



County of Fairfax, Virginia

September 14, 2016

STAFF REPORT

SPECIAL PERMIT SP 2016-DR-060

DRANESVILLE DISTRICT

APPLICANT: Vivek Rao
OWNERS: Vivek and Roop Gulati Rao
STREET ADDRESS: 1308 Sunny Side Lane, McLean 22102
TAX MAP REFERENCE: 20-3 ((7)) 7A
LOT SIZE: 2.21 acres
ZONING DISTRICT: R-1
ZONING ORDINANCE PROVISION: 8-918
SPECIAL PERMIT PROPOSAL: To permit an accessory dwelling unit

STAFF RECOMMENDATION: Staff recommends approval, subject to the Proposed Development Conditions in Appendix 1

It should be noted that it is not the intent of staff to recommend that the Board, in adopting any conditions, relieve the applicants/owners from compliance with the provisions of any applicable ordinances, regulations, or adopted standards.

It should be further noted that the content of this report reflects the analysis and recommendations of staff; it does not reflect the position of the Board of Zoning Appeals. A copy of the BZA's Resolution setting forth this decision will be mailed within five days after the decision becomes final.

The approval of this application does not interfere with, abrogate or annul any easements, covenants, or other agreements between parties, as they may apply to the property subject to the application.

Heath Eddy, AICP

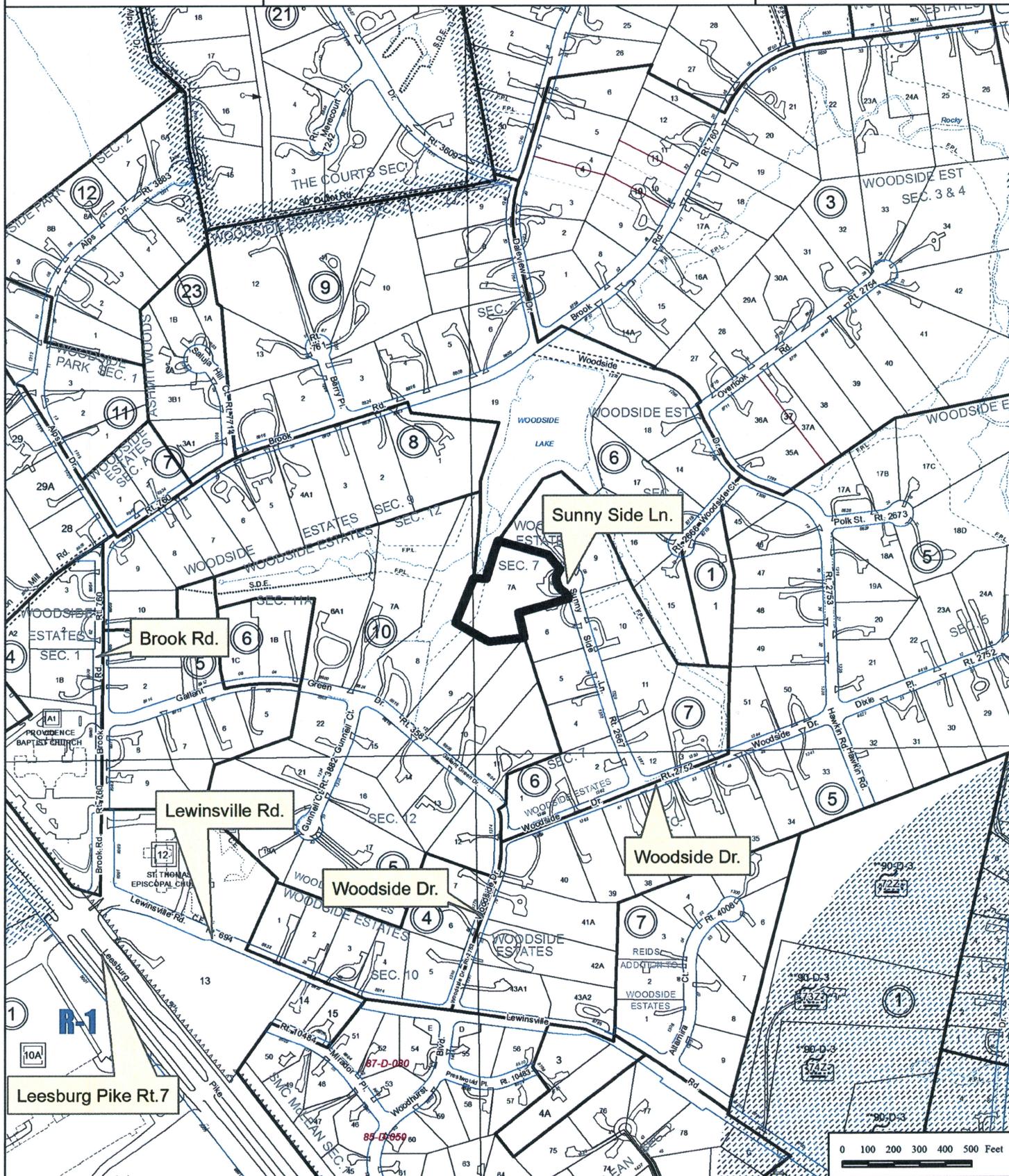
For additional information, call Zoning Evaluation Division, Department of Planning and Zoning at 703-324-1280, 12055 Government Center Parkway, Suite 801, Fairfax, Virginia 22035. **Board of Zoning Appeals' meetings are held in the Board Room, Ground Level, Government Center Building, 12000 Government Center Parkway, Fairfax, Virginia 22035-5505.**



Americans with Disabilities Act (ADA): Reasonable accommodation is available upon 48 hours advance notice. For additional information on ADA call (703) 324-1334 or TTY 711 (Virginia Relay Center).



Special Permit SP 2016-DR-060 VIVEK RAO



Sunny Side Ln.

Brook Rd.

Lewinsville Rd.

Woodside Dr.

Woodside Dr.

