



**APPLICATION ACCEPTED:** January 12, 2016  
**PLANNING COMMISSION:** September 14, 2016  
**BOARD OF SUPERVISORS:** To Be Scheduled

# County of Fairfax, Virginia

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**August 31, 2016**

## **STAFF REPORT**

**APPLICATION PCA 1999-HM-037  
Concurrent with SEA 97-H-070-03  
and RZ/FDP 2016-DR-001**



### **DRANESVILLE DISTRICT**

**APPLICANT:** NVR, Inc.

**PARCELS:** 16-3 ((1)) 29 D, 29 E  
16-3 ((11)) 7

**SITE AREA:** 11.95 acres

**PLAN MAP:** Mixed Use

**PROPOSAL:** To permit the deletion of 11.95 acres from RZ 1999-HM-037 to permit the site to be rezoned to PDH-30 as part of RZ/FDP 2016-DR-001.

### **STAFF RECOMMENDATION:**

Staff recommends approval of PCA 1999-HM-037 to delete 11.95 acres from RZ 1999-HM-037 approved for the PDC District.

Laura B. Arseneau, AICP

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**Excellence \* Innovation \* Stewardship  
Integrity \* Teamwork \* Public Service**

**Department of Planning and Zoning**  
Zoning Evaluation Division  
12055 Government Center Parkway, Suite 801  
Fairfax, Virginia 22035-5509  
Phone 703-324-1290 FAX 703-324-3924  
[www.fairfaxcounty.gov/dpz](http://www.fairfaxcounty.gov/dpz)



It should be noted that it is not the intent of staff to recommend that the Board, in adopting any conditions proffered by the owner, relieve the applicant/owner from compliance with the provisions of any applicable ordinances, regulations, or adopted standards.

It should be further noted that the content of this report reflects the analysis and recommendation of staff; it does not reflect the position of the Board of Supervisors.

The approval of this application does not interfere with, abrogate or annul any easements, covenants, or other agreements between parties, as they may apply to the property subject to this application

For information, contact the Zoning Evaluation Division, Department of Planning and Zoning, 12055 Government Center Parkway, Suite 801, Fairfax, Virginia 22035-5505, (703) 324-1290.



Americans with Disabilities Act (ADA): Reasonable accommodation is available upon 48 hours advance notice. For additional information on ADA call (703) 324-1334 or TTY 711 (Virginia Relay Center).



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**August 31, 2016**

## **STAFF REPORT**

**APPLICATION SEA 97-H-070-03**  
**Concurrent with PCA 1999-HM-037**  
**and RZ/FDP 2016-DR-001**



### **DRANESVILLE DISTRICT**

**APPLICANT:** NVR, Inc.

**PARCELS:** 16-3 ((1)) 29 D, 29 E  
16-3 ((11)) 7

**SITE AREA:** 11.95 acres

**PLAN MAP:** Mixed Use

**SE CATEGORY:** Category 6 – Miscellaneous Provisions Requiring Board of Supervisors' Approval

**PROPOSAL:** To amend SE 97-HM-070 previously approved for uses in a floodplain and wavier of sign provisions to permit deletion of 11.95 acres from the SE application.

### **STAFF RECOMMENDATION:**

Staff recommends approval of SEA 97-HM-070-03 to delete 11.95 acres from SE 97-HM-070.

Laura B. Arseneau, AICP

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## **STAFF REPORT**

**APPLICATION RZ/FDP 2016-DR-001  
Concurrent with PCA 1999-HM-037  
and SEA 97-H-070-03**



## **DRANESVILLE DISTRICT**

**APPLICANT:** NVR, Inc.

**PRESENT ZONING:** PDC (Planned Development Commercial District)

**REQUESTED ZONING:** PDH-30 (Planned Development Housing, 30 dwelling units/ acre).

**PARCELS:** 16-3 ((1)) 29D, 29E;  
16-3 ((11)) 7

**SITE AREA:** 11.95 acres

**PLAN MAP:** Mixed Use

**DENSITY:** 25.9 du/ac including affordable and bonus units

**OPEN SPACE:** 54 Percent

**15.2-2303.4 Status:** Exempt: Reston

**PROPOSAL:** To rezone the property from the PDC District to the PDH-30 District to allow residential uses including 295 multifamily dwelling units, 56 two-over-two dwelling units and 32 single family attached dwelling units.

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Laura B. Arseneau, AICP

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## **STAFF RECOMMENDATIONS:**

Staff recommends approval of PCA 1999-HM-037 to delete 11.95 acres from RZ 1999-HM-037 approved for the PDC District.

Staff recommends approval of SEA 97-HM-070-03 to delete 11.95 acres from SE 97-HM-070.

Staff recommends approval of RZ 2016-DR-001 and the conceptual development plan subject to the execution of the proffers consistent with those contained in Appendix 1.

Staff recommends approval of FDP 2015-DR-001 subject to the proposed final development plan conditions contained in Appendix 2 and the Board of Supervisors approval of RZ 2016-DR-001 and the conceptual development plan.

Staff recommends approval of the following waivers and modifications:

- Direct the Director of the Department of Public Works and Environmental Services to approve a modification Zoning Ordinance Section 2-415, to allow uncovered stoops and steps to be located a minimum of 15 feet distance measured from the permanent water surface of any appropriately designed impoundment rather than 15 feet from the horizontal edge of the floodplain per Paragraph 1 of Section 2-415 of the Zoning Ordinance.
- Waiver of Paragraph 2 of Section 6-107 of the Zoning Ordinance, which requires a 200 square foot minimum privacy yard area of single family attached dwellings.
- Waiver of Paragraphs 1 and 12 of Section 11-102 of the Zoning Ordinance to allow tandem parking in the driveways of the two-over-two multi-family units.
- Modification of Section 11-203 of the Zoning Ordinance to provide two loading spaces.
- Waiver of Paragraph 2 of Section 11-302 of the Zoning Ordinance to allow a private street in excess of 600 feet in length.
- Waiver of Section 13-200 of the Zoning Ordinance for interior parking lot landscaping requirements for a structured parking deck.
- Waiver of Paragraph 3 of Section 13-304 of the Zoning Ordinance for transitional screening and barrier requirements between the multi-family and single family attached units.
- Deviation of the tree preservation requirement from Section 12-0508.3 of the Public Facilities Manual to permit the tree preservation as shown on the CDP/FDP.

It should be noted that it is not the intent of the staff to recommend that the Board, in adopting any conditions, relieve the applicant/owner from compliance with the provisions of any applicable ordinances, regulations, or adopted standards.

The approval of this application does not interfere with, abrogate or annul any easements, covenants, or other agreements between parties, as they may apply to the property subject to this application.

It should be noted that the content of this report reflects the analysis and recommendation of staff; it does not reflect the position of the Board of Supervisors.

For information, contact the Zoning Evaluation Division, Department of Planning and Zoning, 12055 Government Center Parkway, Suite 801, Fairfax, Virginia 22035-5505, (703) 324-1290.



Americans with Disabilities Act (ADA): Reasonable accommodation is available upon 48 hours advance notice. For additional information on ADA call (703) 324-1334 or TTY 711 (Virginia Relay Center).

# Proffered Condition Amendment

**PCA 1999-HM-037**

Applicant: NVR, INC.  
 Accepted: 01/12/2016  
 Proposed: DELETE LAND AREA FROM RZ 1999-HM-037  
 Area: 11.95 AC OF LAND; DISTRICT - DRANESVILLE

Zoning Dist Sect: Located: EAST SIDE OF CENTREVILLE ROAD NORTH SIDE OF WOODLAND PARK ROAD

Zoning: PDC  
 Overlay Dist: Map Ref Num: 016-3- /01/ /0029D /01/ /0029E /11/ /0007

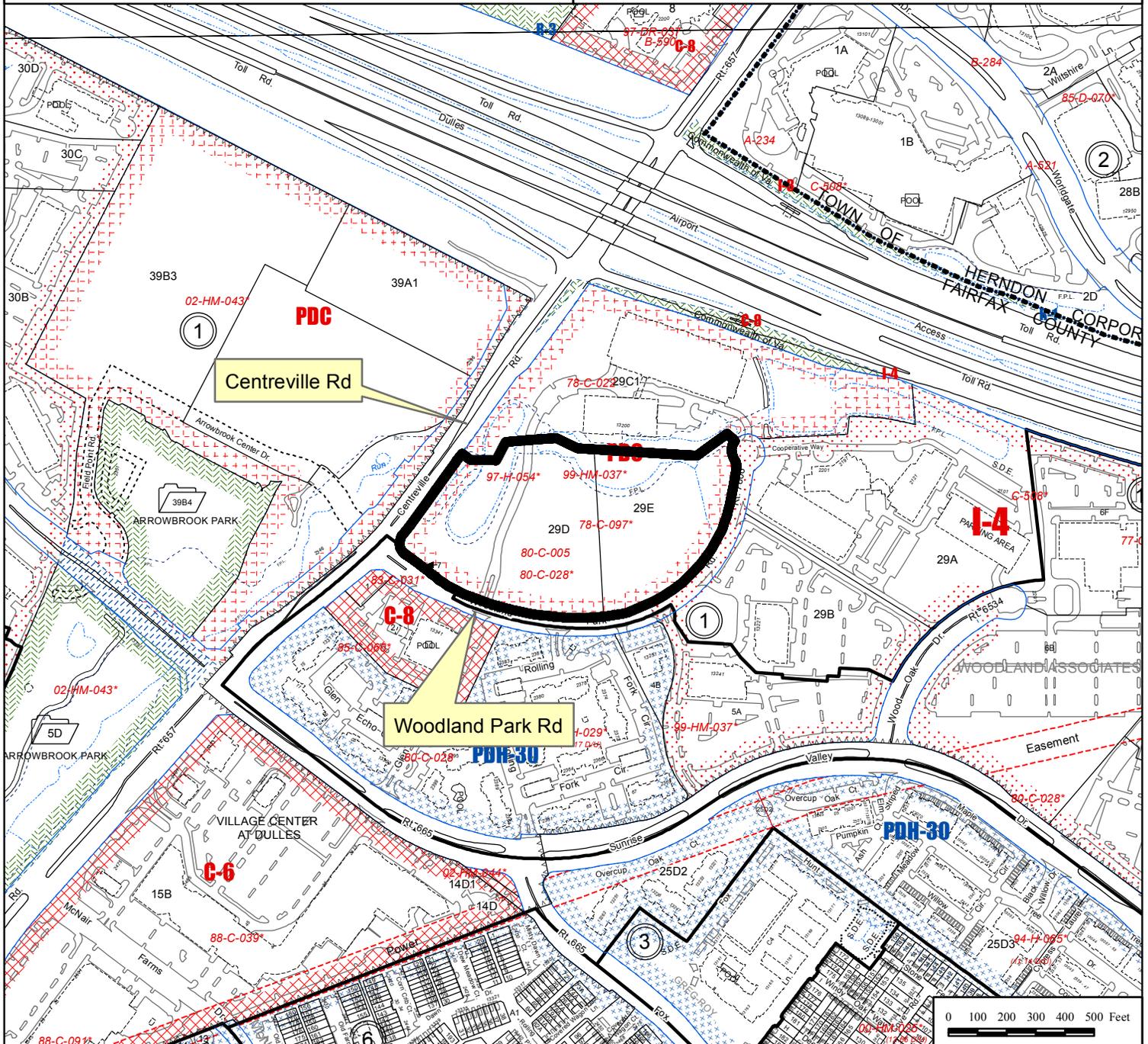
# Special Exception Amendment

**SEA 97-H-070-03**

Applicant: NVR, INC.  
 Accepted: 01/12/2016  
 Proposed: DELETE LAND AREA FROM SEA 97-H-070-02  
 Area: 11.95 AC OF LAND; DISTRICT - DRANESVILLE

Zoning Dist Sect: 02-090409-0620  
 Located: EAST SIDE OF CENTREVILLE ROAD AND NORTH SIDE OF WOODLAND PARK ROAD

Zoning: PDC  
 Plan Area: 3,  
 Overlay Dist: Map Ref Num: 016-3- /01/ /0029D /01/ /0029E /11/ /0007



# Rezoning Application

RZ 2016-DR-001

Applicant: NVR, INC.  
Accepted: 01/12/2016  
Proposed: RESIDENTIAL  
Area: 11.95 AC OF LAND; DISTRICT - DRANESVILLE

Zoning Dist Sect:  
Located: EAST SIDE OF CENTREVILLE ROAD AND  
NORTH SIDE OF WOODLAND PARK ROAD

Zoning: FROM PDC TO PDH-30  
Overlay Dist:  
Map Ref Num: 016-3- /01/ /0029D /01/ /0029E  
/11/ /0007

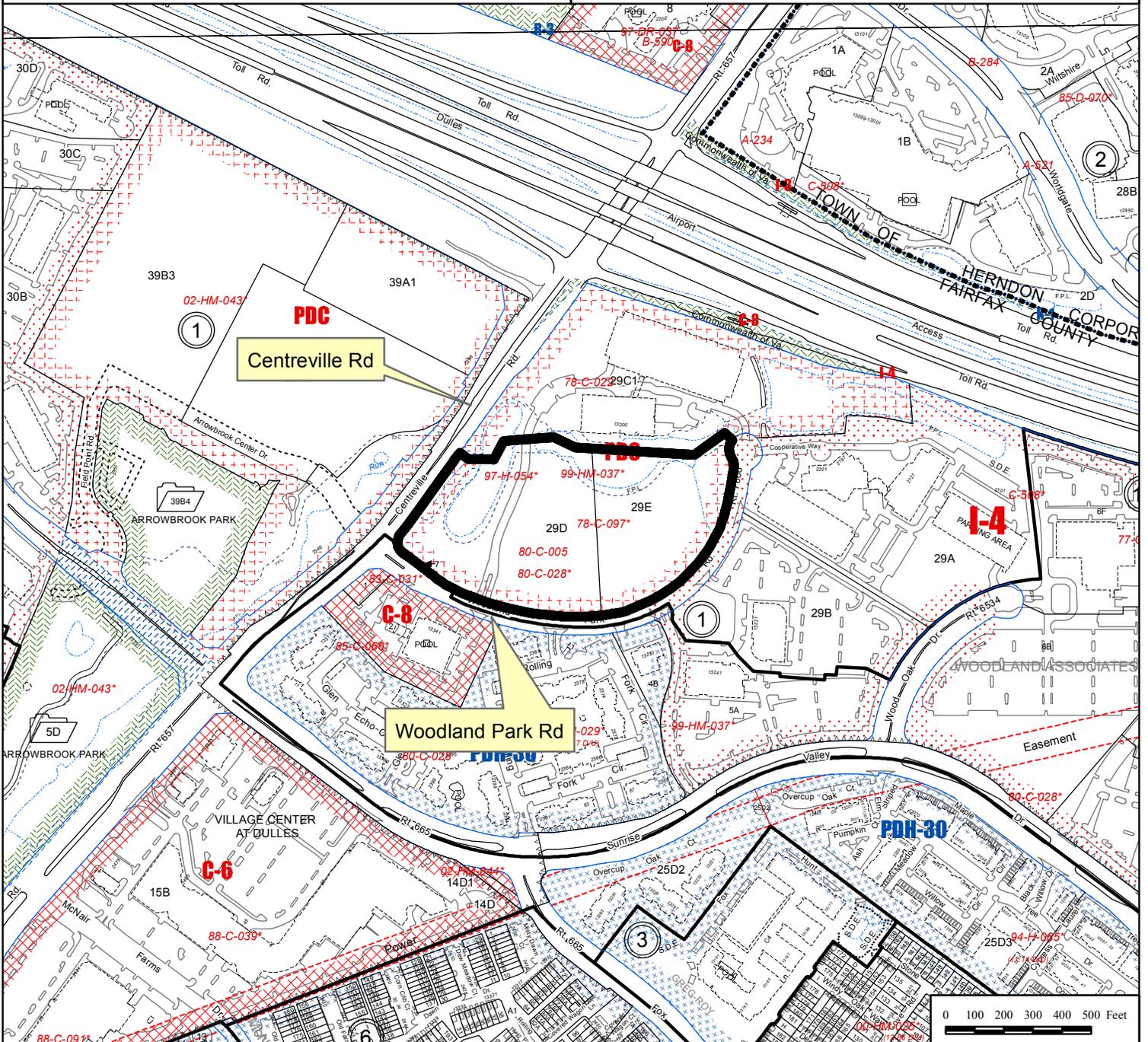
# Final Development Plan

FDP 2016-DR-001

Applicant: NVR, INC.  
Accepted: 01/12/2016  
Proposed: RESIDENTIAL  
Area: 11.95 AC OF LAND; DISTRICT - DRANESVILLE

Zoning Dist Sect:  
Located: EAST SIDE OF CENTREVILLE ROAD AND  
NORTH SIDE OF WOODLAND PARK ROAD

Zoning: PDH-30  
Overlay Dist:  
Map Ref Num: 016-3- /01/ /0029D /01/ /0029E  
/11/ /0007



# CONCEPTUAL DEVELOPMENT PLAN/ FINAL DEVELOPMENT PLAN RZ/FDP 2016-DR-001

## WOODLAND PARK WATERVIEW DRANESVILLE MAGISTERIAL DISTRICT FAIRFAX COUNTY, VIRGINIA

### PROJECT TEAM

**LAND USE ATTORNEY:**  
WALSH COLUCCI LUBELEY & WALSH PC  
2200 CLARENDON BLVD., SUITE 1300  
ARLINGTON, VA 22201

**APPLICANT:**  
NVR, INC  
11700 PLAZA AMERICA DR, SUITE 500  
RESTON, VA 20190

**OWNER (PARCEL 7 & 29D):**  
WOODLAND PARK TWO DULLES, L.P.  
N/F WOODLAND PARK PARCEL 1, L.P.  
C/O TISHMAN SPEYER  
1875 I STREET NW, SUITE 300  
WASHINGTON, DC 20006

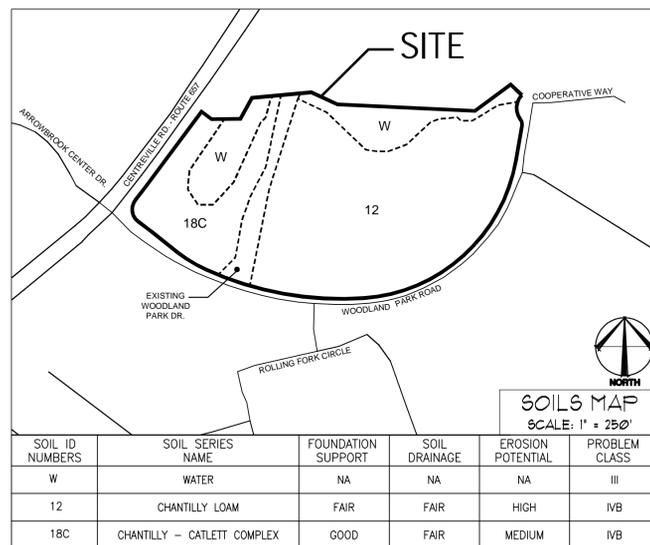
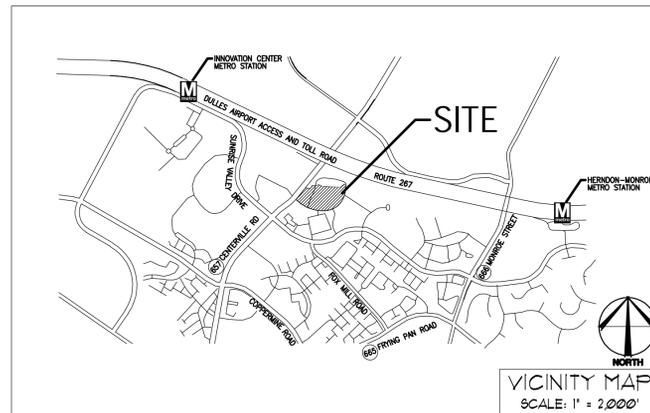
**OWNER (PARCEL 29E):**  
COPT WATERVIEW III, LLC.  
C/O CORPORATE OFFICE PROPERTIES TRUST  
6711 COLUMBIA GATEWAY DRIVE, SUITE 300  
COLUMBIA, MD 21046

**ARCHITECT:**  
KTGY ARCHITECTURE + PLANNING  
8605 WESTWOOD CENTER DRIVE  
SUITE 300  
TYSONS, VA 22182

**TRANSPORTATION ENGINEER:**  
WELLS + ASSOCIATES  
1420 SPRING HILL RD, SUITE #610  
TYSONS, VA 22102

**CIVIL ENGINEER/ LANDSCAPE ARCHITECT:**  
GORDON  
4501 DALY DRIVE, SUITE 200  
CHANTILLY, VA 20151

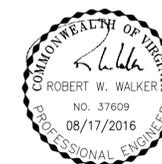
**ENVIRONMENTAL:**  
WETLAND STUDIES AND SOLUTIONS, INC.  
5300 WELLINGTON BRANCH DRIVE, SUITE 100  
GAINESVILLE, VA 20155



SOURCES:  
-OFFICIAL FAIRFAX COUNTY SOILS MAP (REVISED TO : 04-30-2014), TILES 16-3  
-DESCRIPTION & INTERPRETIVE GUIDE TO SOILS IN FAIRFAX COUNTY (REVISED MAY 2013)

DECEMBER 16, 2015  
JANUARY 6, 2016  
MARCH 29, 2016  
JULY 8, 2016  
AUGUST 17, 2016

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	3	EXISTING CONDITIONS
	4	EXISTING VEGETATION MAP
	5	CONCEPTUAL ENHANCED STREET NETWORK
	6	CDP & FDP LAYOUT
	7	MULTIMODAL PLAN
COMMUNITY OPEN SPACES	8	PERSPECTIVE VIEWS
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	9	CONCEPTUAL STREETSCAPE PLAN
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	11	COMMUNITY POCKET PARK
	12	AMPHITHEATER PARK
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	17	PROPOSED SITE FURNISHINGS
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CIVIL	19	MULTIFAMILY BUILDING ELEVATIONS
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SWM	23	PRELIMINARY GRADING AND SIGHT DISTANCE PLAN
	24	PRELIMINARY UTILITY PLAN
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	27	PROPOSED LAND COVER
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**RZ, CDP & FDP  
GENERAL NOTES:**

- THE APPLICANT IS REQUESTING A REZONING OF 1195 ACRES FROM THE PLANNED DEVELOPMENT COMMERCIAL (PDC) DISTRICT TO PLANNED DEVELOPMENT HOUSING (PDH-30).
- THE PROPOSED CONCEPTUAL/FINAL DEVELOPMENT PLAN (CDP/FDP) IS TO ESTABLISH A MIX OF SINGLE FAMILY ATTACHED AND MULTIPLE FAMILY RESIDENTIAL USES TO COMPLEMENT THE EXISTING COMMERCIAL AND RESIDENTIAL USES WITHIN WOODLAND PARK.
- OWNERSHIP/LOCATION/AREA**
  - THE PROPERTIES ARE IN THE NAME OF WOODLAND PARK TWO DULLES, L.P. (PARCELS 1 & 23D) AS RECORDED BY DEED BOOK 2194 AT PAGE 0008, AND COPT WATERVIEW III, LLC (PARCEL 29E) AS RECORDED BY DEED BOOK 1939 AT PAGE 2102, ALL AMONG THE LAND RECORDS OF FAIRFAX COUNTY, VIRGINIA. THE APPLICANT IS NVR, INC.
  - THE PROPERTIES SHOWN HEREON ARE IDENTIFIED AS FAIRFAX COUNTY MAP NUMBERS 016-3-01-0023D, 016-3-11-0021 AND 016-3-01-0023E, AND ARE ZONED PDC (PLANNED DEVELOPMENT COMMERCIAL).  
THE LIMITS OF THE CDP/FDP HAVE A TOTAL AREA OF 520,465 SQ. FT. OR 11,948.24 ACRES.
- COMPREHENSIVE PLAN**. THE SUBJECT PROPERTY IS LOCATED IN THE UPPER POTOMAC PLANNING DISTRICT. THE CDP/FDP AREA FALLS WITHIN THE WOODLAND PARK/GREAT OAK SUB-DISTRICT THAT IS LOCATED AT THE WESTERN BOUNDARY OF THE HERNDON TRANSIT STATION AREA AND IS PART OF THE LARGER REGION TRANSIT STATION PLANNING DISTRICT. THE COMPREHENSIVE PLAN RECOMMENDS MIXED USE DEVELOPMENT FOR THE WOODLAND PARK SUB-DISTRICT AT 2.10 FAR. THE DEVELOPMENT TABULATIONS REFLECT DENSITY THAT INCLUDE BONUS UNITS. THE ZONING REQUEST IS IN HARMONY WITH THE COMPREHENSIVE PLAN.
- LAND USE CONCEPT**. THE CONCEPT CONSISTS OF A SINGLE 5 STORY MULTI-FAMILY BUILDING WITH STRUCTURE PARKING (REFERRED TO AS BUILDING A), SEVERAL 4 STORY MULTI-FAMILY BUILDINGS (REFERENCED HEREIN AS '2 OVER 2 UNITS'), AND SINGLE FAMILY ATTACHED UNITS. THE PROPOSED DEVELOPMENT WILL BE INCORPORATED WITH THE EXISTING OFFICE LOCATED TO THE NORTH AND EAST OF THE PROPERTY AND THE COMMERCIAL AND RESIDENTIAL PROPERTIES LOCATED TO THE SOUTH. EXISTING WATER FEATURES ON THE PROPERTY WILL BE CONNECTED TO WALKWAYS AND POCKET PARKS TO SERVE AS UNIFYING ELEMENTS AND FOCAL POINTS FOR THE COMMUNITY.
- PARKING**. PARKING SHALL BE PROVIDED PURSUANT TO ZONING ORDINANCE SECTION 11-102 AND AS SHOWN ON THE PARKING TABULATIONS ON SHEET 06. A MIXTURE OF SURFACE AND STRUCTURED PARKING WILL BE PROVIDED. THE APPLICANT RESERVES THE RIGHT TO PROVIDE PARKING IN EXCESS OF ZONING ORDINANCE REQUIREMENTS, PROVIDED THAT THE MINIMUM OPEN SPACE SHOWN AND PERIPHERAL DIMENSIONS ARE NOT REDUCED.
- TRAILS**. THE COUNTY-WIDE TRAILS PLAN DEPICTS A MAJOR TRAIL ALONG THE WEST SIDE OF CENTREVILLE ROAD. THE APPLICANT IS PROPOSING CONSTRUCTION OF AN ON-SITE 8' WIDE PERMEABLE PAVED TRAIL ALONG THE AMPHITHEATER PARK WITH A 13' WIDE EBST. (PER THE FFM) AS SHOWN, THAT WILL CONNECT TO AN EXISTING TRAIL AND SIDEWALK ALONGS CENTREVILLE ROAD AND ADDITIONALLY A 10' WIDE SHARED USE TRAIL ALONG WOODLAND PARK ROAD ADJACENT TO THE COMMUNITY POCKET PARK. (SEE SHEET 03 FOR THE LOCATION OF EXISTING WALKWAYS AND TRAIL). FINAL SIDEWALK AND TRAIL LOCATIONS WILL BE PROVIDED AT THE TIME OF FINAL SITE PLAN SUBMISSION.
- WATER/SEWER**. THE PROPERTY IS SERVED BY EXISTING PUBLIC SEWER AND WATER. NO OTHER PUBLIC IMPROVEMENTS ARE PROPOSED UNLESS OTHERWISE NOTED.
- TOPOGRAPHY**. TOPOGRAPHY IS FIELD RUN AND WAS PREPARED BY WILLIAM H. GORDON ASSOCIATES IN DECEMBER 2015. THE CONTOUR INTERVAL IS 2 FEET.
- SCENIC ASSETS/NATURAL FEATURES**. OUTSIDE THE EXISTING WATER FEATURE / POND AND LANDSCAPING ADJACENT TO CENTREVILLE ROAD, THERE ARE NO AREAS OF THE SITE THAT HAVE SCENIC ASSETS OR NATURAL FEATURES DESERVING OF PROTECTION.
- STORM WATER MANAGEMENT (SUM)**. SUM FOR QUANTITY AND QUALITY CONTROL WILL BE PROVIDED BY EXISTING FACILITIES. ADDITIONAL WATER QUALITY FEATURES ARE INCLUDED.
- RPAS**. NO COUNTY MAPPED RESOURCE PROTECTION AREAS (RPAS) ARE LOCATED ON THE SITE. THE SITE IS LOCATED WITHIN A RESOURCE MANAGEMENT AREA.
- FLOODPLAINS/WETLANDS**. THERE IS 100-YEAR FLOODPLAIN LIMITS WITHIN THE SITE. NO STRUCTURES OR FILL ARE PROPOSED WITHIN THE LIMITS OF THE FLOODPLAIN AND ANY LAND DISTURBANCE WITHIN THESE AREAS WILL COMPLY WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS. THE APPLICANT WILL OBTAIN ALL WETLANDS PERMITS REQUIRED BY LAW PRIOR TO COMMENCING ANY LAND DISTURBING ACTIVITIES. REFER TO NOTES 30 AND 31 ON THIS SHEET.
- UTILITY EASEMENTS**. THERE ARE NO MAJOR UTILITY EASEMENTS WITH A WIDTH OF 25 FEET OR MORE. ALL KNOWN EASEMENTS ARE SHOWN ON THE EXISTING CONDITIONS, SHEET 03.
- UNDERGROUND UTILITIES**. THE LOCATIONS OF ALL UNDERGROUND UTILITIES SHOWN HEREON ARE APPROXIMATE AND BASED ON AVAILABLE INFORMATION THAT INCLUDED TOPOGRAPHIC SURVEYS AND PLANS OF RECORD. THE UNDERGROUND UTILITIES LOCATED ALONG WOODLAND PARK ROAD ARE BASED ON A SUBSURFACE UTILITY LOCATION SURVEY THAT WAS COMPLETED IN DECEMBER 2015.
- PUBLIC ROAD IMPROVEMENTS AND STREETS**
  - THE APPLICANT IS PROPOSING A WESTBOUND RIGHT TURN LANE, A CENTER TURNING LANE, STREETSCAPE IMPROVEMENTS TO WOODLAND PARK ROAD, THAT INCLUDES AN ON STREET BIKE LANE AND SHARROW, ON-STREET PARKING (WHERE ALLOWED TO ACCOMMODATE SIGHT DISTANCE) AND AN 8 FOOT SIDEWALK CONSISTENT WITH COMPREHENSIVE PLAN GUIDANCE. NO ROADWAY WIDENING IS ANTICIPATED EXCEPT WHERE SHOWN TO ACCOMMODATE A WESTBOUND RIGHT TURN LANE.
  - ALL STREETS SHOWN WITHIN THE ZONING LIMITS WILL BE PRIVATELY OWNED AND MAINTAINED. SEE WOODLAND PARK ROAD IMPROVEMENTS ON SHEET 21 FOR PROPOSED CHANGES TO EXISTING STREET AND SIDEWALK AREA.
  - TO SUPPORT THE COMPREHENSIVE PLAN TRANSPORTATION RECOMMENDATION THAT CALLS FOR A TRANSFORMATION OF WOODLAND PARK ROAD TO A COLLECTOR OR LOCAL URBAN STREETSCAPE, A PORTION OF THE SITE IS RESERVED FOR EITHER RIGHT-OF-WAY DEDICATION OR A PUBLIC ACCESS EASEMENT IN ORDER TO ACCOMMODATE THE WIDENED AND RELOCATED SIDEWALK. SEE SHEETS 06, 07, 10A AND 21.
- THE PROPOSED RIGHT OF WAY INCLUDES THE STREETSCAPE PLANTINGS, PEDESTRIAN LIGHTS, RELOCATED STREET LIGHTS, AND A SHARED USE TRAIL ALONG WOODLAND PARK ROAD. IN THE EVENT VDOT DOES NOT ACCEPT THE STREETSCAPE, THE AREA WILL BE PLACED IN A PUBLIC ACCESS EASEMENT.

(GENERAL NOTES CONTINUED)

- EXISTING STRUCTURES**. THERE ARE NO EXISTING BUILDINGS ON SITE. A WOODLAND PARK SIGN WALL IS LOCATED AT THE INTERSECTION OF WOODLAND PARK ROAD AND CENTREVILLE ROAD AND THERE ARE RETAINING WALLS ASSOCIATED WITH EXISTING SUM AREAS AND WATER FEATURES.
  - CLEARING/GRADING**. THE LIMITS OF CLEARING AND GRADING PRESENTED ON SHEET 23 ARE BASED ON A PRELIMINARY GRADING STUDY AND MAY BE MODIFIED WITH FINAL ENGINEERING DESIGN. THE CLEARING AND GRADING LIMITS CONSIDERS EXISTING VEGETATION THAT IS SUITABLE FOR PRESERVATION AND/OR TRANSPLANTS ALONG THE COMMUNITY POCKET PARK AS PRESENTED ON SHEET 16 OF THE TREE PRESERVATION PLAN.
  - LANDSCAPING**. STREET TREES AND ENHANCED LANDSCAPING ARE PROVIDED IN KEEPING WITH THE COMPREHENSIVE PLAN RECOMMENDATIONS AND ARTICLE 13 OF THE ORDINANCE FOR TREE COVERAGE. THE EXISTING TREES TO BE RETAINED AND PROPOSED TREES WILL MEET AND EXCEED ARTICLE 13 LANDSCAPE REQUIREMENTS. SEE SHEET 16 FOR TREE COVERAGE AND LANDSCAPE TABULATIONS.
  - HAZMAT**. TO THE BEST OF THE APPLICANT'S KNOWLEDGE AND BELIEF, THERE ARE NO HAZARDOUS OR TOXIC SUBSTANCES (AS SET FORTH IN TITLE 40, CODE OF FEDERAL REGULATIONS PARTS 116.4, 302.4, AND 305, COMMONWEALTH OF VIRGINIA/DEPARTMENT OF WASTE MANAGEMENT REGULATIONS VR 612-10-11, VIRGINIA HAZARDOUS WASTE MANAGEMENT REGULATIONS, AND/OR PETROLEUM PRODUCTS AS DEFINED IN TITLE 40, CODE OF FEDERAL REGULATIONS PART 280) OR STORAGE TANKS OR CONTAINERS ON SITE. SUCH SUBSTANCES WILL NOT BE GENERATED, UTILIZED, STORED, TREATED AND/OR DISPOSED OF ON SITE. IN THE EVENT THAT SUCH SUBSTANCES ARE FOUND TO BE ON SITE, THEY WILL BE DISPOSED OF IN AN APPROPRIATE MANNER.
  - FAA COMPLIANCE**. THE APPLICANT WILL COMPLY WITH ALL FEDERAL AVIATION ADMINISTRATION GUIDELINES REGARDING BUILDING HEIGHT.
  - DEVELOPMENT SCHEDULE**. THE DEVELOPMENT WILL BE CONSTRUCTED IN SECTIONS. THE FINAL SEQUENCE, ORDER AND TIMING OF THE SECTIONS WILL BE DETERMINED BY THE APPLICANT BASED ON MARKET CONDITIONS.
  - SPECIAL AMENITIES AND MAJOR OPEN SPACE**. SITE AMENITIES FOR THE PROJECT INCLUDE PUBLICLY ACCESSIBLE POCKET PARKS LOCATED WEST OF VERISIGN WAY, A LINEAR PARK ADJACENT TO THE EXISTING WATER FEATURE / POND, AND THE PEDESTRIAN PROMENADE TO THE EAST OF THE MULTIFAMILY BUILDING. ADDITIONAL PRIVATE RECREATIONAL AMENITIES THAT WILL SERVE THE RESIDENTIAL COMMUNITY SHALL CONSIST OF A PASSIVE COURTYARD AND A PLAY AREA. SEE URBAN PARKS AND OPEN SPACE CALCULATIONS PLAN ON SHEET 08A.
  - MINOR MODIFICATIONS**. ELEMENTS OF THE CDP/FDP MAY BE ADJUSTED OR MODIFIED WITH FUTURE SITE PLANS IN ACCORDANCE WITH THE PROVISIONS SET FORTH IN SECTION 16-402 OF THE FAIRFAX COUNTY ZONING ORDINANCE, AND THE APPROVED PROFFERS. MINOR MODIFICATIONS TO THE PROFFERED ELEMENTS OF THE PLAN MAY BE PERMITTED PURSUANT TO PART 4 OF SECTION 16-402 OF THE ORDINANCE WHEN NECESSITATED BY SOUND ENGINEERING OR WHEN NECESSARY AS PART OF FINAL SITE DESIGN, AND WHEN SUCH MODIFICATIONS ARE DETERMINED TO BE IN SUBSTANTIAL CONFORMANCE WITH THE PROFFERED PLAN ELEMENTS AND PROFFERS, AS DETERMINED BY THE ZONING ADMINISTRATOR.
- MINOR MODIFICATIONS MAY ALSO BE REQUIRED IN ORDER TO ACCOMMODATE EMERGENCY FIRE ACCESS LANES AND/OR LADDER TRUCK ACCESS WAYS, AND VDOT REVIEW AT THE TIME OF FINAL SITE PLAN APPROVAL.
- FINAL DESIGN**. THE SITE LAYOUT, GRADING AND UTILITY DESIGN IS SUBJECT TO FINAL ENGINEERING AND ARCHITECTURAL DESIGN.
  - ARCHEOLOGICAL SURVEY**. THE SITE IS NOT WITHIN OR CONTIGUOUS TO A HISTORIC OVERLAY DISTRICT, AND ARCHEOLOGICAL SURVEY DATA FORM IS NOT NEEDED FOR THIS APPLICATION.
  - ROAD NAMES**. THE ROAD NAMES SHOWN ON THIS PCA/CDP/FDP FOR NEW STREETS ARE CONSIDERED PLACEHOLDERS ONLY. THE APPLICANT WILL RENAME THE INTERNAL STREETS WITH THE DEVELOPMENT OF THE PROJECT.
  - PERMITS**. WETLAND PERMITS FROM THE DEPARTMENT OF ENVIRONMENTAL QUALITY AND THE ARMY CORPS OF ENGINEERS WILL BE OBTAINED. A LAND USE PERMIT FROM THE VIRGINIA DEPARTMENT OF TRANSPORTATION WILL LIKELY BE REQUIRED AND SOUGHT AS PART OF THE SITE PLAN APPROVAL PROCESS.
  - COMPREHENSIVE SIGNAGE**. THE PROPOSED ENTRANCE MONUMENT SIGNS, WAYFINDING, AND EDUCATIONAL SIGNAGE THAT IS SHOWN ON SHEET 06 ARE SHOWN FOR INFORMATIONAL PURPOSES AND WILL BE IN CONFORMANCE WITH THE ADOPTED 2001 COMPREHENSIVE SIGN PLAN (CSP) OR IF APPROPRIATE, WITH AN APPROVED CSP AMENDMENT.
  - WORK IN THE FLOODPLAIN**. IN ACCORDANCE WITH SECTION 2-900 FLOODPLAIN REGULATIONS, THE APPLICANT IS PROPOSING TO CONSTRUCT AN 8 FOOT WIDE TRAIL, UNDERGROUND UTILITIES, AND PLANT STABLE VEGETATION ALONG THE SHORELINE AND LEAD WALKS AS GENERALLY SHOWN ON SHEETS 12, 23 AND 24.
  - UNCOVERED STOODS AND STEPS WITHIN THE MINIMUM YARD**. THE RESIDENTIAL UNITS FRONTING ON THE POND WILL CONNECT TO THE LINEAR PARK TRAIL WITH LEAD WALKS AND UNCOVERED STOODS AND STEPS THAT EXTEND MORE THAN THE 5 FEET ESTABLISHED PER SECTION 2-412 I.C. INTO THE REQUIRED MINIMUM YARD (8AID YARD ESTABLISHED PER SECTION 2-415 OF THE ZONING ORDINANCE).
  - UNCOVERED STOODS AND STEPS WITHIN THE MINIMUM YARD**. THE RESIDENTIAL UNITS FRONTING ON THE POND WILL CONNECT TO THE LINEAR PARK TRAIL WITH LEAD WALKS AND UNCOVERED STOODS AND STEPS THAT EXTEND MORE THAN THE 5 FEET ESTABLISHED PER SECTION 2-412 I.C. INTO THE REQUIRED MINIMUM YARD (8AID YARD ESTABLISHED PER SECTION 2-415 OF THE ZONING ORDINANCE).

**WAIVERS/ REQUESTS**

- WAIVERS/REQUESTS. THE PROPOSED USES ARE IN CONFORMANCE WITH THE COMPREHENSIVE PLAN AND THE PROVISIONS OF ALL APPLICABLE ORDINANCES, REGULATIONS, ADOPTED STANDARDS AND ANY APPLICABLE CONDITIONS, EXCEPT AS STATED BELOW:
- A WAIVER OF THE INTERIOR PARKING LOT LANDSCAPING REQUIRED FOR STRUCTURED PARKING DECK.
  - A WAIVER OF THE TRANSITIONAL SCREENING AND A WAIVER OF THE BARRIER REQUIREMENTS BETWEEN UNITS (MULTI-FAMILY ADJACENT TO SFA) PURSUANT TO 13-304 PARA. 3.
  - A WAIVER OF THE LOADING SPACE REQUIREMENT AND A REDUCTION OF THE LOADING SPACE REQUIREMENT TO PROVIDE TWO LOADING SPACES, AS SHOWN ON SHEET 06.
  - A FFM WAIVER OF SECTION 6-207.1 MINIMUM 200 SQUARE FOOT PRIVACY YARD REQUIREMENT FOR SINGLE FAMILY ATTACHED UNITS.
  - A PARTIAL FFM WAIVER OF SECTION 6-070.2 TO ALLOW RESIDENTIAL UNITS TO BE LESS THAN 15 FEET DISTANCE FROM THE 100 YEAR FLOODPLAIN LIMIT IN PLACES SHOWN ON THE CDP/FDP LAYOUT PLAN. SEE SHEET 23, (PRELIMINARY GRADING) AND NOTE 9 FOR DETAILS.
  - THE APPLICANT IS REQUESTING THE DIRECTOR'S APPROVAL UNDER SECTION 2-415 (YARD REGULATIONS FOR LOTS HAVING AREA IN THE FLOODPLAIN) TO ALLOW UNCOVERED STOODS AND STEPS TO BE LOCATED A MINIMUM OF 15 FEET DISTANCE MEASURED FROM THE PERMANENT WATER SURFACE OF ANY APPROPRIATELY DESIGNED IMPOUNDMENT RATHER THAN 15 FEET FROM THE HORIZONTAL EDGE OF THE FLOODPLAIN PER SECTION 2-414.1.
  - A WAIVER OF SECTION 11-302.2 TO ALLOW A PRIVATE STREET IN EXCESS OF 600 FEET IN LENGTH.
  - SEE WOODLAND PARK ROAD STREETSCAPE PLAN AND WOODLAND PARK ROAD IMPROVEMENTS ON SHEETS 10A AND 21 FOR PROPOSED MODIFICATIONS TO THE COMPREHENSIVE PLAN DESIGN GUIDELINES RELATING TO LANDSCAPE PANELS, SIDEWALKS AND BUILDING ZONES. THE PROPOSED MODIFICATIONS ARE NECESSARY TO ACCOUNT FOR EXISTING UNDERGROUND UTILITY LINES.
  - A WAIVER OF ARTICLE 11-102.12 (GEOMETRIC STANDARDS) AND 11-102.110 (STREET ACCESS) OF THE ZONING ORDINANCE TO ALLOW TANDEN PARKING IN THE DRIVEWAYS OF THE TWO-OVER-TWO MULTI-FAMILY UNITS.
  - A WAIVER OF FFM SECTION 10-030.6 TO ALLOW TRASH AND RECYCLING COLLECTION TO BE PICKED UP CURBSIDE FOR THE TWO-OVER-TWO UNITS IN LIEU OF A DUMPSTER.
  - A TREE PRESERVATION TARGET DEVIATION REQUEST IS REQUESTED. THE REQUEST IS DUE TO THE POOR HEALTH OF SOME OF THE TREES AND THAT MEETING THE TARGET WOULD PRECLUDE DEVELOPMENT OF USES AND/OR DENSITIES OF A PREVIOUSLY APPROVED AND PROFFERED PLAN. THE 10-YEAR TREE CANOPY REQUIREMENTS WILL BE MET BY A COMBINATION OF TREE PRESERVATION AND ON-SITE TREE PLANTING.

**DEVELOPMENT TABULATIONS**

TAX MAP / PARCEL	SEE NOTE 2B THIS SHEET
SITE AREA (AREA TO BE REZONED TO PDH-30)	11,948.24 ACRES OR 520,465 SF
AREA OF ROW WITH DENSITY CREDIT	2,966.69 ACRES OR 129,238 SF (1)
TOTAL AREA FOR DENSITY PURPOSES	14,915 ACRES OR 649,703 SF
EXISTING ZONING	PDC
PROPOSED ZONING	PDH-30
<b>SECTION 16-209.1 TOTAL OPEN SPACE</b>	
OPEN SPACE REQUIRED (WITH ADU'S)	4.8 AC (40% OF 11,948.24 AC)
OPEN SPACE PROVIDED	6.9 AC OR 57% (SEE PLAN THIS SHEET)
<b>SECTION 16-502.1(B) DEVELOPED RECREATIONAL OPEN SPACE</b>	
PARK RELATED OPEN SPACE PROVIDED	2.8 AC (2)
TOTAL DWELLING UNITS	383 DU'S
DENSITY INCLUDING ADU'S AND ADU/UDU BONUS UNITS	25.1 DU/AC (INCLUDES ADU/UDU BONUS)
DENSITY EXCLUDING ADU'S AND ADU/UDU BONUS UNITS	22.3 DU/AC (EXCLUDES ADU/UDU BONUS)
ADU'S / UDU'S REQUIRED & PROVIDED (NOTE 3)	8 ADU'S / 38 UDU'S
NUMBER OF STORIES/HEIGHT	AS SHOWN ON SHEET 06
YARD REQUIREMENTS	AS SHOWN ON SHEET 06
10 YEAR TREE CANOPY	REQUIRED = 10% PROPOSED = 102% SEE LANDSCAPE PLAN, TREE PRESERVATION PLAN, AND TABULATIONS (SHEET 16)

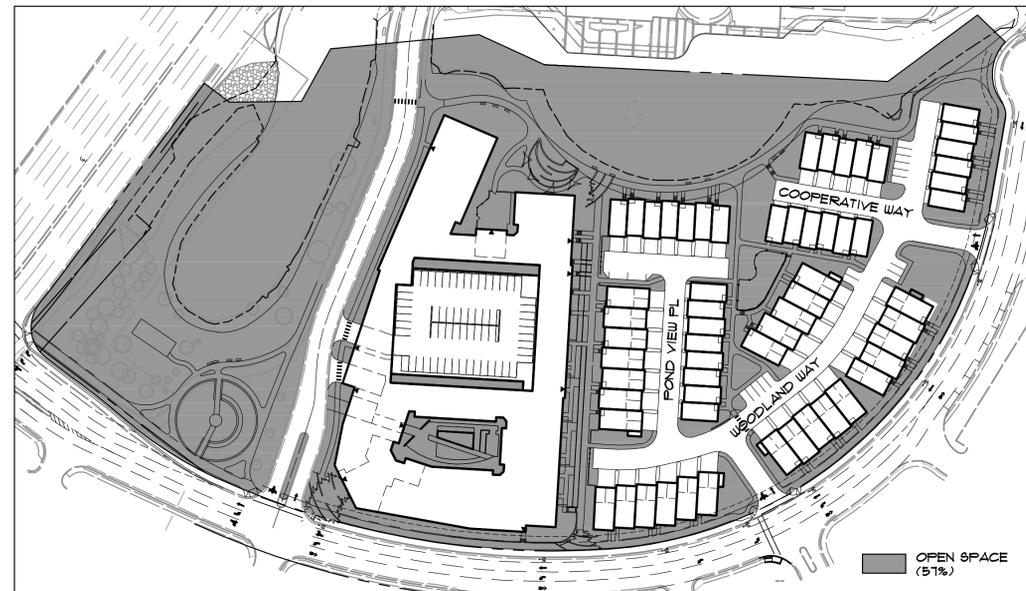
**DEVELOPMENT TABULATION FOOTNOTES**

- SEE ACCOMPANYING PCA/SEA PLAN AND DEVELOPMENT TABULATION SUBMITTED SEPARATELY WITH THIS APPLICATION THAT DEMONSTRATES THE ALLOCATION OF PREVIOUSLY APPROVED DENSITY CREDITS FOR THE OVERALL AREA OF RZ 1993-HM-031 AND SEA 91-H-010-A
- SEE ALSO SHEET 08A FOR URBAN PARKS CALCULATIONS PER COMPREHENSIVE PLAN GUIDANCE.
- IN ACCORDANCE WITH SECTIONS 2-800 AND THE COUNTY'S WORKFORCE HOUSING POLICY, THE NUMBER OF ADU'S AND UDU'S WILL BE PROVIDED AT TIME OF FINAL SITE PLAN BASED ON THE NUMBER AND MIX OF DWELLING UNITS PROPOSED.

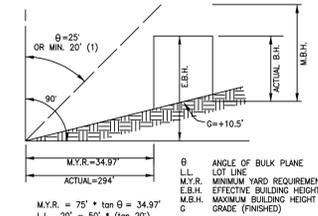
**ABBREVIATIONS**

AC	ACRE
BC	BACK OF CURB
BLDG	BUILDING
BTL	BUILD-TO-LINE
CL	CENTER LINE
DIST	DISTANCE
E8MT	EASEMENT
EX	EXISTING
FC	FACE OF CURB
G6F	GROSS SQUARE FOOTAGE
HGHT	HEIGHT
LCG	LIMITS OF CLEARING AND GRADING
MF	MULTIFAMILY
NTS	NOT TO SCALE
PAE	PUBLIC ACCESS EASEMENT
FFM	PUBLIC FACILITIES MANUAL
PR	PROPOSED
ROW	RIGHT OF WAY
SF	SQUARE FEET
SFA	SINGLE FAMILY ATTACHED
SUM	STORMWATER MANAGEMENT
WA	WATER

**OPEN SPACE PLAN** SCALE: 1" = 100'

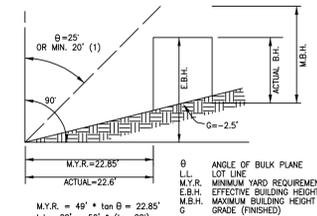


RESIDENTIAL MULTI-FAMILY BULK PLANE ((1)Based on R-30 Zoning)



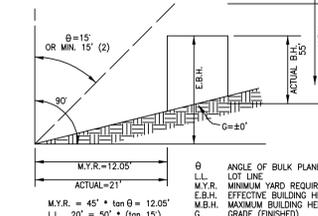
**A** ANGLE OF BULK PLANE (NOT TO SCALE) SEE SHEET 06

RESIDENTIAL MULTI-FAMILY BULK PLANE ((1)Based on R-30 Zoning)



**B** ANGLE OF BULK PLANE (NOT TO SCALE) SEE SHEET 06

RESIDENTIAL SINGLE-FAMILY ATTACHED BULK PLANE ((2)Based on R-12 Zoning)



**C** ANGLE OF BULK PLANE (NOT TO SCALE) SEE SHEET 06

NOTE: BULK PLANE DIAGRAMS ARE SHOWN TO PORTRAY COMPARABLE ZONING DISTRICT SETBACKS TYPICALLY PROVIDED ALONG THE PERIMETER OF THE PDC DISTRICT BASED ON NEAREST LIKE ZONE DISTRICTS. IN THE EVENT OF A DISCREPANCY, THE ACTUAL YARD SETBACKS SHOWN ON THE PLAN SHALL GOVERN.

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**Gordon**

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2. MARCH 23, 2016	SECOND SUBMISSION		
3. JULY 9, 2016	STAFFING COMMENTS		
4. AUGUST 11, 2016	ADDRESS STAFFING/POC METHODS		

SUR: GORDON	DES: GORDON
DRW: IPB/AJS	CHK: SEG

COMMONWEALTH OF VIRGINIA  
ROBERT W. WALKER, A  
NO. 37609  
08/17/2016  
PROFESSIONAL ENGINEER

NOTES AND TABULATIONS

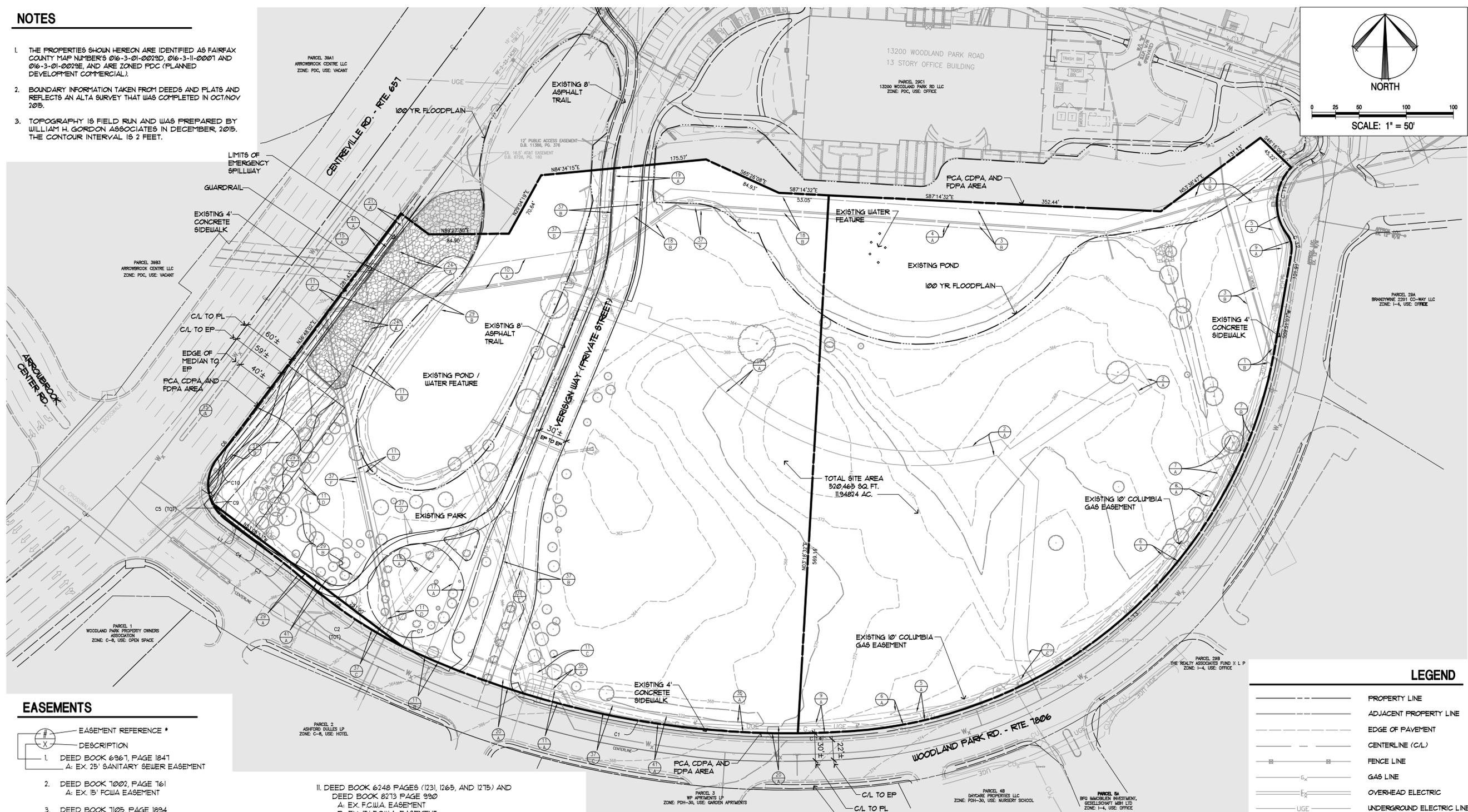
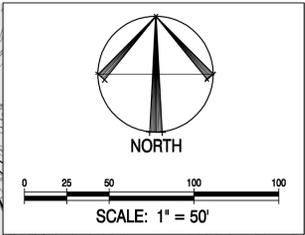
**WOODLAND PARK WATERVIEW**  
PROFFER CONDITION AMENDMENT /  
CONCEPTUAL DEVELOPMENT PLAN AMENDMENT /  
FINAL DEVELOPMENT PLAN AMENDMENT  
RZ/FDP 2016-DR-001  
DRANESVILLE DISTRICT, FAIRFAX COUNTY, VA

HORIZ: N/A  
SCALE: VERT:  
DATE: DECEMBER 2015  
PLAN: ----  
JOB: 0313-0159  
CADD: 0313-0259-L-0-002.DWG  
NCS: ----  
NUMBER: 02 of 28

**Gordon**

**NOTES**

- THE PROPERTIES SHOWN HEREON ARE IDENTIFIED AS FAIRFAX COUNTY MAP NUMBER'S 016-3-01-0023D, 016-3-11-0001 AND 016-3-01-0023E, AND ARE ZONED PDC (PLANNED DEVELOPMENT COMMERCIAL).
- BOUNDARY INFORMATION TAKEN FROM DEEDS AND PLATS AND REFLECTS AN ALTA SURVEY THAT WAS COMPLETED IN OCTOBER 2015.
- TOPOGRAPHY IS FIELD RUN AND WAS PREPARED BY WILLIAM H. GORDON ASSOCIATES IN DECEMBER, 2015. THE CONTOUR INTERVAL IS 2 FEET.



**EASEMENTS**



- |  |   |   |
|--|---|---|
| <p>1. DEED BOOK 6361, PAGE 1841<br/>A: EX. 25' SANITARY SEWER EASEMENT</p> <p>2. DEED BOOK 1002, PAGE 161<br/>A: EX. 15' FCWA EASEMENT</p> <p>3. DEED BOOK 1105, PAGE 1894<br/>A: EX. 100 YEAR FLOODPLAIN AND STORM DRAINAGE EASEMENT<br/>B: EX. 20' SANITARY SEWER EASEMENT</p> <p>4. DEED BOOK 11386, PAGE 316<br/>A: EX. 8ANITARY SEWER EASEMENT</p> <p>5. DEED BOOK 10554, PAGE 1648<br/>A: EX. 10' COLUMBIA GAS PIPELINE EASEMENT</p> <p>6. DEED BOOK 1191, PAGE 1651<br/>A: EX. 8IGHT DISTANCE EASEMENT</p> <p>7. DEED BOOK 6248, PAGES (123, 1265, AND 1275) AND DEED BOOK 8273, PAGE 990<br/>A: EX. 20' STORM DRAINAGE EASEMENT<br/>B: EX. 10' STORM DRAINAGE EASEMENT<br/>C: EX. 15' FCWA EASEMENT</p> <p>8. DEED BOOK 10299, PAGE 215<br/>A: EX. SITE DISTANCE EASEMENT</p> <p>9. DEED BOOK 18069, PAGE 112<br/>A: EX. 10' DOMINION POWER EASEMENT</p> <p>10. DEED BOOK 3025 PAGE 361 AND DEED BOOK 3235 PAGE 198<br/>A: EX. 25' SANITARY SEWER EASEMENT</p> | <p>11. DEED BOOK 6248 PAGES (123, 1265, AND 1275) AND DEED BOOK 8273 PAGE 990<br/>A: EX. FCWA EASEMENT<br/>B: EX. 15' FCWA EASEMENT<br/>C: EX. STORM DRAINAGE EASEMENT<br/>D: EX. 10' SANITARY SEWER EASEMENT</p> <p>15. DEED BOOK 6126 PAGE 160<br/>A: EX. 165' AT&amp;T EASEMENT</p> <p>17. DEED BOOK 1002 PAGE 161<br/>A: EX. 15' FCWA EASEMENT</p> <p>18. DEED BOOK 1105 PAGE 1894<br/>A: EX. 100 YEAR FLOODPLAIN AND STORM DRAINAGE EASEMENT<br/>B: EX. 20' SANITARY SEWER EASEMENT</p> <p>19. DEED BOOK 1111 PAGE 194 AND DEED BOOK 1191 PAGE 1401<br/>A: EX. 15' VEPCO EASEMENT</p> <p>20. DEED BOOK 1191 PAGE 1651<br/>A: EX. 8IGHT DISTANCE EASEMENT</p> <p>21. DEED BOOK 1238 PAGE 1145<br/>A: EX. 10' STORM DRAINAGE EASEMENT<br/>B: EX. 30' STORM DRAINAGE EASEMENT</p> <p>22. DEED BOOK 1238 PAGE 1151<br/>A: EX. 10' TRAIL EASEMENT</p> | <p>24. DEED BOOK 1368 PAGE 1593<br/>A: EX. 15' FCWA EASEMENT</p> <p>29. DEED BOOK 9075 PAGE 246<br/>A: EX. INGRESS/EGRESS EASEMENT<br/>B: EX. LANDSCAPE EASEMENT<br/>C: EX. SIGN EASEMENT</p> <p>35. DEED BOOK 10554 PAGE 1648<br/>A: EX. 10' COLUMBIA GAS PIPELINE EASEMENT</p> <p>37. DEED BOOK 11386 PAGE 316<br/>A: EX. 13' RESERVATION FOR PUBLIC STREET PURPOSES<br/>B: EX. PUBLIC INGRESS/EGRESS EASEMENT<br/>C: EX. 8IGHT DISTANCE EASEMENT<br/>D: EX. 12' PUBLIC ACCESS EASEMENT<br/>E: EX. 20' STORM DRAINAGE EASEMENT<br/>F: EX. SANITARY SEWER EASEMENT<br/>G: EX. SIGNAL EASEMENT</p> <p>40. DEED BOOK 16582 PAGE 951<br/>A: EX. TRAFFIC SIGNAL EASEMENT</p> <p>41. DEED BOOK 18119 PAGE 141<br/>A: EX. 10' VEPCO EASEMENT</p> |
|--|---|---|

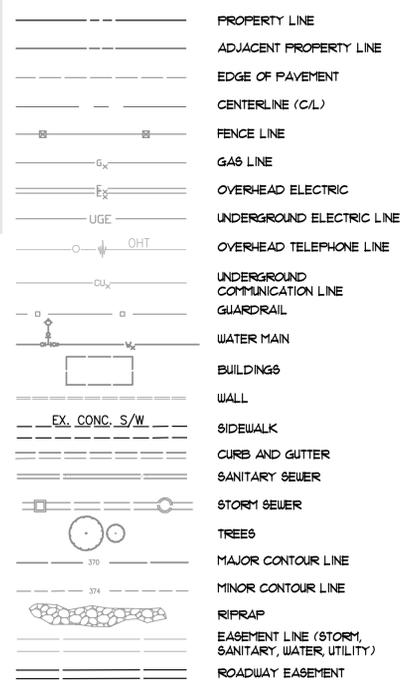
LINE TABLE

LINE	BEARING	DISTANCE
L1	N53°08'53"W	36.40'
L2	S53°11'58"E	37.00'

CURVE TABLE

CURVE	ARC LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHORD BEARING
C1	420.41'	963.95'	24°59'19"	213.60'	417.09'	S78°03'01"E
C2	131.09'	450.00'	16°41'28"	66.01'	130.63'	S57°12'37"E
C3	62.31'	691.62'	5°09'44"	31.18'	62.29'	N51°26'45"W
C4	14.56'	948.95'	0°52'44"	7.28'	14.56'	N53°35'15"W
C5	72.52'	45.00'	92°20'26"	46.88'	64.93'	S06°58'40"E
C6	41.77'	1000.64'	2°23'31"	20.89'	41.77'	N37°59'47"E
C7	12.50'	450.00'	1°35'30"	6.25'	12.50'	N64°45'37"W
C8	118.60'	450.00'	15°08'00"	59.64'	118.25'	N56°24'53"W
C9	21.41'	45.00'	27°15'58"	10.91'	21.21'	N39°30'54"W
C10	51.11'	45.00'	65°04'27"	28.71'	48.41'	N06°39'19"E
C11	77.22'	55.00'	80°28'50"	48.52'	71.04'	S03°30'27"W
C12	20.32'	25.00'	46°34'04"	10.76'	19.76'	S13°25'55"E
C13	651.94'	490.00'	76°13'55"	384.43'	604.91'	S47°58'04"W
C14	56.72'	963.95'	3°22'17"	28.37'	56.71'	S87°46'10"W

**LEGEND**

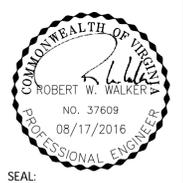


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SUR: GORDON	DES: GORDON
DRW: GORDON	CHK: SEG



**WOODLAND PARK WATERVIEW**  
PROFFER CONDITION AMENDMENT /  
CONCEPTUAL DEVELOPMENT PLAN AMENDMENT /  
FINAL DEVELOPMENT PLAN AMENDMENT  
RZ/EDP 2016 DR-001  
DRANESVILLE DISTRICT, FAIRFAX COUNTY, VA

EXISTING CONDITIONS

SCALE: HORIZ. 1" = 50'  
VERT. 1" = 50'

DATE: DECEMBER 2015  
PLAN: ----  
JOB: 0313-0159  
CADD: 0313-0259-LC-101.DWG  
NCS: --

NUMBER: 03 of 28

**Gordon**



ARROWBROOK, L.L.C.  
0163-01-0005A  
ZONE: R-1  
USE: SINGLE-FAMILY RESIDENTIAL

SOPT WATERVIEW III, L.L.C.  
0163-01-0029E  
ZONE: PDC  
USE: VACANT

SOPT WATERVIEW III, L.L.C.  
0163-01-0029E  
ZONE: PDC  
USE: VACANT

**EVM LEGEND**

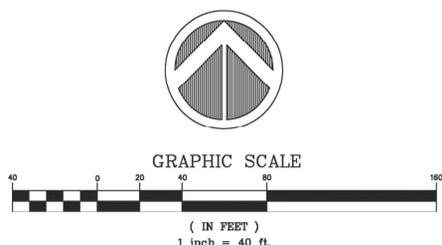
KEY	COVER TYPE	PRIMARY SPECIES	CONDITION	SUCCESSIONAL STAGE	AREA	COMMENTS
	EARLY SUCCESSIONAL FOREST TYPE I	WILLOW, REDBUD, PINE, BLACK LOCUST	FAIR	EARLY	84,800 SQ.FT	SIGNIFICANT LEVELS OF GRASSES AND OTHER WOODY SPECIES
	EARLY SUCCESSIONAL FOREST TYPE II	PEAR, ELM, EASTERN RED CEDAR, CHERRY	FAIR	EARLY	203,471 SQ.FT	SIGNIFICANT LEVELS OF GRASSES AND OTHER WOODY SPECIES
	LANDSCAPED TREE CANOPY	PINE, OAK, MAPLE, TULIP POPLAR	GOOD	N/A	29,549 SQ.FT	MAINTAINED LANDSCAPE TREES
	ALL REMAINING AREAS ON SITE	MAINTAINED GRASSLAND	TURF, SMALL LANDSCAPE PLANTS	N/A	96,960 SQ.FT	MAINTAINED GRASSED AREAS
	OPEN WATER	N/A	N/A	N/A	74,903 SQ.FT	STORMWATER MANAGEMENT FEATURES/PONDS
	DEVELOPED LAND	N/A	N/A	N/A	30,731 SQ.FT	INCLUDES ROADS, SIDEWALKS AND OTHER HARDSCAPE

- NOTES:**
- EVM MAPPING BASED ON SURVEY PROVIDED BY GORDON AND VBMP 2013 AERIAL PHOTOGRAPHY.
  - EVM FIELDWORK PERFORMED ON NOVEMBER 11, 2015 BY BARRY DUNCAN, ISA# KY-0656A

PREPARED BY:

**Wetland**  
Studies and Solutions, Inc.  
a DAVEY company

5300 Wellington Branch Drive • Suite 100  
Gainesville, Virginia 20155  
Phone: 703-679-5600 • Fax: 703-679-5601  
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NOTE: THIS DRAWING IS SEALED FOR INFORMATION ONLY

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2. MARCH 29, 2016	SECOND SUBMISSION		
3. JULY 8, 2016	STAFFING COMMENTS		
4. AUGUST 11, 2016	ADDRESS STAFF/VDOT TIE/LOS		

SUR: GORDON	DES: WSSI
DRW: WSSI	CHK: SEG

COMMONWEALTH OF VIRGINIA  
ROBERT W. WALKER, V.  
NO. 37609  
08/17/2016  
PROFESSIONAL ENGINEER  
SEAL:

EXISTING VEGETATION MAP

**WOODLAND PARK WATERVIEW**

PROFFER CONDITION AMENDMENT /  
CONCEPTUAL DEVELOPMENT PLAN AMENDMENT /  
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RZ/FDP 2016-DR-001  
DRANESVILLE DISTRICT, FAIRFAX COUNTY, VA

HORIZ: 1"=XXX
SCALE: VERT:
DATE: DECEMBER 2015
PLAN: ----
JOB: 0313-0159
CADD: 0313-0259-L-EV-101.DWG
NCS: --
NUMBER: 04 OF 28

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**CONCEPTUAL ENHANCED STREET NETWORK NARRATIVE**

THE "CONCEPTUAL ENHANCED STREET NETWORK" REFLECTS THE RECOMMENDED STREET CONFIGURATION FOR THE RESTON TRANSIT STATION AREA DESCRIBED IN THE COMPREHENSIVE PLAN (SOURCE IS FIGURE 41, PAGE 139). THE PLAN IS INCLUDED FOR INFORMATIONAL PURPOSES ONLY, AND IS INTENDED TO DEMONSTRATE WOODLAND PARK WATERVIEW'S COMPLIANCE TO THE TRANSPORTATION PLAN RECOMMENDATIONS.



0 100 200 400 600  
SCALE: 1" = 200'

**LEGEND**

- Retail Destination
- School
- Park / Open Space
- Primary Bus Route / Bus Stop
- ⋯ Planned On-Street Bike Lane
- ⋯ Existing Woodland Park Trail
- ⋯ County Planned Trail
- County Planned Local Collector Street
- Existing Sidewalk

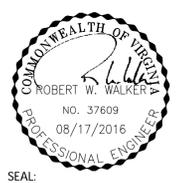


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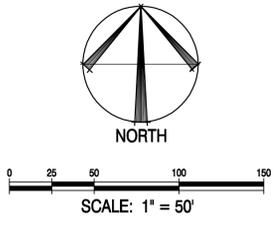
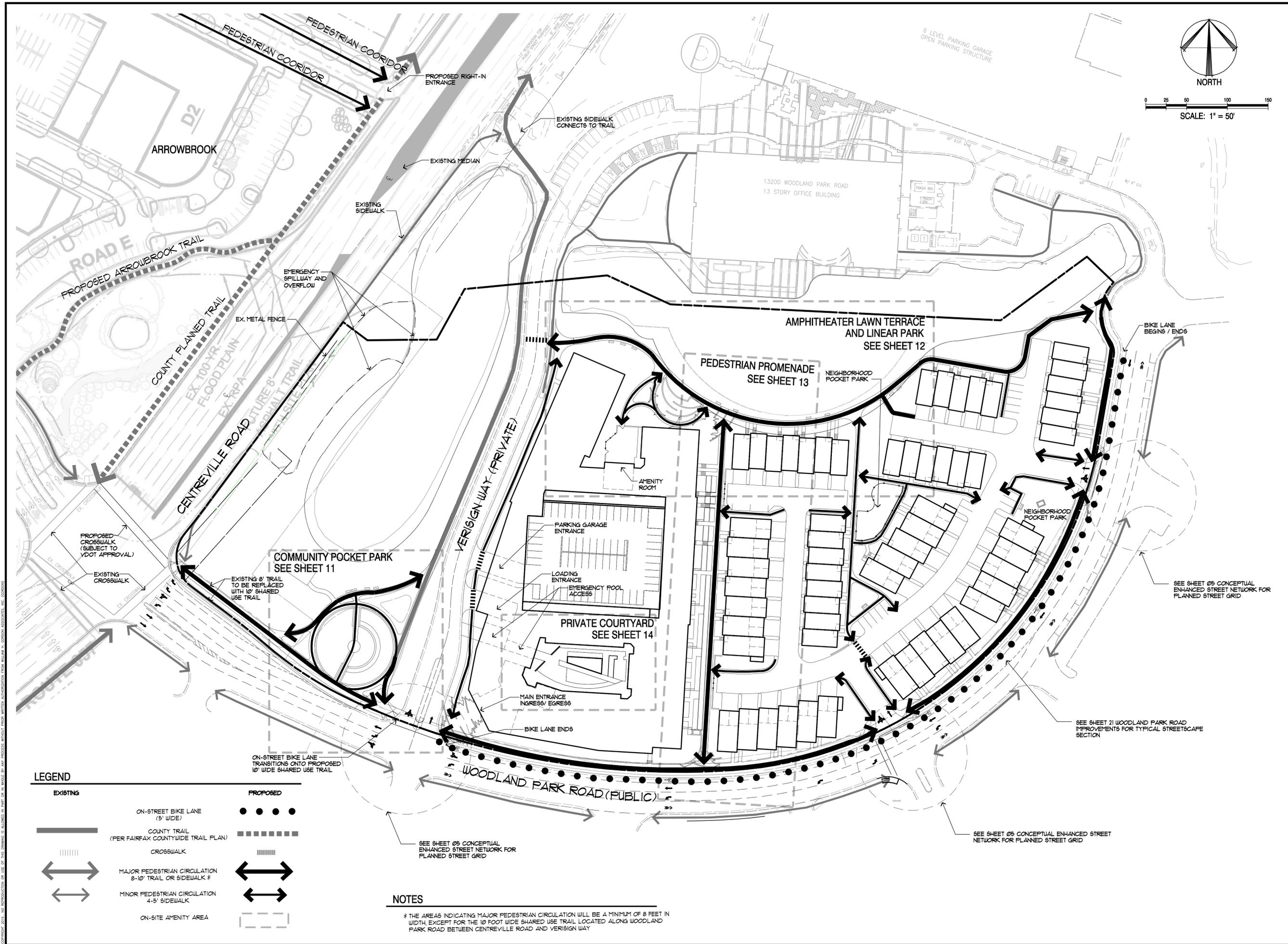
CONCEPTUAL ENHANCED STREET NETWORK  
**WOODLAND PARK WATERVIEW**  
PROFFER CONDITION AMENDMENT /  
CONCEPTUAL DEVELOPMENT PLAN AMENDMENT /  
FINAL DEVELOPMENT PLAN AMENDMENT  
RZ/FDP 2016 DR-001  
DRANESVILLE DISTRICT, FAIRFAX COUNTY, VA

SCALE: HORIZ: 1"=XXX
DATE: DECEMBER 2015
PLAN: ----
JOB: 0313-0159
CADD: 0313-0259-L-SN-101.DWG
NCS: --
NUMBER: 05 of 28



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**LEGEND**

<b>EXISTING</b>	<b>PROPOSED</b>
ON-STREET BIKE LANE (5' WIDE)	COUNTY TRAIL (PER FAIRFAX COUNTYWIDE TRAIL PLAN)
	CROSSWALK
	MAJOR PEDESTRIAN CIRCULATION 8-10' TRAIL OR SIDEWALK *
	MINOR PEDESTRIAN CIRCULATION 4-5' SIDEWALK
	ON-SITE AMENITY AREA

**NOTES**

\* THE AREAS INDICATING MAJOR PEDESTRIAN CIRCULATION WILL BE A MINIMUM OF 8 FEET IN WIDTH, EXCEPT FOR THE 10 FOOT WIDE SHARED USE TRAIL LOCATED ALONG WOODLAND PARK ROAD BETWEEN CENTREVILLE ROAD AND VERISIGN WAY

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SURVEY AND MAPPING  
SECURITY CONSULTING

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REVISIONS	NUMBER	DATE	DESCRIPTION
1. JANUARY 6, 2016	ACCEPTANCE COMMENTS		
2. MARCH 23, 2016	SECOND SUBMISSION		
3. JULY 9, 2016	STAFFING COMMENTS		
4. AUGUST 11, 2016	ADDRESS STAFF/VDOT COMMENTS		

SUR: 1"=50'	DES: 1"=50'
DRW: 1"=50'	CHK: 1"=50'

COMMONWEALTH OF VIRGINIA

ROBERT W. WALKER, V

NO. 37609

08/17/2016

PROFESSIONAL ENGINEER

SEAL:

MULTIMODAL PLAN

**WOODLAND PARK WATERVIEW**

PROFFER CONDITION AMENDMENT /  
CONCEPTUAL DEVELOPMENT PLAN AMENDMENT /  
FINAL DEVELOPMENT PLAN AMENDMENT  
RZ/DP 2016-DR-001

DRANESVILLE DISTRICT, FAIRFAX COUNTY, VA

HORIZ: 1"=50'
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DATE: DECEMBER 2015
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NCS: --
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PERSPECTIVES



1 AMPHITHEATER LAWN TERRACE



2 VIEW ALONG LINEAR PARK



3 PEDESTRIAN PROMENADE LOOKING SOUTH



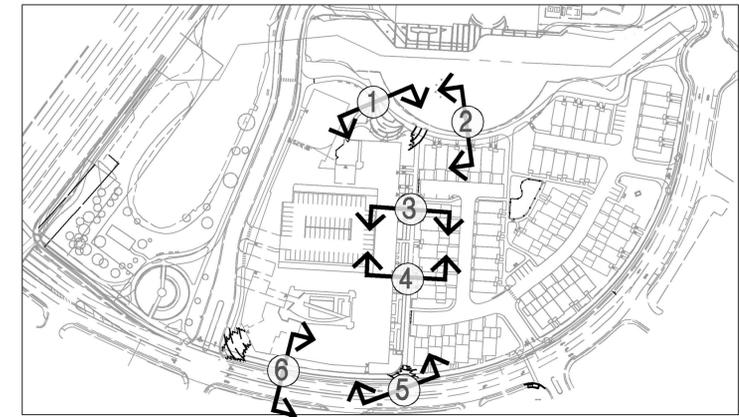
4 PEDESTRIAN PROMENADE LOOKING NORTH



5 VIEW ALONG WOODLAND PARK DRIVE AND PEDESTRIAN PROMENADE



6 VIEW ALONG WOODLAND PARK DRIVE LOOKING EAST



KEY MAP

SCALE: 1" = 150'

NOTES:

1. THE PERSPECTIVES SHOWN ARE FOR ILLUSTRATIVE PURPOSES ONLY AND ARE INTENDED TO CONVEY GENERAL ARCHITECTURAL AND LANDSCAPE ARCHITECTURE CHARACTER. DESIGN ELEMENTS ARE SUBJECT TO CHANGE.

