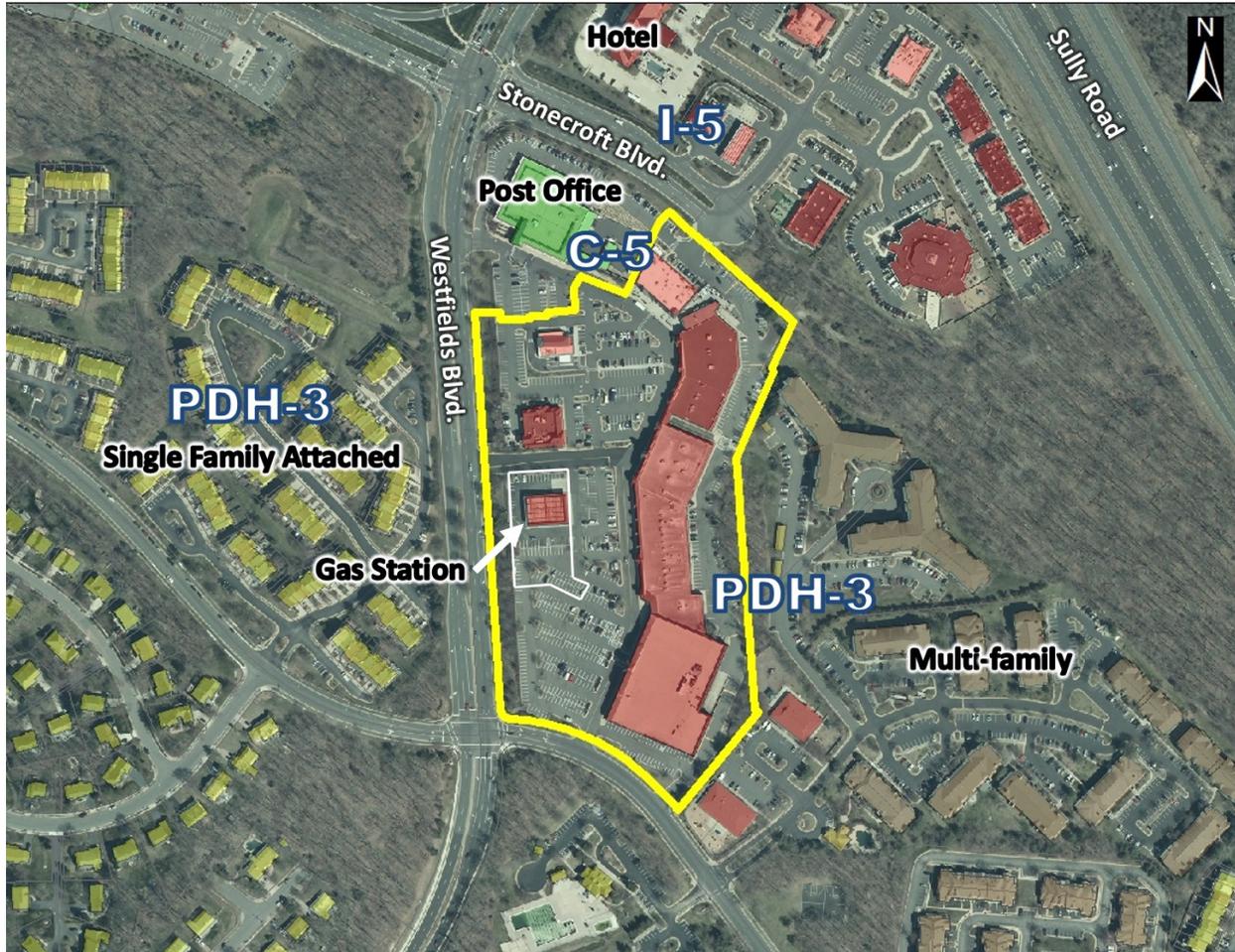


Figure 2: Source Fairfax County GIS, 2013 Imagery with added annotations

BACKGROUND

The following zoning applications relate to the Sully Station Shopping Center.

Application	Date	Description
RZ 84-S-027	Sept. 24, 1984	Rezoned approximately 329 acres located on the northeast side of Braddock Road from R-3, R-2, R-C and I-3 to the PDH-3, R-2, R-3 and I-3 Districts to permit development of the Sully Station mixed use project.

RZ 85-S-013, PCA 84-S-027-01, FDP 84-S-027-02	March 10, 1986	Rezoned approximately 5.93 acres located near the intersection of Westfields Boulevard and Stonecroft Boulevard to the C-5 District to permit expansion of the Sully Station Shopping Center by about 17 acres. (The proposed application is not within the area that was subject to this rezoning.) Approved the FDP and amended the proffers for the Sully Station Shopping Center. The tabular data provided in Proffer 9 indicated that the maximum permitted floor area under the original approvals was 240,000 square feet (163,000 on the PDH-3 portion and 77,000 on the C-5 portion).
FDPA 84-S-027-02	May 16, 1990	Established a gasoline service station on a pad site within the Sully Station Shopping Center.
PCA 84-S-027-03, FDPA 84-S-027-03, PCA 85-S-013	August 3, 1992	Approved a drive-thru restaurant and a drive-in bank in the C-5 portion of the shopping center and the possible relocation of an entrance to a future section of Stonecroft Boulevard along the western boundary of the PDH-3 portion of the shopping center. The associated proffers reaffirmed all previous proffers.
PCA 85-S-013-03, PCA 84-S-027-6, FDPA 84-S-027-4, SE 01-Y-040	Jan. 7, 2002	These concurrent applications approved the following changes for the Sully Station Shopping Center: 1) amendments to the proffers for RZ-85-S-013 and RZ-84-S-027 to permit fast food restaurants in the C-5 and PDH-3 portions of the shopping center, 2) clarifications of the permitted uses in the PDH-3 and C-5 zoning districts within the shopping center, and 3) the establishment of the fast food restaurant use in an existing shopping center. The applications reaffirmed the proffers associated with the Property, including those approved by the Board of Supervisors on September 24, 1984 and March 10, 1986, as reaffirmed on August 3, 1992.
PCA 84-S-027-07, FDPA 84-S-027-05, PCA 85-S-013-04, SEA 01-Y-040	May 7, 2007	Approved the addition of a free-standing drive-in bank and 12,600 sq.ft. of retail space to the in-line shopping center. Previous proffers were reaffirmed.

The previously approved proffers applicable to the subject property will remain in effect except as modified with this application. Copies of the previous applications outlined above are available for review at the Department of Planning and Zoning, Zoning Evaluation Division, 12055 Government Center Parkway, Suite 801.

COMPREHENSIVE PLAN PROVISIONS

The Comprehensive Plan map designates this area for Retail and Other Commercial Uses. On page 55 of the Fairfax County Comprehensive Plan, 2013 Edition, Area III, Bull Run Planning District, Flatlick Community Planning Sector (BR-3), as amended through November 17, 2015, it states:

3. *Land at the southeast quadrant of the intersection of Westfields and Stonecroft Boulevards (Tax Map 44-3((7))A, B, B1, C, C1) is planned and developed as retail use at .25 FAR. Land at the southwest quadrant of the intersection of Westfields and Stonecroft Boulevards (Tax Map 44-3((1))7G and 12) is planned for public facilities and governmental uses.*

DESCRIPTION OF THE CONCEPTUAL/FINAL DEVELOPMENT PLAN AMENDMENT (CDPA/FDPA)

The CDPA/FDPA titled "Proffered Condition Amendment, Final Development Plan Amendment for Sully Station Shopping Center," prepared by Core States Group and consisting of 16 sheets dated June 19, 2015, as revised through August 3, 2016, is reviewed below.

Site Layout and Access

The primary access points to the gas station, the existing canopy and six fuel pumps are proposed to remain. The existing retail kiosk that is located under the canopy will be removed and three fuel pumps will be added in this location. The proposed quick service food store is to be located to the south of the canopy and an additional drive aisle will be created west of the store. The main building entrance is proposed to be oriented to the canopy with pedestrian access provided to the building entrances. The site modifications would result in the net loss of 32 parking spaces. The FDPA includes a new trash enclosure and a 390-square foot storage building located to the west of the store.

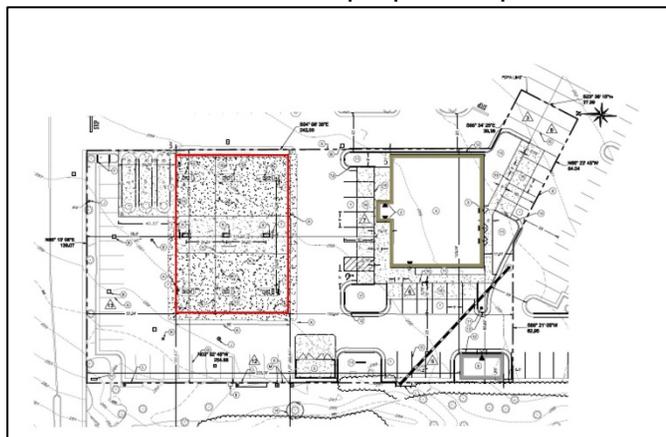


Figure 3: Source FDPA Sheet 6 with added graphics

Parking

A total of 685 parking spaces are required to serve the existing shopping center and the proposed 3,910 gross square feet for the quick service food store and storage building; 688 spaces are provided on Lot B3. This tabulation does not include parking located on Lot B2 for the post office. Parking for the gas station and quick service food store is located to the front, rear and on the west side of the store, and to the north and west of the canopy. The drive aisles would be a minimum of 23 feet wide.

Open Space and Landscaping

The FDPA area consists of 0.86 acres (37,561.8 square feet) developed with an existing gas station and associated parking. As shown on Sheet 7, the plan provides for 13 percent open space within the FDPA area and reduces impervious surfaces by 602 square feet. As part of the site modifications, five existing interior parking lot trees are proposed to be removed and replaced with nine new trees. The existing trees along the shopping center entrance will remain and will be supplemented with additional shrubs. The landscape buffer between the gas station and Westfields Boulevard is not included within the FDPA area and will not be affected by the proposed development.

Stormwater Management

Stormwater management, including best management practices (BMPs), is provided off-site with the previously designed and constructed pond located to the west of Westfields Boulevard. A Stormwater Management Ordinance Determination (Appendix 6) was approved for the proposed development finding that the site is adequately served by an existing facility.

Architecture and Design

Sheets 9 through 12 display conceptual perspective and elevation views of the proposed quick service food store and other site improvements. The proposed store, trash enclosure and storage building are proposed to be brick to match the existing shopping center. The maximum height will be 40 feet.



Figure 4: Source FDPA Sheet 9

ANALYSIS

Conformance with Proffers

As indicated in the Background section above, the site is subject to a series of proffers and conditions which are on file with the Department of Planning and Zoning, Zoning Evaluation Division. The applicant proposes to amend Proffer 19 approved in 1986 which excluded convenience stores from the approved commercial uses to allow the proposed 3,520-square foot quick service food store. The proposed quick service food store expands and modernizes the existing retail kiosk associated with the gas station, and staff does not believe that the store will adversely impact the shopping center or the surrounding area. The applicant also proposes to amend Proffer 4 approved in 2007 to increase the gross floor area to 149,995 square feet, based on the previously approved floor area of 146,615 square feet plus the proposed net increase of 3,380 square feet. With the modest increase of floor area, the FAR of the overall shopping center remains at 0.24, which is below the approved maximum of 0.25 FAR. The application results in an increase in pervious area and therefore the overall open space for the shopping center is not affected. The conditions previously approved as part of FDPA 84-S-027-2-1 for the gas station are no longer germane to the subject application based on staff review of the proposed redesign of the site.

Transportation Analysis (Appendix 5)

The Fairfax County Department of Transportation (FCDOT) and the Virginia Department of Transportation have reviewed the subject application. The gas station and associated retail use are located within a large shopping center, adjacent to a high volume minor arterial roadway, Westfields Boulevard. The shopping center is served by two entrances from Westfields Boulevard, one from Sequoia Farms Drive and one from Stonecroft Boulevard. In the transportation review, staff did not identify concerns with site trip generation or impacts to the local street network. In response to staff recommendations, the applicant revised the layout to provide an additional drive aisle to the west of the store. Staff believes that this additional drive aisle will improve the

overall circulation of the site.

For pedestrian access, staff requested that the applicant explore providing a connection from the trail along Westfields Boulevard to the store. Based on the review, it was determined that there is insufficient space to provide a sidewalk along the entrance drive, and a connection through the buffer would result in impacts to existing vegetation and topography. Any future redevelopment of the shopping center should include consideration of improved pedestrian access.

As noted in the review by FCDOT, the AutoTURN analysis prepared by the applicant indicates that the fuel delivery truck accesses the site from the main shopping center entrance immediately north of the gas station. In order to negotiate the right turn to the gas station, the truck encroaches into the opposing travel lane of the main drive aisle. It is recommended that the applicant consider an alternative, safer fuel delivery route(s) that will occur at off-peak times.

Stormwater, Environmental and Urban Forest Management Analyses (Appendices 6, 7 and 8)

Stormwater Management: Sully Station Shopping Center is served by an existing stormwater management facility located west of Westfields Boulevard. The proposed application was issued a Stormwater Management Ordinance Determination which found that the proposed development is considered to be grandfathered and subject to Article 5 of the Stormwater Management Ordinance. The proposed land disturbing activities result in an increase in pervious area by 602 square feet and therefore, do not change the land use assumptions upon which the existing facility was based. No outstanding stormwater management concerns were identified during the review.

Lighting: On Sheet 16 of the FDPA, the applicant provided a photometric plan of the existing canopy lighting. The lights are full cutoff and the average lighting under the canopy is 28.3 footcandles which complies with Par. 1 of Sect. 14-903 of the Zoning Ordinance. It should be noted that although the illustrative elevations on Sheets 11 and 12 depict lights for the store which are not full cut-off, a proposed development condition requires all new lighting to conform to Article 14 of the Zoning Ordinance, which does require full cut-off lighting fixtures.

Green Building: The applicant has agreed to a list of green building commitments which are included in the proposed development conditions to address the Comprehensive Plan guidance for energy efficiency.

Urban Forest Management: During the review, the applicant revised the plan to incorporate additional trees to meet interior parking lot landscaping and 10-year tree canopy requirements. The applicant has revised the 10-year tree canopy calculations on Sheet 15 in consultation with the Urban Forest Management Division.