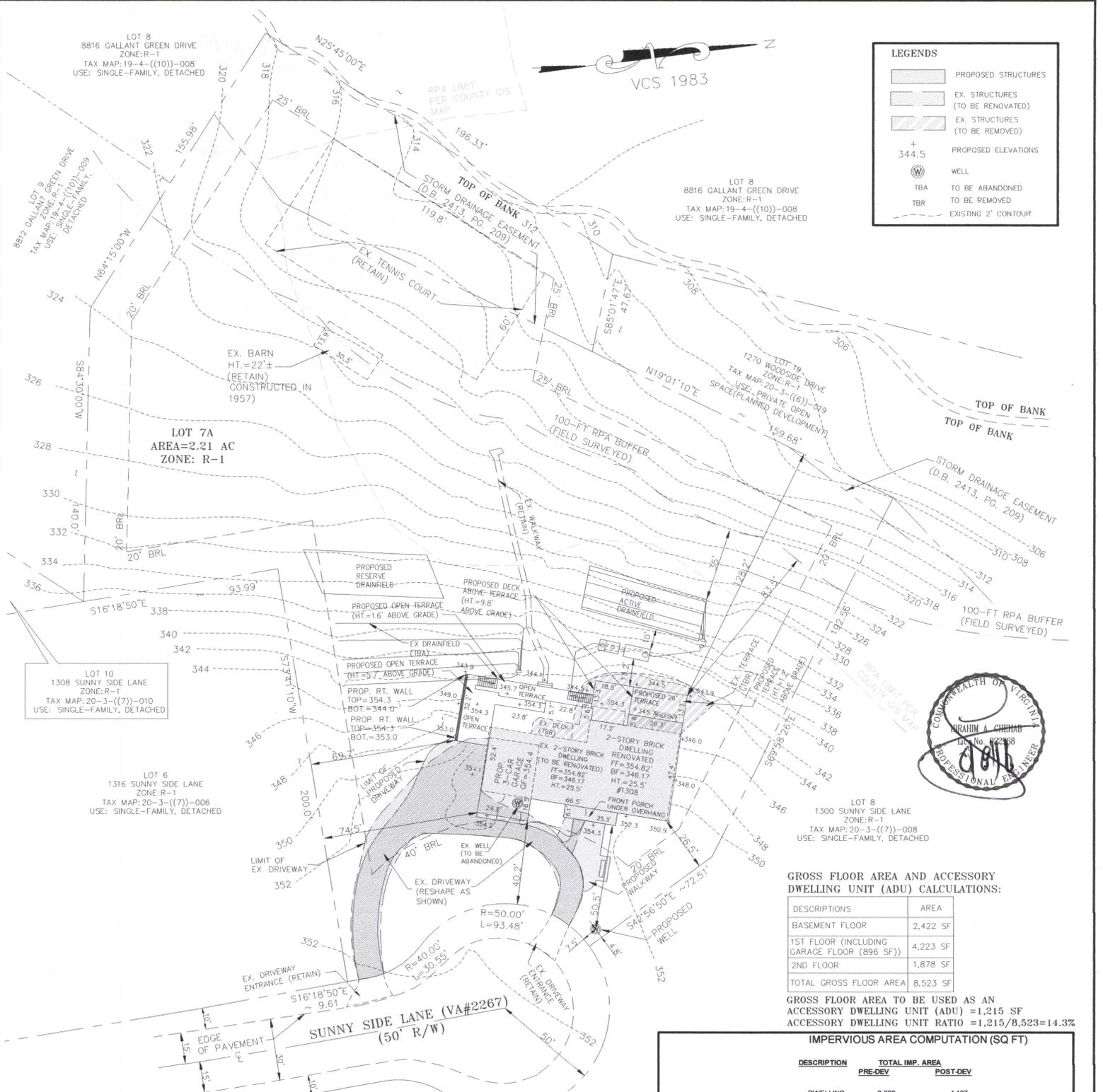
Leesburg Pike Rt. 7



LOT 8
8816 GALLANT GREEN DRIVE
ZONE: R-1
TAX MAP: 19-4-(10)-008
USE: SINGLE-FAMILY, DETACHED



LEGENDS	
	PROPOSED STRUCTURES
	EX. STRUCTURES (TO BE RENOVATED)
	EX. STRUCTURES (TO BE REMOVED)
	+ 344.5 PROPOSED ELEVATIONS
	WELL
	TO BE ABANDONED
	TO BE REMOVED
	EXISTING 2' CONTOUR



GROSS FLOOR AREA AND ACCESSORY DWELLING UNIT (ADU) CALCULATIONS:

DESCRIPTIONS	AREA
BASEMENT FLOOR	2,422 SF
1ST FLOOR (INCLUDING GARAGE FLOOR (896 SF))	4,223 SF
2ND FLOOR	1,878 SF
TOTAL GROSS FLOOR AREA	8,523 SF

GROSS FLOOR AREA TO BE USED AS AN ACCESSORY DWELLING UNIT (ADU) = 1,215 SF
ACCESSORY DWELLING UNIT RATIO = 1,215/8,523=14.3%

IMPERVIOUS AREA COMPUTATION (SQ FT)

DESCRIPTION	TOTAL IMP. AREA	
	PRE-DEV	POST-DEV
DWELLING	3,266	4,197
DRIVEWAY	3,642	3,110
FRONT PORCH WITH STEPS	-	169
WALKWAY	155	431
PATIO AND DECK	1,606	1,642
SHED	420	420
TENNIS COURT	7,190	7,190
TOTAL IMPERVIOUS AREA (SQ FT)	16,279	17,189
TURF AREA (SQ FT)	79,989	79,109
TOTAL SITE AREA (SQ FT)	96,268	96,268
INCREASE IN IMPERVIOUSNESS = 880.4 SQ FT OR	0.9%	OF THE EXISTING IMP. AREA
TOTAL % OF IMPERVIOUS AREA =	(17159 x 100%) = 96268	17.8% <18% MAX. ALLOWABLE BY CBPO NO BMP IS REQUIRED.

DESCRIPTIONS	EXISTING	PROPOSED
IMPERVIOUS AREA	16.91%	17.8%
GROSS FLOOR AREA	6,193 SF	8,523 SF
BUILDING HEIGHT	25.5'	25.5'

THIS SPECIAL PERMIT PLAT HAS BEEN PREPARED TO OBTAIN AN APPROVAL FOR A SECOND KITCHEN FROM FAIRFAX COUNTY ZONING BOARD.

NOTES:

1. THE PLAT HAS BEEN PREPARED WITHOUT THE BENEFIT OF A TITLE REPORT AND DOES NOT NECESSARILY INDICATE ALL ENCUMBRANCES ON THE PROPERTY.
2. THE SURVEY WAS NOT PREPARED FOR CONSTRUCTION PURPOSES (INCLUDING FENCES).
3. THE LOCATION OF FENCES ARE APPROXIMATE AND DO NOT CERTIFY TO OWNERSHIP.
4. THE PROPERTY SHOWN ON THIS PLAT IS LOCATED ON TAX MAP # 20-3-07-007A
4. PROPERTY CORNERS NOT SET.
5. THE LOT SHOWN HEREON APPEARS TO PLOT IN FLOOD ZONE "X" AREA DETERMINED TO BE OUTSIDE 100-YEAR FLOOD PLAIN, AS SHOWN ON FEMA MAP #51059C0155E EFFECTIVE DATE: SEPTEMBER 17, 2010.
6. NO KNOWN GRAVE SITE OR BURIAL SITE EXIST ON THE LOT.
7. THE PROPERTY IS SERVED BY ON-SITE WELL AND ON-SITE SEPTIC DRAINFIELD.
8. UTILITY EASEMENTS ARE SHOWN ON THE PLAT.
9. THERE ARE NO KNOWN MAJOR UTILITY EASEMENTS ON SITE HAVING A WIDTH OF TWENTY-FIVE (25') FEET OR MORE.
10. THERE ARE NO KNOWN MAJOR UNDERGROUND UTILITY EASEMENTS ON-SITE.
11. ALL TOPOGRAPHY DEPICTED ON THIS PLAT IS FIELD SURVEYED AND CORRELATES TO NVGD 1929 DATUM WITH 2 FT CONTOURS.
12. INFILL LOT SITE GRADING PLAN (4923-INF-022-1) HAS BEEN APPROVED BY FAIRFAX COUNTY DATED DECEMBER 04, 2015 AND THE SITE IS CURRENTLY UNDER CONSTRUCTION UNDER BUILDING PERMIT #151970175.

SPECIAL PERMIT PLAT

LOT 7A, SEC 7
WOODSIDE ESTATES
1308 SUNNY SIDE LN
DRANESVILLE DISTRICT
FAIRFAX COUNTY, VIRGINIA 22102

PREPARED BY

GeoEnv Engineers
Civil, Environmental & Geotechnical Engineering
10875 Main Street, Suite 213
Fairfax, VA 22030
Phone: 703.591.7170
Fax: 703.591.7074

DATE: JUNE 09, 2016

SPECIAL PERMIT REQUEST

The applicant requests approval to establish an accessory dwelling unit (ADU) for his father-in-law and mother-in-law to be located in the basement level of the residence on the subject property.