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DRW: NAME	CHK: NAME

COMMONWEALTH OF VIRGINIA

STEVEN E. GLEASON  
Lic. No. 1104

08/17/2016

LANDSCAPE ARCHITECT

SEAL:

PERSPECTIVE VIEWS

**WOODLAND PARK WATERVIEW**

PROFFER CONDITION AMENDMENT /  
CONCEPTUAL DEVELOPMENT PLAN AMENDMENT /  
FINAL DEVELOPMENT PLAN AMENDMENT  
RZ/EDP 2016-DR-001  
DRANESVILLE DISTRICT, FAIRFAX COUNTY, VA

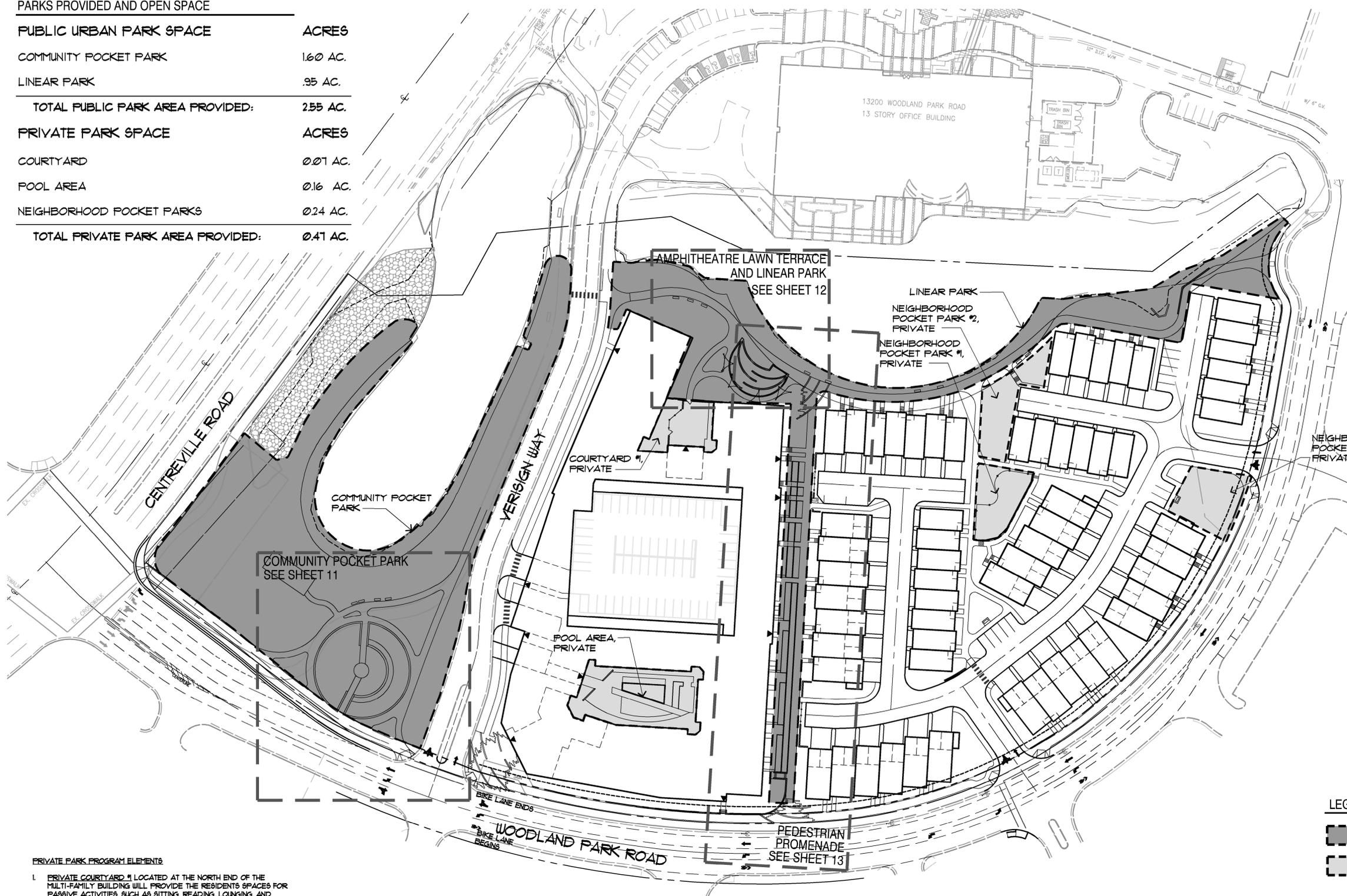
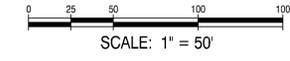
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NCS:	---

NUMBER: 08 of 28

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**PARKS PROVIDED AND OPEN SPACE**

PUBLIC URBAN PARK SPACE	
COMMUNITY POCKET PARK	1.60 AC.
LINEAR PARK	.95 AC.
<b>TOTAL PUBLIC PARK AREA PROVIDED:</b>	<b>2.55 AC.</b>
PRIVATE PARK SPACE	
COURTYARD	0.07 AC.
POOL AREA	0.16 AC.
NEIGHBORHOOD POCKET PARKS	0.24 AC.
<b>TOTAL PRIVATE PARK AREA PROVIDED:</b>	<b>0.47 AC.</b>



**PRIVATE PARK PROGRAM ELEMENTS**

1. PRIVATE COURTYARD #1 LOCATED AT THE NORTH END OF THE MULTI-FAMILY BUILDING WILL PROVIDE THE RESIDENTS SPACES FOR PASSIVE ACTIVITIES, SUCH AS SITTING, READING, LOUNGING, AND AREAS FOR EVENTS AND ENTERTAINMENT. THE COURTYARD WILL BE SCREENED FROM THE PUBLICLY ACCESSIBLE LINEAR PARK WITH LANDSCAPING AND/OR DECORATIVE FENCING. THE AREA WILL CONTAIN MOVABLE FURNISHINGS TO ALLOW SMALL GROUP GATHERINGS, A MIX OF PAVED AND LAWN PANEL AREAS AND SEASONAL LANDSCAPING.
2. NEIGHBORHOOD POCKET PARK #1 WILL BE PROGRAMMED FOR A PLAY AREA, SEE SHEET 06 AND 11 FOR FURTHER INFORMATION.
3. NEIGHBORHOOD POCKET PARK #2 WILL BE AN OPEN FLEXIBLE LAWN AND/OR GRASS PAVE AREA THAT SUPPORTS A DIVERSITY OF COMMUNITY ACTIVITIES, SUCH AS NEIGHBORHOOD PICNICS, ICE CREAM SOCIALS, YOGA, FRISBEE TOSING, AND OTHER COMMUNITY-BUILDING ACTIVITIES. BENCH SEATING WILL BE PROVIDED AT STRATEGIC LOCATIONS TO CAPITALIZE ON THE VIEWS OF THE POND, LINEAR PARK AND THE MANICURED GREEN.
4. NEIGHBORHOOD POCKET PARK #3 LOCATED ALONG A WOODLAND PARK ROAD WILL SERVE AS AN INTERPRETIVE GARDEN WITH TREES, SHRUBS AND THAT WILL CONTRIBUTE TO THE RESIDENTS KNOWLEDGE OF SUITABLE, NON-INVASIVE PLANT TYPES, ALONG WITH AN AWARENESS OF THE PLANT'S SEASONAL INTEREST, GROWTH STRUCTURE AND CHARACTERISTICS THAT MAY ATTRACT WILDLIFE.

**LEGEND**

- PRIVATELY-OWNED / PUBLICLY-ACCESSIBLE OPEN SPACE (100% OF = 25%)
- PRIVATE PARK SPACE

**Urban Parks Recommended in Comprehensive Plan**

Land Use	Number of Units	Resident Ratio	Total Number of Residents	Urban Park Space Recommended in Comprehensive Plan	Acres of Park Space Recommended	Proposed Parks Summary	
						*Public Park Space (Privately Owned)	Increase Over Comprehensive Plan Recommendation
Residential (Multi-Family)	295	1.75	516	1.5 / 1,000	0.77	2.55	1.54
Residential (MF - 2 over 2's)	56	1.75	98	1.5 / 1,000	0.15		
Residential (SFA - Townhome)	32	1.75	56	1.5 / 1,000	0.09		
<b>Totals</b>	<b>383</b>		<b>670</b>		<b>1.01</b>		

Notes:  
\* Does not include Private Parks and Open Space (shown in light grey hatch on Legend).

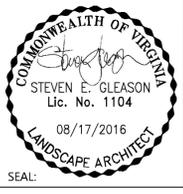
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DRW: IPB	CHK: SEG



URBAN PARK AREA CALCULATIONS

**WOODLAND PARK WATERVIEW**

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CONCEPTUAL DEVELOPMENT PLAN AMENDMENT /  
FINAL DEVELOPMENT PLAN AMENDMENT  
RZ/EDP 2016-DR-001  
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**PLANTING LIST**

- POSSIBLE STREET TREE  
ACER RUBRUM 'COLUMNARE'  
GINKGO BILOBA 'PRINCETON SENTRY'
- POSSIBLE ACCENT TREE  
TREE SHALL BE SMALL, ORNAMENTAL  
WITH ROUNDED CROWN FORM
- POSSIBLE UNIFORM SINGLE SPECIES PLANTINGS  
FESTUCA GLAUCA  
LIRIOPE MUSCARI
- POSSIBLE MULTI-SPECIES PLANTINGS  
PACHYSANDRA  
OPHIPOGON JAPONICUS 'NANUS'  
JUNIPERUS HORIZONTALIS 'WILTONII'
- POSSIBLE FOCAL AREA PLANTINGS  
LIRIOPE MUSCARI
- COLUMNAR RED MAPLE  
PRINCETON SENTRY GINKGO
- BLUE FESCUE  
DWARF LIRIOPE
- PACHYSANDRA  
DWARF MONDO GRASS  
BLUE RUG JUNIPER
- 'BIG BLUE' LIRIOPE



**NOTES**

1. ALL LANDSCAPING WITHIN THE EIGHT DISTANCE EASEMENT SHALL BE MAINTAINED TO A HEIGHT OF 3.5 FEET AND 10 FEET ABOVE GROUND TO PRESERVE MOTORIST AND PEDESTRIAN SIGHT LINES.

- STREET TREE (COLUMNAR OR OTHER)
- ACCENT TREE
- UNIFORM SINGLE SPECIES PLANT BED (GROUND COVER OR GRASSES)
- MULTI-SPECIES PLANT BED (SHRUBS AND PERENNIALS)
- FOCAL AREA PLANT BED
- OPEN SPACE

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DRW: KJK	CHK: SEG

COMMONWEALTH OF VIRGINIA

STEVEN E. GLEASON  
Lic. No. 1104

08/17/2016

LANDSCAPE ARCHITECT

SEAL:

CONCEPTUAL STREETSCAPE PLAN

WOODLAND PARK WATERVIEW

PROFFER CONDITION AMENDMENT /  
CONCEPTUAL DEVELOPMENT PLAN AMENDMENT /  
FINAL DEVELOPMENT PLAN AMENDMENT  
RZ/EDP 2016-DR-001

DRANESVILLE DISTRICT, FAIRFAX COUNTY, VA

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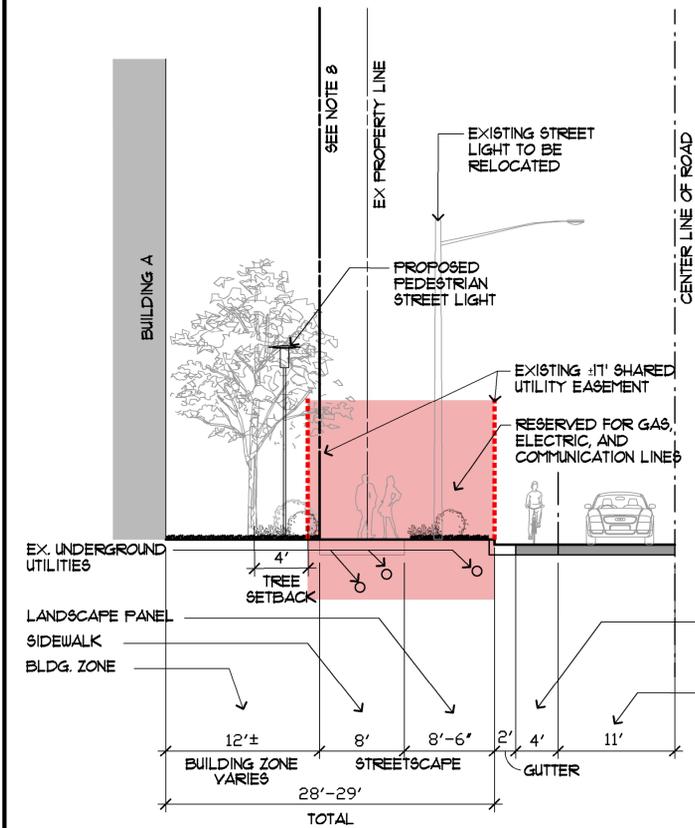
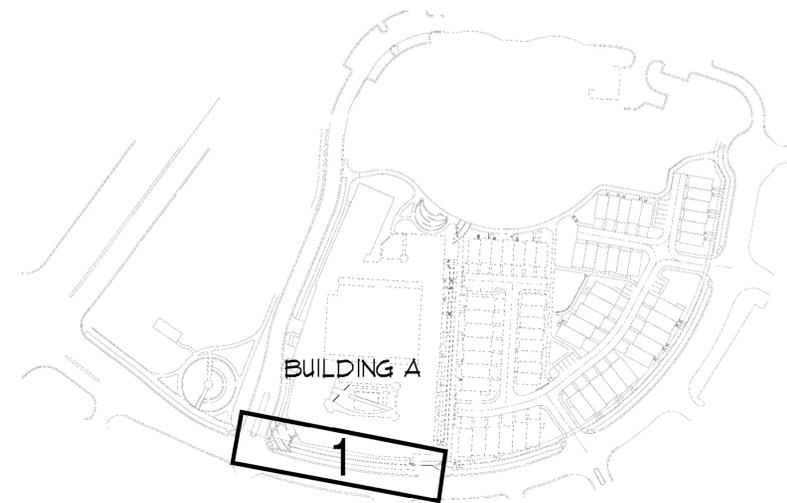
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**NOTES**

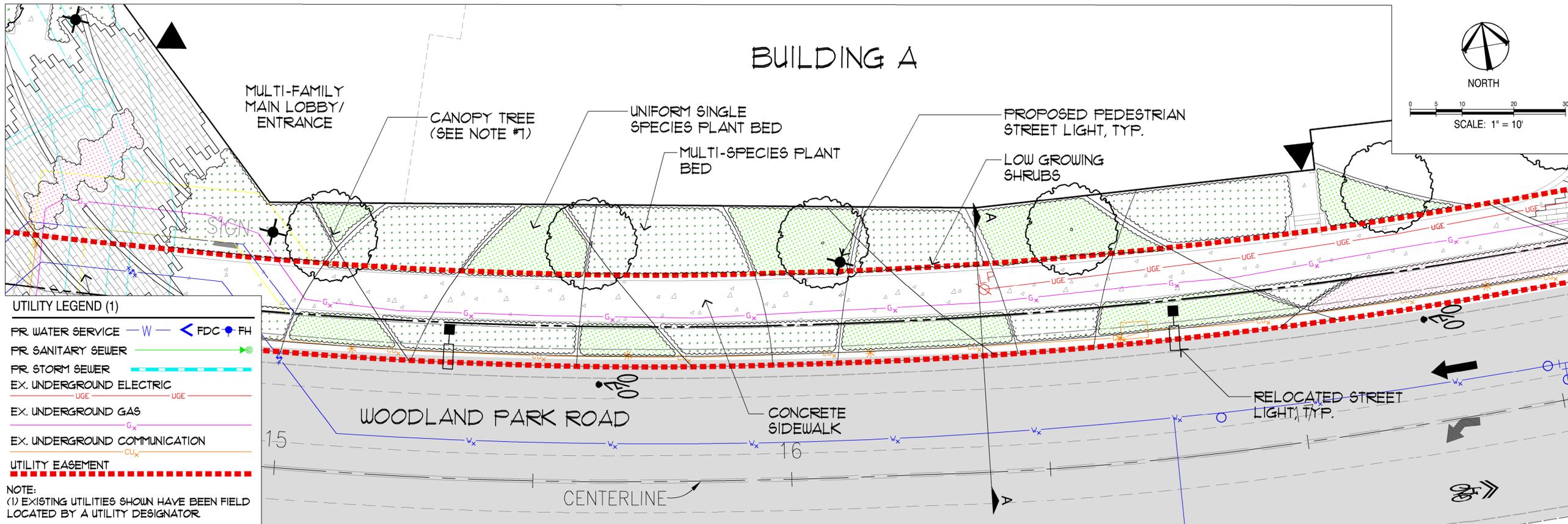
1. ALL PLANT MATERIALS SHOWN ALONG WOODLAND PARK ROAD THAT LIE WITHIN THE DOMINION VIRGINIA POWER AND COLUMBIA GAS EASEMENTS ARE SUBJECT TO THE REVIEW AND APPROVAL FROM THE RESPECTIVE UTILITY COMPANY. IN GENERAL, NO TREES OR LARGE DEEP ROOTED SHRUBS CAN BE LOCATED IN THE EASEMENT. STREET TREES SHOWN, AS RECOMMENDED IN THE COMPREHENSIVE PLAN, HAVE BEEN LOCATED OUTSIDE OF THE UTILITY EASEMENTS.
2. TREES PLANTED TO PROVIDE ALL OR PART OF THE 10-YEAR TREE CANOPY REQUIREMENTS SHALL BE PLANTED IN AREAS WITH A MINIMUM WIDTH OF 8 FEET, MEASURED FROM THE INTERIOR OF THE SIDES OF THE RESTRICTIVE BARRIER SUCH AS CURB OR PAVEMENT.
3. TREES PLANTED TO PROVIDE ALL OR PART OF THE 10-YEAR TREE CANOPY REQUIREMENTS SHALL BE LOCATED NO CLOSER THAN 4 FEET FROM ANY RESTRICTIVE BARRIER.
4. SEE SHEET 15 - LANDSCAPE PLAN, FOR TREES DESIGNATED TOWARD CREDIT FOR THE 10-YEAR TREE CANOPY REQUIREMENTS.
5. SEE NOTE 2 ON SHEET 15 REGARDING TREES WITHIN THE SIGHT DISTANCE EASEMENTS.
6. REFER TO NOTE 15D ON SHEET 02 FOR INFORMATION REGARDING THE PROPOSED PUBLIC RIGHT OF WAY.
7. STREET TREES ALONG BUILDING A ARE SETBACK 4' FROM THE BACK OF SIDEWALK ALONG WOODLAND PARK ROAD.
8. TO SUPPORT THE COUNTY PLANNED URBAN STREET SECTIONS, A PORTION OF THE SITE IS RESERVED FOR RIGHT-OF-WAY DEDICATION OR PUBLIC ACCESS EASEMENT ALONG WOODLAND PARK ROAD. DEDICATION/PUBLIC ACCESS EASEMENT WILL EXTEND TO BACK OF SIDEWALK. SEE NOTE 15D OF SHEET 02.

**LANDSCAPE LEGEND**

-  CANOPY TREE
-  ORNAMENTAL TREE
-  MULTI-SPECIES PLANT BED
-  UNIFORM SINGLE SPECIES PLANT BED
-  FOCAL AREA PLANT BED
-  PR PEDESTRIAN STREET LIGHT
-  RELOCATED STREET LIGHT
-  EX. STREETLIGHT TO BE REMOVED



**A SECTION - WOODLAND PARK ROAD STREETScape**  
SCALE: 1"=8'-0"



**UTILITY LEGEND (1)**

- PR WATER SERVICE — W — FDC — FH
- PR SANITARY SEWER — S —
- PR STORM SEWER — SS —
- EX. UNDERGROUND ELECTRIC — UGE —
- EX. UNDERGROUND GAS — G<sub>x</sub> —
- EX. UNDERGROUND COMMUNICATION — CU<sub>x</sub> —
- UTILITY EASEMENT — [Red dashed line] —

**NOTE:**  
(1) EXISTING UTILITIES SHOWN HAVE BEEN FIELD LOCATED BY A UTILITY DESIGNATOR.

**1 PLAN - WOODLAND PARK ROAD STREETScape AT MULTI-FAMILY BUILDING**  
SCALE: 1"=20'

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COMMONWEALTH OF VIRGINIA  
 STEVEN E. GLEASON  
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 LANDSCAPE ARCHITECT  
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WOODLAND PARK ROAD STREETScape PLAN  
**WOODLAND PARK WATERVIEW**  
 PROFFER CONDITION AMENDMENT /  
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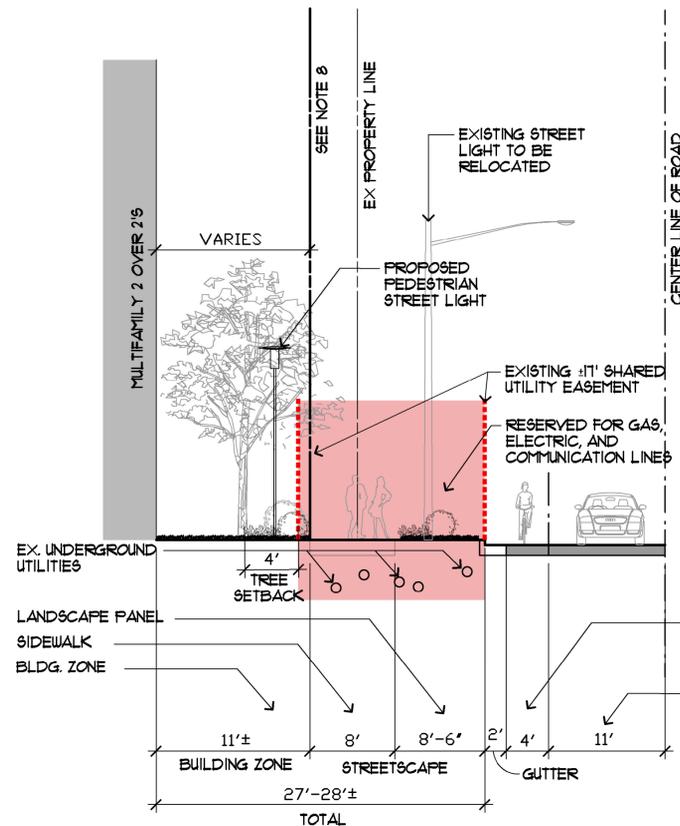
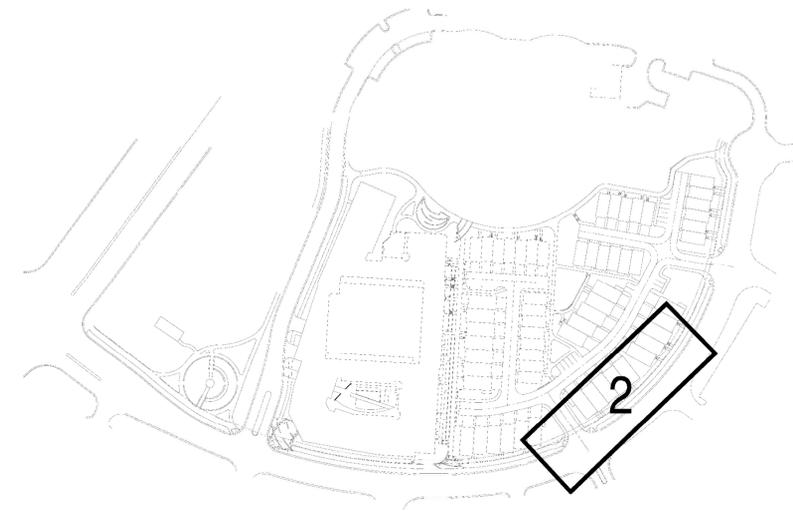
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NOTES

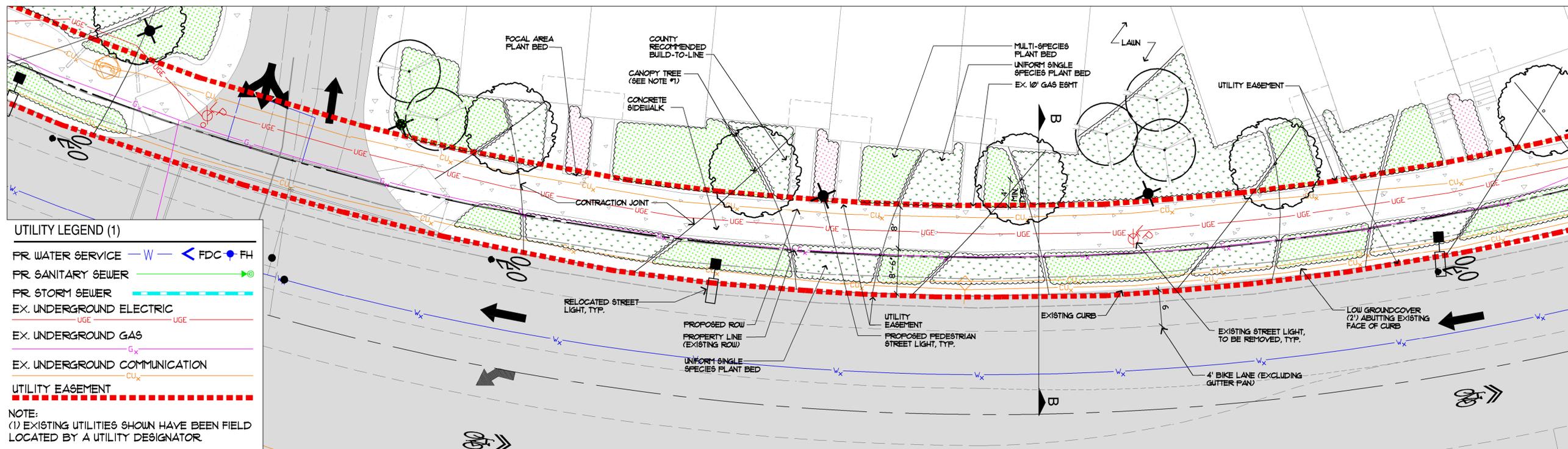
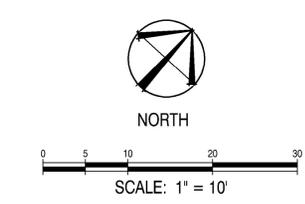
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- SEE SHEET 15 - LANDSCAPE PLAN, FOR TREES DESIGNATED TOWARD CREDIT FOR THE 10-YEAR TREE CANOPY REQUIREMENTS.
- SEE NOTE 2 ON SHEET 15 REGARDING TREES WITHIN THE SIGHT DISTANCE EASEMENTS.
- REFER TO NOTE 15D ON SHEET 02 FOR INFORMATION REGARDING THE PROPOSED PUBLIC RIGHT OF WAY.
- STREET TREES ALONG THE MULTIFAMILY 2 OVER 2'S ARE SETBACK 4' FROM THE BACK OF SIDEWALK ALONG WOODLAND PARK ROAD.
- TO SUPPORT THE COUNTY PLANNED URBAN STREET SECTIONS, A PORTION OF THE SITE IS RESERVED FOR RIGHT-OF-WAY DEDICATION OR PUBLIC ACCESS EASEMENT ALONG WOODLAND PARK ROAD. DEDICATION/PUBLIC ACCESS EASEMENT WILL EXTEND TO BACK OF SIDEWALK. SEE NOTE 15D OF SHEET 02.

LANDSCAPE LEGEND

- CANOPY TREE
- ORNAMENTAL TREE
- MULTI-SPECIES PLANT BED
- UNIFORM SINGLE SPECIES PLANT BED
- FOCAL AREA PLANT BED
- FR PEDESTRIAN STREET LIGHT
- RELOCATED STREET LIGHT
- EX. STREETLIGHT TO BE REMOVED



**B** SECTION - WOODLAND PARK ROAD STREETSCAPE  
SCALE: 1"=8'-0"



**UTILITY LEGEND (1)**

- FR WATER SERVICE — W — FDC — FH
- FR SANITARY SEWER — SS —
- FR STORM SEWER — SS —
- EX. UNDERGROUND ELECTRIC — UGE —
- EX. UNDERGROUND GAS — G<sub>x</sub> —
- EX. UNDERGROUND COMMUNICATION — CU<sub>x</sub> —
- UTILITY EASEMENT — [Red dashed line] —

NOTE:  
(1) EXISTING UTILITIES SHOWN HAVE BEEN FIELD LOCATED BY A UTILITY DESIGNATOR.

**2** PLAN - WOODLAND PARK ROAD STREETSCAPE  
SCALE: 1"= 10'

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STEVEN E. GLEASON  
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08/17/2016

LANDSCAPE ARCHITECT

SEAL:

WOODLAND PARK ROAD STREETSCAPE PLAN

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1 COMMUNITY POCKET PARK LANDSCAPE PLAN



3 FOCAL ELEMENT (OPTIONAL)  
E.G.: SCULPTURE-STYLE PLAY EQUIPMENT

PRECEDENTS



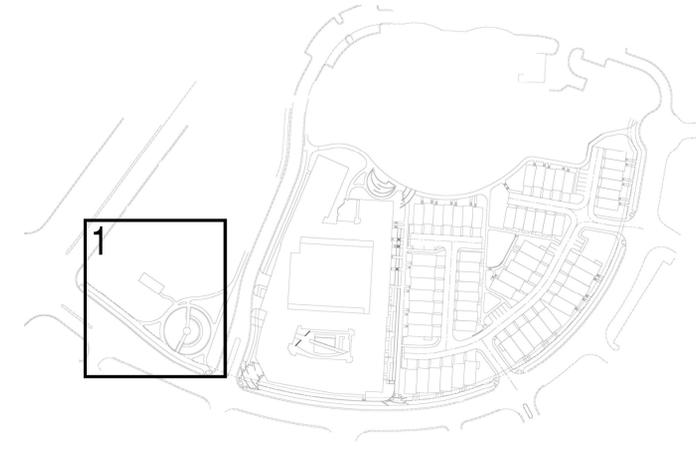
1 ENHANCED LANDSCAPING



2 SEATING/ PLAYING/ GATHERING



4 SHADE STRUCTURE OR TRELLIS



COMMUNITY POCKET PARK NARRATIVE

THE EXISTING GREEN SPACE WILL BE REDESIGNED TO INCLUDE USES TO SERVE THE ADJACENT RESIDENTS, PROVIDE A SENSE OF PLACE AND SERVE AS AN INFORMAL COMMUNITY GATHERING SPACE. THE USES ARE LARGELY PASSIVE AND FEATURE ENHANCED LANDSCAPING WITH NATIVE AND ADAPTIVE TREES, SHRUBS AND GROUND COVERS THAT WILL PROVIDE HABITAT FOR POLLINATORS, SITE FURNISHINGS FOR SEATING AND GATHERING, SHADE RELIEF, AND A FOCAL ELEMENT (E.G. SCULPTURAL STYLE PLAY STRUCTURE).

LANDSCAPING SHOWN HEREON IS SCHEMATIC AND INCORPORATES REQUIRED AND ADDITIONAL TREES. SEE SHEETS 15 AND 16 FOR REQUIRED LANDSCAPE TREE PLANTINGS AND TREE COVER CALCULATIONS.

LANDSCAPE LEGEND

- EXISTING TREE
- CANOPY TREE
- ORNAMENTAL TREE
- EVERGREEN SHRUB
- DECIDUOUS SHRUBS
- MULTI-SPECIES PLANT BED
- PROPOSED NEW WALKS
- EXISTING 8' ASPHALT TRAIL ALONG WOODLAND PARK DRIVE TO BE REPLACED WITH 10' SHARED USE TRAIL
- BENCH
- PR PEDESTRIAN LIGHTING



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COMMUNITY POCKET PARK

**WOODLAND PARK WATERVIEW**

PROFFER CONDITION AMENDMENT /  
CONCEPTUAL DEVELOPMENT PLAN AMENDMENT /  
FINAL DEVELOPMENT PLAN AMENDMENT  
RZ/EDP 2016-DR-001

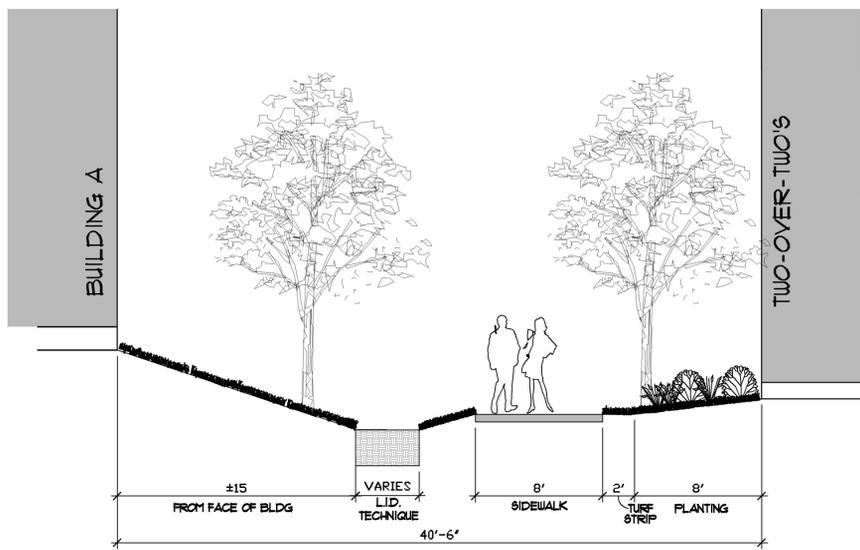
DRANESVILLE DISTRICT, FAIRFAX COUNTY, VA

HORIZ: 1"=20'
SCALE: VERT:
DATE: DECEMBER 2015
PLAN: ----
JOB: 0313-0159
CADD: 0313-0259-L-IS-401.DWG
NCS: --
NUMBER: 11 of 28

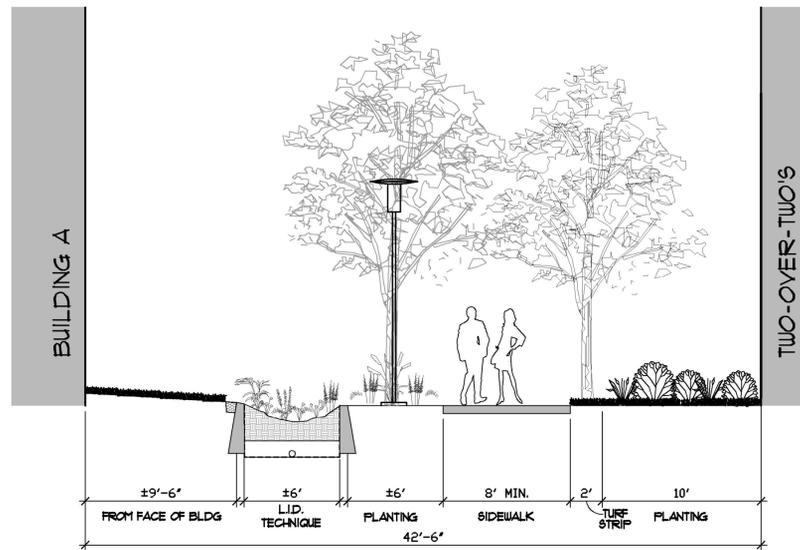


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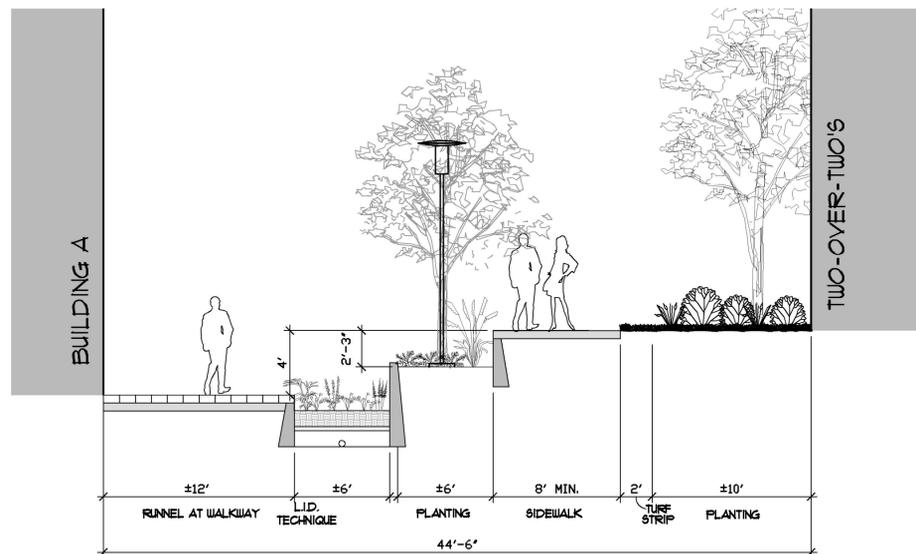




**A** LOW IMPACT DEVELOPMENT TECHNIQUE  
SCALE: 3/16" = 1'



**B** LOW IMPACT DEVELOPMENT TECHNIQUE  
SCALE: 3/16" = 1'



**C** LOW IMPACT DEVELOPMENT TECHNIQUE  
SCALE: 3/16" = 1'

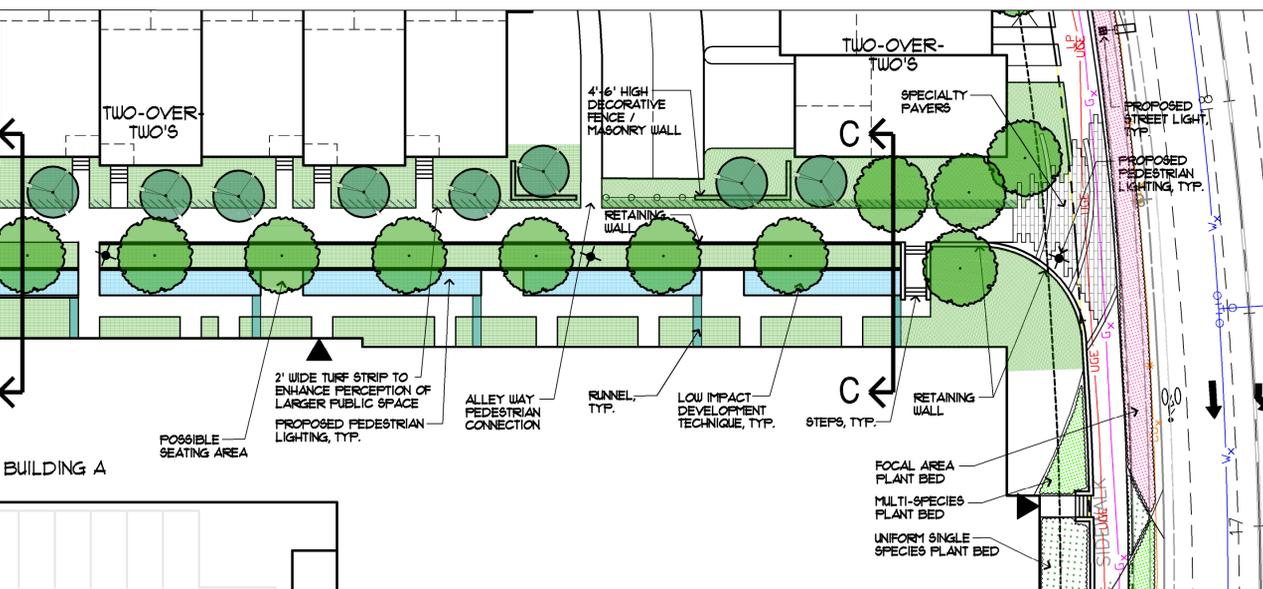
LOW IMPACT DEVELOPMENT EXAMPLES



PEDESTRIAN PROMENADE NARRATIVE

THE PEDESTRIAN PROMENADE WILL CREATE A COMMON PLACE MAKING AMENITY FOR RESIDENTS AND PROVIDE AN INVITING, WALKABLE CONNECTION FROM WOODLAND PARK ROAD TO THE LINEAR PARK. THE PROMENADE ALSO PROVIDES AN OPPORTUNITY TO FEATURE LOW IMPACT DEVELOPMENT TECHNIQUES (LID) AND FOSTER SAFE AND EDUCATIONAL INTERACTION WITH WATER. THE CONCEPT FEATURES ARTFUL LID ELEMENTS, SUCH AS BIORETENTION AND INNOVATIVE BMP'S, THAT BECOME ACTIVATED DURING RAIN EVENTS AND SERVE AS ENHANCEMENTS TO FILTERING POLLUTION FROM AND REDUCING THE RUN-OFF OF STORMWATER.

THE PROMENADE WILL VISUALLY TERMINATE AT A FOCAL POINT CREATED BY RELOCATING THE EXITING FOUNTAIN IN THE POND. PARTICULAR ATTENTION WILL BE PAID TO THE LANDSCAPE TREATMENT ALONG THE PROMENADE TO ENSURE ADEQUATE SCREENING AND SEASONAL INTEREST IS PROVIDED FOR RESIDENTIAL UNITS AND ALLEY LOCATIONS. NATIVE PLANTS WILL BE USED AS APPROPRIATE TO REDUCE IRRIGATION AND PROLIFERATION OF INVASIVE SPECIES, CONTRIBUTING TO THE PEDESTRIAN EXPERIENCE. PEDESTRIAN-SCALE LIGHTING FIXTURES WILL BE PROVIDED ALONG THE PROMENADE.

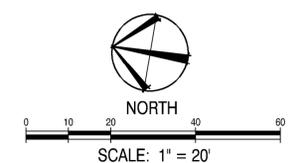


**1** PEDESTRIAN PROMENADE LANDSCAPE PLAN  
SCALE: 1" = 20'

NOTE: SEE SHEET 28 ON LOW IMPACT DEVELOPMENT TECHNIQUES FOR ADDITIONAL INFORMATION

LANDSCAPE LEGEND

- CANOPY TREE
- ORNAMENTAL TREE
- EVERGREEN HEDGEROW
- TURF STRIP
- LID TECHNIQUE
- PR STREET LIGHT
- PR PEDESTRIAN LIGHT
- 4'-6" HIGH DECORATIVE FENCE / MASONRY WALL



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**Gordon**

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1. JANUARY 6, 2016	ACCEPTANCE COMMENTS		
2. MARCH 23, 2016	SECOND SUBMISSION		
3. JULY 8, 2016	STAFFING COMMENTS		
4. AUGUST 11, 2016	ADDRESS STAFF/POD METHODS		

SUR: GORDON	DES: SCR
DRW: IPB	CHK: SEG

COMMONWEALTH OF VIRGINIA

STEVEN E. GLEASON  
Lic. No. 1104

08/17/2016

LANDSCAPE ARCHITECT

SEAL:

PEDESTRIAN PROMENADE PARK

**WOODLAND PARK WATERVIEW**

PROFFER CONDITION AMENDMENT /  
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DRANESVILLE DISTRICT, FAIRFAX COUNTY, VA

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NUMBER: 13 OF 28

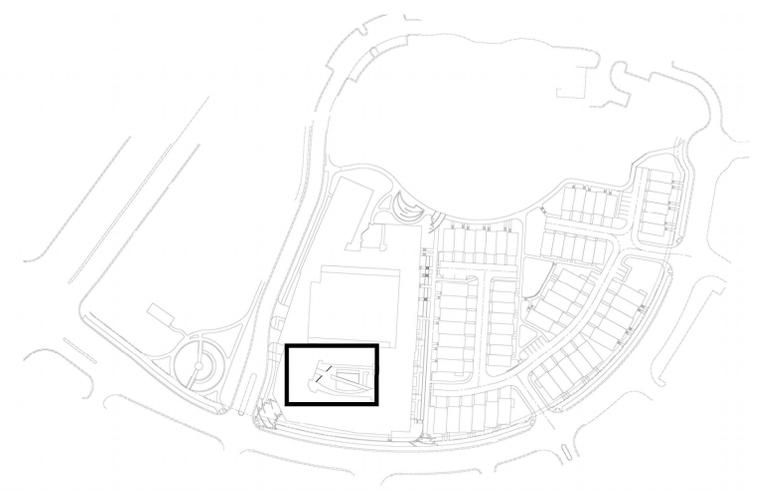
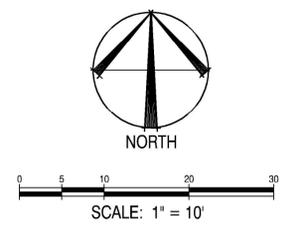
**Gordon**



**1** passive lounge area



**5** outdoor kitchen / seating



**2** design precedent



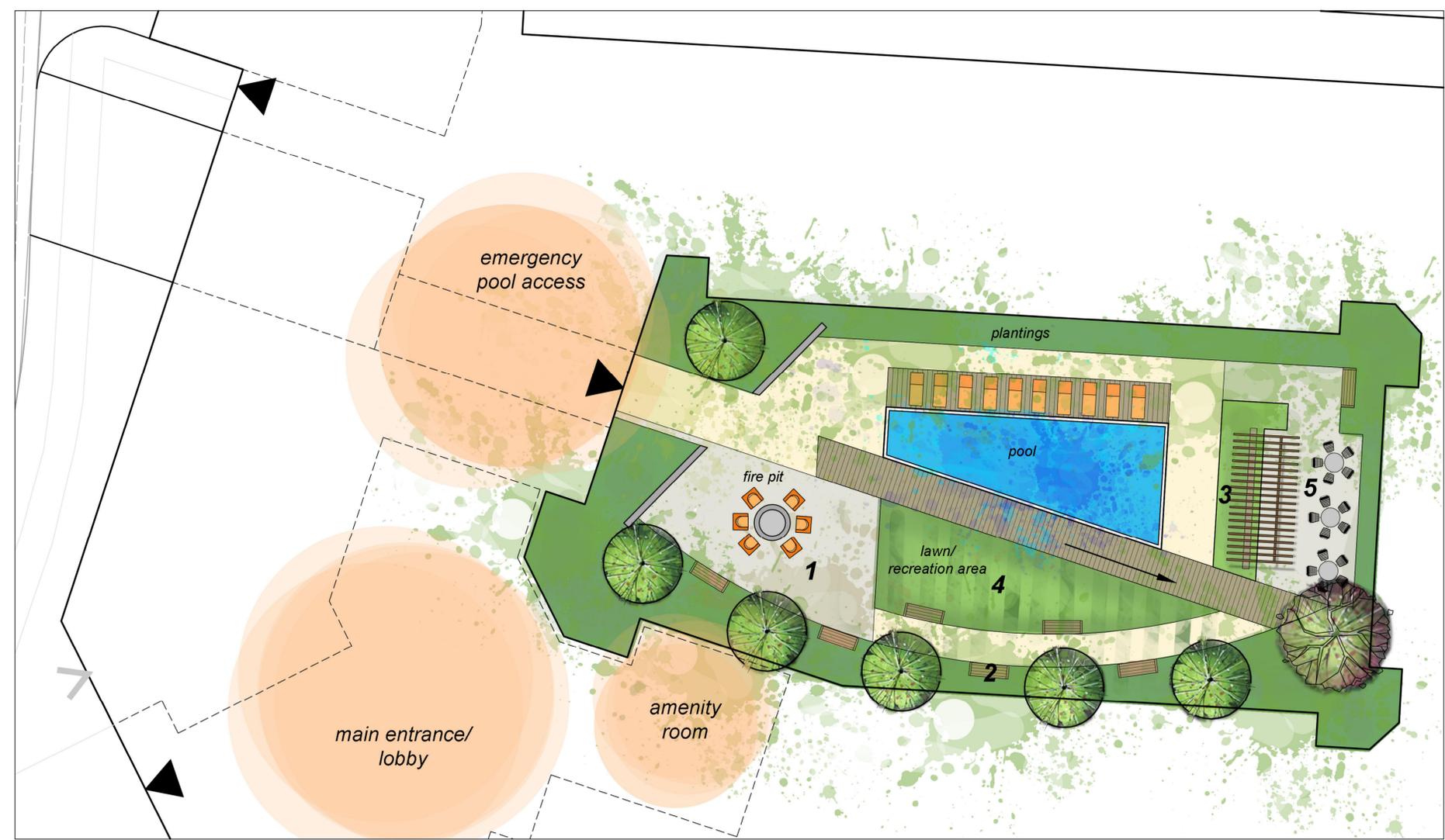
**3** focal wall/ gathering space



**4** outdoor recreation

**NOTES**

1. THE COURTYARD LAYOUT MAY BE FORMAL (RECTILINEAR) OR INFORMAL (CURVILINEAR) IN FORM, PROVIDED THAT THE GENERAL DESIGN QUALITY AND PROGRAM ELEMENTS ARE IN SUBSTANTIAL CONFORMANCE WITH OR EQUIVALENT TO, THE PROGRAM ELEMENTS SHOWN.
2. THE CONCEPTS AND IMAGES SHOWN ARE CONCEPTUAL, AND WILL CHANGE BASED ON FINAL ARCHITECTURAL AND ENGINEERING DESIGN.



**PRIVATE COURTYARD**

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		NUMBER	DATE
			DESCRIPTION

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DRW: KJK	CHK: SEG

COMMONWEALTH OF VIRGINIA

STEVEN E. GLEASON  
Lic. No. 1104

08/17/2016

LANDSCAPE ARCHITECT

SEAL:

PRIVATE COURTYARD LAYOUT PLAN

**WOODLAND PARK WATERVIEW**

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DRANESVILLE DISTRICT, FAIRFAX COUNTY, VA

HORIZ:	1"=10'
SCALE:	VERT:
DATE:	DECEMBER 2015
PLAN:	----
JOB:	0313-0159
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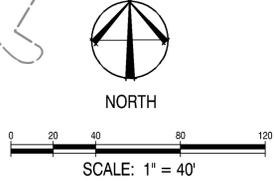
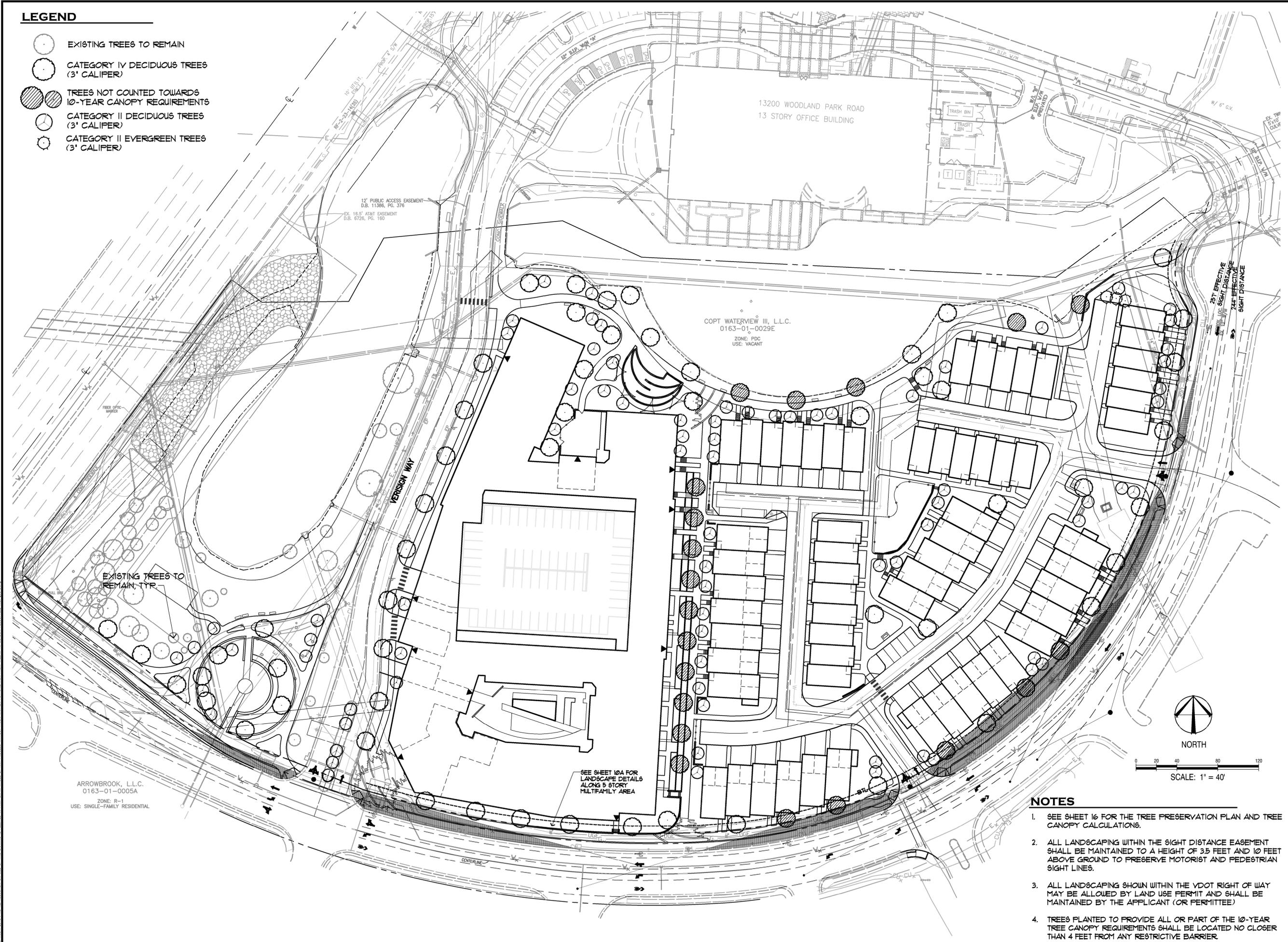
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**LEGEND**

-  EXISTING TREES TO REMAIN
-  CATEGORY IV DECIDUOUS TREES (3' CALIPER)
-  TREES NOT COUNTED TOWARDS 10-YEAR CANOPY REQUIREMENTS
-  CATEGORY II DECIDUOUS TREES (3' CALIPER)
-  CATEGORY II EVERGREEN TREES (3' CALIPER)



**NOTES**

1. SEE SHEET 16 FOR THE TREE PRESERVATION PLAN AND TREE CANOPY CALCULATIONS.
2. ALL LANDSCAPING WITHIN THE SIGHT DISTANCE EASEMENT SHALL BE MAINTAINED TO A HEIGHT OF 35 FEET AND 10 FEET ABOVE GROUND TO PRESERVE MOTORIST AND PEDESTRIAN SIGHT LINES.
3. ALL LANDSCAPING SHOWN WITHIN THE VDOT RIGHT OF WAY MAY BE ALLOWED BY LAND USE PERMIT AND SHALL BE MAINTAINED BY THE APPLICANT (OR PERMITTEE)
4. TREES PLANTED TO PROVIDE ALL OR PART OF THE 10-YEAR TREE CANOPY REQUIREMENTS SHALL BE LOCATED NO CLOSER THAN 4 FEET FROM ANY RESTRICTIVE BARRIER.

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COMMONWEALTH OF VIRGINIA

STEVEN E. GLEASON  
Lic. No. 1104

08/17/2016

LANDSCAPE ARCHITECT

SEAL:

LANDSCAPE PLAN

**WOODLAND PARK WATERVIEW**

PROFFER CONDITION AMENDMENT /  
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DRANESVILLE DISTRICT, FAIRFAX COUNTY, VA

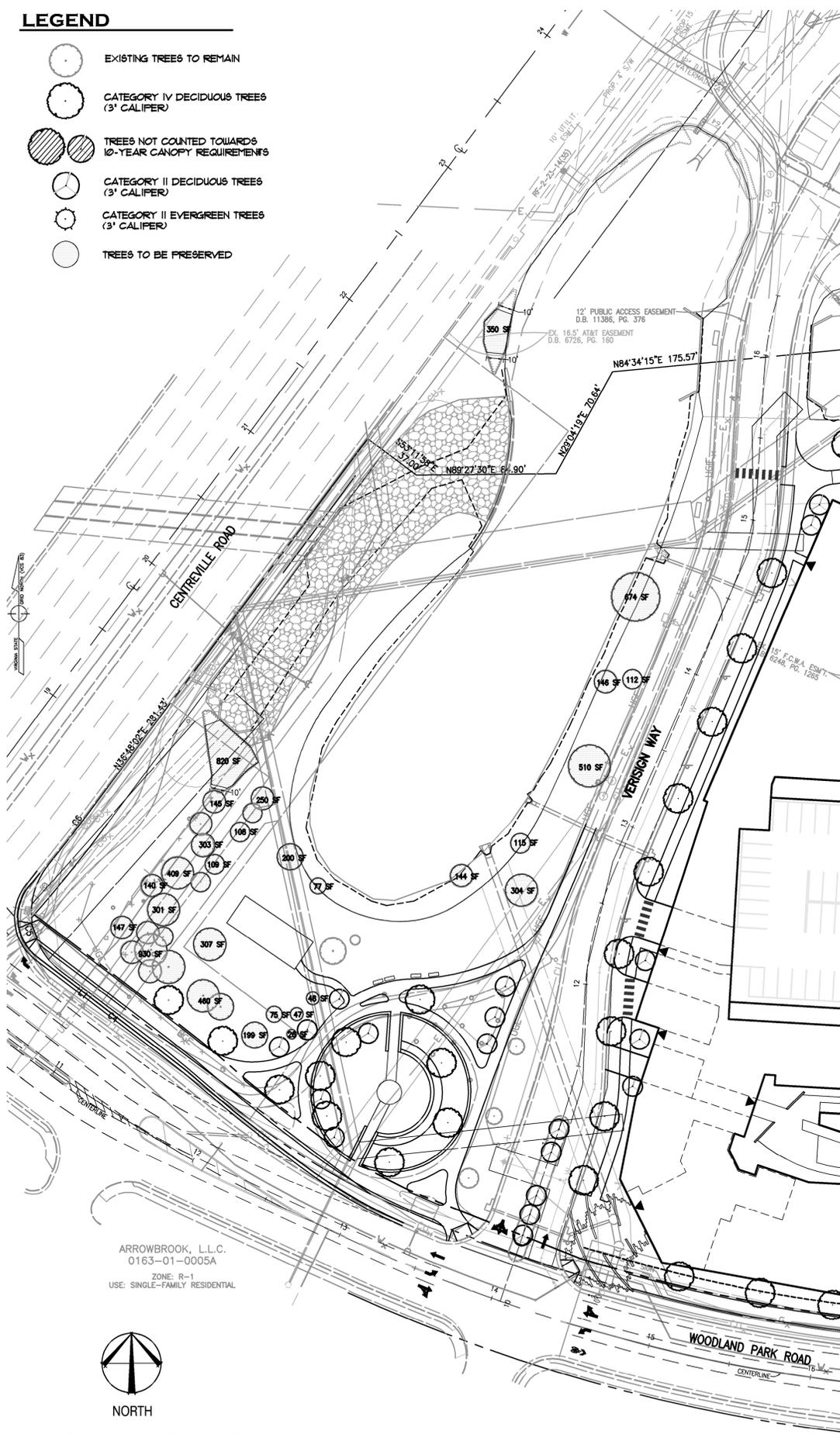
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**LEGEND**

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- CATEGORY IV DECIDUOUS TREES (3' CALIPER)
- TREES NOT COUNTED TOWARDS 10-YEAR CANOPY REQUIREMENTS
- CATEGORY II DECIDUOUS TREES (3' CALIPER)
- CATEGORY II EVERGREEN TREES (3' CALIPER)
- TREES TO BE PRESERVED



**Table 12.3 Tree Preservation Target Calculations and Statement**

A	Pre-development area (SF) of existing tree canopy (from Existing Vegetation Map) =	317,870 or 7.30 AC.
B	Percentage of gross site area covered by existing tree canopy =	61.1%
C	Percentage of 10-year tree canopy required for site (see Table 12.4) =	10% PDH-30 District
D	Percentage of the 10-year tree canopy requirement that should be met through tree preservation =	61.1%
E	Proposed percentage of canopy requirement that will be met through tree preservation =	20.9%
F	Has the Tree Preservation Target minimum been met?	NO
G	If No for line F, then a request to deviate from the Tree Preservation Target shall be provided on the plan that states one or more of the justifications listed in § 12-0507.3 along with a narrative that provides a site-specific explanation of why the	
H	If step G requires a narrative, it shall be prepared in accordance with § 12-0508.4	
I	Place this information prior to the 10-year Tree Canopy Calculations as per instructions in Table 12.10.	See 10-Year Tree Canopy Calcs below

**Table 12.10 10-year Tree Canopy Calculation Worksheet**

Step	Totals	Reference
<b>A. Tree Preservation Target and Statement</b>		
A1	Place the Tree Preservation Target calculations and statement here preceding the 10-year tree canopy calculations	61.1% see § 12-0508.2 for list of required elements and worksheet
<b>B. Tree Canopy Requirement</b>		
B1	Identify gross site area =	520,465 § 12-0511.1A
B2	Subtract area dedicated to parks, road frontage, and ponds =	74,894 § 12-0511.1B
B3	Subtract area of exemptions =	74,894 § 12-0511.1C(1) through § 12-0511.1C(6)
B4	Adjusted gross site area (B1 - B2) =	445,571
B5	Identify site's zoning and/or use =	PDH-30
B6	Percentage of 10-year tree canopy required =	10% § 12-510.1 and Table 12.4
B7	Area of 10-year tree canopy required (B4 x B6) =	44,557
B8	Modification of 10-year Tree Canopy Requirements requested?	NO
B9	If B8 is yes, then list plan sheet where modification request is located	N/A Sheet number
<b>C. Tree Preservation</b>		
C1	Tree Preservation Target Area =	27,224 (61.1% x B7)
C2	Total canopy area meeting standards of § 12-02400 =	7,456
C3	C2 x 1.25 =	9,320 § 12-0510.3B
C4	Total canopy area provided by unique or valuable forest or woodland communities =	-
C5	C4 x 1.5 =	- § 12-0510.3B(1)
C6	Total of canopy area provided by "Heritage," "Memorial," "Specimen," or "Street" trees =	-
C7	C6 x 1.5 to 3.0 =	- § 12-0510.3B(2)
C8	Canopy area of trees within Resource Protection Areas and 100-year floodplains =	-
C9	C8 x 1.0 =	- § 12-0510.3C(1)
C10	Total of C3, C5, C7 and C9 =	9,320 If area of C10 is less than B7 then remainder of requirement must be met through tree planting - go to D
<b>D. Tree Planting</b>		
D1	Area of canopy to be met through tree planting (B7-C10) =	35,237
D2	Area of canopy planted for air quality benefits =	12,000
D3	x 1.5 =	18,000 § 12-0510.4B(1)
D4	Area of canopy planted for energy conservation =	-
D5	x 1.5 =	- § 12-0510.4B(2)
D6	Area of canopy planted for water quality benefits =	-
D7	x 1.25 =	- § 12-0510.4B(3)
D8	Area of canopy planted for wildlife benefits =	12,000
D9	x 1.5 =	18,000 § 12-0510.4B(4)
D10	Area of canopy provided by native trees =	-
D11	x 1.5 =	- § 12-0510.4B(5)
D12	Area of canopy provided by improved cultivars and varieties =	-
D13	x 1.25 =	- § 12-0510.4B(6)
D14	Area of canopy provided through tree seedlings =	-
D15	Area of canopy provided through native shrubs or woody seed mix =	-
D16	x 1.0 =	- § 12-0510.4D(1)(a)
D17.0	Percentage of D14 represented by D15 =	- Must not exceed 33% of D14
D17	Area of canopy planted for no additional credits (x 1.0) =	- (Included Reduced Credits)
D18	Total of canopy area provided through tree planting =	36,000
D19	Is an offsite planting relief requested?	No Yes or No
D20	Tree Bank or Tree Fund?	N/A § 12-0512
D21	Canopy area requested to be provided through offsite banking or tree fund =	N/A
D22	Amount to be deposited into the Tree Preservation and Planting Fund =	N/A
<b>E. Total of 10-year Tree Canopy Provided</b>		
E1	Total of canopy area provided through tree preservation (C10) =	9,320 Deviation is sought for tree preservation
E2	Total of canopy area provided through tree planting (D17) =	36,000
E3	Total of canopy area provided through offsite mechanism (D19) =	N/A
E4	Total of 10-year Tree Canopy Provided = (E1+E2+E3)	45,320 Total of E1 through E3. Area should meet or exceed area required by B7

PERCENTAGE OF 10-YEAR TREE CANOPY PROPOSED = 10.2%  
45,320 (E4) / 445,571 (B4) (REFER TO TABLE ABOVE)

\*\*\* SEE SHEET 02 FOR THE TREE PRESERVATION TARGET DEVIATION REQUEST.

**LANDSCAPE COMPUTATIONS**

**16-2091: TOTAL OPEN SPACE**

OPEN SPACE REQUIRED REFER TO SHEET 02  
OPEN SPACE PROVIDED REFER TO SHEET 02

**13-201: INTERIOR PARKING LOT LANDSCAPE**

REFER TO SHEET 02, WAIVERS

**13-202: PERIPHERAL PARKING LOT LANDSCAPE**

LANDSCAPE STRIP ABUTTING RIGHT OF WAY  
TOTAL LINEAR FEET OF FRONTAGE: N/A  
NUMBER OF TREES REQUIRED (1/40 LF)

LANDSCAPE STRIP NOT ABUTTING RIGHT OF WAY  
TOTAL LINEAR FEET OF FRONTAGE: N/A  
NUMBER OF TREES REQUIRED (1/50 LF)

**13-301: TRANSITIONAL SCREENING AND BARRIERS**

THIS SITE IS NOT SUBJECT TO THE TRANSITIONAL SCREENING AND BARRIER REQUIREMENT SINCE TRANSITIONAL SCREENING AND BARRIERS SHALL ONLY APPLY AT THE PERIPHERAL BOUNDARY.

**PLANTING LIST**

- CATEGORY II DECIDUOUS TREES (3' CALIPER)**
- AMELANCHIER ARBOREA
  - CARPINUS CAROLINIANA
  - CERCIS CANADENSIS
  - CORNUS KOUSA
  - FRAXINUS SP.
  - SERVICEBERRY
  - AMERICAN HORNBEEAM
  - EASTERN REDBUD
  - DOGWOOD
  - CHERRY

- CATEGORY IV DECIDUOUS TREES (3' CALIPER)**
- ACER RUBRUM
  - GINKGO BILOBA (MALE ONLY)
  - PLATANUS ACERIFOLIA
  - QUERCUS PALUSTRIS
  - QUERCUS PHELLOS
  - QUERCUS RUBRA
  - ILLINUS FAIRYFOLIA
  - ZELKOVA SERRATA
  - RED MAPLE
  - GINKGO
  - LONDON PLANETREE
  - PIN OAK
  - WILLOW OAK
  - NORTHERN RED OAK
  - CHINESE ELM
  - ZELKOVA

- CATEGORY II EVERGREEN TREES (3' CALIPER)**
- JUNIPERUS VIRGINIANA
  - ILEX OPACA
  - EASTERN REDCEDAR
  - AMERICAN HOLLY

NOTE: PROPOSED PLANT LIST MAY BE SUBJECT TO CHANGE AT TIME OF SITE PLAN

**TREE COVER TABULATIONS**

SITE AREA		520,465	SF	11.95	ACRES
Exclusion For On-Site Ponds		74,894	SF	1.72	ACRES
Gross Site Area Adjusted		445,571	SF	10.23	ACRES
<b>10-YEAR TREE CANOPY REQUIRED</b>					
10% FOR PDH-30 District		44,557	SF	1.02	ACRES
	QTY				
	CATEGORY II Deciduous (Ornamental)	125			
	CATEGORY III Deciduous (Medium Shade)	175			
	CATEGORY IV Deciduous (Large Shade)	250			
	CATEGORY II Evergreen	125			
	Canopy Total (BEFORE ADDITIONAL CREDIT)			24,000	
	Canopy Total with Additional Credit			36,000	
	Site Area (Acres)			10.23	
	% Tree Canopy Cover Provided			8.3%	
<b>TOTALS</b>					
	77	9,625			
	56	14,000			
	3	375			
Addition Credit Multipliers: All proposed trees to be selected for Air Quality benefits, Wildlife Benefits, or Improved Cultivars. The breakdown below is an approximate calculation for additional credit taken for tree selections. Final tree selection to be					
	Air Quality Benefits (Approximate)		12,000	X 1.50	18,000
	Wildlife Benefits (Approximate)		12,000	X 1.50	18,000
					36,000

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TREE PRESERVATION PLAN AND TABULATIONS  
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PROPOSED BENCHES WILL HAVE A POWDER COATED OR STAINLESS STEEL FINISH ON THE FRAMEWORK. SEATING AND BACKING FINISHES WILL BE OF WOOD OR SYNTHETIC WOOD MATERIAL.

**BENCHES**



HEIGHT: 10'-16'

**STREET LIGHT FIXTURES**

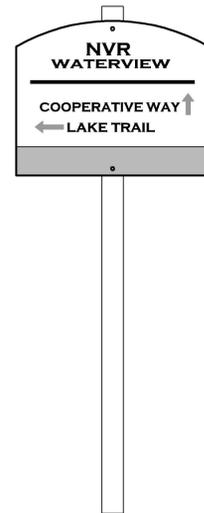


HEIGHT: 8'-12'

**WALKWAY LIGHT FIXTURES**



**BIKE RACKS (FOR SHORT TERM BICYCLE PARKING)**



**WAYFINDING SIGNAGE**



**ENTRY SIGNAGE (WHERE SHOWN)  
SEE NOTE 29 ON SHEET 02**



**ACTIVE RECREATION / WORKOUT AREA (1)  
(1) SEE SHEET 06 FOR PROPOSED LOCATION**



**PLAY AREA (1)**



PROPOSED TRASH AND RECYCLING WILL BE PLACED IN CONVENIENT LOCATIONS ALONG THE STREETScape.

**TRASH & RECYCLING RECEPTACLES**

PRECEDENT IMAGES, PAVING, SITE AMENITIES AND DESIGN DETAILS ARE PROVIDED TO ESTABLISH THE VISUAL CHARACTER, SCALE, AND MATERIAL QUALITY LEVEL OF THE URBAN DESIGN FEATURES NOTED, AND ARE REPRESENTATIVE OF THE INTENDED DESIGN. SPECIFIC PRODUCT SELECTIONS, AMENITY LOCATIONS, STREETScape FURNITURE, LIGHTING AND PAVING MAY VARY WITH FINAL ARCHITECTURAL AND SITE PLANS, PROVIDED THEY ARE IN SUBSTANTIAL CONFORMANCE WITH THE DESIGN INTENT PRESENTED IN THIS PLAN SET AND THE PROFFERS.

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COMMONWEALTH OF VIRGINIA

STEVEN E. GLEASON  
Lic. No. 1104

08/17/2016

LANDSCAPE ARCHITECT

SEAL:

PROPOSED SITE FURNISHINGS

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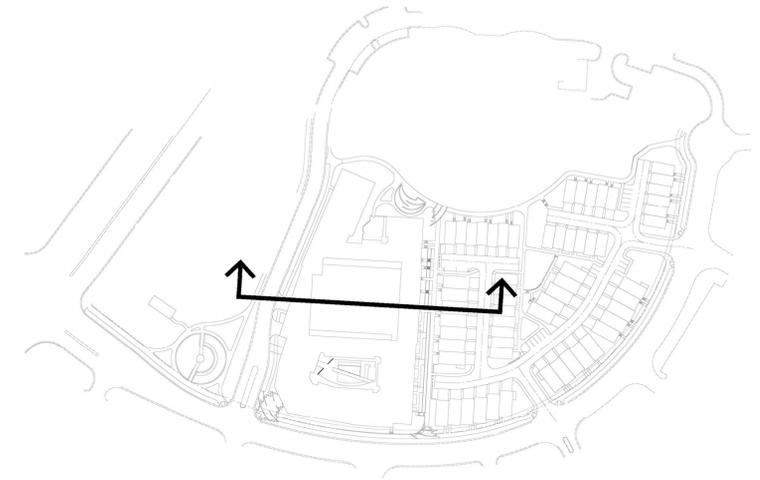


**SINGLE FAMILY ELEVATION**

SCALE: NTS

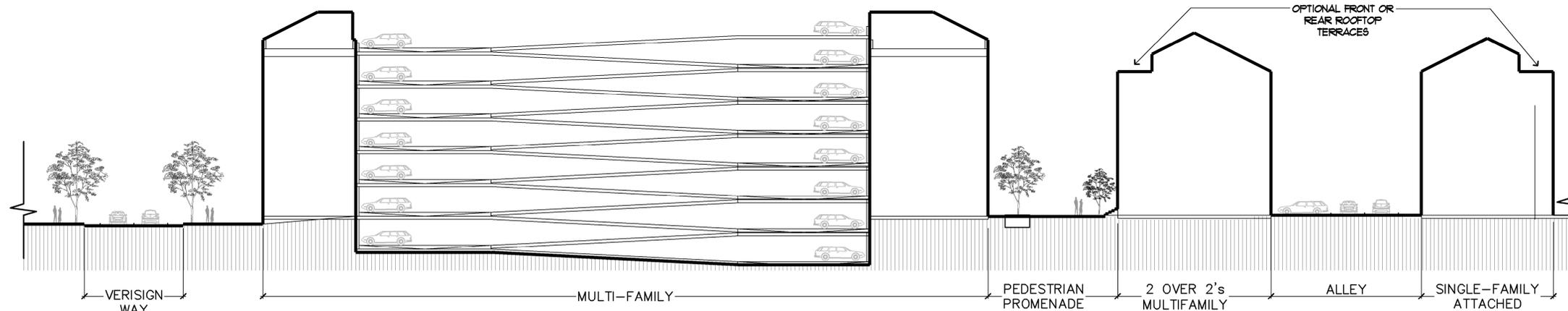
**NOTE:**

THE ELEVATIONS SHOWN ARE FOR ILLUSTRATIVE PURPOSES ONLY AND ARE INTENDED TO CONVEY THE HEIGHT AND GENERAL ARCHITECTURAL TREATMENT OF THE UNITS. THE MATERIALS AND COLORS ARE SUBJECT TO CHANGE, SEE PROFFERS.