ZONING ORDINANCE PROVISIONS

Planned Development Housing District (PDH)

The PDH District is established to encourage innovative and creative design and to facilitate use of the most advantageous construction techniques in the development of land for residential and other selected secondary uses. The district regulations are designed to insure ample provision and efficient use of open space; to promote high standards in the layout, design and construction of residential development; to promote balanced developments of mixed housing types; to encourage the provision of dwellings within the means of families of low and moderate income; and, to otherwise implement the stated purpose and intent of the Zoning Ordinance. To these ends, rezoning to and development under this district will be permitted only in accordance with a development plan prepared and approved in accordance with the provisions of Article 16.

Staff's review of the development's conformance with the standards for all planned developments is contained below.

Standards for all Planned Developments (Sect. 16-100)

Section 16-101 contains six general standards that a planned development must meet. In addition, Sect. 16-102 contains three design standards that all Conceptual and Final Development Plans must satisfy. These standards are summarized below and contained in Appendix 12.

General Standards (Sect. 16-101)

General Standard 1 requires that the planned development substantially conform to the adopted Comprehensive Plan with respect to type, character and intensity.

The subject property is planned for Retail and Other Commercial Uses. The applicant's proposed use and intensity of 0.24 FAR is in conformance with the recommendations of the Comprehensive Plan. Therefore, staff finds that the application meets this standard.

General Standard 2 requires that the planned development achieve the stated purpose and intent of the planned development district more than under a conventional district.

The application pertains to a pad site within a shopping center that serves the surrounding residential community that was subject to the original 1984 rezoning (RZ 84-S-027) of 329 acres to the PDH District.

General Standard 3 requires the planned development to efficiently utilize the land and preserve scenic and natural features to the extent possible.

The proposed plan allows for construction of a new 3,520-square foot quick service food store while increasing pervious area and landscaping, and improving site circulation. As

such, staff finds that the application meets this standard.

General Standard 4 requires that the planned development be designed to prevent substantial injury to surrounding development and not deter or impede development.

The proposed modifications to the existing service station within the Sully Station Shopping Center maintain adequate parking in accordance with the Zoning Ordinance and improve site circulation. In addition, the architectural elevations indicate that the store, trash enclosure and storage building will have a brick exterior and will be compatible with the design of the existing center. In response to staff comments during the review process, the applicant relocated and reduced the size of the proposed storage building. Therefore, staff believes that the proposed application would not adversely impact the shopping center. Additionally, no adverse impacts to the transportation network or other public facilities have been identified. With the existing vegetative buffer, no impacts to surrounding properties are anticipated. In staff's opinion, the proposed development on the subject property will not deter or impede development on the surrounding parcels in accordance with the Comprehensive Plan.

General Standard 5 requires the planned development to be located in an area with adequate public facilities.

The proposed development would not adversely impact sanitary sewer capacity and will be serviced by Fairfax Water (Appendices 9 and 10).

General Standard 6 requires that the planned development provide coordinated linkages.

Although a pedestrian trail exists along Westfields Boulevard, it was determined that a connection would result in adverse impacts to the existing vegetated buffer. As previously noted, any future redevelopment of the shopping center should consider improving pedestrian circulation and providing additional connections to the trail along Westfields Boulevard.

Design Standards (Sect. 16-102)

Design Standard 1 states that in order to complement development on adjacent properties, at all peripheral boundaries of the PDH, PRM, PDC, PRC Districts the bulk regulations and landscaping and screening provisions shall generally conform to the provisions of that conventional zoning district which most closely characterizes the particular type of development under consideration.

The C-5 District (Neighborhood Retail Commercial) is the closest conventional zoning district for the proposed type of development. The FDPA area is situated interior to the parcel, but adjoins the landscaped buffer along Westfields Boulevard. The proposed store is located approximately 69 feet from the FDPA boundary along Westfields Boulevard, and approximately 119 feet from the front property line, which exceeds the minimum front

yard requirement of not less than 40 feet for the C-5 District.

Design Standard 2 states that, other than those regulations specifically set forth in Article 6 for a particular P district, the open space, off-street parking, loading, sign and all other similar regulations set forth in this Ordinance shall have general application in all planned developments.

Except as discussed under Waivers and Modifications below, the proposed development complies with the applicable provisions of the Zoning Ordinance and will be required to comply with these regulations during subsequent stages of the development process.

Design Standard 3 states that streets and driveways shall be designed to generally conform to the provisions set forth in this Ordinance and all other County ordinances and regulations controlling the same, and where applicable, street systems shall be designed to afford convenient access to mass transportation facilities. In addition, a network of trails and sidewalks shall be coordinated to provide access to recreational amenities, open space, public facilities, vehicular access routes, and mass transportation facilities.

The parking and drive aisles will be required to conform to the standards of the Zoning Ordinance and the Public Facilities Manual. As previously noted, a pedestrian trail exists along Westfields Boulevard. It was determined that direct access to the trail from the proposed FDPA area would result in impacts to the existing landscaped buffer, but staff recommends that pedestrian access be considered with future applications.

Overall, in staff's opinion the application satisfies the General Standards and Design Standards for Planned Developments.

Waivers and Modifications

Transitional screening and barrier

With previous applications for the shopping center, the Board of Supervisors has approved and reaffirmed a modification of the transitional screening and barrier requirements along Westfields Boulevard. Since this application proposes new construction on the site, the applicant requests that the modification be reaffirmed in favor of the existing landscaped vegetation. The FDPA area does not encompass or impact the landscape buffer which has matured and provides effective screening. The proposed conditions for tree preservation and tree protection fencing will protect the off-site trees within the buffer.

Loading space

The applicant requests a waiver of the loading space requirement of Sects. 11-202(14) and 203 of the Zoning Ordinance for the quick service food store. The applicant has indicated that loading for the store will take place once a week, early in the morning.

Deliveries typically take 15 to 30 minutes. The applicant proposes that the truck park on the west side of the canopy in such a way that vehicles can circulate around the truck to minimize impacts on site circulation. A proposed condition is included to require that the loading take place from the west side of the canopy during non-peak hours. With this condition, staff does not believe that loading functions will impede other vehicular or pedestrian circulation, and staff does not object to the requested waiver.

Open space

The applicant requests a modification of the open space requirement for the FDPA area to 13 percent. The PDH-3 District requires a minimum of 20 percent of the gross area to be maintained as open space, and this requirement was satisfied with the overall development of the shopping center. The proposed application increases open space and pervious area within the FDPA area; however, because the application pertains to a small portion of the shopping center, 20 percent open space was not achievable within the application area.

CONCLUSIONS AND RECOMMENDATIONS

Staff Conclusions

The applicant requests approval to amend the proffers and development plan to add three fuel pumps and replace a 530-square foot retail kiosk with a 3,520-square foot quick service food store and a 390-square foot storage building with an overall FAR of 0.24. The proposed store will complement the existing shopping center. Staff concludes that the application conforms to the applicable provisions of the Comprehensive Plan and the Zoning Ordinance.

Recommendations

Staff recommends approval of PCA 84-S-027-08, subject to the execution of proffers consistent with the draft proffers contained in Appendix 1.

Staff recommends approval of FDPA 84-S-027-06, subject to the proposed development conditions contained in Appendix 2 and the Board of Supervisors' approval of the associated proffered condition amendment.

Staff recommends approval of a reaffirmation of the modification of the transitional screening and barrier requirements of Sects. 13-303 and 304 of the Zoning Ordinance in favor of the existing landscaped vegetation.

Staff recommends approval of a waiver of the loading space requirement of Sect. 11-200 of the Zoning Ordinance for the FDPA area, as conditioned.

Staff recommends approval of a modification of the open space requirement pursuant to Sect. 6-110 of the Zoning Ordinance for the FDPA area to permit 13 percent in lieu of 20 percent.

It should be noted that it is not the intent of staff to recommend that the Board, in adopting any conditions proffered by the owner, relieve the applicant/owner from compliance with the provisions of any applicable ordinances, regulations, or adopted standards. The approval of this application does not interfere with, abrogate or annul any easements, covenants, or other agreements between parties, as they may apply to the property subject to this application.

It should be further noted that the content of this report reflects the analysis and recommendations of staff; it does not reflect the position of the Board of Supervisors.

APPENDICES

1. Draft Proffers
2. Proposed Development Conditions
3. Statement of Justification
4. Affidavit
5. Fairfax County Department of Transportation and Virginia Department of Transportation Review
6. Site Development and Inspections Division Review
7. Environmental and Land Use Review, EDRB
8. Urban Forest Management Division Review
9. Wastewater Planning & Monitoring Division Review
10. Fairfax Water Review
11. Fairfax County Health Department Review
12. Zoning Ordinance Provisions
13. Glossary

PROFFERS**MACS RETAIL LLC****PCA 84-S-027-08****August 3, 2016**

Pursuant to Section 15.2-2303(a) Code of Virginia, 1950, as amended, MACS Retail LLC (hereinafter referred to as the "Applicant") and Sully Station, LLC (hereinafter referred to as the "Title Owner/Lessor") for themselves, successors and assigns in PCA 84-S-027-08, filed for property identified as Tax Map 44-3 ((7)) B3 (part) comprised of approximately 0.86 acre (hereinafter referred to as the "Application Property") hereby proffer that the development of the Application Property shall be in accordance with the following proffers, provided that the Board of Supervisors approves PCA 84-S-027-08. All other existing proffers affecting the Application Property shall remain in full force and effect and are not modified by these proffers except where inconsistent, in which case these proffers shall supersede.

1. FINAL DEVELOPMENT PLAN

- a. Subject to the provisions of 16-402 and 18-204 of the Fairfax County Zoning Ordinance (hereinafter referred to as the "Zoning Ordinance"), development and use of the Application Property shall be in substantial conformance with the Proffered Condition Amendment/Final Development Amendment Plan (the "FDPA") consisting of thirteen (13) sheets, prepared by Core States Group dated June 19, 2015 and revised through August 3, 2016.
- b. Subject to the provisions of Section 18-204 of the Zoning Ordinance, minor modifications to the FDPA may be permitted as determined by the Zoning Administrator.
- c. As shown on the FDPA, the Applicant hereby amends Proffer 19 of PCA 84-S-027-01 to allow development of the Application Property with a service station and quick service food store.

4. GROSS FLOOR AREA

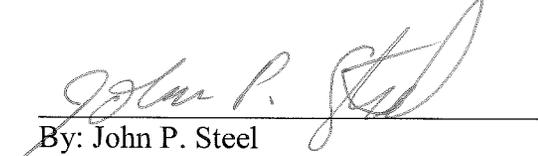
The Applicant hereby proffers not to exceed a floor area of 149,995 square feet.

8. SUCCESSORS AND ASSIGNS

These proffers shall bind and inure to the benefit of the Applicant, Title Owner/Lessor, and their successors and assigns.

APPLICANT/LESSEE OF TAX MAP
44-3 ((7)) B3 (part)

MACS RETAIL LLC


By: John P. Steel
Its: Vice President

[SIGNATURES CONTINUE ON NEXT PAGE]

TITLE OWNER/LESSOR OF
TAX MAP 44-3 ((7)) B3 (part)

SULLY STATION, LLC

By: JBG/R Sully Station LLC, its co-manager

By: 1111 Property Associates (1998) LLC, its
managing member

By: Rosenfeld Realty Company, Inc., its
managing member



By: Robert J. T. Rosenfeld

Its: President

By: Moses LLC, its co-manager

By: Alfred H. Moses

Its: Manager

[SIGNATURES END]

TITLE OWNER/LESSOR OF
TAX MAP 44-3 ((7)) B3 (part)

SULLY STATION, LLC

By: JBG/R Sully Station LLC, its co-manager

By: 1111 Property Associates (1998) LLC, its
managing member

By: Rosenfeld Realty Company, Inc., its
managing member

By: Robert J. T. Rosenfeld
Its: President

By: Moses LLC, its co-manager


By: Alfred H. Moses
Its: Manager

[SIGNATURES END]

PROPOSED DEVELOPMENT CONDITIONS**FDPA 84-S-027-06****August 30, 2016**

If it is the intent of the Board of Supervisors to approve FDPA 84-S-027-06 for a quick service food store and modifications to a service station in the Sully Station Shopping Center located at Tax Map 44-3 ((7)) B3 (pt.), pursuant to Sect. 6-103 of the Fairfax County Zoning Ordinance, staff recommends that the Board condition the approval by requiring conformance with the following development conditions which are in addition to all previously approved conditions:

1. This approval is granted only for the purpose(s), structure(s) and/or use(s) indicated on the Final Development Plan Amendment (FDPA) approved with the application, as qualified by these development conditions.
2. This FDPA is subject to the provisions of Article 17 of the Zoning Ordinance, Site Plans, as may be determined by the Director, Department of Public Works and Environmental Services (DPWES). Any site plan submitted pursuant to this FDPA shall be in substantial conformance with the approved FDPA titled "Proffered Condition Amendment, Final Development Plan Amendment for Sully Station Shopping Center," prepared by Core State Group and consisting of thirteen sheets dated June 19, 2015, as revised through August 3, 2016, and these conditions. Minor modifications to the approved FDPA may be permitted pursuant to Sect. 16-403 of the Zoning Ordinance.
3. The maximum gross floor area of the quick service food store and the storage/food enclosure shall be a total of 3,910 square feet.
4. The exterior design, building materials and colors used in construction of the quick service food store and the storage structure shall be consistent on all four sides and shall generally conform to the character and quality of the perspective and elevations contained in the FDPA.
5. The following green building technology and strategies shall be incorporated into the quick service food store, and proof of each shall be demonstrated to the Environment and Development Review Branch (EDRB) of the Department of Planning and Zoning, prior to final bond release.
 - A. The Applicant shall install ultralow-flow plumbing fixtures throughout the building with the maximum water usage as listed below. In addition, motion sensor faucets and flush valves shall be installed in public area restrooms. Proof of installation and manufacturers' product data shall be provided to the EDRB.

Water Closet (gallons per flush, gpf) = 1.28

Urinal (gpf) = 0.5

Showerheads (gallons per minute, gpm) = 2.0 (when measured at a flowing pressure of 80 pounds per square inch, psi)

Lavatory faucets (gpm) = 1.5 (when measured at a flowing water pressure of 60 psi)

Kitchen and janitor sink faucets (gpm) = 2.20

Metering faucets (gpm) = 0.25

- B. The Applicant shall use low-emitting materials for all adhesives, sealants, paints, coatings, flooring systems, composite wood, and agrifiber products, as well as furniture and furnishings if available. Low-emitting is defined according to the following table:

Application	(VOC Limit g/L less water)
Carpet Adhesive	50
Rubber floor adhesive	60
Ceramic tile adhesive	65
Anti-corrosive/ anti-rust paint	250
Clear wood finishes	350

The Applicant shall provide proof of installation and the manufacturers' product data to the EDRB.