Figure 1: Subject property, showing the floodplain and RPA on-site. Source: Pictometry 2015.

A copy of the special permit plat, entitled “Special Permit Plat, Lot 7A, Sec. 7 Woodside Estates,” prepared by Ibrahim A. Chehab, P.E., of GeoEnv Engineer, dated and received June 9, 2016, consisting of one sheet is provided at the front of this staff report. A copy of the applicant’s statement of justification and relevant photographs, and architectural renderings, and the affidavit are provided in Appendices 1-3, respectively.

CHARACTER OF THE SITE AND SURROUNDING AREA

The 2.21 acre subject property is located on at the end of Sunny Side Lane, a narrow public street that provides access to ten lots in this phase of Woodside Estates. The property has a steep drop off behind the residence, with a flat low lying floodplain leading into Woodside Lake, located just north of the subject property. Approximately 1/3 of the western portion of the property is in floodplain or RPA. There are sporadic trees around the periphery, with a few additional trees located in the front yard of the property.

The site is developed with a 2-story residence originally constructed in 1957, with an addition constructed in 2001. Tax Administration assesses the property at 3,324 square

feet of livable space. The property also includes a tennis court in the western corner of the property, and a 420 square foot stone and shingle barn constructed sometime in 1957. The property is currently undergoing significant remodeling of the residence and the construction of additions including terraces, an expansion of the garage to add a third bay, a small addition to the patio/deck, an enlarged front walkway, expansion of the second story, and reduction in the circular driveway. None of the additions or changes to the residence impact the environmental constraints on the property.

The property has a circular driveway on the east side of the end of the cul de sac at Sunny Side Lane. There are two other properties that access Sunny Side Lane at the end of the cul de sac.

BACKGROUND AND HISTORY

County Records indicate that the subject property was recorded in 1957 and the original residence constructed on what was then Lot 7 of Woodside Estates Sec. 7. The lot was subsequently part of a resubdivision and was retitled Lot 7A on the deed in 1964. County Records indicate that the existing second story was constructed in 1998, a 40' x 16' deck and stairs on the rear of the residence was constructed in 2002, and the then-existing 2-car carport was converted into a garage in 2003. Currently, the applicant has obtained a Building Permit (#151970175) for the changes and additions as described above, as well as the construction of a new master bedroom and bathroom in the basement area, which are the area of the proposed ADU.

This is the first special permit/variance application for the subject property. County Records do not include any similar applications in the vicinity of the subject property.

DESCRIPTION OF THE APPLICATION

The applicant has requested to provide an ADU in the basement level of the residence. The total area of the ADU is 1,215 square feet, or 14.3% of the residence following completion of all the improvements under the current Building Permit. This complies with the standard in Sect. 8-918. The applicant states that the ADU is intended for use by his in-laws, who are in their mid-70s, with the father-in-law currently suffering from dementia and early Alzheimer's disease.

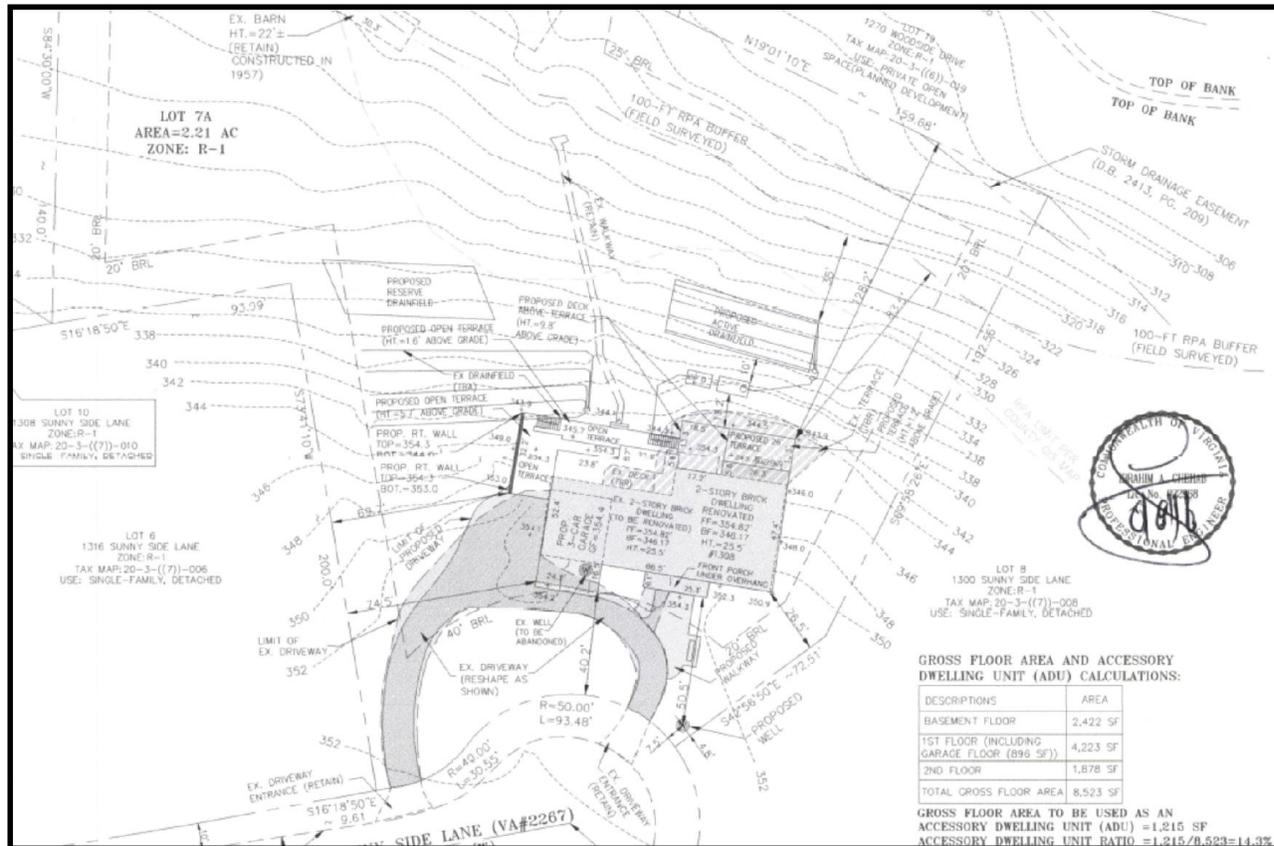


Figure 2: Special Permit plat, partial, showing all existing/under construction improvements on the subject property. Source: Applicant.

The ADU is designed with a separate entrance on the rear wall, accessible to the driveway by way of a brick/concrete stairway wrapping around the end of the garage, and then under the deck when completed. The ADU is currently under construction with a master bedroom, master bathroom, a study (to be converted to the kitchen/dining room if the ADU is approved), and a sitting room.