**TWO-OVER-TWO ELEVATIONS**

SCALE: NTS



**CROSS SECTION**

SCALE: 1" = 20'

NOTE: THIS DRAWING IS SEALED FOR INFORMATION ONLY

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Chantilly, VA 20151  
Phone: 703-263-1900  
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REVISIONS	NUMBER	DATE	DESCRIPTION
1. ACCEPTANCE COMMENTS			
2. MARCH 23, 2016 SECOND SUBMISSION			
3. JULY 8, 2016 STAFFING COMMENTS			
4. AUGUST 11, 2016 ADDRESS STAFF/VDOT MEMOS			

SUR: GORDON	DES: KTG
DRW: IPB	CHK: SEG



BUILDING SFA & TWO OVER TWO ELEVATIONS  
**WOODLAND PARK WATERVIEW**  
PROFFER CONDITION AMENDMENT /  
CONCEPTUAL DEVELOPMENT PLAN AMENDMENT /  
FINAL DEVELOPMENT PLAN AMENDMENT  
RZ/UDP 2016-DR-001  
DRANESVILLE DISTRICT, FAIRFAX COUNTY, VA

HORIZ: AS SHOWN
SCALE: VERT:
DATE: DECEMBER 2015
PLAN: ----
JOB: 0313-0159
CADD: 0313-0259-L-ARCH-101.DWG
NCS: --
NUMBER: 18 OF 28

**Gordon**

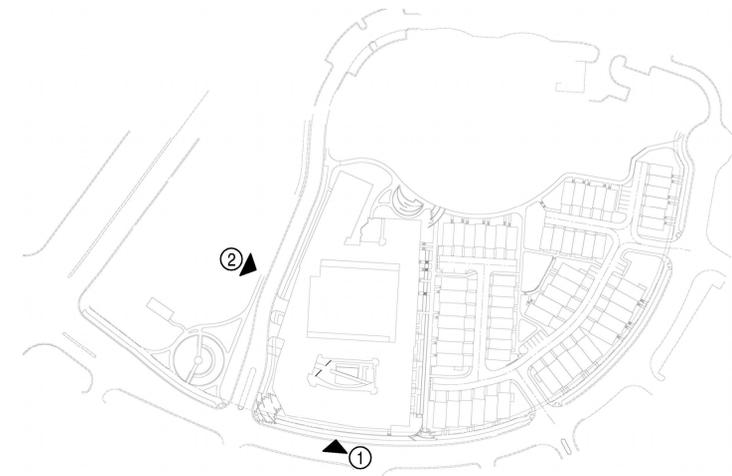
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**1** MULTIFAMILY ELEVATION (WOODLAND PARK ROAD)  
SCALE: NTS



**2** MULTIFAMILY ELEVATION (VERISIGN WAY)  
SCALE: NTS



**NOTE:**

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REVISIONS	
NUMBER	DATE
1.	JANUARY 6, 2016
2.	MARCH 23, 2016
3.	JULY 8, 2016
4.	AUGUST 11, 2016

SUR:	GORDON	DES:	KTGY
DRW:	IPB	CHK:	SEG

COMMONWEALTH OF VIRGINIA

STEVEN E. GLEASON  
Lic. No. 1104

08/17/2016

LANDSCAPE ARCHITECT

SEAL:

MULTIFAMILY BUILDING ELEVATIONS

**WOODLAND PARK WATERVIEW**

PROFFER CONDITION AMENDMENT /  
CONCEPTUAL DEVELOPMENT PLAN AMENDMENT /  
FINAL DEVELOPMENT PLAN AMENDMENT /  
PZ/FDP 2016-DR-001

DRANESVILLE DISTRICT, FAIRFAX COUNTY, VA

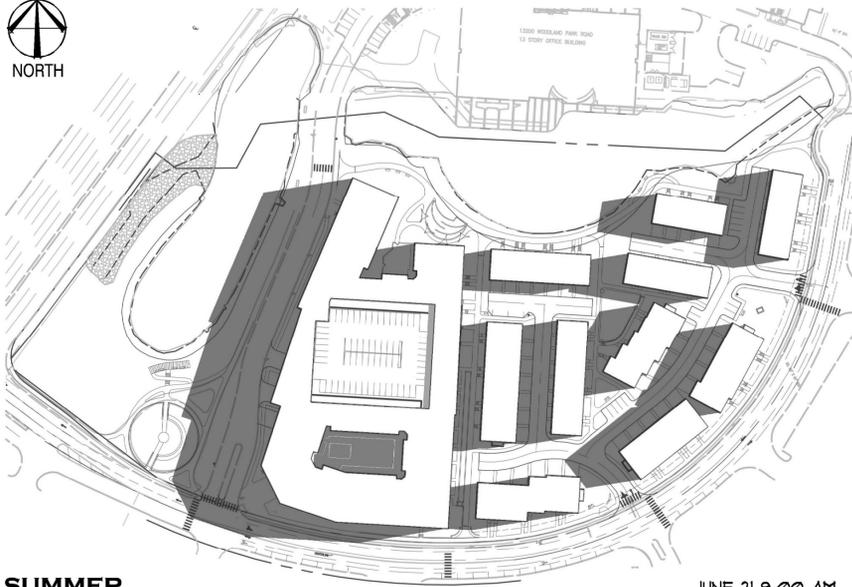
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DATE:	DECEMBER 2015
PLAN:	----
JOB:	0313-0159
CADD:	0313-0259-L-ARCH-101.DWG
NCS:	--
NUMBER:	19 of 28

**Gordon**

NOTE: THIS DRAWING IS SEALED FOR INFORMATION ONLY

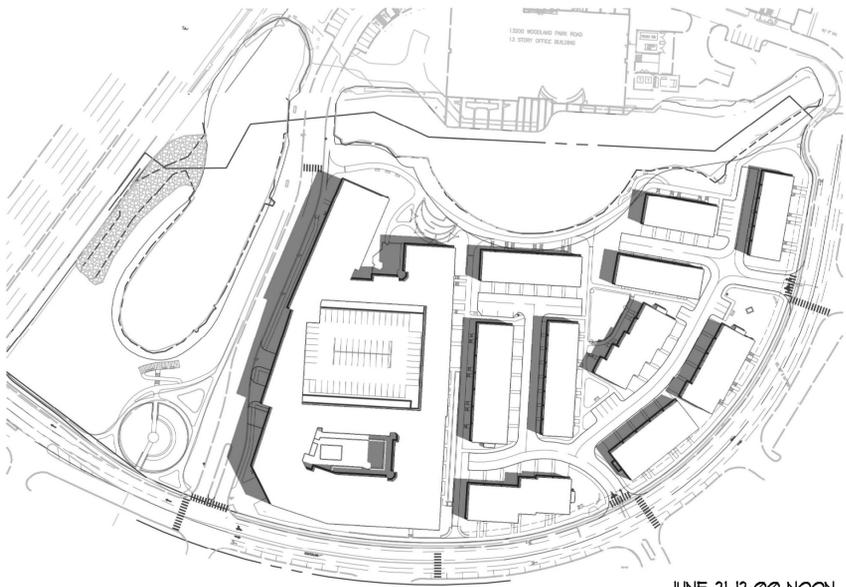


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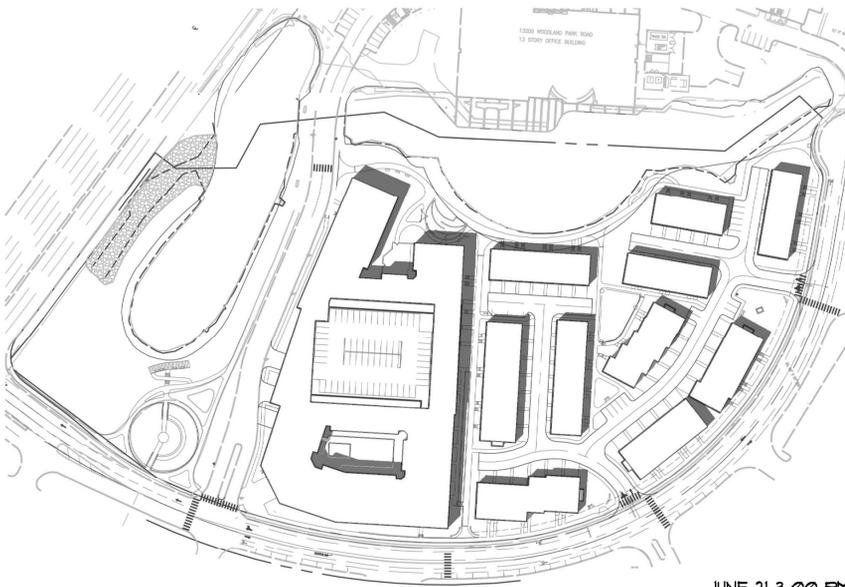


SUMMER

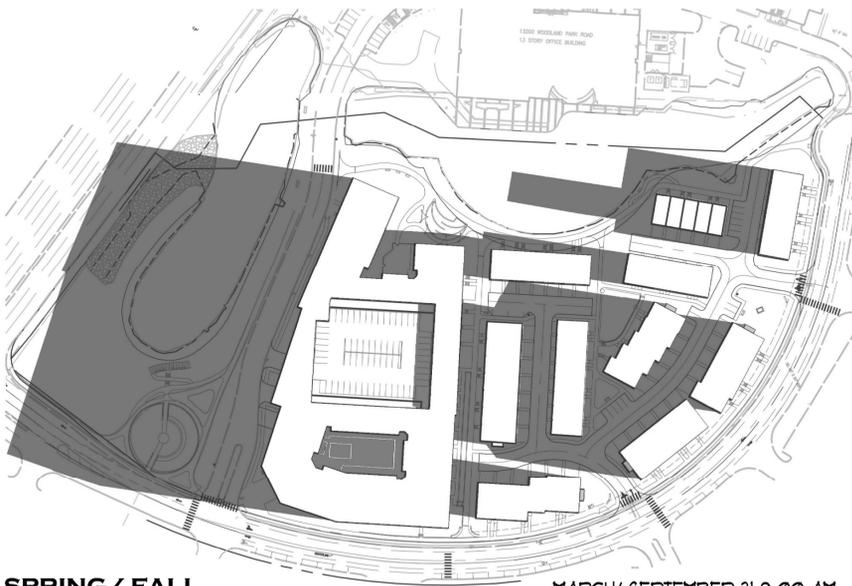
JUNE 21 9:00 AM



JUNE 21 12:00 NOON

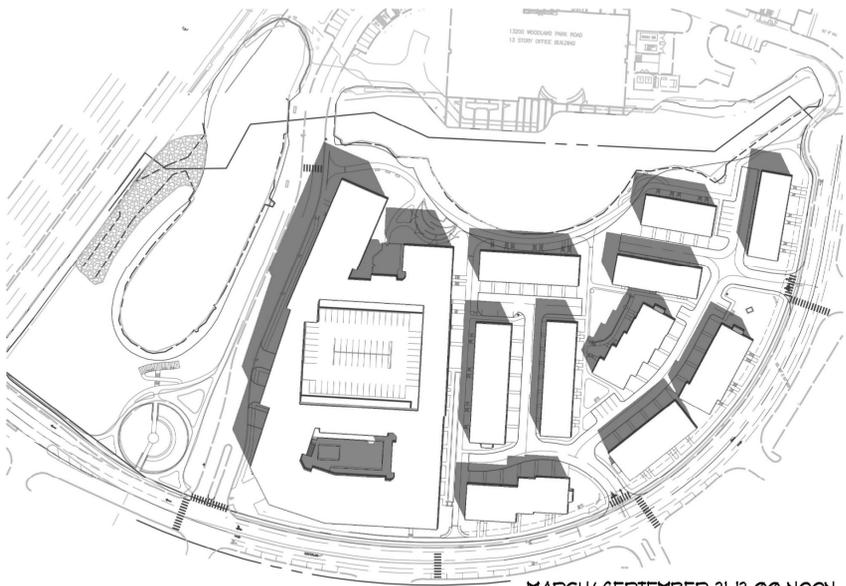


JUNE 21 3:00 PM

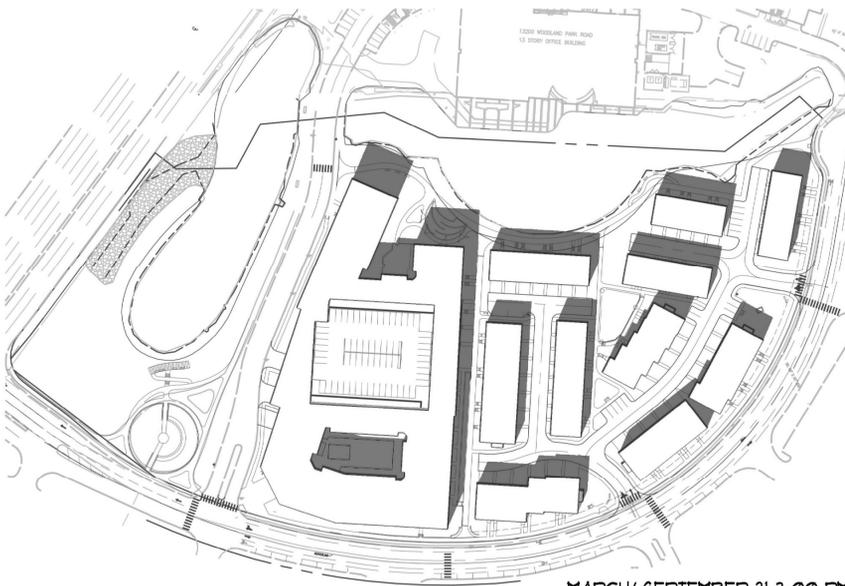


SPRING/ FALL

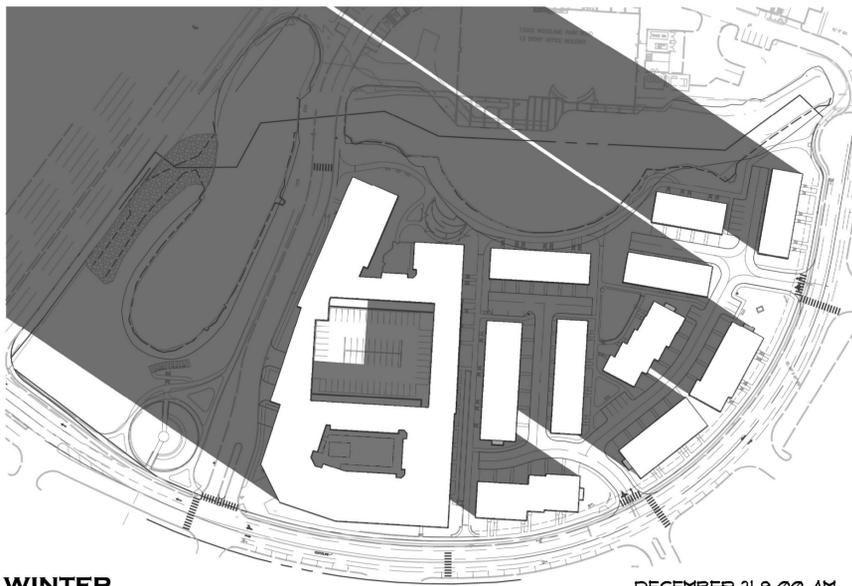
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MARCH/ SEPTEMBER 21 12:00 NOON

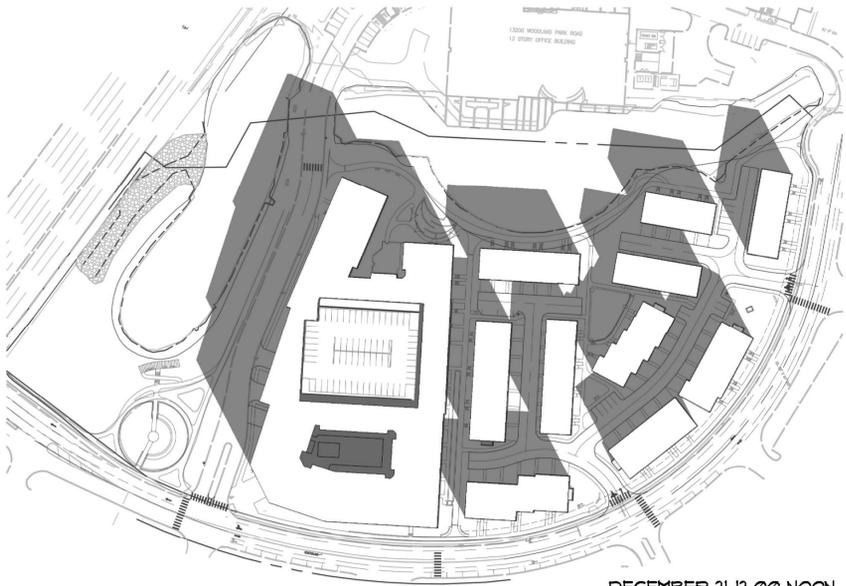


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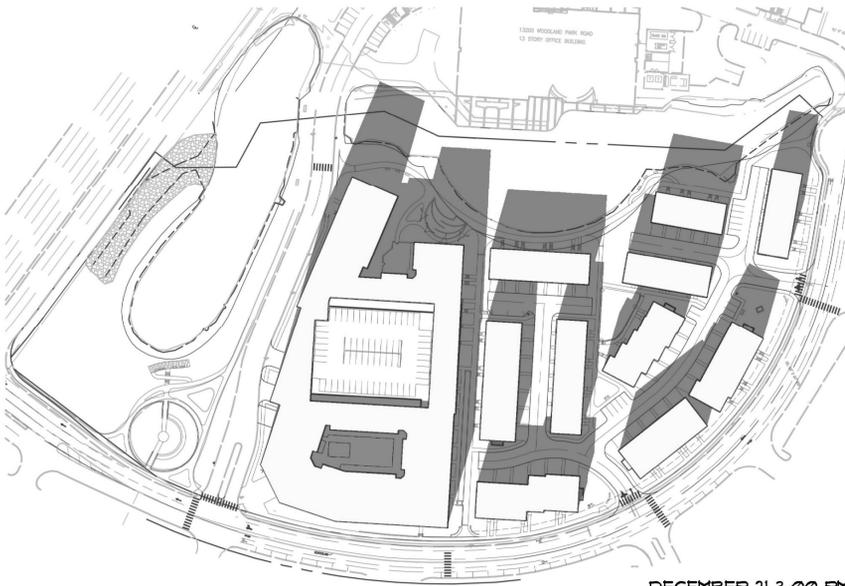


WINTER

DECEMBER 21 9:00 AM



DECEMBER 21 12:00 NOON



DECEMBER 21 3:00 PM

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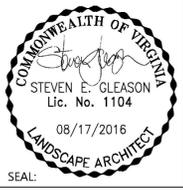
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REVISIONS	DESCRIPTION
1. JANUARY 6, 2016	ACCEPTANCE COMMENTS
2. MARCH 23, 2016	SECOND SUBMISSION
3. JULY 9, 2016	STAFFING COMMENTS
4. AUGUST 11, 2016	ADDRESS STAFF/POD METHODS

SUR: GORDON	DES: GORDON
DRW: KJK	CHK: SEG



SHADOW ANALYSIS

**WOODLAND PARK WATERVIEW**

PROFFER CONDITION AMENDMENT /  
CONCEPTUAL DEVELOPMENT PLAN AMENDMENT /  
FINAL DEVELOPMENT PLAN AMENDMENT /  
RZ/EDP 2016-DR-001

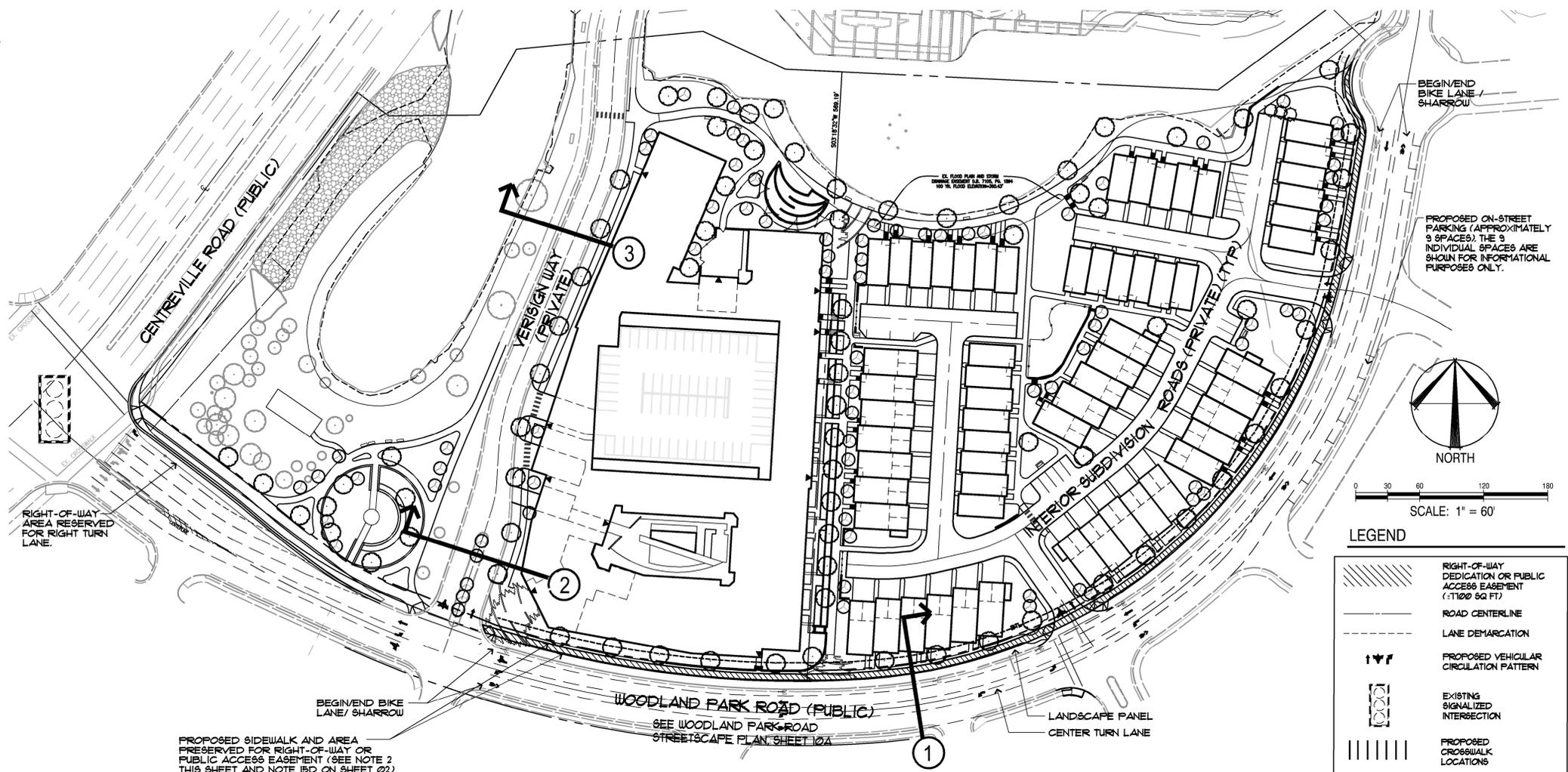
DRANESVILLE DISTRICT, FAIRFAX COUNTY, VA

SCALE: HORIZ: N.T.S.
DATE: DECEMBER 2015
PLAN: ---
JOB: 0313-0159
CADD: 0313-0259-L-IS-502.DWG
NCS: 17
NUMBER: 20 of 28

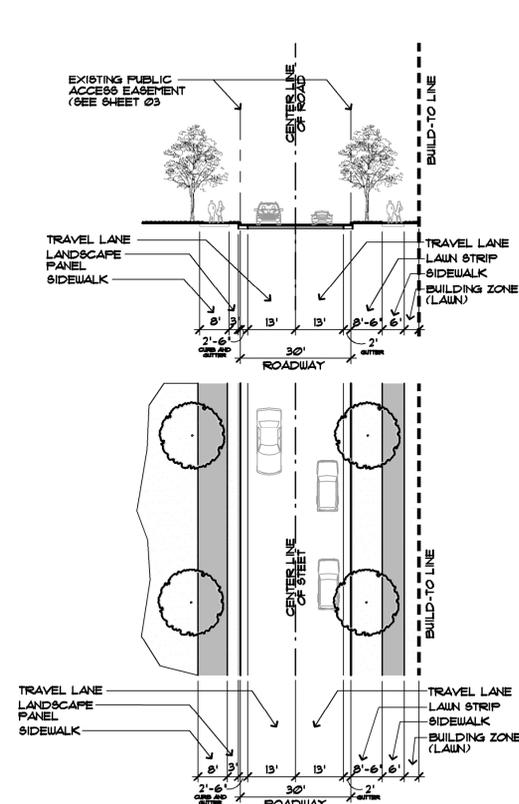
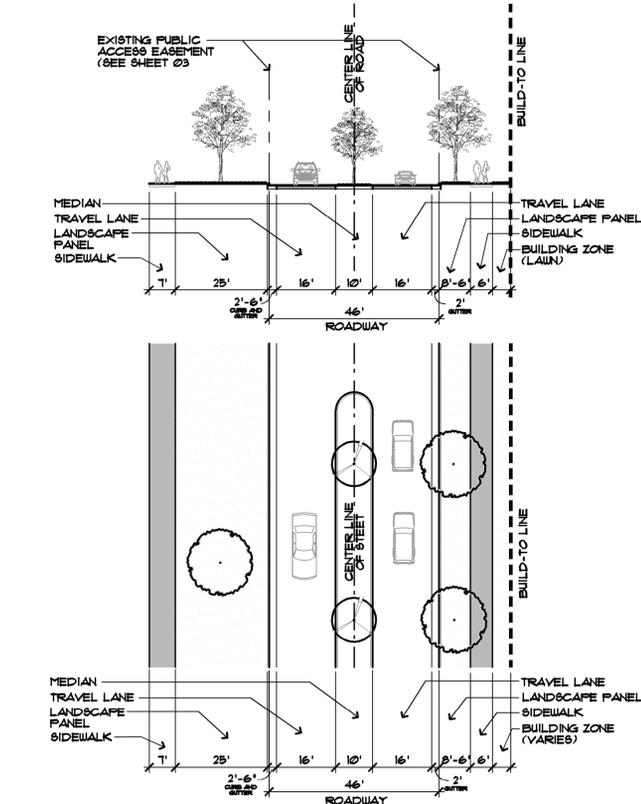
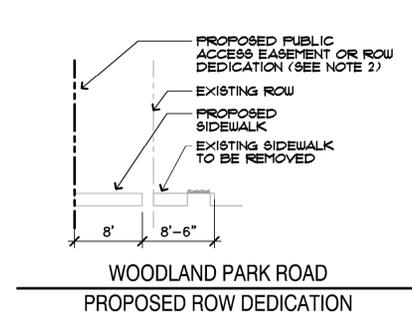
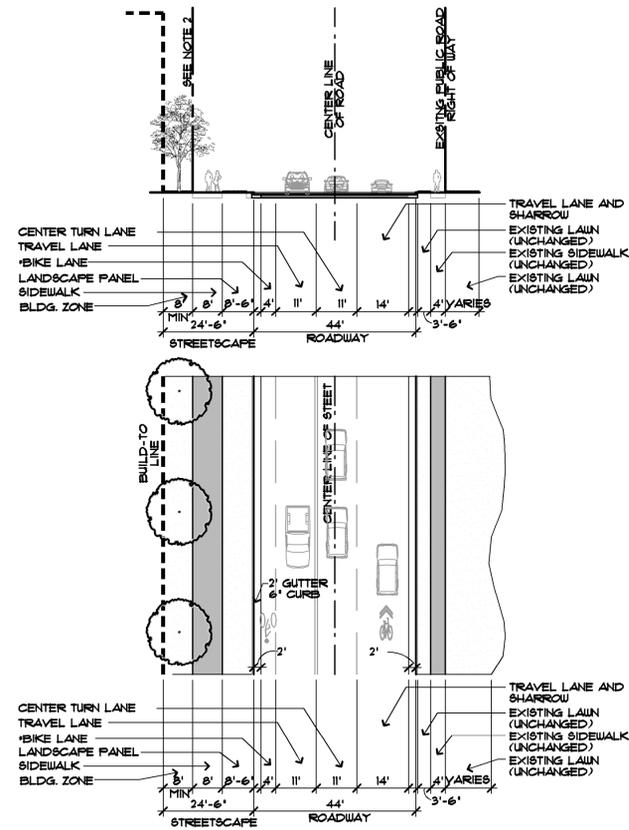


**NOTES**

- ALL DIMENSIONS SHOWN IN SECTIONS 1-3 BELOW ARE MEASURED FROM FACE OF CURB TO FACE OF CURB.
- TO SUPPORT THE COUNTY PLANNED URBAN STREET SECTIONS, A PORTION OF THE SITE IS RESERVED FOR RIGHT-OF-WAY DEDICATION OR PUBLIC ACCESS EASEMENT ALONG WOODLAND PARK ROAD. DEDICATION/PUBLIC ACCESS EASEMENT WILL EXTEND TO BACK OF SIDEWALK. SEE NOTE 15D OF SHEET 02.
- BUILD-TO-LINES ("BTL") HAVE BEEN ESTABLISHED AS DEPICTED ON THE CDP/FDP TO CREATE AN URBAN, PEDESTRIAN-ORIENTED ENVIRONMENT WHERE BUILDINGS ARE LOCATED CLOSE TO THE STREET AND PEDESTRIAN/STREETSCAPE AREAS ARE LOCATED BETWEEN THE BUILDINGS AND THE STREETS. IN GENERAL, BUILDING FACADES ARE INTENDED TO BE CONFIGURED IN SUCH A WAY AS TO PROVIDE A CONTINUOUS STREET WALL ALONG THIS LINE, BUT MODIFICATIONS TO EITHER SIDE OF THE BTL ARE PERMITTED. AWNINGS AND OTHER ARCHITECTURAL CANOPIES ATTACHED TO THE BUILDING FRONTAGE THAT PROJECT OUT FROM THE BUILD-TO-LINE AND INTO THE BUILDING ZONE SHALL PROVIDE ADEQUATE CLEARANCE FOR PEDESTRIAN MOVEMENT AND SHALL NOT CONFLICT WITH STREET TREE LOCATIONS.
- SEE SHEET 23 FOR SIGHT DISTANCE EASEMENT LOCATIONS AND INFORMATION.
- THE PROPOSED WOODLAND PARK ROAD STREETSCAPE REFLECTS A MODIFICATION OF THE COUNTY COMPREHENSIVE PLAN RECOMMENDATION FOR COLLECTOR AND LOCAL STREETS STREETSCAPE SECTION TO LOCATE THE STREET TREES IN THE BUILDING ZONE AS SHOWN ON SECTION 1 THIS SHEET. SEE SHEET 02 WAIVER NOTE 1.
- SHRUBS WITHIN THE SIGHT DISTANCE EASEMENT SHALL BE MAINTAINED TO A MAXIMUM HEIGHT OF 2 FEET. TREES WITHIN THE SIGHT DISTANCE EASEMENT SHALL BE LIMBED UP TO A MINIMUM HEIGHT OF 7 FEET. THIS IS TO PRESERVE MOTORIST AND PEDESTRIAN SIGHT LINES.



\*ACCORDING TO THE VDOT ROAD DESIGN MANUAL (ISSUED JANUARY 2005 AND REVISED JULY 2015), THE WIDTH OF A BIKE LANE IS 4 FEET MINIMUM FROM THE EDGE OF PAVEMENT (FACE OF GUTTER PAN) TO THE BIKE LANE STRIPE ON CURB AND GUTTER ROADWAYS. (A-80)



1 WOODLAND PARK ROAD PUBLIC STREET

2 VERISIGN WAY WITH MEDIAN PRIVATE STREET

3 VERISIGN WAY PRIVATE STREET

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REVISIONS	DESCRIPTION	NUMBER	DATE
1. JANUARY 6, 2016	ACCEPTANCE COMMENTS		
2. MARCH 23, 2016	SECOND SUBMISSION		
3. JULY 9, 2016	STAFFING COMMENTS		
4. AUGUST 11, 2016	ADDRESS STAFF/VDOT MEMOS		

SUR: GORDON	DES: GORDON
DRW: IPB	CHK: SEG

COMMONWEALTH OF VIRGINIA

ROBERT W. WALKER, A PROFESSIONAL ENGINEER

NO. 37609  
08/17/2016

SEAL:

WOODLAND PARK ROAD IMPROVEMENTS

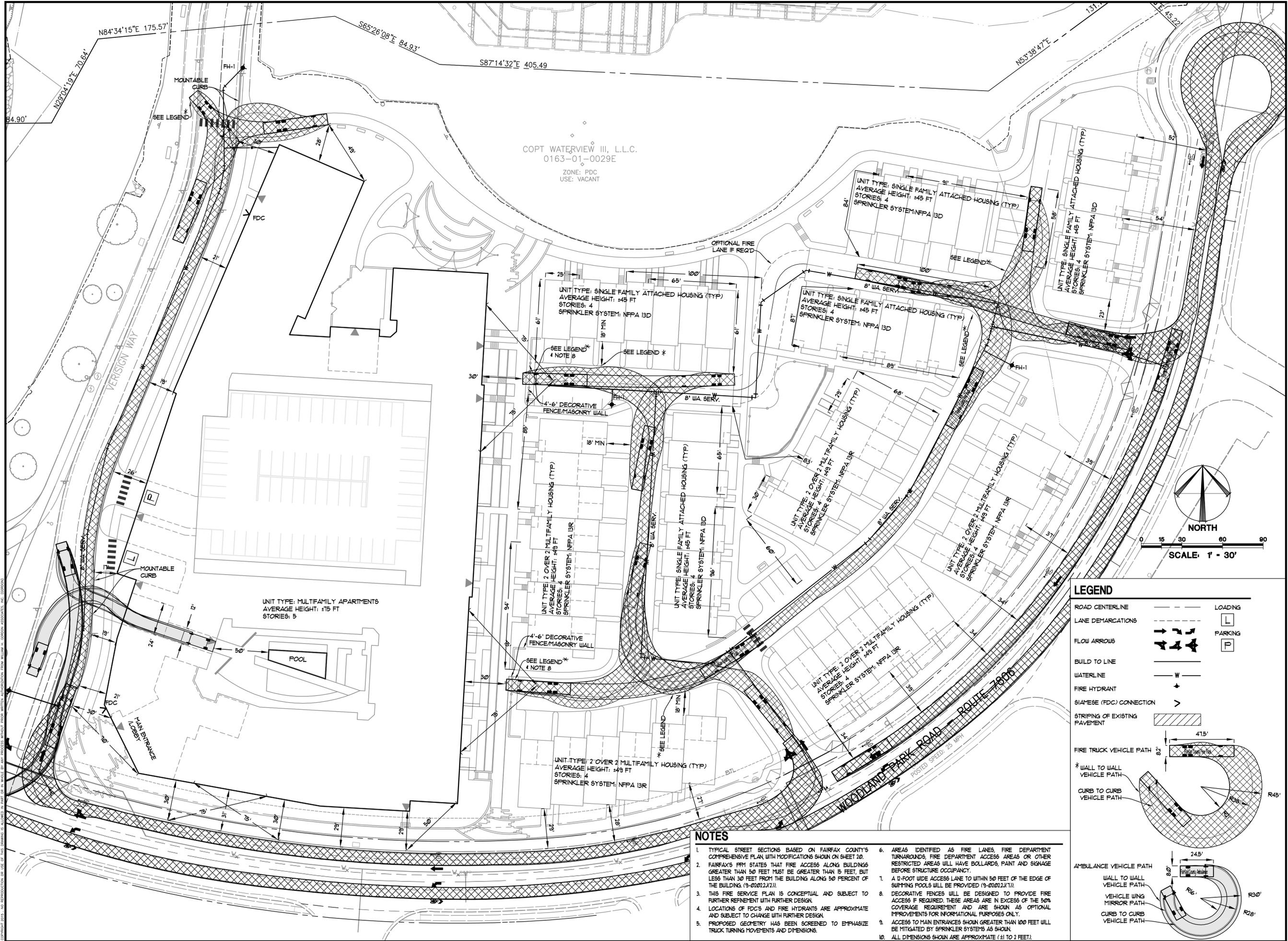
**WOODLAND PARK WATERVIEW**

PROFFER CONDITION AMENDMENT /  
CONCEPTUAL DEVELOPMENT PLAN AMENDMENT /  
FINAL DEVELOPMENT PLAN AMENDMENT  
RZ/EDP 2016-DR-001  
DRANESVILLE DISTRICT, FAIRFAX COUNTY, VA

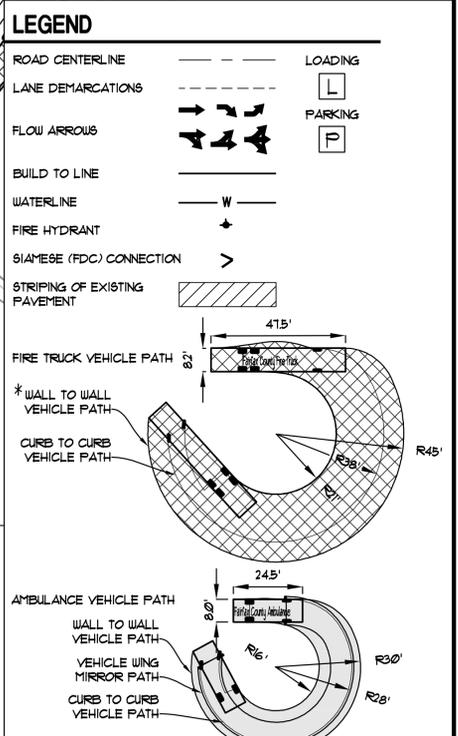
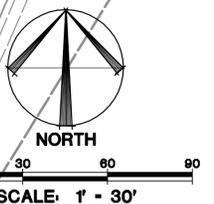
HORIZ: 1"=60'
SCALE: VERT:
DATE: DECEMBER 2015
PLAN: ---
JOB: 0313-0159
CADD: 0313-0259-L-SS-101.DWG
NCS: ---

NUMBER: 21 OF 28

**Gordon**



COPT WATERVIEW III, L.L.C.  
0163-01-0029E  
ZONE: PDC  
USE: VACANT

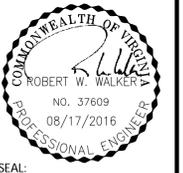


- NOTES**
- TYPICAL STREET SECTIONS BASED ON FAIRFAX COUNTY'S COMPREHENSIVE PLAN WITH MODIFICATIONS SHOWN ON SHEET 20.
  - FAIRFAX'S PRM STATES THAT FIRE ACCESS ALONG BUILDINGS GREATER THAN 50 FEET MUST BE GREATER THAN 15 FEET, BUT LESS THAN 30 FEET FROM THE BUILDING ALONG 50 PERCENT OF THE BUILDING. (9-020212.1/2).
  - THIS FIRE SERVICE PLAN IS CONCEPTUAL AND SUBJECT TO FURTHER REFINEMENT WITH FURTHER DESIGN.
  - LOCATIONS OF FDC'S AND FIRE HYDRANTS ARE APPROXIMATE AND SUBJECT TO CHANGE WITH FURTHER DESIGN.
  - PROPOSED GEOMETRY HAS BEEN SCREENED TO EMPHASIZE TRUCK TURNING MOVEMENTS AND DIMENSIONS.
  - AREAS IDENTIFIED AS FIRE LANES, FIRE DEPARTMENT TURNAROUNDS, FIRE DEPARTMENT ACCESS AREAS OR OTHER RESTRICTED AREAS WILL HAVE BOLLARDS, PAINT AND SIGNAGE BEFORE STRUCTURE OCCUPANCY.
  - A 12-FOOT WIDE ACCESS LANE TO WITHIN 50 FEET OF THE EDGE OF SWIMMING POOLS WILL BE PROVIDED (9-020212.1/1).
  - DECORATIVE FENCES WILL BE DESIGNED TO PROVIDE FIRE ACCESS IF REQUIRED. THESE AREAS ARE IN EXCESS OF THE 50% COVERAGE REQUIREMENT AND ARE SHOWN AS OPTIONAL IMPROVEMENTS FOR INFORMATIONAL PURPOSES ONLY.
  - ACCESS TO MAIN ENTRANCES SHOWN GREATER THAN 100 FEET WILL BE MITIGATED BY SPRINKLER SYSTEMS AS SHOWN.
  - ALL DIMENSIONS SHOWN ARE APPROXIMATE (+/- TO 2 FEET).

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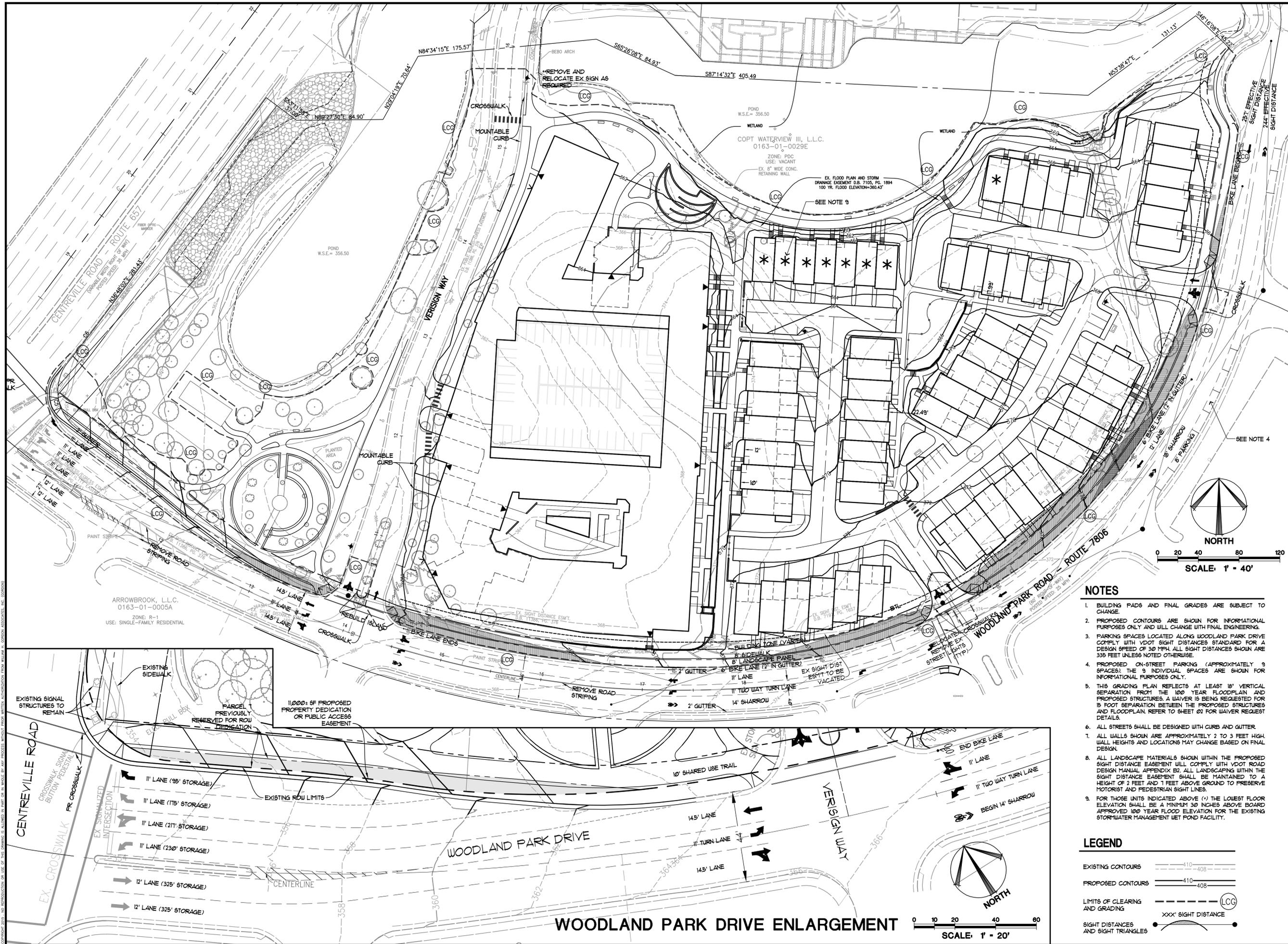
REVISIONS	NUMBER	DATE	DESCRIPTION
1. JANUARY 6, 2016	ACCEPTANCE COMMENTS		
2. MARCH 29, 2016	SECOND SUBMISSION		
3. JULY 8, 2016	STAFFING COMMENTS		
4. AUGUST 11, 2016	ADDRESS STAFF/VDOT MEETING		

SUR:	DES:
GORDON	JSP
DRW:	CHK:
AJS	JSP



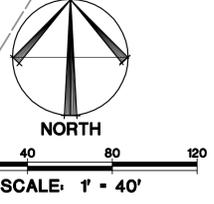
**FIRE MANAGEMENT PLAN**  
**WOODLAND PARK WATERVIEW**  
PROFFER CONDITION AMENDMENT /  
CONCEPTUAL DEVELOPMENT PLAN AMENDMENT /  
FINAL DEVELOPMENT PLAN AMENDMENT  
RZ/FDP 2016-DR-001  
DRANESVILLE DISTRICT, FAIRFAX COUNTY, VA

HORIZ: 1" = 30'  
SCALE: VERT:  
DATE: DECEMBER 2015  
PLAN: ---  
JOB: 0313-0159  
CADD: 0313-0259-F1P.DWG  
NCS: ---  
NUMBER: 22 of 28  
**Gordon**

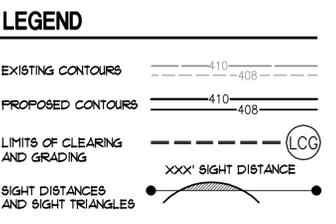


ARROWBROOK, L.L.C.  
0163-01-0005A  
ZONE: R-1  
USE: SINGLE-FAMILY RESIDENTIAL

COPT WATERVIEW III, L.L.C.  
0163-01-0029E  
ZONE: PDC  
USE: VACANT  
EX: 8" WIDE CONC.  
RETAINING WALL



- NOTES**
- BUILDING PADS AND FINAL GRADES ARE SUBJECT TO CHANGE.
  - PROPOSED CONTOURS ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY AND WILL CHANGE WITH FINAL ENGINEERING.
  - PARKING SPACES LOCATED ALONG WOODLAND PARK DRIVE COMPLY WITH VDOT SIGHT DISTANCE STANDARDS FOR A DESIGN SPEED OF 30 MPH. ALL SIGHT DISTANCES SHOWN ARE 335 FEET UNLESS NOTED OTHERWISE.
  - PROPOSED ON-STREET PARKING (APPROXIMATELY 3 SPACES), THE 3 INDIVIDUAL SPACES ARE SHOWN FOR INFORMATIONAL PURPOSES ONLY.
  - THIS GRADING PLAN REFLECTS AT LEAST 18" VERTICAL SEPARATION FROM THE 100 YEAR FLOODPLAIN AND PROPOSED STRUCTURES. A WAIVER IS BEING REQUESTED FOR 15 FOOT SEPARATION BETWEEN THE PROPOSED STRUCTURES AND FLOODPLAIN. REFER TO SHEET 02 FOR WAIVER REQUEST DETAILS.
  - ALL STREETS SHALL BE DESIGNED WITH CURBS AND GUTTER.
  - ALL WALLS SHOWN ARE APPROXIMATELY 2 TO 3 FEET HIGH. WALL HEIGHTS AND LOCATIONS MAY CHANGE BASED ON FINAL DESIGN.
  - ALL LANDSCAPE MATERIALS SHOWN WITHIN THE PROPOSED SIGHT DISTANCE EASEMENT WILL COMPLY WITH VDOT ROAD DESIGN MANUAL APPENDIX B2. ALL LANDSCAPING WITHIN THE SIGHT DISTANCE EASEMENT SHALL BE MAINTAINED TO A HEIGHT OF 2 FEET AND 1 FEET ABOVE GROUND TO PRESERVE MOTORIST AND PEDESTRIAN SIGHT LINES.
  - FOR THOSE UNITS INDICATED ABOVE (\*) THE LOWEST FLOOR ELEVATION SHALL BE A MINIMUM 30 INCHES ABOVE BOARD APPROVED 100 YEAR FLOOD ELEVATION FOR THE EXISTING STORMWATER MANAGEMENT UET POND FACILITY.



**WOODLAND PARK DRIVE ENLARGEMENT**  
SCALE: 1" = 20'

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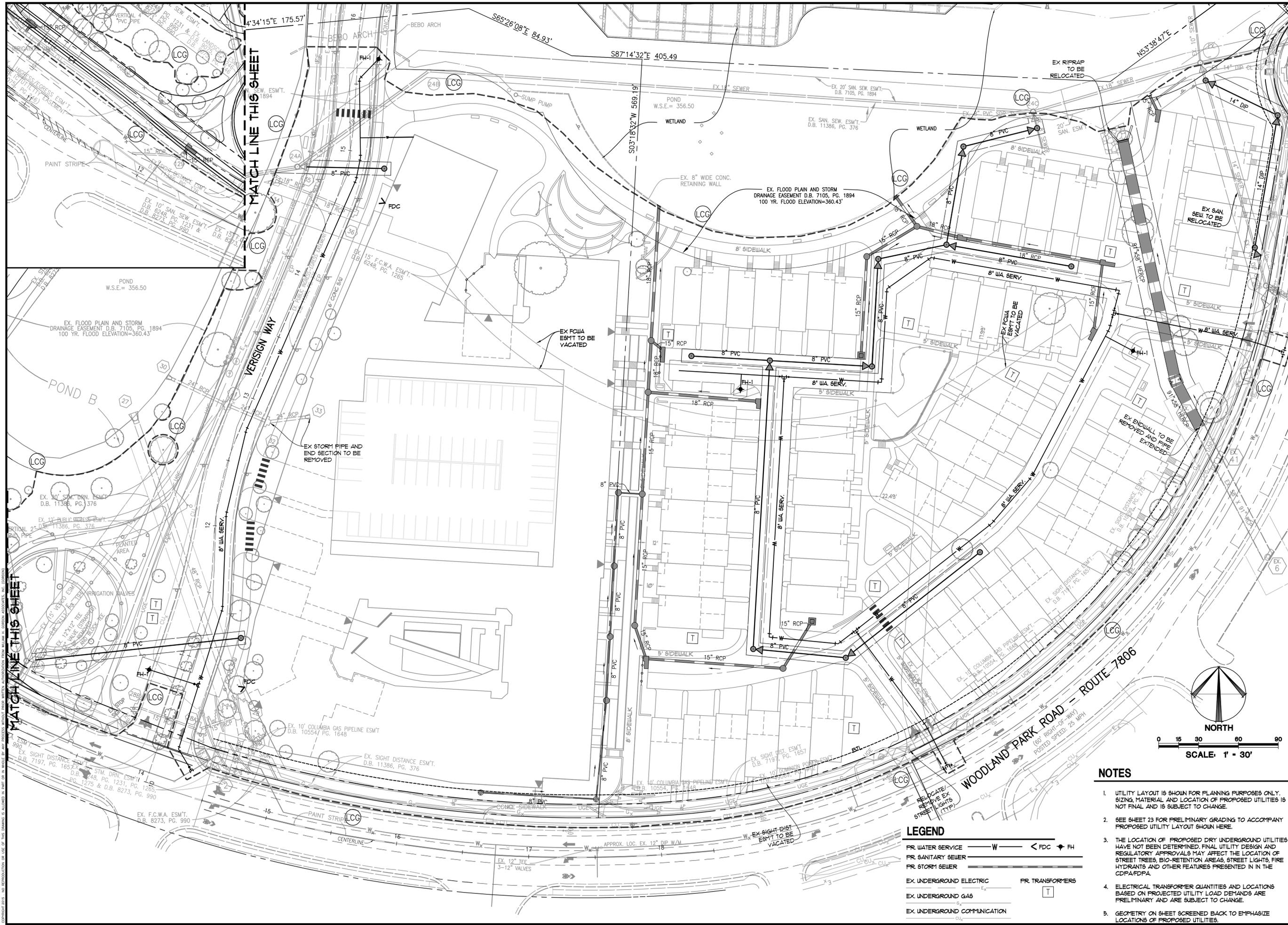
SUR: GORDON	DES: AJS
DRW: AJS	CHK: JSP

COMMONWEALTH OF VIRGINIA  
ROBERT W. WALKER, V.  
NO. 37609  
08/17/2016  
PROFESSIONAL ENGINEER

PRELIMINARY GRADING AND SIGHT DISTANCE PLAN  
**WOODLAND PARK WATERVIEW**  
PROFFER CONDITION AMENDMENT /  
CONCEPTUAL DEVELOPMENT PLAN AMENDMENT /  
FINAL DEVELOPMENT PLAN AMENDMENT  
RZ/EDP 2016 DR-001  
DRANESVILLE DISTRICT, FAIRFAX COUNTY, VA

HORIZ: 1"=40'  
SCALE: VERT:  
DATE: DECEMBER 2015  
PLAN: ---  
JOB: 0313-0159  
CADD: 0313-0259-SP.DWG  
NCS: ---  
NUMBER: 23 OF 28

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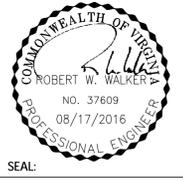


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4. AUGUST 11, 2016 ADDRESS STAFF/VDOT METHODS			

SUR: GORDON	DES: JSP
DRW: AJS	CHK: JSP



PRELIMINARY UTILITY PLAN  
**WOODLAND PARK WATERVIEW**  
 PROFFER CONDITION AMENDMENT /  
 CONCEPTUAL DEVELOPMENT PLAN AMENDMENT /  
 FINAL DEVELOPMENT PLAN AMENDMENT  
 RZ/EDP 2016 DR-001  
 DRANESVILLE DISTRICT, FAIRFAX COUNTY, VA

HORIZ: 1"=30'
SCALE: VERT:
DATE: DECEMBER 2015
PLAN: ---
JOB: 0313-0159
CADD: 0313-0259-UT.DWG
NCS: ---
NUMBER: 24 of 28

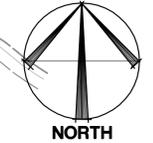


**NOTES**

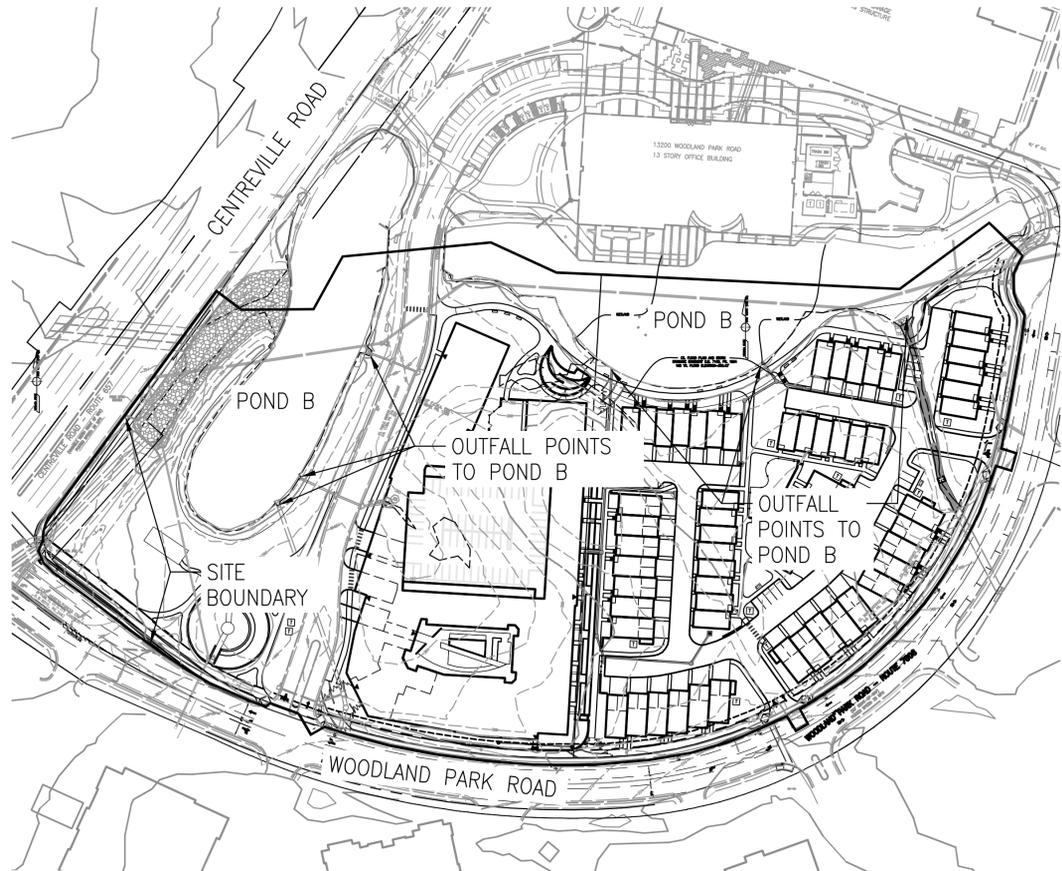
- UTILITY LAYOUT IS SHOWN FOR PLANNING PURPOSES ONLY. SIZING MATERIAL AND LOCATION OF PROPOSED UTILITIES IS NOT FINAL AND IS SUBJECT TO CHANGE.
- SEE SHEET 23 FOR PRELIMINARY GRADING TO ACCOMPANY PROPOSED UTILITY LAYOUT SHOWN HERE.
- THE LOCATION OF PROPOSED SHOWN UNDERGROUND UTILITIES HAVE NOT BEEN DETERMINED. FINAL UTILITY DESIGN AND REGULATORY APPROVALS MAY AFFECT THE LOCATION OF STREET TREES, BIO-RETENTION AREAS, STREET LIGHTS, FIRE HYDRANTS AND OTHER FEATURES PRESENTED IN THE CDD/PDPA.
- ELECTRICAL TRANSFORMER QUANTITIES AND LOCATIONS BASED ON PROJECTED UTILITY LOAD DEMANDS ARE PRELIMINARY AND ARE SUBJECT TO CHANGE.
- GEOMETRY ON SHEET SCREENED BACK TO EMPHASIZE LOCATIONS OF PROPOSED UTILITIES.

**LEGEND**

- FR WATER SERVICE — W — < FDC — FH
- FR SANITARY SEWER — S —
- FR STORM SEWER — SS —
- EX UNDERGROUND ELECTRIC — E —
- EX UNDERGROUND GAS — G —
- EX UNDERGROUND COMMUNICATION — C —
- FR TRANSFORMERS — T —



SCALE: 1" = 30'



**2 SITE OUTFALL LOCATION MAP**

SCALE: 1" = 200'



**MINIMUM STORMWATER INFORMATION FOR REZONING, SPECIAL EXCEPTION, SPECIAL PERMIT AND DEVELOPMENT PLAN APPLICATIONS**

The following information is required to be shown or provided in all zoning applications, or a waiver request of the submission requirement with justification shall be attached. Note: Waivers will be acted upon separately. Failure to adequately address the required submission information may result in a delay in processing this application.

This information is required under the following Zoning Ordinance Sections:

- |  |  |
|--|--|
| Special Permits (Sect. 8-011 2J & 2L)                | Special Exceptions (Sect. 9-011 2J & 2L)                         |
| Cluster Subdivision (Sect. 9-615 1G & 1N)            | Commercial Revitalization Districts (Sect. 9-622 2A (12) & (14)) |
| Development Plans PRC District (Sect. 16-302 3 & 4L) | PRC Plan (Sect. 16-303 1E & 1 O)                                 |
| FDP P Districts (Sect. 16-502 1A (6) & (17))         | Amendments (Sect. 18-202 10F & 10I)                              |

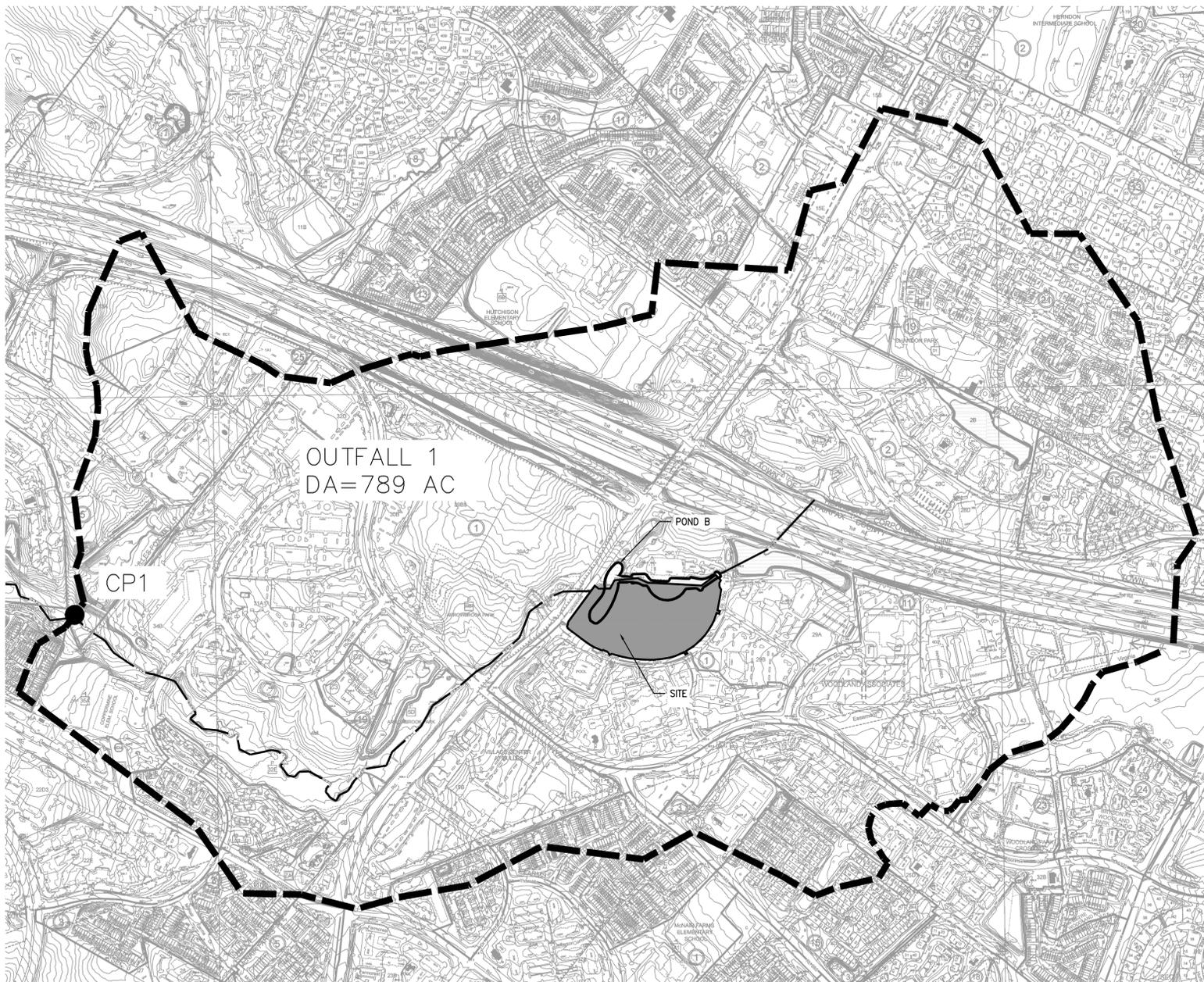
- Plat is at a minimum scale of 1"=50' (Unless it is depicted on one sheet with a minimum scale of 1"=100')
- A graphic depicting the stormwater management facility(ies) and limits of clearing and grading accommodate the stormwater management facility(ies), storm drainage pipe systems and outlet protection, pond spillways, access roads, site outfalls, energy dissipation devices, and stream stabilization measures as shown on Sheet(s) 22. If infiltration is proposed the soils should be tested for suitability prior to submission of the development plan and results of the infiltration test provided as part of the description of the facility.

If infiltration is proposed the soils should be tested for suitability prior to submission of the development plan and results of the infiltration test provided as part of the description of the facility.

Facility Name/ Type & No. <small>(e.g. dry pond, infiltration trench, underground vault, etc.)</small>	On-site area served (acres)	Off-site area served (acres)	Drainage area (acres)	Footprint area (sf)	Storage volume (cf)	If pond, dam height (ft.)
Ex. Wet Pond	12.3	140.7	153	117,405	399,000	6
<b>Totals:</b>	<b>12.3</b>	<b>140.7</b>	<b>153</b>	<b>177,405</b>	<b>399,000</b>	<b>6</b>

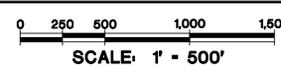
- Onsite drainage channels, outfalls and pipe systems are shown on Sheet(s) 23. Pond inlet and outlet pipe systems are shown on Sheet(s) N/A.
- Maintenance access (road) to stormwater management facility(ies) are shown on Sheet(s) N/A. Type of maintenance access road surface noted on the plat is N/A (asphalt, geoblock, gravel, etc.)
- Landscaping and tree preservation in and near the stormwater management facility is shown on Sheet(s) N/A.
- Stormwater management and BMP narratives including Virginia Runoff Reduction Spreadsheet and descriptions of how detention and best management practices requirements will be met are provided on Sheet(s) 25-27.
- A description of existing conditions of each numbered site outfall extended downstream from the site to a point which is at least 100 times the site area or which has a drainage area of at least one square mile (640 acres) is provided on Sheet(s) 24. If the outfall is proposed to be improved off-site it should be specifically noted.
- A detailed description and analysis of how the channel protection requirements and flood protection requirements of each numbered outfall will be satisfied per Stormwater Management Ordinance and Public Facilities Manual are provided on Sheet(s) 24.
- Existing topography with maximum contour intervals of two (2) feet and a note as to whether it is an air survey or field run is provided on Sheet(s) 3.
- A submission waiver is required for Stormwater Quantity and Quality Requirements.
- Stormwater management is not required because being treated by existing Pond B.

Revised: 8/4/2015



**1 ADEQUATE OUTFALL MAP**

SCALE: 1" = 500'



**ADEQUATE OUTFALL NARRATIVE**

THE APPLICATION SITE IS LOCATED IN FAIRFAX COUNTY VIRGINIA AND IS BOUNDED BY WOODLAND PARK ROAD TO THE SOUTH AND EAST, CENTREVILLE ROAD TO THE WEST, AND AN EXISTING POND TO THE NORTH. THIS POND IS IDENTIFIED AS POND B IN THE ADEQUATE OUTFALL MAP AND SITE OUTFALL MAP. THE APPLICATION SITE INCLUDES THREE UNDEVELOPED PARCELS THAT ARE MOSTLY WOODED WHICH ARE LOCATED ON FAIRFAX COUNTY TAX MAP PARCELS 016-3-(11)-0029D, 016-3-(11)-00201 AND 016-3-(11)-0029E. THE AREA OF ANALYSIS IS THE COMBINED SITE AREA AND THE LIMITS OF WORK, RESULTING IN 1222 ACRES PLUS 0.21 ACRES FOR PROPOSED STREETS/SCAPE IMPROVEMENTS WITHIN THE EXISTING RIGHT OF WAY.

**REACH DESCRIPTIONS:**

THE SITE RUNOFF IS COLLECTED IN A CLOSED CONDUIT NETWORK AND DISCHARGES INTO THE ADJACENT POND B. FROM THIS POINT POND B DISCHARGES INTO MERRYBROOK RUN. THE POINT OF CONFLUENCE IS SHOWN ON THE ADEQUATE OUTFALL MAP ON THIS SHEET LABELED AS CP1 (CONFLUENCE POINT 1). THE TOTAL DRAINAGE AREA TO THIS POINT IS 189 ACRES WHICH SATISFIES THE ZONING ORDINANCE REQUIREMENT THAT THE RECEIVING OUTFALL HAVE A DRAINAGE AREA AT LEAST 100 TIMES THE SITE AREA OR 640 ACRES.

**FFM REQUIREMENTS:**

THE ADEQUATE OUTFALL REQUIREMENTS OF THE FFM WILL BE FORMALLY ADDRESSED AT THE TIME OF FINAL ENGINEERING. AT THE TIME OF FINAL ENGINEERING AN ADEQUATE OUTFALL ANALYSIS WILL BE CONDUCTED FOR THE SUBJECT SITE TO BE INCLUDED IN A SITE PLAN WHICH WILL DETERMINE THE ADEQUACY OF THE SITE'S OUTFALL. THE DOWNSTEAM ANALYSIS SHALL MOST LIKELY BE DETERMINED BY FFM SECTION 6-02032A, WHICH DEFINES THE EXTENT TO BE A POINT THAT IS AT LEAST 150 FEET DOWNSTEAM OF A POINT WHERE THE RECEIVING PIPE OR CHANNEL IS JOINED BY ANOTHER THAT HAS A DRAINAGE AREA THAT IS AT LEAST 90% OF THE SIZE OF THE FIRST DRAINAGE AREA AT THE POINT OF CONFLUENCE. STORM SEWER COMPUTATIONS SHALL BE PROVIDED FOR THE EXISTING CLOSED CONDUIT SYSTEM WHERE THE 150' POINT OF CONFLUENCE IS WITHIN THE SYSTEM, OR FIELD MEASURED CROSS-SECTIONS SHALL BE ANALYZED 150' DOWNSTEAM FROM THE POINT OF CONFLUENCE PER FFM SECTION 6-02033B(1). ADDITIONALLY SMO SECTIONS 124-4-4B3(a) AND 124-4-4C2.4 WILL BE USED TO SATISFY THE CHANNEL AND FLOOD PROTECTION REQUIREMENTS. ALTERNATIVE METHODS FOR ACHIEVING ADEQUATE OUTFALL MAY BE IMPLEMENTED, REVIEWED AND APPROVED BY DPWS AT TIME OF FINAL SITE PLAN.

**SUMMARY OF WATER QUALITY & QUANTITY**

THE ENTIRE SITE DRAINS TO POND B, AN EXISTING RETENTION POND. POND B WAS DESIGNED TO PROVIDE BOTH QUALITY AND QUANTITY CONTROL FOR THE ULTIMATE CONDITIONS OF THE SITE.

A SUDOC REQUEST 9519-SUDOC-003-1 HAS BEEN REVIEWED AND APPROVED BY THE COUNTY. IT WAS DETERMINED THAT THE SITE MET THE CRITERIA ESTABLISHED IN DEQ GUIDANCE MEMO NO. 14-2014 IF THE CURVE NUMBER WAS IN COMPLIANCE WITH THE ORIGINAL POND DESIGN, SEE SHEET 26. ADDITIONALLY A LAND COVER MAP WITH CURVE NUMBER CALCULATIONS HAS BEEN PROVIDED ON SHEET 21.

**LEGEND**

- DRAINAGE DIVIDE
- STREAM FLOWPATH
- SITE AREA

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 Chantilly, VA 20151  
 Phone: 703-263-1900  
 www.gordon.us.com

REVISIONS	NUMBER	DATE	DESCRIPTION
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2. MARCH 23, 2016	SECOND SUBMISSION		
3. JULY 9, 2016	STAFFING COMMENTS		
4. AUGUST 11, 2016	ADDRESS STAFF/VDOT METHOS		

SUR: GORDON	DES: SEB
DRW: SEB	CHK: SCP

COMMONWEALTH OF VIRGINIA  
 ROBERT W. WALKER, P.E.  
 NO. 37609  
 08/17/2016  
 PROFESSIONAL ENGINEER

**WOODLAND PARK WATERVIEW**  
 PROFFER CONDITION AMENDMENT /  
 CONCEPTUAL DEVELOPMENT PLAN AMENDMENT /  
 FINAL DEVELOPMENT PLAN AMENDMENT /  
 RZ/EDP 2016-DR-001  
 DRANESVILLE DISTRICT, FAIRFAX COUNTY, VA

SCALE: HORIZ: VARIES
DATE: DECEMBER 2015
PLAN: ----
JOB: 0313-0159
CADD: 0313-029-ADWG
NCS: --
NUMBER: 25 of 28

**Gordon**

**NOTE:**  
 THE APPLICANT RESERVES THE RIGHT TO VARY THE TYPE, NUMBER, SIZE AND LOCATION OF THE DEPICTED STORMWATER MANAGEMENT FACILITIES WITH FINAL ENGINEERING AS APPROVED BY DPWS AND IN SUBSTANTIAL CONFORMANCE WITH THIS APPLICATION.



FEB 05 2016

Steve Pandish, P.E.  
Director of Water Resources  
William H. Gordon Associates, Inc.  
4501 Daly Drive, Suite 200  
Chantilly, Virginia 20151

Subject: Woodland Park Ponds; Tax Map #016-3-01-0007, 0029-D, 0029-E; Sully District

Reference: Stormwater Management Ordinance Determination #5518-SWOD-003-1

Dear Mr. Pandish:

This is in response to your request dated December 15, 2015, for a determination whether the proposed redevelopment of the subject site is served by an existing off-site stormwater management facilities, meets the applicable criteria, and qualifies under the provisions in the Virginia Department of Environmental Quality (DEQ) Guidance Memo No. 14-2014, dated August 25, 2014. With your request, you provided a reduction of the plan titled "Overall Drainage Divides Woodland Park Waterview" dated December 2015; and excerpts from the approved plans "Woodland Park Ponds" (5518-SP-006-3).

We have reviewed your request, and although the project, as currently proposed, would not qualify, we have determined that the subject site is served by existing off-site stormwater management facilities, and that land-disturbing activities could qualify under the provisions in the DEQ Guidance Memo No. 14-2014, dated August 25, 2014, and may be conducted in accordance with the technical criteria in Article 5 of the SWMO for two state permit cycles, provided that the following are met:

- The land-disturbing activities that are served by existing off-site stormwater management facilities do not change the land-use assumptions (e.g., amount of impervious cover) upon which the existing off-site stormwater management facility is based;
- The final design on the site plan for the subject land-disturbing activity must demonstrate that the construction activity will comply with the technical criteria in Article 5 of the SWMO;
- Coverage under the Virginia Pollution Discharge Elimination System (VPDES) General Permit for Discharges of Stormwater from Construction Activities (Construction General Permit) is obtained prior to commencement of the land-disturbing activities;
- Coverage under the VPDES Construction General Permit is continuously maintained throughout the life of the construction activity, until all land-disturbing activities are

Department of Public Works and Environmental Services  
Land Development Services  
12055 Government Center Parkway, Suite 444  
Fairfax, Virginia 22035-5503  
Phone 703-324-1820 • TTY 711 • FAX 703-653-6678



Steven Pandish, P.E.  
Page 2 of 3

completed, final stabilization is achieved, and Construction General Permit coverage is terminated; and

- At the end of the 2019 VPDES Construction General Permit (i.e., June 30, 2024), the land-disturbing activities shall become subject to any new technical criteria adopted by the State Water Control Board and in effect at that time.

This determination is based on DEQ Guidance Memo No. 14-2014; the status of the approved plan and existing off-site stormwater management facility; and the Grandfathering provisions in §124-1-12.A of the Stormwater Management Ordinance, Chapter 124 of the Code of the County of Fairfax (SWMO), adopted pursuant to the Virginia Stormwater Management Act (Va. Code Ann. § 62.1-44.15:24, et seq.) and Virginia Stormwater Management Program (VSMP) Permit Regulations (9VAC25-870 et seq.).

DEQ issued Guidance Memo No. 14-2014 to clarify implementation of Sections 47 and 48 of the VSMP Regulations. According to DEQ's guidance regarding new construction activities, any land-disturbing activities served by an existing on-site or off-site stormwater management facility, including a regional (watershed-wide) stormwater management facility, designed and implemented in accordance with the old technical criteria remain subject to the old criteria for two additional General Permit cycles. If the land-use assumptions upon which the stormwater management facility was designed and implemented change (e.g., an unanticipated increase in impervious cover), then the existing stormwater management facility should be modified to comply with the new technical criteria, or the project should be designed in accordance with the new technical criteria. An electronic copy of DEQ Guidance Memo 14-2014 is available on DEQ's website at: [www.deq.virginia.gov/Portals/0/DEQ/Water/Guidance/142014.pdf](http://www.deq.virginia.gov/Portals/0/DEQ/Water/Guidance/142014.pdf).

Based on available site records, the referenced site is served by an existing off-site stormwater management facility that was designed and implemented in accordance with County stormwater quality and quantity control requirements that exceed and meet, respectively, the old technical criteria. The calculations that detail compliance with the water quality and quantity design criteria for the off-site stormwater management facility are shown on the plan titled "Woodland Park Ponds" (5518-SP-006-3). The subject site is within the drainage area designated Subarea B1. The water quantity control computations specify that the pond was designed based on a composite Curve Number "CN" of 89 for this area. The proposed development, as shown with the request, as well as on the subsequently submitted Conceptual Development Plan/Final Development Plan (CDP/FDP), titled Woodland Park Waterview, dated revised January 6, 2016, submitted in conjunction with Rezoning application RZ 2016-HM-001, Proffer Condition Amendment application PCA 1999-HM-037, and Special Exception Amendment application SEA 97-H-070-03, would exceed the land-use assumptions upon which the pond was designed, and would not qualify under the provisions specified in DEQ Guidance Memo 14-2014. In order for the proposed project to remain subject to the old technical criteria pursuant to DEQ Guidance Memo 14-2014, the proposed development must be redesigned such that there is not an increase the amount of impervious area over that which the existing pond was designed and implemented.