- C. Energy Star appliances and equipment shall be installed for all refrigerators, dishwashers, water heaters, computers, monitors, televisions, vending machines, water coolers, and other appliances and office equipment (if available). Proof of installation, installation locations and manufacturers' product data, including the Energy Star energy guide, shall be provided to the EDRB.
- D. The Applicant shall have a construction waste management plan that consist of hiring a waste removal and diversion company to process all construction waste at a recycling center. The Applicant shall provide a copy of the waste removal contract as proof of compliance to the EDRB.
- E. An area for the separation, collection and storage of glass, paper, metal, plastic and cardboard shall be provided. There shall be a dedicated area on the Application Property for the storage of the recycled materials. The Applicant shall provide proof of installation, installation locations, and a copy of the Applicant's hauling contract to the EDRB.
- F. The Applicant shall use materials that include recycled content for items such as flooring, ceiling, wall tiles, carpet, etc. The Applicant shall provide proof of installation and the manufacturers' product data indicating the recycled content.

6. Existing lighting, including streetlights, security lighting, signage lighting and pedestrian or other incidental lighting may remain. All new and replacement outdoor lighting fixtures shall be in accordance with the Performance Standards of Article 14 of the Zoning Ordinance.
7. A parking tabulation which demonstrates that parking requirements are met for all uses in the shopping center shall be approved by the Department of Public Works and Environmental Services (DPWES) prior to the issuance of the Non-RUP for the quick service food store and any approved additions to the Sully Station Shopping Center. All parking spaces shall conform to the provisions of Article 11 of the Zoning Ordinance and the geometric design standards in the Public Facilities Manual, as determined by DPWES.
8. The Applicant shall provide landscaping, including trees and shrubs, in substantial conformance with the FDPA. The exact number, species, location and spacing of trees and other plant material shall be determined at the time of site plan review and shall be subject to review and approval of the Urban Forest Management Division (UFMD), DPWES.
9. Landscape Planting Pre-installation Meeting: Prior to installation of any plants to meet the requirements of the approved landscape planting plan, the contractor/developer shall coordinate a pre-installation meeting on the site with the landscape contractor, UFMD staff, and any additional appropriate parties. Any proposed changes to planting locations, tree/shrub planting sizes, and species substitutions shown on the approved plan shall be reviewed and must be approved by UFMD staff prior to planting.
10. Tree Preservation Plan: The Applicant shall submit a Tree Preservation Plan and Narrative as part of all subsequent plan submissions. The Tree Preservation Plan and Narrative shall be prepared by a Certified Arborist or Registered Consulting Arborist, and shall include elements of PFM 12-0509.
11. Tree Protection Fencing: The Applicant shall provide appropriate tree protection devices, based on site conditions and proposed construction activities at time of site plan. Tree protection fence shall consist of four-foot high welded wire attached to six-foot steel posts driven 18 inches into the ground and space no further than 10 feet apart; or super silt fence.
12. Tree Preservation Measures: Tree preservation measures shall be clearly identified, labeled, and detailed on the Erosion and Sediment Control Plan sheets and Tree Preservation Plan. Tree preservation measures may include, but are not limited to the following: root pruning, crown pruning, mulching, watering, etc. Specifications shall be provided on the plan detailing how preservation measures shall be implemented. Tree preservation activities shall be completed during implementation of Phase 1 of the Erosion and Sediment Control Plan.

13. Demolition: The demolition of all existing structures and site features within or adjacent to tree preservation areas shall be accomplished in the least disruptive manner practical as reviewed and approved by UFMD. All tree protection fencing shall be in place and verified by a County representative prior to commencement of demolition activities.
14. Site Monitoring: The Applicant's Project Arborist shall be present on site during implementation of the Phase 1 Erosion and Sediment Control Plan and monitor any construction activities conducted within or adjacent to areas of trees to be preserved. Construction activities include, but may not be limited to clearing, root pruning, tree protection fence installation, vegetation/tree removal, and demolition activities. During implementation of Phase 2 Erosion and Sediment Control Plan, the Project Arborist shall visit the site on a regular basis to continue monitoring tree preservation measures and ensure that all activities are conducted as identified in the Tree Preservation Plan and approved by UFMD. Written reports shall be submitted to UFMD and SDID site inspector detailing site visits. A monitoring schedule and Project Arborist reports shall be described and detailed in the Tree Preservation Plan.
15. Loading for the quick service food store will take place from the west side of the gas station canopy and only during off-peak hours. Loading shall not occur from 6:00 a.m. to 9:00 a.m. or from 4:00 p.m. to 9:00 p.m.

This approval, contingent on the above noted conditions, shall not relieve the Applicant from compliance with the provisions of any applicable ordinances, regulations, or adopted standards. The approval of this application does not interfere with, abrogate or annul any easements, covenants, or other agreements between parties, as they may apply to the property subject to this application.

The Applicant shall be responsible for obtaining the required Non-Residential Use Permit through established procedures.



**WALSH COLUCCI
LUBELEY & WALSH PC**

Sara V. Mariska
(703) 528-4700 Ext. 5419
smariska@thelandlawyers.com

Revised
August 8, 2016

Barbara C. Berlin, Director
Zoning Evaluation Division
Fairfax County Department of Planning & Zoning
12055 Government Center Parkway, Suite 801
Fairfax, Virginia 22035

Re: Proposed Proffered Condition Amendment/Final Development Plan Amendment
Sully Station Shopping Center
Applicant: MACS Retail LLC
Fairfax County Tax Map Reference: 44-3 ((7)) B3 pt. (The "Subject Property")

Dear Ms. Berlin:

Please accept this letter as a statement of justification for a proffered condition amendment and final development plan amendment ("PCA/FDPA") on a portion of the property identified as Fairfax County tax map reference 44-3 ((7)) B3.

The Subject Property is located in the Sully Station Shopping Center at 5135 Westfields Boulevard in the northeast quadrant of the intersection of Westfields Boulevard (Route 7021) and Sequoia Farms Drive (Route 7324) in the Sully Magisterial District. The Subject Property is currently zoned to the PDH-3 District and has been the subject of prior land use approvals. The Subject Property was rezoned on September 24, 1984 pursuant to RZ 84-S-027. On March 10, 1986, PCA 84-S-01 and FDPA 84-S-027-02 established the proffered uses for the Subject Property. Most recently, on May 5, 2007, the Board of Supervisors (the "Board") approved PCA 84-S-027-07, FDPA 84-S-027-05, PCA 85-S-013-04, and SEA 01-Y-040 to permit a drive-in bank and add 12,600 square feet of retail space to the in-line shopping center, for a total approved floor area ratio ("FAR") of 0.24 for the Sully Station Shopping Center. The Subject Property is subject to proffers, a proffered final development plan, and development conditions.

The Subject Property consists of approximately 0.86 acres of the approximately 14.35 acre parcel identified as Fairfax County tax map reference 44-3 ((7)) B3. The location and boundaries of the application area can be found on Sheets 4 and 5 of the accompanying Final Development Plan prepared by Core States. The Subject Property is currently developed with a gasoline service station, including a one (1) story retail kiosk, six (6) fueling dispensers, and an overhead canopy covering the kiosk and fueling dispensers.

ATTORNEYS AT LAW

703 528 4700 ■ WWW.THELANDLAWYERS.COM
2200 CLARENDON BLVD. ■ SUITE 1300 ■ ARLINGTON, VA 22201-3359

LOUDOUN 703 737 3633 ■ WOODBRIDGE 703 680 4664

The Sully Station Shopping Center (the "Shopping Center") is currently approved for approximately 146,615 square feet of GFA, including the in-line shopping center, drive-in bank, eating establishments, and existing service station. The Applicant proposes to redevelop the existing service station to improve and enhance the existing use. More specifically, the Applicant proposes to remove the existing, approximately 530 square foot retail kiosk, replace it with three (3) additional fueling dispensers, and add an approximately 3,520 square foot quick service food store to the south of the existing kiosk and canopy. The Applicant is also proposing an approximately 390 square foot storage enclosure that will be located on the western side of the quick service food store. The quick service food store and storage enclosure will be located in a portion of what is currently the surface parking for the Shopping Center. The Applicant's proposal results in a net increase of 3,380 square feet of GFA. With the addition of the quick service food store, a total of 149,995 square feet will be constructed on the Subject Property resulting in 5,576 square feet of unconstructed square footage. The Applicant reserves the right to construct this additional square footage in the future.

The proposed improvements will expand and update a longstanding existing use within the Shopping Center. Specifically, the additional fuel dispensers and expanded retail offerings are in response to market demand in the area. Allowing a quick service food store within the Shopping Center will provide a convenient option for customers patronizing other tenants and will allow customers to combine multiple errands in a single trip. The Applicant proposes high quality building architecture including goose-neck lights and architectural design details that will further enhance the Subject Property.

The Subject Property is located within the Bull Run Planning District within the Flatwick Community Sector (BR3) in Area III of the Fairfax County Comprehensive Plan (the "Plan"). The Plan states that the Subject Property is planned and developed as retail use at a 0.25 FAR. The Applicant's proposal does not increase the previously approved total building area of approximately 150,021 square feet for the Sully Station Shopping Center. That total building area results in an FAR of 0.24 for the overall Shopping Center, which is in conformance with the Plan's recommendations.

Proffer 19 in the February 19, 1986 proffers, which were approved as part of PCA 84-S-01 and FDPA 84-S-027-02, states that convenience stores are excluded from the commercial uses allowed on the Subject Property. Therefore, the Applicant seeks approval of a partial PCA to amend Proffer 19 to allow the Subject Property to be redeveloped with the proposed quick service food store. The Applicant also seeks to amend the previously approved Final Development Plan Amendment, FDPA 84-S-027-05, to reflect the Applicant's proposed redevelopment of the Subject Property.

Section 18-204(6) of the Fairfax County Zoning Ordinance (the "Ordinance") provides the evaluation criteria for a partial proffered condition amendment. Those criteria are listed below, with the Applicant's response to each criteria provided in italics:

- a) The Application does not adversely affect the use of the property subject to the proffered conditions but not incorporated into the amendment;

The proposed addition of a quick service food store will not negatively impact the larger Sully Station Shopping Center. To the contrary, additional fuel dispensers and a quick service food store will attract additional customers to the shopping center site, which will result in an economic benefit for all the uses in the shopping center.

- b) The Application does not inhibit, adversely affect, or preclude in any manner the fulfillment of the proffered conditions applicable to the area not incorporated into the amendment;

Other than the amendment to Proffer 19, the proposal is in conformance with all approved proffers for the Subject Property and does not inhibit, adversely affect, or preclude the fulfillment of the proffered conditions for the larger Sully Station Shopping Center.

- c) The Application does not adversely affect the vehicular and pedestrian circulation, connectivity, landscaping, and streetscape applicable to the area not included in the amendment; and

The proposal does not adversely affect circulation, connectivity, landscaping, or streetscape at the Sully Stations Shopping Center. The proposal will result in a parking reduction from 712 spaces to 688 spaces. However, 688 spaces is twelve (12) more parking spaces than required by the Ordinance based on the uses within the Shopping Center.

- d) The Application does not increase the overall approved density/intensity of the development.

The application does not increase the overall approved density/intensity of 0.24 FAR for the Subject Property.

The proposed use will be in conformance with all applicable ordinances, regulations and adopted standards, except as follows:

- The Applicant seeks reaffirmation of the modification to the transitional screening and barrier requirements to the Westfields Boulevard frontage that were approved with PCA 84-S-027-3 in favor of the existing landscaped vegetation.
- The Applicant seeks a modification of the 20% open space requirement in favor what is shown on the FDPA. The Applicant proposes 4,924.06 square feet of

open space on the Subject Property. Although the open space on the Subject Property does not meet the 20% requirement, the overall Shopping Center site is compliant with open space requirements. Additionally, the proposed redevelopment will increase the amount of open space from what currently exists in the Shopping Center.

To the Applicant's knowledge, there are no known hazardous or toxic substances located on the Subject Property and none will be generated or stored in conjunction with the proposed development, with the exception of petroleum products, as defined in Title 40, which are utilized and stored on the Subject Property.

I would appreciate the acceptance of this application and the scheduling of a public hearing before the Planning Commission at your earliest convenience. Should you have any questions, or require additional information, please do not hesitate to contact me.

Very truly yours,

WALSH, COLUCCI, LUBELEY & WALSH, P.C.



Sara V. Mariska

SVM/jrs

cc: Joan Scarpa
Don Lore
Clayton McCane
Jen Adams

REZONING AFFIDAVIT

DATE: August 23, 2016
 (enter date affidavit is notarized)

134155d

I, Sara V. Mariska, attorney/agent, do hereby state that I am an
 (enter name of applicant or authorized agent)

(check one) applicant
 applicant's authorized agent listed in Par. 1(a) below

in Application No.(s): PCA 84-S-027-08 / FDPA 84-S -027-06
 (enter County-assigned application number(s), e.g. RZ 88-V-001)

and that, to the best of my knowledge and belief, the following information is true:

1(a). The following constitutes a listing of the names and addresses of all **APPLICANTS, TITLE OWNERS, CONTRACT PURCHASERS, and LESSEES** of the land described in the application,* and, if any of the foregoing is a **TRUSTEE,**** each **BENEFICIARY** of such trust, and all **ATTORNEYS** and **REAL ESTATE BROKERS**, and all **AGENTS** who have acted on behalf of any of the foregoing with respect to the application:

(NOTE: All relationships to the application listed above in **BOLD** print must be disclosed. Multiple relationships may be listed together, e.g., **Attorney/Agent, Contract Purchaser/Lessee, Applicant/Title Owner**, etc. For a multiparcel application, list the Tax Map Number(s) of the parcel(s) for each owner(s) in the Relationship column.)