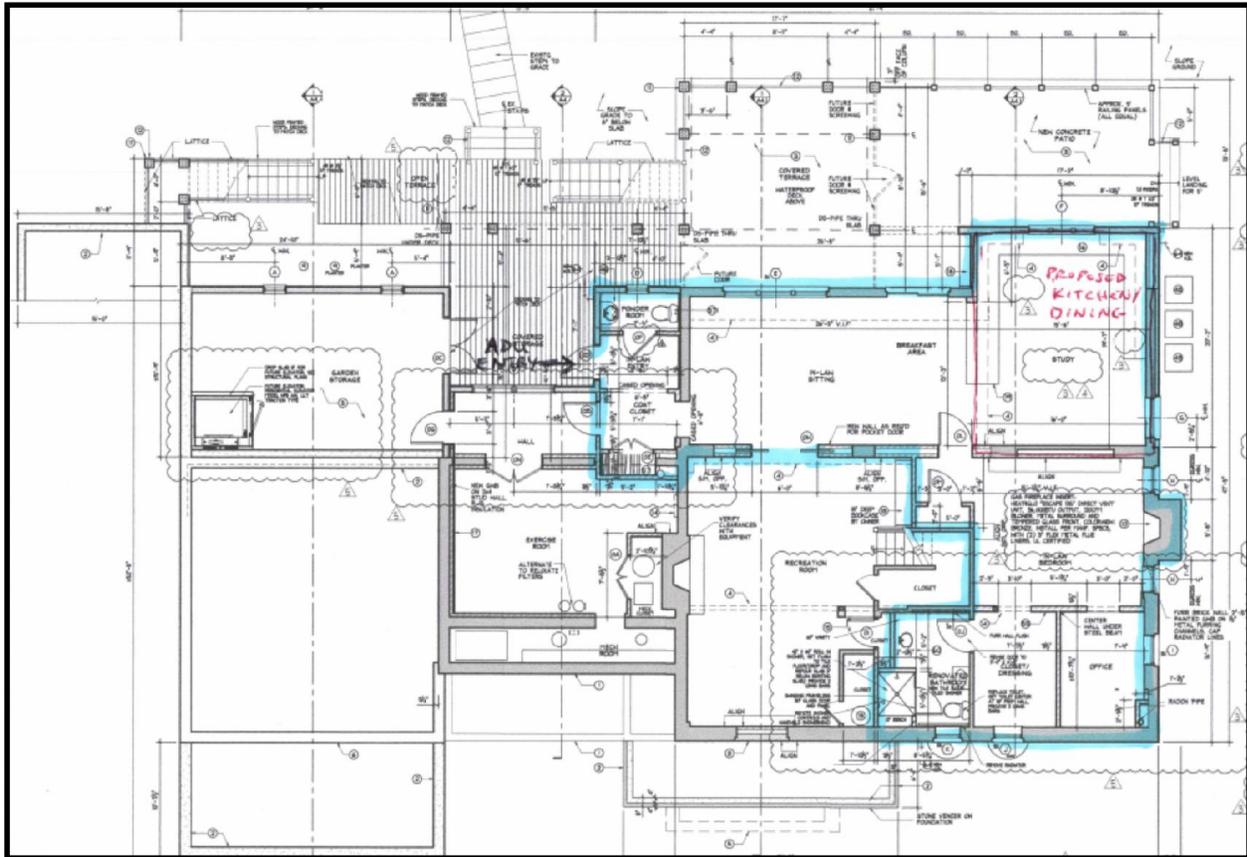


Figure 3: Layout for proposed ADU. Source: Applicant.

Figure 4, below, shows the south side elevation of the improved residence with the location of the stairs leading to the ADU from the driveway. Figure 5, next page, shows the rear elevation with the location of the ADU access labeled.

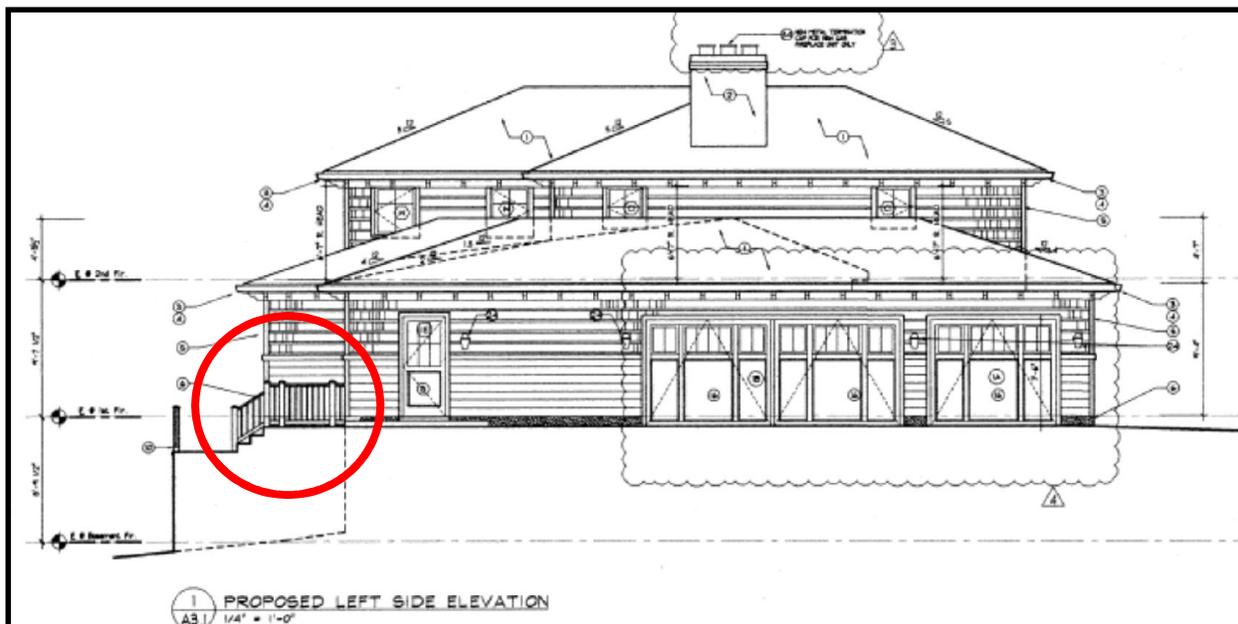


Figure 4: South side elevation, with ADU stairway access circled. Source: Applicant.

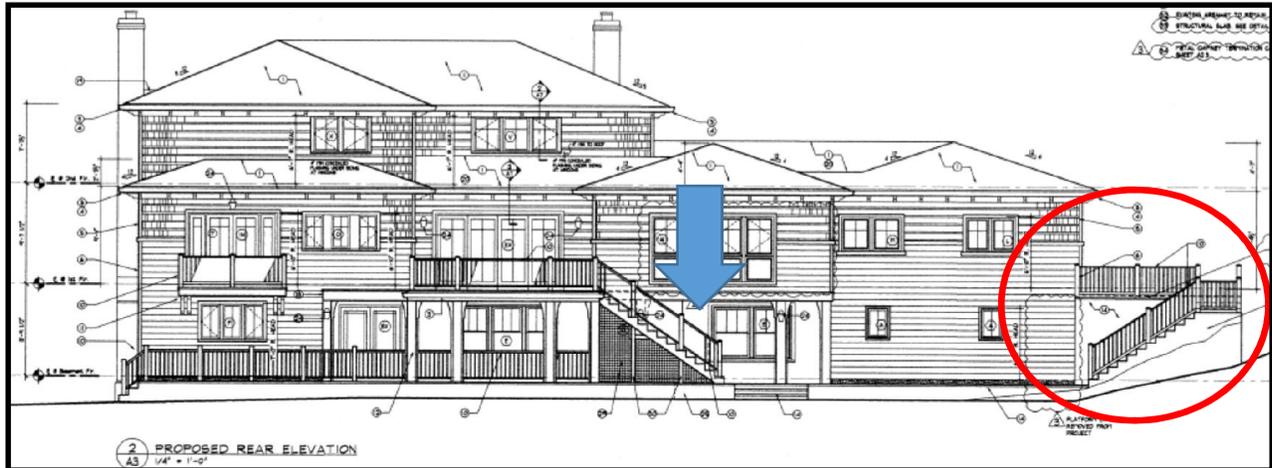


Figure 5: West rear elevation, with ADU stairway circled and ADU access point identified. Source: Applicant.