Please ensure that a copy of this letter is made a part of all subsequent submissions. This determination in no way relieves you of any SWMO requirement. It does confirm that the

Steven Pandish, P.E.  
Page 3 of 3

project may meet the requirements of the SWMO using the technical criteria in Article 5 in lieu of the technical criteria in Article 4, subject to the conditions listed above. It is the operator's and owner's responsibility to ensure that all necessary approvals and permits are obtained, and VPDES Construction General Permit coverage is obtained and continuously maintained for the duration of the land-disturbing activities, until final stabilization is achieved and coverage is terminated. Please note that the SWMO or this determination does not prevent an applicant from designing to a more stringent standard if they choose to do so.

This determination supersedes the June 29, 2015, determination for Woodland Park (5518-SWOD-001-1) because the subject property for this determination is a consolidation of parcels that includes the parcel that was the subject of the previous determination, and the proposed development, as currently submitted, is substantively different than the original request.

This determination shall automatically expire, without notice, on June 30, 2024. In accordance with DEQ Guidance, land-disturbing activities that are served by an existing stormwater facility remain subject to the technical criteria in Article 5 for two additional VPDES General Permit cycles. After such time, the land-disturbing activities shall become subject to any new technical criteria adopted by the State Water Control Board.

If further assistance is desired, please contact Jeremiah Stonefield, Engineer IV, Site Code Research and Development Branch (SCRD), at 703-324-1780.

Sincerely,

*Shahab Baig*

Shahab Baig, P.E., Chief,  
Site Development and Inspections Division -- North Branch  
Herrity Building -- 5<sup>th</sup> Floor, Suite 535

cc: Jack Weyant, Director, SDID, LDS, DPWES  
Paul Shirey, Director, Code Development and Compliance Division, LDS, DPWES  
Jeremiah Stonefield, Engineer IV, SCR, CDCD, LDS, DPWES  
DPWES File

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4501 Daly Drive  
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SUR: GORDON	DES: SEB
DRW: SEB	CHK: SCP

COMMONWEALTH OF VIRGINIA  
ROBERT W. WALKER, P.E.  
NO. 37609  
08/17/2016  
PROFESSIONAL ENGINEER  
SEAL:

STORMWATER ORDINANCE DETERMINATION LETTERS

**WOODLAND PARK WATERVIEW**

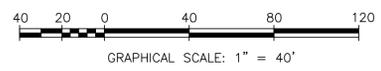
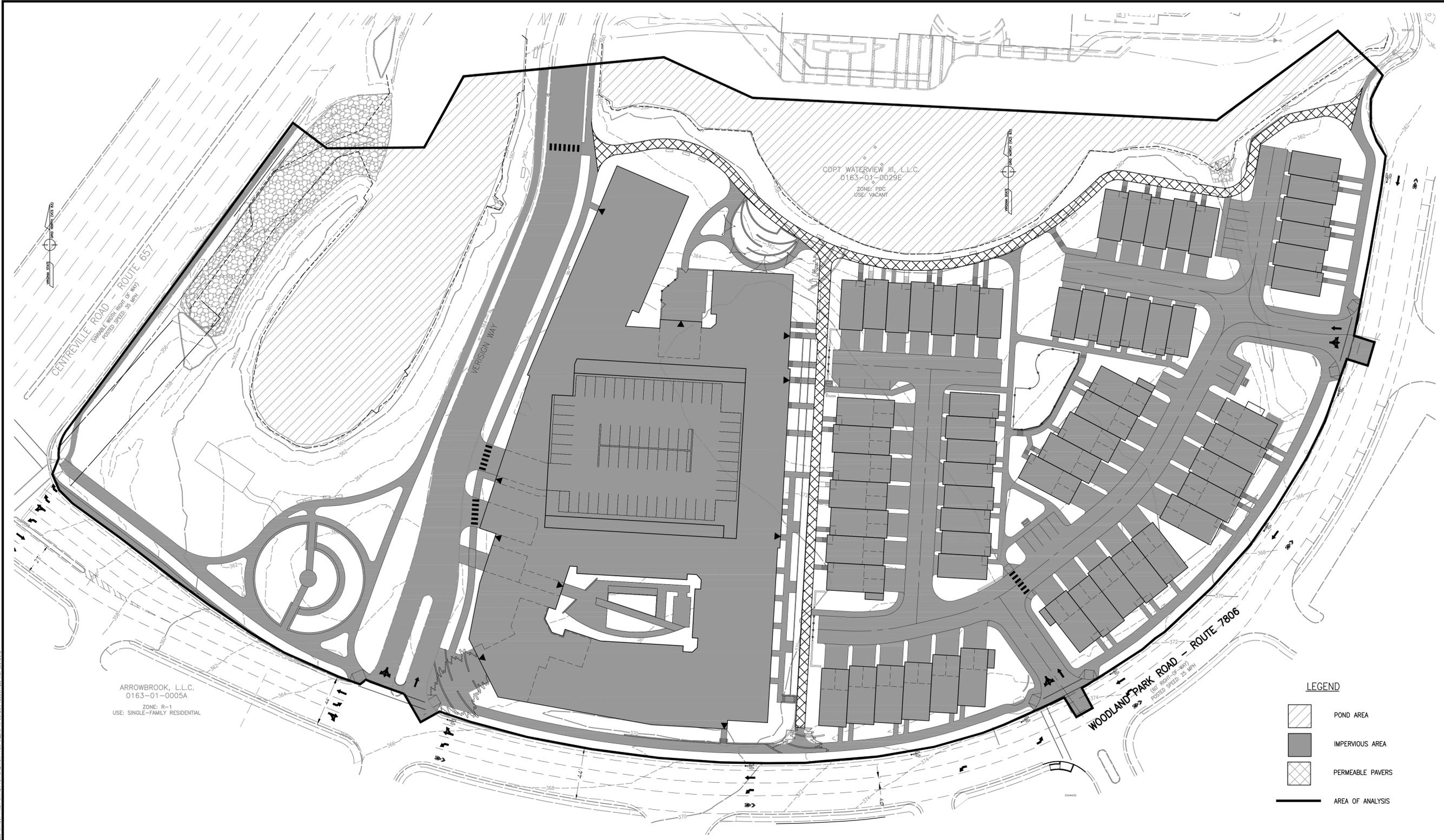
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CONCEPTUAL DEVELOPMENT PLAN AMENDMENT /  
FINAL DEVELOPMENT PLAN AMENDMENT  
RZ/FDP 2016-DR-001  
DRANESVILLE DISTRICT, FAIRFAX COUNTY, VA

SCALE: HORIZ: N/A VERT:
DATE: DECEMBER 2015
PLAN: ----
JOB: 0313-0159
CADD: 0313-0259-BMP/EQUALDWS
NCS: --
NUMBER: 26 of 28

**Gordon**

## SWOD COMPLIANCE NARRATIVE

THE PROPOSED SITE CONTAINS 6.30 ACRES OF IMPERVIOUS COVER, 1.72 ACRES OF POND AREA, 0.21 ACRES OF PERMEABLE PAVERS AND 3.99 ACRES OF MANAGED TURF. PER THE PFM A CURVE NUMBER OF 40 CAN BE ASSIGNED TO PERMEABLE PAVERS. THE WEIGHTED CURVE NUMBER FOR THE PROPOSED SITE IS 89 WHICH IS EQUAL TO THE DESIGN VALUE OF POND B AND IN CONFORMANCE WITH THE ORIGINAL DESIGN. THEREFORE THE PROJECTS QUALIFIES FOR THE PROVISIONS SPECIFIED IN DEQ GUIDANCE MEMO 14-2014.



ARROWBROOK, L.L.C.  
0163-01-0005A  
ZONE: R-1  
USE: SINGLE-FAMILY RESIDENTIAL

COPT WATERVIEW III, L.L.C.  
0163-01-0029E  
ZONE: PBC  
USE: VACANT

**LEGEND**

- POND AREA
- IMPERVIOUS AREA
- PERMEABLE PAVERS
- AREA OF ANALYSIS

**IMPERVIOUS COVERAGE CALCULATION**

AREA OF ANALYSIS: 12.22 ACRES  
IMPERVIOUS COVER: 7.62 ACRES  
% IMPERVIOUS = IMPERVIOUS COVER/AREA OF ANALYSIS x 100  
% IMPERVIOUS = 62%

**POST-DEVELOPMENT RCN COMPUTATION**

SUB-AREA	Land Cover Description	HSG (C)		TOTAL AREA (ac)	PRODUCT AREA x RCN	Sub-Area RCN
		AREA (ac)	RCN			
	Open Space: Good Condition	3.98	74	3.98	294.59	<b>89</b>
	Impervious	6.29	98	6.29	616.74	
	Pond	1.72	98	1.72	168.50	
	Permeable Pavement	0.23	40	0.23	9.20	
	<b>Total</b>			<b>12.22</b>	<b>1089.02</b>	

NOTE: THE AREA OF ANALYSIS IS THE COMBINED SITE AREA AND THE LIMITS OF WORK, RESULTING IN 12.22 ACRES. (11.95 ACRES PLUS 0.27 ACRES FOR PROPOSED STREETScape IMPROVEMENTS WITHIN THE EXISTING RIGHT-OF-WAY)

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Gordon

4501 Daily Drive  
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Phone: 703-263-1900  
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DRW: SEB	CHK: SCP

COMMONWEALTH OF VIRGINIA

ROBERT W. WALKER, P.E.  
NO. 37609  
08/17/2016  
PROFESSIONAL ENGINEER

SEAL:

PROPOSED LAND COVER

WOODLAND PARK WATERVIEW

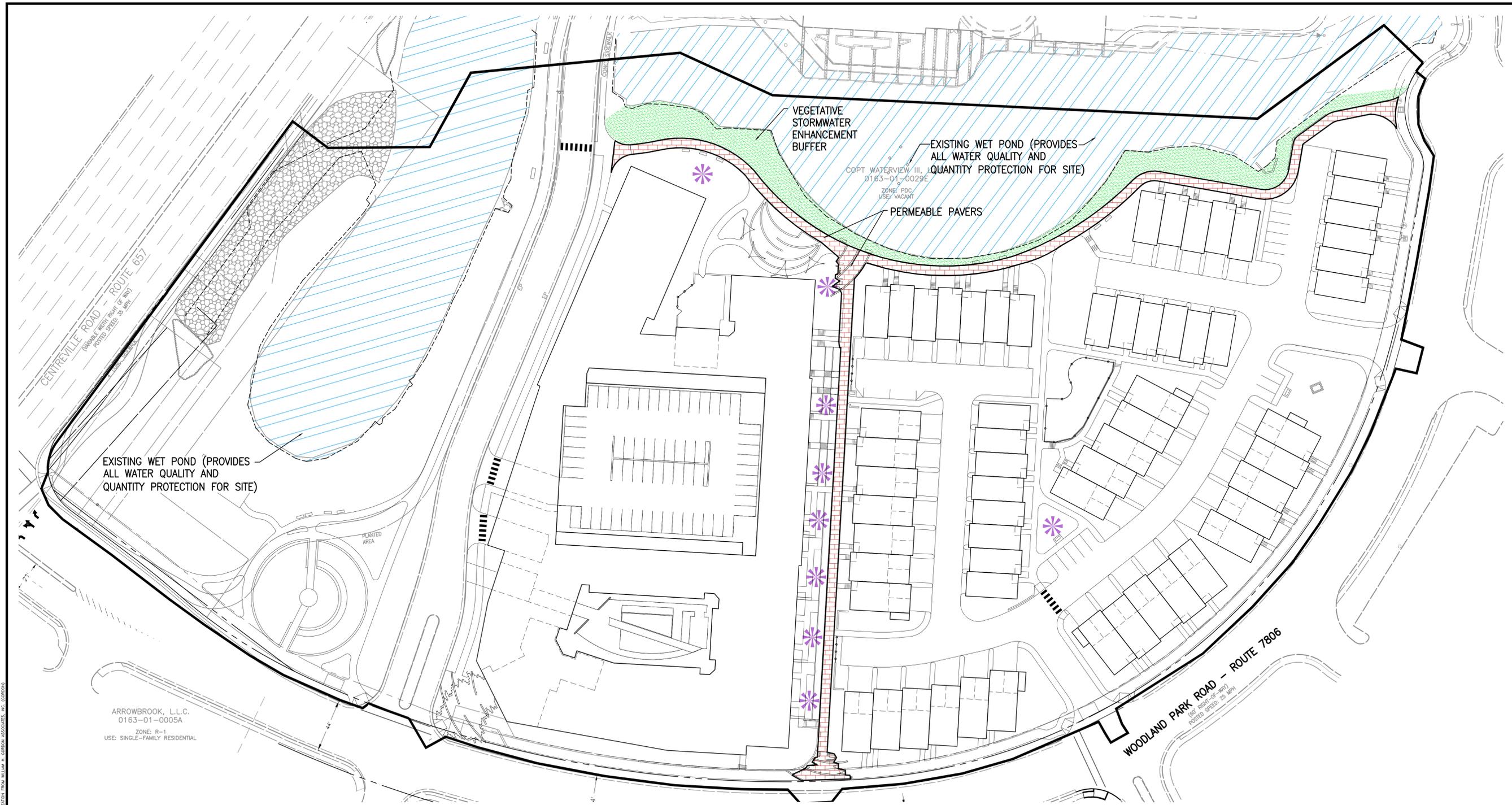
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NCS: --

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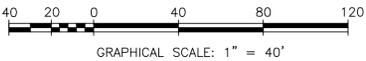
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ARROWBROOK, L.L.C.  
0163-01-0005A  
ZONE: R-1  
USE: SINGLE-FAMILY RESIDENTIAL

COPT WATERVIEW III,  
0163-01-0029E  
ZONE: PDC  
USE: VACANT



**LOW IMPACT DEVELOPMENT NARRATIVE:**

THE PROPOSED SITE IS BEING SERVED BY AN EXISTING WET POND THAT PROVIDES BOTH WATER QUALITY AND WATER QUANTITY TREATMENT FOR THE DEVELOPMENT. THE SITE IS PROPOSING ADDITIONAL STORMWATER ENHANCEMENT DEVICES WHICH MAY INCLUDE MICRO BIORETENTIONS, URBAN BIORETENTION, BIORETENTION BASINS, AND OTHER INNOVATIVE LOW IMPACT DESIGN TECHNIQUES.

**NOTES:**

1. THE APPLICANT RESERVES THE RIGHT TO VARY THE TYPE, NUMBER, SIZE AND LOCATION OF THE LOW IMPACT DEVELOPMENT FEATURES BASED ON FINAL ENGINEERING.
2. A TOTAL OF SIX (6) LOW IMPACT DEVELOPMENT TECHNIQUES ARE PROPOSED.

**WATER QUALITY FEATURES LEGEND**

- EXISTING WET POND (PROVIDES ALL WATER QUALITY AND QUANTITY PROTECTION FOR SITE)
- POTENTIAL LOCATIONS OF LOW IMPACT DEVELOPMENT TECHNIQUES, E.G.:
  - BIORETENTION
  - NON-STRUCTURAL AND STRUCTURAL BMP'S
  - INNOVATIVE BMP PRACTICES
- PERMEABLE PAVEMENT (QUANTITY COMPLIANCE)
- VEGETATIVE STORMWATER ENHANCEMENT BUFFER

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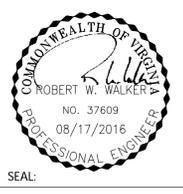
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SUR: GORDON	DES: SEB
DRW: SEB	CHK: SCP



LOW IMPACT DEVELOPMENT TECHNIQUES

**WOODLAND PARK WATERVIEW**

PROFFER CONDITION AMENDMENT /  
CONCEPTUAL DEVELOPMENT PLAN AMENDMENT /  
FINAL DEVELOPMENT PLAN AMENDMENT  
RIZ/EDP 2016-DR-001  
DRANESVILLE DISTRICT, FAIRFAX COUNTY, VA

HORIZ: 1"=40'
SCALE: VERT:
DATE: DECEMBER 2015
PLAN: ----
JOB: 0313-0159
CADD: 0313-0259-BMPQUAL.DWG
NCS: --
NUMBER: 28 of 28



## **DESCRIPTION OF THE APPLICATIONS**

The applicant, NVR, Inc., requests a Proffered Condition Amendment (PCA) approval to delete 11.95 acres from the original rezoning RZ 1999-HM-037 approved for the PDC (Planned Development Commercial) District which allowed for the development of three office buildings on the subject property and Tax Map 16-3 ((1)) 29C1 to the north for a total development of 875,725 square feet. The subject site was approved 460,319 square feet for two office buildings office and is proposed to be rezoned to the PDH-30 District.

The applicant requests Special Exception Amendment (SEA) approval to amend SE 97-HM-070 previously approved for uses in a floodplain and waiver of sign regulations, to permit the deletion of 11.95 acres from the special exception approval. The proposed residential development no longer needs these approvals.

The applicant also requests Rezoning (RZ) approval to rezone the 11.95 subject property from the PDC District to the PDH-30 District to allow residential uses, including 295 multifamily dwelling units, 56 two-over-two townhouse style multifamily dwelling units and 32 single family attached units. The overall density is proposed to be of 25.7 dwelling units per acre including affordable dwelling units and bonus market rate units. Staff notes that for density purposes 2.967 acres of previous dedicated right-of-way and reserved for density credit is being utilized.

In accordance with Par. E of Sect. 15.2-2303.B of the Code of Virginia the application is exempt from the recent amendments to Code regarding conditional rezoning because it is subject to the Comprehensive Plan for Reston. Reston was subject to a recently adopted small area comprehensive plan that encompassed existing and planned metro rail stations and allowed additional density within the vicinity of the stations.

A reduction of the CDP/FDP is included at the front of this report. The proffers, the proposed final development plan conditions, the applicant's statement of justification and affidavit are included in Appendices 1 through 4, respectively.

### **Waivers and Modifications**

The applicant submitted the following requests for waivers and modifications:

- Modification of Sect. 2-415 to allow uncovered stoops and steps to be located a minimum of 15 feet distance measured from the permanent water surface of any appropriately designed impoundment rather than 15 feet from the horizontal edge of the floodplain.
- Waiver of Par. 2 of Sect. 6-107 of the Zoning Ordinance, which requires a 200 square foot minimum privacy yard area of single family attached dwellings.
- Waiver of Par. 1 and 12 of Sect. 11-102 of the Zoning Ordinance to allow tandem parking in the driveways of the two-over-two multi-family units.

- Modification of Sect. 11-203 of the Zoning Ordinance to provide two loading spaces.
- Waiver of Par. 2 of Sect. 11-302 of the Zoning Ordinance to allow a private street in excess of 600 feet in length.
- Waiver of Sect. 13-200 of the Zoning Ordinance for interior parking lot landscaping requirement for a structured parking deck.
- Waiver of Par. 3 of Section 13-304 of the Zoning Ordinance for transitional screening and barrier requirements between the multi-family and single family attached units.
- Deviation of the tree preservation requirement from Sect. 12-0508.3 of the Public Facilities Manual.

## LOCATION AND CHARACTER

The 11.95-acre site is located on the east of Centreville Road and north of Woodland Park Drive. The properties are located in the Herndon Transit Station Area. The subject property is currently undeveloped and contains sporadic vegetation. Manicured landscape areas exist on the eastern and western portions of the subject application. In addition, Verisign Way, a private street bisects parcel 29D and provides vehicular access from Woodland Park Drive to the existing office building to the north. An eight foot wide asphalt trail is located on the western side of Verisign Way and culminates at a park area on the northwest corner of the intersection of Verisign Way and Woodland Park Drive. Furthermore, portions of two stormwater management ponds are located on the subject properties.

The property to the north is zoned PDC District and developed with and an office building. The properties to the east (across Woodland Park Drive) are zoned I-4 and also developed with office buildings. The properties to the south, across Woodland Park Drive are zoned C-8 and PDH-30 and development with a hotel, multi-family and private school.

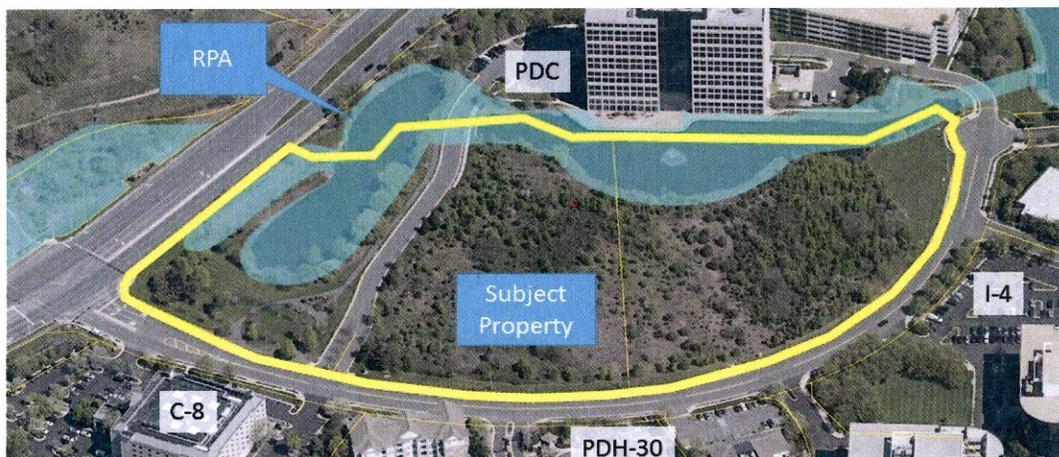


Figure 1- Aerial View of the Subject Property with Notations- Source: Fairfax County Pictometry

## **BACKGROUND**

RZ 1997-HM-054 (concurrent with PCA 77-C-098-03, PCA 80-C-028-4, PCA 83-C-031 and SE 97-H-070) was approved by the Board of Supervisors (BOS) on May 18, 1998, to rezone 23.46 acres from the C-8 and I-4 Districts to the I-4 District to permit commercial development. The application was approved with a maximum floor area ratio (FAR) of 0.70 for office use. The trail along Verisign Way and the sidewalks along Woodland Park Road were constructed with this application. SE 97-H-070 was approved for an increase in FAR, building height (maximum 150 feet) and uses in a floodplain. For these applications the BOS also approved a modification of the transitional screening and barrier requirements along Centreville Road and Woodland Park Road.

SEA 97-H-070 (concurrent with PCA 1997-HM-054) was approved by the BOS on October 25, 1999, for an increase in building height (178 feet maximum), increase in FAR (0.70) and uses in a floodplain. The BOS also moved to waive the 75-foot minimum setback requirement from the Dulles Toll Road, the service drive requirement along the Dulles Toll Road and a waiver of peripheral parking lot landscaping requirement along the northern property boundary adjacent to the Dulles Toll Road.

RZ 1999-HM-037 was approved by the BOS on September 11, 2000, to rezone 29.04 acres of the Woodland Park development from the I-4 District to the PDC District and I-4 District. The application permitted the development of three buildings with 875,725 square feet in the PDC District. Subsequent to this approval a 13 story office building was constructed and is the aforementioned existing office building to the north of the subject properties. Special Exception Amendment SEA 97-HM-070-2 was also approved for uses in the floodplain and waiver of certain sign regulations.

Comprehensive Sign Plan CSP 99-H-037 was approved by the Planning Commission on December 5, 2001, consisting of 23.38 acres, including the subject property for office park signage, building signage, tenant identification signage and accessible parking and street signs.

## **DESCRIPTION OF THE CONCEPTUAL/FINAL DEVELOPMENT PLAN (CDP/FDP)**

The CDP/FDP Plan entitled "Woodland Park Waterview" as submitted by Gordon, consisting of 30 sheets, dated December 2015 as revised through August 17, 2016, is reviewed below and a copy is contained in the front of the staff report.

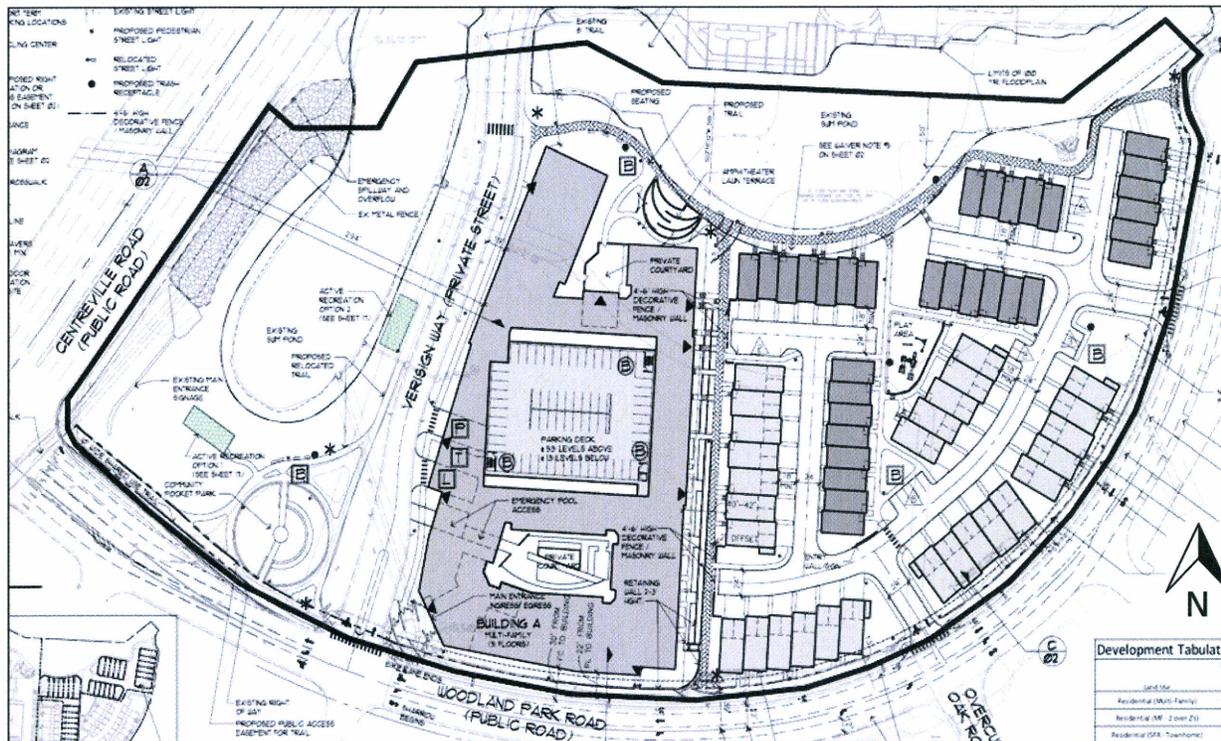


Figure 2-Site Layout- CDP/FDP Sheet 6

### Site Layout/Proposed Dwelling Units

The site is located at the intersection of Centerville Road and Woodland Park Drive. The site has two proposed access points from Woodland Park Drive, along with the existing Verisign Way access.

The applicant proposes a site layout with 32 single family attached dwelling units, 56 two over two dwelling units and one five story multifamily building with 295 units. The applicant has included architectural perspectives of the proposed dwellings in CDP/FDP Plan, which are depicted below in Figure 3. Alleyways are proposed in the development that would provide access to the garages at the rear of the single family attached dwelling units and the two over two units. Eighteen surface parking spaces as well as on street parking along the southern side of Woodland Park Road are provided.





TWO-OVER-TWO ELEVATIONS

Figure 3- Building Elevations – CDP/FDP Sheets 18, 19

Each two-over-two unit and would be approximately 2,140 square feet and the height of the building would be a maximum of four stories in height. Each single family attached dwelling would be four stories and average of 2,800 square feet with a two car garage on the lower level (See Figure 4).

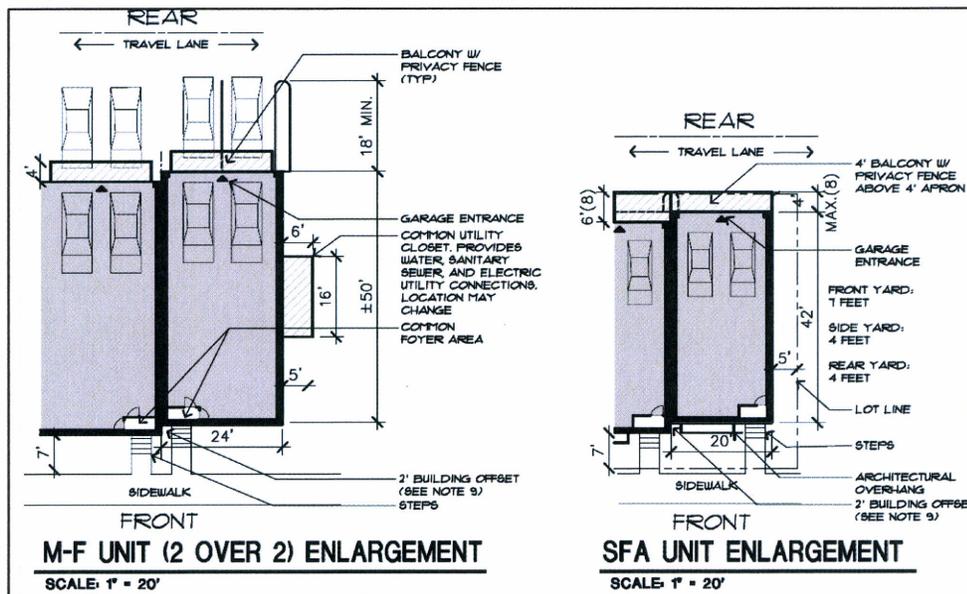


Figure 4- Detail of Garages- CDP/FDP Plan Page 6

Each multifamily two over two unit is proposed to be 4 stories in height and averaging 2,140 square feet in size. Two parking spaces would be provided for each unit (four in total for each building) one in the garage and a second parked in a tandem fashion in a driveway (see Figure 4). The dimensions of the garages for the single family attached or two over two units were not detailed in the CDP/FDP or proffers.



TWO-OVER-TWO ELEVATIONS

Figure 3- Building Elevations – CDP/FDP Sheets 18, 19

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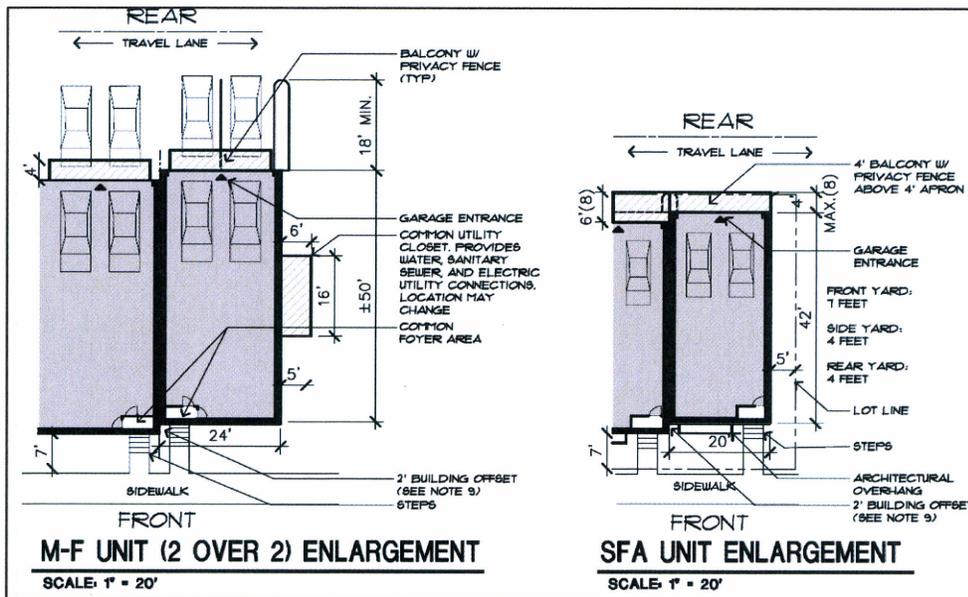


Figure 4- Detail of Garages- CDP/FDP Plan Page 6

Each multifamily two over two unit is proposed to be 4 stories in height and averaging 2,140 square feet in size. Two parking spaces would be provided for each unit (four in total for each building) one in the garage and a second parked in a tandem fashion in a driveway (see Figure 4). The dimensions of the garages for the single family attached or two over two units were not detailed in the CDP/FDP or proffers.

The multifamily building is located at the intersection of Verisign Way and Woodland Park Road. The five story building would be no taller than 75 feet. Parking for the multifamily building would be provided in a five story centralized parking deck surrounded on all sides by the multifamily building. The deck would be 5½ stories above ground and 1½ stories below ground. Access to the garage and loading area is provided from Verisign Way. Front door access into the multifamily building is provided at the corner of Verisign Way and Woodland Park Road. Additional pedestrian points are provided on all sides of the buildings.

### **Open Space**

The development provides approximately 2.82 acres of public urban open space onsite. This includes a community park (1.83 acres) adjacent to the stormwater management pond in the western portion of the site. This area consists of mostly passive uses with amenities such as seating and shade structures. The plans depict an option for active recreation areas. A pedestrian promenade (0.23 acres) is proposed between the multifamily building and the two over two buildings. This area includes a tree-lined 40-42 foot wide pedestrian thoroughfare that bisects the site and connects Woodland Park Road to the linear park along the northern portion of the site. A linear park (0.76 acres) is located along the northern portion of the site. The linear park would include an 8-foot wide trail, landscaping and an amphitheater and other pedestrian amenities. Furthermore, a number of private neighborhood pocket parks located on the eastern portion of the site, one of which includes a tot lot.

### **Streetscape**

The development fronts on Woodland Park Road to the south and the proposed streetscape in front of the 5-story multifamily building consists of an 8.5 foot landscape panel adjacent to the curb, an 8-foot wide sidewalk and a 12-foot building zone. Further to the east proposed streetscape in front of the two over two dwelling units and the single family attached dwelling units consists of an 8.5 foot landscape panel adjacent to the curb, an 8-foot wide sidewalk and an 11-foot building zone.

The development also has street frontage to the west of the 5-story multifamily building on Verisign Way, a private street. On Verisign Way, the streetscape consists of an 8-foot landscape panel and a 6-foot sidewalk and a building zone that ranges from 5 feet to 17 feet.

### **Stormwater Management/ Floodplain**

Two existing wet pond facilities are located on the site. The applicant states the entirety of the site drains into these two ponds, which were designed to provide both water quality and quantity control for the full development of the site.

The wet pond on the northern portion of the site also has a 100 year floodplain that extends south onto the site. The applicant is requesting waivers and modifications that

are requesting encroachment into the floodplain. Please see the modification and waivers section of this report for additional analysis.

The wet pond facility on the western portion of the site will also serve as a neighborhood amenity.

### **Tree Preservation**

The subject property has an existing tree canopy covering 317,870 square feet (7.3 acres or 61.1 percent of the site). The PFM requires that a PDH-30 District provide at least 10 percent tree canopy over the entirety of the site. In addition the PFM requires the applicant to provide 19,421 square feet of tree preservation (61.1 percent of the required canopy). The applicant is providing 20.9 percent (9,320 square feet) tree preservation; therefore the applicant is requesting a tree deviation which is analyzed in the waivers and modification section of this report. The applicant has also proposed to provide 36,000 square feet of new tree plantings for a total of 45,320 square feet (10.2%).

## **ANALYSIS**

### **Proffer Condition Amendment**

The applicant requests a Proffered Condition Amendment (PCA) approval to delete 11.95 acres from the original rezoning RZ 1999-HM-037 approved for the PDC District. This rezoning approved 875,725 square feet of office uses on 23.46 acres including 455,000 square feet on the subject site. The deletion of 11.95 acres from the PDC District does not adversely affect the use of the remainder of the PDC District nor does it inhibit, adversely affect or preclude in any manner the fulfillment of the proffered conditions applicable to the area not incorporated into the amendment and does not substantially increase the overall approved intensity for the development.

### **Special Exception Amendment**

The applicant also requests Special Exception Amendment approval to amend SE 97-HM-070 previously approved uses in a floodplain and waiver of sign regulations, to permit deletion of 11.95 acres. The residential development does not need these previous approvals and thus is requesting to be removed from those controls.

### **Rezoning**

The applicant requests to rezone the property from the PDC District to the PDH-30 District to allow residential uses, including 295 multifamily dwelling units, 56 two-over-two townhouse style multifamily dwelling units and 32 single family attached units. The overall density is proposed to be of 25.7 dwelling units per acre including eight affordable dwelling units (ADU) and 38 workforce dwelling units (WDU).

This section of the report focuses on staff analysis and discussion of the Comprehensive Plan site specific recommendations, the Residential Development Criteria located in the Policy Plan. To provide context, excerpts from the Comprehensive Plan guidance are provided prior to the staff analysis.

The Residential Development Criteria (Appendix 5) are used to evaluate zoning requests for new residential development and how such development enhances the community by fitting into the fabric of the neighborhood, respecting the environment, addressing transportation impacts, addressing impacts on other public facilities, being responsive to our historic heritage, contributing to the provision of affordable housing and, being responsive to the unique site specific considerations of the property.

The Areawide Recommendations, Development Review Performance Objectives and the Residential Development Criteria is accessible from the links below.

<http://www.fairfaxcounty.gov/dpz/comprehensiveplan/area3/upperpotomac.pdf>

<http://www.fairfaxcounty.gov/dpz/comprehensiveplan/policyplan/landuse.pdf>

### **Site Specific Recommendations**

The site specific and Areawide Recommendations are cited from the Fairfax County Comprehensive Plan, 2013 Edition Area III, Upper Potomac Planning District, Reston, amended through October 20, 2015. The site is in the Woodland Park Sub-district and planned for mixed use. This area has with specific Plan language recommendations located on page 181 that states in relevant part:

#### **Woodland Park Subdistrict**

*The Woodland Park development consists of approximately 163 acres and is bounded by the DAAR on the north, Monroe Street on the east, Sunrise Valley Drive on the south and Centreville Road on the west. It is planned and developed as a major mixed-use development up to .70 FAR, with office, retail, hotel and residential uses. This area along the DAAR has high visibility and is appropriate for high quality development including corporate headquarters, hotels and office buildings...Residential development should be sited away from the DAAR and towards Sunrise Valley Drive. Support retail and service uses are appropriate in office, hotel or residential buildings.*

*Pedestrian connections throughout the area and to transit facilities should be provided... The overall design should seek to concentrate open space, to the extent possible, into common areas such as urban parks and plazas to provide visual focus and attractive outdoor spaces for residents and employees.*

Local-serving amenities including plazas, other urban parks, trails, and public art should be provided throughout the subdistrict to serve local leisure and recreation needs.

Specifically, development in Woodland Park should incorporate recreational amenities for employees and residents, such as walking/jogging paths, exercise stations, and multi-use courts that are appropriate to the mix of potential users and their needs. The development of this area should incorporate a vehicular circulation network that is appropriate to the type and intensity of the ultimate uses and the pattern of subdivision.

Existing manmade and natural features in the vicinity of Sunrise Valley Drive provide a particular opportunity to create small, semi-urban scale parks linked by trails and pedestrian facilities planned for the TSA. Opportunities to cluster amenities in nodes along existing natural and stormwater features should be used to form a connected park amenity.”

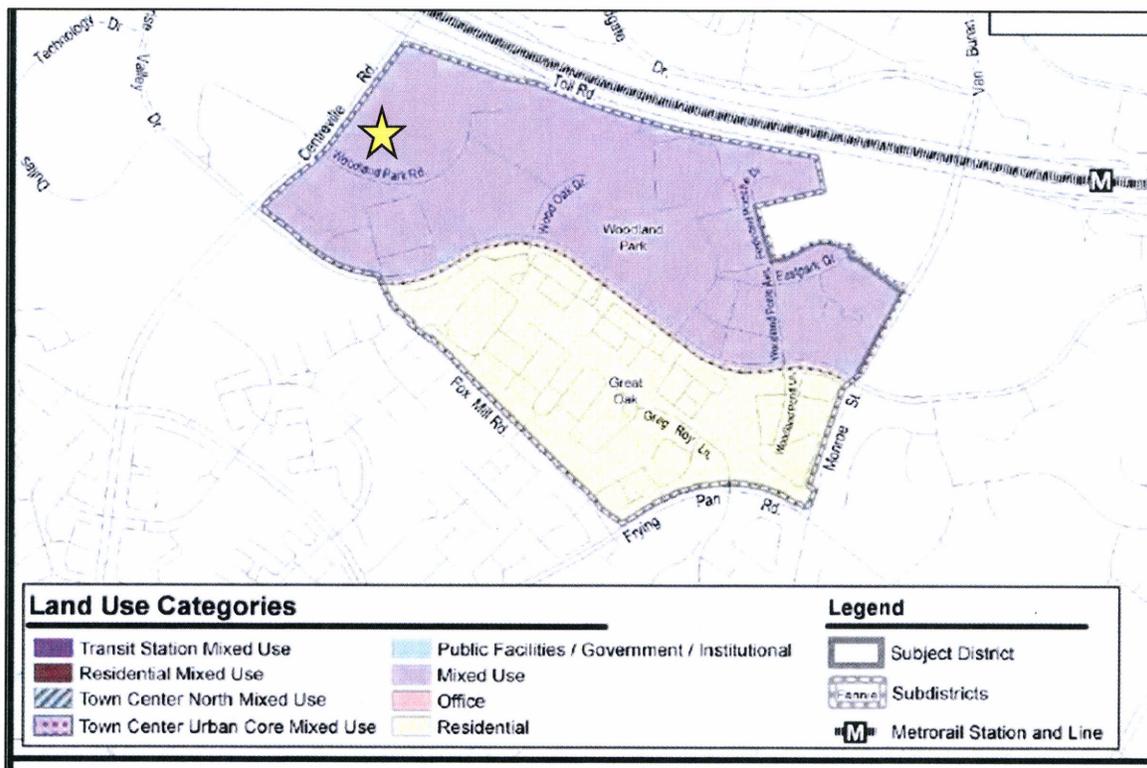


Figure 3- Woodland Park Subdistrict and Subject Property Location

### Areawide Recommendation: Land Use

The Areawide Recommendation on Land Use, which begins on page 95 of the *Comprehensive Plan, 2013 Edition, Reston* focuses on the following topics: transit station areas land use concept, development review performance objectives, TOD

district intensity, non-TOD district intensity, and phasing development and provides in relevant part:

*The recommendations encourage a more urban, transit-oriented development pattern, with the objective of creating a walkable activity center at each station. The areas closest to the stations should consist of a mix of uses to include employment, housing and services to meet the needs of daily living. As noted earlier, achieving this vision will be a long-term process. Therefore, the land use section also includes guidance on land use compatibility, land use flexibility, incremental redevelopment as well as new development.*

The subject property is located in the Herndon Transit Station Area, but not in the Herndon Transit Station Transit-Oriented Development (TOD). Within a TSA, there are transit-oriented development (TOD) and non-TOD districts. A TOD District is an area located around the station platforms and planned for the highest intensities; non-TOD districts are areas that should maintain their existing character, uses, and zoned intensities.

The Comprehensive Plan for the site is mixed use at 0.70 FAR and does not include a base recommendation for Residential, 30 dwelling units per acre as found elsewhere in the Comprehensive Plan. The previously approved intensity for the PDC District was 875,725 square feet of which 460,319 square feet remains for the proposed development in order to maintain the previously approved intensity for this area. The applicant provided notes within the CDP/FDP that states the gross floor area for the site is 522,990 square feet. The applicant notes that PDH-30 is measured in density per acre and not floor area ratio. Staff reviewed the application under FAR to determine harmony with the Comprehensive Plan and notes that affordable dwelling units and bonus market rate units from the provision of workforce dwelling units density would be permitted in addition to the FAR limits of the Comprehensive Plan. Therefore, staff has proposed a development condition to limit the square footage of development consistent with the previous approval prior to the provision of bonus and affordable dwelling units.

### **Areawide Recommendations/Development Review Performance Objectives**

The Areawide Land Use Recommendations include Development Review Performance Objectives and provides that development proposed within the TSAs will be evaluated for the extent to which they meet or contribute to the following objectives: achieve high quality site design and architecture; provide pedestrian and bicycle connectivity throughout the TSA; provide urban parks and other recreational amenities throughout the TSA; achieve greater housing diversity; provide office uses in strategic locations; provide public uses; provide retail, hotel uses, and institutional uses; encourage coordinated development plans; encourage educational institution(s); accommodate existing uses and buildings; and protect existing low density residential areas. As indicated earlier, relevant Development Review Criteria are included in the discussion of the Development Review Performance Objective.

**Areawide Recommendation: Urban Design and Placemaking, page 109:** *Urban design is the discipline that guides the appearance, arrangement, and functional elements of the physical environment, with a particular emphasis on public spaces. An urban environment is comprised of many elements including streets, blocks, open spaces, pedestrian areas, and buildings. The following recommendations provide guidance for each of these elements, with a particular emphasis on creating a high-quality urban environment that is walkable and pedestrian-friendly and are applicable to all areas of the TSAs. **Development Review Performance Objective: Achieve High Quality Site Design and Architecture, page 103:** Excellent site design in the TSAs should continue the Reston traditions of emphasizing community gathering places, integrating access to the natural environment when possible, and providing public art. In addition, there should be an emphasis on environmentally sustainable design and practices with non-residential development achieving U.S. Green Building Council's Leadership in Energy and Environmental Design (LEED) Silver certification or the equivalent, at a minimum. Residential development should be guided by the Fairfax County Policy Plan objectives on Resource Conservation and Green Building Practices. **Residential Development Criteria #1, Site Design:** All rezoning applications for residential development should be characterized by high quality site design. Rezoning proposals for residential development, regardless of the proposed density, will be evaluated based upon the following principles: consolidation, layout, open space, landscaping, and amenities. **Residential Development Criteria #3, Environment:** All rezoning applications for residential development should respect the environment. Rezoning proposals for residential development, regardless of the proposed density, should be consistent with the policies and objectives of the environmental element of the Policy Plan, and will also be evaluated on the following principles, where applicable. Applicable staff memos are provided in Appendices 6-8.*

The Comprehensive Plan recommends mixed use for this area. The applicant is proposing only residential use; however, the varied types of housing including the five story multifamily building and the inclusion of the two-over-two units and townhomes provide multiple residence types for multiple income levels. The area surrounding the site is considered mixed use, with uses including multifamily residential, office, hotel and a private school, even if this specific site is not mixed use.

Staff believes the proposed five story multifamily residential building is compatible with surrounding development in height, massing and use type. There is an existing multifamily development located to the south of Woodland Park Drive that is already zoned PDH-30.

The subject property is further than ½ mile to the west of the future Herndon Metro Station and further than ½ mile east of the future Innovation Metro station. Staff believes the proposed townhomes are a compatible use when compared to the distance from the Metro stations and to surrounding development. The proposed lots are of an appropriate size and shape of standard townhomes. The lot sizes and shape are consistent throughout the property. This height and massing is compatible with the nearby offices and other uses. With similar height and massing to surrounding uses and

the site's distance from the metro station, staff was comfortable entertaining the concept of urban townhomes at this location.

With one exception the proposed two-over-two units and the single family attached dwelling units would be oriented appropriately to the adjacent streets with front doors on the pedestrian promenade, the linear park to the north and the stormwater pond, interior parks and Woodland Park Road. This allows alleyways to be utilized, as the rear of the townhouses will face each other. The street frontages along Woodland Park Road and will have adequate streetscape, including a sidewalk and a landscaping buffer. The applicant is providing convenient access to transit facilities, including the Herndon Metro Station, through pedestrian trails and bike lanes proposed along Woodland Park Road.

The proposed two over two units directly east of the multi-family building along Woodland Park Drive are angled towards the access to the development as shown below. In staff's opinion, this angle of the units creates a potential conflict with vehicles entering and exiting the site at this intersection with vehicles backing out of the units. The site layout has evolved during the process and while generally the access and layout of the units has not changed this portion of site was revised to address concerns on streetscape and other issues and created this awkward alignment. Staff requested the applicant revise this portion of the site to provide units with a similar layout as the rest of the two of two units; however, the applicant did not make these revisions. Staff continues to encourage the applicant to make revisions to the development plan and notes that any revision will likely require additional analysis by staff and staff report addendum.

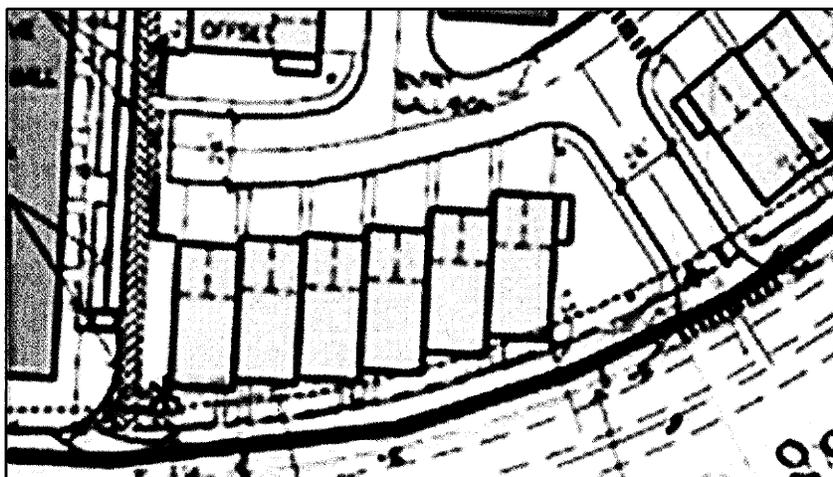


Figure 6- Detail of Garages- CDP/FDP Plan Page 6

Staff believes that these varied residential types, coupled with the surrounding development which includes office, a private school, hotel and other multifamily buildings, collectively contribute to the overall mixed use of the Woodland Park area.

The architectural elevations on Sheets 18 and 19 of the CDP/FDP Plan show that the design and style of the multifamily building, the two-over-two units and the single family

attached dwellings. Staff believes the elevations and materials are appropriate for this location. In addition, the applicant is providing a decorative fence or masonry wall at the dead-end of the alleyways near the pedestrian promenade as requested by staff to create a more urban appearance.

The proposed layout would provide approximately 58 percent open space, or 6.9 acres and exceeds the Zoning Ordinance's minimum open space requirement of 40 percent for PDH-30 Districts with ADUs.

Sheet 15 of the CDP/FDP Plan shows the applicant's landscape plan, which would add new vegetation to the streetscapes, the pedestrian promenade, the linear park and in the pocket parks. This even distribution of landscaping throughout the site is appropriate.

The applicant is proposing appropriate amenities including an pedestrian promenade, a linear park using a stormwater pond, a community park, several neighborhood pocket parks one with a tot lot, an amphitheater and bike lanes along Woodland Park Road. Benches, trash cans, bike racks, picnic tables and public art have been provided in appropriate locations.

The applicant has proffered to qualifying the proposed townhouses under the 2012 National Green Building Standard using the ENERGY STAR Qualified Homes Path, or other equivalent program. This certification process meets the green building recommendations in the Comprehensive Plan.

Staff requested the applicant to combine the parking and loading entrances for the multifamily building along Verisign Way to reduce the visual impact of two garage entrances and enhance pedestrian safety. The applicant noted in discussions that the combination of these two entrances would cause a conflict between the maneuverability of the vehicles accessing the loading spaces with vehicular residential traffic entering and exiting the multifamily residential building. Staff feels with the justification from the applicant and an improved streetscape on Verisign Way including a wider sidewalk and additional screening, satisfies staff's concerns to make this private street more appealing and safe to both pedestrian and vehicular traffic.

Staff also recommended that the proposed private stoops on the public linear park on the north-central portion of the property be reduced in size to accommodate a landing behind the public sidewalk and avoid pedestrian conflicts. The applicant has committed to address this issue with a proposed proffer.

The following charts below summarize the streetscape that is being provided:

<b>Woodland Park Road- Public Street (2 over 2s and townhomes)</b>			
	<b>Landscape Panel</b>	<b>Sidewalk</b>	<b>Building Zone</b>
<b>Comprehensive Plan</b>	6-8 feet	6-8 feet	8-12 feet
<b>Provided</b>	8.5 feet	8 feet	11-12 feet

<b>Verisign Way- Private Street (Multifamily Bldg.)</b>			
	<b>Landscape Panel</b>	<b>Sidewalk</b>	<b>Building Zone</b>
<b>Comprehensive Plan</b>	6-8 feet	8-feet	8-12 feet
<b>Provided</b>	6-8 feet	8-feet	Approx. 5-17 feet

As the charts above demonstrate, the majority of the streetscape provided do meet the Comprehensive Plan recommendations.

The applicant has adequately addressed other streetscape streetscape on Woodland Park Road and Verisign Way, urban design amenities and signage, perspectives of the pedestrian promenade, elevations and driveway lengths satisfactorily.

**Development Review Performance Objective: Provide Pedestrian and Bicycle Connectivity throughout the Transit Station Areas, page 103:** *New pedestrian and bicycle connections should be provided through complete streets within the TSAs and new or extended trails on both sides of the DAAR connecting the three Metrorail stations. Pedestrian and bicycle crossings of existing streets should be improved to increase pedestrian and bicyclists' safety, visibility and convenience. Several existing streets act as major barriers to pedestrian and bicycle movement and are identified for specific improvements within the District Recommendations. In addition, connections should be made from the Metrorail stations to the existing community trail network. Transit-Oriented Development Guideline #3, Pedestrian and Bicycle Access: Provide safe pedestrian and bicycle travel to and from and within the station area. Applicable staff memos are provided in Appendices 6, 9, and 10.*

The applicant has provided an on-street bike lane that extends west along Woodland Park Road to Verisign Way. From Verisign Way to Centreville Road the bike lane is moved off-street and onto a 10-foot shared use path.

Staff requested an additional crosswalk installed along the northern intersection of Centreville Road and Woodland Park Road to facilitate the bike and pedestrian crossings to the Arrowbrook development across the Centreville Road. Staff feels this would be a logical and direct connection to encourage pedestrian walkways and bike

paths. The applicant has updated their development plans with a proposed crosswalk at the desired location. Therefore, this issue has been resolved.

**Development Review Performance Objective: Provide Urban Parks and other Recreational Amenities throughout the Transit Station Areas, page 104:** Local-serving urban parks, recreational and cultural amenities including but not limited to plazas, trails and public art should be provided throughout the TSAs in order to serve local leisure and recreation needs. Membership in Reston Association may serve to meet a portion of the identified park and recreation needs. The exact number of urban parks and other amenities, their sizes and distribution will be determined by the amount and type of new development and provided in accordance with the guidance in the Urban Parks, Recreation Facilities and Cultural Facilities section. **Residential Development Criteria #6, Public Facilities:** All rezoning applications for residential development are expected to offset their public facility impact and to first address public facility needs in the vicinity of the proposed development. Impact offset may be accomplished through the dedication of land suitable for the construction of an identified public facility need, the construction of public facilities, the contribution of specified in-kind goods, services or cash earmarked for those uses, and/or monetary contributions to be used toward funding capital improvement projects. Selection of the appropriate offset mechanism should maximize the public benefit of the contribution. **Transit-Oriented Development Guideline #14, Open Space:** Provide publicly-accessible, high-quality, usable open space. The applicable staff memo is provided in Appendix 11.

Based on the parkland standard, the site is expected to provide 1.05 acres of urban parkland onsite. The site provides 2.85 acres of urban park space, including pocket parks, civic plazas, common greens and recreation focused parks. The applicant provides adequate trails and way-finding mechanisms that connect the pocket parks. Staff notes that the proposed increase in residents generates a need for approximately a half of a sports court or other outdoor fitness facility and a tot lot. The applicant has proposed a tot lot in one of the private neighborhood pocket parks and has provided two potential active recreation locations near the western stormwater management pond. Therefore this issue has been resolved.

The Comprehensive Plan anticipates 12 athletic fields serving Reston should be achieved through development contribution of land and/or facilities. These fields are expected to be provided by new facilities, as well as the upgrade to existing facilities, in order to increase capacity. Based on the projected costs to develop the athletic fields and the potential redevelopment within Reston, a contribution of \$1.72 per square foot of residential and non-residential uses is requested. Based on the revised proposed building area of 522,990 square feet, the applicant was should contribute \$899,388 towards athletic fields. The applicant is currently proposing a contribution of \$913,000. Therefore this issue has been addressed.

**Development Review Performance Objective: Achieve Greater Housing Diversity, page 104:** Future development should ensure that a diversity of housing is available in the TSAs. The residential component of mixed-use development should meet the needs

*of a variety of households such as families and seniors. Most of the new housing is envisioned to be multifamily to achieve the desired urban form. However, urban townhouses may be appropriate in some locations.*

*To ensure the provision of adequate affordable housing, future development should meet county policies on affordable housing. All projects that seek to utilize the redevelopment option in the District Recommendations should contribute toward the creation of affordable housing as described below.*

- Development proposals with a residential component should meet the provisions of the Affordable Dwelling Unit Ordinance (ADU) when applicable.*
- For the Policy Plan's Workforce Housing Policy, proposals with a residential component seeking up to a 1.0 FAR should meet the current policy objective of 12 percent of total units as Workforce Dwelling Units (WDU).*

***Residential Development Criteria #7, Affordable Housing:*** *Criterion #7 is applicable to all rezoning applications and/or portions thereof that are not required to provide any Affordable Dwelling Units, regardless of the planned density range for the site. The applicable staff memo is provided in Appendix 6.*

Affordable housing is strongly encouraged to be provided as either affordable dwelling units or workforce dwelling units, in accordance with County policy. The Zoning Ordinance specifies that rezoning applicants should provide ADUs for development plans proposing 50 or more dwelling units. Based on the proposed unit types 8 ADUs are expected to be provided per the Zoning Ordinance. The applicant was requested to consider providing units at a lower area median income (AMI) level than the Policy Plan in line with the Reston Vision and Planning Principles, which envisions housing for all incomes. In accordance with the Policy Plan the applicant has proffered a minimum of twelve percent (46 units) of the overall units as ADUs or WDUs in accordance with the Policy Plan AMI guidance.

Furthermore, the applicant has proffered to provide at least 5 percent of units to have universal design features, such as wider door openings, lever door handles, and modified light switch, thermostat, and electrical outlet heights.

***Development Review Performance Objective: Provide Office Uses in Strategic Locations, page 105:*** *New office uses at higher intensities should be located within approximately ¼ mile of the Metrorail station, as shown on the Conceptual Land Use Map, to maximize use of transit by future office workers and it should be demonstrated that proposed site layouts achieve a safe, comfortable and reasonably direct walk for employees. In selected circumstances, increased office intensity may be considered for parcels outside of the ¼ mile radius if it will facilitate the provision of new public infrastructure, such as a new crossing of the DAAR, or other critical public facilities, and*

*a safe, comfortable and reasonably direct walk can be achieved. See additional guidance in the District Recommendations.*

The proposal is for the construction of combination of residential dwelling units including multifamily units, two-over-two units and single family dwelling units on currently vacant land. While the site is certainly an acceptable office location it is more than one-half mile from the Herndon metro station and staff is comfortable with the proposed residential development.

***Development Review Performance Objective: Provide Public Uses, page 106:*** *Public uses such as a library, fire station or recreation center, that are integrated into a building may also generate activity in off-peak hours and are encouraged so as to further diversify the type of uses in the TSAs.*

No public uses are proposed or expected for this site.

***Development Review Performance Objective: Provide Retail, Hotel Uses and Institutional Uses, page 106:*** *Retail uses on the ground floor of mixed-use buildings are encouraged in all TSAs to allow employees and residents in each TSA to carry out daily activities with minimal need to use single-occupancy vehicles. However, free-standing retail uses are strongly discouraged in the TSA. Such uses are typically not compatible with the urban form desired in the TSAs and frequently draw vehicle trips to an area. Consequently, retail uses should be integrated into buildings containing other uses.*

No retail, hotel or institutional uses are proposed or expected for this site.

***Development Review Performance Objective: Encourage Coordinated Development Plans, page 106:*** *For development proposals requesting increased intensity above the base plan recommendation, consolidation or coordinated development plans are encouraged. Coordinated development plans refer to two or more concurrent and contiguous development applications that demonstrate coordination of site design, building locations, urban design, open space amenities and signage, inter-parcel access where appropriate, roadway realignment or improvements, and parking facilities. When coordinated development plans are used in lieu of, or in addition to substantial consolidation, development proposals will need to ensure that projects function in a compatible, well-designed, efficient manner; compatible with development on adjacent properties; reflect coordinated phasing of improvements as needed (for example, providing links in a street grid); consistent with the overall intent of the land use concept to achieve a desired urban form and mix of uses; and do not preclude adjacent parcels from developing in conformance with the Plan.*

The applicant has worked to consolidate the Tax Maps 16-3 ((1)) 29D, 29E and Tax Map 16-3 ((11)) 7 in order to provide one cohesive, comprehensive development. This consists of providing for similar style of dwelling units, streetscape and coordinated access points as well as providing similar size, design and massing to surrounding office, hotel and multifamily developments. The coordination of these lots has allowed

the proposed developer to add amenities including a pedestrian promenade, a linear park with a water feature and community and pocket parks for recreation.

**Development Performance Review Objective: Encourage Educational Institution(s), page 107:** *There is a desire for additional educational institutions (specifically institutions of higher learning) to complement the other uses planned for the TSAs in addition to providing continuing education opportunities for residents and employees.*

No educational institutions are proposed or recommended with this application.

**Development Performance Review Objective: Accommodate Existing Uses and Buildings, page 107:** *In some instances, existing development may not be consistent with the long-term vision for the TSAs. This Plan is not intended to interfere with the continuation of existing land uses or buildings. If improvements to the open space or road network that are identified in the Plan are not feasible due to an existing building's location on the site, alternative streetscape and other design improvements intended to implement the Plan's vision may be considered. Residential Development Criterion #8, Heritage Resources: Heritage resources are those sites or structures, including their landscape settings, that exemplify the cultural, architectural, economic, social, political, or historic heritage of the County or its communities.*

The existing properties are vacant with sporadic vegetation. The proposed development does not interfere with the nearby existing uses or buildings. No heritage resources have been identified on the site.

**Development Performance Review Objective: Protect Existing Low Density Residential Areas, page 107:** *The majority of existing residential communities adjacent to the TSAs are low density neighborhoods comprised of single family detached homes and townhomes. In most instances, these communities are separated from the TSAs by major roadways. Appropriate design measures such as reduced building height and massing for new development closest to these existing neighborhoods should be utilized to help define the limits of the TSAs.*

The applicant has designed that the development of the multifamily, two-over-two and single family dwellings are similar in height, design and massing to the surrounding hotel, office and multifamily development. In addition, the proposed streetscapes along Woodland Park Road offer substantial transitional screening from the two-over-two units and single family attached residences and distance to the multifamily buildings to the south.

**Areawide Recommendation: Transportation, page 132-** *The vision for the three Reston TSAs promotes a mix of land uses served by a multi-modal transportation system. Various planned transportation improvements will facilitate this vision, while accommodating current and future commuters and residents within and around the transit stations. The improvements should 1) balance future land uses with supporting*

*transportation infrastructure and services; 2) address the long term needs of the area, including significantly improving the infrastructure and facilities for transit, pedestrians and bicycles; and, 3) design a road network that accommodates all modes of transportation and includes a grid of streets in the TSAs to improve connectivity around the transit stations. **Residential Development Criteria #5, Transportation:** All rezoning applications for residential development should implement measures to address planned transportation improvements. Applicants should offset their impacts to the transportation network. The applicable staff memos are provided as Appendices 9 and 10.*

### Woodland Park Road

Staff recommended that the proposed lane striping for the left turn lane from Woodland Park Road to Verisign way be revised. The inside lane on Woodland Park Road becomes a left turn lane to northbound Verisign Way almost immediately after the turn from Centreville Road. The applicant has revised the development plan to have one of the through lanes convert to a left turn only lane at intersection of Verisign Way. Along with adequate signage and additional review at site plan this issue has been resolved.

Staff recommended that the applicant extend the existing raised median on Woodland Park Road from Centreville Road past the first entrance along the southern side of Woodland Park Road. This would reduce vehicular conflict points and restrict that southern entrance to a right-in/right-out only. The applicant has revised the development plan to reflect this change. Therefore this issue has been resolved.

Staff noted that the 12-foot wide lane on the south side of Woodland Park Drive is to be marked as a sharrow lane, or a shared automobile and bicycle lane and needed to be widened to 14-feet and the other two lanes could be narrowed to 11 feet. The applicant has widened the southern lane to 14 feet and has marked it as a sharrow lane on the development plan. Therefore, this issue has been resolved.

Staff noted concerns on the proposed lane configuration and split phased signal operation between westbound Woodland Park Road between Centreville Road and Verisign Way and indicated that this would need to be reviewed closer prior to site plan approval.

On the Woodland Park Road streetscape, staff recommends that the landscaping not impede sight distance. This would include the commitment that the ground plantings would not extend higher than 3.5 feet in height and also that any trees would be limbed up to 10 feet in height. Staff notes that this issue will be addressed at the time of site plan review.

### Pedestrian and Bicycle Amenities

Staff recommended a commitment to provide necessary bike signage throughout the site, which the applicant has done. Staff recommended that the applicant conform to county guidelines for the bike parking rates for the multifamily residential within a

Transition Station Area. The applicant has proffered to one space per 25 units; whereas, the guidelines for bicycle parking is one space per three units and one visitor space per every 25 units. The applicant has committed to address this issue with a proposed proffer; therefore this issue has been addressed.

Staff notes that the on-street bike lane along the northern side Woodland Park Road ends at Verisign Way and does not extend to Centreville Road. Staff discussed that the safest location for a bike connection at this location would be an off-street shared use path for both pedestrians and bicyclists to the northern side of Woodland Park Drive. The applicant has provided a 10-foot wide shared use trail at this location and therefore this issue has been resolved.

At staff's request the applicant proffered to construct the remaining crosswalk connection along Centreville Road. The applicant also proffered to provide a bus shelter on-site if determined appropriate as part of site plan review.

### Transportation Fund

On February 11, 2014, the Board of Supervisors approved the Reston Master Plan Special Study (Phase I) Plan Amendment. As part of that approval, Supervisor Hudgins moved that the Board adopt the Planning Commission recommendation to direct staff and "the Planning Commission to develop an inclusive process to prepare a funding plan for the transportation improvements recommended in the Reston Master Plan and report with its recommendations. The funding plan should include arrangements for financing the public share of Reston infrastructure improvements and facilitate cooperative funding agreements with the private sector. The Planning Commission strongly believes that public and private investment in Reston is both critical and responsible for ensuring Reston's future success". At the time of publication, the rate of contribution per dwelling unit has not yet been established or adopted by the Board. However, the applicant has provided a draft proffer placeholder for the contribution amounts towards the transportation fund as determined by the formula to be adopted by the Board of Supervisors. Subject to the Boards adoption of a rate and formula and the applicants' revision of the proffers that commits to this amount, this issue has been resolved.

***Areawide Recommendation: Environmental Stewardship, page 140: Includes recommendations on stormwater management, natural resources management, tree canopy goals, green buildings, and noise impacts. Residential Development Criteria #3, Environment - All rezoning applications for residential development should respect the environment. Rezoning proposals for residential development, regardless of the proposed density, should be consistent with the policies and objectives of the environmental element of the Policy Plan, and will also be evaluated on the following principles: preservation; slopes and soils; water quality; drainage; noise; lighting; and energy. Residential Development Criteria #4, Tree Preservation and Tree Cover Requirements: All rezoning applications for residential development, regardless of the proposed density, should be designed to take advantage of the existing quality tree cover.***

*If quality tree cover exists on site as determined by the County, it is highly desirable that developments meet most or all of their tree cover requirement by preserving and, where feasible and appropriate, transplanting existing trees. Tree cover in excess of ordinance requirements is highly desirable. Proposed utilities, including stormwater management and outfall facilities and sanitary lines, should be located to avoid conflicts with tree preservation and planting areas. Air quality-sensitive tree preservation and planting efforts are also encouraged. The applicable staff memo is provided as Appendices 8, 12 and 13.*

### Tree Preservation/Landscaping

The applicant is proposing to provide 20.9 percent of the total tree preservation target or 9,320 square feet. The bulk of the tree preservation is taking place on the western portion of the site around the existing stormwater management wet pond. The applicant has requested a tree deviation request which is discussed in the waivers and modification section of this report.

To help offset the tree preservation deviation, the applicant is providing 36,000 square feet of tree planting along the pedestrian promenade, and in a linear park and pocket parks throughout the development. In addition, the streetscape have landscape amenity panels with tree plantings and ground cover proposed.

Staff notes that the applicant should ensure that tree locations should be adjusted to avoid building conflicts in tree growth or alternate methods and technologies be provided to ensure tree viability. Final location of the trees can be determined at site plan in consultation with the Urban Forestry Management Division (UFMD). The applicant has provided a proffer to this effect and therefore, staff believes this issue has been satisfied.

Staff also notes that groundcover species proposed in the planting beds along Woodland Park are considered invasive species. The applicant has provided a proffer to avoid the use of invasive species; therefore staff believes this issue has been adequately addressed.

Staff recommends that the planting beds on the pedestrian promenade be increased to eight feet or provisions be made to ensure additional rooting spaces is available. This detail can be remedied at the time of site plan in consultation with UFMD; therefore staff believes this issue has been satisfied.

The applicant has also included proffered to landscape planting pre-installation meeting and the mitigation of soil compaction as well as street trees, utility locations, sight distance consideration, maintenance, tree preservation walk through, limits preservation fencing, root pruning, and tree protection typically recommended by UFMD.

### Stormwater Management

The applicant's CDP/FDP Plan proposes a stormwater management system that uses two existing on-site stormwater management ponds to meet the PFM standards for water quality and quantity, which was confirmed by a Stormwater Ordinance Determination (SWOD) letter submitted in February 2016. The SWOD letter also indicated stipulated that the stormwater ponds previously built by a former site plan could satisfy the new development stormwater requirements as long as the impervious area from the former application was not increased.

Staff noted that impaired water conditions exist downstream of the application property along Centreville Road that have been examined by county staff and attributed to the stormwater management ponds on the subject property. The applicant has proposed several low impact development (LID) facilities on site which include pervious pavers and water runoff features in the pedestrian promenade to reduce water quantity and to improve water quality. Therefore, staff believes the applicant is adequately addressing this concern.

#### Transportation Generated Noise

The Environment section of the Comprehensive Plan's Policy Plan contains recommended levels for transportation generated noise in residential settings. Specifically, the Policy Plan recommends transportation noise impacts be mitigated so that internal noise levels inside homes do not exceed 45 dBA and 65 dBA for outdoor recreation areas for homes. For homes impacted by a day-night average sound level (DNL) of 65-75 dBA, the Comprehensive Plan recommends mitigation.

The applicant's proffer statement includes a commitment to submit a noise study during prior to site plan submission. The proffer further commits the applicant to incorporating noise attenuation features in the proposed dwellings that would meet the Comprehensive Plan's recommended standards listed above.

***Areawide Recommendation: Urban Parks, Recreational Facilities, Cultural Facilities, page 140:*** *The growth and redevelopment planned for the three TSAs will increase the need for parks and open space, recreation facilities, and cultural amenities, all of which are essential components in creating places where residents and employees can live, work and play. The intent of this [Comprehensive Plan] section is to present recommendations to meet the need for urban parks, recreation and cultural facilities created by growth in the TSAs.*

This was previously discussed in the Development Performance Review Objective to Provide Urban Parks and other Recreational Amenities and has been addressed by the applicant.

## ZONING ORDINANCE PROVISIONS

### General Standards for All Planned Developments (Sect. 16-101)

The PDH District is established to encourage innovative and creative design and to facilitate use of the most advantageous construction techniques in the development of land for residential and other selected secondary uses. The district regulations are designed to insure ample provision and efficient use of open space; to promote high standards in the layout, design and construction of residential development; to promote balanced developments of mixed housing types; to encourage the provision of dwellings within the means of families of low and moderate income; and otherwise to implement the stated purpose and intent of this Ordinance. A rezoning application may only be approved for a planned development if the planned development satisfies the following general standards:

*General Standard 1: The planned development shall substantially conform to the adopted comprehensive plan with respect to type, character, intensity of use, and public facilities. Planned developments shall not exceed the density or intensity permitted by the adopted comprehensive plan, except as expressly permitted under the applicable density or intensity bonus provisions.*

As previously discussed, the planned development substantially conforms to the adopted comprehensive plan with respect to type, character, intensity of use, and public facilities, and does not exceed the density or intensity permitted by the Comprehensive Plan.

*General Standard 2: The planned development shall be of such design that it will result in a development achieving the stated purpose and intent of the planned development district more than would development under a conventional zoning district.*

The development proposes a mix of single family attached, two over two multi-family units and a multi-family building with 58 percent open space. Such development is possible because of the flexibility provided in the Zoning Ordinance for planned districts; a similar residential development would not be permissible in a conventional district.

*General Standard 3: The planned development shall efficiently utilize the available land, and shall protect and preserve to the extent possible all scenic assets and natural features such as trees, streams and topographic features.*

The proposed site is vacant and contains sporadic vegetation. The applicant has committed to preserving existing maintained trees on the western portion of the site near the stormwater management pond. In addition the applicant is incorporating the existing stormwater management ponds on site into open space amenities for future homeowners. As previously discussed, the proposed development provides 4.8 acres of open space.

*General Standard 4: The planned development shall be designed to prevent substantial injury to the use and value of existing surrounding development, and shall not hinder,*

*deter or impede development of surrounding undeveloped properties in accordance with the adopted comprehensive plan.*

In staff's opinion, the proposed development does not hinder, deter, or impede development of surrounding properties and has been designed to fit into the character of the surrounding area.

*General Standard 5: The planned development shall be located in an area in which transportation, police and fire protection, other public facilities and public utilities, including sewerage, are or will be available and adequate for the uses proposed; provided, however, that the applicant may make provision for such facilities or utilities which are not presently available.*

*Fairfax County Public Schools (FCPS):* The Fairfax County Public Schools' Office of Facilities Planning Services anticipates that the 295 multi-family units, 56 low rise, two-over-two units and 32 single-family attached units would generate 63 new students attending Coates Elementary, Carson Middle and Westfield High Schools (Appendix 14). In order to address the need for capital improvements associated with the new students, a proffer contribution of \$740,187 ( $\$11,749 \times 63$ ) per projected student has been requested. The applicant has proposed a proffer contribution to satisfy this concern.

*Fairfax County Water Authority (FCWA):* The property can be served by Fairfax Water. Adequate domestic water service is available at the site from an existing 12-inch water main located in Woodland Park Road (Appendix 15).

*Sanitary Sewer Analysis:* The application is located in the E-Branch (A-2) watershed and would be sewered into the Blue Plains Treatment Plant. An existing 18 inch line located on the property is adequate for the proposed use (Appendix 16).

*Fire and Rescue Department Analysis:* Staff requested a contribution for the cost of two preemption devices (\$20,000) for nearby traffic signals (Appendix 17). The applicant has proffered to provide the requested contribution and therefore this issue has been resolved.

*General Standard 6: The planned development shall provide coordinated linkages among internal facilities and services as well as connections to major external facilities and services at a scale appropriate to the development.*

As previously discussed, adequate pedestrian, bicycle, and transit linkages exist, are shown on the CDP/FDP Plan and have been proffered to be provided by the applicant.

### **Design Standards for All Planned Developments (Sect. 16-102)**

Whereas it is the intent to allow flexibility in the design of all planned developments, it is deemed necessary to establish design standards by which to review rezoning

applications, development plans, conceptual development plans, final development plans, PRC plans, site plans and subdivision plats. Therefore, the following design standards shall apply:

***Design Standard 1:** In order to complement development on adjacent properties, at all peripheral boundaries of the PDH, PRM, PDC, PRC Districts the bulk regulations and landscaping and screening provisions shall generally conform to the provisions of that conventional zoning district which most closely characterizes the particular type of development under consideration.*

The applicant is requesting a rezoning to the PDH-30 District and the R-30 District would be the most similar conventional district. In the R-30 District, the building height for all structures is 150 feet. The applicant is proposing the multifamily residential building at 75 feet, two-over-twos at 49 feet and single family attached dwellings at 45 feet.

Setbacks in the conventional district with affordable dwelling units are 20 feet for the front, 10 feet for the side and 25 feet. The multifamily building has a front setback of 22 feet, a western side yard setback of 297 feet and a rear yard setback of 90 feet. The two-over two and single family attached units have a front yard setback along Woodland Park Road ranging from 13 feet to 22 feet. The applicant is establishing an urban townhouse format and in staff's opinion has provided for adequate setbacks.