NAME (enter first name, middle initial, and last name)	ADDRESS (enter number, street, city, state, and zip code)	RELATIONSHIP(S) (enter applicable relationships listed in BOLD above)
MACS Retail LLC Agents: Donald N. Lore Joan C. Scarpa Clayton L. McCane John P. Steel Anthony M. Williams Robert W. Owens	10 Industrial Highway Lester, PA 19029	Applicant/Lessee of Tax Map 44-3 ((7)) B3 pt.
Sully Station, LLC Agents: Robert J.T. Rosenfeld Jeffrey P. Rodgers James J. Garibaldi, Jr.	4445 Willard Avenue, Suite 700 Chevy Chase, MD 20815	Title Owner/Lessor of Tax Map 44-3 ((7)) B3 pt.

(check if applicable) There are more relationships to be listed and Par. 1(a) is continued on a "Rezoning Attachment to Par. 1(a)" form.

* In the case of a condominium, the title owner, contract purchaser, or lessee of 10% or more of the units in the condominium.

** List as follows: Name of trustee, Trustee for (name of trust, if applicable), for the benefit of: (state name of each beneficiary).

Rezoning Attachment to Par. 1(a)

134155d

DATE: August 23, 2016
(enter date affidavit is notarized)

for Application No. (s): PCA 84-S-027-08 / FDPA 84-S -027-06
(enter County-assigned application number (s))

(NOTE): All relationships to the application are to be disclosed. Multiple relationships may be listed together, e.g., **Attorney/Agent, Contract Purchaser/Lessee, Applicant/Title Owner**, etc. For a multiparcel application, list the Tax Map Number(s) of the parcel(s) for each owner(s) in the Relationship column.

NAME (enter first name, middle initial, and last name)	ADDRESS (enter number, street, city, state, and zip code)	RELATIONSHIP(S) (enter applicable relationships listed in BOLD above)
Walsh, Colucci, Lubeley & Walsh, P.C. Agents: Martin D. Walsh Lynne J. Strobel M. Catharine Puskar Sara V. Mariska G. Evan Pritchard Andrew A. Painter Matthew J. Allman Jeffrey R. Sunderland (FORMER) Robert D. Brant Elizabeth D. Baker Inda E. Stagg Amy E. Friedlander	2200 Clarendon Boulevard, Suite 1300 Arlington, VA 22201	Attorneys/Agents for Applicant Attorney/Agent Attorney/Agent Attorney/Agent Attorney/Agent Attorney/Agent Attorney/Agent Attorney/Agent FORMER Attorney*/Agent Attorney/Agent Planner/Agent Planner/Agent Planner/Agent
Core States Inc. Agent: Jennifer L. Adams Aaron M. Bodenschatz Robert J. Pierce	44355 Premier Plaza, Suite 240 Ashburn, Virginia 20147	Engineer/Agent

*Admitted in New York and California.
Admission to Virginia Bar pending.

(check if applicable) There are more relationships to be listed and Par. 1(a) is continued further on a "Rezoning Attachment to Par. 1(a)" form.

REZONING AFFIDAVIT

DATE: August 23, 2016
(enter date affidavit is notarized)

134155d

for Application No. (s): PCA 84-S-027-08 / FDPA 84-S -027-06
(enter County-assigned application number(s))

1(b). The following constitutes a listing*** of the SHAREHOLDERS of all corporations disclosed in this affidavit who own 10% or more of any class of stock issued by said corporation, and where such corporation has 10 or less shareholders, a listing of all of the shareholders, and if the corporation is an owner of the subject land, all of the OFFICERS and DIRECTORS of such corporation:

(NOTE: Include SOLE PROPRIETORSHIPS, LIMITED LIABILITY COMPANIES, and REAL ESTATE INVESTMENT TRUSTS herein.)

CORPORATION INFORMATION

NAME & ADDRESS OF CORPORATION: (enter complete name, number, street, city, state, and zip code)
MACS Retail LLC
10 Industrial Highway
Lester, PA 19029

DESCRIPTION OF CORPORATION: (check one statement)

- [x] There are 10 or less shareholders, and all of the shareholders are listed below.
[] There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
[] There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial, and last name)

Sole Member: Mid-Atlantic Convenience Stores, LLC

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name, and title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

Robert W. Owens, CEO & President; Cynthia A. Archer, VP; Karl L. Fails, VP; Boyd E. Foster, VP; Brian A. Hand, VP, S. Blake Heinemann, VP; John P. Steel, VP; James F. Wagner, VP; Anthony M. Williams, VP; Clare P. McGrory, Former Treasurer; Arnold D. Dodderer, General Counsel, Secretary; Tom Terry, Assistant Secretary, Marci K. Donnelly, Assistant Secretary, Joseph Kim, VP, Darryl Krebs, VP, Leta McKinley, VP, Controller, Thomas R. Miller, CFO, Robert B. Williams, VP & COO

(check if applicable) [x] There is more corporation information and Par. 1(b) is continued on a "Rezoning Attachment 1(b)" form.

*** All listings which include partnerships, corporations, or trusts, to include the names of beneficiaries, must be broken down successively until: (a) only individual persons are listed or (b) the listing for a corporation having more than 10 shareholders has no shareholder owning 10% or more of any class of stock. In the case of an APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE* of the land that is a partnership, corporation, or trust, such successive breakdown must include a listing and further breakdown of all of its partners, of its shareholders as required above, and of beneficiaries of any trusts. Such successive breakdown must also include breakdowns of any partnership, corporation, or trust owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE* of the land. Limited liability companies and real estate investment trusts and their equivalents are treated as corporations, with members being deemed the equivalent of shareholders; managing members shall also be listed. Use footnote numbers to designate partnerships or corporations, which have further listings on an attachment page, and reference the same footnote numbers on the attachment page.

Rezoning Attachment to Par. 1(b)

134155d

DATE: August 23, 2016
(enter date affidavit is notarized)

for Application No. (s): PCA 84-S-027-08 / FDPA 84-S -027-06
(enter County-assigned application number (s)).

NAME & ADDRESS OF CORPORATION: (enter complete name, number, street, city, state, and zip code)

Mid-Atlantic Convenience Stores, LLC
10 Industrial Highway
Lester, PA 19029

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial, and last name)

Susser Petroleum Property
Company LLC, Sole Member

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name, and title, e.g.

President, Vice-President, Secretary, Treasurer, etc.)

Robert W. Owens, CEO & President; Cynthia A. Archer, VP; Karl L. Fails, VP; Boyd E. Foster, VP; Brian A. Hand, VP, S. Blake Heinemann, VP; James F. Wagner, VP; Brad Williams, VP & COO; Clare P. McGrory, Treasurer; Arnold D. Dodderer, Secretary; Tom Terry, Assistant Secretary

NAME & ADDRESS OF CORPORATION: (enter complete name, number, street, city, state, and zip code)

Susser Petroleum Property Company LLC
4525 Ayers Street
Corpus Christi, TX 78415

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial, and last name)

Susser Petroleum Operating
Company LLC, Sole Member

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name, and title, e.g.

President, Vice-President, Secretary, Treasurer, etc.)

Robert W. Owens, CEO & President; Cynthia A. Archer, EVP & Chief Marketing Officer; Christopher Curia, SVP; Karl R. Fails, SVP; Boyd E. Foster, SVP, Teresa Gavigan, VP; Brian A. Hand, Chief Procurement Officer & VP; William J. Healy, Assistant Secretary; S. Blake Heinemann, EVP; Kevin Mahany, SVP; Clare P. McGrory, SVP, Brad Williams, SVP; Gail S. Workman, SVP & COO

(check if applicable) There is more corporation information and Par. 1(b) is continued further on a "Rezoning Attachment to Par. 1(b)" form.

Rezoning Attachment to Par. 1(b)

DATE: August 23, 2016
(enter date affidavit is notarized)

134155d

for Application No. (s): PCA 84-S-027-08 / FDPA 84-S -027-06
(enter County-assigned application number (s))

NAME & ADDRESS OF CORPORATION: (enter complete name, number, street, city, state, and zip code)
Susser Petroleum Operating Company LLC
4525 Ayers Street
Corpus Christi, TX 78415

DESCRIPTION OF CORPORATION: (check one statement)
 There are 10 or less shareholders, and all of the shareholders are listed below.
 There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
 There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial, and last name)
Sunoco LP, Sole Member

=====

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name, and title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

=====

NAME & ADDRESS OF CORPORATION: (enter complete name, number, street, city, state, and zip code)
Core States Inc.
44355 Premier Plaza, Suite 240
Ashburn, Virginia 20147

DESCRIPTION OF CORPORATION: (check one statement)
 There are 10 or less shareholders, and all of the shareholders are listed below.
 There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
 There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial, and last name)
John M. Scheffey
Glenn M. Phillips (FORMER)
Richard A. Perez
Richard A. Cote

=====

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name, and title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

(check if applicable) There is more corporation information and Par. 1(b) is continued further on a "Rezoning Attachment to Par. 1(b)" form.

Rezoning Attachment to Par. 1(b)

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for Application No. (s): PCA 84-S-027-08 / FDPA 84-S -027-06
(enter County-assigned application number (s))

NAME & ADDRESS OF CORPORATION: (enter complete name, number, street, city, state, and zip code)

Walsh, Colucci, Lubeley & Walsh, P.C.
2200 Clarendon Boulevard, Suite 1300
Arlington, VA 22201

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial, and last name)

Wendy A. Alexander	Jay du Von	J. Randall Minchew	Lynne J. Strobel
David J. Bomgardner	William A. Fogarty	Andrew A. Painter	Garth M. Wainman
E. Andrew Burcher	John H. Foote	G. Evan Pritchard	Nan E. Walsh
Thomas J. Colucci	H. Mark Goetzman	M. Catharine Puskar	
Michael J. Coughlin	Bryan H. Guidash	John E. Rinaldi	
Peter M. Dolan, Jr.	Michael J. Kalish	Kathleen H. Smith	

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name, and title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

NAME & ADDRESS OF CORPORATION: (enter complete name, number, street, city, state, and zip code)

Sully Station, LLC
4445 Willard Avenue, Suite 700
Chevy Chase, MD 20815

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial, and last name)

Members:
Moses LLC
Abacus Group
JBG/R Sully Station LLC

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name, and title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

JBG/R Sully Station LLC, Co-Manager Moses LLC, Co-Manager

(check if applicable) There is more corporation information and Par. 1(b) is continued further on a "Rezoning Attachment to Par. 1(b)" form.

Rezoning Attachment to Par. 1(b)

DATE: August 23, 2016
(enter date affidavit is notarized)

134155d

for Application No. (s): PCA 84-S-027-08 / FDPA 84-S -027-06
(enter County-assigned application number (s))

NAME & ADDRESS OF CORPORATION: (enter complete name, number, street, city, state, and zip code)

Moses LLC
4445 Willard Avenue, Suite 700
Chevy Chase, MD 20815

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial, and last name)

Alfred H. Moses, Sole
Member and Manager

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name, and title, e.g.

President, Vice-President, Secretary, Treasurer, etc.)

NAME & ADDRESS OF CORPORATION: (enter complete name, number, street, city, state, and zip code)

JBG/R Sully Station LLC
4445 Willard Avenue, Suite 700
Chevy Chase, MD 20815

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial, and last name)

1111 Property Associates (1998) LLC, Sole Member and Managing Member

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name, and title, e.g.

President, Vice-President, Secretary, Treasurer, etc.)

(check if applicable) There is more corporation information and Par. 1(b) is continued further on a "Rezoning Attachment to Par. 1(b)" form.

Rezoning Attachment to Par. 1(b)

DATE: August 23, 2016
(enter date affidavit is notarized)

134155d

for Application No. (s): PCA 84-S-027-08 / FDPA 84-S -027-06
(enter County-assigned application number (s))

NAME & ADDRESS OF CORPORATION: (enter complete name, number, street, city, state, and zip code)
1111 Property Associates (1998) LLC
4445 Willard Avenue, Suite 700
Chevy Chase, MD 20815

DESCRIPTION OF CORPORATION: (check one statement)
[] There are 10 or less shareholders, and all of the shareholders are listed below.
[✓] There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
[] There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial, and last name)
Rosenfeld Realty Company, Inc., Member

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name, and title, e.g. President, Vice-President, Secretary, Treasurer, etc.)
Rosenfeld Realty Company, Inc., Managing Member
JBG/Rosenfeld Equity Investments LLC, FORMER Managing Member (owns less than 10% of Sully Station, LLC)

NAME & ADDRESS OF CORPORATION: (enter complete name, number, street, city, state, and zip code)
Rosenfeld Realty Company, Inc.
4445 Willard Avenue, Suite 700
Chevy Chase, MD 20815

DESCRIPTION OF CORPORATION: (check one statement)
[✓] There are 10 or less shareholders, and all of the shareholders are listed below.
[] There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
[] There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial, and last name)
Robert J.T. Rosenfeld

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name, and title, e.g. President, Vice-President, Secretary, Treasurer, etc.)
Robert J.T. Rosenfeld, President, Director; Sheri A. Rosenfeld, VP; Allen H. Cannon, Jr., Secretary/Treasurer

(check if applicable) [✓] There is more corporation information and Par. 1(b) is continued further on a "Rezoning Attachment to Par. 1(b)" form.

Rezoning Attachment to Par. 1(b)

DATE: August 23, 2016
(enter date affidavit is notarized)

134155d

for Application No. (s): PCA 84-S-027-08 / FDPA 84-S -027-06
(enter County-assigned application number (s))

NAME & ADDRESS OF CORPORATION: (enter complete name, number, street, city, state, and zip code)

Abacus Group LLC
14 Penn Plaza, 14th floor
New York, NY 10122

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial, and last name)

Norman-Weil Equine
Investment Partnership

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name, and title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

NAME & ADDRESS OF CORPORATION: (enter complete name, number, street, city, state, and zip code)

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial, and last name)

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name, and title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

(check if applicable) There is more corporation information and Par. 1(b) is continued further on a "Rezoning Attachment to Par. 1(b)" form.

REZONING AFFIDAVIT

DATE: August 23, 2016
(enter date affidavit is notarized)

134155 d

for Application No. (s): PCA 84-S-027-08 / FDPA 84-S -027-06
(enter County-assigned application number(s))

1(c). The following constitutes a listing*** of all of the PARTNERS, both GENERAL and LIMITED, in any partnership disclosed in this affidavit:

PARTNERSHIP INFORMATION

PARTNERSHIP NAME & ADDRESS: (enter complete name, number, street, city, state and zip code)

Sunoco LP
555 East Airtex Drive
Houston, TX 77073

(check if applicable) [] The above-listed partnership has no limited partners.