ANALYSIS

Comprehensive Plan Provisions

Plan Area: II
 Planning District: McLean
 Planning Sector: M6 Spring Hill
 Plan Map: Low Density Residential

This sector is largely developed as stable residential neighborhoods. Infill development should be of a compatible use, type and intensity in accordance with the Policy Plan under Land Use Objectives 8 and 14.

ZONING ORDINANCE REQUIREMENTS (Appendix 6)

The subject property is zoned R-1, which has the following lot size and bulk regulations.

Bulk Standards (R-1)		
Standard	Required	Provided
Minimum Lot Size	36,000 sf.	2.21 acres
Minimum Lot Width	150 feet	165 +/- feet
Maximum Building Height	35 feet	25 feet (per elevations)
Minimum Front Yard	40 feet	40.2 feet
Minimum Side Yard	20 feet	26.5 feet (northeast side) 69.7 feet (south side)
Minimum Rear Yard	25 feet	128.2 feet

The property also contains a tennis court and a 440 square foot barn constructed with the original residence. Both of these structures comply with minimum yard requirements and are not factored into the analysis of this application.

This special permit application is subject to the following provisions of the Zoning Ordinance and are provided as Appendix 6. Subject to the development conditions, the special permit must meet these standards.

- *Sect. 8-006* General Special Permit Standards
- *Sect. 8-903* Group 9 Standards
- *Sect. 8-918* Additional Standards for Accessory Dwelling Units

The following is staff’s analysis of the Zoning Ordinance provisions and the proposal to permit an accessory dwelling.

General Standards for Special Permit Uses (Sect. 8-006)

Standards 1 & 2 Comprehensive Plan/ Zoning District	The Comprehensive Plan recommends residential uses and the property is developed with a residential use. The R-1 District allows for accessory dwelling units with special permit approval.
Standard 3 Adjacent Development	The surrounding lots have similar or larger residences. This low-density area has significant tree cover and screening; the existing residence is screened by trees located along the southern lot line adjacent to the property most directly impacted by this proposal.
Standard 4 Pedestrian/ Vehicular Traffic	No increased vehicular or pedestrian traffic is expected with this application. Staff does not anticipate changes in the surrounding traffic pattern as a result of the proposed ADU.
Standard 5 Landscaping/ Screening	There are mature trees around the north, south and west yards of the subject property that should provide suitable screening. The applicant’s proposal is entirely inside the improved residence, so there is no visible change that would differentiate the ADU from the overall residence.
Standard 6 Open Space	There is no prescribed open space requirement on individual lots in the R-1 District, although the subject property has extensive open yards.
Standard 7 Utilities, Drainage, Parking, and Loading	The proposed changes would not result in any impact on the public utilities, drainage patterns, or parking in the area.
Standard 8 Signs	No signage is proposed.

Standards for all Group 9 Uses (Sect. 8-903)

Standard 1 Lot Size and Bulk Regulations	The subject property conforms to all lot size and bulk regulations in the R-1 District.
Standard 2 Performance Standards	The use will comply with the performance standards set forth in Article 14 of the Zoning Ordinance.
Standard 3 Site Plan	The ongoing construction is subject to the requirements of site plan approval (#4923-INF-022-1) issued December 4, 2015.

Additional Standards for Accessory Dwelling Units (Sect. 8-918)

Standard 1 Only One ADU per Single Family Detached Dwelling	The application requests approval of one ADU on a property occupied by a single family detached dwelling; this standard is met.
Standard 2 Structure Shall be Located Within Single Family Dwelling	The proposed ADU would be located in the basement of the improved single family dwelling on-site, and would have a separate entrance on the rear façade. The applicant is constructing a new set of stairs to gain access to the rear entrance from the front driveway.
Standard 3 GFA Shall Not Exceed 35%	The ADU structure represents approximately 14.3% of the total GFA. This standard is met.
Standard 4 Max. 2 Bedrooms	The application indicates that the ADU includes one bedroom. This standard is met.
Standard 5 Occupancy Standards	The applicants, who currently reside in the primary residence, own the property. The ADU occupants will be in their mid-70s.
Standard 6 Reasonable Access for a Disabled Person	The ADU is not intended for a disabled person.
Standard 7 Sufficient Parking	The property includes ample parking in the driveway.
Standard 8 Will Not Modify or Disrupt Character of Neighborhood	Staff believes that the use of the ADU, as proposed, would not disrupt the predominant character of the neighborhood.
Standard 9 Regulations for Safety, Health, Sanitation	This standard requires any ADU to meet applicable regulations for building, safety, health, and sanitation. A development condition is proposed to this effect.
Standard 10 Recorded	A condition is proposed requiring the approval to be recorded among the Fairfax County land records.
Standard 11 Inspection	A condition is proposed requiring the owner to allow inspections of the property by County personnel during reasonable hours upon prior notice.

<p>Standard 12 Approved for 5 Years</p>	<p>A condition is proposed addressing this standard.</p>
<p>Standard 13 Approval Prior to July 27, 1987</p>	<p>This standard is not applicable.</p>

CONCLUSION

Staff finds that the proposed accessory dwelling unit is in conformance with the applicable Zoning Ordinance provisions.

RECOMMENDATION

Staff recommends approval of SP 2016-DR-060, subject to the Proposed Development Conditions in Appendix 1.

It should be noted that it is not the intent of staff to recommend that the Board, in adopting any conditions, relieve the applicants/owners from compliance with the provisions of any applicable ordinances, regulations, or adopted standards.

It should be further noted that the content of this report reflects the analysis and recommendations of staff; it does not reflect the position of the Board of Zoning Appeals.

The approval of this application does not interfere with, abrogate or annul any easements, covenants, or other agreements between parties, as they may apply to the property subject to the application.

APPENDICES

1. Proposed Development Conditions
2. Applicant’s Statement of Justification, Photographs, and Architectural Renderings
3. Applicant’s Affidavit
4. Applicable Building Permit Information
5. Agency Review Comments
6. Zoning Ordinance Provisions

PROPOSED DEVELOPMENT CONDITIONS**SP 2016-DR-060****September 14, 2016**

If it is the intent of the Board of Zoning Appeals to approve SP 2016-DR-060, located at Tax Map 20-3 ((7)) 7A to permit an accessory dwelling unit pursuant to Sect. 8-918 of the Zoning Ordinance, staff recommends that the Board condition the approval by requiring conformance with the following development conditions.

1. This approval is granted to the applicant, Vivek Rao only, and is not transferable without further action of the Board, and is for the location indicated on the application, 1308 Sunny Side Lane, and is not transferable to other land.
2. This special permit is granted for specified requests as shown on the plat titled "Special Permit Plat, Lot 7A, Sec. 7 Woodside Estates," prepared by Ibrahim A. Chehab, P.E., of GeoEnv Engineer, dated and received June 9, 2016, consisting of one sheet and approved with this application, as qualified by these development conditions.
3. A copy of this special permit shall be made available to all departments of the County of Fairfax upon request.
4. The occupant(s) of the principal dwelling and the accessory dwelling unit shall be in accordance with Par. 5 of Sect. 8-918 of the Zoning Ordinance.
5. The layout of the ADU shall be consistent with the depiction in Attachment 1 to these conditions. The applicant may increase the number of bedrooms to two, but shall comply with all standards in Sect. 8-918 of the Zoning Ordinance.
6. Parking for the ADU shall be accommodated on site.
7. Provisions shall be made for the inspection of the property by County personnel during reasonable hours upon prior notice, and the accessory dwelling unit shall meet applicable regulation for building safety, health and sanitation.
8. The accessory dwelling unit shall be approved for a period of five (5) years from the final approval date of the special permit and may be extended for five (5) years periods with prior approval of the Zoning Administrator in accordance with Sect. 8-012 of the Zoning Ordinance.