***Design Standard 2:** Other than those regulations specifically set forth in Article 6 for a particular P district, the open space, off-street parking, loading, sign and all other similar regulations set forth in this Ordinance shall have general application in all planned developments.*

A minimum of 40 percent open space is required and the applicant is proposing 58 percent open space. The Zoning Ordinance requires 1.6 parking spaces for each multifamily unit and each two-over-two unit. Therefore 472 space are required for the 5-story multifamily building and 90 spaces are required for the two-over-two units. The applicant is meeting this provision by providing 497 spaces in a parking deck and 116 spaces in the garage and driveways of the two-over-two units.

The Zoning Ordinance requires 2.7 parking spaces per single family attached unit. Two parking spaces are provided in each garage and the rest of the parking is surface parking throughout the development and on the southern side of Woodland Park Road. The required number of spaces is 87 and the applicant is providing 96 spaces.

***Design Standard 3:** Streets and driveways shall be designed to generally conform to the provisions set forth in this Ordinance and all other County ordinances and regulations controlling same, and where applicable, street systems shall be designed to afford convenient access to mass transportation facilities. In addition, a network of trails and sidewalks shall be coordinated to provide access to recreational amenities, open space, public facilities, vehicular access routes, and mass transportation facilities.*

The applicant is providing an adequate network of private roads and alleyways in the proposed development. The streets and driveways conform to County regulations. In addition, the applicant has proposed sidewalk and trail connections throughout the site and with neighboring properties. These sidewalks and trails provide access to the recreational areas, open space, roadways and transportation facilities on site.

## **MODIFICATIONS AND WAIVERS**

### **Yard Regulations for Lots Having Area in Floodplain**

The applicant has requested a waiver of Section 2-415 of the Zoning Ordinance to allow the Director of DPWES to approve the location of a dwelling unit closer than 15 feet from the edge of a floodplain. This would affect seven single family attached dwellings which are located to the south of the northern stormwater management pond and immediately east of the proposed pedestrian promenade to allow exterior stoops and stairs to be located within the floodplain. The applicant has requested that the 15 feet be measured from the permanent water surface of any appropriately designed impoundment (stormwater management pond).

The applicant has stated that the proposed first floors elevations of these units would be 30 inches above the existing 100 year flood plain elevation which exceeds the 18 inch requirement in the Public Facilities Manual.

Staff notes that there is a potential that flooding could encroach onto the stoops and stairs. However, staff notes that the actual dwelling units will be located above the required height for the floodplain. Staff does not object to this request subject to disclosure of this information in the selling documents for these seven units.

### **Minimum Required Privacy Yard**

The applicant requests a waiver of Paragraph 2 of Section 6-107 of the Zoning Ordinance to provide a minimum of a 200 square foot privacy yard for single family attached dwellings. The applicant has requested a waiver to the provision of a minimum rear yard in favor of providing open recreation area on other portions of the site. Staff does not object to this waiver request.

### **Tandem Parking Spaces**

The applicant requests a waiver of Paragraphs 1 and 12 of Section 11-102 of the Zoning Ordinance to allow tandem parking in the driveways of the two-over-two multifamily units. Due to the urban setting and the compatible design of the two-over-two units to the single family attached dwellings, staff does not object to this request.

**Loading Spaces**

The applicant is requesting a modification of Section 11-203 of the Zoning Ordinance, loading spaces, to provide two loading spaces for the 5-story multifamily dwelling as shown on the CDP/FDP Plans. The Zoning Ordinance requires a minimum of four loading spaces for the proposed size of the gross floor area of the multifamily building. Staff notes that the applicant is proposing the loading spaces in a logical location with access from Verisign Way that does not appear to impede traffic and is located off of a less busy street. Therefore, staff does not object to this request.

**Private Street Length**

The applicant is requesting a waiver of Paragraph 2 of Section 11-302 of the Zoning Ordinance to allow a private street in excess of 600 feet in length. An existing private street, Verisign Way, bisects the property and is longer than 600 feet in length. As this waiver was approved with the previous application and the alignment is unchanged, staff does not object to this waiver request.

**Parking Deck Landscaping**

The applicant is requesting a waiver of Section 13-200 of the Zoning Ordinance for the interior parking lot landscaping requirements for a structured parking deck. Since the parking deck is proposed to be enclosed on all sides by the multifamily building, staff does not object to this request.

**Transitional Screening and Barrier Requirements**

The applicant is requesting a waiver of Sections 13-303 and 13-304 of the Zoning Ordinance which require transitional screening and barriers between the multi-family and single family attached units. Staff notes that the applicant is proposing mixed residential units types. However, these unit types will be similar in architectural elements, massing and heights to provide a cohesive neighborhood character.

In addition, the surrounding property uses include other multifamily dwellings, a private school, a hotel and offices. Adequate streetscapes to the southern side of the dwelling and the stormwater management ponds and linear parks to the north provide adequate buffers from the two-over-two units to the surrounding dwellings. Therefore, staff does not object to the transitional screening or barrier waiver.

**Tree Preservation Target**

The applicant is requesting a deviation from the tree preservation target. The applicant is proposing to provide 20.9 percent of the total tree preservation target or 9,320 square feet. The bulk of the tree preservation is taking place on the western portion of the site around the existing stormwater management wet pond.

To help offset the tree preservation deviation, the applicant is providing 36,000 square feet of tree planting along the pedestrian promenade, and in a linear park and pocket parks throughout the development. In addition, the streetscape have landscape amenity panels with tree plantings and ground cover proposed.

The proposed site is vacant and contains sporadic vegetation. Due to the lack of substantial healthy tree groves, and the commitment of the applicant to provide 36,000 square feet of tree planting along the pedestrian promenade, in the streetscape and in a linear park and pocket parks throughout the development, staff does not object to this request.

## **CONCLUSIONS**

The applicant has demonstrated to the satisfaction of staff that the proposed development meets the criteria used to analyze this application set forth in the Comprehensive Plan and the Zoning Ordinance, including the Areawide Recommendations, Development Review Performance Objectives and the Residential Development Criteria.

The applicant has adequately addressed site design issues including streetscapes, open space requirements and inclusion of recreation facilities. The applicant has provided architectural renderings of the multifamily building, the two-over-two units and single family attached dwellings and demonstrated their compatibility in design and massing with the surrounding developments, as well as committing to provide a noise study before site plan. In addition, the applicant has satisfied environmental concerns by providing adequate new landscaping, as well as ensuring stormwater techniques are adequate. The applicant has also proffered to design the buildings using green building measures.

Furthermore, the applicant has addressed staff concerns by including pedestrian trails throughout the site and an on-street bike lane on Woodland Park Drive. It should be further noted that the applicant has satisfactorily addressed staff concerns with regard to stormwater management mitigation techniques, the provision of workforce dwelling units and affordable dwelling units.

However, staff still has concerns on the configuration of the two over two multi-family units directly east of the multi-family building and has recommended that this portion be revised.

## **RECOMMENDATIONS**

Staff recommends approval of PCA 1999-HM-037 to delete 11.95 acres from RZ 1999-HM-037 approved for the PDC District.

Staff recommends approval of SEA 97-HM-070-03 to delete 11.95 acres from SE 97-HM-070.

Staff recommends approval of RZ 2016-DR-001 and the conceptual development plan subject to the execution of the proffers consistent with those contained in Appendix 1.

Staff recommends approval of FDP 2015-DR-001 subject to the proposed final development plan conditions contained in Appendix 2 and the Board of Supervisors approval of RZ 2016-DR-001 and the conceptual development plan.

Staff recommends approval of the following waivers and modifications:

- Direct the Director of the Department of Public Works and Environmental Services to approve a modification Zoning Ordinance Section 2-415, to allow uncovered stoops and steps to be located a minimum of 15 feet distance measured from the permanent water surface of any appropriately designed impoundment rather than 15 feet from the horizontal edge of the floodplain per Paragraph 1 of Section 2-415 of the Zoning Ordinance.
- Waiver of Paragraph 2 of Section 6-107 of the Zoning Ordinance, which requires a 200 square foot minimum privacy yard area of single family attached dwellings.
- Waiver of Paragraphs 1 and 12 of Section 11-102 of the Zoning Ordinance to allow tandem parking in the driveways of the two-over-two multi-family units.
- Modification of Section 11-203 of the Zoning Ordinance to provide two loading spaces.
- Waiver of Paragraph 2 of Section 11-302 of the Zoning Ordinance to allow a private street in excess of 600 feet in length.
- Waiver of Section 13-200 of the Zoning Ordinance for interior parking lot landscaping requirements for a structured parking deck.
- Waiver of Paragraph 3 of Section 13-304 of the Zoning Ordinance for transitional screening and barrier requirements between the multi-family and single family attached units.
- Deviation of the tree preservation requirement from Section 12-0508.3 of the Public Facilities Manual to permit the tree preservation as shown on the CDP/FDP.

It should be noted that it is not the intent of staff to recommend that the Board, in adopting any conditions proffered by the owner, relieve the applicant/owner from compliance with the provisions of any applicable ordinances, regulations, or adopted standards.

It should be further noted that the content of this report reflects the analysis and recommendation of staff; it does not reflect the position of the Board of Supervisors.

The approval of this application does not interfere with, abrogate or annul any easements, covenants, or other agreements between parties, as they may apply to the property subject to this application.

## **APPENDICES**

1. Draft Proffers
2. Proposed FDP Development Conditions
3. Applicant's Statement of Justification
4. Affidavits
5. Residential Development Criteria
6. Land Use Analysis
7. Office of Community Revitalization Analysis
8. Environmental Analysis
9. FCDOT Transportation Analysis
10. VDOT Transportation Analysis
11. Park Authority Analysis
12. Urban Forestry Analysis
13. Department of Public Works and Environmental Services Analysis
14. Fairfax County Public Schools Analysis
15. Fairfax County Water Analysis
16. Sanitary Sewer Analysis
17. Fire/Rescue Analysis
18. Glossary

**PROFFERS**  
**Woodland Park Waterview**  
**RZ 2016-DR-001**

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**DRAFT  
PROFFERS**

**Woodland Park Waterview**

**RZ 2016-DR-001**

August 29, 2016

Pursuant to Section 15.2-2303(A) of the Code of Virginia (1950, as amended) and Section 18-204 of the Zoning Ordinance of Fairfax County (1978, as amended), the applicant, the property owners and their successors and/or assigns (hereinafter referred to as the “Applicant”), hereby proffer that the development of the parcels under consideration and shown on the 2016 Fairfax County tax maps as 16-3 ((1)) 29D, 29E and 16-3 ((11)) 7 (collectively, the “Property”) shall be in accordance with the following conditions if, and only if, Rezoning application 2016-DR-001 (this “Rezoning”) and Special Exception Amendment application 97-H-070-03 are granted. Upon approval of this Rezoning, these Proffers shall replace and supersede all previous proffers and development conditions approved on the Property.

**PROPOSED DEVELOPMENT**

1. Conceptual Development Plan. The Property shall be developed in substantial conformance with the certain elements of Woodland Park Waterview Conceptual/Final Development Plan (“CDP/FDP”) dated December 16, 2015 and revised through August 17, 2016, and prepared by William H. Gordon Associates, Inc.
2. Proffered CDP Elements. It shall be understood that the proffered elements of the CDP are limited to the grid of streets, the general location of the points of access, general location of the buildings, the mix of residential uses, maximum density, maximum building heights, the general quality and character of the streetscape, and the amount and general location and quality of urban park land (the “Proffered Elements”). The Applicant has the option to request a Final Development Plan Amendment (“FDPA”) for elements other than the Proffered Elements in accordance with the provisions set forth in Section 16-402 of the Fairfax County Zoning Ordinance (the “Ordinance”).
3. Minor Modifications. Minor modifications may be permitted pursuant to Section 16-403(4) of the Ordinance.
4. Proposed Development. Development on the Property shall be limited to a maximum of 383 dwelling units, including multi-family dwellings and single-family attached dwellings (the “Proposed Development”).

Uses allowed by special exception or special permit in the PDH-30 District may be authorized through a separate special exception or special permit process without the need for a PCA or CDPA, as determined by the Zoning Administrator.

5. Fire Marshal Evaluation. The Applicant has coordinated the layouts depicted on the CDP/FDP with the Fire Marshal. Changes to the CDP/FDP shall be permitted without the requirement for a CDPA and/or FDPA in response to the review of site plans by the Fire Marshal, including adjustments to tree locations, the streetscape, and perimeter building setback from the curb, as necessary to allow for required emergency vehicle access, provided such modifications are made in consultation with the Department of Planning and Zoning ("DPZ"), and are in substantial conformance with the CDP, FDPs and these Proffers.

#### ARCHITECTURAL DESIGN AND BUILDING PRACTICES

6. Architectural Design. The building elevations shown on Sheets 18 and 19 of the CDP/FDP are provided to illustrate the architectural theme and design intent of the residential dwellings. The architectural design of the proposed dwellings shall generally conform to the character and quality of these illustrative elevations, but the Applicant reserves the right to modify these elevations, such as adding architectural ornamentation, based on final architectural design.
7. Universal Design. Five percent of all dwelling units on the Property shall be designed and constructed with a selection of universal design features and options as determined by the Applicant which may include, but not be limited to: passage doorways with a minimum width of 32 inches; lighting controls, electrical switches and receptacle outlets, environmental controls and user controls for security and intercom systems with clear floor spaces and heights as defined by the American National Standards Institute ("ANSI"); lever door handles; slip resistant flooring; seat in master bath shower; optional hand-held shower heads at tubs and showers; and optional front loading washers and dryers.
8. Rooftop Telecommunications Equipment. Telecommunications equipment may be placed on the proposed multi-family building rooftops and facades. Any such facilities must comply with the applicable requirements of the Ordinance and be screened and/or setback sufficiently from the perimeter of the roof and penthouse such that they are not visible from the surrounding streets at street level. Other screening measures may be used such as including the facilities as part of the architecture of the buildings, utilizing compatible colors, or employing telecommunication screening material and flush mounted antennas.
9. Residential Building Certifications.
  - A. Building A.
    - (i) The Applicant shall include, as part of the building plan submission for Building A to be constructed on the Property, a list of specific credits within the project's registered version of the U.S. Green Building Council's Leadership in Energy and Environmental Design New Construction ("LEED®-NC") rating system, or other LEED rating system determined to be applicable by the U.S. Green Building Council

("USGBC"), or its equivalent (as determined by the Applicant and Fairfax County), that the Applicant anticipates attaining. All references herein to LEED-NC include both LEED-NC or its equivalent as determined by the Applicant and the County and all references to USGBC include the applicable equivalent agency.

Except as otherwise provided below in Paragraph E as an alternative, a LEED or equivalent-accredited professional (the "LEED-AP") who is also a professional engineer or architect shall provide certification statements at the time of building plan review confirming that the items on the list will meet at least the minimum number of credits necessary to attain LEED-NC certification of the building.

- (ii) The Applicant shall designate the Chief of the Environment and Development Review Branch ("EDRB") of DPZ as a team member in the USGBC's LEED Online system. This team member will have privileges to review the project status and monitor the progress of all documents submitted by the project team, but will not be assigned responsibility for any LEED credits and will not be provided with the authority to modify any documentation or paperwork.
- (iii) Prior to issuance of a building permit, the Applicant shall Post a "green building escrow" in the form of cash or a letter(s) of credit from a financial institution acceptable to the Department of Public Works and Environmental Services ("DPWES") as defined in the Fairfax County Public Facilities Manual ("PFM"), in the amount of \$2.00/square foot of GFA, as shown on the approved site plan. This green building escrow shall be in addition to and separate from other bond requirements and will be released upon demonstration of attainment of LEED-NC certification, by the USGBC, under the project's registered version of the LEED-NC rating system or other LEED rating system determined, by the USGBC, to be applicable to each building. The provision to EDRB of documentation from the USGBC that the building has attained LEED-NC certification will be sufficient to satisfy this commitment.
- (iv) At the time LEED-NC certification is demonstrated to EDRB, the escrowed funds and/or letter(s) of credit shall be released to the Applicant.

If prior to bond extension, reduction or final bond release for the applicable building site, whichever occurs first, the Applicant provides to EDRB documentation demonstrating that LEED-NC certification for the building has not been attained but that the building has been determined by the USGBC to fall within three (3) points of attainment of LEED-NC certification, 50% of the green building escrow will be released to the Applicant; the other 50% will be released to Fairfax County and will be posted to a fund within the County budget supporting implementation of

county environmental initiatives. If the certification is still in progress at the time of application for bond extension or reduction, the time frame for the provision of the documentation described above shall be automatically extended to the time of the next bond extension or reduction. However, the documentation must be provided prior to the final bond release for the applicable building site.

If prior to bond extension, reduction or final bond release for the applicable building site, whichever occurs first, the Applicant fails to provide documentation to EDRB demonstrating attainment of LEED-NC certification or the Applicant provides documentation demonstrating that the building has fallen short of LEED-NC certification by three (3) points or less, the entirety of the escrow for that building will be released to Fairfax County and will be posted to a fund within the County budget supporting implementation of County environmental initiatives. If the certification is still in progress at the time of application for bond extension or reduction, the time frame for the provision of the documentation described above shall be automatically extended to the time of the next bond extension or reduction. However, the documentation must be provided prior to the final bond release for the applicable building site.

- (v) As an alternative to the actions outlined in the Sub-paragraphs (i), (iii) and (iv) above, the Applicant may choose at its sole discretion to pursue a certification level higher than LEED-NC, in which case the LEED-AP will provide certification statements at the time of building plan review confirming that the items on the list of specific credits will meet at least the minimum number of credits necessary to attain LEED-NC Silver certification.

Prior to issuance of a building permit for the building, the Applicant shall submit documentation to EDRB, regarding the USGBC's preliminary review of design-oriented credits in the LEED program. This documentation will demonstrate that the building is anticipated to attain a sufficient number of design-related credits that, along with the anticipated construction-related credits, will be sufficient to attain LEED-NC Silver certification. Under this alternative, the Applicant is not required to provide a "green building escrow" unless the Applicant fails to provide the above referenced documentation that the building is anticipated to attain LEED-NC Silver certification.

Prior to final bond release of the applicable building site, the Applicant shall submit documentation to EDRB, confirming the status of LEED certification.

- (vi) As an alternative to the actions outlined in the Paragraphs (i), (iii), (iv) and (v) above, if applicable and if the project meets the eligibility criteria for the rating system, the Applicant may select, subject to EDRB approval, an alternate residential rating system such as Earth Craft, Energy Star Qualified Homes for Multifamily High Rise, or the 2012 National Green Building Standard (NGBS) using the ENERGY STAR® Qualified Homes path for energy performance that may be implemented without an escrow. If one of the alternate residential rating systems listed herein is selected as an alternative to the previous paragraphs, the Applicant shall note the selected system and provide a completed checklist of the anticipated options to be pursued for the specified rating system at the time of site plan and building plan review. The Applicant shall demonstrate attainment of the selected certification from a rater recognized through the selected program prior to the bond extension, reduction or final bond release of each building site, whichever occurs first. If the certification is still in progress at the time of application for bond extension or reduction, the time frame for the provision of the documentation described above shall be automatically extended to the time of the next bond extension or reduction. However, the documentation must be provided prior to the final bond release for the applicable building site.

B. Two-over-Two Multi-Family and Single-Family Attached Dwellings. In support of energy conservation and green building techniques; the Applicant, in consultation with EDRB, shall seek certification from one of the following programs that offer third party review of green building or energy efficient measures. The Applicant shall have sole discretion to choose the program to be utilized.

- (i) Certification in accordance with the Earth Craft House program as demonstrated through documentation provided to DPWES and EDRB prior to the issuance of a RUP; or
- (ii) Certification in accordance with the National Green Building Standard (NGBS) using the ENERGY STAR® Qualified Homes path for energy performance, as demonstrated through documentation submitted to DPWES and EDRB from a home energy rater certified through Home Innovation Research Labs that demonstrates that the dwelling unit has attained the certification prior to the issuance of the RUP for each dwelling; or
- (iii) Certification in accordance with the National Association of Home Builders (NAHB) National Green Building Program, Bronze level, as demonstrated through submission of a copy of the “Green Certificate” issued by NAHB in accordance with its “Green Certificate Program” prior to the issuance of the RUP for each dwelling.

10. Use of Garages and Driveways. Individual garages associated with the two-over two multi-family dwellings and the single-family attached dwellings shall only be used for a purpose that will not interfere with the intended purpose of garages (e.g., parking of vehicles and storage of trash and recycling containers). This shall not preclude the use of garages as sales offices in the model homes during marketing of the development, with the understanding the sales offices will be converted back to garages upon sale of the models. A covenant setting forth these restrictions shall be recorded among the land records of Fairfax County in a form approved by the Office of the County Attorney prior to the sale of any units and shall run to the benefit of the HOA and the Board. Prospective purchasers shall be advised of these restrictions, and the interior dimensions of the garage, in writing prior to entering into a contract of sale. These restrictions and the interior dimensions of the garages shall be included in the marketing materials for the initial sales of units on the Property in the homeowner's association and condominium association documents prepared for the Property in order to provide notice to prospective purchasers in connection with future resales of the units.

All driveways that will be used for parking shall be 18 feet in length or greater. Otherwise driveways should not exceed four (4) feet in length, however a driveway of up to six (6) feet in length is permissible when needed to accommodate offsets in the building facades.

11. Noise Study. Prior to site plan submission, the Applicant shall provide a noise study to determine what, if any, noise attenuation measures may be needed for dwelling units impacted by noise associated with the Dulles Airport Access Road and Centreville Road. Such study shall be submitted to EDRB for review. Based on the findings of that report, the Applicant shall identify units on the site plan that are anticipated to be impacted by noise greater than 65 dBA Ldn and shall provide noise attenuation measures designed to reduce interior noise of those identified noise impacted units to a level of approximately 45 dBA Ldn.

#### LANDSCAPING AND TREE PRESERVATION

12. Conceptual Landscape Plan. The CDP/FDP includes a conceptual landscape plan for the Property consisting of an overall plan and details regarding streetscapes, publicly accessible urban park areas, courtyards and private amenity areas.

As part of the site plan submission for each building phase, the Applicant shall submit to the Urban Forest Management Division of the DPWES ("UFMD") for review and approval a landscape plan that is in substantial conformance with the concepts and quality of plantings and materials shown on the CDP/FDP, and shall include, among, other things, design details for planting areas, the composition of planting materials, and methods for ensuring the viability of plantings. Adjustments to the type and location of plantings may be permitted to avoid conflicts with utilities, sight distance, and other site engineering considerations.

13. Streetscaping. Streetscaping shall be installed along Woodland Park Road and Verisign Way as conceptually illustrated on Sheets 9 and 15. Streetscape elements shall include: a landscape amenity panel located immediately behind the face of curb; a pedestrian sidewalk adjacent to the landscape amenity panel; and a building zone between the pedestrian sidewalk and the face of the building(s) that is designed to allow access to the building, steps, stoops, and/or additional landscaping. Streetscaping elements may be adjusted at the time of site plan approval provided the quality of the streetscape and minimum sidewalks are consistent with that shown on the CDP/FDP. The Applicant shall design the streetscape to accommodate a future bus shelter subject to review and approval of FCDOT. Notwithstanding what is shown on the CDP/FDP, at the time of site approval, the Applicant shall provide a minimum eight (8) foot building zone along Building A's Verisign Way frontage.
- A. Street Trees. Tree planting sites are set forth on the CDP/FDP, subject to revisions as may be approved at site plan review by the UFMD or necessitated by providing bus stop shelters, sight distance requirements, clear zone requirements, etc. The Applicant shall retain the services of a Certified Landscape Architect, Certified Arborist, or Registered Consulting Arborist to monitor the design and inspect the planting of the street trees and shall notify UFMD in writing or by electronic mail no later than three business days prior to tree pit construction to allow for County inspection.
- B. Non-Invasive Plant Materials. Invasive species, as defined by the PFM, shall not be used within the streetscape and landscaped open space areas on the Property.
- C. Utility Locations. Utilities, including, but not limited to water, sanitary sewer and storm sewer utility lines shall, to maximum extent feasible, be installed in locations that do not conflict with the landscaped open space areas and streetscape elements shown on the CDP/FDP. If there is no other option, utilities may be placed within open space or streetscape areas provided that the long-term health of trees and other plantings is ensured by the provision of sufficient soil volume as shown on the CDP/FDP, as determined by the UFMD. No underground electrical vaults shall be placed in areas that are intended to be part of VDOT maintained right-of-way.
- D. Sight Distance Considerations. Sight distance requirements have been provided on the CDP/FDP so as to identify and avoid conflicts with street tree locations. If determined at the time of site plan review that street tree locations conflict with sight distance requirements, the Applicant shall investigate whether limited pruning or minor adjustments to the locations of street trees will alleviate sight distance concerns. In the event the Virginia Department of Transportation ("VDOT") does not approve the tree locations even after the changes anticipated above, the Applicant shall be permitted to relocate the affected street tree, subject to approval by UFMD. If the deleted street tree(s) result in a tree canopy below 10% on the Property, the street tree(s) must be accommodated in another location on the Property, as approved by UFMD.

- E. Site Furnishings, Materials and Lighting. Site furnishings and materials to be provided on the Property shall be in general conformance with the style and quality shown on Sheet 17 of the CDP/FDP. All streetscape lighting shall be energy efficient. All on-site, outdoor and parking garage lighting shall not exceed that permitted under the Outdoor Lighting Standards of Section 14-900 of the Ordinance.
- F. Maintenance. The Applicant, or any successor associations or equivalent once established, shall maintain and replace in-kind all pedestrian realm elements within the Proposed Development. The pedestrian realm includes all areas between the back of curb and the building zone whether located within the public right-of-way or on private land with public access easements. The Applicant shall enter into the appropriate agreement, in a form approved by the Office of the County Attorney, with the County (or other public entity, as needed) to permit the Applicant to perform such maintenance. Neither the Applicant nor any successor associations or equivalent shall be required to repair or restore any elements of the pedestrian realm within publicly-owned areas that are damaged by public contractors, or permittees that are not acting under the direct authority of the Applicant.
14. Tree Preservation.
- A. Tree Preservation Plan. The Applicant shall submit a Tree Preservation Plan and Narrative as part of the first and all subsequent site plan submissions for building sites that include tree preservation areas shown on the CDP. The preservation plan and narrative shall be prepared by a Certified Landscape Architect, Certified Arborist, or Registered Consulting Arborist (the "Project Arborist"), and shall be subject to the review and approval of UFMD.
- The tree preservation plan shall include a tree inventory that identifies the location, species, critical root zone, size, crown spread and condition analysis percentage rating for all individual trees to be preserved, as well as all on and off-site trees, living or dead with trunks 12 inches in diameter and greater (measured at 4 ½ -feet from the base of the trunk or as otherwise allowed in the latest edition of the Guide for Plant Appraisal published by the International Society of Arboriculture) located within 25 feet to either side of the limits of clearing and grading. The tree preservation plan shall provide for the preservation of those areas shown for tree preservation, those areas outside of the limits of clearing and grading shown on the CDP and those additional areas in which trees can be preserved as a result of final engineering. The tree preservation plan and narrative shall include all items specified in PFM 12-0507 and 12-0509. Specific tree preservation activities that will maximize the survivability of any tree identified to be preserved, such as: crown pruning, root pruning, mulching, fertilization, and others as necessary, shall be included in the plan.

- B. Tree Preservation Walk-Through. The Applicant shall have the limits of clearing and grading marked with a continuous line of flagging prior to the walk-through meeting. During the tree-preservation walk-through meeting, the Project Arborist shall walk the limits of clearing and grading with an UFMD representative to determine where adjustments to the clearing limits can be made to increase the area of tree preservation and/or to increase the survivability of trees at the edge of the limits of clearing and grading, and such adjustment shall be implemented. Trees that are identified as dead or dying may be removed as part of the clearing operation. Any tree that is so designated shall be removed in a manner that avoids damage to surrounding trees and associated understory vegetation. If a stump must be removed, this shall be done in a manner causing as little disturbance as possible to adjacent trees and associated understory vegetation and soil conditions.
- C. Limits of Clearing and Grading. The Applicant shall conform strictly to the limits of clearing and grading as shown on the CDP, subject to allowances specified in these proffered conditions and for the installation of utilities and/or trails as determined necessary by the Director of DPWES, as described herein. If it is determined necessary to install utilities and/or trails in areas protected by the limits of clearing and grading as shown on the CDP, they shall be located in the least disruptive manner necessary as determined by the UFMD. A replanting plan shall be developed and implemented, subject to approval by the UFMD, for any areas protected by the limits of clearing and grading that must be disturbed for such trails or utilities.
- D. Tree Preservation Fencing. All trees shown to be preserved on the tree preservation plan shall be protected by tree protection fence. Tree protection fencing in the form of four (4) foot high, fourteen (14) gauge welded wire attached to six (6) foot steel posts driven eighteen (18) inches into the ground and placed no further than ten (10) feet apart or, super silt fence to the extent that required trenching for super silt fence does not sever or wound compression roots which can lead to structural failure and/or uprooting of trees shall be erected at the limits of clearing and grading as shown on the demolition, and phase I & II erosion and sediment control sheets, as may be modified by the “Root Pruning” paragraph below.

All tree protection fencing shall be installed after the tree preservation walk-through meeting but prior to any clearing and grading activities, including the demolition of any existing structures. The installation of all tree protection fencing shall be performed under the supervision of the Project Arborist and accomplished in a manner that does not harm existing vegetation that is to be preserved. Three (3) days prior to the commencement of any clearing, grading or demolition activities, but subsequent to the installation of the tree protection devices, the UFMD shall be notified and given the opportunity to inspect the site to ensure that all tree protection devices have been correctly installed. If it is determined that the fencing has not been installed correctly, no grading or

construction activities shall occur until the fencing is installed correctly, as determined by the UFMD.

- E. Root Pruning. The Applicant shall root prune, as needed to comply with the tree preservation requirements. All treatments shall be clearly identified, labeled, and detailed on the erosion and sediment control sheets of the site plan submission. The details for these treatments shall be reviewed and approved by the UFMD, accomplished in a manner that protects affected and adjacent vegetation to be preserved, and may include, but not be limited to the following:
- (i) Root pruning shall be done with a trencher or vibratory plow to a depth of 18 inches.
  - (ii) Root pruning shall take place prior to any clearing and grading, or demolition of structures.
  - (iii) Root pruning shall be conducted with the supervision of the Project Arborist.
  - (iv) An UFMD representative shall be informed when all root pruning and tree protection fence installation is complete.
- F. Site Monitoring. During any clearing or tree/vegetation/structure removal on the Property, the Project Arborist shall be present to monitor the process and ensure that the activities are conducted as proffered and as approved by the UFMD. The monitoring schedule shall be described and detailed in the Tree Preservation Plan, and reviewed and approved by the UFMD.

#### TRANSPORTATION IMPROVEMENTS

15. Woodland Park Road. The Applicant shall provide improvements along the Property's Woodland Park Road frontage as described below.
- A. Between Centreville Road to Verisign Way
- (i) At the time of site plan approval for Building A, the Applicant shall dedicate right-of-way, in fee simple without encumbrances, to the Board of Supervisors along the Property's Woodland Park frontage to accommodate an additional west bound right turn lane at the Centreville Road intersection as shown on Sheet 21 of the CDP/FDP. Subject to VDOT approval of a dual right-turn overlap signal phase operating during the left turn phase on Centreville Road, the Applicant shall construct an additional westbound right turn lane along the Property's frontage within the dedicated right-of-way as shown on Sheet 21 of the CDP/FDP. With completion of this improvement, the Applicant shall restripe the westbound approach to the Centreville Road intersection to provide a left turn lane, a shared left-turn lane, and dual right turn lanes.

Should VDOT not approve a dual right-turn overlap signal phase for the westbound right-turn lanes, the applicant shall install a single lane right-turn overlap phase signal, if one is not already provided. The Applicant shall dedicate the right-of-way needed for the second right-turn lane as described above and shall escrow with DPWES the cost of constructing the second right turn lane and signal modification; and thereby be relieved if its obligation to construct the turn lane. The funds escrowed for this improvement may be used for transportation improvements in the vicinity of the Property. The Applicant shall restripe the westbound approach as determined appropriate by VDOT and FCDOT.

- (ii) Notwithstanding what is shown on the CDP/FDP, subject to VDOT approval, the Applicant shall extend the existing 4 foot wide concrete median in Woodland Park Road past the first entrance along the southern side of Woodland Park Road to preclude left turn movements.
- (iii) Subject to VDOT approval, the Applicant shall restripe the eastbound section to accommodate a left turn lane at Verisign Way and a shared through-right lane and provide appropriate signage.

B. East of Verisign Way

- (i) At the time of site plan approval, the Applicant shall dedicate and convey right-of-way, in fee simple without encumbrances, along the Property's frontage including the area of the landscape amenity panel and sidewalk to the Board of Supervisors as shown on Sheet 21. However, should it be determined during the site plan review process that VDOT and/or Fairfax County will not accept the landscape amenity panel and sidewalk within the right-of-way, the Applicant shall not provide additional dedication, but instead shall grant a public sidewalk and utility easement in a form acceptable to the Office of the County Attorney, over the area of the amenity panel/sidewalk.
- (ii) Subject to VDOT's approval, the Applicant shall restripe the section east of Verisign Way to accommodate a bike lane on the north side of the street, an 11 foot westbound through lane adjacent to the striped bike lane, an 11 foot center turn lane, a 14 foot eastbound through lane with sharrow bike markings, and limited on-street parking on the south side of the street, as shown on Sheets 21 and 23. In the event, VDOT approves on-street parking on the north side of the street, the Applicant may substitute parking on the north side in lieu of parking on the south side of the street.

C. The final design of the improvements to Woodland Park Road as generally described above shall be further refined in conjunction with the submission of site plans for those portions of the Property fronting Woodland Park Road and

construction of the improvements shall be provided concurrently with the development of buildings with frontage on Woodland Park Road.

16. Private Streets.

- A. The private streets shown in the CDP/FDP shall be constructed of materials and depth of pavement consistent with the Public Facilities manual ("PFM") standards for public streets.
- B. Initial purchasers shall be advised of the requirement to maintain private streets prior to entering into a contract of sale. This requirement to maintain the private streets as constructed and the estimated maintenance costs shall be included in the homeowners' association and condominium association documents prepared for the Property.
- C. A public access easement in a form acceptable to the County Attorney shall be recorded over all private streets internal to the development at the time of site plan approval. Public access easements shall also be recorded over internal trails and sidewalks.

17. Traffic Signals.

- A. In conjunction with the improvements to Woodland Park Road as set forth in Proffer 15A, and subject to VDOT approval, the Applicant shall modify the existing traffic signal at the intersection of Centreville Road and Woodland Park Road.
- B. The Applicant shall conduct a warrant study for a traffic signal at the intersection of Sunrise Valley Drive and Wood Oak Drive prior to final bond release for the proposed development. If a signal is not deemed warranted by VDOT, then the Applicant shall have no further obligation under this Proffer. If a signal is deemed warranted by VDOT, after having reviewed the warrant study and approving the same, the Applicant shall escrow the sum of \$40,000 with DPWES towards the cost of future signalization by others.

18. Construction Traffic Management. The Applicant shall prepare and implement a construction congestion management plan during construction of each phase of development, so as to provide safe and efficient pedestrian and vehicle circulation at all times on the Property and on the public roadways adjoining the Property. This management plan shall identify anticipated construction entrances, construction staging areas, construction vehicle routes and procedures for coordination with Fairfax County Department of Transportation ("FCDOT") and/or VDOT concerning construction material deliveries, lane or street closures, and/or other construction related activities to minimize disturbance on the surrounding street and sidewalk network.

Such plans shall be prepared by a qualified professional and submitted for review and comment to the VDOT, FCDOT and DPWES with the final site plan.

19. Reston Transportation Fund Contribution. The Applicant shall make a contribution of \$ \_\_\_\_\_ for each residential unit constructed on the Property to Fairfax County to fund transportation improvements in the Reston Transit Station Areas (the “Reston Transportation Fund”). The contribution associated with Building A shall be paid on or before the issuance of the initial RUP for the Building A based on the actual number of residential units in the building. The contributions associated with the two-over-two multi-family and single-family attached dwellings shall be paid on or before the issuance of the RUP for each of those dwellings. The Applicant shall receive and deduct credits against the contributions that would otherwise be due to the Reston Transportation Fund in keeping with the Guidelines for the Reston Transportation Fund endorsed by the Board of Supervisors on \_\_\_\_\_.
20. Future Parking Reductions. The Applicant reserves the right to submit and pursue approval of a parking reduction for Building A from the Board of Supervisors prior to site plan approval for Building A. Thereafter, the Applicant may request approval of further parking reductions for Building A from the Board as permitted by the Zoning Ordinance. Any modification to the parking requirement or layout resulting from a reduction approved by the Board shall not require a PCA, CDPA or FDPA.

#### BICYCLE AND BUS FACILITIES, AND PEDESTRIAN IMPROVEMENTS

21. Bicycle Circulation.
- A. In conjunction with the restriping of Woodland Park Road east of Verisign Way, as provided in Proffer 15B, and subject to VDOT approval, the Applicant shall provide an on-street bicycle lane on the north side of the street, a sharrow on the south side of the street, and associated signage.
  - B. The Applicant shall construct a combined pedestrian/bicycle ten (10) foot wide asphalt shared use trail on the Property’s frontage on Woodland Park Road west of Verisign Way to Centreville Road. The Applicant shall record public access easement(s) in a form acceptable to the County Attorney ensuring the area of the multi-use trail is accessible to the public. Construction of the multi-use trail shall occur concurrently with the construction of a new right turn lane as provided in Proffer 15A.
  - C. Subject to FCDOT review and approval, the Applicant shall provide guide signage along the trail on Verisign Way and the internal pond for bicycle circulation.
22. Bicycle Parking. The Applicant shall provide bicycle racks throughout the Property, at a minimum ratio of 1 space per 25 residential units, in the general locations shown on the CDP/FDP and as may be refined at site plan. Exterior bike racks shall be as shown on Sheet 17 of the CDP/FDP or other design approved by FCDOT. An interior bike storage room shall be provided in Building A and shall include one (1) bike storage space for every three (3) dwelling units in Building A.

23. Marked Crosswalks. Subject to VDOT approval and concurrent with the improvements outlined in Proffer 15A, the Applicant shall install a new marked pedestrian crosswalk and pedestrian signalization across Centreville Road on the north approach at Woodland Park Drive. The Applicant shall also install other marked pedestrian crosswalks as shown on Sheet 7 of the CDP/FDP, subject to VDOT approval.
24. Bus Stop/Shelter. A bus stop/shelter location shall be evaluated for feasibility at the time site plan approval in consultation with FCDOT. If at the time of site plan approval, Fairfax County requests provision of a bus stop or shelter, the Applicant shall provide the requisite easement (but not additional right-of-way to accommodate a bus bay) and shall construct the requested bus shelter prior to bond release for the applicable site plan. The bus stop/shelter location may necessitate adjustments to street tree locations and other street furnishings from that shown on the CDP/FDP which shall be accommodated without the requirement for a CDPA or FDPA.

#### TRANSPORTATION DEMAND MANAGEMENT

25. Dulles Area Transportation Association (DATA). The Applicant shall join DATA and participate in its efforts to reduce single occupant vehicular trips.
26. Transportation Demand Management. The Applicant shall fund, implement and administer a transportation demand management program for the Property as described in this Proffer (the "TDM Program"). It is intended that the first new building to be constructed on the Property will initiate implementation of what will become a Property-wide TDM program that later buildings to-be-constructed on the Property will join.
  - A. TDM Plan. The proffered elements of the TDM Program as set forth below are more fully described in the *Woodland Park West-Waterview Transportation Demand Management Plan* prepared by Wells + Associates, Inc. dated May, 2016 (the "TDM Plan") as may be amended. It is the intent of this Proffer that the TDM Plan adapt over time to respond to the changing transportation related circumstances of the Property, the surrounding community and the region, as well as to technological and/or other improvements, all with the objective of meeting the trip reduction goals as set forth herein. Accordingly, modifications, revisions, and supplements to the TDM Plan as coordinated with FCDOT can be made without the need for a PCA provided that the TDM Plan continues to reflect the proffered elements of the TDM Program as set forth below.
  - B. Responsible Party. The Applicant, or any successor other than the UOA or its equivalent, shall remain obligated under this Proffer until such time as three consecutive post Stabilization trip counts reveal that the applicable vehicle trip reduction goals are being met (the "Applicant Control Period"). At the end of the Applicant Control Period, the Umbrella Owners Association (UOA) or equivalent shall become obligated under this Proffer and Applicant, or any successor other than the UOA or equivalent, shall have no further obligation with respect to this Proffer.

- C. Definitions. For purposes of this Proffer, “Build-Out” shall be deemed to occur one-year following issuance of the last initial RUP for the final residential unit to be constructed on the Property. “Pre-build out” shall be deemed to occur any time prior to Build-Out.
- D. Trip Reduction Objective. The objective of this TDM Program shall be to reduce the vehicle trips generated by new residents of the Property by twenty percent (20%) during weekday P.M. peak hours. This trip reduction percentage shall be multiplied by the total number of vehicle trips that would be expected to be generated by the uses developed on the Property as determined by the application of the Institute of Traffic Engineers, 9<sup>th</sup> Edition, *Trip Generation* rates and/or equations (the "ITE Trip Generation"), and the number of trips determined by the product of such equation shall be referred to herein as the "Maximum Trips After Reduction". For purposes of this calculation, the maximum number of dwelling units proposed to be constructed on the Property as determined at the time of site plan approval shall be applied to the calculation described in the preceding sentence.
- E. TDM Program Components. The TDM Program shall include, but not necessarily be limited to strategies which are more fully described in the TDM Plan and any subsequent Annual Reports that are submitted to FCDOT.
- F. Process of Implementation. The TDM Program shall be implemented as follows, provided that modifications, revisions, and supplements to the implementation process as set forth herein as may be approved by the FCDOT can be made without the need for a PCA.
- (i) TDM Program Manager (“TPM”). The Applicant shall appoint and continuously employ, or cause to be employed, a TPM for the Property no later than sixty (60) days after the issuance of the first building permit for the first new building to be constructed on the Property. The TPM duties may be part of other duties associated with the appointee. The Applicant shall notify FCDOT and in writing within 10 days of the appointment of the TPM. Thereafter the Applicant shall do the same within ten (10) days of any change in such appointment. Following the termination of the Applicant Control Period, the UOA shall be responsible for employment of the TPM.
- (ii) TDM Work Plan, Annual Report and TDM Budget. The TPM shall prepare and submit to FCDOT an initial TDM Work Plan ("TDMWP") and Budget no later than 180 days after issuance of the first building permit for the first new building on the Property. The TDMWP shall include, at a minimum:
- a. Details as to the components of the TDM program that will be put into action that year;

- b. Any revisions to the budget needed to implement the program for the coming calendar year;
- c. A determination of the applicable Maximum Trips After Reduction for the Property;
- d. Provision of the specific details associated with the monitoring and reporting requirements; and
- e. Submission of the results of any Person Surveys and Vehicular Traffic Counts conducted on the Property.

The TDMWP shall be reviewed by FCDOT. If FCDOT has not responded with any comments within sixty (60) days after submission then the TDMWP shall be deemed approved and the TDM program shall be implemented. If FCDOT responds with comments on the TDMWP, then the TPM will meet with FCDOT staff within fifteen (15) days of receipt of the County's comments. Thereafter but in any event, no later than thirty (30) days after the meeting, the TPM shall submit such revisions to the TDMWP as discussed and agreed to with FCDOT and begin implementation of the approved program. Each calendar year thereafter, but no later than February 1, the TPM shall submit a report which summarizes the results of the previous year's TDM Program, incorporates any new construction on the Property, proposes modifications or enhancements to program elements, and establishes a budget to cover the costs of implementation of the program for the succeeding year (the "Annual Report"). The Annual Report and TDM Budget shall be submitted to FCDOT and reviewed in the same manner as outlined above for the TDMWP and TDM Budget. The expected annual amounts of the Budget are further described in Section 5 of the TDM Plan.

- G. TDM Account. The Applicant, through the TPM, shall establish a separate interest bearing account with a bank or other financial institution qualified to do business in Virginia as approved by Fairfax County (the "TDM Account") within 30 days after approval of the TDMWP. All interest earned on the principal shall remain in the TDM Account and shall be used by the TPM for TDM purposes. The TDM Account shall be funded solely by the Applicant, through the TPM, until the end of the Applicant Control Period. At the end of the Applicant Control Period, a line item for the TDM Account shall be included in the UOA, or its equivalent, budget. The governing documents that establish and control the development shall provide that the TDM Account shall not be eliminated as a line item in the governing budget and that funds in the TDM Account shall not be utilized for purposes other than to fund TDM strategies/programs and/or specific infrastructure needs as may be approved in consultation with FCDOT.

Funding of the TDM Account shall be in accordance with the budget for the TDM Program elements to be implemented in a given year. In no event shall the TDM Budget for the Property overall be required to exceed \$41,700 and in no event shall an individual building's obligation to fund the TDM Budget exceed the proportion set forth in the TDM Plan. The TPM shall provide written documentation to FCDOT demonstrating the establishment of the TDM Account within ten (10) days of its establishment. The TDM Account shall be replenished annually thereafter following the establishment of each year's TDM Budget. The TDM Account shall be managed by the TPM.

- H. TDM Incentive Fund. The "TDM Incentive Fund" is an account into which the Applicant, through the TPM, shall deposit a contribution to fund a multimodal incentive program for initial purchasers/lessees within the Proposed Development. A one-time contribution of \$5,230.00 shall be made prior to the issuance of the first RUP for the Property. In addition to providing transit incentives, such contributions may also be used for enhancing/providing multimodal facilities within and proximate to the Property.
- I. Monitoring. The TPM shall verify that the proffered trip reduction goals are being met through the provision of Commute Surveys and/or Vehicular Traffic Counts of new residential uses and/or other such methods as may be reviewed and approved by FCDOT. The results of such Commute Surveys and Vehicular Traffic Counts shall be provided to FCDOT as part of the Annual Reporting process. Commute Surveys shall be conducted and Vehicular Traffic Counts collected for the Property one year following issuance of the final initial RUP for the Property.

Commute Surveys shall be conducted every three (3) years thereafter and Vehicular Traffic Counts shall be collected every two (2) years thereafter until the results of three consecutive annual traffic counts show that the applicable Maximum Trips After Reduction for the Property are not exceeded. At such time as three consecutive traffic counts show that the applicable Maximum Trips After Reduction for the Property has not been exceeded, the Applicant Control Period associated with the Property shall terminate. Any time during which Person Survey response rates do not reach twenty percent (20%), FCDOT may request additional surveys to be conducted the following year. At such time and notwithstanding the provisions below, Commute Surveys and Vehicular Traffic Counts shall thereafter be provided every five (5) years. Notwithstanding the aforementioned, at any time prior to or after Build-Out, FCDOT may suspend such Commute Surveys and/or Vehicular Traffic Counts if conditions warrant such.

#### AFFORDABLE/WORKFORCE HOUSING

27. Affordable Dwelling Units. Affordable Dwelling Units ("ADUs") shall be provided pursuant to Part 8 of Article 2 of the Ordinance unless modified by the ADU Advisory

Board. The Applicant reserves the right to provide ADUs associated with the two-over-two multi-family dwellings and the single-family attached dwellings within Building A, but only with the written authorization of the owner of the Building A site (Tax Map parcels 16-3 ((1)) 29D and 16-3 ((11)) 7).

28. Workforce Dwelling Units. In addition to any ADUs that may be required pursuant to these Proffers, the Applicant shall also provide Workforce Dwelling Units ("WDUs") on the Property in accordance with the Board of Supervisors' Workforce Dwelling Unit Administrative Policy Guidelines dated October 15, 2007. WDUs shall be provided such that the total number of ADUs, if any, plus the total number of WDUs results in not less than twelve percent (12%) of the total residential units constructed as part of the Proposed Development; with any units created with bonus floor area excluded from the 12% WDU calculation. Any ADUs and the ADU bonus units shall be deducted from the total number of dwelling units on which the WDU calculation is based.

The Applicant reserves the right to provide WDUs associated with the two-over-two multi-family dwellings and single-family attached dwellings within Building A, but only with the written authorization of the owner of the Building A site (Tax Map parcels 16-3 ((1)) 29D and 16-3 ((11)) 7). The WDUs shall have a bedroom mix similar to the bedroom mix in the market rate units in the same building.

#### PARKS AND RECREATIONAL FACILITIES

29. Publicly Accessible Parks. The Applicant shall provide publicly-accessible park and open space areas on the Property in general conformance with the concepts and locations and depicted on the CDP/FDP. The Applicant shall retain the area(s) in fee simple, ensure that the park space is open to the public for periods of time consistent with traditional Fairfax County parks; and provide for perpetual private maintenance. Public access easements shall be recorded over the trails, walkways, and nearby seating areas within publicly accessible parks, however the Applicant reserves the right to reasonably restrict access for limited times for special events, security, maintenance and repairs, and/or safety purposes.

The variety and quantity of recreational facilities and amenities provided in the publicly accessible parks shall generally follow those shown on the CDP/FDP, but the recreational facilities and amenities to be provided shall be subject to refinement and adjustment at the time of site plan, provided they result in a similar variety and level of physical activity.

The following publicly accessed parks shall be provided as identified on Sheet 8A of the CDP:

- A. A Community Pocket Park to be located west of Verisign Way includes an open lawn panel, shade structure, adult exercise/fitness area, decorative pavement, asphalt trails, seating and enhanced landscaping as generally shown on Sheet 11 of the CDP/FDP. Construction of this park shall be concurrent with Building A.

- B. An Amphitheater Lawn Terrace and Linear Park to be located along the south side of the existing pond between Verisign Way and Woodland Park Road includes a terraced lawn, shade structures, riparian plantings, benches, lighting, and pathways as generally shown on Sheet 12 of the CDP/FDP. Construction of the Amphitheater Lawn Terrace and the portion of the Linear Park between Verisign Way and the Amphitheater Lawn Terrace shall occur concurrently with Building A. The portion of the Linear Park east of the Amphitheater Lawn Terrace shall be constructed concurrently with the single-family attached units fronting on to the pond. Notwithstanding what is shown on the CDP/FDP, the private entrance stoops for the adjacent single-family attached dwellings shall be reduced in size in order to accommodate a landing behind the public path/sidewalk and avoid pedestrian conflicts.
- C. Pedestrian Promenade Park, a linear park located between Building A and the two-over two multi-family units that will include low-impact development techniques, multi-level pedestrian sidewalks, enhanced landscaping, and benches as generally shown on Sheet 13 of the CDP/FDP. Construction of this park shall occur with the construction of Building A or the two-over-two multi-family units, whichever occurs last.
30. Amenities and Facilities for Residents. The Applicant shall provide on-site recreational facilities for the future residents of the Property. Pursuant to Paragraph 2 of Section 16-404 of the Ordinance regarding developed recreational facilities, the Applicant shall expend a minimum of \$1,800 per market-rate unit on such recreation facilities. Prior to final bond release for the Property, the balance of any funds not expended on-site, as determined by DPWES shall be contributed to the Fairfax County Board of Supervisors for the provision of recreation facilities serving the vicinity of the Property. Amenities to be provided may include, but not be limited to:
- A. Exterior recreational areas and interior open courtyards which may include, but not be limited to, seating areas, walking paths, specialty landscaping, lawn areas, hardscape areas, passive recreation areas, tot lots, outdoor adult exercise areas and swimming pools;
  - B. Clubroom(s) for community gatherings (Building A);
  - C. Media/entertainment center(s) (Building A); and
  - D. Fitness center(s) with exercise equipment such as stationary bikes, treadmills, weight machines, free weights, etc. and/or sports courts (Building A).
31. Athletic Field Contribution. To address the Comprehensive Plan's recommendations for the provision of athletic fields in the Reston Transit Station Areas, the Applicant shall contribute the sum of \$913,000 to the Board of Supervisors for the acquisition and/or development of athletic fields serving the Reston Transit Station Areas. The contribution shall be made in two payments as follows:

- A. Prior to the issuance of the first RUP for Building A, the Applicant shall contribute the sum of \$553,000; and
- B. Prior to the issuance of the first RUP for either the two-over-two multi-family units or the single-family attached units, the Applicant shall contribute the sum of \$360,000.

### PUBLIC FACILITIES

32. Public School Contribution. Per the Residential Development Criteria Implementation Motion adopted by the Board of Supervisors on September 9, 2002, as revised, the Applicant shall contribute \$11,749 per expected student (based on a ratio of 0.100 student per multi-family unit, 0.325 student per two-over two multi-family unit, and 0.441 student per single-family attached unit) to the Fairfax County School Board to be utilized for capital improvements to schools that any students generated by the Property will attend. Such contribution shall be made in two installments. One installment shall be made prior to the issuance of the first RUP for Building A based on the actual number of dwelling units built in that building. The other installment shall be made prior to the issuance of the first RUP for the two-over-two multi-family units and the single-family attached units based on the actual number of dwelling units approved on the applicable portion of the site plan.

If, prior to site plan approval for the respective residential buildings, Fairfax County should modify, on a county-wide basis, the expected ratio of students per subject multi-family or single family attached unit or the amount of the contribution per student, the amount of the contribution shall be modified for that building to reflect the then current ratio and/or contribution. If the County should decrease the ratio or contribution amount, the amount of the contribution shall be decreased to reflect the current ratio and/or contribution. This contribution is not subject to the provisions of Proffer 39.

33. Fire Department Contribution. The Applicant shall contribute a total of \$20,000 to Fairfax County toward the cost of preemptive devices on traffic signals. A contribution of \$10,000 shall be paid upon site plan approval for Building A and a second contribution of \$10,000 shall be paid upon site plan approval for the two-over-two multi-family units or single-family attached dwelling unit, whichever shall occur first.

### ENVIRONMENT

34. Stormwater Management.
- A. Stormwater Management/Best Management Practices (“SWM/BMPs”) for the Property have been provided pursuant to the overall SWM/BMP “Woodland Park Pond” plan previously constructed partially on-site and partially off-site pursuant to Site Plan 5518-SP-006-3. The Proposed Development complies with the Fairfax County Storm Water Management Code as stated in Stormwater Management Ordinance Determination letter #5518-SWOD-003-1 provided by DPWES on February 5, 2016 and included on Sheet 26 of the CDP/FDP.

- B. To further meet the objectives of the Comprehensive Plan with regard to environmental stewardship and the goal of reducing stormwater runoff volume or delaying its entry in to the stream system, and subject to DPWES approval, the Applicant shall utilize low impact development (“LID”) techniques as reflected on Sheet 28 of the CDP/FDP.
35. Floodplain Review. At the time of site plan approval, the Applicant shall provide documentation to DPWES verifying the location of the floodplain on the Property. Should any individual lots extend into the floodplain, the Applicant shall inform the prospective purchaser(s) of such lot(s) of the floodplain location in writing prior to entering into a contract of sale. A floodplain disclosure, identifying the lots extending in the floodplain, shall be included in the homeowner's association documents in order to provide notice to prospective purchasers in connection with future resales of the units.

#### MISCELLANEOUS

36. Metrorail Tax District Buyout for Residential Single Family Attached and Two-Over Two Multi-Family Uses. Approval of this Application will change the use of a portion of the Property from one that is subject to an annual special improvement tax payable to the Phase II Dulles Rail Transportation Improvement District (the “District”) to one that is not subject to payment of that tax. Pursuant to Virginia Code Ann. §33.2-2107 (2016), the Applicant shall pay to the County an amount to be determined by the Department of Tax Administration, which is the amount representing the County’s estimate of the present value of special improvement taxes that would have been payable to the District had that portion of the Property continued as a use subject to payment of that tax. This payment is due to the County from the Applicant within 60 days of the end of the appeal period associated with the date of approval of this Application. If that payment is not made, then this approval shall be null and void and of no effect, without further action by the Board of Supervisors. If at some future time, the Property again becomes subject to payment of the special improvement tax to the District, then a portion of the lump sum payment may be credited towards the payment of subsequent special improvement taxes for the Property in an amount as reasonably determined by the County on a pro rata basis, considering the lapse of time that the Property was not so subject to payment of the special improvement tax.
37. Metrorail Tax District Buyout for Building A. At least sixty days prior to registration with the Common Interest Community Board of any residential condominium documents and/or at least sixty days prior to recordation of homeowner association documents that would change the use of the Building A from a use that is taxable for purposes of the now existing Phase II Dulles Rail Transportation Improvement District (the "Phase II District") to a use that is not subject to the Phase II District tax, the Applicant shall provide a written notice to the Director of the Real Estate Division of the Fairfax County Department of Tax Administration advising that the Applicant intends to register such condominium documents or record such homeowner association documents for that portion of the Property. Prior to registering the condominium documents or recording

such homeowner association documents, the Applicant shall pay to Fairfax County a sum equal to the then-present value of Phase II District taxes estimated by the County to be lost as a result of that change in use.

38. Zoning Administrator Consideration. Notwithstanding the foregoing, upon demonstration by the Applicant that, despite diligent efforts or due to factors beyond the Applicant's control, the required improvements proffered have been delayed (due to, but not limited to an inability to secure necessary permission for utility relocations and/or VDOT approval for traffic signals, etc.) beyond the timeframes specified, the Zoning Administrator may agree to a later date for completion of these improvement(s).
39. Adjustment in Contribution Amounts. All monetary contributions, except as may be further specified in these Proffers, shall adjust on a yearly basis from the base month of January 2018 and change effective each January 1 thereafter, as permitted by Virginia State Code Section 15.2-2303.3.
40. Advanced Density Credit. Advanced density credit is reserved consistent with the provisions of the Fairfax County Ordinance for all eligible dedications described herein or as may be required by Fairfax County or VDOT.
41. Severability. Pursuant to Section 18-204 of the Ordinance, any portion of the Property may be the subject of a proffered condition amendment (“PCA”), Special Exception (“SE”), Special Permit (“SP”), or Final Development Plan Amendment (“FDPA”) without joinder and/or consent of the owners of the other portions of the Property, provided that such PCA, SE, SP or FDPA does not materially adversely affect the other phases. Previously approved zoning applications applicable to the balance of the Property that is not the subject of such a PCA, SE, SP or FDPA shall otherwise remain in full force and effect.
42. Successors and Assigns. These Proffers will bind and inure to the benefit of the Applicant and their successors and assigns. Each reference to “Applicant” in this proffer statement shall include within its meaning and shall be binding upon Applicant's successor(s) in interest and/or the owners from time to time of any portion of the Property during the period of their ownership. Once portions of the Property are sold or otherwise transferred, the associated proffers become the obligation of the purchaser or other transferee and shall no longer be binding on the seller or other transferee. With respect to any portion of the Property subject to a COA or HOA, the COA or HOA shall have liability for performance of any applicable proffers, but not the individual condominium owners.
43. Counterparts. These Proffers may be executed in one or more counterparts, each of which when so executed and delivered shall be deemed an original, and all of which taken together shall constitute but one and the same instrument.

[SIGNATURES BEGIN ON NEXT PAGE]

APPLICANT/CONTRACT PURCHASER  
of Tax Map 16-3 ((1)) 29D, 29E and 16-3 ((11)) 7

NVR, INC.

By: \_\_\_\_\_

Name: Jeffrey D. Martchek

Its: Area President

[SIGNATURES CONTINUE ON NEXT PAGE]

TITLE OWNER OF  
Tax Map 16-3 ((1)) 29D and 16-3 ((11)) 7

WOODLAND PARK TWO DULLES, L.P.

By: \_\_\_\_\_

Name: Steven R. Wechsler

Its: Senior Managing Director

[SIGNATURES CONTINUE ON NEXT PAGE]

TITLE OWNER OF  
Tax Map 16-3 ((1)) 29E

COPT WATERVIEW III, LLC

By: \_\_\_\_\_  
Name: Stephen E. Budorick  
Its: President

[SIGNATURES END]

**Proposed Final Development Plan Conditions**

**FDP 2016-DR-001**

**NVR, Inc.**

**August 31, 2016**

If it is the intent of the Planning Commission to approve FDP 2016-DR-001 located at Tax Map Parcels 16-3 ((1)) 29D, 29E and 16-3 ((11)) 7, staff recommends conditioning the approval by requiring conformance with the following development conditions.

1. Development of the property shall be in substantial conformance with the Final Development Plan entitled "Woodland Park Waterview" as submitted by Gordon, consisting of 30 sheets, dated December 2015 as revised through August 17, 2016.
2. Prior to site plan approval, the applicant shall demonstrate that the residential gross square footage will not exceed 456,000 square feet prior to the provision of affordable dwelling units in accordance with Section 2-800 of the Zoning Ordinance and bonus market units associated with workforce dwelling units provided in accordance with the Policy Plan.

The above proposed development condition is a staff recommendation and does not reflect the position of the Planning Commission unless and until adopted by the Planning Commission.



**WALSH COLUCCI  
LUBELEY & WALSH PC**

Elizabeth D. Baker  
Senior Land Use Planner  
(703) 528-4700 Ext. 5414  
[ebaker@thelandlawyers.com](mailto:ebaker@thelandlawyers.com)

January 7, 2015

Barbara C. Berlin, Director  
Zoning Evaluation Division  
Fairfax County Department of Planning and Zoning  
12055 Government Center Parkway, Suite 801  
Fairfax, Virginia 22035

Re: Woodland Park Waterview  
Application for Rezoning to PDH-30  
NVR, Inc. (the "Applicant")  
Tax Map 16-3 ((1)) 29D, 29E and 16-3 ((11)) 7 (the "Application Property")

Dear Ms. Berlin:

This letter serves as the statement of justification for an application to rezone a portion of the Woodland Park Waterview development from the Planned Development Commercial ("PDC") District to the Planned Development Housing ("PDH-30") District. The Applicant seeks to amend the current approvals and gain approval of a residential community with a mixture of multi-family and single family attached dwelling units in keeping with the newly adopted Comprehensive Plan for the Reston Transit Station Areas.

**I. Property Description**

The Application Property includes 11.95 acres of land situated east of Centreville Road and north of Woodland Park Road. It is part of a larger development extending from Centreville Road to Monroe Street referred to as Woodland Park. The Application Property is currently undeveloped. Verisign Way is an existing private street running north-south in the western portion of the Application Property. This road provides access to an existing office building located north of the site. Additional office buildings are located east of the Application Property. South, across Woodland Park Drive, is a hotel zoned C-8 and an established multi-family community and private school zoned PDH-30. Arrowbrook Park is located to the west across Centreville Road, as is an approved, yet unbuilt, mixed use community zoned PDC.

ATTORNEYS AT LAW

703 528 4700 ■ WWW.THELANDLAWYERS.COM  
2200 CLARENDON BLVD. ■ SUITE 1300 ■ ARLINGTON, VA 22201-3359

LOUDOUN 703 737 3633 ■ WOODBRIDGE 703 680 4664

## **II. Zoning History and Request**

RZ 1999-HM-037 - On September 11, 2000, the Board of Supervisors rezoned 29.04 acres located in the western portion of Woodland Park from the I-4 District to the PDC and I-4 Districts. The application also included 4.04 acres of public right-of-way with a reservation of density credit. The PDC portion permitted the development of 875,725 square feet of office uses within three buildings, identified as Buildings A, B, and C. A series of three ponds were incorporated in to the design as amenities and stormwater management facilities. Following the zoning action, a 13 story office building of approximately 420,725 square feet (identified as Building A) and an associated parking garage were constructed north of the central pond. The remaining property is undeveloped.

SEA 97-HM-070-02 – Also on September 11, 2000, the Board of Supervisors approved a companion special exception amendment to revise a previously approved special exception for uses in the floodplain and a waiver of certain sign regulations.

The Applicant seeks to rezone the Application Property and convert the approved PDC office gross floor area to residential use. In addition to the 11.95 acres of land area, 2.9669 acres of public right-of-way with a reservation of density credit is included, bringing the total area for density purposes to 14.915 acres. As companion applications, the Applicant has submitted a proffer condition amendment (“PCA”) to delete 11.95 acres from RZ 1999-HM-037 and a special exception amendment (“SEA”) to delete 11.95 acres from SEA 97-HM-070-02 as the approvals related to uses in the floodplain and the waiver of certain sign regulations do not affect the Application Property. A separate statement of justification has been provided for the PCA and SEA applications.

## **III. Proposed Development**

The planning approach for Woodland Park Waterview is to transform the relatively suburban style office campus to a more dynamic mix of uses offering an attractive living and working environment. The CDP/FDP for the Application Property provides for three residential dwelling types as well as public and private open spaces. The existing pond system provides a central design element. The site layout is designed to take advantage of the views and create new amenities adjacent to the ponds. With tree save areas, water views, and a thoughtful arrangement of paths and seating areas, the pond system is a significant community amenity. Another important public space is a linear park between Woodland Park Road and the central pond. Identified as the Pedestrian Promenade, this park area provides connectivity to the trail system along the ponds. Residential uses front onto Woodland Park Road, Verisign Way, Pedestrian Promenade and the ponds, resulting in an attractive and welcoming community.

The Application Property is primarily accessed from Centreville Road. A large community pocket park is provided between Centreville Road and Verisign Way providing separation from the traffic along Centreville Road and the proposed residential uses, and providing a large park area for the development's residents and the larger neighborhood. The development program for each of the residential types is provided below.

- A five story multi-family building is sited east of Verisign Way and south of the central pond. The building will include up to 298 units with structured parking internal to the building. The primary pedestrian entrance is located at the corner of Woodland Park Road and Verisign Way, although many ground floor units on the eastern façade of the building will have direct access from the adjacent Pedestrian Promenade. Residents will enjoy views of the central and western ponds and have access to residential amenities in an internal courtyard and a private ground level courtyard along the building's northern façade.
- Four story multi-family units, often referred to as "two-over-two units", are planned east of the Pedestrian Promenade and along Woodland Park Road. These units offer an alternative style of living with a two level unit over another two level unit. Units are sited with front doors facing the streets or Pedestrian Promenade and private streets providing access to garages at the back of the units. Each dwelling unit has one parking space inside the building and a second parking space in the driveway. A total of 56 – two-over-two units are proposed.
- Thirty-two (32) urban style townhouses are proposed in the northern portion of the Application Property, closest to the central pond. These homes offer two car garages at the rear of the units. They front on to the pond or interior open space areas.

With a total of 386 dwelling units, the overall density is 25.96 dwelling units per acre *inclusive* of Affordable Dwelling Units ("ADUs"), and ADU and Workforce Dwelling Units ("WDU") bonus units and 22.13 dwelling units per acre *exclusive* of ADUs, and ADU and WDU bonus units. It is anticipated that there will be eight (8) ADUs and 45 WDUs. Fifty-four percent of the site is provided as open space.

#### **IV. Comprehensive Plan Guidance**

The Application Property is located in the Herndon Transit Station Area and recommendations for its use and development are guided by the Reston Transit Station Areas Comprehensive Plan text adopted by the Board of Supervisors on February 11, 2014 (the "Plan"). Guidance is provided in both the Areawide Recommendations and in the more site specific Herndon Transit Station Area. The Application Property is located in the Woodland Park/Great Oak District. The Plan's vision for the Woodland Park/Great Oak District is to

maintain the character, uses and intensities/densities of existing development. The Plan text for the Woodland Park Subdistrict reads:

*It is planned and developed as a major mixed-use development up to .70 FAR, with office, retail, hotel, and residential uses. This area along the DAAR has high visibility and is appropriate for high quality development including corporate headquarters, hotels and office buildings. Mixed-use developments should create a viable, quality living environment with active recreation facilities and other amenities for residents. Residential development should be sited away from the DAAR and towards Sunrise Valley Drive. Support retail and service uses are appropriate in office, hotel or residential buildings.*

The PDH-30 District is based on dwelling units per acre as opposed to FAR, however to determine compliance with the Plan's FAR recommendations, it is possible to offer a FAR comparison. By way of background, the existing PDC zoning for the Application Property permits the construction of 460,319 square feet of gross floor area ("GFA"). The overall FAR approved under the PDC zoning is 0.86, and is more specifically 0.83 FAR for the existing office on Parcel 29C1 and 0.88 FAR for the Application Property. This FAR is above the Plan recommended 0.70 FAR due to a simultaneous rezoning of an adjacent property, identified as Tax Map 16-3 ((11)) 5A, to the I-4 District at a 0.54 FAR. The combination of the PDC zoning at 0.86 and the I-4 zoning at 0.54 FAR resulted in an overall FAR of 0.70 FAR. Thus converting the 460,319 square feet of office uses to residential uses will maintain the overall 0.70 FAR. However, bonus density can be applied to the planned intensity of 0.70 FAR for residential uses providing ADUs and/or WDUs.

The 368 dwelling units (including ADUs and ADU/WDU bonus units) will total approximately 530,940 square feet of GFA. This is comprised of 321,500 for the multi-family building, 119,840 square feet for the two-over-two units, and 89,600 square feet for the single-family attached units. Thus, the FAR *inclusive* of ADUs and ADU/WDU bonus units is 0.82. Subtracting the GFA associated with the anticipated 8 ADUs, 3 ADU bonus units, and 45 WDU bonus units results in a GFA of approximately 455,545 and a FAR of 0.70. This is comparable, but less than the overall PDC FAR of 0.86 and the specific 0.88 FAR permitted on the Application Property. Thus the proposed density/intensity is in conformance with Plan recommendations.

In addition to recommendations with regard to land uses and intensity, the Plan provides guidance on the planned street network, urban design, urban park standards and a host of other topics. The Plan sets forth Development Review Performance Objectives which all developments within the Transit Station Areas are expected to contribute. The Applicant has addressed the Development Review Performance Objectives as described below.

- ***Achieve High Quality Site Design and Architecture*** – Excellent site design in the TSAs should continue the Reston traditions of emphasizing community gathering places, integrating access to the natural environment when possible, and providing public art. In addition, there should be an emphasis on environmentally sustainable design and practices with non-residential development achieving U.S. Green Building Council’s Leadership in Energy and Environmental Design (LEED) Silver certification or the equivalent, at a minimum. Residential development should be guided by the Fairfax County Policy Plan objectives on Resource Conservation and Green Building Practices.

*The proposed development includes a high quality design buildings sited to address the street and visually hide parking facilities, and an extensive and varied open space/park system. Proposed multi-family residential buildings will meet a minimum of LEED or equivalent certification.*

- ***Provide Pedestrian and Bicycle Connectivity throughout the Transit Station Areas (TSAs)*** – New pedestrian and bicycle connections should be provided through complete streets within the TSAs and new or extended trails on both sides of the DAAR connecting the three Metrorail stations. Pedestrian and bicycle crossings of existing streets should be improved to increase pedestrian and bicyclists’ safety, visibility and convenience.

*The Applicant is proposing to add a bicycle lane to the north side of Woodland Park Road and to construct additional trails for joint pedestrian/bicycle use. The Woodland Park Road streetscape will include sidewalks in keeping with Plan guidance, and numerous other internal sidewalks and trails, such as the Pedestrian Promenade, will be provided to ensure easy and convenient pedestrian connections.*

- ***Provide Urban Parks and other Recreational Amenities throughout the TSAs*** – Local-serving urban parks, recreational and cultural amenities including but not limited to plazas, trails and public art should be provided throughout the TSAs in order to serve local leisure and recreation needs. Membership in Reston Association may serve to meet a portion of the identified park and recreation needs. The exact number of urban parks and other amenities, their sizes and distribution will be determined by the amount and type of new development and provided in accordance with the guidance in the Urban Parks, Recreation Facilities and Cultural Facilities section.

*Based on the Urban Park Standards and the expected resident population, the Application Property is expected to provide 1.03 acres in publically accessible park space. The Woodland Park Waterview development will include a variety of public and private park spaces. Public park spaces include the 1.83 acre community pocket park located west of Verisign Way and an additional 1.02 acres of public parks along Pedestrian Promenade and the central pond, for a total of 2.85 acres. In addition the private park spaces add another 0.44 acre to community amenities.*

- ***Achieve Greater Housing Diversity*** – Future development should ensure that a diversity of housing is available in the TSAs. The residential component of mixed-use development should meet the needs of a variety of households such as families and seniors. Most of the new housing is envisioned to be multi-family to achieve the desired urban form. However, urban townhouses may be appropriate in some locations. To ensure the provision of adequate affordable housing, future development should meet county policies on affordable housing.

*Woodland Park Waterview has designed the community to provide three distinct residential styles to provide a variety of residential opportunities to appeal to a diverse market. These include residential apartments, two-over-two units and urban style townhouses. The residential components will meet the provisions of the Affordable Dwelling Unit Ordinance (“ADU”) when applicable and will meet the Policy Plan’s Workforce Housing Policy objective of 12 percent of all units being provided as Affordable or Workforce Dwelling Units (“WDU*

- ***Provide Retail, Hotel Uses and Institutional Uses*** – Retail uses on the ground floor of mixed-use buildings are encouraged in all TSAs to allow employees and residents in each TSA to carry out daily activities with minimal need to use single-occupancy vehicles.

*The Applicant is not providing for retail uses in the first floor of residential buildings. However, future residents will be well served with the existing grocer and other retail establishments located in the Woodland Crossing Shopping Center in the east part of Woodland Park and in the existing shopping center just south of Sunrise Valley Drive.*

- ***Encourage Coordinated Development Plans*** – For development proposals requesting increased intensity above the base plan recommendation, consolidation or coordinated development plans are encouraged.

*The 11.95 acre Application Property represents the only undeveloped parcels in Waterview and Woodland Park East. The proposal has been coordinated with the existing developments with regard to access points and pedestrian connectivity.*

- ***Protect Existing Low Density Residential Areas*** – The majority of existing residential communities adjacent to the TSAs are low density neighborhoods comprised of single family detached homes and townhomes. In most instances, these communities are separated from the TSAs by major roadways. Appropriate design measures such as reduced building height and massing for new development closest to these existing neighborhoods should be utilized to help define the limits of the TSAs.

*No low density residential communities are adjacent to the Application Property. Adjacent uses include a hotel, a multi-family residential project, and office buildings.*

**V. Requested Waivers and Modifications**

To the best of our knowledge, there are no known hazardous or toxic materials on the Application Property or are there any planned with the proposed use. Furthermore, to the best of our knowledge and belief, the proposed use will be in conformance with all applicable ordinances, regulations and adopted standards with the exceptions identified on Sheet 2 of the CDP/FDP.

One of the requests involves a modification of the streetscape design along Woodland Park Road. The Applicant is requesting that the sidewalk be permitted closer to the curb with the landscape amenity panel and street trees located behind the sidewalk. This is requested because there are existing underground utilities behind the curb limiting the ability to successfully plant street trees.

**VI. Conclusion**

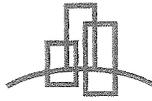
This application will implement the newly adopted Plan for the Herndon Transit Station Area by creating a well-designed residential community and a significant open space and park network. The Applicant has proposed a mix of residential styles that is market appropriate and should meet the needs of a variety of households. The overall site design and ample park amenities ensure a quality living environment for future residents.

Very truly yours,

WALSH, COLUCCI, LUBELEY & WALSH, P.C.



Elizabeth D. Baker  
Senior Land Use Planner



Elizabeth D. Baker  
Senior Land Use Planner  
(703) 528-4700 Ext. 5414  
[ebaker@thelandlawyers.com](mailto:ebaker@thelandlawyers.com)

**WALSH COLUCCI  
LUBELEY & WALSH PC**

RECEIVED  
Department of Planning & Zoning

DEC 22 2015

Zoning Evaluation Division

December 21, 2015

Barbara C. Berlin, Director  
Zoning Evaluation Division  
Fairfax County Department of Planning & Zoning  
12055 Government Center Parkway, 8th Floor  
Fairfax, Virginia 22035

Re: Request for Partial Proffered Condition Amendment and  
Partial Special Exception Amendment  
NVR, Inc. (the "Applicant")  
Tax Map 16-3 ((1)) 29D, 29E and 16-3 ((11)) 7 (the "Application Property")

Dear Ms. Berlin:

On behalf of NVR, Inc. (the "Applicant") and pursuant to Section 18-204, Paragraph 6 and Section 9-014, Paragraph 1 of the Zoning Ordinance, I request your approval to file a partial Proffered Condition Amendment (PCA) application and a partial Special Exception Amendment application on a portion of the Woodland Park development. RZ 1999-HM-037, approved by the Board of Supervisors on September 11, 2000, rezoned approximately 29.04 acres of property to the PDC and I-4 Districts in order to develop a commercial office development at the southeast quadrant of the intersection of Centreville Road and the Dulles Airport Access and Toll Road. Of the 29.04 acres, 23.46 acres were zoned PDC (including the Application Property) and 5.57 acres were zoned I-4. SEA 97-H-070-02, approved concurrently with RZ 1999-HM-037, permitted uses in the floodplain and a waiver of certain sign regulations over the 23.46 acre area zoned PDC. The area of the proposed partial PCA and SEA totals approximately 11.95 acres; it is the area shown on the approved Conceptual/Final Development Plan/Special Exception Amendment (CDP/FDP/SEA) Plat dated June 23, 2000 as the sites of Buildings B and C.<sup>1</sup>

The Applicant seeks approval of a partial PCA to delete the 11.95 acre Application Property from the previous RZ 1999-HM-037 approval. This will allow the Applicant to seek a rezoning of the Application Property to the PDH-30 District. This request is in keeping with the Zoning Ordinance provisions requiring that the amendment (a) does not adversely affect the use of the property subject to the proffered conditions but not incorporated into the amendment

<sup>1</sup> Please see RZ 1999-HM-037 and SEA 97-H-070-02 for additional information.