NAMES AND TITLE OF THE PARTNERS (enter first name, middle initial, last name, and title, e.g. General Partner, Limited Partner, or General and Limited Partner)

General Partner/Manager:
Sunoco GP LLC (owns less than 10% of MACS Retail LLC)

Sunoco LP is a master limited partnership consisting of millions of limited partners/investors and publicly traded on the NYSE.

(check if applicable) [] There is more partnership information and Par. 1(c) is continued on a "Rezoning Attachment to Par. 1(c)" form.

*** All listings which include partnerships, corporations, or trusts, to include the names of beneficiaries, must be broken down successively until: (a) only individual persons are listed or (b) the listing for a corporation having more than 10 shareholders has no shareholder owning 10% or more of any class of stock. In the case of an APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE* of the land that is a partnership, corporation, or trust, such successive breakdown must include a listing and further breakdown of all of its partners, of its shareholders as required above, and of beneficiaries of any trusts. Such successive breakdown must also include breakdowns of any partnership, corporation, or trust owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE* of the land. Limited liability companies and real estate investment trusts and their equivalents are treated as corporations, with members being deemed the equivalent of shareholders; managing members shall also be listed. Use footnote numbers to designate partnerships or corporations, which have further listings on an attachment page, and reference the same footnote numbers on the attachment page.

Rezoning Attachment to Par. 1(c)

DATE: August 23, 2016
(enter date affidavit is notarized)

134155 d

for Application No. (s): PCA 84-S-027-08 / FDPA 84-S -027-06
(enter County-assigned application number (s))

PARTNERSHIP NAME & ADDRESS: (enter complete name & number, street, city, state & zip code)
Norman-Weil Equine Investment Partnership
4445 Willard Avenue, Suite 700
Chevy Chase, MD 20815

(check if applicable) The above-listed partnership has no limited partners.

NAMES AND TITLES OF THE PARTNERS: (enter first name, middle initial, last name, and title, e.g.,
General Partner, Limited Partner, or General and Limited Partner)

- RANH 1968 Trust FBO Robert L. Bunnen, Jr.
- RANH 1968 Trust FBO Belinda B. Reusch
- RANH 1968 Trust FBO FBO Melissa Bunnen
- RANH 1965 Trust FBO Robert L Bunnen, Jr.
- RANH 1965 Trust FBO Belinda B. Reusch
- RANH 1965 Trust FBO Melissa Bunnen
- Lucinda W. Bunnen
- LWB 1935 Trust FBO Lucinda W. Bunnen
- Robert L. Bunnen, Jr.
- Belinda B. Reusch
- Melissa Bunnen
- LRN Trust FBO Frank A. Weil, Lucinda W. Bunnen, Nancy
- N. Lassalle
- RANH 1971 Trust FBO Robert L. Bunnen Jr
- RANH 1971 Trust FBO Belinda Bunnen Reusch
- RANH 1971 Trust FBO Melissa Bunnen
- RANH 1971 Acc Tr FBO Robert L. Bunnen Jr
- RANH 1971 Acc Tr FBO Belinda Bunnen Reusch
- RANH 1971 Acc Tr FBO Melissa Bunnen
- RANH 1968 Trust FBO Andrew Dejongh Franklin
- RANH 1968 Trust FBO Audrey F. Franklin
- RANH 1965 Trust FBO Andrew Dejongh Franklin
- RANH 1965 Trust FBO Audrey F. Franklin
- PWL 1935 Trust FBO Andrew D. Franklin
- Andrew Dejongh Franklin TTEE FBO Andrew D. Franklin
- Audrey F Franklin
- PWL 1983 Grantor Tr FBO Andrew Dejongh Franklin
- PWL 1983 Trust FBO Audrey F. Franklin
- RANH 1971 Trust FBO Andrew D. Franklin
- RANH 1971 Trust FBO Alice Franklin
- Samuel Franklin Trust FBO Samuel Franklin
- Emily Cohen Trust FBO Emily Cohen
- RANH 1971 Acc Tr FBO Andrew D. Franklin
- RANH 1971 Acc Tr FBO Alice Franklin
- Aaron M Hawk 2013 Pourover Trust FBO Aaron M. Hawk

*No partner owns more than 10% of Sully Station, LLC

(check if applicable) There is more partnership information and Par. 1(c) is continued further on a
"Rezoning Attachment to Par. 1(c)" form.

Rezoning Attachment to Par. 1(c)

134155d

DATE: August 23, 2016
(enter date affidavit is notarized)

for Application No. (s): PCA 84-S-027-08 / FDPA 84-S -027-06
(enter County-assigned application number (s))

PARTNERSHIP NAME & ADDRESS: (enter complete name & number, street, city, state & zip code)
Norman-Weil Equine Investment Partnership [continued]
4445 Willard Avenue, Suite 700
Chevy Chase, MD 20815

(check if applicable) The above-listed partnership has no limited partners.

NAMES AND TITLES OF THE PARTNERS: (enter first name, middle initial, last name, and title, e.g.,
General Partner, Limited Partner, or General and Limited Partner)

Phoebe Lundeen Trust FBO Samuel Franklin
 Phoebe Lundeen Trust FBO Emily Calvanese
 Phoebe Lundeen Trust FBO Aaron M. Hawk
 NNL 1996 Grantor Trust FBO Nancy N. Lassalle
 NNL 1969 Trust FBO Honor Lassalle
 NNL 1991 Trust FBO Diana L. Turner
 NNL 1991 Trust FBO Phoebe Lundeen
 NNL 1991 Trust FBO Phil Lassalle
 NNL 1935 Trust FBO Nancy N. Lassalle
 Honor Lassalle Grantor Tr u/a dtd 11/26/76 FBO Honor Lassalle
 AEN Trust FBO Nancy N. Lassalle
 LRN Trust FBO Frank A. Weil, Lucinda W. Bunnan, Nancy N. Lassalle
 AEN 1966 Trust FBO Abigail Norman
 AEN 1966 Trust FBO Sarah E. Norman
 AEN 1966 Trust FBO Margaret Norman
 AEN 1966 Trust FBO Rebecca D. Norman
 AN Grantor Trust FBO Abigail Norman
 MN Grantor Trust FBO Margaret Norman
 RDN 1996 Grantor Trust FBO Rebecca D. Norman
 Sarah E. Norman 2000 Trust FBO Sarah E. Norman
 Margaret Norman 2000 Trust FBO Margaret Norman
 Abigail Norman 2004 Trust FBO Abigail Norman
 1935 Appointive Trust u/w AEN FBO Abigail Norman
 Trust FBO Abigail Norman u/w/o AEN
 Trust FBO Sarah Norman u/w/o AEN
 Trust FBO Margaret Norman u/w/o AEN
 Trust FBO Rebecca D. Norman u/w/o AEN
 RANH 1968 Trust FBO Amanda E. Weil
 RANH 1968 Trust FBO Deborah W. Harrington
 RANH 1968 Trust FBO Sandison E. Weil
 RANH 1968 Trust FBO William S. Weil
 RANH 1965 Trust FBO Amanda E. Weil
 RANH 1965 Trust FBO Deborah W. Harrington
 RANH 1965 Trust FBO Sandison E. Weil
 RANH 1965 Trust FBO William S. Weil
 FAW 1935 Trust FBO Frank A. Weil

William S. Weil
 LRN Trust FBO Frank A. Weil
 RANH 1971 Trust FBO Amanda E. Weil
 RANH 1971 Tr FBO Deborah W. Harrington
 RANH 1971 Tr FBO Sandison E. Weil
 RANH 1971 Tr FBO William S. Weil
 RANH 1968 Trust FBO Amanda Harrington
 RANH 1968 Trust FBO Eliza Harrington Myers
 RANH 1968 Trust J. Tim Harrington
 RANH 1971 Acc Tr FBO Amanda E. Weil
 RANH 1971 Acc Tr FBO Deborah W. Harrington
 RANH 1971 Acc Tr FBO Sandison E. Weil
 RANH 1971 Acc Tr FBO William S. Weil
 Frank A. Weil 2007 Revocable Trust FBO Frank A. Weil
 Denie S. Weil 2007 Revocable Trust FBO Denie S. Weil

*No partner owns more than 10% of Sully Station LLC

REZONING AFFIDAVIT

DATE: August 23, 2016
(enter date affidavit is notarized)

134155d

for Application No. (s): PCA 84-S-027-08 / FDPA 84-S -027-06
(enter County-assigned application number(s))

1(d). One of the following boxes **must** be checked:

In addition to the names listed in Paragraphs 1(a), 1(b), and 1(c) above, the following is a listing of any and all other individuals who own in the aggregate (directly and as a shareholder, partner, and beneficiary of a trust) 10% or more of the **APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE*** of the land:

Other than the names listed in Paragraphs 1(a), 1(b), and 1(c) above, no individual owns in the aggregate (directly and as a shareholder, partner, and beneficiary of a trust) 10% or more of the **APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE*** of the land.

2. That no member of the Fairfax County Board of Supervisors, Planning Commission, or any member of his or her immediate household owns or has any financial interest in the subject land either individually, by ownership of stock in a corporation owning such land, or through an interest in a partnership owning such land.

EXCEPT AS FOLLOWS: (**NOTE:** If answer is none, enter "NONE" on the line below.)

NONE.

(check if applicable) There are more interests to be listed and Par. 2 is continued on a "Rezoning Attachment to Par. 2" form.

REZONING AFFIDAVIT

DATE: August 23, 2016
(enter date affidavit is notarized)

134155d

for Application No. (s): PCA 84-S-027-08 / FDPA 84-S -027-06
(enter County-assigned application number(s))

3. That within the twelve-month period prior to the public hearing of this application, no member of the Fairfax County Board of Supervisors, Planning Commission, or any member of his or her immediate household, either directly or by way of partnership in which any of them is a partner, employee, agent, or attorney, or through a partner of any of them, or through a corporation in which any of them is an officer, director, employee, agent, or attorney or holds 10% or more of the outstanding bonds or shares of stock of a particular class, has, or has had any business or financial relationship, other than any ordinary depositor or customer relationship with or by a retail establishment, public utility, or bank, including any gift or donation having a value of more than \$100, singularly or in the aggregate, with any of those listed in Par. 1 above.

EXCEPT AS FOLLOWS: (NOTE: If answer is none, enter "NONE" on line below.)

None

(NOTE: Business or financial relationships of the type described in this paragraph that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings. See Par. 4 below.)

(check if applicable) [] There are more disclosures to be listed and Par. 3 is continued on a "Rezoning Attachment to Par. 3" form.

4. That the information contained in this affidavit is complete, that all partnerships, corporations, and trusts owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE* of the land have been listed and broken down, and that prior to each and every public hearing on this matter, I will reexamine this affidavit and provide any changed or supplemental information, including business or financial relationships of the type described in Paragraph 3 above, that arise on or after the date of this application.

WITNESS the following signature:

(check one)

[] Applicant [x] Applicant's Authorized Agent

Sara V. Mariska, attorney/agent
(type or print first name, middle initial, last name, and title of signee)

Subscribed and sworn to before me this 23 day of August 2016, in the State/Comm. of Virginia, County/City of Arlington.

Kimberly K. Follin
Notary Public

My commission expires: 11/30/2019

KIMBERLY K. FOLLIN
Registration # 283945
Notary Public
COMMONWEALTH OF VIRGINIA



County of Fairfax, Virginia

MEMORANDUM

DATE: August 4, 2016

TO: Barbara Berlin, Director
Zoning Evaluation Division, Department of Planning & Zoning

FROM: Michael A. Davis, Acting Chief
Site Analysis Section, Department of Transportation

FILE: PCA 84-S-027-08/FDPA 84-S-027-06

SUBJECT: Macs Retail LLC
5135 Westfields Boulevard, Centreville, VA 20120
Tax Map: #44-3 ((7)) B3

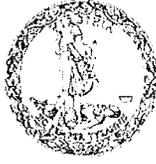
This department has reviewed the subject application including the Final Development Plan Amendment dated September 15, 2015, revised through June 29, 2016.

Through this application, the applicant seeks approval for the construction of a quick-service food store and the installation of three additional fuel dispensers for the existing gas station at the subject property. This department offers the following comments:

- The AutoTURN analysis provided by the applicant for fuel deliveries to the gas station indicates that the fuel delivery vehicle will significantly encroach into the opposing travel lane upon entering the shopping center from the southern entrance on Westfields Boulevard. For safety and operational reasons, the applicant should analyze and depict an alternative fuel delivery route which avoids such significant encroachment into an opposing travel lane.

cc: Carmen Bishop

MAD/EAI/AH



DEPARTMENT OF TRANSPORTATION

4975 Alliance Drive
Fairfax, VA 22030

May 31, 2016

Charlie Kilpatrick
COMMISSIONER

To: Ms. Barbara Berlin
Director, Zoning Evaluation Division

From: Alex Faghri
Virginia Department of Transportation – Land Development Section

Subject: PCA 84-S-027-08; MACS Retail, LLC

All submittals subsequent to the first submittal shall provide a response letter to the previous VDOT comments. Submittals without comment response letters are considered incomplete and will be returned without review.

VDOT has completed our review of the subject proffered condition amendment application that was received on May 19th.

The applicant proposes to redevelop the existing service station in Sully Station Shopping Center at 5135 Westfields Blvd. by moving the existing 530 square foot quick service food store with three (3) additional fueling dispensers and an approximately 3,520 square foot quick service food store and 432 square foot storage enclosure. The applicant's proposal results in a net increase of 3,422 square foot of GFA.

VDOT does not have any objection to approval.

If you have any questions please feel free to contact me.

Sincerely,

Alex Faghri

cc: Ms. Angela Rodeheaver

We Keep Virginia Moving



County of Fairfax, Virginia

MEMORANDUM

DATE: June 1, 2016

TO: Carmen Bishop, Staff Coordinator
Zoning Evaluation Division
Department of Planning and Zoning

FROM: Yosif Ibrahim, Storm water Engineer
Site Development and Inspections Division
Department of Public Works and Environmental Services

SUBJECT: PCA 84-S-027-08 concurrent with FDPA84-S-027-06 (Sully Station Shopping Center MACS Retail LLC), LDS Project #6136-ZONA-003-1, Tax Map #044-3-07-000B3, Sully District

We have reviewed the concept SWM plans for the subject application and SWOD determination has been issued qualifying the proposed development under Article 5 of the SWM Ordinance (copy attached). Hence the applicant may continue to use the existing off-site pond #2 (Sully Station) designed and constructed under Plan # 6136-SD-01-2 to meet SWM requirements for the subject site.