This approval, contingent upon the above-noted conditions, shall not relieve the applicant from compliance with the provisions of any applicable ordinances, regulations or adopted standards.

Statement of Justification

Special Permit Statement of Justification
 File: SP 2016-0140
 (Property at: 1308 Sunny Side Lane, McLean, VA 22102)

Department of Planning & Zoning
JUN 09 2016
 Zoning Evaluation Division

To Whom It May Concern:

My wife (Roopa Gulati-Rao) and I (Vivek Rao) are co-owners of a single family, detached home at 1308 Sunny Side Lane, McLean, VA 22102. The home is on a 2.21 acre lot with a tax map reference number of 20-3-((07))-7A). We are applying for a Special Permit for the establishment of one accessory dwelling unit (ADU) located within our house/structure to serve as the primary residence for my mother-in-law and father-in-law (ages 73 and 76, respectively). Given their age, and given that my father-in-law has dementia and early stages of Alzheimer’s disease, we believe it is their (and our) best interest for them to live separately – but within the confines of our home – so that we can help take care of them. We are specifically requesting the approval/permit for a second kitchen in the basement to allow for them to live independently.

Our home is currently undergoing renovations (building permit number 151970175) to provide us with more space and functionality. Based on the revised floorplans, the ADU will occupy a portion of the basement and will take up 14.3% of the gross floor area of the principle residence. The remainder of the basement as well as the entire 1st and 2nd floors will be occupied by my family (my wife, 2 children and myself).

Gross Floor Area

	Area (sf)	Notes
Basement	2,422 sf	Subtracted 124sf (from 2,546sf) that is considered cellar space
1 st Floor	4,223 sf	Includes 3,327sf for main house + 896sf for at-grade garage
2 nd Floor	1,878 sf	
TOTAL	8,523 sf	

ADU Dimensions

	Area (sf)
Basement	1,215 sf
1 st Floor	0
2 nd Floor	0
TOTAL	1,215

Accessory Dwelling Unit Ratio = 1,215 / 8,523 = 14.3%

The ADU will contain:

- 1 Entrance (separate entrance accessible via external back stairs and walkway)
- 1 Powder Room
- 1 Bathroom
- 1 Living Room
- 1 Kitchen/Dining Room (currently labeled as “Study” in floorplan)
- 1 Bedroom
- 1 Closet/Office Area

While there is sufficient room within the existing driveway to park their car, we are extending it (as part of our home renovation) to facilitate easier access to the back stairs that leads to the separate ADU entrance.

The ADU will meet all building regulations and we are happy to permit inspections as and when needed. Should the second kitchen and overall Special Permit be approved, we do not believe it will constitute a 'sufficient change' that will modify or disrupt the character of our neighborhood.

As per guidelines within the permit instructions, I have included below additional details should you require them:

- A. Type of operation(s).**
Single-family residence
- B. Hours of operation.**
N/A
- C. Estimated number of patrons/clients/patients/pupils/etc.**
4 family members (within primary residence) with 2 in-laws (as part of accessory dwelling unit)
- D. Proposed number of employees/attendants/teachers/etc.**
N/A
- E. Estimate of traffic impact of the proposed use, including the maximum expected trip generation and the distribution of such trips by mode and time of day.**
Minimal (1-2 additional trips/day made by my in-laws)
- F. Vicinity or general area to be served by the use.**
Woodside Estates in McLean, VA
- G. Description of building facade and architecture of proposed new building or additions.**
2-story Craftsman-style home with basement
- H. A listing, if known, of all hazardous or toxic substances as set forth in Title 40, Code of Federal Regulations Parts 116.4, 302.4 and 355; all hazardous waste as set forth in Virginia Department of Environmental Quality Hazardous Waste Management Regulations; and/or petroleum products as defined in Title 40, Code of Federal Regulations Part 280; to be generated, utilized, stored, treated, and/or disposed of on site and the size and contents of any existing or proposed storage tanks or containers.**
The home currently has a 250-gallon oil storage tank located in the basement and used for heating purposes. However, this will be removed as part of the home renovations and replaced with a natural gas line.
- I. A statement of how the proposed use conforms to the provisions of all applicable ordinances, regulations, adopted standards and any applicable conditions, or, if any waiver, exception or variance is sought by the applicant from such ordinances, regulations, standards and conditions, such shall be specifically noted with the justification for any such modification.**
The Special Permit for an accessory dwelling unit will not negatively impact the surrounding neighborhood/community. All other aspects will conform to the provisions of all applicable ordinances, regulations, adopted standards and any applicable conditions.

At a time when 'aging in place' is a growing trend, and with the documented health benefits of the elderly being able to live at home (while remaining independent but being within arm's reach of family members), we strongly feel that having my in-laws live within *our* home would convey a number of benefits, including health, financial and peace-of-mind. As such, I kindly request your favorable review of the Special Permit application and, specifically, the approval of a second kitchen for the establishment of an accessory dwelling unit within my home.

Sincerely,

A handwritten signature in cursive script, appearing to read "Vivek Rao".

Vivek Rao

HAINS ARCHITECTS
 1000 Westwood Drive
 Suite 200
 Fairfax, VA 22031
 Tel: 703-261-1188
 Fax: 703-261-1189
 www.hainsarchitects.com