ATTORNEYS AT LAW

703 528 4700 ■ WWW.THELANDLAWYERS.COM  
2200 CLARENDON BLVD. ■ SUITE 1300 ■ ARLINGTON, VA 22201-3359

LOUDOUN 703 737 3633 ■ WOODBRIDGE 703 680 4664

application, (b) does not inhibit, adversely affect, or preclude in any manner the fulfillment of the proffered conditions applicable to the area not incorporated into the amendment application, and (c) does not substantially increase the overall approved intensity for the development. Deletion of the Application Property will leave two parcels identified as Tax Map 16-3 ((1)) 29C1 (zoned PDC) and 16-3 ((11)) 5A (zoned I-4) subject to proffers related to RZ 1999-HM-037.

- Parcel 29C1 is 11.4 acres in size and is approved for, and developed with, a 13 story office building of approximately 420,725 square feet (identified as Building A) and an associated parking garage. The resultant FAR before application of any density credit is 0.846, in keeping with the PDC proffered FAR of 0.86.
- Parcel 5A is 5.57 acres and is developed with an office building in keeping with the PDC proffered FAR of 0.54.
- Previously approved proffered conditions and development conditions which are not subject to the amendment request shall remain in full force and effect.

The partial SEA seeks to remove land area from the approved SEA, as the Application Property does not include uses in the floodplain requiring a SE or waivers to the sign regulations. The SE uses relate solely to Parcel 29C1.

Given the above information, I respectfully request your concurrence that partial PCA and SEA applications are appropriate. I appreciate your consideration.

Very truly yours,

WALSH, COLUCCI, LUBELEY & WALSH, P.C.



Elizabeth D. Baker  
Senior Land Use Planner

REZONING AFFIDAVIT

133295c

DATE: August 26, 2016  
(enter date affidavit is notarized)

I, Elizabeth D. Baker, agent, do hereby state that I am an  
(enter name of applicant or authorized agent)

(check one)             applicant  
                               applicant's authorized agent listed in Par. 1(a) below

in Application No.(s): RZ/FDP 2016-DR-001  
(enter County-assigned application number(s), e.g. RZ 88-V-001)

and that, to the best of my knowledge and belief, the following information is true:

1(a). The following constitutes a listing of the names and addresses of all **APPLICANTS, TITLE OWNERS, CONTRACT PURCHASERS, and LESSEES** of the land described in the application,\* and, if any of the foregoing is a **TRUSTEE,\*\*** each **BENEFICIARY** of such trust, and all **ATTORNEYS** and **REAL ESTATE BROKERS**, and all **AGENTS** who have acted on behalf of any of the foregoing with respect to the application:

(NOTE: All relationships to the application listed above in **BOLD** print must be disclosed. Multiple relationships may be listed together, e.g., **Attorney/Agent, Contract Purchaser/Lessee, Applicant/Title Owner**, etc. For a multiparcel application, list the Tax Map Number(s) of the parcel(s) for each owner(s) in the Relationship column.)

NAME (enter first name, middle initial, and last name)	ADDRESS (enter number, street, city, state, and zip code)	RELATIONSHIP(S) (enter applicable relationships listed in <b>BOLD</b> above)
NVR, Inc.  Agents: Jeffrey D. Martchek Jay K. Johnson Mark K. Coletta Matthew A. Beck Eric M. Dickman	11700 Plaza America Drive, #500 Reston, VA 20190	Applicant/Contract Purchaser of Tax Map 16-3 ((1)) 29D, 29E and 16-3 ((11)) 7
Woodland Park Parcel I, L.P.  Agents: Rustom A. Cowasjee Cynthia H. Bowden Bradford J. Heming Henry Ross Steven Wechsler	45 Rockefeller Center New York, NY 10111	Former Title Owner of Tax Map 16-3 ((11)) 7 and 16-3 (((1)) 29D

(check if applicable)             There are more relationships to be listed and Par. 1(a) is continued on a "Rezoning Attachment to Par. 1(a)" form.

\* In the case of a condominium, the title owner, contract purchaser, or lessee of 10% or more of the units in the condominium.

\*\* List as follows: Name of trustee, Trustee for (name of trust, if applicable), for the benefit of: (state name of each beneficiary).

**Rezoning Attachment to Par. 1(a)**

133295c

DATE: August 26, 2016  
(enter date affidavit is notarized)

for Application No. (s): RZ/FDP 2016-DR-001  
(enter County-assigned application number (s))

**(NOTE):** All relationships to the application are to be disclosed. Multiple relationships may be listed together, e.g., **Attorney/Agent, Contract Purchaser/Lessee, Applicant/Title Owner**, etc. For a multiparcel application, list the Tax Map Number(s) of the parcel(s) for each owner(s) in the Relationship column.

NAME (enter first name, middle initial, and last name)	ADDRESS (enter number, street, city, state, and zip code)	RELATIONSHIP(S) (enter applicable relationships listed in <b>BOLD</b> above)
Woodland Park Two Dulles, L.P.  Agents: Rustom A. Cowasjee Cynthia H. Bowden Bradford J. Heming Henry Ross Steven R. Wechsler Paul A. Galiano David Augarten Russell Makowsky Michael B. Benner	45 Rockefeller Center New York, NY 10111	Title Owner of Tax Map 16-3 ((11)) 7 and 16-3 (((1)) 29D
COPT Waterview III, LLC  Agents: Stephanie L. Shack Wayne H. Lingafelter (FORMER) Dean A. Lopez Stephen E. Budorick Anthony Mifsud	6711 Columbia Gateway Road, Suite 300 Columbia, MD 21046	Title Owner of Tax Map 16-3 ((1)) 29E
William H. Gordon Associates, Inc.  Agents: Steven E. Gleason J. Scott Peterson Brian S. Parsons (FORMER) Robert W. Walker Joseph W. McClellan	4501 Daly Drive, Suite 200 Chantilly, VA 20151	Engineer/Agent
Walsh, Colucci, Lubeley & Walsh, P.C.  Agents: Martin D. Walsh Lynne J. Strobel M. Catharine Puskar Sara V. Mariska G. Evan Pritchard Andrew A. Painter Matthew J. Allman Jeffrey R. Sunderland (FORMER) Robert D. Brant Elizabeth D. Baker Inda E. Stagg Amy E. Friedlander	2200 Clarendon Boulevard, Suite 1300 Arlington, VA 22201	Attorneys/Agents for Applicant  Attorney/Agent Attorney/Agent Attorney/Agent Attorney/Agent Attorney/Agent Attorney/Agent Attorney/Agent FORMER Attorney*/Agent Attorney/Agent Planner/Agent Planner/Agent Planner/Agent *Admitted in New York and California. Admission to Virginia Bar pending.

(check if applicable)  There are more relationships to be listed and Par. 1(a) is continued further on a "Rezoning Attachment to Par. 1(a)" form.

**Rezoning Attachment to Par. 1(a)**

133295c

DATE: August 26, 2016  
(enter date affidavit is notarized)

for Application No. (s): RZ/FDP 2016-DR-001  
(enter County-assigned application number (s))

**(NOTE):** All relationships to the application are to be disclosed. Multiple relationships may be listed together, e.g., **Attorney/Agent, Contract Purchaser/Lessee, Applicant/Title Owner**, etc. For a multiparcel application, list the Tax Map Number(s) of the parcel(s) for each owner(s) in the Relationship column.

<b>NAME</b> (enter first name, middle initial, and last name)	<b>ADDRESS</b> (enter number, street, city, state, and zip code)	<b>RELATIONSHIP(S)</b> (enter applicable relationships listed in <b>BOLD</b> above)
KTG Y Group, Inc.  Agent: Mark D. Drake (FORMER) Rohit Anand (nmi)	8609 Westwood Center Drive, Suite 600 Tysons, VA 22182	<b>Architects/Agent</b>
M. J. Wells and Associates, Inc.  Agents: Robin L. Antonucci Michael J. Workosky Jean-Pierre E. Barbour John F. Cavan Justin B. Schor Daria Emkic (FORMER)	1420 Spring Hill Road, Suite 610 Tysons, VA 22102	<b>Transportation Consultant/Agent</b>

(check if applicable)            There are more relationships to be listed and Par. 1(a) is continued further on a "Rezoning Attachment to Par. 1(a)" form.

REZONING AFFIDAVIT

DATE: August 26, 2016
(enter date affidavit is notarized)

133295c

for Application No. (s): RZ/FDP 2016-DR-001
(enter County-assigned application number(s))

1(b). The following constitutes a listing\*\*\* of the SHAREHOLDERS of all corporations disclosed in this affidavit who own 10% or more of any class of stock issued by said corporation, and where such corporation has 10 or less shareholders, a listing of all of the shareholders, and if the corporation is an owner of the subject land, all of the OFFICERS and DIRECTORS of such corporation:

(NOTE: Include SOLE PROPRIETORSHIPS, LIMITED LIABILITY COMPANIES, and REAL ESTATE INVESTMENT TRUSTS herein.)

CORPORATION INFORMATION

NAME & ADDRESS OF CORPORATION: (enter complete name, number, street, city, state, and zip code)
NVR, Inc.
11700 Plaza America Drive, #500
Reston, VA 20190

DESCRIPTION OF CORPORATION: (check one statement)
[ ] There are 10 or less shareholders, and all of the shareholders are listed below.
[ ] There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
[✓] There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial, and last name)
Publicly traded

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name, and title, e.g. President, Vice-President, Secretary, Treasurer, etc.)
Jeffrey D. Martchek, President Homebuilding Operations (FORMER Area President); Matthew A. Beck, VP; John J. Halak, VP; Paul C. Saville, President & Chief Executive Officer; Victoria A. Nelson, Assistant Secretary

(check if applicable) [✓] There is more corporation information and Par. 1(b) is continued on a "Rezoning Attachment 1(b)" form.

\*\*\* All listings which include partnerships, corporations, or trusts, to include the names of beneficiaries, must be broken down successively until: (a) only individual persons are listed or (b) the listing for a corporation having more than 10 shareholders has no shareholder owning 10% or more of any class of stock. In the case of an APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\* of the land that is a partnership, corporation, or trust, such successive breakdown must include a listing and further breakdown of all of its partners, of its shareholders as required above, and of beneficiaries of any trusts. Such successive breakdown must also include breakdowns of any partnership, corporation, or trust owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\* of the land. Limited liability companies and real estate investment trusts and their equivalents are treated as corporations, with members being deemed the equivalent of shareholders; managing members shall also be listed. Use footnote numbers to designate partnerships or corporations, which have further listings on an attachment page, and reference the same footnote numbers on the attachment page.

**Rezoning Attachment to Par. 1(b)**

DATE: August 26, 2016  
(enter date affidavit is notarized)

133295C

for Application No. (s): RZ/FDP 2016-DR-001  
(enter County-assigned application number (s))

**NAME & ADDRESS OF CORPORATION:** (enter complete name, number, street, city, state, and zip code)  
COPT Waterview III, LLC  
6711 Columbia Gateway Road, Suite 300  
Columbia, MD 21046

**DESCRIPTION OF CORPORATION:** (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

**NAMES OF SHAREHOLDERS:** (enter first name, middle initial, and last name)  
Corporate Office Properties, L.P., Sole Member

**NAMES OF OFFICERS & DIRECTORS:** (enter first name, middle initial, last name & title, e.g. **President, Vice President, Secretary, Treasurer,** etc.)

Stephen E. Budorick, President; Anthony Mifsud, EVP & CFO; Holly G. Edington - SVP- Human Resources; Stephanie L. Shack, SVP & Asst. Secretary; Karen M. Singer, SVP, General Counsel & Secretary; Gregory J. Thor, SVP, Chief Accounting Officer & Controller; Scott D. Robuck, VP - Finance & Treasurer; David L. Finch, VP & Asst. Secretary  
Roger A. Waesche, Jr., FORMER President & CEO; Wayne Lingafelter, FORMER EVP-Dev. & Construction

**NAME & ADDRESS OF CORPORATION:** (enter complete name, number, street, city, state, and zip code)  
William H. Gordon Associates, Inc.  
4501 Daly Drive, Suite 200  
Chantilly, VA 20151

**DESCRIPTION OF CORPORATION:** (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

**NAMES OF SHAREHOLDERS:** (enter first name, middle initial, and last name)  
Former shareholders: William H. Gordon, Joseph W. McClellan, R. Steven Hulsey

William H. Gordon IV Revocable Trust Dated July 22, 1997, As Amended, f/b/o Anne G. Tirona, William H. Gordon V, Sharon G. Blount	McClellan Living Trust Dated September 03, 2009 f/b/o Leif E. Hansen, Karen M. McClellan, Wendy A. McClellan, Erika L. Hansen, Christopher S. Hansen	Paula M. Fleckenstein Robert W. Walker Mark A. Dyck Kevin D. Nelson	Stanley D. Heiser J. Scott Peterson Louise (nmi) Zwicker William E. Junda
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**NAMES OF OFFICERS & DIRECTORS:** (enter first name, middle initial, last name & title, e.g. **President, Vice President, Secretary, Treasurer,** etc.)

(check if applicable)  There is more corporation information and Par. 1(b) is continued further on a "Rezoning Attachment to Par. 1(b)" form.

**Rezoning Attachment to Par. 1(b)**

DATE: August 26, 2016  
(enter date affidavit is notarized)

133295c

for Application No. (s): RZ/FDP 2016-DR-001  
(enter County-assigned application number (s))

**NAME & ADDRESS OF CORPORATION:** (enter complete name, number, street, city, state, and zip code)

M.J. Wells & Associates, Inc.  
1420 Spring Hill Road, Suite 610  
Tysons, VA 22102

**DESCRIPTION OF CORPORATION:** (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

**NAMES OF THE SHAREHOLDERS:** (enter first name, middle initial, and last name)

M.J. Wells & Associates, Inc. Employee Stock Ownership Trust. All employees are eligible plan participants; however, no one employee owns 10% or more of any class of stock.

=====

**NAMES OF OFFICERS & DIRECTORS:** (enter first name, middle initial, last name, and title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

=====

**NAME & ADDRESS OF CORPORATION:** (enter complete name, number, street, city, state, and zip code)

KTGY Group, Inc.  
8609 Westwood Center Drive,  
Suite 600  
Tysons, VA 22182

**DESCRIPTION OF CORPORATION:** (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

**NAMES OF THE SHAREHOLDERS:** (enter first name, middle initial, and last name)

Patricia Ann Esser	Chris S. Texter
John Peter Tully (former)	David Senden
Jill Diane Williams	

=====

**NAMES OF OFFICERS & DIRECTORS:** (enter first name, middle initial, last name, and title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

(check if applicable)  There is more corporation information and Par. 1(b) is continued further on a "Rezoning Attachment to Par. 1(b)" form.

**Rezoning Attachment to Par. 1(b)**

DATE: August 26, 2016  
(enter date affidavit is notarized)

133295c

for Application No. (s): RZ/FDP 2016-DR-001  
(enter County-assigned application number (s))

**NAME & ADDRESS OF CORPORATION:** (enter complete name, number, street, city, state, and zip code)

Walsh, Colucci, Lubeley & Walsh, P.C.  
2200 Clarendon Boulevard, Suite 1300  
Arlington, VA 22201

**DESCRIPTION OF CORPORATION:** (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

**NAMES OF THE SHAREHOLDERS:** (enter first name, middle initial, and last name)

Wendy A. Alexander	Jay du Von	J. Randall Minchew	Lynne J. Strobel
David J. Bomgardner	William A. Fogarty	Andrew A. Painter	Garth M. Wainman
E. Andrew Burcher	John H. Foote	G. Evan Pritchard	Nan E. Walsh
Thomas J. Colucci	H. Mark Goetzman	M. Catharine Puskar	
Michael J. Coughlin	Bryan H. Guidash	John E. Rinaldi	
Peter M. Dolan, Jr.	Michael J. Kalish	Kathleen H. Smith	

**NAMES OF OFFICERS & DIRECTORS:** (enter first name, middle initial, last name, and title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

**NAME & ADDRESS OF CORPORATION:** (enter complete name, number, street, city, state, and zip code)

Corporate Office Properties Trust  
6711 Columbia Gateway Road, Suite 300  
Columbia, MD 21046

**DESCRIPTION OF CORPORATION:** (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

**NAMES OF THE SHAREHOLDERS:** (enter first name, middle initial, and last name)

A Maryland real estate investment trust that is publicly traded on the NYSE

**NAMES OF OFFICERS & DIRECTORS:** (enter first name, middle initial, last name, and title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

Stephen E. Budorick, President; Anthony Mifsud, EVP & CFO; Holly G. Edington - SVP- Human Resources; Stephanie L. Shack, SVP & Asst. Secretary; Karen M. Singer, SVP, General Counsel & Secretary; Gregory J. Thor, SVP, Chief Accounting Officer & Controller; Scott D. Robuck, VP - Finance & Treasurer; David L. Finch, VP & Asst. Secretary

(check if applicable)  There is more corporation information and Par. 1(b) is continued further on a "Rezoning Attachment to Par. 1(b)" form.

REZONING AFFIDAVIT

133295c

DATE: August 26, 2016
(enter date affidavit is notarized)

for Application No. (s): RZ/FDP 2016-DR-001
(enter County-assigned application number(s))

1(c). The following constitutes a listing\*\*\* of all of the PARTNERS, both GENERAL and LIMITED, in any partnership disclosed in this affidavit:

PARTNERSHIP INFORMATION

PARTNERSHIP NAME & ADDRESS: (enter complete name, number, street, city, state and zip code)

Woodland Park Parcel I, L.P. (FORMER)
45 Rockefeller Center
New York,, NY 10111

(check if applicable) [ ] The above-listed partnership has no limited partners.

NAMES AND TITLE OF THE PARTNERS (enter first name, middle initial, last name, and title, e.g. General Partner, Limited Partner, or General and Limited Partner)

General Partner:
Woodland Park JV GP, L.L.C. (owns less than 10% of Woodland Park Parcel I, L.P.)

Limited Partner:
Woodland Park/Westfields JV, L.P.

(check if applicable) [x] There is more partnership information and Par. 1(c) is continued on a "Rezoning Attachment to Par. 1(c)" form.

\*\*\* All listings which include partnerships, corporations, or trusts, to include the names of beneficiaries, must be broken down successively until: (a) only individual persons are listed or (b) the listing for a corporation having more than 10 shareholders has no shareholder owning 10% or more of any class of stock. In the case of an APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\* of the land that is a partnership, corporation, or trust, such successive breakdown must include a listing and further breakdown of all of its partners, of its shareholders as required above, and of beneficiaries of any trusts. Such successive breakdown must also include breakdowns of any partnership, corporation, or trust owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\* of the land. Limited liability companies and real estate investment trusts and their equivalents are treated as corporations, with members being deemed the equivalent of shareholders; managing members shall also be listed. Use footnote numbers to designate partnerships or corporations, which have further listings on an attachment page, and reference the same footnote numbers on the attachment page.

**Rezoning Attachment to Par. 1(c)**

DATE: August 26, 2016  
(enter date affidavit is notarized)

133295c

for Application No. (s): RZ/FDP 2016-DR-001  
(enter County-assigned application number (s))

**PARTNERSHIP NAME & ADDRESS:** (enter complete name & number, street, city, state & zip code)

Woodland Park/Westfields JV, L.P.  
45 Rockefeller Center  
New York, NY 10111

(check if applicable)  The above-listed partnership has no limited partners.

**NAMES AND TITLES OF THE PARTNERS:** (enter first name, middle initial, last name, and title, e.g.,  
**General Partner, Limited Partner, or General and Limited Partner)**

General Partner:  
Tishman Speyer Woodland Park/Westfields JV GP, L.L.C.\*

Limited Partners:  
Woodland Park/Westfields, Corp.\*  
Tishman Speyer Real Estate Venture VI, L.P.  
Tishman Speyer Real Estate Venture VI Parallel (GER), L.P.\*  
Tishman Speyer Real Estate Venture VI Parallel (ERISA), L.P.\*  
Tishman Speyer Real Estate Venture VI Parallel (ON), L.P.\*  
Tishman Speyer Real Estate Venture VI Alternative (BF), L.P.\*

\* owns less than 10% of Woodland Park Two Dulles, L.P.

(check if applicable)  There is more partnership information and Par. 1(c) is continued further on a  
"Rezoning Attachment to Par. 1(c)" form.

**Rezoning Attachment to Par. 1(c)**

DATE: August 26, 2016  
(enter date affidavit is notarized)

133295C

for Application No. (s): RZ/FDP 2016-DR-001  
(enter County-assigned application number (s))

**PARTNERSHIP NAME & ADDRESS:** (enter complete name & number, street, city, state & zip code)

Tishman Speyer Real Estate Venture VI, L.P.  
45 Rockefeller Center  
New York, NY 10111

(check if applicable)  The above-listed partnership has no limited partners.

**NAMES AND TITLES OF THE PARTNERS:** (enter first name, middle initial, last name, and title, e.g., **General Partner, Limited Partner, or General and Limited Partner**)

General Partner:

Tishman Speyer U.S. Value-Added  
Associates VI, L.L.C. (owns less than 10%  
of Woodland Park Two Dulles, L.P.)

Limited Partners:

Alaska State Pension Investment Board  
(There are in excess of thousands of  
members in this pension fund, none of  
whom own more than 10% of Woodland  
Park Two Dulles, L.P.)

Landmark Real Estate Partners VII PV LP  
(a master limited partnership consisting of  
hundreds of limited partners/investors)

(check if applicable)  There is more partnership information and Par. 1(c) is continued further on a  
"Rezoning Attachment to Par. 1(c)" form.

**Rezoning Attachment to Par. 1(c)**

DATE: August 26, 2016  
(enter date affidavit is notarized)

133295c

for Application No. (s): RZ/FDP 2016-DR-001  
(enter County-assigned application number (s))

**PARTNERSHIP NAME & ADDRESS:** (enter complete name & number, street, city, state & zip code)

Corporate Office Properties, L.P.  
6711 Columbia Gateway Road, Suite 300  
Columbia, MD 21046

(check if applicable)  The above-listed partnership has no limited partners.

**NAMES AND TITLES OF THE PARTNERS:** (enter first name, middle initial, last name, and title, e.g.,  
**General Partner, Limited Partner, or General and Limited Partner**)

General Partner:  
Corporate Office Properties Trust, a  
Maryland real estate investment trust that is  
publicly traded on the NYSE

- Limited Partners:
- Jay H. Shidler Robert Manekin
- Shidler Equities, L.P.\* Charles Manekin
- Clay W. Hamlin, III Francine Manekin
- LBCW Limited Partnership\* Sandye Sirota
- Robert L. Denton Lynn Stern
- James K. Davis Louis LaPenna
- Samuel Tang Jamie Deutsch
- Lawrence J. Taff Kelly Alter
- M.O.R. 44 Gateway Associates Limited Partnership\* TRC Associates Limited Partnership\*
- Estate of John Parsinen
- M.O.R. Commons Limited Partnership\*
- Lynn Hamlin
- Housing Affiliates, Inc.\*
- Reingle Corp.\*
- Joseph Tawil
- The Lovejoy Trust\*
- The Century Trust\*
- A. Charles Wilson, Trustee of the A.
- Charles Wilson and Betty S Wilson Trust
- u/d/t June 18, 1980 - Survivor's Trust \*
- Irwin Hoffman
- The Rouse Family Exemption Trust\*
- Lawrence G. Rief
- David D. Jenkins
- RA & DM, Inc.\*
- Richard Alter
- Donald Manekin
- William Winstead
- Richard Manekin

\*owns less than 10% of COPT Waterview III, LLC

(check if applicable)  There is more partnership information and Par. 1(c) is continued further on a "Rezoning Attachment to Par. 1(c)" form.

**Rezoning Attachment to Par. 1(c)**

DATE: August 26, 2016  
(enter date affidavit is notarized)

133295c

for Application No. (s): RZ/FDP 2016-DR-001  
(enter County-assigned application number (s))

**PARTNERSHIP NAME & ADDRESS:** (enter complete name & number, street, city, state & zip code)

Woodland Park Two Dulles, L.P.  
45 Rockefeller Center  
New York, NY 10111

(check if applicable)  The above-listed partnership has no limited partners.

**NAMES AND TITLE OF THE PARTNERS** (enter first name, middle initial, last name, and title, e.g. **General Partner, Limited Partner, or General and Limited Partner**)

General Partner:  
Woodland Park JV GP, L.L.C. (owns less than 10% of Woodland Park Two Dulles, L.P.)

Limited Partner:  
Woodland Park/Westfields JV, L.P.

**OFFICERS:**

Jerry I. Speyer, Chairman; Robert J. Speyer, President and CEO; Paul A. Galiano, Senior Managing Director; Michael P.M. Spies, Senior Managing Director; Steven R. Wechsler, Senior Managing Director; Michael B. Benner, Vice President, Secretary; David Augarten, Vice President and Assistant Secretary; Russell Makowsky, Vice President and Treasurer; Victor Cuciniello, Assistant Treasurer

(check if applicable)  There is more partnership information and Par. 1(c) is continued further on a "Rezoning Attachment to Par. 1(c)" form.

REZONING AFFIDAVIT

133295 c

DATE: August 26, 2016  
(enter date affidavit is notarized)

for Application No. (s): RZ/FDP 2016-DR-001  
(enter County-assigned application number(s))

1(d). One of the following boxes **must** be checked:

[ ] In addition to the names listed in Paragraphs 1(a), 1(b), and 1(c) above, the following is a listing of any and all other individuals who own in the aggregate (directly and as a shareholder, partner, and beneficiary of a trust) 10% or more of the **APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\*** of the land:

[✓] Other than the names listed in Paragraphs 1(a), 1(b), and 1(c) above, no individual owns in the aggregate (directly and as a shareholder, partner, and beneficiary of a trust) 10% or more of the **APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\*** of the land.

2. That no member of the Fairfax County Board of Supervisors, Planning Commission, or any member of his or her immediate household owns or has any financial interest in the subject land either individually, by ownership of stock in a corporation owning such land, or through an interest in a partnership owning such land.

**EXCEPT AS FOLLOWS:** (NOTE: If answer is none, enter "NONE" on the line below.)

NONE.

(check if applicable) [ ] There are more interests to be listed and Par. 2 is continued on a "Rezoning Attachment to Par. 2" form.

REZONING AFFIDAVIT

DATE: August 26, 2016
(enter date affidavit is notarized)

133295c

for Application No. (s): RZ/FDP 2016-DR-001
(enter County-assigned application number(s))

3. That within the twelve-month period prior to the public hearing of this application, no member of the Fairfax County Board of Supervisors, Planning Commission, or any member of his or her immediate household, either directly or by way of partnership in which any of them is a partner, employee, agent, or attorney, or through a partner of any of them, or through a corporation in which any of them is an officer, director, employee, agent, or attorney or holds 10% or more of the outstanding bonds or shares of stock of a particular class, has, or has had any business or financial relationship, other than any ordinary depositor or customer relationship with or by a retail establishment, public utility, or bank, including any gift or donation having a value of more than \$100, singularly or in the aggregate, with any of those listed in Par. 1 above.

EXCEPT AS FOLLOWS: (NOTE: If answer is none, enter "NONE" on line below.)
None

(NOTE: Business or financial relationships of the type described in this paragraph that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings. See Par. 4 below.)

(check if applicable) [ ] There are more disclosures to be listed and Par. 3 is continued on a "Rezoning Attachment to Par. 3" form.

4. That the information contained in this affidavit is complete, that all partnerships, corporations, and trusts owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\* of the land have been listed and broken down, and that prior to each and every public hearing on this matter, I will reexamine this affidavit and provide any changed or supplemental information, including business or financial relationships of the type described in Paragraph 3 above, that arise on or after the date of this application.

WITNESS the following signature:

(check one)

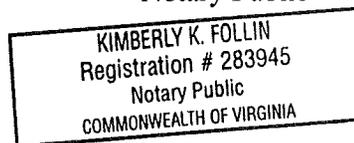
[ ] Applicant [x] Applicant's Authorized Agent

Elizabeth D. Baker, agent
(type or print first name, middle initial, last name, and title of signee)

Subscribed and sworn to before me this 26 day of August 2016, in the State/Comm. of Virginia, County/City of Arlington.

Kimberly K. Follin
Notary Public

My commission expires: 11/30/2019



REZONING AFFIDAVIT

133216c

DATE: August 26, 2016
(enter date affidavit is notarized)

I, Elizabeth D. Baker, agent, do hereby state that I am an
(enter name of applicant or authorized agent)

(check one) [ ] applicant
[✓] applicant's authorized agent listed in Par. 1(a) below

in Application No.(s): PCA 1999-HM-037
(enter County-assigned application number(s), e.g. RZ 88-V-001)

and that, to the best of my knowledge and belief, the following information is true:

1(a). The following constitutes a listing of the names and addresses of all APPLICANTS, TITLE OWNERS, CONTRACT PURCHASERS, and LESSEES of the land described in the application,\* and, if any of the foregoing is a TRUSTEE,\*\* each BENEFICIARY of such trust, and all ATTORNEYS and REAL ESTATE BROKERS, and all AGENTS who have acted on behalf of any of the foregoing with respect to the application:

(NOTE: All relationships to the application listed above in BOLD print must be disclosed. Multiple relationships may be listed together, e.g., Attorney/Agent, Contract Purchaser/Lessee, Applicant/Title Owner, etc. For a multiparcel application, list the Tax Map Number(s) of the parcel(s) for each owner(s) in the Relationship column.)

Table with 3 columns: NAME, ADDRESS, RELATIONSHIP(S). Includes entries for NVR, Inc. and Woodland Park Parcel I, L.P.

(check if applicable) [✓] There are more relationships to be listed and Par. 1(a) is continued on a "Rezoning Attachment to Par. 1(a)" form.

\* In the case of a condominium, the title owner, contract purchaser, or lessee of 10% or more of the units in the condominium.
\*\* List as follows: Name of trustee, Trustee for (name of trust, if applicable), for the benefit of: (state name of each beneficiary).

**Rezoning Attachment to Par. 1(a)**DATE: August 26, 2016  
(enter date affidavit is notarized)

133296c

for Application No. (s): PCA 1999-HM-037  
(enter County-assigned application number (s))

**(NOTE):** All relationships to the application are to be disclosed. Multiple relationships may be listed together, e.g., **Attorney/Agent, Contract Purchaser/Lessee, Applicant/Title Owner**, etc. For a multiparcel application, list the Tax Map Number(s) of the parcel(s) for each owner(s) in the Relationship column.

<b>NAME</b> (enter first name, middle initial, and last name)	<b>ADDRESS</b> (enter number, street, city, state, and zip code)	<b>RELATIONSHIP(S)</b> (enter applicable relationships listed in <b>BOLD</b> above)
Woodland Park Two Dulles, L.P. Agents: Rustom A. Cowasjee Cynthia H. Bowden Bradford J. Heming Henry Ross Steven R. Wechsler Paul A. Galiano David Augarten Russell Makowsky Michael B. Benner	45 Rockefeller Center New York, NY 10111	Title Owner of Tax Map 16-3 ((11)) 7 and 16-3 (((1)) 29D
COPT Waterview III, LLC Agents: Stephanie L. Shack Wayne H. Lingafelter (FORMER) Dean A. Lopez Stephen E. Budorick Anthony Mifsud	6711 Columbia Gateway Road, Suite 300 Columbia, MD 21046	Title Owner of Tax Map 16-3 ((1)) 29E
William H. Gordon Associates, Inc. Agents: Steven E. Gleason J. Scott Peterson Brian S. Parsons (FORMER) Robert W. Walker Joseph W. McClellan	4501 Daly Drive, Suite 200 Chantilly, VA 20151	Engineer/Agent
Walsh, Colucci, Lubeley & Walsh, P.C. Agents: Martin D. Walsh Lynne J. Strobel M. Catharine Puskar Sara V. Mariska G. Evan Pritchard Andrew A. Painter Matthew J. Allman Jeffrey R. Sunderland (FORMER) Robert D. Brant Elizabeth D. Baker Inda E. Stagg Amy E. Friedlander	2200 Clarendon Boulevard, Suite 1300 Arlington, VA 22201	Attorneys/Agents for Applicant  Attorney/Agent Attorney/Agent Attorney/Agent Attorney/Agent Attorney/Agent Attorney/Agent FORMER Attorney*/Agent Attorney/Agent Planner/Agent Planner/Agent Planner/Agent *Admitted in New York and California. Admission to Virginia Bar pending.

(check if applicable)  There are more relationships to be listed and Par. 1(a) is continued further on a "Rezoning Attachment to Par. 1(a)" form.

**Rezoning Attachment to Par. 1(a)**

133296c

DATE: August 26, 2016  
(enter date affidavit is notarized)

for Application No. (s): PCA 1999-HM-037  
(enter County-assigned application number (s))

**(NOTE):** All relationships to the application are to be disclosed. Multiple relationships may be listed together, e.g., **Attorney/Agent, Contract Purchaser/Lessee, Applicant/Title Owner**, etc. For a multiparcel application, list the Tax Map Number(s) of the parcel(s) for each owner(s) in the Relationship column.

<b>NAME</b> (enter first name, middle initial, and last name)	<b>ADDRESS</b> (enter number, street, city, state, and zip code)	<b>RELATIONSHIP(S)</b> (enter applicable relationships listed in <b>BOLD</b> above)
KTG Y Group, Inc.  Agent: Mark D. Drake (FORMER) Rohit Anand (nmi)	8609 Westwood Center Drive, Suite 600 Tysons, VA 22182	<b>Architects/Agent</b>
M. J. Wells and Associates, Inc.  Agents: Robin L. Antonucci Michael J. Workosky Jean-Pierre E. Barbour John F. Cavan Justin B. Schor Daria Emkic (FORMER)	1420 Spring Hill Road, Suite 610 Tysons, VA 22102	<b>Transportation Consultant/Agent</b>

(check if applicable)            There are more relationships to be listed and Par. 1(a) is continued further on a "Rezoning Attachment to Par. 1(a)" form.

REZONING AFFIDAVIT

133296c

DATE: August 26, 2016
(enter date affidavit is notarized)

for Application No. (s): PCA 1999-HM-037
(enter County-assigned application number(s))

1(b). The following constitutes a listing\*\*\* of the SHAREHOLDERS of all corporations disclosed in this affidavit who own 10% or more of any class of stock issued by said corporation, and where such corporation has 10 or less shareholders, a listing of all of the shareholders, and if the corporation is an owner of the subject land, all of the OFFICERS and DIRECTORS of such corporation:

(NOTE: Include SOLE PROPRIETORSHIPS, LIMITED LIABILITY COMPANIES, and REAL ESTATE INVESTMENT TRUSTS herein.)

CORPORATION INFORMATION

NAME & ADDRESS OF CORPORATION: (enter complete name, number, street, city, state, and zip code)
NVR, Inc.
11700 Plaza America Drive, #500
Reston, VA 20190

DESCRIPTION OF CORPORATION: (check one statement)

- [ ] There are 10 or less shareholders, and all of the shareholders are listed below.
[ ] There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
[✓] There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial, and last name)

Publicly traded

NAMES OF OFFICERS & DIRECTORS: (enter first name, middle initial, last name, and title, e.g.

President, Vice-President, Secretary, Treasurer, etc.)

Jeffrey D. Martchek, President Homebuilding Operations (FORMER Area President); Matthew A. Beck, VP; John J. Halak, VP; Paul C. Saville, President & Chief Executive Officer; Victoria A. Nelson, Assistant Secretary

(check if applicable) [✓] There is more corporation information and Par. 1(b) is continued on a "Rezoning Attachment 1(b)" form.

\*\*\* All listings which include partnerships, corporations, or trusts, to include the names of beneficiaries, must be broken down successively until: (a) only individual persons are listed or (b) the listing for a corporation having more than 10 shareholders has no shareholder owning 10% or more of any class of stock. In the case of an APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\* of the land that is a partnership, corporation, or trust, such successive breakdown must include a listing and further breakdown of all of its partners, of its shareholders as required above, and of beneficiaries of any trusts. Such successive breakdown must also include breakdowns of any partnership, corporation, or trust owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\* of the land. Limited liability companies and real estate investment trusts and their equivalents are treated as corporations, with members being deemed the equivalent of shareholders; managing members shall also be listed. Use footnote numbers to designate partnerships or corporations, which have further listings on an attachment page, and reference the same footnote numbers on the attachment page.

**Rezoning Attachment to Par. 1(b)**

DATE: August 26, 2016  
(enter date affidavit is notarized)

133296c

for Application No. (s): PCA 1999-HM-037  
(enter County-assigned application number (s))

**NAME & ADDRESS OF CORPORATION:** (enter complete name, number, street, city, state, and zip code)  
COPT Waterview III, LLC  
6711 Columbia Gateway Road, Suite 300  
Columbia, MD 21046

**DESCRIPTION OF CORPORATION:** (check one statement)  
 There are 10 or less shareholders, and all of the shareholders are listed below.  
 There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.  
 There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

**NAMES OF SHAREHOLDERS:** (enter first name, middle initial, and last name)  
Corporate Office Properties, L.P., Sole Member

**NAMES OF OFFICERS & DIRECTORS:** (enter first name, middle initial, last name & title, e.g. **President, Vice President, Secretary, Treasurer,** etc.)

Stephen E. Budorick, President; Anthony Mifsud, EVP & CFO; Holly G. Edington - SVP- Human Resources; Stephanie L. Shack, SVP & Asst. Secretary; Karen M. Singer, SVP, General Counsel & Secretary; Gregory J. Thor, SVP, Chief Accounting Officer & Controller; Scott D. Robuck, VP - Finance & Treasurer; David L. Finch, VP & Asst. Secretary  
Roger A. Waesche, Jr., FORMER President & CEO; Wayne Lingafelter, FORMER EVP-Dev. & Construction

**NAME & ADDRESS OF CORPORATION:** (enter complete name, number, street, city, state, and zip code)  
William H. Gordon Associates, Inc.  
4501 Daly Drive, Suite 200  
Chantilly, VA 20151

**DESCRIPTION OF CORPORATION:** (check one statement)  
 There are 10 or less shareholders, and all of the shareholders are listed below.  
 There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.  
 There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

**NAMES OF SHAREHOLDERS:** (enter first name, middle initial, and last name)  
Former shareholders: William H. Gordon, Joseph W. McClellan, R. Steven Hulsey

William H. Gordon IV Revocable Trust Dated July 22, 1997, As Amended, f/b/o Anne G. Tirona, William H. Gordon V, Sharon G. Blount	McClellan Living Trust Dated September 03, 2009 f/b/o Leif E. Hansen, Karen M. McClellan, Wendy A. McClellan, Erika L. Hansen, Christopher S. Hansen,	Paula M. Fleckenstein Robert W. Walker Mark A. Dyck Kevin D. Nelson	Stanley D. Heiser J. Scott Peterson Louise (nmi) Zwicker William E. Junda
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**NAMES OF OFFICERS & DIRECTORS:** (enter first name, middle initial, last name & title, e.g. **President, Vice President, Secretary, Treasurer,** etc.)

(check if applicable)  There is more corporation information and Par. 1(b) is continued further on a "Rezoning Attachment to Par. 1(b)" form.

**Rezoning Attachment to Par. 1(b)**

DATE: August 26, 2016  
(enter date affidavit is notarized)

133296c

for Application No. (s): PCA 1999-HM-037  
(enter County-assigned application number (s))

**NAME & ADDRESS OF CORPORATION:** (enter complete name, number, street, city, state, and zip code)

M.J. Wells & Associates, Inc.  
1420 Spring Hill Road, Suite 610  
Tysons, VA 22102

**DESCRIPTION OF CORPORATION:** (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

**NAMES OF THE SHAREHOLDERS:** (enter first name, middle initial, and last name)

M.J. Wells & Associates, Inc. Employee Stock Ownership Trust. All employees are eligible plan participants; however, no one employee owns 10% or more of any class of stock.

=====

**NAMES OF OFFICERS & DIRECTORS:** (enter first name, middle initial, last name, and title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

=====

**NAME & ADDRESS OF CORPORATION:** (enter complete name, number, street, city, state, and zip code)

KTGY Group, Inc.  
8609 Westwood Center Drive,  
Suite 600  
Tysons, VA 22182

**DESCRIPTION OF CORPORATION:** (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

**NAMES OF THE SHAREHOLDERS:** (enter first name, middle initial, and last name)

Patricia Ann Esser	Chris S. Texter
John Peter Tully (former)	David Senden
Jill Diane Williams	

=====

**NAMES OF OFFICERS & DIRECTORS:** (enter first name, middle initial, last name, and title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

(check if applicable)  There is more corporation information and Par. 1(b) is continued further on a "Rezoning Attachment to Par. 1(b)" form.

**Rezoning Attachment to Par. 1(b)**

133296c

DATE: August 26, 2016  
(enter date affidavit is notarized)

for Application No. (s): PCA 1999-HM-037  
(enter County-assigned application number (s))

**NAME & ADDRESS OF CORPORATION:** (enter complete name, number, street, city, state, and zip code)

Walsh, Colucci, Lubeley & Walsh, P.C.  
2200 Clarendon Boulevard, Suite 1300  
Arlington, VA 22201

**DESCRIPTION OF CORPORATION:** (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

**NAMES OF THE SHAREHOLDERS:** (enter first name, middle initial, and last name)

Wendy A. Alexander	Jay du Von	J. Randall Minchew	Lynne J. Strobel
David J. Bomgardner	William A. Fogarty	Andrew A. Painter	Garth M. Wainman
E. Andrew Burcher	John H. Foote	G. Evan Pritchard	Nan E. Walsh
Thomas J. Colucci	H. Mark Goetzman	M. Catharine Puskar	
Michael J. Coughlin	Bryan H. Guidash	John E. Rinaldi	
Peter M. Dolan, Jr.	Michael J. Kalish	Kathleen H. Smith	

**NAMES OF OFFICERS & DIRECTORS:** (enter first name, middle initial, last name, and title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

**NAME & ADDRESS OF CORPORATION:** (enter complete name, number, street, city, state, and zip code)

Corporate Office Properties Trust  
6711 Columbia Gateway Road, Suite 300  
Columbia, MD 21046

**DESCRIPTION OF CORPORATION:** (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

**NAMES OF THE SHAREHOLDERS:** (enter first name, middle initial, and last name)

A Maryland real estate investment trust that is publicly traded on the NYSE

**NAMES OF OFFICERS & DIRECTORS:** (enter first name, middle initial, last name, and title, e.g. President, Vice-President, Secretary, Treasurer, etc.)

Stephen E. Budorick, President; Anthony Mifsud, EVP & CFO; Holly G. Edington - SVP- Human Resources; Stephanie L. Shack, SVP & Asst. Secretary; Karen M. Singer, SVP, General Counsel & Secretary; Gregory J. Thor, SVP, Chief Accounting Officer & Controller; Scott D. Robuck, VP - Finance & Treasurer; David L. Finch, VP & Asst. Secretary

(check if applicable)  There is more corporation information and Par. 1(b) is continued further on a "Rezoning Attachment to Par. 1(b)" form.

REZONING AFFIDAVIT

DATE: August 26, 2016
(enter date affidavit is notarized)

133296c

for Application No. (s): PCA 1999-HM-037
(enter County-assigned application number(s))

1(c). The following constitutes a listing\*\*\* of all of the PARTNERS, both GENERAL and LIMITED, in any partnership disclosed in this affidavit:

PARTNERSHIP INFORMATION

PARTNERSHIP NAME & ADDRESS: (enter complete name, number, street, city, state and zip code)

Woodland Park Parcel I, L.P. (FORMER)
45 Rockefeller Center
New York,, NY 10111

(check if applicable) [ ] The above-listed partnership has no limited partners.

NAMES AND TITLE OF THE PARTNERS (enter first name, middle initial, last name, and title, e.g. General Partner, Limited Partner, or General and Limited Partner)

General Partner:
Woodland Park JV GP, L.L.C. (owns less than 10% of Woodland Park Parcel I, L.P.)

Limited Partner:
Woodland Park/Westfields JV, L.P.

(check if applicable) [x] There is more partnership information and Par. 1(c) is continued on a "Rezoning Attachment to Par. 1(c)" form.

\*\*\* All listings which include partnerships, corporations, or trusts, to include the names of beneficiaries, must be broken down successively until: (a) only individual persons are listed or (b) the listing for a corporation having more than 10 shareholders has no shareholder owning 10% or more of any class of stock. In the case of an APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\* of the land that is a partnership, corporation, or trust, such successive breakdown must include a listing and further breakdown of all of its partners, of its shareholders as required above, and of beneficiaries of any trusts. Such successive breakdown must also include breakdowns of any partnership, corporation, or trust owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\* of the land. Limited liability companies and real estate investment trusts and their equivalents are treated as corporations, with members being deemed the equivalent of shareholders; managing members shall also be listed. Use footnote numbers to designate partnerships or corporations, which have further listings on an attachment page, and reference the same footnote numbers on the attachment page.

**Rezoning Attachment to Par. 1(c)**

DATE: August 26, 2016  
(enter date affidavit is notarized)

133296c

for Application No. (s): PCA 1999-HM-037  
(enter County-assigned application number (s))

**PARTNERSHIP NAME & ADDRESS:** (enter complete name & number, street, city, state & zip code)

Woodland Park/Westfields JV, L.P.  
45 Rockefeller Center  
New York, NY 10111

(check if applicable)  The above-listed partnership has no limited partners.

**NAMES AND TITLES OF THE PARTNERS:** (enter first name, middle initial, last name, and title, e.g.,  
**General Partner, Limited Partner, or General and Limited Partner**)

General Partner:  
Tishman Speyer Woodland Park/Westfields JV GP, L.L.C.\*

Limited Partners:  
Woodland Park/Westfields, Corp.\*  
Tishman Speyer Real Estate Venture VI, L.P.  
Tishman Speyer Real Estate Venture VI Parallel (GER), L.P.\*  
Tishman Speyer Real Estate Venture VI Parallel (ERISA), L.P.\*  
Tishman Speyer Real Estate Venture VI Parallel (ON), L.P.\*  
Tishman Speyer Real Estate Venture VI Alternative (BF), L.P.\*

\* owns less than 10% of Woodland Park Two Dulles, L.P.

(check if applicable)  There is more partnership information and Par. 1(c) is continued further on a  
"Rezoning Attachment to Par. 1(c)" form.

**Rezoning Attachment to Par. 1(c)**

DATE: August 26, 2016  
(enter date affidavit is notarized)

133296c

for Application No. (s): PCA 1999-HM-037  
(enter County-assigned application number (s))

**PARTNERSHIP NAME & ADDRESS:** (enter complete name & number, street, city, state & zip code)

Tishman Speyer Real Estate Venture VI, L.P.  
45 Rockefeller Center  
New York, NY 10111

(check if applicable)  The above-listed partnership has no limited partners.

**NAMES AND TITLES OF THE PARTNERS:** (enter first name, middle initial, last name, and title, e.g.,  
**General Partner, Limited Partner, or General and Limited Partner**)

General Partner:  
Tishman Speyer U.S. Value-Added  
Associates VI, L.L.C. (owns less than 10%  
of Woodland Park Two Dulles, L.P.)

Limited Partners:  
Alaska State Pension Investment Board  
(There are in excess of thousands of  
members in this pension fund, none of  
whom own more than 10% of Woodland  
Park Two Dulles, L.P.)

Landmark Real Estate Partners VII PV LP  
(a master limited partnership consisting of  
hundreds of limited partners/investors)

(check if applicable)  There is more partnership information and Par. 1(c) is continued further on a  
"Rezoning Attachment to Par. 1(c)" form.

**Rezoning Attachment to Par. 1(c)**

DATE: August 26, 2016  
(enter date affidavit is notarized)

133296c

for Application No. (s): PCA 1999-HM-037  
(enter County-assigned application number (s))

**PARTNERSHIP NAME & ADDRESS:** (enter complete name & number, street, city, state & zip code)

Corporate Office Properties, L.P.  
6711 Columbia Gateway Road, Suite 300  
Columbia, MD 21046

(check if applicable)  The above-listed partnership has no limited partners.

**NAMES AND TITLES OF THE PARTNERS:** (enter first name, middle initial, last name, and title, e.g.,  
**General Partner, Limited Partner, or General and Limited Partner**)

General Partner:  
Corporate Office Properties Trust, a  
Maryland real estate investment trust that is  
publicly traded on the NYSE

Limited Partners:	
Jay H. Shidler	Robert Manekin
Shidler Equities, L.P.*	Charles Manekin
Clay W. Hamlin, III	Francine Manekin
LBCW Limited Partnership*	Sandy Sirota
Robert L. Denton	Lynn Stern
James K. Davis	Louis LaPenna
Samuel Tang	Jamie Deutsch
Lawrence J. Taff	Kelly Alter
M.O.R. 44 Gateway Associates Limited Partnership*	TRC Associates Limited Partnership*
Estate of John Parsinen	
M.O.R. Commons Limited Partnership*	
Lynn Hamlin	
Housing Affiliates, Inc.*	
Reingle Corp.*	
Joseph Tawil	
The Lovejoy Trust*	
The Century Trust*	
A. Charles Wilson, Trustee of the A.	
Charles Wilson and Betty S Wilson Trust	
u/d/t June 18, 1980 - Survivor's Trust *	
Irwin Hoffman	
The Rouse Family Exemption Trust*	
Lawrence G. Rief	
David D. Jenkins	
RA & DM, Inc.*	
Richard Alter	
Donald Manekin	
William Winstead	
Richard Manekin	

\*owns less than 10% of COPT Waterview III, LLC

(check if applicable)  There is more partnership information and Par. 1(c) is continued further on a "Rezoning Attachment to Par. 1(c)" form.

**Rezoning Attachment to Par. 1(c)**

DATE: August 26, 2016  
(enter date affidavit is notarized)

133296c

for Application No. (s): PCA 1999-HM-037  
(enter County-assigned application number (s))

**PARTNERSHIP NAME & ADDRESS:** (enter complete name & number, street, city, state & zip code)

Woodland Park Two Dulles, L.P.  
45 Rockefeller Center  
New York, NY 10111

(check if applicable)  The above-listed partnership has no limited partners.

**NAMES AND TITLE OF THE PARTNERS** (enter first name, middle initial, last name, and title, e.g. **General Partner, Limited Partner, or General and Limited Partner**)

General Partner:  
Woodland Park JV GP, L.L.C. (owns less than 10% of Woodland Park Two Dulles, L.P.)

Limited Partner:  
Woodland Park/Westfields JV, L.P.

**OFFICERS:**

Jerry I. Speyer, Chairman; Robert J. Speyer, President and CEO; Paul A. Galiano, Senior Managing Director; Michael P.M. Spies, Senior Managing Director; Steven R. Wechsler, Senior Managing Director; Michael B. Benner, Vice President, Secretary; David Augarten, Vice President and Assistant Secretary; Russell Makowsky, Vice President and Treasurer; Victor Cuciniello, Assistant Treasurer

(check if applicable)  There is more partnership information and Par. 1(c) is continued further on a "Rezoning Attachment to Par. 1(c)" form.

REZONING AFFIDAVIT

133296c

DATE: August 26, 2016  
(enter date affidavit is notarized)

for Application No. (s): PCA 1999-HM-037  
(enter County-assigned application number(s))

1(d). One of the following boxes **must** be checked:

[ ] In addition to the names listed in Paragraphs 1(a), 1(b), and 1(c) above, the following is a listing of any and all other individuals who own in the aggregate (directly and as a shareholder, partner, and beneficiary of a trust) 10% or more of the **APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\*** of the land:

[✓] Other than the names listed in Paragraphs 1(a), 1(b), and 1(c) above, no individual owns in the aggregate (directly and as a shareholder, partner, and beneficiary of a trust) 10% or more of the **APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\*** of the land.

2. That no member of the Fairfax County Board of Supervisors, Planning Commission, or any member of his or her immediate household owns or has any financial interest in the subject land either individually, by ownership of stock in a corporation owning such land, or through an interest in a partnership owning such land.

**EXCEPT AS FOLLOWS:** (NOTE: If answer is none, enter "NONE" on the line below.)

NONE

(check if applicable) [ ] There are more interests to be listed and Par. 2 is continued on a "Rezoning Attachment to Par. 2" form.

REZONING AFFIDAVIT

DATE: August 26, 2016
(enter date affidavit is notarized)

133296c

for Application No. (s): PCA 1999-HM-037
(enter County-assigned application number(s))

3. That within the twelve-month period prior to the public hearing of this application, no member of the Fairfax County Board of Supervisors, Planning Commission, or any member of his or her immediate household, either directly or by way of partnership in which any of them is a partner, employee, agent, or attorney, or through a partner of any of them, or through a corporation in which any of them is an officer, director, employee, agent, or attorney or holds 10% or more of the outstanding bonds or shares of stock of a particular class, has, or has had any business or financial relationship, other than any ordinary depositor or customer relationship with or by a retail establishment, public utility, or bank, including any gift or donation having a value of more than \$100, singularly or in the aggregate, with any of those listed in Par. 1 above.

EXCEPT AS FOLLOWS: (NOTE: If answer is none, enter "NONE" on line below.)
None

(NOTE: Business or financial relationships of the type described in this paragraph that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings. See Par. 4 below.)

(check if applicable) [ ] There are more disclosures to be listed and Par. 3 is continued on a "Rezoning Attachment to Par. 3" form.

4. That the information contained in this affidavit is complete, that all partnerships, corporations, and trusts owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\* of the land have been listed and broken down, and that prior to each and every public hearing on this matter, I will reexamine this affidavit and provide any changed or supplemental information, including business or financial relationships of the type described in Paragraph 3 above, that arise on or after the date of this application.

WITNESS the following signature:

(check one)

[ ] Applicant [x] Applicant's Authorized Agent
Elizabeth D. Baker

Elizabeth D. Baker, agent
(type or print first name, middle initial, last name, and title of signee)

Subscribed and sworn to before me this 26 day of August 2016, in the State/Comm. of Virginia, County/City of Arlington.

Kimberly K. Follin
Notary Public

My commission expires: 11/30/2019

KIMBERLY K. FOLLIN
Registration # 283945
Notary Public
COMMONWEALTH OF VIRGINIA

**SPECIAL EXCEPTION AFFIDAVIT**

DATE: August 26, 2016  
(enter date affidavit is notarized)

133294c

I, Elizabeth D. Baker, agent, do hereby state that I am an  
(enter name of applicant or authorized agent)

(check one)       applicant  
                          applicant's authorized agent listed in Par. 1(a) below

in Application No.(s): SEA 97-H-070-03  
(enter County-assigned application number(s), e.g. SE 88-V-001)

and that, to the best of my knowledge and belief, the following information is true:

1(a). The following constitutes a listing of the names and addresses of all **APPLICANTS, TITLE OWNERS, CONTRACT PURCHASERS, and LESSEES** of the land described in the application,\* and, if any of the foregoing is a **TRUSTEE,\*\*** each **BENEFICIARY** of such trust, and all **ATTORNEYS** and **REAL ESTATE BROKERS**, and all **AGENTS** who have acted on behalf of any of the foregoing with respect to the application:

(NOTE: All relationships to the application listed above in **BOLD** print are to be disclosed. Multiple relationships may be listed together, e.g., **Attorney/Agent, Contract Purchaser/Lessee, Applicant/Title Owner**, etc. For a multiparcel application, list the Tax Map Number(s) of the parcel(s) for each owner(s) in the Relationship column.)

<b>NAME</b> (enter first name, middle initial, and last name)	<b>ADDRESS</b> (enter number, street, city, state, and zip code)	<b>RELATIONSHIP(S)</b> (enter applicable relationships listed in <b>BOLD</b> above)
NVR, Inc. Agents: Jeffrey D. Martchek Jay K. Johnson Mark K. Coletta Matthew A. Beck Eric M. Dickman	11700 Plaza America Drive, #500 Reston, VA 20190	Applicant/Contract Purchaser of Tax Map 16-3 ((1)) 29D, 29E and 16-3 ((1)) 7
Woodland Park Parcel I, L.P. -Agents: Rustom A. Cowasjee Cynthia H. Bowden Bradford J. Heming Henry Ross Steven Wechsler	45 Rockefeller Center New York,, NY 10111	FORMER Title Owner of Tax Map 16-3 ((1)) 7 and 16-3 (((1)) 29D

(check if applicable)       There are more relationships to be listed and Par. 1(a) is continued on a "Special Exception Attachment to Par. 1(a)" form.

\* In the case of a condominium, the title owner, contract purchaser, or lessee of 10% or more of the units in the condominium.

\*\* List as follows: Name of trustee, Trustee for (name of trust, if applicable), for the benefit of: (state name of each beneficiary).

**Special Exception Attachment to Par. 1(a)**

133294c

DATE: August 26, 2016  
(enter date affidavit is notarized)for Application No. (s): SEA 97-H-070-03  
(enter County-assigned application number (s))

**(NOTE:** All relationships to the application are to be disclosed. Multiple relationships may be listed together, e.g., **Attorney/Agent, Contract Purchaser/Lessee, Applicant/Title Owner**, etc. For a multiparcel application, list the Tax Map Number(s) of the parcel (s) for each owner(s) in the Relationship column.)

<b>NAME</b> (enter first name, middle initial, and last name)	<b>ADDRESS</b> (enter number, street, city, state, and zip code)	<b>RELATIONSHIP(S)</b> (enter applicable relationships listed in <b>BOLD</b> above)
Woodland Park Two Dulles, L.P. Agents: Rustom A. Cowasjee Cynthia H. Bowden Bradford J. Heming Henry Ross Steven R. Wechsler Paul A. Galiano David Augarten Russell Makowsky Michael B. Benner	45 Rockefeller Center New York, NY 10111	Title Owner of Tax Map 16-3 ((11)) 7 and 16-3 (((1)) 29D
COPT Waterview III, LLC Agents: Stephanie L. Shack Wayne H. Lingafelter (FORMER) Dean A. Lopez Stephen E. Budorick Anthony Mifsud	6711 Columbia Gateway Road, Suite 300 Columbia, MD 21046	Title Owner of Tax Map 16-3 ((1)) 29E
William H. Gordon Associates, Inc. Agents: Steven E. Gleason J. Scott Peterson Brian S. Parsons (FORMER) Robert W. Walker Joseph W. McClellan	4501 Daly Drive, Suite 200 Chantilly, VA 20151	Engineer/Agent
Walsh, Colucci, Lubeley & Walsh, P.C. Agents: Martin D. Walsh Lynne J. Strobel M. Catharine Puskar Sara V. Mariska G. Evan Pritchard Andrew A. Painter Matthew J. Allman Jeffrey R. Sunderland (FORMER) Robert D. Brant Elizabeth D. Baker Inda E. Stagg Amy E. Friedlander	2200 Clarendon Boulevard, Suite 1300 Arlington, VA 22201	Attorneys/Agents for Applicant  Attorney/Agent Attorney/Agent Attorney/Agent Attorney/Agent Attorney/Agent Attorney/Agent FORMER Attorney*/Agent Attorney/Agent Planner/Agent Planner/Agent Planner/Agent *Admitted in New York and California. Admission to Virginia Bar pending.

(check if applicable)  There are more relationships to be listed and Par. 1(a) is continued further on a "Special Exception Attachment to Par. 1(a)" form.

Special Exception Attachment to Par. 1(a)

133294c

DATE: August 26, 2016  
(enter date affidavit is notarized)

for Application No. (s): SEA 97-H-070-03  
(enter County-assigned application number (s))

(NOTE: All relationships to the application are to be disclosed. Multiple relationships may be listed together, e.g., Attorney/Agent, Contract Purchaser/Lessee, Applicant/Title Owner, etc. For a multiparcel application, list the Tax Map Number(s) of the parcel (s) for each owner(s) in the Relationship column.)

NAME (enter first name, middle initial, and last name)	ADDRESS (enter number, street, city, state, and zip code)	RELATIONSHIP(S) (enter applicable relationships listed in BOLD above)
KTGY Group, Inc. Agent: Mark D. Drake (FORMER) Rohit Anand (nmi)	8609 Westwood Center Drive, Suite 600 Tysons, VA 22182	Architects/Agent
M. J. Wells and Associates, Inc. Agents: Robin L. Antonucci Michael J. Workosky Jean-Pierre E. Barbour John F. Cavan Justin B. Schor Daria Emkic (FORMER)	1420 Spring Hill Road, Suite 610 Tysons, VA 22102	Transportation Consultant/Agent

(check if applicable)  There are more relationships to be listed and Par. 1(a) is continued further on a "Special Exception Attachment to Par. 1(a)" form.

SPECIAL EXCEPTION AFFIDAVIT

DATE: August 26, 2016
(enter date affidavit is notarized)

133294c

for Application No. (s): SEA 97-H-070-03
(enter County-assigned application number(s))

1(b). The following constitutes a listing\*\*\* of the SHAREHOLDERS of all corporations disclosed in this affidavit who own 10% or more of any class of stock issued by said corporation, and where such corporation has 10 or less shareholders, a listing of all of the shareholders:

(NOTE: Include SOLE PROPRIETORSHIPS, LIMITED LIABILITY COMPANIES, and REAL ESTATE INVESTMENT TRUSTS herein.)

CORPORATION INFORMATION

NAME & ADDRESS OF CORPORATION: (enter complete name and number, street, city, state, and zip code)
NVR, Inc.
11700 Plaza America Drive, #500
Reston, VA 20190

DESCRIPTION OF CORPORATION: (check one statement)

- [ ] There are 10 or less shareholders, and all of the shareholders are listed below.
[ ] There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
[✓] There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF SHAREHOLDERS: (enter first name, middle initial and last name)

Publicly traded

(check if applicable) [✓] There is more corporation information and Par. 1(b) is continued on a "Special Exception Affidavit Attachment 1(b)" form.

\*\*\* All listings which include partnerships, corporations, or trusts, to include the names of beneficiaries, must be broken down successively until: (a) only individual persons are listed or (b) the listing for a corporation having more than 10 shareholders has no shareholder owning 10% or more of any class of stock. In the case of an APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\* of the land that is a partnership, corporation, or trust, such successive breakdown must include a listing and further breakdown of all of its partners, of its shareholders as required above, and of beneficiaries of any trusts. Such successive breakdown must also include breakdowns of any partnership, corporation, or trust owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\* of the land. Limited liability companies and real estate investment trusts and their equivalents are treated as corporations, with members being deemed the equivalent of shareholders; managing members shall also be listed. Use footnote numbers to designate partnerships or corporations, which have further listings on an attachment page, and reference the same footnote numbers on the attachment page.

**Special Exception Attachment to Par. 1(b)**

DATE: August 26, 2016  
(enter date affidavit is notarized)

133294e

for Application No. (s): SEA 97-H-070-03  
(enter County-assigned application number (s))

**NAME & ADDRESS OF CORPORATION:** (enter complete name, number, street, city, state, and zip code)

COPT Waterview III, LLC  
6711 Columbia Gateway Road, Suite 300  
Columbia, MD 21046

**DESCRIPTION OF CORPORATION:** (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

**NAMES OF THE SHAREHOLDERS:** (enter first name, middle initial, and last name)

Corporate Office Properties, L.P., Sole Member

**NAME & ADDRESS OF CORPORATION:** (enter complete name, number, street, city, state, and zip code)

William H. Gordon Associates, Inc.  
4501 Daly Drive, Suite 200  
Chantilly, VA 20151

**DESCRIPTION OF CORPORATION:** (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

**NAMES OF THE SHAREHOLDERS:** (enter first name, middle initial, and last name)

Former shareholders: William H. Gordon, Joseph W. McClellan, R. Steven Hulsey

William H. Gordon IV Revocable Trust Dated July 22, 1997, As Amended, f/b/o Anne G. Tirona, William H. Gordon V, Sharon G. Blount	McClellan Living Trust Dated September 03, 2009 f/b/o Leif E. Hansen, Karen M. McClellan, Wendy A. McClellan, Erika L. Hansen, Christopher S. Hansen,	Paula M. Fleckenstein Robert W. Walker Mark A. Dyck Kevin D. Nelson	Stanley D. Heiser J. Scott Peterson Louise (nmi) Zwicker William E. Junda
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(check if applicable)  There is more corporation information and Par. 1(b) is continued further on a "Special Exception Attachment to Par. 1(b)" form.

**Special Exception Attachment to Par. 1(b)**

133294c

DATE: August 26, 2016  
(enter date affidavit is notarized)

for Application No. (s): SEA 97-H-070-03  
(enter County-assigned application number (s))

=====

**NAME & ADDRESS OF CORPORATION:** (enter complete name, number, street, city, state, and zip code)

M.J. Wells & Associates, Inc.  
1420 Spring Hill Road, Suite 610  
Tysons, VA 22102

**DESCRIPTION OF CORPORATION:** (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

**NAMES OF THE SHAREHOLDERS:** (enter first name, middle initial, and last name)

M.J. Wells & Associates, Inc. Employee Stock Ownership Trust. All employees are eligible plan participants; however, no one employee owns 10% or more of any class of stock.

=====

**NAME & ADDRESS OF CORPORATION:** (enter complete name, number, street, city, state, and zip code)

KTGY Group, Inc.  
8609 Westwood Center Drive,  
Suite 600  
Tysons, VA 22182

**DESCRIPTION OF CORPORATION:** (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

**NAMES OF THE SHAREHOLDERS:** (enter first name, middle initial, and last name)

Patricia Ann Esser	Chris S. Texter
John Peter Tully (former)	David Senden
Jill Diane Williams	

=====

(check if applicable)  There is more corporation information and Par. 1(b) is continued further on a "Special Exception Attachment to Par. 1(b)" form.

Special Exception Attachment to Par. 1(b)

DATE: August 26, 2016 (enter date affidavit is notarized)

133294c

for Application No. (s): SEA 97-H-070-03 (enter County-assigned application number (s))

NAME & ADDRESS OF CORPORATION: (enter complete name, number, street, city, state, and zip code)

Walsh, Colucci, Lubeley & Walsh, P.C.
2200 Clarendon Boulevard, Suite 1300
Arlington, VA 22201

DESCRIPTION OF CORPORATION: (check one statement)

- [ ] There are 10 or less shareholders, and all of the shareholders are listed below.
[ ] There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
[ ] There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial, and last name)

Wendy A. Alexander Jay du Von J. Randall Minchew Lynne J. Strobel
David J. Bomgardner William A. Fogarty Andrew A. Painter Garth M. Wainman
E. Andrew Burcher John H. Foote G. Evan Pritchard Nan E. Walsh
Thomas J. Colucci H. Mark Goetzman M. Catharine Puskar
Michael J. Coughlin Bryan H. Guidash John E. Rinaldi
Peter M. Dolan, Jr. Michael J. Kalish Kathleen H. Smith

NAME & ADDRESS OF CORPORATION: (enter complete name, number, street, city, state, and zip code)

Corporate Office Properties Trust
6711 Columbia Gateway Road, Suite 300
Columbia, MD 21046

DESCRIPTION OF CORPORATION: (check one statement)

- [ ] There are 10 or less shareholders, and all of the shareholders are listed below.
[ ] There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
[ ] There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF THE SHAREHOLDERS: (enter first name, middle initial, and last name)

A Maryland real estate investment trust that is publicly traded on the NYSE

(check if applicable) [ ] There is more corporation information and Par. 1(b) is continued further on a "Special Exception Attachment to Par. 1(b)" form.

SPECIAL EXCEPTION AFFIDAVIT

DATE: August 26, 2016
(enter date affidavit is notarized)

1332940

for Application No. (s): SEA 97-H-070-03
(enter County-assigned application number(s))

1(c). The following constitutes a listing\*\*\* of all of the PARTNERS, both GENERAL and LIMITED, in any partnership disclosed in this affidavit:

PARTNERSHIP INFORMATION

PARTNERSHIP NAME & ADDRESS: (enter complete name, and number, street, city, state, and zip code)
Woodland Park Parcel I, L.P. (FORMER)
45 Rockefeller Center
New York,, NY 10111

(check if applicable) [ ] The above-listed partnership has no limited partners.

NAMES AND TITLE OF THE PARTNERS (enter first name, middle initial, last name, and title, e.g. General Partner, Limited Partner, or General and Limited Partner)

General Partner:
Woodland Park JV GP, L.L.C. (owns
less than 10% of Woodland Park Parcel
I, L.P.)

Limited Partner:
Woodland Park/Westfields JV, L.P.

(check if applicable) [x] There is more partnership information and Par. 1(c) is continued on a "Special Exception Affidavit Attachment to Par. 1(c)" form.

\*\*\* All listings which include partnerships, corporations, or trusts, to include the names of beneficiaries, must be broken down successively until: (a) only individual persons are listed or (b) the listing for a corporation having more than 10 shareholders has no shareholder owning 10% or more of any class of stock. In the case of an APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\* of the land that is a partnership, corporation, or trust, such successive breakdown must include a listing and further breakdown of all of its partners, of its shareholders as required above, and of beneficiaries of any trusts. Such successive breakdown must also include breakdowns of any partnership, corporation, or trust owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\* of the land. Limited liability companies and real estate investment trusts and their equivalents are treated as corporations, with members being deemed the equivalent of shareholders; managing members shall also be listed. Use footnote numbers to designate partnerships or corporations, which have further listings on an attachment page, and reference the same footnote numbers on the attachment page.

**Special Exception Attachment to Par. 1(c)**

DATE: August 26, 2016  
(enter date affidavit is notarized)

133294e

for Application No. (s): SEA 97-H-070-03  
(enter County-assigned application number (s))

**PARTNERSHIP NAME & ADDRESS:** (enter complete name & number, street, city, state & zip code)

Woodland Park/Westfields JV, L.P.  
45 Rockefeller Center  
New York,, NY 10111

(check if applicable)  The above-listed partnership has no limited partners.

**NAMES AND TITLES OF THE PARTNERS:** (enter first name, middle initial, last name, and title, e.g., **General Partner, Limited Partner, or General and Limited Partner**)

General Partner:

Tishman Speyer Woodland Park/Westfields JV GP, L.L.C.\*

Limited Partners:

Woodland Park/Westfields, Corp.\*

Tishman Speyer Real Estate Venture VI, L.P.

Tishman Speyer Real Estate Venture VI Parallel (GER), L.P.\*

Tishman Speyer Real Estate Venture VI Parallel (ERISA), L.P.\*

Tishman Speyer Real Estate Venture VI Parallel (ON), L.P.\*

Tishman Speyer Real Estate Venture VI Alternative (BF), L.P.\*

\* owns less than 10% of Woodland Park Two Dulles, L.P.

(check if applicable)  There is more partnership information and Par. 1(c) is continued further on a "Special Exception Attachment to Par. 1(c)" form.

**Special Exception Attachment to Par. 1(c)**

DATE: August 26, 2016  
(enter date affidavit is notarized)

133294c

for Application No. (s): SEA 97-H-070-03  
(enter County-assigned application number (s))

**PARTNERSHIP NAME & ADDRESS:** (enter complete name & number, street, city, state & zip code)

Tishman Speyer Real Estate Venture VI, L.P.  
45 Rockefeller Center  
New York, NY 10111

(check if applicable)  The above-listed partnership has no limited partners.

**NAMES AND TITLES OF THE PARTNERS:** (enter first name, middle initial, last name, and title, e.g., **General Partner, Limited Partner, or General and Limited Partner**)

General Partner:

Tishman Speyer U.S. Value-Added  
Associates VI, L.L.C. (owns less than  
10% of Woodland Park Two Dulles,  
L.P.)

Limited Partners:

Alaska State Pension Investment Board  
(There are in excess of thousands of  
members in this pension fund, none of  
whom own more than 10% of Woodland  
Park Two Dulles, L.P.)

Landmark Real Estate Partners VII PV  
LP (a master limited partnership  
consisting of hundreds of limited  
partners/investors)

(check if applicable)  There is more partnership information and Par. 1(c) is continued further on a  
"Special Exception Attachment to Par. 1(c)" form.

**Special Exception Attachment to Par. 1(c)**

DATE: August 26, 2016  
(enter date affidavit is notarized)

133294c

for Application No. (s): SEA 97-H-070-03  
(enter County-assigned application number (s))

**PARTNERSHIP NAME & ADDRESS:** (enter complete name & number, street, city, state & zip code)  
Corporate Office Properties, L.P.  
6711 Columbia Gateway Road, Suite 300  
Columbia, MD 21046

(check if applicable)  The above-listed partnership has no limited partners.

**NAMES AND TITLES OF THE PARTNERS:** (enter first name, middle initial, last name, and title, e.g., **General Partner, Limited Partner, or General and Limited Partner**)

General Partner:  
Corporate Office Properties Trust

Limited Partners:

Jay H. Shidler  
Shidler Equities, L.P.\*  
Clay W. Hamlin, III  
LBCW Limited Partnership\*  
Robert L. Denton  
James K. Davis  
Samuel Tang  
Lawrence J. Taff  
M.O.R. 44 Gateway Associates Limited Partnership\*  
Estate of John Parsinen  
M.O.R. Commons Limited Partnership\*  
Lynn Hamlin  
Housing Affiliates, Inc.\*  
Reingle Corp.\*  
Joseph Tawil  
The Lovejoy Trust\*  
The Century Trust\*  
A. Charles Wilson, Trustee of the A.  
Charles Wilson and Betty S Wilson Trust  
u/d/t June 18, 1980 - Survivor's Trust \*  
Irwin Hoffman  
The Rouse Family Exemption Trust\*  
Lawrence G. Rief  
David D. Jenkins  
RA & DM, Inc.\*  
Richard Alter  
Donald Manekin  
William Winstead  
Richard Manekin

Robert Manekin  
Charles Manekin  
Francine Manekin  
Sandye Sirota  
Lynn Stern  
Louis LaPenna  
Jamie Deutsch  
Kelly Alter  
TRC Associates Limited Partnership\*

\*owns less than 10% of COPT Waterview III, LLC

(check if applicable)  There is more partnership information and Par. 1(c) is continued further on a "Special Exception Attachment to Par. 1(c)" form.

**Rezoning Attachment to Par. 1(c)**

DATE: August 26, 2016  
(enter date affidavit is notarized)

133294c

for Application No. (s): SEA 97-H-070-03  
(enter County-assigned application number (s))

**PARTNERSHIP NAME & ADDRESS:** (enter complete name & number, street, city, state & zip code)

Woodland Park Two Dulles, L.P.  
45 Rockefeller Center  
New York,, NY 10111

(check if applicable)  The above-listed partnership has no limited partners.

**NAMES AND TITLE OF THE PARTNERS** (enter first name, middle initial, last name, and title, e.g. **General Partner, Limited Partner, or General and Limited Partner**)

General Partner:  
Woodland Park JV GP, L.L.C. (owns less than 10% of Woodland Park Two Dulles, L.P.)

Limited Partner:  
Woodland Park/Westfields JV, L.P.

**OFFICERS:**

Jerry I. Speyer, Chairman; Robert J. Speyer, President and CEO; Paul A. Galiano, Senior Managing Director; Michael P.M. Spies, Senior Managing Director; Steven R. Wechsler, Senior Managing Director; Michael B. Benner, Vice President, Secretary; David Augarten, Vice President and Assistant Secretary; Russell Makowsky, Vice President and Treasurer; Victor Cuciniello, Assistant Treasurer

(check if applicable)  There is more partnership information and Par. 1(c) is continued further on a "Rezoning Attachment to Par. 1(c)" form.