At this stage SDID has no further comments pertaining to SWM requirements.

Please contact me at 703-324-1720 if you require additional information.

cc: Fred Rose, Chief, Watershed Planning & Assessment Branch, Storm water Planning Division, DPWES
Shahab Baig, Chief, North Branch, SDID, DPWES
Zoning Application File

Department of Public Works and Environmental Services
Land Development Services, Site Development and Inspections Division
12055 Government Center Parkway, Suite 535
Fairfax, Virginia 22035-5503
Phone 703-324-1720 • TTY 711 • FAX 703-324-8359





County of Fairfax, Virginia

To protect and enrich the quality of life for the people, neighborhoods and diverse communities of Fairfax County

MAY 27 2016

Aaron Bodenschatz, P.E.
Core States Group
201 South Maple Avenue
Ambler, PA 19002

Subject: Sunoco at Sully Station Shopping Center; Plan #6136-ZONA-003-1; PCA 84-S-027-08 concurrent with FDPA84-S-027-06; MACS Retail, LLC; Tax Map #044-3-07-000B3; Sully District

Reference: Stormwater Management Ordinance Determination #6136-SWOD-001-1

Dear Mr. Bodenschatz:

This is in response to your request dated May 17th, 2016, for a determination whether the proposed development of the referenced site meets the applicable criteria and is considered Grandfathered under §124-1-12 of the Stormwater Management Ordinance, Chapter 124 of the Code of the County of Fairfax (SWMO).

We have reviewed your request and determined that the referenced site is served by an existing stormwater management facility, and that new land-disturbing activities could qualify under the provisions in the Virginia Department of Environmental Quality (DEQ) Guidance Memo No. 14-2014, dated August 25, 2014, and may be conducted in accordance with the technical criteria in Article 5 of the SWMO for two state permit cycles, provided that the following are met:

- The new land-disturbing activities that are served by existing off-site stormwater management facilities do not change the land-use assumptions (e.g., amount of impervious cover) upon which the as-built computations of the existing on-site stormwater management facilities are based;
- The land cover conditions of the site are not modified or amended in a manner resulting in an increase in the amount of phosphorous leaving each point of discharge or the volume or rate of runoff;
- The final design for the new land-disturbing activity must demonstrate that the construction activity will comply with the technical criteria in Article 5 of the SWMO;
- Coverage under the Virginia Pollution Discharge Elimination System (VPDES) General Permit for Discharges of Stormwater from Construction Activities (Construction General Permit) is obtained prior to commencement of the land-disturbing activities;

Department of Public Works and Environmental Services
Land Development Services
12055 Government Center Parkway, Suite 444
Fairfax, Virginia 22035-5503
Phone 703-324-1780 • TTY 711 • FAX 703-653-6678
www.fairfaxcounty.gov



Aaron Bodenschatz, P.E.
#6136-SWOD-001-1
Page 2 of 2

- Coverage under the VPDES Construction General Permit is continuously maintained throughout the life of the construction activity, until all land-disturbing activities are completed, final stabilization is achieved, and Construction General Permit coverage is terminated; and
- At the end of the 2019 VPDES Construction General Permit (i.e., June 30, 2024), the land-disturbing activities shall become subject to any new technical criteria adopted by the State Water Control Board.

This determination is based on DEQ Guidance Memo No. 14-2014; the off-site stormwater management facility; and Virginia Stormwater Management Program (VSMP) Permit Regulations (9VAC25-870 et seq.).

An electronic copy of DEQ Guidance Memo 14-2014 is available on DEQ's website at: www.deq.virginia.gov/Portals/0/DEQ/Water/Guidance/142014.pdf.

Please ensure that a copy of this letter is made a part of any subsequent plan submissions. Please note that the SWMO or this determination does not prevent an applicant from designing to a more stringent standard if they choose to do so.

This determination shall automatically expire, without notice, on June 30, 2024.

If further assistance is desired, please contact Yosif Ibrahim, Senior Engineer III, Site Development and Inspections Division (SDID), at 703-324-1720 or e-mail: Yosif.Ibrahim@fairfaxcounty.gov.

Sincerely,



Shahab Baig, P.E., Chief, North Branch
Site Development and Inspections Division (SDID)
Herrity Building, Suite 535

cc: Jack Weyant, Director, SDID, Land Development Services, (LDS) Department of Public Works and Environmental Services, (DPWES)
Carmen Bishop, Staff Coordinator, Department of Planning and Zoning, Zoning Evaluation Division
Yosif Ibrahim, Senior Engineer III, SDID, LDS, DPWES
DPWES File



County of Fairfax, Virginia

MEMORANDUM

DATE: July 28, 2016

TO: Barbara C. Berlin, Director
Zoning Evaluation Division, DPZ

FROM: Denise M. James, Chief *DMJ*
Environment and Development Review Branch, DPZ

SUBJECT: ENVIRONMENTAL ASSESSMENT for: **PCA 84-S-027-08**
FDPA 84-S-027-06
MACS Retail, LLC

This memorandum, prepared by John R. Bell, includes citations from Comprehensive Plan that provide guidance for the evaluation of the subject Proffered Condition Amendment (PCA) and Final Development Plan Amendment (FDPA), as revised through May 16, 2016. The extent to which the application conforms to the applicable guidance contained in the Comprehensive Plan is noted. Possible solutions to remedy identified issues are suggested. Other solutions may be acceptable, provided that they achieve the desired degree of mitigation and are in conformance with Plan policies.

Note: The applicable Comprehensive Plan citations may be found at the end of this report.

ENVIRONMENTAL ANALYSIS

This section characterizes the environmental concerns raised by an evaluation of this site and the proposed land use. Particular emphasis is given to opportunities provided by this application to conserve the County's remaining natural amenities. Analysis for this application addresses the overall development plan and proffered commitments for the subject property.

Green Building Practices

The site is located just outside of the Dulles Suburban Center. While green building commitments are not explicitly recommended by the Comprehensive Plan for the subject property, staff had encouraged the applicant to explore green building measures as part of the proposed development. The applicant has agreed to a list of soft green building commitments rather than certification through a third-party system. Staff feels that this fully addresses this issue.

Lighting

The expansion of the existing gas station raised some concerns regarding additional onsite lighting and potential impacts to offsite properties. Staff had requested that the applicant complete and provide details of a lighting study in order to ensure that this concern was fully addressed. The applicant has provided a lighting study with the latest plan submission and it has been demonstrated that the lighting will meet current Zoning Ordinance standards.

DMJ:JRB

COMPREHENSIVE PLAN CITATIONS:

The Comprehensive Plan is the basis for the evaluation of this application. The assessment of the proposal for conformity with the environmental recommendations of the Comprehensive Plan is guided by the following.

Environment

In the Fairfax County Comprehensive Plan, 2013 Edition, Policy Plan, Environment, as amended through July 1, 2014, on page 19 -21, the Plan states:

“Objective 13: Design and construct buildings and associated landscapes to use energy water resources efficiently and to minimize short- and long-term negative impacts on the environment and building occupants.

Policy a. In consideration of other Policy Plan objectives, encourage the application of energy conservation, water conservation and other green building practices in the design and construction of new development and redevelopment projects. These practices may include, but are not limited to:

- Environmentally-sensitive siting and construction of development;
- Application of low impact development practices, including minimization of impervious cover (See Policy k under Objective 2 of this section of the *Policy Plan*);
- Optimization of energy performance of structures/energy-efficient design;
- Use of renewable energy resources;
- Use of energy efficient appliances, heating/cooling systems, lighting and/or other products;

- Application of best practices for water conservation, such as water efficient landscaping and innovative wastewater technologies, that can serve to reduce the use of potable water and/or reduce stormwater runoff volumes;
- Reuse of existing building materials for redevelopment projects;
- Recycling/salvage of non-hazardous construction, demolition, and land clearing debris;
- Use of recycled and rapidly renewable building materials;
- Use of building materials and products that originate from nearby sources;
- Reduction of potential indoor air quality problems through measures such as increased ventilation, indoor air testing and use of low-emitting adhesives, sealants, paints/coatings, carpeting and other building materials;
- Reuse, preservation and conservation of existing buildings, including historic structures;
- Retrofitting of other green building practices within existing structures to be preserved, conserved and reused;
- Energy and water usage data collection and performance monitoring;
- Solid waste and recycling management practices; and
- Natural lighting for occupants.

Encourage commitments to implementation of green building practices through certification under established green building rating systems for individual buildings (e.g., the U.S. Green Building Council's Leadership in Energy and Environmental Design for New Construction [LEED-NC®] or the U.S. Green Building Council's Leadership in Energy and Environmental Design for Core and Shell [LEED-CS®] program or other equivalent programs with third party certification). An equivalent program is one that is independent, third-party verified, and has regional or national recognition or one that otherwise includes multiple green building concepts and overall levels of green building performance that are at least similar in scope to the applicable LEED rating system. Encourage commitments to the attainment of the ENERGY STAR® rating where available. Encourage certification of new homes through an established residential green building rating system that incorporates multiple green building concepts and has a level of energy performance that is comparable to or exceeds ENERGY STAR

qualification for homes. Encourage the inclusion of professionals with green building accreditation on development teams. Encourage commitments to the provision of information to owners of buildings with green building/energy efficiency measures that identify building/energy efficiency measures that identifies both the benefits of these measures and their associated maintenance needs. ...

In the Fairfax County Comprehensive Plan, 2013 Edition, Policy Plan, Environment, as amended through July 1, 2014, on page 12, the Plan states:

Objective 5: Minimize light emissions to those necessary and consistent with general safety.

Policy a. Recognize the nuisance aspects of unfocused light emissions.



County of Fairfax, Virginia

MEMORANDUM

DATE: June 7, 2016

TO: Barbara C. Berlin, AICP, Director
Zoning Evaluation Division, DPZ

FROM: Denise M. James, Chief *DMJ*
Environment and Development Review Branch, DPZ

SUBJECT: Land Use Analysis:
PCA 84-S-027-08, FDPA 84-S-027-06, MACS Retail, LLC

This memorandum, prepared by Casey Gresham, includes citations from the Comprehensive Plan that provide guidance for the evaluation of the subject Proffered Condition Amendment (PCA) and Final Development Plan Amendment (FDPA) dated September 15, 2015, as revised through March 8, 2016 and draft proffers, dated May 18, 2016. The extent to which the application conforms to the applicable guidance contained in the Comprehensive Plan is noted. Possible solutions to remedy identified issues are suggested.

DESCRIPTION OF THE APPLICATION

The subject site measures 37,561.8 square feet and is a portion of the greater 14.35-acre Sully Station Shopping Center. The property is located along Westfields Boulevard near its intersection with Sequoia Farms Drive [Tax Map Parcel 44-3 ((7)) B3 pt.] in the Sully Magisterial District. The application proposes to amend the previously approved Rezoning/Final Development Plan (RZ/FDP) 84-S-027 as well to amend to previously approved Proffered Condition Amendment (PCA) PCA 84-S-01. The application seeks to redevelop the existing service station through the removal of the existing retail kiosk, the replacement of the kiosk with three additional fueling dispensers, and the addition of a quick service food store. In addition, the applicant proposes a 432 square foot storage enclosure to be located on the western side of the proposed quick service food store. The application would result in an overall increase of 3,422 square feet of GFA with a total FAR of 0.24 for the overall shopping center. The proposed hours of operation will be 24 hours a day, seven days a week, which will remain unchanged from the current hours of operation.

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Integrity * Teamwork * Public Service

Department of Planning and Zoning
Planning Division
12055 Government Center Parkway, Suite 730
Fairfax, Virginia 22035-5509
Phone 703-324-1380
Fax 703-653-9447
www.fairfaxcounty.gov/dpz/



LOCATION AND CHARACTER OF THE AREA

The application property is located within the Sully Station Shopping Center, which is bound by Westfields Boulevard and Sequoia Farms Drive. The Center is split-zoned PDH-3 and C-5, and the subject property falls within the PDH-3 portion of the Center. The entire center is also subject to the Water Supply Overlay District (WS). The shopping center hosts retail and other commercial uses, including a grocery store, fast food uses, financial institutions, and a post office. The property is mainly surrounded by PDH-3 zoned properties: the property to the west is developed as single family attached townhomes; the properties to the south are developed with daycare centers; the properties to the east are multifamily apartments. The property to the north (within the Sully Station Shopping Center) is zoned C-5 and developed as a post office.

COMPREHENSIVE PLAN CITATIONS:

Plan Map: Retail and Other Commercial Uses

Land Use:

The Comprehensive Plan Areawide Recommendations for the Bull Run Planning District may be accessed at: <http://www.fairfaxcounty.gov/dpz/comprehensiveplan/area3/bullrun.pdf>

In the Fairfax County Comprehensive Plan, 2013 Edition, Area III, Bull Run Planning District, as amended through November 17, 2015, BR3- Flatlick Community Planning Sector, page 55, the Plan, as applied to the application area, states the following:

“Land at the southeast quadrant of the intersection of Westfields and Stonecroft Boulevards (Tax Map 44-3((7)) A, B, B1, C, C1) is planned and developed as retail use at .25 FAR. Land at the southwest quadrant of the intersection of Westfields and Stonecroft Boulevards (Tax Map 44-3((1)) 7G and 12) is planned for public facilities and governmental uses.”

LAND USE ANALYSIS

As previously discussed, the applicant proposes to amend RZ/FDP 84-S-027, which was approved by the Board of Supervisors on September 24, 1984, to rezone approximately 329 acres from R-3, R-2, R-C, and I-3 to the PDH-3, R-2, R-3, and I-3 Districts to permit the development of the Sully Station mixed use project. This application, along with RZ 85-S-013/PCA 84-S-027-01/FDP 84-S-027-02, permitted the construction and expansion of the Sully Station Shopping Center, which contains the subject property. The proposal includes an intensification of an existing gas station and retail kiosk to permit additional fueling pumps as well as the construction of a quick-service food store. The construction will not increase the existing FAR of 0.24, which is within the maximum of 0.25 FAR stated in the site-specific Comprehensive Plan text.

Given the adjacent residential uses, staff encouraged the applicant to consider a pedestrian connection from the existing trail along Westfields Boulevard, providing access to the quick-service food store component and the shopping center as a whole. While staff understands the difficult topography and the presence of existing mature vegetation preventing the construction of an ADA-compliant walkway, pedestrian connectivity is key considering the community-serving retail nature of the application. If a connection is unable to be made at this time, the pedestrian component needs to be considered and included in future zoning changes to the shopping center.