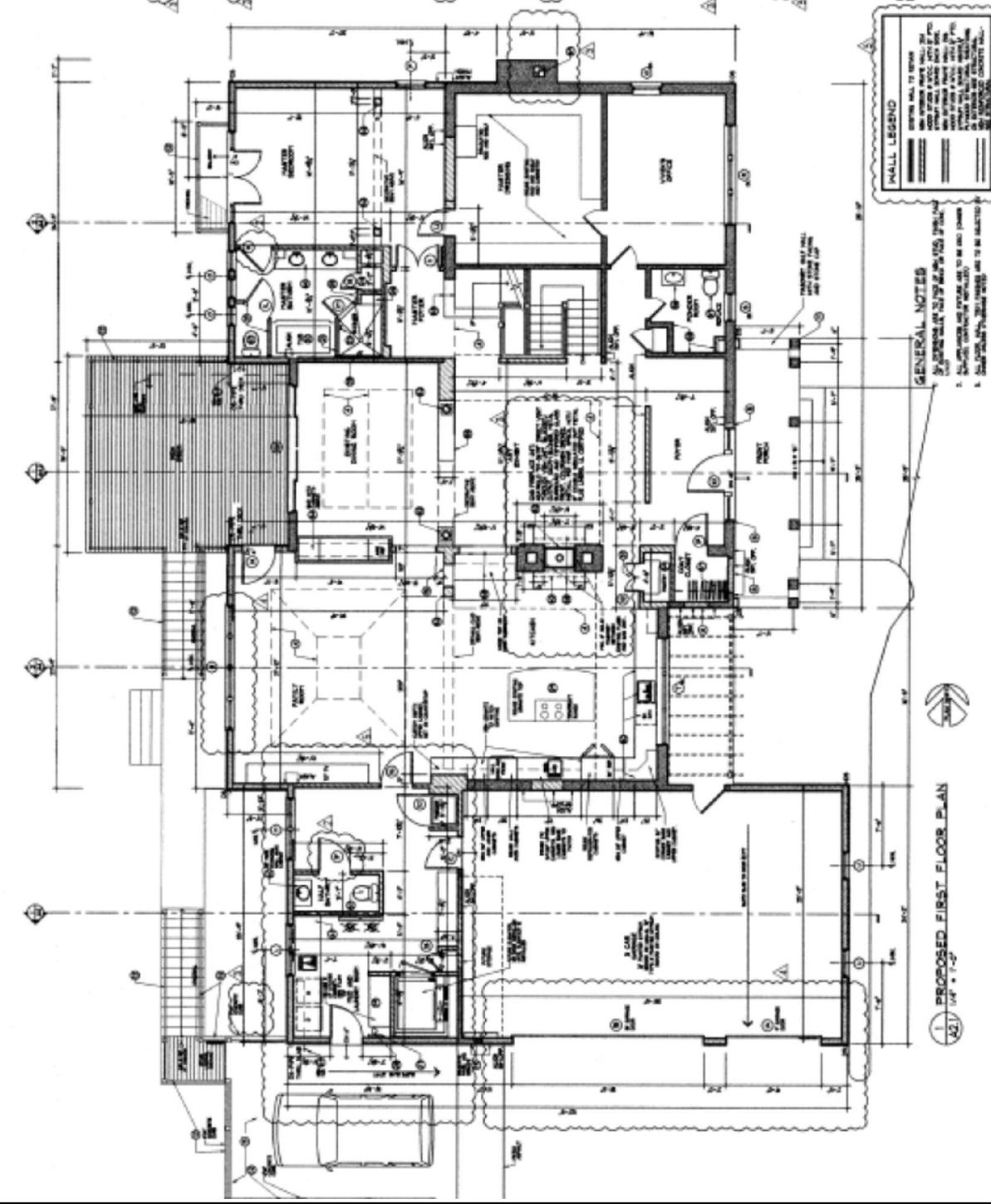
GUATTI-RAO RESIDENCE
 Addition and Renovation
 1108 Sully Road, VA
 McLean, VA

PROPOSED FIRST FLOOR PLAN

DATE: 08/11/16
 DRAWN BY: J. GUATTI
 CHECKED BY: J. GUATTI
 PROJECT NO.: 16-001

A2.1

- FLOOR PLAN KEYNOTES**
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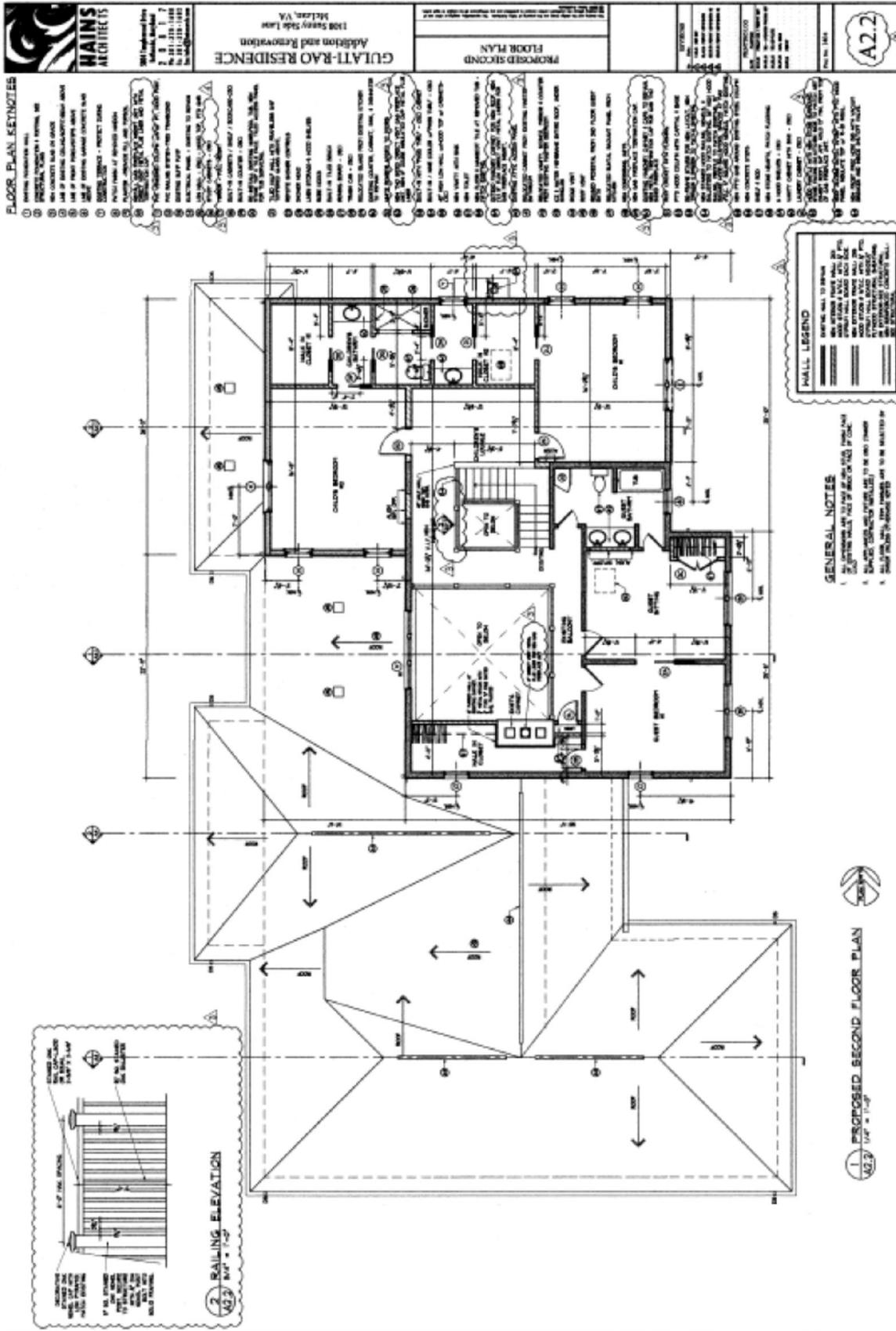
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GENERAL NOTES

1. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2012 INTERNATIONAL RESIDENTIAL CODE BOOK (IRC) AND THE 2012 INTERNATIONAL ENERGY CODE FOR RESIDENTIAL BUILDINGS (IECC).
2. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2012 INTERNATIONAL MECHANICAL AND PLUMBING CODE (IMC) AND THE 2012 INTERNATIONAL PLUMBING AND MECHANICAL CODE (IPC).
3. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2012 INTERNATIONAL ELECTRICAL CODE (IEC).
4. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2012 INTERNATIONAL FIRE AND SAFETY CODE (IFSC).
5. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2012 INTERNATIONAL BUILDING DEPARTMENT CODE (IBD).
6. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2012 INTERNATIONAL CONCRETE CODE (ICC).
7. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2012 INTERNATIONAL WOOD PRESERVATION CODE (IWP).
8. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2012 INTERNATIONAL SCHEDULING CODE (ISC).
9. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2012 INTERNATIONAL SIGNAGE CODE (ISC).
10. ALL WORK SHALL BE IN ACCORDANCE WITH THE 2012 INTERNATIONAL SYMBOLS CODE (IS).