SPECIAL EXCEPTION AFFIDAVIT

DATE: August 26, 2016
(enter date affidavit is notarized)

133294c

for Application No. (s): SEA 97-H-070-03
(enter County-assigned application number(s))

1(d). One of the following boxes must be checked:

[ ] In addition to the names listed in Paragraphs 1(a), 1(b), and 1(c) above, the following is a listing of any and all other individuals who own in the aggregate (directly and as a shareholder, partner, and beneficiary of a trust) 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\* of the land:

[x] Other than the names listed in Paragraphs 1(a), 1(b), and 1(c) above, no individual owns in the aggregate (directly and as a shareholder, partner, and beneficiary of a trust) 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\* of the land.

2. That no member of the Fairfax County Board of Supervisors, Planning Commission, or any member of his or her immediate household owns or has any financial interest in the subject land either individually, by ownership of stock in a corporation owning such land, or through an interest in a partnership owning such land.

EXCEPT AS FOLLOWS: (NOTE: If answer is none, enter "NONE" on the line below.)

None

(check if applicable) [ ] There are more interests to be listed and Par. 2 is continued on a "Special Exception Attachment to Par. 2" form.

SPECIAL EXCEPTION AFFIDAVIT

DATE: August 26, 2016
(enter date affidavit is notarized)

133294c

for Application No. (s): SEA 97-H-070-03
(county-assigned application number(s), to be entered by County Staff)

3. That within the twelve-month period prior to the public hearing of this application, no member of the Fairfax County Board of Supervisors, Planning Commission, or any member of his or her immediate household, either directly or by way of partnership in which any of them is a partner, employee, agent, or attorney, or through a partner of any of them, or through a corporation in which any of them is an officer, director, employee, agent, or attorney or holds 10% or more of the outstanding bonds or shares of stock of a particular class, has, or has had any business or financial relationship, other than any ordinary depositor or customer relationship with or by a retail establishment, public utility, or bank, including any gift or donation having a value of more than \$100, singularly or in the aggregate, with any of those listed in Par. 1 above.

EXCEPT AS FOLLOWS: (NOTE: If answer is none, enter "NONE" on line below.)

None

NOTE: Business or financial relationships of the type described in this paragraph that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings. See Par. 4 below.)

(check if applicable) [ ] There are more disclosures to be listed and Par. 3 is continued on a "Special Exception Attachment to Par. 3" form.

4. That the information contained in this affidavit is complete, that all partnerships, corporations, and trusts owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\* of the land have been listed and broken down, and that prior to each and every public hearing on this matter, I will reexamine this affidavit and provide any changed or supplemental information, including business or financial relationships of the type described in Paragraph 3 above, that arise on or after the date of this application.

WITNESS the following signature:

(check one)

Elizabeth D. Baker
[ ] Applicant [x] Applicant's Authorized Agent

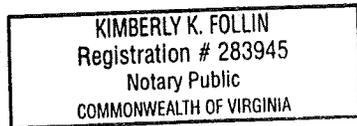
Elizabeth D. Baker, agent

(type or print first name, middle initial, last name, and & title of signee)

Subscribed and sworn to before me this 26 day of August 2016, in the State/Comm. of Virginia, County/City of Arlington.

Kimberly K. Follin
Notary Public

My commission expires: 11/30/2019



## APPENDIX 9

## RESIDENTIAL DEVELOPMENT CRITERIA

Fairfax County expects new residential development to enhance the community by: fitting into the fabric of the neighborhood, respecting the environment, addressing transportation impacts, addressing impacts on other public facilities, being responsive to our historic heritage, contributing to the provision of affordable housing and, being responsive to the unique site specific considerations of the property. To that end, the following criteria are to be used in evaluating zoning requests for new residential development. The resolution of issues identified during the evaluation of a specific development proposal is critical if the proposal is to receive favorable consideration.

Where the Plan recommends a possible increase in density above the existing zoning of the property, achievement of the requested density will be based, in substantial part, on whether development related issues are satisfactorily addressed as determined by application of these development criteria. Most, if not all, of the criteria will be applicable in every application; however, due to the differing nature of specific development proposals and their impacts, the development criteria need not be equally weighted. If there are extraordinary circumstances, a single criterion or several criteria may be overriding in evaluating the merits of a particular proposal. Use of these criteria as an evaluation tool is not intended to be limiting in regard to review of the application with respect to other guidance found in the Plan or other aspects that the applicant incorporates into the development proposal. Applicants are encouraged to submit the best possible development proposals. In applying the Residential Development Criteria to specific projects and in determining whether a criterion has been satisfied, factors such as the following may be considered:

- the size of the project
- site specific issues that affect the applicant's ability to address in a meaningful way relevant development issues
- whether the proposal is advancing the guidance found in the area plans or other planning and policy goals (e.g. revitalization).

When there has been an identified need or problem, credit toward satisfying the criteria will be awarded based upon whether proposed commitments by the applicant will significantly advance problem resolution. In all cases, the responsibility for demonstrating satisfaction of the criteria rests with the applicant.

**1. Site Design:**

All rezoning applications for residential development should be characterized by high quality site design. Rezoning proposals for residential development, regardless of the proposed density, will be evaluated based upon the following principles, although not all of the principles may be applicable for all developments.

- a) *Consolidation:* Developments should provide parcel consolidation in conformance with any site specific text and applicable policy recommendations of the Comprehensive Plan. Should the Plan text not specifically address consolidation, the nature and extent of any proposed parcel consolidation should further the integration of the development with adjacent parcels. In any event, the proposed consolidation should not preclude nearby properties from developing as recommended by the Plan.

- b) *Layout*: The layout should:
- provide logical, functional and appropriate relationships among the various parts (e. g. dwelling units, yards, streets, open space, stormwater management facilities, existing vegetation, noise mitigation measures, sidewalks and fences);
  - provide dwelling units that are oriented appropriately to adjacent streets and homes;
  - include usable yard areas within the individual lots that accommodate the future construction of decks, sunrooms, porches, and/or accessory structures in the layout of the lots, and that provide space for landscaping to thrive and for maintenance activities;
  - provide logical and appropriate relationships among the proposed lots including the relationships of yards, the orientation of the dwelling units, and the use of pipestem lots;
  - provide convenient access to transit facilities;
  - Identify all existing utilities and make every effort to identify all proposed utilities and stormwater management outfall areas; encourage utility collocation where feasible.
- c) *Open Space*: Developments should provide usable, accessible, and well-integrated open space. This principle is applicable to all projects where open space is required by the Zoning Ordinance and should be considered, where appropriate, in other circumstances.
- d) *Landscaping*: Developments should provide appropriate landscaping: for example, in parking lots, in open space areas, along streets, in and around stormwater management facilities, and on individual lots.
- e) *Amenities*: Developments should provide amenities such as benches, gazebos, recreational amenities, play areas for children, walls and fences, special paving treatments, street furniture, and lighting.

## 2. Neighborhood Context:

All rezoning applications for residential development, regardless of the proposed density, should be designed to fit into the community within which the development is to be located. Developments should fit into the fabric of their adjacent neighborhoods, as evidenced by an evaluation of:

- transitions to abutting and adjacent uses;
- lot sizes, particularly along the periphery;
- bulk/mass of the proposed dwelling units;
- setbacks (front, side and rear);
- orientation of the proposed dwelling units to adjacent streets and homes;
- architectural elevations and materials;
- pedestrian, bicycle and vehicular connections to off-site trails, roadways, transit facilities and land uses;
- existing topography and vegetative cover and proposed changes to them as a result of clearing and grading.

It is not expected that developments will be identical to their neighbors, but that the development fit into the fabric of the community. In evaluating this criterion, the individual circumstances of the property will be considered: such as, the nature of existing and planned development surrounding and/or adjacent to the property; whether the property provides a transition between different uses or densities; whether access to an infill development is through an existing neighborhood; or, whether the property is within an area that is planned for redevelopment.

### 3. Environment:

All rezoning applications for residential development should respect the environment. Rezoning proposals for residential development, regardless of the proposed density, should be consistent with the policies and objectives of the environmental element of the Policy Plan, and will also be evaluated on the following principles, where applicable.

- a) *Preservation:* Developments should conserve natural environmental resources by protecting, enhancing, and/or restoring the habitat value and pollution reduction potential of floodplains, stream valleys, EQCs, RPAs, woodlands, wetlands and other environmentally sensitive areas.
- b) *Slopes and Soils:* The design of developments should take existing topographic conditions and soil characteristics into consideration.
- c) *Water Quality:* Developments should minimize off-site impacts on water quality by commitments to state of the art best management practices for stormwater management and better site design and low impact development (LID) techniques.
- d) *Drainage:* The volume and velocity of stormwater runoff from new development should be managed in order to avoid impacts on downstream properties. Where drainage is a particular concern, the applicant should demonstrate that off-site drainage impacts will be mitigated and that stormwater management facilities are designed and sized appropriately. Adequate drainage outfall should be verified, and the location of drainage outfall (onsite or offsite) should be shown on development plans.
- e) *Noise:* Developments should protect future and current residents and others from the adverse impacts of transportation generated noise.
- f) *Lighting:* Developments should commit to exterior lighting fixtures that minimize neighborhood glare and impacts to the night sky.
- g) *Energy:* Developments should use site design techniques such as solar orientation and landscaping to achieve energy savings, and should be designed to encourage and facilitate walking and bicycling. Energy efficiency measures should be incorporated into building design and construction.

### 4. Tree Preservation and Tree Cover Requirements:

All rezoning applications for residential development, regardless of the proposed density, should be designed to take advantage of the existing quality tree cover. If quality tree cover exists on site as determined by the County, it is highly desirable that developments meet most or all of their tree cover requirement by preserving and, where feasible and appropriate, transplanting existing trees. Tree cover in excess of ordinance requirements is highly desirable. Proposed utilities, including stormwater management and outfall facilities and

sanitary sewer lines, should be located to avoid conflicts with tree preservation and planting areas. Air quality-sensitive tree preservation and planting efforts (see Objective 1, Policy c in the Environment section of this document) are also encouraged.

#### 5. Transportation:

All rezoning applications for residential development should implement measures to address planned transportation improvements. Applicants should offset their impacts to the transportation network. Accepted techniques should be utilized for analysis of the development's impact on the network. Residential development considered under these criteria will range widely in density and, therefore, will result in differing impacts to the transportation network. Some criteria will have universal applicability while others will apply only under specific circumstances. Regardless of the proposed density, applications will be evaluated based upon the following principles, although not all of the principles may be applicable.

a) *Transportation Improvements:* Residential development should provide safe and adequate access to the road network, maintain the ability of local streets to safely accommodate traffic, and offset the impact of additional traffic through commitments to the following:

- Capacity enhancements to nearby arterial and collector streets;
- Street design features that improve safety and mobility for non-motorized forms of transportation;
- Signals and other traffic control measures;
- Development phasing to coincide with identified transportation improvements;
- Right-of-way dedication;
- Construction of other improvements beyond ordinance requirements;
- Monetary contributions for improvements in the vicinity of the development.

b) *Transit/Transportation Management:* Mass transit usage and other transportation measures to reduce vehicular trips should be encouraged by:

- Provision of bus shelters;
- Implementation and/or participation in a shuttle bus service;
- Participation in programs designed to reduce vehicular trips;
- Incorporation of transit facilities within the development and integration of transit with adjacent areas;
- Provision of trails and facilities that increase safety and mobility for non-motorized travel.

c) *Interconnection of the Street Network:* Vehicular connections between neighborhoods should be provided, as follows:

- Local streets within the development should be connected with adjacent local streets to improve neighborhood circulation;
- When appropriate, existing stub streets should be connected to adjoining parcels. If street connections are dedicated but not constructed with development, they should be identified with signage that indicates the street is to be extended;
- Streets should be designed and constructed to accommodate safe and convenient usage by buses and non-motorized forms of transportation;
- Traffic calming measures should be implemented where needed to discourage cut-through traffic, increase safety and reduce vehicular speed;

- The number and length of long, single-ended roadways should be minimized;
  - Sufficient access for public safety vehicles should be ensured.
- d) *Streets*: Public streets are preferred. If private streets are proposed in single-family detached developments, the applicant shall demonstrate the benefits for such streets. Applicants should make appropriate design and construction commitments for all private streets so as to minimize maintenance costs which may accrue to future property owners. Furthermore, convenience and safety issues such as parking on private streets should be considered during the review process.
- e) *Non-motorized Facilities*: Non-motorized facilities, such as those listed below, should be provided:
- Connections to transit facilities;
  - Connections between adjoining neighborhoods;
  - Connections to existing non-motorized facilities;
  - Connections to off-site retail/commercial uses, public/community facilities, and natural and recreational areas;
  - An internal non-motorized facility network with pedestrian and natural amenities, particularly those included in the Comprehensive Plan;
  - Offsite non-motorized facilities, particularly those included in the Comprehensive Plan;
  - Driveways to residences should be of adequate length to accommodate passenger vehicles without blocking walkways;
  - Construction of non-motorized facilities on both sides of the street is preferred. If construction on a single side of the street is proposed, the applicant shall demonstrate the public benefit of a limited facility.
- f) *Alternative Street Designs*: Under specific design conditions for individual sites or where existing features such as trees, topography, etc. are important elements, modifications to the public street standards may be considered.

## 6. Public Facilities:

Residential development impacts public facility systems (i.e., schools, parks, libraries, police, fire and rescue, stormwater management and other publicly owned community facilities). These impacts will be identified and evaluated during the development review process. For schools, a methodology approved by the Board of Supervisors, after input and recommendation by the School Board, will be used as a guideline for determining the impact of additional students generated by the new development.

Given the variety of public facility needs throughout the County, on a case-by-case basis, public facility needs will be evaluated so that local concerns may be addressed.

All rezoning applications for residential development are expected to offset their public facility impact and to first address public facility needs in the vicinity of the proposed development. Impact offset may be accomplished through the dedication of land suitable for the construction of an identified public facility need, the construction of public facilities, the contribution of specified in-kind goods, services or cash earmarked for those uses, and/or monetary contributions to be used toward funding capital improvement projects. Selection of the appropriate offset mechanism should maximize the public benefit of the contribution.

Furthermore, phasing of development may be required to ensure mitigation of impacts.

## 7. Affordable Housing:

Ensuring an adequate supply of housing for low and moderate income families, those with special accessibility requirements, and those with other special needs is a goal of the County. Part 8 of Article 2 of the Zoning Ordinance requires the provision of Affordable Dwelling Units (ADUs) in certain circumstances. Criterion #7 is applicable to all rezoning applications and/or portions thereof that are not required to provide any Affordable Dwelling Units, regardless of the planned density range for the site.

- a) *Dedication of Units or Land:* If the applicant elects to fulfill this criterion by providing affordable units that are not otherwise required by the ADU Ordinance: a maximum density of 20% above the upper limit of the Plan range could be achieved if 12.5% of the total number of single-family detached and attached units are provided pursuant to the Affordable Dwelling Unit Program; and, a maximum density of 10% or 20% above the upper limit of the Plan range could be achieved if 6.25% or 12.5%, respectively of the total number of multifamily units are provided to the Affordable Dwelling Unit Program. As an alternative, land, adequate and ready to be developed for an equal number of units may be provided to the Fairfax County Redevelopment and Housing Authority or to such other entity as may be approved by the Board.
- b) *Housing Trust Fund Contributions:* Satisfaction of this criterion may also be achieved by a contribution to the Housing Trust Fund or, as may be approved by the Board, a monetary and/or in-kind contribution to another entity whose mission is to provide affordable housing in Fairfax County, equal to 0.5% of the value of all of the units approved on the property except those that result in the provision of ADUs. This contribution shall be payable prior to the issuance of the first building permit. For for-sale projects, the percentage set forth above is based upon the aggregate sales price of all of the units subject to the contribution, as if all of those units were sold at the time of the issuance of the first building permit, and is estimated through comparable sales of similar type units. For rental projects, the amount of the contribution is based upon the total development cost of the portion of the project subject to the contribution for all elements necessary to bring the project to market, including land, financing, soft costs and construction. The sales price or development cost will be determined by the Department of Housing and Community Development, in consultation with the Applicant and the Department of Public Works and Environmental Services. If this criterion is fulfilled by a contribution as set forth in this paragraph, the density bonus permitted in a) above does not apply.

## 8. Heritage Resources:

Heritage resources are those sites or structures, including their landscape settings, that exemplify the cultural, architectural, economic, social, political, or historic heritage of the County or its communities. Such sites or structures have been 1) listed on, or determined eligible for listing on, the National Register of Historic Places or the Virginia Landmarks Register; 2) determined to be a contributing structure within a district so listed or eligible for listing; 3) located within and considered as a contributing structure within a Fairfax County Historic Overlay District; or 4) listed on, or having a reasonable potential as determined by the County, for meeting the criteria for listing on, the Fairfax County Inventories of Historic or Archaeological Sites.

In reviewing rezoning applications for properties on which known or potential heritage resources are located, some or all of the following shall apply:

- a) Protect heritage resources from deterioration or destruction until they can be documented, evaluated, and/or preserved;
- b) Conduct archaeological, architectural, and/or historical research to determine the presence, extent, and significance of heritage resources;
- c) Submit proposals for archaeological work to the County for review and approval and, unless otherwise agreed, conduct such work in accordance with state standards;
- d) Preserve and rehabilitate heritage resources for continued or adaptive use where feasible;
- e) Submit proposals to change the exterior appearance of, relocate, or demolish historic structures to the Fairfax County Architectural Review Board for review and approval;
- f) Document heritage resources to be demolished or relocated;
- g) Design new structures and site improvements, including clearing and grading, to enhance rather than harm heritage resources;
- h) Establish easements that will assure continued preservation of heritage resources with an appropriate entity such as the County's Open Space and Historic Preservation Easement Program; and
- i) Provide a Fairfax County Historical Marker or Virginia Historical Highway Marker on or near the site of a heritage resource, if recommended and approved by the Fairfax County History Commission.

### **ROLE OF DENSITY RANGES IN AREA PLANS**

Density ranges for property planned for residential development, expressed generally in terms of dwelling units per acre, are recommended in the Area Plans and are shown on the Comprehensive Plan Map. Where the Plan text and map differ, the text governs. In defining the density range:

- the "base level" of the range is defined as the lowest density recommended in the Plan range, i.e., 5 dwelling units per acre in the 5-8 dwelling unit per acre range;
- the "high end" of the range is defined as the base level plus 60% of the density range in a particular Plan category, which in the residential density range of 5-8 dwelling units per acre would be considered as 6.8 dwelling units per acre and above; and,
- the upper limit is defined as the maximum density called for in any Plan range, which, in the 5-8 dwelling unit per acre range would be 8 dwelling units per acre.
- In instances where a range is not specified in the Plan, for example where the Plan calls for residential density up to 30 dwelling units per acre, the density cited in the Plan shall be construed to equate to the upper limit of the Plan range, and the base level shall be the upper limit of the next lower Plan range, in this instance, 20 dwelling units per acre.

## APPENDIX 11

### GUIDELINES FOR TRANSIT-ORIENTED DEVELOPMENT

Fairfax County seeks to accommodate future residential and employment growth and expand choices for residents and employees by encouraging transit-oriented development (TOD) as a means to achieve compact, pedestrian-oriented, mixed-use communities focused around existing and planned rail transit stations.

The following guidelines and design principles are intended to effect well-planned transit-oriented development and should be considered in planning efforts as new station areas are identified and when an existing station area is subject to a major replanning effort. When applicable, these principles should be used in the review of major rezoning cases for development around planned and existing rail transit stations. These guidelines are intended to provide guidance for TOD in addition to the specific guidance found in Area Plans for each station area.

#### 1. Transit Proximity and Station Area Boundaries:

*Focus and concentrate the highest density or land use intensity close to the rail transit station, and where feasible, above the rail transit station.*

This TOD area may be generally defined as a ¼ mile radius from the station platform with density and intensity tapering to within a ½ mile radius from the station platform, or a 5-10 minute walk, subject to site-specific considerations. Station-specific delineations should allow for the consideration of conditions such as roads, topography, or existing development that would affect the frequency of pedestrian usage of transit and therefore affect the expected walking distance to a station within which higher intensity development may be appropriate. Higher intensities within the delineated area may be appropriate if barriers are overcome and demonstrable opportunities exist to provide pedestrians a safe, comfortable and interesting walk to transit. To protect existing stable neighborhoods in the vicinity of transit but not planned for transit-oriented development or redevelopment, and to focus density toward the station, Area Plans should include clearly delineated boundaries for transit-oriented development based upon these criteria and a recognition of the respective differences in service levels and capacity of heavy rail, commuter rail and light rail transit which influence the overall density and intensity appropriate for a particular station area.

#### 2. Station-specific Flexibility:

*Examine the unique characteristics and needs of a particular station area when evaluating TOD principles to ensure the appropriate development intensity and mix of land uses relative to the existing and planned uses for the surrounding areas.*

Each of Fairfax County's planned and existing rail transit stations has a unique character in terms of surrounding land uses, transportation infrastructure and roadways, environmental and topographical characteristics, and location within the rail system. Although each individual station should balance node and place functions to some extent, the value of the system as a whole can be enhanced if there is some degree of specialization, which can enhance the goals of TOD. Implementation of TOD within Transit Station Area (TSA) boundaries established in Area Plans, should consider the characteristics of the larger area surrounding the TSA (e.g., stable residential neighborhood, revitalization area, urban center). Transit station areas within a larger

mixed-use center should be integrated into the overall planning fabric of the mixed-use center.

**3. Pedestrian and Bicycle Access:**

*Provide safe pedestrian and bicycle travel to and from and within the station area.*

Non-motorized access and circulation are critical elements of successful TODs and should be encouraged. Techniques to promote maximum pedestrian and bicycle access must include an integrated pedestrian and bicycle system plan with features such as on-road bicycle lanes, walkways, trails and sidewalks, amenities such as street trees, benches, bus shelters, adequate lighting, covered walkways, pedestrian aids such as moving sidewalks and escalators, covered and secure bicycle storage facilities close to the station, shower and changing facilities, a pedestrian-friendly street network, and appropriate sidewalk width. Conflict between vehicles and pedestrians/bicyclists should be minimized. This may be achieved through the appropriate location of parking facilities including kiss-and-ride facilities, and the appropriate location and design of access roads to the rail transit station. Planning for accessible trail systems should consider distances traveled by both pedestrians and cyclists and should provide usable trails and other systems beyond the Transit Station Area.

**4. Mix of Land Uses:**

*Promote a mix of uses to ensure the efficient use of transit, to promote increased ridership during peak and off-peak travel periods in all directions, and to encourage different types of activity throughout the day.*

A balanced mix of residential, office, retail, governmental, institutional, entertainment and recreational uses should be provided to encourage a critical mass of pedestrian activity as people live, work and play in these areas. The appropriate mix of uses should be determined in the Area Plans by examining the unique characteristics and needs of each station area. Specific development plans that conflict with the achievement of the mix of uses planned for that station area are discouraged.

**5. Housing Affordability:**

*Provide for a range of housing opportunities by incorporating a mix of housing types and sizes and including housing for a range of different income levels.*

Housing within TODs should be accessible to those most dependent on public transportation, including older adults, persons with disabilities and other special needs, and persons with limited income. Housing should be provided within the residential component of a TOD for low and moderate income residents. Affordable and workforce housing should be provided on-site or, if an alternative location can provide a substantially greater number of units, in adjacent areas within the TOD. Housing for seniors is encouraged to the extent feasible.

**6. Urban Design:**

*Encourage excellence in urban design, including site planning, streetscape and building design, which creates a pedestrian-focused sense of place.*

A pleasant pedestrian environment can contribute to the quality of a transit experience, which is also a pedestrian activity. Urban design elements to achieve an appropriate sense of place and a pleasant pedestrian environment may include any or all of the following: well-landscaped public spaces such as squares and plazas; urban parks; courtyards; an integrated pedestrian system; street-oriented building forms with a pedestrian focus; compact development; appropriate street width and block size; measures to mitigate the visual impact and presence of structured parking; and, high-quality architecture.

**7. Street Design:**

*Provide a grid of safe, attractive streets for all users which provide connectivity throughout the site and to and from adjacent areas.*

The street grids around transit station areas should be designed at a scale that facilitates safe pedestrian and cyclist movement and provides for vehicular circulation and capacity. Street design should incorporate elements such as lighting, appropriate street width, sidewalk width and intersection dimensions to allow for pedestrian, bicycle and vehicular use, and should be designed to provide universal access to people with a range of abilities and disabilities. The design of streets should encourage lower traffic speeds and superior pedestrian circulation through provision of on-street parking, street trees, and other features and amenities.

**8. Parking:**

*Encourage the use of transit while maximizing the use of available parking throughout the day and evening and minimizing the visual impact of parking structures and surface parking lots.*

Proper size and location of parking facilities contribute to creation of a pedestrian- and transit-supportive environment. The use of maximum parking requirements, shared use parking facilities, incentive programs to reduce automobile usage, carpooling, metered parking, car-sharing programs, neighborhood parking programs, and other techniques can encourage the use of transit while also maximizing the use of parking spaces at different times of day. Efforts to provide urban design elements such as on-street parking, placement of parking structures underground and minimizing surface parking lots are encouraged. Wherever possible, ground floor uses and activities should be incorporated into structured parking, particularly where parking structures are located along streets where pedestrian activity is encouraged. Location of commuter garages should be sensitive to pedestrian and bicycle activity within and adjacent to the Transit Station Area and adjacent neighborhoods.

**9. Transportation and Traffic:**

*Promote a balance between the intensity of TOD and the capacity of the multimodal transportation infrastructure provided and affected by TOD, and provide for and accommodate high quality transit, pedestrian, and bicycle infrastructure and services and other measures to limit single occupant vehicle trips.*

A TOD should contain the following characteristics relating to transportation and traffic:

- A multimodal transportation infrastructure, with an emphasis on pedestrian and biking facilities, that offer a choice in transportation modes providing convenient and reliable alternatives to driving to a station area, particularly those station areas without parking.
- A design that accommodates, but minimizes single occupant vehicle trips. Additional measures to minimize single occupant vehicle trips, including Transportation Demand Management measures, should be identified and applied.
- Traffic-calming measures, design techniques and road alignment that balance pedestrian and bicycle accessibility and vehicular access.

The cumulative impacts of TOD on transportation infrastructure should be evaluated in the TOD area, and improvements provided where needed. *The impacts on roads:* Where applicable, a higher level of delay is acceptable for vehicular traffic within TOD areas. A non-degradation policy should be applied to areas immediately adjacent to a TOD area and to arterials serving the TOD area. This policy requires that traffic flow in these adjacent areas and on arterials serving the TOD area perform no worse after development of a TOD takes place. Where it is not possible or appropriate to maintain a non-degradation policy, in lieu of additional road capacity, there can be improvements, measures and/or monetary contributions to a fund to enable the application of techniques to reduce vehicle trips by an appropriate amount in and around the TOD area. *The impacts on transit, pedestrian, and bicycle facilities:* A high level of service should be maintained for transit users that minimizes delay, the need for transfers, and transfer delay. Where it is not possible to maintain a high level of transit service because of extraordinarily high costs, monetary contributions to a fund for the eventual improvement of transit service can be provided in lieu of the maintenance of a high quality transit service. An acceptable level of transit service nevertheless should be maintained during TOD development. A high level of service should be maintained for pedestrians and cyclists, including safety and security, direct pathways, reasonable grades, and minimized delays at intersections.

**10. Vision for the Community:**

*Strive to achieve a broadly inclusive, collaborative, community participation process when evaluating TOD plans that propose substantial changes in use, intensity or density for existing or new transit station areas planning efforts.*

Broad-based support and collaboration can be achieved through planning processes that encourage involvement and participation. These processes should utilize a range of tools and techniques for engaging the community and other interested stakeholders. While the particulars of the process should relate to each station, planning processes should include the use of citizen task forces, and other means to result in the following: (1) a collaborative and interactive formulation of a cohesive vision for the transit station area before specific development proposals are formally considered; (2) a TOD vision that is integrated with and complements surrounding neighborhoods; (3) incorporation of a broad range of aspirations and needs of those communities; (4) active participation by county planning officials, supervisors, community groups and developers to identify, and encourage broad-based involvement and participation by, a wide range of stakeholders, including all interested citizens' associations; and (5) continuing stakeholder involvement on a collaborative basis in framing development proposals ultimately considered for specific parcels.

**11. Regional Framework:**

*Provide a more efficient land use pattern by concentrating growth around existing and planned transit station areas.*

Maximizing development around transit can provide a regional benefit by accommodating some of the region's projected employment and residential growth, as well as making jobs accessible by transit. In instances where substantial changes in use, density or intensity are being considered as part of station area planning, the implications and impacts on the transit system should be considered. Cumulative impacts on transit service and capacity as well as on traffic capacity should be evaluated in a transit-oriented development, and improvements evaluated where needed. These planning efforts should include coordination and cooperation with adjacent jurisdictions, regional organizations, and transit providers, such as WMATA and VRE. The use of Transfer of Development Rights (TDR's) should be examined as a technique to relocate zoned density to TOD areas if it results in future development that agrees with Comprehensive Plan recommendations.

**12. Environmental Considerations:**

*Seek opportunities for mitigating environmental impacts of development.*

The environmental benefits of compact, mixed use development focused around transit stations can include improved air quality and water quality through the reduction of land consumption for development in other areas. The utilization of land near transit and the existing infrastructure allows the county to accommodate increasing growth pressures in a smaller area served by infrastructure. Improvements in air quality due to reduced vehicle miles traveled and reduced automobile emissions can also be viewed as a benefit of TOD. Environmental impacts (such as impacts on mature trees and stormwater runoff) of proposed development should be examined and mitigated to minimize potential negative impacts. Low Impact Development Techniques, such as rain gardens and green roofs, should be incorporated into proposed developments to reduce potential impacts of stormwater runoff from these areas. Development in TODs should be designed in a manner that conserves natural resources; the application of energy and water conservation measures should be encouraged. Sites undergoing redevelopment should optimize stormwater management and water quality controls and practices for redevelopment consistent with revitalization goals.

**13. Economic Benefits:**

*Create an employment base and encourage commercial revitalization adjacent to transit facilities.*

Development around transit stations can help to address housing and transportation costs in the county by providing opportunities to balance these costs in TODs. Employment uses near transit can provide opportunities for lowered transportation costs for employees. Additionally, housing near transit offers similar transportation savings and opportunities for housing near employment. Opportunities to create new small business opportunities as well as assist in the retention of existing small businesses should be evaluated as part of TOD planning.

**14. Open Space:**

*Provide publicly-accessible, high-quality, usable open space.*

Urban parks and open space contribute to a development's sense of place and are integral amenities offered to residents, workers and shoppers. Transit-oriented development plans should provide amenities such as public gathering spaces, civic focal points, plazas and open green space and offer a variety of activities such as dining, casual games and recreation, performances, visual arts and special events. These spaces should be accessible to the larger community as well as the immediate transit-oriented development area. Development plans should also incorporate open space preservation, such as stream valleys, where appropriate, and provide access to the county's network of parks and trails.

**15. Public Facilities and Infrastructure:**

*Evaluate opportunities to include public facility improvements and services within the TOD area.*

TOD may provide opportunities to improve public facilities. Locating public facilities in station areas provides important public services in areas accessible to public transportation and can increase activity within the TOD. Cumulative impacts of development in a TOD on public facilities and transit access facilities should be identified and offset. Such impacts include those on schools, parks, libraries, police, fire and rescue, water and sewer, stormwater management and other publicly owned community facilities. Current data on station access facilities and demand should be used as available, to assess needs for replacement or enhancement of facilities such as bus bays, taxi access, substations and parking.

**16. Phasing of Development:**

*Ensure that projects are phased in such a way as to include an appropriate mix of uses in each phase of the development.*

A balanced mix of residential and nonresidential uses should be provided to encourage a critical mass of pedestrian activity. However, concurrent development of all uses may not be feasible due to market conditions. In instances where a certain mix of uses is critical to the success of the TOD, the development should include a commitment to phase the project in such a way as to include an appropriate mix of uses in each phase to help ensure the long-term success of the mixed-use development. It may also be appropriate, when a project's overall success depends on certain specific elements, to make later phases contingent on completion of those elements. Phasing the development can minimize the potential impacts on the surrounding community and increase amenities for residents, employees, and visitors within the transit-oriented development area. Phasing plans should include pedestrian and bicycle access plans to allow proper non-motorized access throughout the development phases. Provision of open space and recreational amenities should be phased as well so that provision or these facilities is not postponed until final phasing of a development.



# County of Fairfax, Virginia

## MEMORANDUM

**DATE:** August 18, 2016

**TO:** Barbara Berlin, Director  
Zoning Evaluation Division, DPZ

**FROM:** Denise M. James, Chief  
Environment and Development Review Branch, DPZ

**SUBJECT: Land Use Analysis Addendum:**  
RZ/FDP 2016-DR-001 / PCA 1999-HM-037 / SEA 97-H-070-03, NVR, Inc.  
(Woodland Park West)

This addendum, prepared by Faheem Darab, is based on staff's review of the revised Concept Development Plan (CDP), Final Development Plan (FDP), Proffer Condition Amendment (PCA) and Special Exception Amendment (SEA) submitted by the applicant on July 8, 2016 and proffers dated July 8, 2016.

### BACKGROUND

The Comprehensive Plan Land Use Analysis dated May 17, 2016, concluded that the development proposal had numerous outstanding issues and was not in substantial conformance with the Comprehensive Plan. Those outstanding issues and their resolutions are summarized below.

### DISCUSSION

#### Land Use

**Issue:** Initially, the proposed intensity (the total proposed GFA) of 530,940 seemed to be more than the previously approved PDC office GFA of 455,000 sf (875,725 sf total office– 420,725 sf existing office to remain). The previously approved intensity of 875,725 sf was within the Comprehensive Plan recommendation of .70 FAR. To confirm the proposed residential square feet conforms to the Plan's recommended intensity, the applicant was asked to clarify if additional floor area is being requested over the previously approved development, or if bonus density is being applied.

Department of Planning and Zoning  
Planning Division  
12055 Government Center Parkway, Suite 730  
Fairfax, Virginia 22035-5509  
Phone 703-324-1380  
Fax 703-653-9447  
[www.fairfaxcounty.gov/dpz/](http://www.fairfaxcounty.gov/dpz/)



**Resolution:** The applicant responded that bonus density is being applied on top of the previously approved 455,000 sf. The applicant has committed to reducing the cumulative proposed residential square footage (exclusive of ADU and WDU bonus GFA) to 455,756 sf with an additional 67,234 sf achieved through ADU and WDU bonus GFA. The resulting cumulative residential sf is 522,990. It is expected that subsequent plan submissions will reflect this commitment. With this commitment, the proposed residential square feet would be in conformance with the Comprehensive Plan intensity guidance.

### Streetscape

**Issue:** Staff had noted that the streetscape (and site design) along Woodland Park Road does not meet the Comprehensive Plan's recommended streetscape.

**Resolution:** Tree species type has been switched to a columnar variety so tree canopy presents less of a conflict with the residential units. The sidewalk and landscape amenity panel (LAP) along this road are now 8 feet wide. Illustrative elevations and additional details of the landscape amenity panel have been provided. However, the landscape amenity panels should also provide low shrubs, and/or groundcover, and not include grass. With this minor change, the streetscape would be in conformance with the Comprehensive Plan.

**Issue:** The application did not provide for street trees along Woodland Park Road in front of Building A.

**Resolution:** Street trees now line this section of road, as shown on the development plans.

**Issue:** Verisign Way does not meet the Comprehensive Plan recommended streetscape. Along the east side, sidewalk widths should be minimum of 6 feet and the landscape amenity panel, a minimum of 8 feet. On the west side, the trail width should be minimum of 8 feet.

**Resolution:** All streetscape depicted is now in conformance with Comprehensive Plan recommendations.

**Issue:** The Centreville Road and Woodland Park Road intersection's northern leg should have a crosswalk to connect the site to the major development at Arrowbrook and, ultimately, to Innovation Center Station.

**Resolution:** This crosswalk leg hasn't been added due to potential dual right turns from WB Woodland Park Road onto Centreville Road. No crosswalks are proposed for crossing Woodland Park Road either. These are important pedestrian connections that should be provided to meet the multimodal recommendations of the Comprehensive Plan.

### Open Space & Phasing

**Issue:** It was unclear if the recommended 20% open spaces was being provided; staff noted that publicly accessible open space, as defined in the Plan, was not addressed.

**Resolution:** To address this issue, the applicant is requested to provide information on how many square feet of the site is publicly accessible open space and provide a graphic showing which portions of the site are included in this calculation.

**Issue:** The circular pocket park at Verisign Way and Woodland Park Road should provide some enclosure to make it more useful for families due to the park's proximity to these busy roadways.

**Resolution:** Additional landscaping has been provided to satisfactorily address this concern.

### Site Design

**Issue:** The proposed alleyway dead-ends should be treated to minimize their negative visual impact on pedestrians.

**Resolution:** Decorative fence/masonry walls have been provided to satisfactorily address this concern.

**Issue:** To better understand the relationship between Building A and the single family detached units to the east, the applicant was requested to provide pedestrian level perspectives looking down the promenade from the northern end and from the southern end, including ground to rooftops.

**Resolution:** Additional plan perspectives have been provided satisfactorily. Additionally, the LID area looks very promising.

**Issue:** To create a more inviting public space, the promenade's sidewalk along the single family houses should be at least 8 feet in width and LAP between sidewalk and units to the east should be at least 12 feet in width; within this LAP, the landscaping and/or fencing should be set back from the sidewalk.

**Resolution:** The sidewalk is now 8 feet wide the length of the promenade and the landscaping is set back within the LAP. The LAP is 10 feet most of the promenade, tapering down to 8 feet closest to the lake. The amenity panel width, while not ideal, is satisfactory.

**Issue:** Finally, to further indicate that the promenade is a public space, distinctive textured or colored paving for this sidewalk should extend out onto the sidewalk along Woodland Park Road and the trail along the pond.

**Resolution:** The pavers from the pond trail and sidewalk along Woodland Park Road now spill into the promenade sidewalk which satisfactorily addresses this concern.

### Affordable/Workforce Housing & Universal Design

**Issue:** The applicant is encouraged to provide commitments to lower income tiers as part of this affordable housing commitment in line with the Reston Vision and Planning Principles, which envisions housing for all incomes.

**Resolution:** The applicant has not provided a commitment to lower income tiers.

**Issue:** ADUs and WDUs should be of similar size to market units

**Resolution:** This issue remains a concern which should be addressed in proffers #23 and 24.

**Issue:** As part of achieving the Reston Vision, the Comprehensive Plan recommends developer commitments to provide universally designed residential units.

**Resolution:** Proffers should commit to providing at least 5% of units with universal design elements.

## CONCLUSION

Numerous issues raised in the May 17th memo have been satisfactorily addressed by the applicant and staff finds the proposed development is generally conformance with the Comprehensive Plan. There are, however, several remaining outstanding concerns to be addressed as noted below.

- Crosswalks should be provided as specified.
- Publicly accessible open space information should be provided as specified.
- Commitments to lower income tiers for WDUs, in similar sized units should be provided along with commitments to universal design.

DMJ/AFD



# County of Fairfax, Virginia

## MEMORANDUM

DATE: May 17, 2016

**TO:** Barbara Berlin, Director  
Zoning Evaluation Division, DPZ

**FROM:** Denise M. James, Chief *DMJ*  
Environment and Development Review Branch, DPZ

**SUBJECT: Land Use Analysis:**  
RZ/FDP 2016-DR-001 / PCA 1999-HM-037 / SEA 97-H-070-03, NVR, Inc.  
(Woodland Park West)

This memorandum, prepared by Faheem Darab, includes citations from the Comprehensive Plan that provide guidance for the evaluation of the development plans dated December 16, 2015 as revised through March 29, 2016; and proffers dated March 29, 2016. The extent to which the application conforms to the applicable guidance contained in the Comprehensive Plan is noted. Possible solutions to remedy identified issues are suggested. Other solutions may be acceptable, provided that they achieve the desired degree of mitigation and are also compatible with Plan policies.

### DESCRIPTION OF THE APPLICATION

The applicant, NVR, Inc., is requesting a rezoning and final development plan (FDP) with a concurrent Proffer Condition Amendment (PCA) and Special Exception Amendment (SEA). The rezoning application proposes a change from the existing Planned Development Commercial (PDC) District to the Planned Development Housing (PDH-30) District. The requested Proffer Condition Amendment and Special Exception Amendment would remove the 11.95 acres from existing SE (SE 97-H-070-02) and PCA (PCA 1999-HM-037) approvals related to uses in the floodplain and the waiver of certain sign regulations as the approvals do not affect the application property. The requested rezoning is for approximately 11.95 acres located on tax map parcels 16-3 ((01)) 0029D, 0029E and 016-3 ((11)) 0007; 2.97 acres of previous ROW density credit are also included, resulting in 14.915 acres for density purposes. The rezoning proposes to develop 295 multifamily units (5 stories), 56 "2 over 2 townhouse style" multifamily units and 32 urban townhouses on 11.95 acres containing an existing stormwater pond and vacant land. The 383 total units on 14.915 acres results in a proposed density of 25.7 dwelling units/acre inclusive of ADU and WDU bonus units; exclusive of bonus units, 330 units would result in a proposed density of 22.13 dwelling units/acre. The development results in 0.82 floor area ratio (FAR). The 5-story multi-family (321,500 sf), 2 over

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Department of Planning and Zoning  
Planning Division  
12055 Government Center Parkway, Suite 730  
Fairfax, Virginia 22035-5509  
Phone 703-324-1380  
Fax 703-653-9447  
[www.fairfaxcounty.gov/dpz/](http://www.fairfaxcounty.gov/dpz/)



2 multifamily (119,840 sf) and townhouses (89,600 sf) would result in a total of 530,940 square feet of residential uses.

**LOCATION AND CHARACTER OF THE AREA**

The subject property is located in the Herndon Transit Station Area. The site is in the Woodland Park Sub-district, in the northeastern intersection of Centreville Road and Woodland Park Road. The site is planned for mixed use. The subject property is bordered to the north by an office development which was approved as part of the subject property’s previous PDC approval, to the east by offices zoned I-4, to the south by a nursery school, a garden-style apartment complex zoned PHD-30 and a hotel zoned C-8. To the west, across Centreville Road, is vacant land zoned PDC.

**COMPREHENSIVE PLAN CITATIONS:**

The Comprehensive Plan Communitywide Recommendations for Reston may be accessed here: <http://www.fairfaxcounty.gov/dpz/comprehensiveplan/area3/reston.pdf>

The Comprehensive Plan Areawide Recommendations for the Reston Transit Station Areas may be accessed within the same document, here: <http://www.fairfaxcounty.gov/dpz/comprehensiveplan/area3/reston-restontsas.pdf>

In the Fairfax County Comprehensive Plan, 2013 Edition, Area III, Reston, as amended through October 20, 2015, pages 103 – 107, the Reston TSA Areawide recommendations offer a summary of much of the Areawide Plan guidance called “Development Review Performance Objectives” summarized below:

**“Development Review Performance Objectives**

All development proposals within the TSAs will be evaluated for the extent to which they meet or contribute to the following objectives.

- Achieve High Quality Site Design and Architecture...
- Provide Pedestrian and Bicycle Connectivity throughout the Transit Station Areas (TSAs)...
- Provide Urban Parks and other Recreational Amenities throughout the TSAs...
- Achieve Greater Housing Diversity...
- Provide Office Uses in Strategic Locations...
- Provide Public Uses...
- Provide Retail, Hotel Uses and Institutional Uses...
- Encourage Coordinated Development Plans...
- Encourage Educational Institution(s)...
- Accommodate Existing Uses and Buildings...
- Protect Existing Low Density Residential Areas...”

The Fairfax County Comprehensive Plan, 2013 Edition, Area III, Reston, as amended through October 20, 2015, page 181, the subject property's Subdistrict recommendations state:

**“Woodland Park/Great Oak District**

The vision of the Woodland Park/Great Oak District is to maintain the character, uses and intensities/densities of existing development.

***Woodland Park Subdistrict***

The Woodland Park development consists of approximately 163 acres and is bounded by the DAAR on the north, Monroe Street on the east, Sunrise Valley Drive on the south and Centreville Road on the west, as shown on Figure 63. It is planned and developed as a major mixed-use development up to .70 FAR, with office, retail, hotel and residential uses. This area along the DAAR has high visibility and is appropriate for high quality development including corporate headquarters, hotels and office buildings. Mixed-use developments should create a viable, quality living environment with active recreation facilities and other amenities for residents. Residential development should be sited away from the DAAR and towards Sunrise Valley Drive. Support retail and service uses are appropriate in office, hotel or residential buildings.

Pedestrian connections throughout the area and to transit facilities should be provided. Clustering of buildings in a transit friendly design is encouraged, whereby development that is built prior to rail service can be clustered on a portion of the area so as not to preclude additional buildings and intensity in the future when rail is extended to this area. The overall design should seek to concentrate open space, to the extent possible, into common areas such as urban parks and plazas to provide visual focus and attractive outdoor spaces for residents and employees.

Local-serving amenities including plazas, other urban parks, trails, and public art should be provided throughout the subdistrict to serve local leisure and recreation needs. The exact number of urban parks, their sizes and distribution will be determined by the amount and type of new development, in accordance with the Urban Parks Framework in the Policy Plan.

Specifically, development in Woodland Park should incorporate recreational amenities for employees and residents, such as walking/jogging paths, exercise stations, and multi-use courts that are appropriate to the mix of potential users and their needs. The development of this area should incorporate a vehicular circulation network that is appropriate to the type and intensity of the ultimate uses and the pattern of subdivision.

Existing manmade and natural features in the vicinity of Sunrise Valley Drive provide a particular opportunity to create small, semi-urban scale parks linked by trails and pedestrian facilities planned for the TSA. Opportunities to cluster amenities in nodes along existing natural and stormwater features should be used to form a connected park amenity.”

## LAND USE ANALYSIS

### Land Use and Intensity

The proposed use, a mix of residential unit types meets the Plan recommendation for use. However, due to the land consumptive nature of some of the proposed unit types (townhouses and “2 over 2 townhouse” units) special consideration is required when addressing site design, streetscape and architecture, as discussed in detail further below.

The proposed intensity of a total of 383 dwelling units (inclusive of bonus units) developed on 14.9 acres results in a density of 25.7 dwelling units/acre. The applicant is requesting the PDH-30 zoning district and a proposed development up to .82 FAR. The Plan recommends 0.70 FAR mixed use.

Staff has noted that the proposed density (the total proposed GFA) seems to be more than the previously approved PDC office GFA of 454,725 sf (875,725 sf total office– 421,000 sf existing office to remain). On sheet 6 the applicant provides their proposed total square feet for each group of unit types. Total GFA is 530,940. This GFA is noted as “for informational purposes.” This is about 76,000 sf more than the previous PDC approval allowed. The Statement of Justification indicates that the applicant proposes to replace the previously approved office square footage with residential square footage in a one-for one replacement. In order to confirm that the proposed development is within the Plan recommended intensity, the additional proposed square footage should be clarified to state if additional floor area is being requested over the previously approved development, or if bonus density is being applied.

### Streetscape

The streetscape (and site design) along Woodland Park Road does not meet the Comprehensive Plan’s recommended streetscape. Staff understands that sight distance is a major issue along this curving road, and that multiple exist utilities within the proposed streetscape area. However, the applicant has proposed, and staff is accepting of a solution, that places street trees within the area generally called the “building zone.” This building zone area should be expanded to provide between 10 and 15 feet of space between the tree trunk and the face of building to allow trees to grow and thrive. In addition, given the sharp curve of the road, as proposed, many of the street trees between the two vehicular entrances off of Woodland Park Road into the townhouses are interfering with sight distance. This provides a further reason to create a deeper building zone with units designed to be further back from the road. Generally, the Plan recommends minimal spaces for the building zone to create a more urban environment, but given the sight distance issue noted above, staff is willing to accept this alternative solution. Woodland Park Road’s landscape amenity panel should be 8 feet in width along the length of the road, while the sidewalk should be 8 feet in width, as recommended by the Comprehensive Plan. These widths are appropriate since this road is planned as a collector road. In addition, more information is needed regarding the proposed landscaping within the Woodland Park Road frontage landscape amenity panel. Illustrative context drawings depicting the streetscape area from the pedestrian/motorist perspective should be provided. This

landscaping should provide buffering from the adjacent roadway while being sensitive of sight distances.

Staff acknowledges that the proposed changes will necessitate site design changes that cascade throughout the site. However, the recommended changes to the proposed streetscape treatment could be effective and appropriate for this road due to the existing site constraints, the proposed residential uses and unit types - urban townhouses and "2 over 2's" which are shown to face the road and the existing office and hotel uses to the south and east, which include large surface parking lots and a parking structure. This streetscape provides a transition to these uses and reflect the design character described in the Plan.

Additional information is needed regarding the proposed Woodland Park Road streetscape along the multi-family building. The submitted plans lack the streetscape section for this portion of road. Moreover, street trees are not reflected on the CDP/FDP along the road in front of the multifamily building. Street trees should be provided as recommended by the Comprehensive Plan's Urban Design recommendations, keeping in mind sight distance issues. Staff has communicated to the applicant that the provision of street trees and maintaining necessary sight distance would require the multi-family Building A to be pushed back from the road.

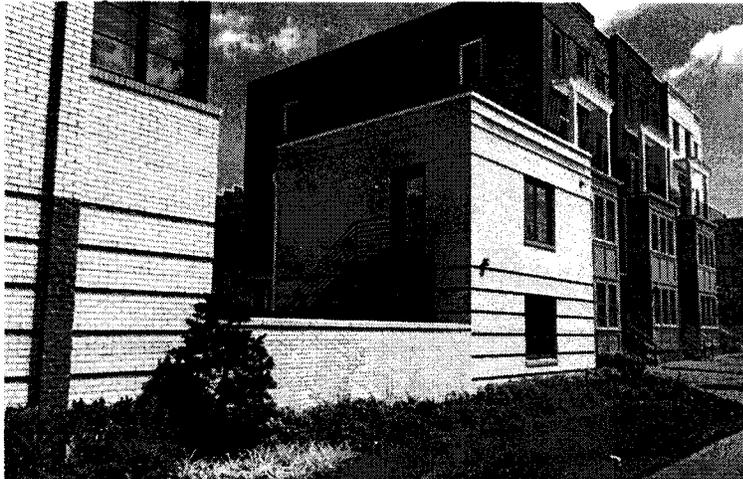
Verisign Way does not meet the Comprehensive Plan recommended streetscape. To address the Comprehensive Plan, sidewalks should be a minimum of 6 feet wide along the eastern length of the street. The landscape amenity panel along the street's east side should be a minimum of 8 feet wide and include street trees. The path along Verisign Way's western side should be a minimum of 8 feet in width given its function as the major regional trail recommended in the Trails Plan. In addition, this path is will likely serve as the main link between the pond and park amenities, and populations to the west and south which underscores the importance of appropriates widths for landscaping, street trees, sidewalks and trails.

The Centreville Road and Woodland Park Road intersection's northern leg should have a crosswalk to connect the site to the major development at Arrowbrook and, ultimately, to Innovation Center Station.

### Site Design

The site design of the eastern half of the property will likely need to be reconsidered given the issues identified with the proposed streetscape. Specifically, the streetscape needs along Woodland Park Road and Verisign Way, as well as the changes needed for the pedestrian promenade all result in pushing the townhouse and "2 over 2" units north and east. This issue will require further information from the applicant.

The proposed alleyway dead-ends should be treated to minimize their negative visual impact on pedestrians. Solutions may include a combination of separated garages and masonry walls to bridge the gap between townhouses. See photo example below:



If the above solution is not used, at a minimum, the alleyways should be screened from pedestrian views via masonry walls with decorative elements, while maintaining pedestrian connections between the alleyway and pedestrian paths. See photo examples below:



#### Park Space/Public Open Space

The circular pocket park at Verisign Way and Woodland Park Road should provide some enclosure to make it more useful for families due to the park's proximity to these busy roadways. For example, enclosure of the circular space with a 2 or 3 foot high masonry wall can potentially also serve as seating, while leaving the proposed connecting walkways open.

The pedestrian promenade park has promise as a public amenity. However, the space as currently designed will likely feel private. To better understand the relationship between Building A and the single family detached units to the east, provide pedestrian level perspectives looking down the promenade from the northern end and from the southern end. In addition, the three previously provided sections should be updated to show the opposing buildings on the east and west from the ground up to their rooflines to fully understand the relationship of their heights.

To create a more inviting public space, the sidewalk along the single family houses should be wider, at a minimum of 8 feet. In addition, the building zone (spacing between the sidewalk and the single family structures) should be at least 12 feet wide the length of the park. Several graphics label this building zone as narrow as 3 feet. Also within this building zone, enclosures

for the yards of the single family units, whether landscaping, fencing or masonry, should be set back at least four feet from the sidewalk to help distinguish the private and public space. The northern end of the promenade should be wider (at least 6 feet) since the proposed topography at the promenade's northern end results in the multifamily building being further elevated over the "2 over 2's" and townhouses. This extra width could be achieved within any element of the promenade, either the LID area, the sidewalk or the building zone.

Finally, to further make the park space function as a public space, it is recommended that distinctive textured or colored paving for this sidewalk that extends out onto the sidewalk along Woodland Park Road and the trail along the pond. This "spilling out" of the pavers from the pedestrian promenade onto the clearly public spaces would clearly communicate to pedestrians that they are welcome in the promenade space. Simple wayfinding signs at each end of the promenade telling pedestrians what is at the other end of the park will also emphasize the public nature of this space. The plans already indicate a wayfinding sign at the southern entrance.

#### Affordable/Workforce Housing

The draft proffers (dated March 29, 2016) address the Policy Plan recommended 12% Workforce Dwelling Units. The applicant is encouraged, however, to provide commitments to lower income tiers as part of this affordable housing commitment in line with the Reston Vision and Planning Principles, which envisions housing for all incomes.

#### Universal Design

As part of achieving the Reston Vision, the Comprehensive Plan recommends developer commitments to provide universally designed residential units above and beyond current policies and regulation requirements. Incorporating these designs into proposals up front incur minimal costs, while serving a large and growing demographic of the community. The applicant should provide a commitment to including such units.

#### CONCLUSION

The development proposal, as currently submitted, has several issues that should be resolved. These include clarification of the development intensity over the Plan recommended .70 FAR, the streetscape and site design along Woodland Park Road and Verisign Way, site and/or building design to minimize the visual impacts of alleyways, and public open space design for the circular pocket park and pedestrian promenade. The development proposal's iterations have shown progress and staff anticipates continued work with the applicant to address the outstanding issues. However, as currently submitted, staff finds that the application is not in conformance with the Comprehensive Plan.

DMJ/AFD



# County of Fairfax, Virginia

## MEMORANDUM

DATE: August 8, 2016

**TO:** Barbara Berlin, Director  
Zoning Evaluation Division, DPZ

**FROM:** Denise M. James, Chief *DMJ*  
Environment and Development Review Branch, DPZ

**SUBJECT: Land Use Analysis Addendum:**  
RZ/FDP 2016-DR-001 / PCA 1999-HM-037 / SEA 97-H-070-03, NVR, Inc.  
(Woodland Park West)

This addendum, prepared by Faheem Darab, is based on staff's review of the revised Concept Development Plan (CDP), Final Development Plan (FDP), Proffer Condition Amendment (PCA) and Special Exception Amendment (SEA) submitted by the applicant on July 8, 2016 and proffers dated July 8, 2016.

### BACKGROUND

The Comprehensive Plan Land Use Analysis dated May 17, 2016, concluded that the development proposal had numerous outstanding issues and was not in substantial conformance with the Comprehensive Plan. Those outstanding issues and their resolutions are summarized below.

### DISCUSSION

#### Land Use

**Issue:** Initially, the proposed intensity (the total proposed GFA) of 530,940 seemed to be more than the previously approved PDC office GFA of 454,725 sf (875,725 sf total office- 421,000 sf existing office to remain). The previously approved intensity of 875,725 sf was within the Comprehensive Plan recommendation of .70 FAR. To confirm the proposed residential square feet conforms to the Plan's recommended intensity, the applicant was asked to clarify if additional floor area is being requested over the previously approved development, or if bonus density is being applied.

**Resolution:** The applicant responded that ADUs and ADU/WDU bonus units have a combined GFA of 68,222 SF. Thus the GFA excluding ADUs and ADU/WDU bonus units would be 462,718 SF with a resultant FAR of 0.71. It is understood that, as the applicant states, the PDH District is measured by dwelling units per acre.

When evaluating this application's conformance with Plan guidance, FAR/intensity is used and is therefore the criteria. The proposed residential square footage, exclusive of only ADU/WDU bonus unit square feet, should be equal to or less than 454,725 square feet. As far as the Plan guidance is concerned, the residential density (dwelling units/acre) should be expressed in terms of floor area ratio. Staff finds that the previous concern regarding the proposed intensity remains outstanding and is not in conformance with the Comprehensive Plan.

### Streetscape

**Issue:** Staff had noted that the streetscape (and site design) along Woodland Park Road does not meet the Comprehensive Plan's recommended streetscape.

**Resolution:** Tree species type has been switched to a columnar variety so tree canopy presents less of a conflict with the residential units. The sidewalk and landscape amenity panel (LAP) along this road are now 8 feet wide. Illustrative elevations and additional details of the landscape amenity panel have been provided. However, the landscape amenity panels should also provide low shrubs, and/or groundcover, and not include grass. With this minor change, the streetscape would be in conformance with the Comprehensive Plan.

**Issue:** The application did not provided for street trees along Woodland Park Road in front of Building A.

**Resolution:** Street trees now line this section of road, as shown on the development plans.

**Issue:** Verisign Way does not meet the Comprehensive Plan recommended streetscape. Along the east side, sidewalk widths should be minimum of 6 feet and the landscape amenity panel, a minimum of 8 feet. On the west side, the trail width should be minimum of 8 feet.

**Resolution:** All streetscape depicted is now in conformance with Comprehensive Plan recommendations.

**Issue:** The Centreville Road and Woodland Park Road intersection's northern leg should have a crosswalk to connect the site to the major development at Arrowbrook and, ultimately, to Innovation Center Station.

**Resolution:** This crosswalk leg hasn't been added due to potential dual right turns from WB Woodland Park Road onto Centreville Road. No crosswalks are proposed for crossing Woodland Park Road either. These are important pedestrian connections that should be provided to meet the multimodal recommendations of the Comprehensive Plan.

### Open Space & Phasing

**Issue:** It was unclear if the recommended 20% open spaces was being provided; staff noted that publicly accessible open space, as defined in the Plan, was not addressed.

**Resolution:** To address this issue, the applicant is requested to provide information on how many square feet of the site is publicly accessible open space and provide a graphic showing which portions of the site are included in this calculation.

**Issue:** The circular pocket park at Verisign Way and Woodland Park Road should provide some enclosure to make it more useful for families due to the park's proximity to these busy roadways.

**Resolution:** Additional landscaping has been provided to satisfactorily address this concern.

### Site Design

**Issue:** The proposed alleyway dead-ends should be treated to minimize their negative visual impact on pedestrians.

**Resolution:** Decorative fence/masonry walls have been provided to satisfactorily address this concern.

**Issue:** To better understand the relationship between Building A and the single family detached units to the east, the applicant was requested to provide pedestrian level perspectives looking down the promenade from the northern end and from the southern end, including ground to rooftops.

**Resolution:** Additional plan perspectives have been provided satisfactorily. Additionally, the LID area looks very promising.

**Issue:** To create a more inviting public space, the promenade's sidewalk along the single family houses should be at least 8 feet in width and LAP between sidewalk and units to the east should be at least 12 feet in width; within this LAP, the landscaping and/or fencing should be set back from the sidewalk.

**Resolution:** The sidewalk is now 8 feet wide the length of the promenade and the landscaping is set back within the LAP. The LAP is 10 feet most of the promenade, tapering down to 8 feet closest to the lake. The amenity panel width, while not ideal, is satisfactory.

**Issue:** Finally, to further indicate that the promenade is a public space, distinctive textured or colored paving for this sidewalk should extend out onto the sidewalk along Woodland Park Road and the trail along the pond.

**Resolution:** The pavers from the pond trail and sidewalk along Woodland Park Road now spill into the promenade sidewalk which satisfactorily addresses this concern.

Affordable/Workforce Housing & Universal Design

**Issue:** The applicant is encouraged to provide commitments to lower income tiers as part of this affordable housing commitment in line with the Reston Vision and Planning Principles, which envisions housing for all incomes.

**Resolution:** The applicant has not provided a commitment to lower income tiers.

**Issue:** ADUs and WDUs should be of similar size to market units

**Resolution:** This issue remains a concern which should be addressed in proffers #23 and 24.

**Issue:** As part of achieving the Reston Vision, the Comprehensive Plan recommends developer commitments to provide universally designed residential units.

**Resolution:** Proffers should commit to providing at least 5% of units with universal design elements.

**CONCLUSION**

Numerous issues raised in the May 17th memo have been satisfactorily addressed by the applicant. There are, however, several issues identified in this addendum that remain outstanding concerns. These include:

- Land use intensity is above the Plan recommendation, and the information requested should be provided.
- Crosswalks should be provided as specified.
- Publicly accessible open space information should be provided as specified.
- Commitments to lower income tiers for WDUs, in similar sized units should be provided along with commitments to universal design.



# County of Fairfax, Virginia

## MEMORANDUM

**DATE:** May 5, 2016

**TO:** Barbara Berlin, Director  
Zoning Evaluation Division,  
Department of Planning & Zoning

**FROM:** Barbara A. Byron, Director  
Office of Community Revitalization

**SUBJECT:** NVR Woodland Park West  
RZ/FDP 2016-DR-001  
PCA 1999-HM-037  
SEA 97-H-070-03

The Office of Community Revitalization (OCR) has reviewed the plan set and draft proffered conditions for the above referenced case, both dated March 29, 2016. The application is for a special exception amendment, a proffered condition amendment, and a rezoning from PDC to PDH-30 to allow development of a 5-story multi-family residential building; 56 4-story two-over-two units; and, 32 4-story townhomes. The application is generally in conformance with urban design guidance in the Comprehensive Plan, and good planning practice for design at the outer edge of the TSA.

The following recommendations are offered for consideration:

1. Streetscape:
  - a. The site is constrained by the existing utility easement on Woodland Park Road and fire accessibility needs; however, the streetscape along the multi-family building frontage is inadequate for pedestrian comfort. A more robust landscaping plan, including trees, will help to break up the scale of the massing of this building, and create a more human-scale environment with softer edges. The elevations provided by the applicant (sheet 18) show street trees along this frontage, which is preferable but inconsistent with the streetscape drawings (sheet 9). An appropriate streetscape should be provided. This can be achieved by shifting the building north, reducing the size of the building, or other means. In addition, staff recommends that the applicant replace the areas within the Woodland Park Road streetscape designated for lawn with drought tolerant groundcover in order to enhance the environmentally sustainable features of this project.
  - b. Due to existing utilities in the landscape panel area, street trees along the two-over-two frontage of Woodland Park Road have been located to the building zone and shrubs are proposed to be planted within the landscape amenity panel. Staff is amenable to this



**Office of Community Revitalization**  
12055 Government Center Parkway, Suite 1048  
Fairfax, VA 22035  
703-324-9300, TTY 711  
www.fcrcv.org

proposed streetscape due to the local classification of Woodland Park Road, and the proffers regarding maintenance of the street trees located outside of the public ROW. However, staff has concerns regarding the draft proffer language for streetscape (proffer 12(D)). Staff supports flexibility with respect to the location of street trees and design of the landscape amenity panel due to the utility and sight-distance constraints described by the applicant. However, if the applicant anticipates that additional constraints might arise with respect to design of the streetscape elements, a deeper building zone should be provided to accommodate such changes and ensure that trees will be provided.

- c. Staff recommends the applicant accommodate street trees in the landscape amenity panel on Verisign Way. The scale of the massing of the multi-family building on this frontage is significant and should be buffered by plantings in order to facilitate a pedestrian-friendly environment and a visual transition to the park space across the street.
2. Parking and Loading Entrances
    - a. Staff recommends that the parking and loading entrances to the multi-family building on Verisign Way be combined and accessed via a shared curb cut in order to reduce the visual impact of two garage entrances on this frontage and enhance pedestrian safety.
  3. Urban Design Amenities and Signage:
    - a. Staff suggests that the design and material of site furnishings, including benches, street lighting, bike racks, trash and recycling receptacles reflect a more modern and urban character. Stainless steel and brushed metal are preferable to wood or synthetic wood material.
    - b. Monument signs are highly discouraged within the Reston TSAs, which aim to reflect a more urban environment. Staff recommends that entry signage be incorporated into the building façade where appropriate, rather than the free-standing monument example shown on sheet 16.
  4. Waterfront Promenade:
    - a. The applicant has addressed staff's question regarding whether or not there will be a physical delineation between the private stoops and public waterfront promenade by demonstrating placement of physical walls, hedgerows, or fencing at the base of the stoops. However, staff would like to better understand this elevation from the pedestrian perspective on the promenade. It is recommended that the height of the barrier not exceed 4', in order to maintain a human-scale relationship between the public and private spaces. Additionally, if low walls are utilized, they should be decorative in order to avoid continuous blank facades, and fencing should be of wrought iron or other metal, rather than wood or synthetic wood material. Staff requests the applicant submit an elevation that demonstrates the proposed height, character, and materials for this barrier.
    - b. Staff also recommends that the proposed private stoops be pulled closer to the buildings in order to accommodate a landing behind the public sidewalk. This will help to avoid pedestrian conflicts that arise from private stoops landing directly on the sidewalk.

5. Elevations

- a. The building elevations shown on sheets 17 and 18 are meant to illustrate the character and design intent of the residential dwellings, and are subject to change. However, without examples of materials and color scheme, the character and design intent remain unclear. In order to fully evaluate the proposal, staff requests the applicant provide elevations that show potential color scheme and materials for all buildings. These elements should be of high quality and should complement the surrounding context.
- b. The applicant should consider the architectural relationship between the three different residential building typologies proposed. The single-family townhomes appear to be a very different style, distinct from the two-over-twos and the multi-family building. The applicant should consider highlighting a common design element consistent throughout the development that ties all three typologies together, whether that be through color, materials, rooflines, etc.
- c. The portions of flat roofline shown on the multi-family building are consistent with the urban character envisioned for the TSAs. Staff requests that the applicant provide more consistent flat (or less pitched, shed-style) roofs on all of the buildings, rather than gable or hip roofs, which are much more suburban in character. This may also help address comment #5(b) above.

6. Driveways

- a. Staff is in support of a maximum of 4' depth for driveways not used for parking, as described in the draft proffers and driveway enlargements shown on sheet 6. However, the CDP/FDP drawing on sheet 6 is inconsistent with this statement, showing several driveways that will not accommodate parking but show a 7' dimension. The applicant should revise this drawing to ensure consistency with all other application materials and avoid confusion at the time of Site Plan.

cc. Laura Arsenau, AICP, Staff Coordinator, DPZ  
Maggie Soffel, AICP, Revitalization Program Manager, OCR  
OCR Files



# County of Fairfax, Virginia

## MEMORANDUM

DATE: August 8, 2016

**TO:** Barbara Berlin, Director  
Zoning Evaluation Division, DPZ

**FROM:** Denise M. James, Chief *DMJ*  
Environment and Development Review Branch, DPZ

**SUBJECT:** ENVIRONMENTAL ASSESSMENT for: **RZ/FDP 2016-DR-001;**  
**Woodland Park West** **PCA 1999-HM-037;**  
**SEA 97-H-070-03**

This memorandum, prepared by Mary Ann Welton, includes citations from Comprehensive Plan that provide guidance for the evaluation of the subject Proffer Condition Amendment (PCA), Conceptual Development Plan (CDP) and Final Development Plan (FDP), Special Exception Amendment (SEA) and proffers, revised through July 8, 2016. The extent to which the application conforms to the applicable guidance contained in the Comprehensive Plan is noted. Possible solutions to remedy identified issues are suggested. Other solutions may be acceptable, provided that they achieve the desired degree of mitigation and are in conformance with Plan policies. Applicable Comprehensive Plan citations are attached.

### DESCRIPTION:

The subject property is an 11.95 acre undeveloped portion of the larger Woodland Park development which is located east of Centreville Road and north of Woodland Park Road and south of the Woodland Park office development south of the Dulles Airport Access Road (DAAR). The property is currently zoned Planned Development Commercial (PDC) and the application seeks to rezone the property to Planned Development Housing (PDH-30) in order to build one, five story multi-family building with 295 dwelling units, 56 two over two units and 32 single-family attached townhouses.

### ENVIRONMENTAL ANALYSIS

This section characterizes the environmental concerns raised by an evaluation of this site and the proposed land use. Particular emphasis is given to opportunities provided by this application to conserve the County's remaining natural amenities.

Department of Planning and Zoning  
Planning Division  
12055 Government Center Parkway, Suite 730  
Fairfax, Virginia 22035-5509  
Phone 703-324-1380  
Fax 703-653-9447  
[www.fairfaxcounty.gov/dpz/](http://www.fairfaxcounty.gov/dpz/)



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DEPARTMENT OF  
**PLANNING  
& ZONING**

## ANALYSIS:

### **Water Quality Protection and Stormwater Management Best Management Practices:**

Woodland Park is situated within the Horsepen Creek watershed. One large offsite pond is situated northwest of this property. Pond B which is situated within the boundaries of the application property and west of the proposed development is meant to satisfy both water quality and water quantity requirements for this site. Sheet 26 of the development plan includes a Stormwater Ordinance Determination (SWOD) letter regarding Chapter 124, dated February 5, 2016. It is not clear if this letter has been provided for the current layout or for a previous layout. In any case, the applicant should provide a detailed explanation for how the approval conditions cited in that letter will be addressed in this application and whether or not the February 5, 2016 approval letter is for the current layout or a previous layout.

Staff notes that a clear Floor Area Ratio (FAR) calculation is not provided on the development plan. Further, the applicant does not include a narrative with the development plan or a commitment in the proffers to specifically show how this application will address the Comprehensive Plan's *environmental stewardship* goals for stormwater management, as noted in the following excerpt from the Plan.

"... at a minimum, the following guidelines should be followed for any application for which a floor area ratio (FAR) of 1.0 or more is proposed:

1. For sites that have greater than 50 percent impervious cover in the existing condition, the total volume of runoff released from the site in the post-developed condition for the 2-year, 24-hour storm should be at least 25 percent less than the total volume of runoff released in the existing condition for the same storm. Furthermore, the peak runoff rate for the 2-year, 24-hour storm in the post-developed condition should be at least 25 percent less than the existing condition peak runoff rate for the same storm.
2. For sites that have 50 percent or less impervious cover in the existing condition, the total volume of runoff released as well as the peak release rate for the 1- and 2-year, 24-hour storm in the post-developed condition should be equal to or less than the total runoff volume and peak release rate in the existing condition for the same storm.
3. In addition to item 1 or 2 above, stormwater runoff associated with the development should be controlled such that either: (a) the total phosphorus load for the property is no greater than what would be required for new development pursuant to Virginia's Stormwater Regulations/the county's Stormwater Management Ordinance; or (b) an equivalent level of water quality control is provided."

Proffer 30 of the July 8, 2016 proffer statement briefly mentions the Plan's environmental stewardship goals, but no calculations or details have been provided on the development plan to demonstrate how the proposed measures would achieve the Comprehensive Plan goals. The applicant is encouraged to provide detailed calculations and a clearer commitment to address the environmental stewardship goals of the Comprehensive Plan.

**Water Quality in Merrybrooke Run:** During 2014 the Stormwater Planning Division (SWPD) performed monitoring of the benthic health and bacterial levels of Merrybrooke Run downstream of the subject property and ponds. Bacterial levels increased throughout the span of the 2014 analysis and benthic health was low during that year. The SWPD memo derives the following conclusion based on the monitoring assessment:

While the proposed BMPs will improve onsite detention/infiltration, the monitoring data indicate that the ponds are presently providing inadequate water quality treatment and resulting in adverse impacts to a DEQ-impaired watershed. These ponds are not sufficient to treat stormwater and protect the receiving stream.

The Comprehensive Plan's environmental stewardship goals emphasize that considerable opportunities are available to correct existing deficiencies in order to improve water quality in streams and tributaries which drain to the Chesapeake Bay. Therefore, staff requests that the applicant address the 2014 analysis by the SWPD and the conclusion of that analysis that the Woodland Park ponds are contributing to the impairment of Merrybrooke Run and that Pond B cannot adequately provide water quality control and water quantity control for this development. The Stormwater Planning Division memo is attached.

Stormwater management/best management practice measures, outfall adequacy and conformance with the County's Stormwater Management Ordinance will be subject to further review and approval by the Department of Public Works and Environmental Services (DPWES).

**Transportation Generated Noise:** The Policy Plan guidance recommends that interior noise levels for new residential development and other noise sensitive uses should not exceed DNL 45 dBA in interior areas and 65 dBA for outdoor recreational areas. The residential development is surrounded by a number of significant sources of transportation generated noise, including of the DAAR, the Silver Line Metro and Centreville Road. Proffer 10 of the July 8, 2016 proffer statement commits to provide a noise study prior to site plan submission, to determine what, if any, noise attenuation measures may be necessary for this development to meet the Policy Plan guidance. This issue has been resolved.

**Green Building:** Proffer 8 provides commitments to meet the county's green building policy for the proposed residential development as recommended by Plan guidance. Staff recommends that the applicant accommodate minor modifications in the wording of this proffer to eliminate the

National Association of Homebuilder program option cited in the proffer which has been absorbed into another program.

**Tree Preservation/Restoration:** In the existing condition the undeveloped subject property is heavily vegetated. This redevelopment will dramatically transform this pervious site to a highly impervious, developed site. The applicant is encouraged to work with the Urban Forestry Management Division (UFMD) of DPWES to find additional opportunities to preserve more vegetation on the subject property as part of this development.

DMJ: MAW

Attachment: August 3, 2016 Memo from Stormwater Planning Division

#### **COMPREHENSIVE PLAN CITATIONS:**

The Comprehensive Plan is the basis for the evaluation of this application. The assessment of the proposal for conformity with the environmental recommendations of the Comprehensive Plan is guided by the following citations from the Plan:

Fairfax County Comprehensive Plan, 2013 Area III, Reston, as amended through October 20, 2015, pages 41-48 state:

#### **“ENVIRONMENTAL STEWARDSHIP**

Reston is a community founded on the integration of nature with developed areas and the stewardship of its wetlands, streams, lakes, forests, and other natural areas. Protecting, restoring and enhancing Reston’s diverse natural areas will remain a central planning principle and activity. Reston Association (RA), the Reston Town Center Association (RTCA), the Northern Virginia Regional Park Authority (NVRPA), Fairfax County, homeowner associations, and individual property owners will plan and manage Reston’s natural resources with the following environmental stewardship planning goals in order to keep natural areas healthy and resilient:

- Protect the headwater areas and other environmentally sensitive areas through the implementation of innovative stormwater management practices.
- Restore and enhance the mature tree canopy and other natural areas.
- Establish high expectations regarding use of green technology and low impact development techniques for all buildings and neighborhoods.
- Provide noise attenuation measures as appropriate.

## **Stormwater Management**

Future development offers considerable opportunities to improve upon past stormwater management practices in furtherance of efforts to protect and restore local streams and to reduce pollutant loads entering the Potomac River and Chesapeake Bay. Low impact development (LID) techniques of stormwater management can serve to reduce runoff volumes entering local streams and can more easily be incorporated within densely developed areas than more traditional detention and retention ponds. These LID practices can include, but are not limited to, bioretention or biofiltration facilities (commonly known as rain gardens), vegetated swales, porous pavement, vegetated roofs, tree box filters and the collection and reuse of stormwater runoff.

Environmentally-friendly stormwater design should be an integral design principle that will be part of the conceptual stage of site development for all future development, recognizing that stormwater management measures may be phased with development. The stormwater design should first seek to minimize the effect of impervious cover, followed by the application of stormwater reuse, retention, detention, extended filtration and, where soils and infrastructure allow, infiltration to improve downstream waters. The incorporation of stormwater management strategies in parks and other open space areas may support this approach while providing recreational amenities, and there may be opportunities to incorporate LID practices within other open space areas.

Coordination of stormwater management controls among multiple development sites may also be effective in achieving stormwater management goals in an efficient manner. Stormwater management and water quality controls should be optimized for all future development projects consistent with the scale of such projects.

Stormwater quantity and quality control measures should be provided with the goal of reducing the total runoff volume or significantly delaying its entry into the stream system. In furtherance of stream protection and/or restoration through replication of natural hydrologic conditions, the emphasis should be on LID techniques that evapotranspire water, filter water through vegetation and/or soil, return water into the ground or reuse it.