The application also proposes exterior storage along with a dumpster enclosure. In regards to the exterior storage, the applicant has not provided a strong justification for why this storage needs to be exterior and separate from the proposed quick-service food store building. Staff recommends the container be eliminated and storage be accommodated inside the store; if necessary, the quick-service food store could be enlarged to provide more storage. If the storage container is permitted to remain, staff recommends a development condition requiring the treatment of the container to be in conformance with the architectural elevations, which include a brick façade and an asphalt shingle roof. Regarding the dumpster enclosure, staff recommends that this also be architecturally compatible with the quick-service food store rather than the proposed concrete enclosure currently included on the plans.

Considering the surrounding residential uses and the PDH-3 zoning of the site, staff requested further information on the photometrics of the existing canopy along with the proposed lighting of the quick-service food store. In the most recent resubmission, dated May 18, 2016, the applicant responded that the lighting would meet current Zoning Ordinance standards. Despite the canopy lighting remaining unchanged, the gas station use is being intensified through the addition of three fueling dispensers. For this reason, the lighting in the canopy is brought into consideration during staff's review. Staff requests a photometrics plan (either currently or at the time of Non-RUP) to ensure the footcandles do not exceed the 30-footcandle requirement of the Zoning Ordinance; if the footcandles do exceed the minimum, the applicant will need to request a waiver from the Board of Supervisors. In addition, the proposed building-mounted lighting included in the proposed elevations details depicts exposed light bulbs which do not meet the full-cutoff lighting standards in the Zoning Ordinance. The applicant should work to address this issue along with the submission of a photometrics plan.

CONCLUSION

The application proposes to remove an existing retail kiosk and replace it with three new gasoline dispensers along with the construction of a 3,520 square foot quick-service food store. Staff believes that with the addition of a pedestrian connection, the consolidation of the storage container into the quick-service food store, and information on the photometrics of the canopy, the applicant will provide adequate mitigation of impacts and provide improvements to the pedestrian realm. Overall, staff believes that the subject application is in harmony with the Comprehensive Plan.

DMJ:CVG



County of Fairfax, Virginia

MEMORANDUM

DATE: July 21, 2016

TO: Carmen Bishop, Staff Coordinator
Zoning Evaluation Division, DPZ

FROM: Linda Barfield, Urban Forester II
Forest Conservation Branch, DPWES 

SUBJECT: Sully Station Shopping Center FDPA 84-S-027-06

I have reviewed the above referenced Final Development Plan Amendment (FDPA) and Proffered Condition Amendment (PCA) application revised plat plan set stamped "Received, Department of Planning and Zoning July 12, 2016". The following recommendations are based on this review of the property:

Specific Comments:

1. **Comment:** It appears that the Landscape and Parking Areas graphic and calculations on Sheet 14 have not identified with a symbol (such as a "P") those existing or proposed trees (5% or 1,377 square feet) that will be counted for the required Interior Parking lot landscape tree canopy area. (PFM 12-0515.5)

Recommendation: The graphic should accurately delineate those trees that will be counted as Interior Parking lot landscape. The applicant should provide a symbol over the trees (such as the 5 existing trees to remain=517 s.f.+ 4 proposed trees) to ensure 5% interior parking lot landscaping has been met at time of site plan.

2. **Comment:** It appears that table 12.10 on sheet 15 is not accurate for items D8-D11 and D17. The tree planting multiplier credit can only be claimed in one category for each tree. The required minimum 10-year tree canopy credit has not been provided. (PFM 12-0510.4B)

Recommendation: Provide an additional 5,078 square feet of 10-year tree canopy credit (approximately 14 additional trees). The use of structural soil cell technology details and specifications may be needed to create the minimum soil volume areas under proposed hardscape at time of site plan.

All other UFMD comments appear to have been adequately addressed.

lb/

UFMDID #: 214040

cc: DPZ File

Department of Public Works and Environmental Services
Urban Forest Management Division
12055 Government Center Parkway, Suite 518
Fairfax, Virginia 22035-5503
Phone 703-324-1770, TTY: 711, Fax: 703-653-9550
www.fairfaxcounty.gov/dpwes





County of Fairfax, Virginia

MEMORANDUM

DATE: April 29, 2016

TO: Carmen Bishop
Zoning Evaluation Division
Department of Planning and Zoning

FROM: Sharad Regmi, P.E.
Engineering Analysis and Planning Branch

SUBJECT: Sanitary Sewer Analysis Report

REF: **Application No. : PCA 84-S-027-08 Conc. with FDPA 84-S-027-06**
Tax Map No. : 044-3-((7))-0000-B3
5135 Westfield Boulevard

The following information is submitted in response to your request for a sanitary sewer analysis for above referenced application:

1. The application property is located in the Flatlick Run (T2) watershed. It would be sewered into the Upper Occoquan Sewage Authority (UOSA) Treatment Plant.
2. Based upon current and committed flow, there is excess capacity in the UOSA Treatment. For purposes of this report, committed flow shall be deemed that for which fees have been paid, building permits have been issued, or priority reservations have been established by the Board of Supervisors. No commitment can be made, however, as to the availability of treatment capacity for the development of the subject property. Availability of treatment capacity will depend upon the current rate of construction and the timing for development of this site.
3. An existing 8 inch line located on the property is adequate for the proposed use at this time.
4. The following table indicates the condition of all related sewer facilities and the total effect of this application.

<u>Sewer Network</u>	<u>Existing Use</u>		<u>Existing Use</u>		<u>Existing Use</u>	
	<u>Adeq.</u>	<u>Inadeq</u>	<u>+ Application</u>	<u>+Previous Applications</u>	<u>+ Application</u>	<u>+ Comp Plan</u>
Collector	X		X		X	
Submain	X		X		X	
Main/Trunk	X		X		X	

5. **Other pertinent comments:**



FAIRFAX COUNTY WATER AUTHORITY
8560 Arlington Boulevard, Fairfax, Virginia 22031
www.fairfaxwater.org

APPENDIX 10
RECEIVED
Department of Planning & Zoning
APR 11 2016
Zoning Evaluation Division

PLANNING & ENGINEERING
DIVISION

Jamie Bain Hedges, P.E.
Director
(703) 289-6325
Fax (703) 289-6382

April 7, 2016

Ms. Barbara Berlin, Director
Fairfax County Department of Planning and Zoning
12055 Government Center Parkway, Suite 801
Fairfax, Virginia 22035-5505

Re: PCA 84-S-027-08
FDPA 84-S-027-06
Sully Shopping Center
Tax Map: 44-3

Dear Ms. Berlin:

The following information is submitted in response to your request for a water service analysis for the above application:

1. The property can be served by Fairfax Water.
2. Adequate domestic water service is available at the site from an existing 8-inch water main located on-site. See the enclosed water system map.
3. Depending upon the configuration of any proposed on-site water mains, additional water main extensions may be necessary to satisfy fire flow requirements and accommodate water quality concerns.

If you have any questions regarding this information please contact Ross Stilling, Chief, Site Plan Review at (703) 289-6385.

Sincerely,

Gregory J. Prelewicz, P.E.
Manager, Planning Department

Enclosure



County of Fairfax, Virginia

RECEIVED
Department of Planning & Zoning

APR 20 2016

Zoning Evaluation Division

DATE: April 14, 2016

TO: Carmen Bisshop, Staff Coordinator
Zoning Evaluation Division
Department of Planning and Zoning

FROM: Kevin R. Wastler, EH Supervisor *KRW*
Consumer Protection Program
Fairfax County Health Department

SUBJECT: Zoning Application Analysis

REFERENCE: Application No. PCA 84-S-027-08 concurrent with FDPA 84-S-0027-06
(MACS Retail LLC)

After reviewing the application, the Health Department has no additional comments to make regarding the application. Plans must be submitted for review by the applicant regarding all required Health Department codes and regulations regarding any proposed food service establishment which may be part of this submission.



6-100 PDH PLANNED DEVELOPMENT HOUSING DISTRICT**6-101 Purpose and Intent**

The PDH District is established to encourage innovative and creative design and to facilitate use of the most advantageous construction techniques in the development of land for residential and other selected secondary uses. The district regulations are designed to insure ample provision and efficient use of open space; to promote high standards in the layout, design and construction of residential development; to promote balanced developments of mixed housing types; to encourage the provision of dwellings within the means of families of low and moderate income; and otherwise to implement the stated purpose and intent of this Ordinance.

To these ends, rezoning to and development under this district will be permitted only in accordance with a development plan prepared and approved in accordance with the provisions of Article 16.

PART 1 16-100 STANDARDS FOR ALL PLANNED DEVELOPMENTS**16-101 General Standards**

A rezoning application or development plan amendment application may only be approved for a planned development under the provisions of Article 6 if the planned development satisfies the following general standards:

1. The planned development shall substantially conform to the adopted comprehensive plan with respect to type, character, intensity of use and public facilities. Planned developments shall not exceed the density or intensity permitted by the adopted comprehensive plan, except as expressly permitted under the applicable density or intensity bonus provisions.
2. The planned development shall be of such design that it will result in a development achieving the stated purpose and intent of the planned development district more than would development under a conventional zoning district.
3. The planned development shall efficiently utilize the available land, and shall protect and preserve to the extent possible all scenic assets and natural features such as trees, streams and topographic features.
4. The planned development shall be designed to prevent substantial injury to the use and value of existing surrounding development, and shall not hinder, deter or impede development of surrounding undeveloped properties in accordance with the adopted comprehensive plan.
5. The planned development shall be located in an area in which transportation, police and fire protection, other public facilities and public utilities, including sewerage, are or will be available and adequate for the uses proposed; provided, however, that the

applicant may make provision for such facilities or utilities which are not presently available.

6. The planned development shall provide coordinated linkages among internal facilities and services as well as connections to major external facilities and services at a scale appropriate to the development.

16-102 Design Standards

Whereas it is the intent to allow flexibility in the design of all planned developments, it is deemed necessary to establish design standards by which to review rezoning applications, development plans, conceptual development plans, final development plans, PRC plans, site plans and subdivision plats. Therefore, the following design standards shall apply:

1. In order to complement development on adjacent properties, at all peripheral boundaries of the PDH, PRM, PDC, PRC Districts the bulk regulations and landscaping and screening provisions shall generally conform to the provisions of that conventional zoning district which most closely characterizes the particular type of development under consideration. In the PTC District, such provisions shall only have general applicability and only at the periphery of the Tysons Corner Urban Center, as designated in the adopted comprehensive plan.
2. Other than those regulations specifically set forth in Article 6 for a particular P district, the open space, off-street parking, loading, sign and all other similar regulations set forth in this Ordinance shall have general application in all planned developments.
3. Streets and driveways shall be designed to generally conform to the provisions set forth in this Ordinance and all other County ordinances and regulations controlling same, and where applicable, street systems shall be designed to afford convenient access to mass transportation facilities. In addition, a network of trails and sidewalks shall be coordinated to provide access to recreational amenities, open space, public facilities, vehicular access routes, and mass transportation facilities.

GLOSSARY

This Glossary is provided to assist the public in understanding the staff evaluation and analysis of development proposals. It should not be construed as representing legal definitions. Refer to the Fairfax County Zoning Ordinance, Comprehensive Plan or Public Facilities Manual for additional information.

ABANDONMENT: Refers to road or street abandonment, an action taken by the Board of Supervisors, usually through the public hearing process, to abolish the public's right-of-passage over a road or road right-of way. Upon abandonment, the right-of-way automatically reverts to the underlying fee owners. If the fee to the owner is unknown, Virginia law presumes that fee to the roadbed rests with the adjacent property owners if there is no evidence to the contrary.

ACCESSORY DWELLING UNIT (OR APARTMENT): A secondary dwelling unit established in conjunction with and clearly subordinate to a single family detached dwelling unit. An accessory dwelling unit may be allowed if a special permit is granted by the Board of Zoning Appeals (BZA). Refer to Sect. 8-918 of the Zoning Ordinance.

AFFORDABLE DWELLING UNIT (ADU) DEVELOPMENT: Residential development to assist in the provision of affordable housing for persons of low and moderate income in accordance with the affordable dwelling unit program and in accordance with Zoning Ordinance regulations. Residential development which provides affordable dwelling units may result in a density bonus (see below) permitting the construction of additional housing units. See Part 8 of Article 2 of the Zoning Ordinance.

AGRICULTURAL AND FORESTAL DISTRICTS: A land use classification created under Chapter 114 or 115 of the Fairfax County Code for the purpose of qualifying landowners who wish to retain their property for agricultural or forestal use for use/value taxation pursuant to Chapter 58 of the Fairfax County Code.

BARRIER: A wall, fence, earthen berm, or plant materials which may be used to provide a physical separation between land uses. Refer to Article 13 of the Zoning Ordinance for specific barrier requirements.

BEST MANAGEMENT PRACTICES (BMPs): Stormwater management techniques or land use practices that are determined to be the most effective, practicable means of preventing and/or reducing the amount of pollution generated by nonpoint sources in order to improve water quality.

BUFFER: Graduated mix of land uses, building heights or intensities designed to mitigate potential conflicts between different types or intensities of land uses; may also provide for a transition between uses. A landscaped buffer may be an area of open, undeveloped land and may include a combination of fences, walls, berms, open space and/or landscape plantings. A buffer is not necessarily coincident with transitional screening.

CHESAPEAKE BAY PRESERVATION ORDINANCE: Regulations which the State has mandated must be adopted to protect the Chesapeake Bay and its tributaries. These regulations must be incorporated into the comprehensive plans, zoning ordinances and subdivision ordinances of the affected localities. Refer to Chesapeake Bay Preservation Act, Va. Code Section 10.1-2100 et seq and VR 173-02-01, Chesapeake Bay Preservation Area Designation and Management Regulations.

CLUSTER DEVELOPMENT: Residential development in which the lots are clustered on a portion of a site so that significant environmental/historical/cultural resources may be preserved or recreational amenities provided. While smaller lot sizes are permitted in a cluster subdivision to preserve open space, the overall density cannot exceed that permitted by the applicable zoning district. See Sect. 2-421 and Sect. 9-615 of the Zoning Ordinance.

COUNTY 2232 REVIEW PROCESS: A public hearing process pursuant to Sect. 15.2-2232 (Formerly Sect. 15.1-456) of the Virginia Code which is used to determine if a proposed public facility not shown on the adopted Comprehensive Plan is in substantial accord with the plan. Specifically, this process is used to determine if the general or approximate location, character and extent of a proposed facility is in substantial accord with the Plan.

dBA: The momentary magnitude of sound weighted to approximate the sensitivity of the human ear to certain frequencies; the dBA value describes a sound at a given instant, a maximum sound level or a steady state value. See also Ldn.

DENSITY: Number of dwelling units (du) divided by the gross acreage (ac) of a site being developed in residential use; or, the number of dwelling units per acre (du/ac) except in the PRC District when density refers to the number of persons per acre.

DENSITY BONUS: An increase in the density otherwise allowed in a given zoning district which may be granted under specific provisions of the Zoning Ordinance when a developer provides excess open space, recreation facilities, or affordable dwelling units (ADUs), etc.

DEVELOPMENT CONDITIONS: Terms or conditions imposed on a development by the Board of Supervisors (BOS) or the Board of Zoning Appeals (BZA) in connection with approval of a special exception, special permit or variance application or rezoning application in a "P" district. Conditions may be imposed to mitigate adverse impacts associated with a development as well as secure compliance with the Zoning Ordinance and/or conformance with the Comprehensive Plan. For example, development conditions may regulate hours of operation, number of employees, height of buildings, and intensity of development.

DEVELOPMENT PLAN: A graphic representation which depicts the nature and character of the development proposed for a specific land area: information such as topography, location and size of proposed structures, location of streets trails, utilities, and storm drainage are generally included on a development plan. A development plan is a submission requirement for rezoning to the PRC District. A **GENERALIZED DEVELOPMENT PLAN (GDP)** is a submission requirement for a rezoning application for all conventional zoning districts other than a P District. A development plan submitted in connection with a special exception (SE) or special permit (SP) is generally referred to as an SE or SP plat. A **CONCEPTUAL DEVELOPMENT PLAN (CDP)** is a submission requirement when filing a rezoning application for a P District other than the PRC District; a CDP characterizes in a general way the planned development of the site. A **FINAL DEVELOPMENT PLAN (FDP)** is a submission requirement following the approval of a conceptual development plan and rezoning application for a P District other than the PRC District; an FDP further details the planned development of the site. See Article 16 of the Zoning Ordinance.

EASEMENT: A right to or interest in property owned by another for a specific and limited purpose. Examples: access easement, utility easement, construction easement, etc. Easements may be for public or private purposes.

ENVIRONMENTAL QUALITY CORRIDORS (EQCs): An open space system designed to link and preserve natural resource areas, provide passive recreation and protect wildlife habitat. The system includes stream valleys, steep slopes and wetlands. For a complete definition of EQCs, refer to the Environmental section of the Policy Plan for Fairfax County contained in Vol. 1 of the Comprehensive Plan.

ERODIBLE SOILS: Soils that wash away easily, especially under conditions where stormwater runoff is inadequately controlled. Silt and sediment are washed into nearby streams, thereby degrading water quality.

FLOODPLAIN: Those land areas in and adjacent to streams and watercourses subject to periodic flooding; usually associated with environmental quality corridors. The 100 year floodplain drains 70 acres or more of land and has a one percent chance of flood occurrence in any given year.

FLOOR AREA RATIO (FAR): An expression of the amount of development intensity (typically, non-residential uses) on a specific parcel of land. FAR is determined by dividing the total square footage of gross floor area of buildings on a site by the total square footage of the site itself.

FUNCTIONAL CLASSIFICATION: A system for classifying roads in terms of the character of service that individual facilities are providing or are intended to provide, ranging from travel mobility to land access. Roadway system functional classification elements include Freeways or Expressways which are limited access highways, Other Principal (or Major) Arterials, Minor Arterials, Collector Streets, and Local Streets. Principal arterials are designed to accommodate travel; access to adjacent properties is discouraged. Minor arterials are designed to serve both through traffic and local trips. Collector roads and streets link local streets and properties with the arterial network. Local streets provide access to adjacent properties.

GEOTECHNICAL REVIEW: An engineering study of the geology and soils of a site which is submitted to determine the suitability of a site for development and recommends construction techniques designed to overcome development on problem soils, e.g., marine clay soils.

HYDROCARBON RUNOFF: Petroleum products, such as motor oil, gasoline or transmission fluid deposited by motor vehicles which are carried into the local storm sewer system with the stormwater runoff, and ultimately, into receiving streams; a major source of non-point source pollution. An oil-grit separator is a common hydrocarbon runoff reduction method.

IMPERVIOUS SURFACE: Any land area covered by buildings or paved with a hard surface such that water cannot seep through the surface into the ground.

INFILL: Development on vacant or underutilized sites within an area which is already mostly developed in an established development pattern or neighborhood.

INTENSITY: The magnitude of development usually measured in such terms as density, floor area ratio, building height, percentage of impervious surface, traffic generation, etc. Intensity is also based on a comparison of the development proposal against environmental constraints or other conditions which determine the carrying capacity of a specific land area to accommodate development without adverse impacts.

Ldn: Day night average sound level. It is the twenty-four hour average sound level expressed in A-weighted decibels; the measurement assigns a "penalty" to night time noise to account for night time sensitivity. Ldn represents the total noise environment which varies over time and correlates with the effects of noise on the public health, safety and welfare.

LEVEL OF SERVICE (LOS): An estimate of the effectiveness of a roadway to carry traffic, usually under anticipated peak traffic conditions. Level of Service efficiency is generally characterized by the letters A through F, with LOS-A describing free flow traffic conditions and LOS-F describing jammed or grid-lock conditions.

MARINE CLAY SOILS: Soils that occur in widespread areas of the County generally east of Interstate 95. Because of the abundance of shrink-swell clays in these soils, they tend to be highly unstable. Many areas of slope failure are evident on natural slopes. Construction on these soils may initiate or accelerate slope movement or slope failure. The shrink-swell soils can cause movement in structures, even in areas of flat topography, from dry to wet seasons resulting in cracked foundations, etc. Also known as slippage soils.

OPEN SPACE: That portion of a site which generally is not covered by buildings, streets, or parking areas. Open space is intended to provide light and air; open space may function as a buffer between land uses or for scenic, environmental, or recreational purposes.

OPEN SPACE EASEMENT: An easement usually granted to the Board of Supervisors which preserves a tract of land in open space for some public benefit in perpetuity or for a specified period of time. Open space easements may be accepted by the Board of Supervisors, upon request of the land owner, after evaluation under criteria established by the Board. See Open Space Land Act, Code of Virginia, Sections 10.1-1700, et seq.

P DISTRICT: A "P" district refers to land that is planned and/or developed as a Planned Development Housing (PDH) District, a Planned Development Commercial (PDC) District or a Planned Residential Community (PRC) District. The PDH, PDC and PRC Zoning Districts are established to encourage innovative and creative design for land development; to provide ample and efficient use of open space; to promote a balance in the mix of land uses, housing types, and intensity of development; and to allow maximum flexibility in order to achieve excellence in physical, social and economic planning and development of a site. Refer to Articles 6 and 16 of the Zoning Ordinance.

PROFFER: A written condition, which, when offered voluntarily by a property owner and accepted by the Board of Supervisors in a rezoning action, becomes a legally binding condition which is in addition to the zoning district regulations applicable to a specific property. Proffers are submitted and signed by an owner prior to the Board of Supervisors public hearing on a rezoning application and run with the land. Once accepted by the Board, proffers may be modified only by a proffered condition amendment (PCA) application or other zoning action of the Board and the hearing process required for a rezoning application applies. See Sect. 15.2-2303 (formerly 15.1-491) of the Code of Virginia.

PUBLIC FACILITIES MANUAL (PFM): A technical text approved by the Board of Supervisors containing guidelines and standards which govern the design and construction of site improvements incorporating applicable Federal, State and County Codes, specific standards of the Virginia Department of Transportation and the County's Department of Public Works and Environmental Services.

RESOURCE MANAGEMENT AREA (RMA): That component of the Chesapeake Bay Preservation Area comprised of lands that, if improperly used or developed, have a potential for causing significant water quality degradation or for diminishing the functional value of the Resource Protection Area. See Fairfax County Code, Ch. 118, Chesapeake Bay Preservation Ordinance.

RESOURCE PROTECTION AREA (RPA): That component of the Chesapeake Bay Preservation Area comprised of lands at or near the shoreline or water's edge that have an intrinsic water quality value due to the ecological and biological processes they perform or are sensitive to impacts which may result in significant degradation of the quality of state waters. In their natural condition, these lands provide for the removal, reduction or assimilation of sediments from runoff entering the Bay and its tributaries, and minimize the adverse effects of human activities on state waters and aquatic resources. New development is generally discouraged in an RPA. See Fairfax County Code, Ch. 118, Chesapeake Bay Preservation Ordinance.

SITE PLAN: A detailed engineering plan, to scale, depicting the development of a parcel of land and containing all information required by Article 17 of the Zoning Ordinance. Generally, submission of a site plan to DPWES for review and approval is required for all residential, commercial and industrial development except for development of single family detached dwellings. The site plan is required to assure that development complies with the Zoning Ordinance.

SPECIAL EXCEPTION (SE) / SPECIAL PERMIT (SP): Uses, which by their nature, can have an undue impact upon or can be incompatible with other land uses and therefore need a site specific review. After review, such uses may be allowed to locate within given designated zoning districts if appropriate and only under special controls, limitations, and regulations. A special exception is subject to public hearings by the Planning Commission and Board of Supervisors with approval by the Board of Supervisors; a special permit requires a public hearing and approval by the Board of Zoning Appeals. Unlike proffers which are voluntary, the Board of Supervisors or BZA may impose reasonable conditions to assure, for example, compatibility and safety. See Article 8, Special Permits and Article 9, Special Exceptions, of the Zoning Ordinance.

STORMWATER MANAGEMENT: Engineering practices that are incorporated into the design of a development in order to mitigate or abate adverse water quantity and water quality impacts resulting from development. Stormwater management systems are designed to slow down or retain runoff to re-create, as nearly as possible, the pre-development flow conditions.

SUBDIVISION PLAT: The engineering plan for a subdivision of land submitted to DPWES for review and approved pursuant to Chapter 101 of the County Code.

TRANSPORTATION DEMAND MANAGEMENT (TDM): Actions taken to reduce single occupant vehicle automobile trips or actions taken to manage or reduce overall transportation demand in a particular area.

TRANSPORTATION SYSTEM MANAGEMENT (TSM) PROGRAMS: This term is used to describe a full spectrum of actions that may be applied to improve the overall efficiency of the transportation network. TSM programs usually consist of low-cost alternatives to major capital expenditures, and may include parking management measures, ridesharing programs, flexible or staggered work hours, transit promotion or operational improvements to the existing roadway system. TSM includes Transportation Demand Management (TDM) measures as well as H.O.V. use and other strategies associated with the operation of the street and transit systems.

URBAN DESIGN: An aspect of urban or suburban planning that focuses on creating a desirable environment in which to live, work and play. A well-designed urban or suburban environment demonstrates the four generally accepted principles of design: clearly identifiable function for the area; easily understood order; distinctive identity; and visual appeal.

VACATION: Refers to vacation of street or road as an action taken by the Board of Supervisors in order to abolish the public's right-of-passage over a road or road right-of-way dedicated by a plat of subdivision. Upon vacation, title to the road right-of-way transfers by operation of law to the owner(s) of the adjacent properties within the subdivision from whence the road/road right-of-way originated.

VARIANCE: An application to the Board of Zoning Appeals which seeks relief from a specific zoning regulation such as lot width, building height, or minimum yard requirements, among others. A variance may only be granted by the Board of Zoning Appeals through the public hearing process and upon a finding by the BZA that the variance application meets the required Standards for a Variance set forth in Sect. 18-404 of the Zoning Ordinance.

WETLANDS: Land characterized by wetness for a portion of the growing season. Wetlands are generally delineated on the basis of physical characteristics such as soil properties indicative of wetness, the presence of vegetation with an affinity for water, and the presence or evidence of surface wetness or soil saturation. Wetland environments provide water quality improvement benefits and are ecologically valuable. Development activity in wetlands is subject to permitting processes administered by the U.S. Army Corps of Engineers

TIDAL WETLANDS: Vegetated and nonvegetated wetlands as defined in Chapter 116 Wetlands Ordinance of the Fairfax County Code: includes tidal shores and tidally influenced embayments, creeks, and tributaries to the Occoquan and Potomac Rivers. Development activity in tidal wetlands may require approval from the Fairfax County Wetlands Board.

Abbreviations Commonly Used in Staff Reports

A&F	Agricultural & Forestal District	PDH	Planned Development Housing
ADU	Affordable Dwelling Unit	PFM	Public Facilities Manual
ARB	Architectural Review Board	PRC	Planned Residential Community
BMP	Best Management Practices	RC	Residential-Conservation
BOS	Board of Supervisors	RE	Residential Estate
BZA	Board of Zoning Appeals	RMA	Resource Management Area
COG	Council of Governments	RPA	Resource Protection Area
CBC	Community Business Center	RUP	Residential Use Permit
CDP	Conceptual Development Plan	RZ	Rezoning
CRD	Commercial Revitalization District	SE	Special Exception
DOT	Department of Transportation	SEA	Special Exception Amendment
DP	Development Plan	SP	Special Permit
DPWES	Department of Public Works and Environmental Services	TDM	Transportation Demand Management
DPZ	Department of Planning and Zoning	TMA	Transportation Management Association
DU/AC	Dwelling Units Per Acre	TSA	Transit Station Area
EQC	Environmental Quality Corridor	TSM	Transportation System Management
FAR	Floor Area Ratio	UP & DD	Utilities Planning and Design Division, DPWES
FDP	Final Development Plan	VC	Variance
GDP	Generalized Development Plan	VDOT	Virginia Dept. of Transportation
GFA	Gross Floor Area	VPD	Vehicles Per Day
HC	Highway Corridor Overlay District	VPH	Vehicles per Hour
HCD	Housing and Community Development	WMATA	Washington Metropolitan Area Transit Authority
LOS	Level of Service	WS	Water Supply Protection Overlay District
Non-RUP	Non-Residential Use Permit	ZAD	Zoning Administration Division, DPZ
OSDS	Office of Site Development Services, DPWES	ZED	Zoning Evaluation Division, DPZ
PCA	Proffered Condition Amendment	ZPRB	Zoning Permit Review Branch
PD	Planning Division		
PDC	Planned Development Commercial		