LID techniques of stormwater management should also be incorporated into new and redesigned streets where allowed and practicable.

In addition, at a minimum the following guidelines should be followed for any application for which a floor area ratio (FAR) of 1.0 or more is proposed. Any such development proposals should be reviewed on a case-by-case basis for the appropriate optimization of stormwater management and water quality controls, allowing for flexibility in specific approaches taken to achieve these guidelines.

1. For sites that have greater than 50 percent impervious cover in the existing condition, the total volume of runoff released from the site in the post-developed condition for the 2-year, 24-hour storm should be at least 25 percent less than the total volume of runoff released in the existing condition for the same storm. Furthermore, the peak runoff rate for the 2-year, 24-hour storm in the post-developed condition should be at least 25 percent less than the existing condition peak runoff rate for the same storm.
2. For sites that have 50 percent or less impervious cover in the existing condition, the total volume of runoff released as well as the peak release rate for the 1- and 2-year, 24-hour storm in the post-developed condition should be equal to or less than the total runoff volume and peak release rate in the existing condition for the same storm.
3. In addition to item 1 or 2 above, stormwater runoff associated with the development should be controlled such that either: (a) the total phosphorus load for the property is no greater than what would be required for new development pursuant to Virginia's Stormwater Regulations/the county's Stormwater Management Ordinance; or (b) an equivalent level of water quality control is provided.

As an alternative to items 1, 2 and 3 above, stormwater management measures may be provided that are sufficient to attain the Rainwater Management credit of the most current version of LEED-NC or LEED-CS rating system (or equivalent of this/these credit(s)).

As an alternative to the minimum guidelines above, stormwater management measures and/or downstream improvements may be pursued to optimize site-specific stormwater management and stream protection/restoration needs, consistent with the adopted watershed management plan(s) that is/are applicable to the site. Such efforts should be designed to protect downstream receiving waters by reducing stormwater runoff volumes and peak flows from existing and proposed impervious surfaces to the maximum extent practicable, consistent with watershed plan goals.

### **Natural Resources Management**

Protection, enhancement and management of natural resources in the existing wetlands and streams in Reston are critical to the long term viability of those habitats.

#### *Wetlands*

Wetlands filter water and provide important habitat for native plants and animals. One notable wetlands habitat is the Sunrise Valley Wetlands, which lies within ¼ mile of the Herndon Station. This privately owned land is a federally-mandated mitigation site

established by Reston Land Corporation through a Conservation Covenant in July 1994. This site provides multiple ecosystems, including open water, marsh and upland forest that attract a wide range of wildlife. Recreational uses that are compatible with the environmental, public accessibility and educational objectives of the wetlands should be encouraged.

#### *Streams and Buffer Areas*

The Reston Association (RA) manages many of the stream valleys and lakes within Reston as part of its water resource program. Various tributaries have been negatively impacted by years of unchecked stormwater runoff, consumption of understory plants by deer, and encroachment by non-native invasive plant species. Generally, these streams suffer from numerous exposed utilities, particularly sewers; areas of severe stream bank erosion and many fallen trees; and a significant number of large sediment deposits. RA is implementing a long-term action plan for a Watershed Master Plan to restore the Glade, Snakeden Branch, and tributaries to Colvin Run in Reston.

#### *Lakes and Ponds*

Four constructed lakes, (Lake Anne, Thoreau, Audubon and Newport), cover 125 acres, provide valuable habitat for fish and aquatic plants, serve as visual amenities, and create recreation opportunities while also functioning as stormwater management facilities. These lakes are actively managed by RA for aquatic health, sediment, algae, and shoreline stabilization. In addition, Lake Fairfax, owned by the Fairfax County Park Authority, is located adjacent to Reston and also provides stormwater management and recreation. Smaller ponds provide stormwater management and have become important features of the Reston area. Additional tree canopy and shoreline stabilization should be considered to enhance these important features.

#### *Environmental Enhancement*

Environmental enhancement efforts should be encouraged and should include endeavors such as the planting of native species of vegetation in degraded open space areas, invasive plant control, deer management, stream restoration, and creating new natural areas where disturbed areas currently exist. These expanded natural areas could build on the stream valley parks, adding land that increases riparian buffers and enhances stream valley corridors. Natural areas outside of Resource Protection Areas could serve as nodes for human activity and greatly improve quality of life while relieving stress on existing riparian areas. Stream valley park expansions should not include large hardscape areas (other than trails) and resources management should drive park design.

### **Tree Canopy Goals**

Trees provide numerous environmental and human health benefits and should be considered an essential element in the vision for development and redevelopment within Reston. Environmental benefits include stormwater management, energy conservation, and mitigation of ozone and carbon in the air. When clustered together, as in a park setting, trees provide habitat areas for wildlife. From an urban design perspective, street trees enhance aesthetics, provide shade and relief from the sun and other elements, and create a sense of safety and protection from street traffic. The recommendations to protect, restore and enhance the tree canopy include the following:

- Follow guidelines established in the Tree Action Plan: a 20-Year Strategic Plan to Conserve and Manage Fairfax County's Urban Forest
- Consult Reston Association's list of "banned" plants and "preferred" native plantings when selecting trees and other plants for landscaping.
- Avoid the overuse of one tree species along streets
- Replace existing trees preferably in the same watershed
- Expand the eradication program for invasive species
- Expand the planting program for native trees, seedlings, and shrubs and wildflowers to ensure regeneration and resilience of natural areas.

### **Green Buildings Practices**

The Policy Plan's Environment section provides guidance for green building practices. Non-residential development in the TSAs should achieve LEED Silver certification or the equivalent, at a minimum, in light of the level of redevelopment potential proposed for the TSAs. Achievement of higher levels of LEED certification is also encouraged.

Residential development should be guided by the Policy Plan objectives on Resource Conservation and Green Building Practices.

A broad range of practices can be pursued in support of or in addition to green building certification.

The following are examples of energy and ecologically conscious approaches to building design that should be encouraged within Reston:

- Provision of green (vegetated) roofs

- Policy j. Regulate land use activities to protect surface and groundwater resources. . . .
- Policy k. For new development and redevelopment, apply better site design and low impact design (LID) techniques such as those described below, and pursue commitments to reduce stormwater runoff volumes and peak flows, to increase groundwater recharge, and to increase preservation of undisturbed areas. In order to minimize the impacts that new development and redevelopment projects may have on the County's streams, some or all of the following practices should be considered where not in conflict with land use compatibility objectives:
- Minimize the amount of impervious surface created...f
  - Maximize the use of infiltration landscaping within streetscapes consistent with County and State requirements.”

The Fairfax County Comprehensive Plan, Policy Plan, 2013 Edition, Environment section as amended through July 1, 2014, page 10 states:

**“Objective 3: Protect the Potomac Estuary and the Chesapeake Bay from the avoidable impacts of land use activities in Fairfax County.**

- Policy a. Ensure that new development and redevelopment complies with the County's Chesapeake Bay Preservation Ordinance....”

The Fairfax County Comprehensive Plan Policy Plan, 2013 Edition, Environment section as amended through February 12, 2013, pages 11 and 12 states:

. . . “Federal agencies with noise mitigation planning responsibilities have worked with the health community to establish maximum acceptable levels of exposure (Guidelines for Considering Noise in Land Use Planning and Control). These guidelines expressed in terms of sound pressure levels are; DNL 65 dBA for outdoor activity areas, DNL 50 dBA for office environments, and DNL 45 dBA for residences, schools, theaters and other noise sensitive uses. . . .

**Objective 4: Minimize human exposure to unhealthful levels of transportation generated noise.**

- Policy a: Regulate new development to ensure that people are protected from unhealthful levels of transportation noise. . .

- Use of site and building design and orientation for passive solar heating and daylighting
- Use of thermal and/or photovoltaic solar energy systems
- Incorporation of passive cooling through proper shading and ventilation
- Use of ground source heat pump heating and cooling systems for space conditioning and hot water requirements
- Reduction of water consumption, including the re-use of gray water where allowed
- Use of radiant floor heating
- Provision of roof-mounted wind turbines as an energy source
- Recycling of building materials and maximizing the use of locally produced materials
- Use of light reflecting roof surfaces
- Use of outside light shades that provide shading for glass while also directing sunlight deep into interior building spaces
- Provision of or readiness for charging stations and related infrastructure for electric vehicles, particularly for multifamily residential where opportunities may be limited.”

The Fairfax County Comprehensive Plan, Policy Plan, 2013 Edition, Environment section as amended through July 1, 2014, page 7-9 states:

**“Objective 2:        Prevent and reduce pollution of surface and groundwater resources. Protect and restore the ecological integrity of streams in Fairfax County.**

Policy a.        Maintain a best management practices (BMP) program for Fairfax County and ensure that new development and redevelopment complies with the County’s best management practice (BMP) requirements. . . .

New development should not expose people in their homes, or other noise sensitive environments, to noise in excess of DNL 45 dBA, or to noise in excess of DNL 65 dBA in the outdoor recreation areas of homes. To achieve these standards new residential development in areas impacted by highway noise between DNL 65 and 75 dBA will require mitigation. New residential development should not occur in areas with projected highway noise exposures exceeding DNL 75 dBA.”

The Fairfax County Comprehensive Plan, 2013 Edition, Policy Plan, Environment, as amended through February 12, 2013, page 18 states:

**“Objective 10: Conserve and restore tree cover on developed and developing sites. Provide tree cover on sites where it is absent prior to development.**

Policy a: Protect or restore the maximum amount of tree cover on developed and developing sites consistent with planned land use and good silvicultural practices.

Policy b: Require new tree plantings on developing sites which were not forested prior to development and on public rights of way....”

The Fairfax County Comprehensive Plan, 2013 Edition, Policy Plan, Environment, as amended through pages 19 -21 state:

**“Objective 13: Design and construct buildings and associated landscapes to use energy water resources efficiently and to minimize short- and long-term negative impacts on the environment and building occupants.**

Policy a. In consideration of other Policy Plan objectives, encourage the application of energy conservation, water conservation and other green building practices in the design and construction of new development and redevelopment projects. These practices may include, but are not limited to:

- Environmentally-sensitive siting and construction of development;
- Application of low impact development practices, including minimization of impervious cover (See Policy k under Objective 2 of this section of the *Policy Plan*);

- Optimization of energy performance of structures/energy-efficient design;
- Use of renewable energy resources;
- Use of energy efficient appliances, heating/cooling systems, lighting and/or other products;
- Application of best practices for water conservation, such as water efficient landscaping and innovative wastewater technologies, that can serve to reduce the use of potable water and/or reduce stormwater runoff volumes;
- Reuse of existing building materials for redevelopment projects;
- Recycling/salvage of non-hazardous construction, demolition, and land clearing debris;
- Use of recycled and rapidly renewable building materials;
- Use of building materials and products that originate from nearby sources;
- Reduction of potential indoor air quality problems through measures such as increased ventilation, indoor air testing and use of low-emitting adhesives, sealants, paints/coatings, carpeting and other building materials;
- Reuse, preservation and conservation of existing buildings, including historic structures;
- Retrofitting of other green building practices within existing structures to be preserved, conserved and reused;
- Energy and water usage data collection and performance monitoring;
- Solid waste and recycling management practices; and
- Natural lighting for occupants.

Encourage commitments to implementation of green building practices through certification under established green building rating systems for individual buildings (e.g., the U.S. Green Building Council's Leadership in Energy and Environmental Design for New Construction [LEED-NC®] or the U.S. Green Building Council's Leadership in Energy and Environmental Design for Core and Shell [LEED-CS®] program or other equivalent programs with third party certification). An equivalent program is one that is independent, third-party verified, and has regional or national recognition or one that otherwise includes multiple green building concepts and overall levels of green building performance that are at least similar in scope to the applicable LEED rating system. Encourage commitments to the attainment of the ENERGY STAR® rating where available. Encourage certification of new homes through an established residential green building rating system that incorporates multiple green building concepts and has a level of energy performance that is comparable to or exceeds ENERGY STAR qualification for homes. Encourage the inclusion of professionals with green building accreditation on development teams. Encourage commitments to the provision of information to owners of buildings with green building/energy efficiency measures that identifies both the benefits of these measures and their associated maintenance needs.

Policy b. Within the Tysons Corner Urban Center, Suburban Centers, Community Business Centers, Industrial Areas and Transit Station Areas as identified on the Concept Map for Future Development, unless otherwise recommended in the applicable area plan, ensure that zoning proposals for nonresidential development or zoning proposals for multifamily residential development incorporate green building practices sufficient to attain certification through the LEED-NC or LEED-CS program or an equivalent program specifically incorporating multiple green building concepts, where applicable, where these zoning proposals seek at least one of the following:

- Development in accordance with Comprehensive Plan Options;

- Development involving a change in use from what would be allowed as a permitted use under existing zoning;
- Development at the Overlay Level; or
- Development at the high end of planned density/intensity ranges. For nonresidential development, consider the upper 40% of the range between by-right development potential and the maximum Plan intensity to constitute the high end of the range.

Where developments with exceptional intensity or density are proposed (e.g. at 90 percent or more of the maximum planned density or intensity), ensure that higher than basic levels of green building certification are attained....”



# County of Fairfax, Virginia

## MEMORANDUM

**DATE:** August 3, 2016

**TO:** Laurie Arseneau  
DPZ

**FROM:** LeAnne Astin:  
SWPD

**SUBJECT:** Woodland Park West Rezoning Application

Each year, Fairfax County's Stormwater Planning Division (SWPD) conducts probabilistic biological monitoring (benthic macroinvertebrates, fish, bacteria, habitat and ambient water quality) at stream sites throughout the county. In 2014, SWPD randomly selected a site in the Horsepen Creek watershed on Merrybrook Run near the intersection of Centreville Road and Coppermine Road (HC1401) for probabilistic monitoring. This site is located downstream of the subject property (see Figure 1).

**Figure 1:**



Department of Public Works and Environmental Services  
Stormwater Planning Division  
12000 Government Center Parkway, Suite 449  
Fairfax, VA 22035-0052  
Phone: 703-324-5500, TTY: 711, Fax: 703-802-5955  
[www.fairfaxcounty.gov](http://www.fairfaxcounty.gov)



Conductivity is a measure of the ability of water to pass an electrical current, and is used as a general measure of stream water quality. When the conductivity value is corrected to 25C degrees, the corrected value is called specific conductance. Generally, streams supporting diverse aquatic life have a range between 150 and 500 micromhos per centimeter ( $\mu\text{mhos/cm}$ ), while specific conductance in exceedence of 1,000  $\mu\text{mhos/cm}$  may be an indicator that polluting discharges have entered the water.

Throughout the 2014 monitoring year, SWPD documented elevated specific conductance at the Merrybrook Run site on multiple dates (see Table 1). Specific conductance exceeded 3600  $\mu\text{mhos/cm}$  on two separate occasions in March 2014 (up to 4678 on 3/12/14) and remained above 660 throughout the sampling year. In March 2014, SWPD staff tracked the source of the elevated conductivity values upstream from HC1401 to the outfall from the wet ponds on the subject property into Merrybrook Run.

Given the above information, SWPD disagrees with the applicant's assertion that the existing wet ponds will provide all water quality and quantity protection for the site. While the proposed BMPs will improve onsite detention/infiltration, the monitoring data indicate that the ponds are presently providing inadequate water quality treatment and resulting in adverse impacts to a DEQ-impaired watershed. These ponds are not sufficient to treat stormwater and protect the receiving stream.

**Table 1:**

<b>Watershed</b>	<b>Site ID</b>	<b>Date</b>	<b>Specific Conductance</b>
Horsepen Creek	HC1401	3/12/2014	4678
Horsepen Creek	HC1401	3/14/2014	3662
Horsepen Creek	HC1401	6/17/2014	544
Horsepen Creek	HC1401	8/8/2014	873
Horsepen Creek	HC1401	9/23/2014	663
Horsepen Creek	HC1401	12/18/2014	666

cc: Mary Ann Welton, DPZ  
Clinton Abernathy, LDS



# County of Fairfax, Virginia

## MEMORANDUM

DATE: August 12, 2016

**TO:** Barbara Berlin, Director  
Zoning Evaluation Division, Department of Planning & Zoning

**FROM:** Michael A. Davis, Acting Chief  
Site Analysis Section, Department of Transportation

**FILE:** RZ / FDP 2016-DR-001; RZ 1999-HM-037; SE 97-H-070

**SUBJECT:** RZ / FDP 2016-DR-001  
(concurrent with PCA 1999-HM-037 and SEA 97-H-070-03)

NVR Inc. (Woodland Park West - Waterview)  
13204 Woodland Park Road, Herndon, VA 20171  
Tax Map: #16-3 ((1)) 29D & 29E  
# 16-3 ((11)) 7

This department has reviewed the subject application including the Conceptual Development Plan and Final Development Plan (CDP/FDP) dated December 2015, as revised through July 8, 2016, and the proffers dated July 8, 2016. We offer the following comments:

### Woodland Park Road:

- The proposed lane striping in the eastbound direction between Centreville Road and Verisign Way will need further revision and/or additional signage. Traffic from the southbound left movement from Centreville Road turns in two lanes to Woodland Park Road. The inside lane on Woodland Park Road becomes a left turn lane to northbound Verisign Way almost immediately after the turn from Centreville Road. This is a traffic safety and operational problem.
- For the westbound direction between Verisign Way and Centreville Road, the applicant should commit to further evaluate the proposed lane configuration to explore the potential for eliminating the need for a split phase signal operation at the Centreville Road intersection. The elimination of a split phase signal operation will allow the intersection to operate more efficiently.
- Staff recommends the applicant extend the existing raised median on the Woodland Park Road approach to the Centreville Road intersection past the first entrance along the southern side of Woodland Park Road. This would restrict that access point to a right in/right out condition. This would also reduce the conflict points where the two

eastbound lanes on Woodland Park Road between Centreville Road and Verisign Way merge into one travel lane.

- The proposed additional right turn lane on westbound Woodland Park Road at Centreville Road should only be provided if a dual right turn lane overlap signal phase is approved as part of the proposed signal modifications. A dual right turn lane overlap phase would allow both lanes to turn right at the same time the left turning movements on northbound and southbound Centreville Road are allowed. Staff recommends this improvement be evaluated and implemented as one of the later phases of the development.
- The travel lanes on Woodland Park Road east of Verisign Way should be revised to provide an 11-foot travel lane adjacent to the proposed on-road bicycle lane, an 11-foot center turn lane, and a 14-foot travel lane that contains "share the road" bicycle arrows ("sharrow" markings).

#### Pedestrian & Bicycle Amenities:

- Staff recommends the applicant provide the pedestrian crosswalk and signal equipment for the leg of the Woodland Park Road and Centreville Road intersection not currently striped and signalized.
- Staff recommends the applicant provide the necessary bicycle signage throughout the site to inform bicyclists utilizing the proposed facilities and amenities and to direct them to the alternative routes provided as part of the overall bicycle network.
- Staff recommends the applicant conform to the bicycle parking rates for multifamily residential within a Transit Station Area (TSA) in accordance with the Fairfax County bicycle parking guidelines as follows:
  - Visitor Spaces (short term) 1 parking space per 25 units or a portion thereof
  - Resident Spaces (long term) 1 parking space per 3 units or a portion thereof
- The applicant should clarify how the proposed bicycle parking for the 2 over 2 townhouse style units is expected to work. Generally that type of unit would account for bicycle storage within the individual units. It is unclear where that bicycle parking will be provided given the information in the chart located on the lower right corner of Sheet 6.

#### Transportation Fund Contribution:

- On February 11, 2014, the Board of Supervisors approved the Reston Master Plan Special Study (Phase I) Plan Amendment. As part of that approval, Supervisor Hudgins moved that the Board adopt the Planning Commission recommendation to direct staff and "the Planning Commission to develop an inclusive process to prepare a funding plan for the transportation improvements recommended in the Reston Master Plan and report with its recommendations. The funding plan should include arrangements for financing the public share of Reston infrastructure improvements and facilitate co-operative funding agreements with the private sector. The Planning Commission strongly believes that public and private investment in Reston is both critical and responsible for ensuring

Barbara Berlin, Director

August 12, 2016

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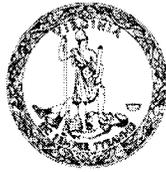
Reston's future success". We believe the applicant should commit to contribute to the Reston Road Fund to address the Reston Master Plan guidance.

Proffer Comments:

- Proffer comments, related to the transportation improvements, Transportation Demand Management, pedestrian/bicycle facilities, signage, and streetscape, have been provided under separate cover and should be addressed by the applicant.

cc: Laura Arseneau, DPZ-ZED

MAD/EAI



## DEPARTMENT OF TRANSPORTATION

Charlie Kilpatrick  
COMMISSIONER

4975 Alliance Drive  
Fairfax, VA 22030

June 2, 2015

**To:** Ms. Barbara Berlin  
Director, Zoning Evaluation Division

**From:** Paul J. Kraucunas, P.E.  
Land Development Program Manager

**Subject:** RZ/FDP 2016-DR-001, Woodland Park Waterview

All submittals subsequent to the first submittal shall provide a response letter to the previous VDOT comments. Submittals without comment response letters are considered incomplete and will be returned without review.

This office has reviewed the revised plans dated July 8, 2016 and offers the following comment.

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1. Distance from C/L to EP does not match Page 6 of 28

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2. Distance from C/L to EP does not match Page 3 of 28
3. Provide Route # and ADT traffic for Woodland Park Road
4. Show all existing sidewalks on south side of Woodland Park Road
5. All proposed curb ramps on Woodland Park Road need to be as wide at the proposed sidewalk.
6. All proposed curb ramps need to be double wide, or second curb ramp provided, if it is intended that pedestrians will cross Woodland Park Road.
7. If it is intended that pedestrians will cross Woodland Park Road appropriate receiving curb ramps required on the south side of the road in addition to the existing curb ramps.
8. Please provide justification for 8' sidewalk along Woodland Park Road.
9. If it is intended to mark individual parking spaces along the Woodland Park Road, an appropriate number must be constructed to ADA standards (see Road Design Manual).
10. A 12' lane along the south side of Woodland Park Road is too narrow to be marked as a sharrow lane. The other two lanes should be narrowed to 11' to enable this lane to be widened to 14'.
11. The existing traffic signal at Centreville Road will require a Signal Modification.
12. The bike lane on westbound Woodland Park Road should be extended all the way to Centreville Road.
13. The 10' Shared Use Trail near Centreville Road will not be maintained by VDOT as it does not meet the standards of a shared use path. When the bike lane is extended to Centreville Road (see above), this facility could be reduced to a sidewalk width.

We Keep Virginia Moving

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14. The sidewalk on View 6 does not appear to be 8' wide as indicated on the plan sheets. Please adjust to match.

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15. The park near Centreville Road should not encompass the proposed roadway dedication.
16. The park near the cul-de-sac at the end of Woodland Park Road should not encompass the proposed roadway dedication.

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17. It should be made clear that the "Multi-species Plant Bed" shall not include species that would exceed 3.5' in height at maturity or these areas should be removed from the required sight distance areas.
18. All trees within the sight distance areas should be removed or clearly shown to be limbed up to 10'.

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19. A 12' lane along the south side of Woodland Park Road is too narrow to be marked as a sharrow lane. The other two lanes should be narrowed to 11' to enable this lane to be widened to 14'.

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20. The control vehicle runs over the curb and/or sidewalks in many areas. Adjust the turning paths or increase the corner radii to avoid this situation.

cc: Laura Arseneau, ZED  
Elizabeth Iannetta, FCDOT  
Michael Davis, FCDOT  
Noreen Maloney, VDOT



# FAIRFAX COUNTY PARK AUTHORITY

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## M E M O R A N D U M

**TO:** Barbara Berlin, AICP, Director  
Zoning Evaluation Division  
Department of Planning and Zoning

**FROM:** Sandy Stallman, AICP, Manager  
Park Planning Branch, PDD 

**DATE:** August 03, 2016

**SUBJECT:** RZ/FDP 2016-DR-001 concurrent with PCA 1999-HM-027 / SEA 97-H-070-03,  
Woodland Park Waterview - **REVISED**  
Tax Map Numbers: 16-3((1)) 29D, 29E; 16-3((1)) 7

The Park Authority staff has reviewed the proposed Development Plan and draft proffers dated July 8, 2016, for the above referenced application. This memorandum replaces a prior one dated April 13, 2016.

### **BACKGROUND**

The Development Plan shows 351 new multifamily dwelling units and 32 single-family attached dwelling units on an 11.95-acre parcel to be rezoned from PDC to PDH-30 with proffers. Based on an average urban multi-family household size of 1.75 and average single-family attached household size of 2.77 in the Upper Potomac Planning District, the development could add 703 new residents to the Dranesville Supervisory District.

### **COMPREHENSIVE PLAN GUIDANCE**

The County Comprehensive Plan includes both general and specific guidance regarding parks and resources. The Policy Plan describes the need to mitigate adverse impacts to park and recreation facilities caused by growth and development; it also offers a variety of ways to offset those impacts, including contributions, land dedication, development of facilities, and others (Parks and Recreation, Objective 6, p.8). The Parks and Recreation element of the Policy Plan includes an Urban Parks Framework that provides an urban parkland standard and detailed guidance on urban park development.

Reston Transit Station Area (TSA) recommendations in the Area III Plan describe the importance of urban parks, trails, and other recreational amenities. Recommendations regarding provision of parks are described in Areawide recommendations (Land Use; Development Review Performance Objectives; and Urban Parks, Recreation Facilities and Cultural Facilities)

as well as in individual Transit Station Areas. The subject site is located within the Woodland Park/Great Oak District of the Herndon TSA.

The Reston Plan identifies eleven core needs for the Reston Park System as the community grows and redevelops. The specific core needs to be met include: trails; local parkland; playgrounds; sport courts; athletic fields (addressed through development contributions of land and facilities); dog exercise areas and parks; memorial gardens; public art; and indoor facilities such as aquatic and fitness, tennis, and performance spaces (Area III Plan, Reston, pages 39-41). Redevelopment in the TSAs and Village Centers should address these needs by utilizing guidance from the Urban Parks Framework.

Recommendations for the Herndon TSA include provision of local-serving parks and amenities in accordance with the Urban Parks Framework, offsetting recreational impacts onsite or at nearby parks, and contributing toward land and improvements to meet athletic field goals set out in the Areawide text (Reston Plan, Herndon Transit Station Area, p. 178).

## **ANALYSIS AND RECOMMENDATIONS**

### Onsite Urban Parks

The Plan for the Reston Transit Station Area calls for an urban park system to serve residents, visitors and workers. This system should contain a complement of urban park types (pocket parks, civic plazas, common greens, recreation-focused parks, linear parks/trails, and natural resource areas) to serve local leisure needs; support environmental and sustainability goals; and contribute to the area's sense of culture, liveliness, and identity. As described in the Comprehensive Plan, "Creation of an urban park network is fundamental to the vision for the TSAs and to the successful redevelopment efforts around the transit stations" (Area III, Reston Plan, Reston Transit Station Areas, Areawide Recommendations, Urban Parks, Recreational Facilities and Cultural Facilities, p. 147).

Reston Transit Station Area Areawide Recommendations state the following:

"The urban parkland standard calls for 1.5 acres of urban park space per 1,000 residents and 1.0 acre of urban park space per 10,000 employees that is well integrated into the urban fabric and distinguished from site and public realm landscaping and streetscape features. A range of recreation facilities and park amenities should be incorporated into the urban park spaces to serve the recreation and leisure needs of nearby residents, workers and visitors." (Area III, Reston Plan, Reston Transit Station Areas, Areawide Recommendations, Urban Parks, Recreational Facilities and Cultural Facilities, p. 143)

Applying the above urban parkland standard to the proposed development which will increase the local population by 703 new residents, there is a need for 1.05 acres of urban parkland onsite.

The development plan shows approximately 2.82 acres of public urban park space being provided onsite: a community park (1.83 acres), an amphitheatre lawn terrace (0.76 acres), and a pedestrian promenade (0.23 acres), as follows:

- Community Park  
Sheet 11 provides the layout of the community park. The community park is 1.83 acres and consists mostly of passive uses with amenities such as seating and a shade structure. The plan shows an active recreation area (Option 1) and an optional focal element. Sheet 06 shows an additional active recreation area (Option 2) along Verisign Way but it is not shown on any other sheets. The Applicant should clarify whether both options are being considered for the active recreation area. Sheet 17 shows a precedent image of a workout (exercise) area for the active recreation area. Having one or more active recreation amenities would balance out the passive amenities provided in the community park, the amphitheatre lawn terrace, and the pedestrian promenade. Using the urban parks typology found in the Policy Plan, the community park could be considered a Common Green Park.
- Amphitheatre Lawn Terrace  
Sheets 12 provides the layout of the amphitheatre lawn terrace park. The amphitheatre lawn terrace is 0.76 acres and consists mostly of passive amenities such as seating areas, open lawn areas, and shade structures with a trail running through the area. Using the urban parks typology found in the Policy Plan, the amphitheatre park could be considered a Common Green park.
- Pedestrian Promenade  
Sheet 13 provides the layout of the pedestrian promenade. The pedestrian promenade is 0.23 acres and provides a connection from Woodland Park Road to the amphitheatre lawn terrace. The promenade will contain seating, feature low impact development techniques, and visually terminate at a focal point. Using the urban parks typology found in the Policy Plan, the pedestrian promenade could be considered a Linear park.

**Evaluation:** The proposed development generates a need for 1.05 acres of urban parkland on site. The Applicant is providing approximately 2.82 acres of public urban park space in a variety of park types with diverse amenities that will meet the urban park needs of the future community. The Applicant should clarify whether both options are being considered for the active recreation area for the community park, or whether only one active recreation area will be developed.

#### Athletic Field Needs

Plan language in the Reston Station Areas also describes the need for provision of active recreation facilities the TSAs. The Plan states:

“A goal of adding capacity equivalent to twelve athletic fields serving Reston should be achieved through development contributions of land and/or facilities. At a minimum, three new full-service athletic fields should be provided within the corridor...Based on the projected redevelopment, the need for 12 fields is equitably fulfilled using a measure of 2.2 million GFA of development per field within the TSA corridor. Implementation of this metric and achievement of active recreation facilities, as well as all other park and recreation facility types, will primarily occur through the development review process.”

(Area III, Reston Plan, Reston Transit Station Area, Areawide Recommendations, Urban Parks, Recreation Facilities, and Cultural Facilities, Active Recreation Facilities, p. 146)

With approximately 530,940 square feet of new proposed GFA, the development generates the need for 0.24 athletic fields. Using an established rate of \$1.72 per sf GFA based on the recent average market value of land in the corridor and typical expense of athletic field improvements, the development is asked to contribute \$913,216.80 toward athletic field construction to serve the Reston area.

Draft Proffer 27 states, “To address the Comprehensive Plan's recommendations for the provision of athletic fields in the Reston Transit Station Areas, the Applicant shall contribute the sum of \$913,000 to the Board of Supervisors for the acquisition and/or development of athletic fields serving the Reston Transit Station Areas.”

**Evaluation:** The development generates the need for 0.24 athletic fields. The Applicant should contribute \$1.72 per square foot of GFA to the Park Authority for athletic field construction to serve the Reston area. The Applicant has proffered to contribute \$913,000 to the Board of Supervisors for the athletic field contribution; therefore, the Applicant is satisfactorily addressing the Comprehensive Plan guidance to offset athletic field needs. However, the funds should be contributed to the Fairfax County Park Authority, not the Board of Supervisors.

#### Private Recreation and Amenity Areas

The Fairfax County Zoning Ordinance requires provision of open space and recreational features within Planned Development Districts (see Zoning Ordinance Sections 6-110 and 16-404). The minimum expenditure for park and recreational facilities within these districts is set at \$1,800 per non-ADU residential unit for outdoor recreational facilities to serve the development population. The plan reflects a total of up to 383 residential units. With 375 non-ADUs, the Ordinance-required amount to be spent on-site is \$675,000. Any portion of the amount not spent onsite should be conveyed to the Park Authority for recreational facility construction at one or more park sites in the service area of the development.

Draft proffer 26 states, “The Applicant shall provide on-site recreational facilities for the future residents of the Property. Pursuant to Paragraph 2 of Section 16-404 of the Ordinance regarding developed recreational facilities, the Applicant shall expend a minimum of \$1,800 per market-rate unit on such recreation facilities. Prior to final bond release for the Property, the balance of any funds not expended on-site, as determined by DPWES shall be contributed to the Fairfax County Board of Supervisors for the provision of recreation facilities serving the vicinity of the Property.”

The Development Plan shows four private amenity spaces: three neighborhood pocket parks and two private courtyards. One of the pocket parks consists of a play area. Sheet 17 shows a precedent image for the play area. However, there are no details provided for the other two pocket parks. One of the private courtyards consists of a lawn / recreation area, a pool, a private lounge area with a fire pit, an outdoor kitchen with seating, and a focal wall / gathering space. No details were provided for the second courtyard.

**Evaluation:** The \$1,800 per unit Ordinance-required expenditure on onsite recreational facilities can be spent on private residential terraces and other possible recreational features such as club rooms, media rooms, fitness equipment and game tables. With 375 non-ADU units proposed, the Ordinance-required amount to be spent on-site is \$675,000. For any amount not spent on site, the Applicant should convey that amount to the Park Authority rather than the Fairfax County Board of Supervisors. The Applicant should provide details for the second and third neighborhood pocket parks and the second courtyard.

#### Natural Resources Impact

All landscaping to be installed should be of non-invasive species to protect the environmental health of county parkland. There is an opportunity in this application to provide landscaping that is attractive, filters pollutants and serves an ecosystem function simultaneously. Species should ideally be native to Fairfax County to provide the greatest ecosystem benefit to the county.

Draft Proffer 12B states, “Invasive species, as defined by the PFM, shall not be used within the streetscape and landscaped open space areas on the Property.”

**Evaluation:** All landscaping to be installed should be of non-invasive species to protect the environmental health of county parkland. Species should ideally be native to Fairfax County to provide the greatest ecosystem benefit. The Applicant has proffered to not use invasive species.

#### SUMMARY OF RECOMMENDATIONS

This section summarizes the recommendations included in the preceding analysis section.

- The proposed development generates a need for 1.05 acres of urban parkland on site. The Applicant is providing approximately 2.82 acres of public urban park space in a variety of park types with diverse amenities that will meet the urban park needs of the future community. The Applicant should clarify whether both options are being considered for the active recreation area for the community park, or whether only one active recreation area will be developed.
- Provide the athletic field contribution (\$1.72 per square feet of GFA) to the Park Authority instead of the Board of Supervisors.
- Spend \$675,000 on site for outdoor recreational facilities (\$1,800 per non-ADU) and for any amount not spent on site, convey that amount to the Park Authority instead of the Board of Supervisors.
- Provide details for the second and third neighborhood pocket parks and the second courtyard.

Please note the Park Authority would like to review and comment on proffers and development conditions related to park and recreation issues. We request that draft and final proffers and development conditions be submitted to the assigned reviewer noted below for review and comment prior to completion of the staff report and prior to final Board of Supervisors approval.

FCPA Reviewer: Paul Ngo  
DPZ Coordinator: Laura Arseneau

Copy: Kirk W. Kincannon, Executive Director  
Sara K. Baldwin, Deputy Director/COO  
Aimee Long Vosper, Deputy Director/CBD  
Cindy Walsh, Director, Resource Management Division  
John Stokely, Manager, Natural Resource Management & Protection Branch  
David Bowden, Director, Planning & Development Division  
Andrea L. Dorlester, Planner IV, Park Planning Branch, PDD  
William Mayland, Branch Manager, Zoning Evaluation Division, DPZ  
Laura Arseneau, Planner III, Zoning Evaluation Division, DPZ  
Chron File  
File Copy



# County of Fairfax, Virginia

## MEMORANDUM

**DATE:** July 27, 2016

**TO:** Laura Arseneau, Staff Coordinator  
Zoning Evaluation Division, DPZ

**FROM:** Hugh C. Whitehead, Urban Forester III  
Forest Conservation Branch, DPWES

**SUBJECT:** Woodland Park Waterview, RZ/FDP 2016-DR-001

I have reviewed the above referenced rezoning application, consisting of a CDP/FDP stamped as received by the Zoning Evaluation Division on July 8, 2016; and draft proffers dated the same day. The following comments and recommendations are based on this review and site visit conducted during review of earlier plan submissions.

1. **Comment:** Canopy trees are proposed adjacent to the linear park trail near the east end of the pond, where the narrow planting area appears to result in the crowns of the trees conflicting with the wall of the end unit townhouse adjacent to this location.

**Recommendation:** Tree locations should be adjusted to avoid a conflict with the adjacent building. Category III and IV trees should be proposed only where there is space to avoid conflicts with above and below ground parts of the tree.

2. **Comment:** Conflicts also exist with adjacent townhouses along Woodland Park Road where Category IV deciduous trees are proposed between townhouses and the sidewalk.

**Recommendation:** Require reduction in the length of driveways along proposed Woodland Way so townhouses can be located closer to this interior street and allow additional space for trees in front of these units.

3. **Comment:** Groundcover species proposed for planting in beds adjacent to Woodland Park Road include wintercreeper and pachysandra. These are invasive species which will not be permitted.

**Recommendation:** Require deletion of wintercreeper and pachysandra from the plan and select alternative species for planting in beds along Woodland Park Road.

Department of Public Works and Environmental Services

Urban Forest Management Division

12055 Government Center Parkway, Suite 518

Fairfax, Virginia 22035-5503

Phone 703-324-1770, TTY: 711, Fax: 703-653-9550

[www.fairfaxcounty.gov/dpwes](http://www.fairfaxcounty.gov/dpwes)



4. **Comment:** Planting beds less than eight feet wide are proposed for trees adjacent to walkways in the pedestrian promenade as shown on plans and in LID sections B and C on Sheet 13. Planting beds for trees should be a minimum of eight feet wide to satisfy PFM requirements.

**Recommend:** Bed width should be increased to eight feet or provisions should be made for un-compacted soil below the walkway to create additional rooting space. This may be done by bridging to avoid compacting soil below the walkway or using structural cells, or some other technique approved by UFMD to support paved surfaces without relying on compacted soil.

5. **Comment:** The potential for successful landscape implementation would be improved for this site with the inclusion of additional proffers to ensure the planting of appropriate species and improve soil conditions following construction activity.

**Recommendation:** Recommend the following proffer language to ensure effective tree planting:

Landscape Planting Pre-installation Meeting. Prior to installation of any plants to meet the requirements of the approved landscape planting plan, the contractor/developer shall coordinate a pre-installation meeting on the site with the landscape contractor, UFMD staff, and any additional appropriate parties. Any proposed changes to planting locations, tree/shrub planting sizes, and substitutions for species shown on the approved plan shall be reviewed and must be approved by UFMD staff prior to planting. The installation of plants not approved by UFMD may require the submission of a revision to the landscape plan or removal and replacement with approved trees/shrubs prior to bond release.

Mitigation of Soil Compaction. Soil in planting areas that have been previously compacted shall be properly prepared (tilled and amended as needed based on soil samples) to a depth of 1 foot prior to installation of landscape material. Specifications for alleviating soil compaction in planting areas shall be provided on the landscape plan.

If there are any questions or further assistance is desired, please contact me at (703)324-1770.

HCW/  
UFMDID #: 209340

cc: DPZ File

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Department of Public Works and Environmental Services  
Urban Forest Management Division  
12055 Government Center Parkway, Suite 518  
Fairfax, Virginia 22035-5503  
Phone 703-324-1770, TTY: 711, Fax: 703-653-9550  
www.fairfaxcounty.gov/dpwes





# County of Fairfax, Virginia

## MEMORANDUM

**DATE:** AUG 03 2016

**TO:** Laura Arseneau  
Zoning Evaluation Division  
Department of Planning and Zoning

**FROM:** Clinton Abernathy *CABA*  
Site Development and Inspections Division  
Department of Public Works and Environmental Services

**SUBJECT:** Rezoning Application #RZ/FDP 2016-DR-001, NVR Woodland Park,  
5518-ZONA-005-1, Tax Map #016-3-01-00029D, E and 016-3-11-0011,  
Dranesville District

We have reviewed the subject application and offer the following comments.

Chesapeake Bay Preservation Ordinance (CBPO)

There is no Resource Protection Area (RPA) on the property.

Floodplain

There is a floodplain located on the application property that was established with Floodplain Study 5518-FP- 001.

Stormwater Ordinance Determination

The Stormwater Ordinance Determination (SWOD) letter dated February 5, 2016, stated that stormwater management requirement the application site can be met using the existing stormwater management ponds located on the site that were built with site plan titled Woodland Park Ponds, with plan number 5518-SP-006-3. This letter also stated that technical criteria #5 of the Fairfax County Stormwater Ordinance (124-5) could be utilized as long as the amount of impervious area proposed with this application does not exceed the amount that was used with the original stormwater management design of the Woodland Park Ponds site plan.

Water Quality Control Requirements

The applicant provided computations to show that the amount of imperviousness for the site as measured by Curve Number proposed with this application is equal the original pond design and that the exiting stormwater management ponds meets the water quality requirements of Technical Criteria #5, 124-5.



Water Quantity and Adequacy of Outfall Requirements

The applicant provided an outfall analysis to indicate that the outfall is adequate

Stormwater Planning Comments

Comments from the Stormwater Planning Division noted that impaired water conditions downstream of the application property. The applicant has proposed additional several low impact development (LID) facilities on the site which will provide water quality measures over and above what is required to meet the minimum required water quality improvement.

Waiver Request

Applicant has requested a waiver of Section 2-414 of the Zoning Ordinance allow the Director to allow to approve the location of a dwelling unit closer than 15 feet from the edge of a floodplain and a waiver of Section 2-415 to allow exterior stoops and stairs to be within the floodplain. The applicant has stated that the proposed first floor elevation for the units near the existing pond will be 30 inches above the existing 100 year flood plain elevation which exceeds the 18 inch requirement. As long as the lowest floor elevation is 30 or more inches above the floodplain elevation or office does not object to the waiver. The applicant should verify that the floodplain based on existing conditions and current NOAA-Atlas 24-hour rainfall distribution to verify does not raise the 100 year water surface elevation from the previously approved floodplain study.

cc: Fred Rose, Chief, Watershed Planning & Assessment Branch, Storm water Planning  
Division, DPWES  
Shahab Baig, Chief, North Branch, SDID, LDS, DPWES  
Zoning



**FAIRFAX COUNTY  
PUBLIC SCHOOLS**

Department of Facilities and Transportation Services  
Office of Facilities Planning Services  
8115 Gatehouse Road, Suite 3300  
Falls Church, Virginia 22042

February 4, 2016  
**Revised April 20, 2016**

RECEIVED  
Department of Planning & Zoning  
**APR 25 2016**  
Zoning Evaluation Division

**TO:** Barbara Berlin, AICP  
Director, Zoning Evaluation Division  
Fairfax County Department of Planning & Zoning

**FROM:** Aimee Holleb, Ed.D., Director *AH*  
Office of Facilities Planning Services

**SUBJECT:** RZ/FDP 2016-DR-001 concurrent with PCA 1999-HM-037 and SEA 97-H-070-03  
(NVR, Inc., Woodlawn Park Waterview)

**ACREAGE:** 11.95

**TAX MAP:** 16-3 ((1)) 29D, 29E, 16-3 ((11)) 7

**PROPOSAL:**

The application seeks to rezone a portion of the Woodland Park Waterview development from the Planned Development Commercial (PDC) to the Planned Development Housing (PDH-30) District. The Applicant seeks to gain approval of a residential community with a mixture of 295 multi-family units, 56 low-rise, two-over-two units, and 32 single-family attached units.

**ANALYSIS:**

The schools serving this area are Westfield High, Carson Middle, and Coates Elementary schools. The chart below shows the existing school capacity, enrollment, and projected enrollment.

School	Capacity 2015 / 2020	Enrollment (9/30/15)	Projected Enrollment SY16-17	Capacity Balance SY16-17	Projected Enrollment SY20-21	Capacity Balance SY20-21
Westfield HS	2,760 / 2,760	2,608	2,565	195	2,610	150
Carson MS	1,296 / 1,296	1,467	1,516	-220	1,403	-107
Coates ES	743 / 743	764	771	-28	731	12

*Capacities and Projected Enrollments based on the adopted FY2017-21 Capital Improvement Program (January)*

The school capacity chart above shows a snapshot in time for student enrollments and school capacity balances. Student enrollment projections are done on a six year timeframe, currently through school year 2020-21 and are updated annually. At this time, if development occurs within the next five years, Westfield High School will have a surplus capacity, and Coates Elementary and Carson Middle schools will both have a capacity deficit. Beyond the six year projection horizon, enrollment projections are not available.

Capital Improvement Program Projects

The FY2017-21 Capital Improvement Program (CIP) includes:

- **Westfield:** Construct a new high school in the western end of the Silver Line Metro vicinity. This solution will involve multiple boundary adjustments to the schools in the western portion of the county such as Chantilly, Centreville, Herndon, Oakton, South Lakes, and Westfield High schools.

- **Carson:** Create a new AAP Center at Franklin MS. Reassign AAP students residing within the Franklin MS attendance area from Carson MS AAP Center to the new AAP Center at Franklin MS. This option will provide capacity relief to Carson MS.
- **Coates:** Construct a new elementary school facility in the North West part of the county to accommodate growth at McNair ES and Coates ES.

Development Impact

Based on the number of residential units proposed, the chart below shows the number of anticipated students by school level based on the current countywide student yield ratio.

Proposed

School Level	Single-Family Attached Ratio	Proposed # of Units	Proposed Student Yield
High	.127	32	4
Middle	.062	32	2
Elementary	.252	32	8
<b>Total Student Count</b>			<b>14</b>

2013 countywide student yield ratios (November 2014)

School Level	Mid/High-Rise Multi-Family Ratio	Proposed # of Units	Proposed Student Yield
High	.028	295	8
Middle	.016	295	5
Elementary	.056	295	17
<b>Total Student Count</b>			<b>30</b>

2013 countywide student yield ratios (November 2014)

School Level	Low-Rise Multi-Family Ratio	Proposed # of Units	Proposed Student Yield
High	.085	56	5
Middle	.046	56	3
Elementary	.194	56	11
<b>Total Student Count</b>			<b>19</b>

2013 countywide student yield ratios (November 2014)

**Total Student Count – 63**

## **RECOMMENDATIONS:**

### Proffer Contribution

A net of 63 new students is anticipated (17 high, 10 middle, and 36 elementary). Based on the approved Residential Development Criteria, a proffer contribution of \$740,187 (63 x \$11,749) is recommended to offset the impact that new student growth will have on surrounding schools. It is recommended that the proffer contribution funds be directed as follows:

*...to be utilized for capital improvements to Fairfax County public schools to address impacts on the school division resulting from [the applicant's development].*

It is also recommended that proffer payment occur at the time of the site plan or first building permit approval. A proffer contribution at the time of occupancy is not recommended since this does not allow the school system adequate time to use the proffer contribution to offset the impact of new students.

In addition, an "escalation" proffer is recommended. The suggested per student proffer contribution is updated on an annual basis to reflect current market conditions. As a result, an escalation proffer would allow for payment of the school proffer based on the current suggested per student proffer contribution in effect at the time of development. This would better offset the impact that new student yields will have on surrounding schools at the time of development. For your reference, below is an example of an escalation proffer that was included as part of an approved proffer contribution to FCPS.

*Adjustment to Contribution Amounts. Following approval of this Application and prior to the Applicant's payment of the amount(s) set forth in this Proffer, if Fairfax County should modify the ratio of students per unit or the amount of contribution per student, the Applicant shall pay the modified contribution amount for that phase of development to reflect the then-current ratio and/or contribution.*

### Proffer Notification

It is also recommended that the proffer notification be provided to FCPS from the developer when development is likely to occur or when a site plan has been filed with the County. This will allow the school system adequate time to plan for anticipated student growth to ensure classroom availability.

AJH/sm

Attachment: Locator Map

cc: Thomas Wilson, School Board Member, Sully District  
Pat Hynes, Chairman, School Board Member, Hunter Mill District  
Dalia Palchik, School Board Member, Providence District  
Jane Strauss, School Board Member, Dranesville District  
Jeanette Hough, School Board Member, At-Large  
Ryan McElveen, School Board Member, At-Large  
Ilryong Moon, School Board Member, At-Large  
Jeffrey Platenberg, Assistant Superintendent, Facilities and Transportation Services  
Douglas Tyson, Assistant Superintendent, Region 1  
Frances Ivey, Assistant Superintendent, Region 5  
Kevin Sneed, Special Projects Administrator, Capital Projects and Planning  
Anthony Copeland, Principal, Westfield High School  
Gordon Stokes, Principal, Carson Middle School  
Toni Rose, Principal, Coates Elementary School

# Fairfax Water

FAIRFAX COUNTY WATER AUTHORITY  
8560 Arlington Boulevard, Fairfax, Virginia 22031  
www.fairfaxwater.org

PLANNING & ENGINEERING  
DIVISION

Jamie Bain Hedges, P.E.  
Director  
(703) 289-6325  
Fax (703) 289-6382

RECEIVED  
Department of Planning & Zoning  
JAN 29 2016  
Zoning Evaluation Division

January 28, 2016

Ms. Barbara Berlin, Director  
Fairfax County Department of Planning and Zoning  
12055 Government Center Parkway, Suite 801  
Fairfax, Virginia 22035-5505

Re: RZ 2016-DR-001  
FDP 2016-DR-001  
PCA 1999-HM-037  
SEA 97-H-070-03  
Woodland Park Waterview  
Tax Map: 16-3

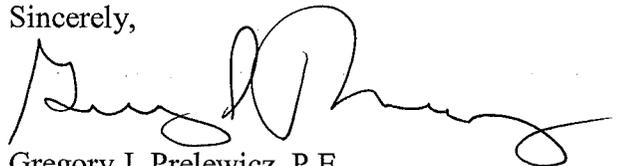
Dear Ms. Berlin:

The following information is submitted in response to your request for a water service analysis for the above application:

1. The property can be served by Fairfax Water.
2. Adequate domestic water service is available at the site from an existing 12-inch water main located in Woodland Park Drive. See the enclosed water system map.
3. Depending upon the configuration of any proposed on-site water mains, additional water main extensions may be necessary to satisfy fire flow requirements and accommodate water quality concerns.

If you have any questions regarding this information please contact Ross Stilling, Chief, Site Plan Review at (703) 289-6385.

Sincerely,



Gregory J. Prelewicz, P.E.  
Manager, Planning Department

Enclosure



# County of Fairfax, Virginia

## MEMORANDUM

**DATE:** February 22, 2016

**TO:** Laura Arseneau  
Zoning Evaluation Division  
Department of Planning and Zoning

**FROM:** Sharad Regmi, P.E.  
Engineering Analysis and Planning Branch

**SUBJECT:** Sanitary Sewer Analysis Report

**REF:** Application No. RZ/FDP 2016-DR-001 conc. with PCA 1999-HM-037,  
and SEA 97-H-070-03.  
Tax Map No. 16-3-((11))-0007; 16-3-((1)) - 0029 D & E

The following information is submitted in response to your request for a sanitary sewer analysis for above referenced application:

- The application property is located in the E-branch (A-2) watershed. It would be sewered into the Blue Plains Treatment Plant.
- Based upon current and committed flow, there is excess capacity in the Blue Plains Treatment. For purposes of this report, committed flow shall be deemed that for which fees have been paid, building permits have been issued, or priority reservations have been established by the Board of Supervisors. No commitment can be made, however, as to the availability of treatment capacity for the development of the subject property. Availability of treatment capacity will depend upon the current rate of construction and the timing for development of this site.
- An existing 18 inch line located on the property is adequate for the proposed use at this time.
- The following table indicates the condition of all related sewer facilities and the total effect of this application.

Sewer Network	Existing Use +Application		Existing Use + Application +Previous Applications		Existing Use + Application + Comp Plan	
	Adeq.	Inadeq	Adeq.	Inadeq	Adeq.	Inadeq
Collector	X		X		X	
Submain	X		X		X	
Main/Trunk	X		X		X	

- Other pertinent comments:**

FAIRFAX COUNTY  
WASTEWATER MANAGEMENT



Quality of Water = Quality of Life

Department of Public Works and Environmental Services  
Wastewater Planning & Monitoring Division  
12000 Government Center Parkway, Suite 358  
Fairfax, VA 22035  
Phone: 703-324-5030, Fax: 703-803-3297  
www.fairfaxcounty.gov/dpwes





# County of Fairfax, Virginia

## MEMORANDUM

DATE: February 26, 2016

**TO:** Laura Arseneau  
Staff Coordinator, Zoning Evaluation Division  
Department of Planning and Zoning

**FROM:** Laurie Stone  
Strategic Planner  
Fire and Rescue Department

**SUBJECT:** Zoning Application Analysis

**REFERENCE:** Application Number: RZ/FDP 2016-DR-001 concurrent with PCA 1999-HM-037 (NVR. Inc.)

The Fire and Rescue Department (FRD) is providing the following comments on the referenced rezoning application.

### **Current Fire and Rescue Service Delivery**

The proposed Woodland Park Waterview development is located in the emergency response area of the Frying Pan Fire and Rescue Station 36 located on West Ox Road in Herndon, VA. The next closest fire station is the Herndon Fire and Rescue Station 4 on Spring Street in Herndon, VA.

### **Emergency Response Impact of Proposed Development**

The proposed residential development of a five story multi-family building with 298 units, 56 two-over-two units, and 32 town houses for a total of 386 dwelling units will result in an increase in residential population of 965.

FRD analyzes the historical rate of incidents per population in each fire station's response area across the county to determine workload capacity. In FY2015, there were 1,799 incidents in the Frying Pan fire station's response area and 3,174 incidents in the Herndon fire station's response area. The potential impact on emergency services of the additional residential population currently can be handled by the existing fire stations. Although a projected increase in call volume from one rezoning case may not exceed a fire station's workload capacity, multiple rezoning cases in a station's response area could significantly impact that station's availability and overall response times to emergency incidents.

Furthermore, residential units may be occupied 24/7 and include high risk populations such as children and older adults which directly correlate with increases in major medical and other types of emergency calls for service.



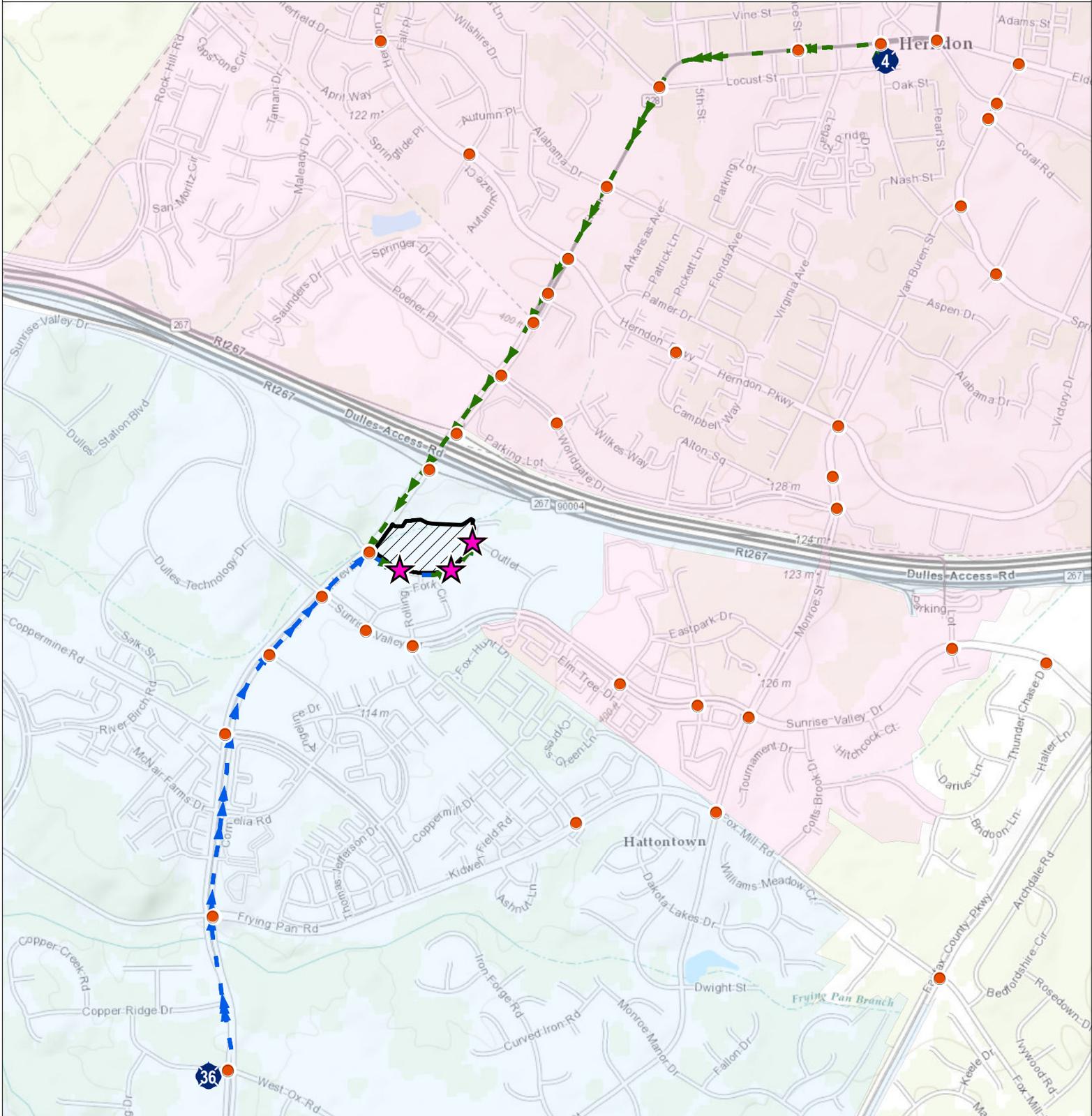
**Traffic Signal Preemption Equipment for Emergency Responders:**

To maintain and improve response times to emergency incidents, the FRD is aggressively pursuing installation of preemption equipment on traffic signals throughout the county. Traffic preemption also improves civilian and firefighter safety by reducing the potential for accidents at intersections. Therefore, the FRD requests the developer proffer the cost of preemption devices for two traffic signals (\$20K) located along the primary travel route from the Frying Pan fire station to the proposed residential development. The attached map depicts the traffic signals needing preemption devices.

Please contact me at 703-246-3889 if you have any questions regarding the comments.



# FRD Woodland Park Waterview Study



- Access Points
- Property Boundary
- Fire Stations
- Traffic Signals

- Route: Station 36 to Access Points
  - Route: Station 04 to Access Points
- First Due Boundaries**

436	404
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FRD-GIS. Current as of: 2/1/2016  
 Traffic signal data provided by  
 VDOT (Fairfax County signals) and  
 the Town of Herndon (Herndon signals).



### GLOSSARY

This Glossary is provided to assist the public in understanding the staff evaluation and analysis of development proposals. It should not be construed as representing legal definitions. Refer to the Fairfax County Zoning Ordinance, Comprehensive Plan or Public Facilities Manual for additional information.

**ABANDONMENT:** Refers to road or street abandonment, an action taken by the Board of Supervisors, usually through the public hearing process, to abolish the public's right-of-passage over a road or road right-of way. Upon abandonment, the right-of-way automatically reverts to the underlying fee owners. If the fee to the owner is unknown, Virginia law presumes that fee to the roadbed rests with the adjacent property owners if there is no evidence to the contrary.

**ACCESSORY DWELLING UNIT (OR APARTMENT):** A secondary dwelling unit established in conjunction with and clearly subordinate to a single family detached dwelling unit. An accessory dwelling unit may be allowed if a special permit is granted by the Board of Zoning Appeals (BZA). Refer to Sect. 8-918 of the Zoning Ordinance.

**AFFORDABLE DWELLING UNIT (ADU) DEVELOPMENT:** Residential development to assist in the provision of affordable housing for persons of low and moderate income in accordance with the affordable dwelling unit program and in accordance with Zoning Ordinance regulations. Residential development which provides affordable dwelling units may result in a density bonus (see below) permitting the construction of additional housing units. See Part 8 of Article 2 of the Zoning Ordinance.

**AGRICULTURAL AND FORESTAL DISTRICTS:** A land use classification created under Chapter 114 or 115 of the Fairfax County Code for the purpose of qualifying landowners who wish to retain their property for agricultural or forestal use for use/value taxation pursuant to Chapter 58 of the Fairfax County Code.

**BARRIER:** A wall, fence, earthen berm, or plant materials which may be used to provide a physical separation between land uses. Refer to Article 13 of the Zoning Ordinance for specific barrier requirements.

**BEST MANAGEMENT PRACTICES (BMPs):** Stormwater management techniques or land use practices that are determined to be the most effective, practicable means of preventing and/or reducing the amount of pollution generated by nonpoint sources in order to improve water quality.

**BUFFER:** Graduated mix of land uses, building heights or intensities designed to mitigate potential conflicts between different types or intensities of land uses; may also provide for a transition between uses. A landscaped buffer may be an area of open, undeveloped land and may include a combination of fences, walls, berms, open space and/or landscape plantings. A buffer is not necessarily coincident with transitional screening.

**CHESAPEAKE BAY PRESERVATION ORDINANCE:** Regulations which the State has mandated must be adopted to protect the Chesapeake Bay and its tributaries. These regulations must be incorporated into the comprehensive plans, zoning ordinances and subdivision ordinances of the affected localities. Refer to Chesapeake Bay Preservation Act, Va. Code Section 10.1-2100 et seq and VR 173-02-01, Chesapeake Bay Preservation Area Designation and Management Regulations.

**CLUSTER DEVELOPMENT:** Residential development in which the lots are clustered on a portion of a site so that significant environmental/historical/cultural resources may be preserved or recreational amenities provided. While smaller lot sizes are permitted in a cluster subdivision to preserve open space, the overall density cannot exceed that permitted by the applicable zoning district. See Sect. 2-421 and Sect. 9-615 of the Zoning Ordinance.

**COUNTY 2232 REVIEW PROCESS:** A public hearing process pursuant to Sect. 15.2-2232 (Formerly Sect. 15.1-456) of the Virginia Code which is used to determine if a proposed public facility not shown on the adopted Comprehensive Plan is in substantial accord with the plan. Specifically, this process is used to determine if the general or approximate location, character and extent of a proposed facility is in substantial accord with the Plan.

**dBA:** The momentary magnitude of sound weighted to approximate the sensitivity of the human ear to certain frequencies; the dBA value describes a sound at a given instant, a maximum sound level or a steady state value. See also Ldn.

**DENSITY:** Number of dwelling units (du) divided by the gross acreage (ac) of a site being developed in residential use; or, the number of dwelling units per acre (du/ac) except in the PRC District when density refers to the number of persons per acre.

**DENSITY BONUS:** An increase in the density otherwise allowed in a given zoning district which may be granted under specific provisions of the Zoning Ordinance when a developer provides excess open space, recreation facilities, or affordable dwelling units (ADUs), etc.

**DEVELOPMENT CONDITIONS:** Terms or conditions imposed on a development by the Board of Supervisors (BOS) or the Board of Zoning Appeals (BZA) in connection with approval of a special exception, special permit or variance application or rezoning application in a "P" district. Conditions may be imposed to mitigate adverse impacts associated with a development as well as secure compliance with the Zoning Ordinance and/or conformance with the Comprehensive Plan. For example, development conditions may regulate hours of operation, number of employees, height of buildings, and intensity of development.

**DEVELOPMENT PLAN:** A graphic representation which depicts the nature and character of the development proposed for a specific land area: information such as topography, location and size of proposed structures, location of streets trails, utilities, and storm drainage are generally included on a development plan. A development plan is a submission requirement for rezoning to the PRC District. A **GENERALIZED DEVELOPMENT PLAN (GDP)** is a submission requirement for a rezoning application for all conventional zoning districts other than a P District. A development plan submitted in connection with a special exception (SE) or special permit (SP) is generally referred to as an SE or SP plat. A **CONCEPTUAL DEVELOPMENT PLAN (CDP)** is a submission requirement when filing a rezoning application for a P District other than the PRC District; a CDP characterizes in a general way the planned development of the site. A **FINAL DEVELOPMENT PLAN (FDP)** is a submission requirement following the approval of a conceptual development plan and rezoning application for a P District other than the PRC District; an FDP further details the planned development of the site. See Article 16 of the Zoning Ordinance.

**EASEMENT:** A right to or interest in property owned by another for a specific and limited purpose. Examples: access easement, utility easement, construction easement, etc. Easements may be for public or private purposes.

**ENVIRONMENTAL QUALITY CORRIDORS (EQCs):** An open space system designed to link and preserve natural resource areas, provide passive recreation and protect wildlife habitat. The system includes stream valleys, steep slopes and wetlands. For a complete definition of EQCs, refer to the Environmental section of the Policy Plan for Fairfax County contained in Vol. 1 of the Comprehensive Plan.

**ERODIBLE SOILS:** Soils that wash away easily, especially under conditions where stormwater runoff is inadequately controlled. Silt and sediment are washed into nearby streams, thereby degrading water quality.

**FLOODPLAIN:** Those land areas in and adjacent to streams and watercourses subject to periodic flooding; usually associated with environmental quality corridors. The 100 year floodplain drains 70 acres or more of land and has a one percent chance of flood occurrence in any given year.

**FLOOR AREA RATIO (FAR):** An expression of the amount of development intensity (typically, non-residential uses) on a specific parcel of land. FAR is determined by dividing the total square footage of gross floor area of buildings on a site by the total square footage of the site itself.

**FUNCTIONAL CLASSIFICATION:** A system for classifying roads in terms of the character of service that individual facilities are providing or are intended to provide, ranging from travel mobility to land access. Roadway system functional classification elements include Freeways or Expressways which are limited access highways, Other Principal (or Major) Arterials, Minor Arterials, Collector Streets, and Local Streets. Principal arterials are designed to accommodate travel; access to adjacent properties is discouraged. Minor arterials are designed to serve both through traffic and local trips. Collector roads and streets link local streets and properties with the arterial network. Local streets provide access to adjacent properties.

**GEOTECHNICAL REVIEW:** An engineering study of the geology and soils of a site which is submitted to determine the suitability of a site for development and recommends construction techniques designed to overcome development on problem soils, e.g., marine clay soils.

**HYDROCARBON RUNOFF:** Petroleum products, such as motor oil, gasoline or transmission fluid deposited by motor vehicles which are carried into the local storm sewer system with the stormwater runoff, and ultimately, into receiving streams; a major source of non-point source pollution. An oil-grit separator is a common hydrocarbon runoff reduction method.

**IMPERVIOUS SURFACE:** Any land area covered by buildings or paved with a hard surface such that water cannot seep through the surface into the ground.

**INFILL:** Development on vacant or underutilized sites within an area which is already mostly developed in an established development pattern or neighborhood.

**INTENSITY:** The magnitude of development usually measured in such terms as density, floor area ratio, building height, percentage of impervious surface, traffic generation, etc. Intensity is also based on a comparison of the development proposal against environmental constraints or other conditions which determine the carrying capacity of a specific land area to accommodate development without adverse impacts.

**Ldn:** Day night average sound level. It is the twenty-four hour average sound level expressed in A-weighted decibels; the measurement assigns a "penalty" to night time noise to account for night time sensitivity. Ldn represents the total noise environment which varies over time and correlates with the effects of noise on the public health, safety and welfare.

**LEVEL OF SERVICE (LOS):** An estimate of the effectiveness of a roadway to carry traffic, usually under anticipated peak traffic conditions. Level of Service efficiency is generally characterized by the letters A through F, with LOS-A describing free flow traffic conditions and LOS-F describing jammed or grid-lock conditions.

**MARINE CLAY SOILS:** Soils that occur in widespread areas of the County generally east of Interstate 95. Because of the abundance of shrink-swell clays in these soils, they tend to be highly unstable. Many areas of slope failure are evident on natural slopes. Construction on these soils may initiate or accelerate slope movement or slope failure. The shrink-swell soils can cause movement in structures, even in areas of flat topography, from dry to wet seasons resulting in cracked foundations, etc. Also known as slippage soils.

**OPEN SPACE:** That portion of a site which generally is not covered by buildings, streets, or parking areas. Open space is intended to provide light and air; open space may function as a buffer between land uses or for scenic, environmental, or recreational purposes.

**OPEN SPACE EASEMENT:** An easement usually granted to the Board of Supervisors which preserves a tract of land in open space for some public benefit in perpetuity or for a specified period of time. Open space easements may be accepted by the Board of Supervisors, upon request of the land owner, after evaluation under criteria established by the Board. See Open Space Land Act, Code of Virginia, Sections 10.1-1700, et seq.

**P DISTRICT:** A "P" district refers to land that is planned and/or developed as a Planned Development Housing (PDH) District, a Planned Development Commercial (PDC) District or a Planned Residential Community (PRC) District. The PDH, PDC and PRC Zoning Districts are established to encourage innovative and creative design for land development; to provide ample and efficient use of open space; to promote a balance in the mix of land uses, housing types, and intensity of development; and to allow maximum flexibility in order to achieve excellence in physical, social and economic planning and development of a site. Refer to Articles 6 and 16 of the Zoning Ordinance.

**PROFFER:** A written condition, which, when offered voluntarily by a property owner and accepted by the Board of Supervisors in a rezoning action, becomes a legally binding condition which is in addition to the zoning district regulations applicable to a specific property. Proffers are submitted and signed by an owner prior to the Board of Supervisors public hearing on a rezoning application and run with the land. Once accepted by the Board, proffers may be modified only by a proffered condition amendment (PCA) application or other zoning action of the Board and the hearing process required for a rezoning application applies. See Sect. 15.2-2303 (formerly 15.1-491) of the Code of Virginia.

**PUBLIC FACILITIES MANUAL (PFM):** A technical text approved by the Board of Supervisors containing guidelines and standards which govern the design and construction of site improvements incorporating applicable Federal, State and County Codes, specific standards of the Virginia Department of Transportation and the County's Department of Public Works and Environmental Services.

**RESOURCE MANAGEMENT AREA (RMA):** That component of the Chesapeake Bay Preservation Area comprised of lands that, if improperly used or developed, have a potential for causing significant water quality degradation or for diminishing the functional value of the Resource Protection Area. See Fairfax County Code, Ch. 118, Chesapeake Bay Preservation Ordinance.

**RESOURCE PROTECTION AREA (RPA):** That component of the Chesapeake Bay Preservation Area comprised of lands at or near the shoreline or water's edge that have an intrinsic water quality value due to the ecological and biological processes they perform or are sensitive to impacts which may result in significant degradation of the quality of state waters. In their natural condition, these lands provide for the removal, reduction or assimilation of sediments from runoff entering the Bay and its tributaries, and minimize the adverse effects of human activities on state waters and aquatic resources. New development is generally discouraged in an RPA. See Fairfax County Code, Ch. 118, Chesapeake Bay Preservation Ordinance.

**SITE PLAN:** A detailed engineering plan, to scale, depicting the development of a parcel of land and containing all information required by Article 17 of the Zoning Ordinance. Generally, submission of a site plan to DPWES for review and approval is required for all residential, commercial and industrial development except for development of single family detached dwellings. The site plan is required to assure that development complies with the Zoning Ordinance.

**SPECIAL EXCEPTION (SE) / SPECIAL PERMIT (SP):** Uses, which by their nature, can have an undue impact upon or can be incompatible with other land uses and therefore need a site specific review. After review, such uses may be allowed to locate within given designated zoning districts if appropriate and only under special controls, limitations, and regulations. A special exception is subject to public hearings by the Planning Commission and Board of Supervisors with approval by the Board of Supervisors; a special permit requires a public hearing and approval by the Board of Zoning Appeals. Unlike proffers which are voluntary, the Board of Supervisors or BZA may impose reasonable conditions to assure, for example, compatibility and safety. See Article 8, Special Permits and Article 9, Special Exceptions, of the Zoning Ordinance.

**STORMWATER MANAGEMENT:** Engineering practices that are incorporated into the design of a development in order to mitigate or abate adverse water quantity and water quality impacts resulting from development. Stormwater management systems are designed to slow down or retain runoff to re-create, as nearly as possible, the pre-development flow conditions.

**SUBDIVISION PLAT:** The engineering plan for a subdivision of land submitted to DPWES for review and approved pursuant to Chapter 101 of the County Code.

**TRANSPORTATION DEMAND MANAGEMENT (TDM):** Actions taken to reduce single occupant vehicle automobile trips or actions taken to manage or reduce overall transportation demand in a particular area.

**TRANSPORTATION SYSTEM MANAGEMENT (TSM) PROGRAMS:** This term is used to describe a full spectrum of actions that may be applied to improve the overall efficiency of the transportation network. TSM programs usually consist of low-cost alternatives to major capital expenditures, and may include parking management measures, ridesharing programs, flexible or staggered work hours, transit promotion or operational improvements to the existing roadway system. TSM includes Transportation Demand Management (TDM) measures as well as H.O.V. use and other strategies associated with the operation of the street and transit systems.

**URBAN DESIGN:** An aspect of urban or suburban planning that focuses on creating a desirable environment in which to live, work and play. A well-designed urban or suburban environment demonstrates the four generally accepted principles of design: clearly identifiable function for the area; easily understood order; distinctive identity; and visual appeal.

**VACATION:** Refers to vacation of street or road as an action taken by the Board of Supervisors in order to abolish the public's right-of-passage over a road or road right-of-way dedicated by a plat of subdivision. Upon vacation, title to the road right-of-way transfers by operation of law to the owner(s) of the adjacent properties within the subdivision from whence the road/road right-of-way originated.

**VARIANCE:** An application to the Board of Zoning Appeals which seeks relief from a specific zoning regulation such as lot width, building height, or minimum yard requirements, among others. A variance may only be granted by the Board of Zoning Appeals through the public hearing process and upon a finding by the BZA that the variance application meets the required Standards for a Variance set forth in Sect. 18-404 of the Zoning Ordinance.

**WETLANDS:** Land characterized by wetness for a portion of the growing season. Wetlands are generally delineated on the basis of physical characteristics such as soil properties indicative of wetness, the presence of vegetation with an affinity for water, and the presence or evidence of surface wetness or soil saturation. Wetland environments provide water quality improvement benefits and are ecologically valuable. Development activity in wetlands is subject to permitting processes administered by the U.S. Army Corps of Engineers

**TIDAL WETLANDS:** Vegetated and nonvegetated wetlands as defined in Chapter 116 Wetlands Ordinance of the Fairfax County Code: includes tidal shores and tidally influenced embayments, creeks, and tributaries to the Occoquan and Potomac Rivers. Development activity in tidal wetlands may require approval from the Fairfax County Wetlands Board.

#### Abbreviations Commonly Used in Staff Reports

A&F	Agricultural & Forestal District	PDH	Planned Development Housing
ADU	Affordable Dwelling Unit	PFM	Public Facilities Manual
ARB	Architectural Review Board	PRC	Planned Residential Community
BMP	Best Management Practices	RC	Residential-Conservation
BOS	Board of Supervisors	RE	Residential Estate
BZA	Board of Zoning Appeals	RMA	Resource Management Area
COG	Council of Governments	RPA	Resource Protection Area
CBC	Community Business Center	RUP	Residential Use Permit
CDP	Conceptual Development Plan	RZ	Rezoning
CRD	Commercial Revitalization District	SE	Special Exception
DOT	Department of Transportation	SEA	Special Exception Amendment
DP	Development Plan	SP	Special Permit
DPWES	Department of Public Works and Environmental Services	TDM	Transportation Demand Management
DPZ	Department of Planning and Zoning	TMA	Transportation Management Association
DU/AC	Dwelling Units Per Acre	TSA	Transit Station Area
EQC	Environmental Quality Corridor	TSM	Transportation System Management
FAR	Floor Area Ratio	UP & DD	Utilities Planning and Design Division, DPWES
FDP	Final Development Plan	VC	Variance
GDP	Generalized Development Plan	VDOT	Virginia Dept. of Transportation
GFA	Gross Floor Area	VPD	Vehicles Per Day
HC	Highway Corridor Overlay District	VPH	Vehicles per Hour
HCD	Housing and Community Development	WMATA	Washington Metropolitan Area Transit Authority
LOS	Level of Service	WS	Water Supply Protection Overlay District
Non-RUP	Non-Residential Use Permit	ZAD	Zoning Administration Division, DPZ
OSDS	Office of Site Development Services, DPWES	ZED	Zoning Evaluation Division, DPZ
PCA	Proffered Condition Amendment	ZPRB	Zoning Permit Review Branch
PD	Planning Division		
PDC	Planned Development Commercial		