PROPOSED FIRST FLOOR PLAN
 SHEET A2.1 OF 1-2



FLOOR PLAN KEYNOTES

1. FINISH: UNPAVED ASPHALT
2. FINISH: INTERLOCK BRICK
3. FINISH: POLISHED CONCRETE
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PROPOSED SECOND FLOOR PLAN

1. FINISH: UNPAVED ASPHALT

2. FINISH: INTERLOCK BRICK

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HALL LEGEND

1. FINISH: UNPAVED ASPHALT

2. FINISH: INTERLOCK BRICK

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GENERAL NOTES

1. ALL DIMENSIONS ARE IN METERS UNLESS OTHERWISE SPECIFIED.
2. FINISHES ARE TO BE AS SHOWN ON THE DRAWINGS.
3. ALL WORK IS TO BE IN ACCORDANCE WITH THE LOCAL BUILDING CODES.
4. ALL MATERIALS ARE TO BE OF THE BEST QUALITY AVAILABLE.
5. ALL WORK IS TO BE COMPLETED WITHIN THE SPECIFIED TIME FRAME.
6. ALL WORK IS TO BE DONE IN ACCORDANCE WITH THE LOCAL ENVIRONMENTAL REGULATIONS.
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PROPOSED SECOND FLOOR PLAN

1/2" = 1'-0"



HAINS ARCHITECTS

1000 Sunny Side Lane
 Hickory, VA

GUATI-RAO RESIDENCE
 Addition and Renovation

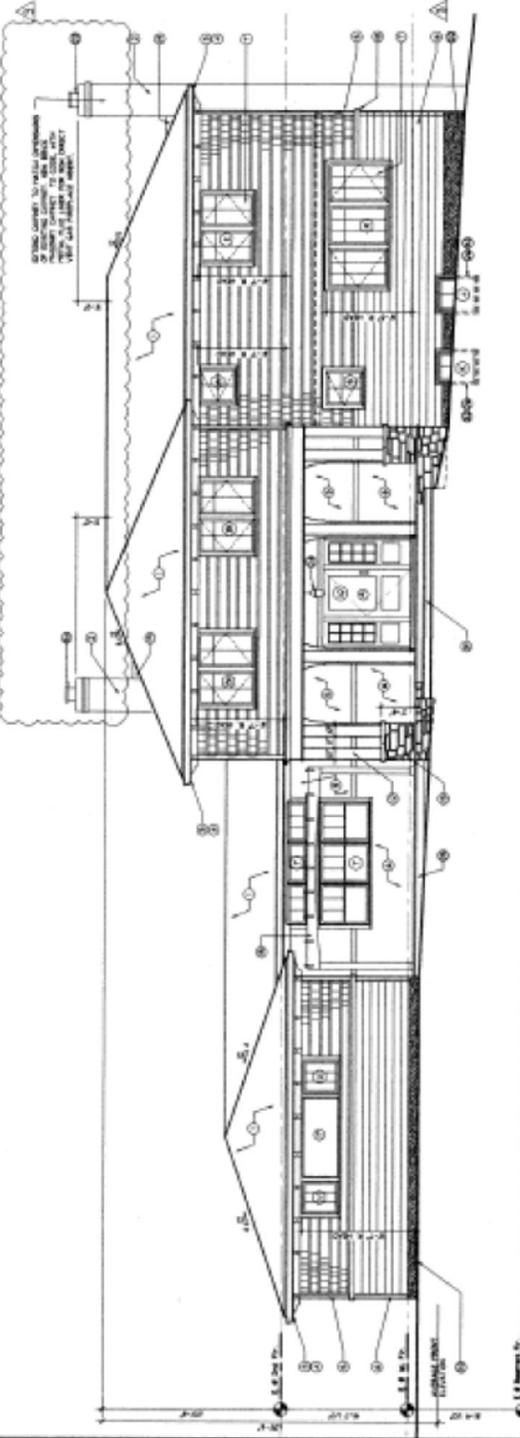
PROPOSED SECOND FLOOR PLAN

1/2" = 1'-0"

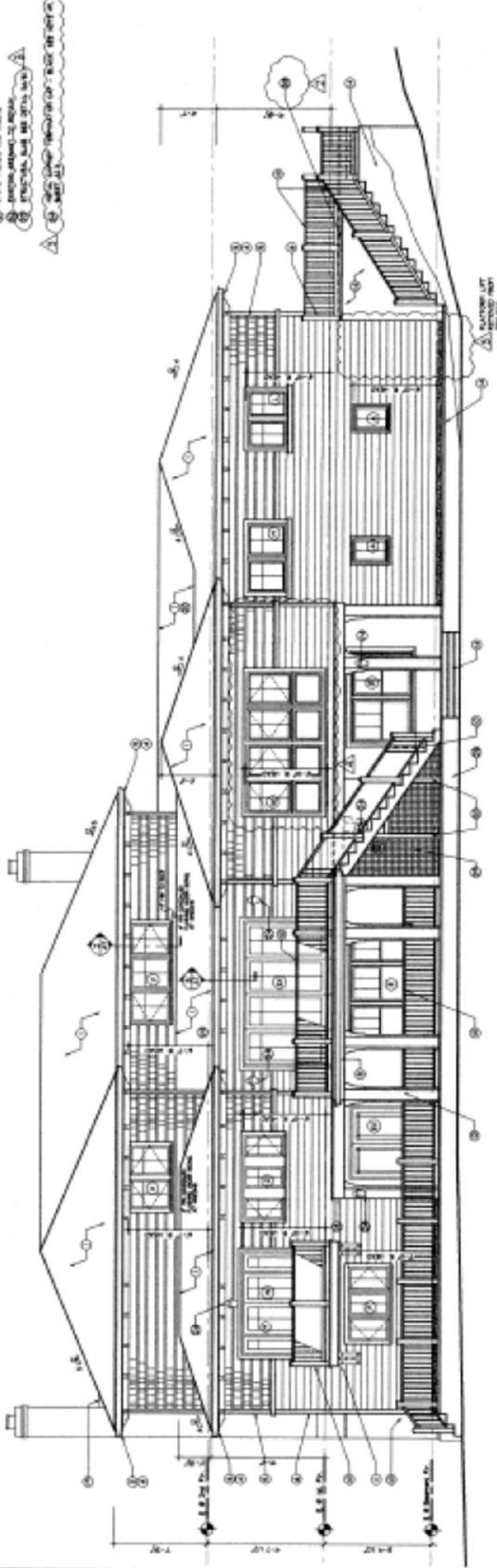
A2.2

 <p>HAINS ARCHITECTS</p>	<p>1000 Independence Blvd. Suite 100 Raleigh, NC 27604 Tel: 919-876-1000 Fax: 919-876-1002 www.hainsarchitects.com</p>	<p>GIULIATTI-RAO RESIDENCE Addition and Renovation 1000 Sassy Side Lane Millsboro, VA</p>	<p>PROPOSED EXTERIOR ELEVATIONS</p>
<p>DATE: 08/11/16 DRAWN BY: [unintelligible] CHECKED BY: [unintelligible] PROJECT NO: 16-0000</p>		<p>SCALE: 1/4" = 1'-0"</p>	

- ELEVATION KEYNOTES**
1. ON EXTERIOR ARCHITECTURAL COLOR MATERIALS, ALL MATERIALS TO BE MATCHED TO THE EXISTING MATERIALS.
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1 PROPOSED FRONT ELEVATION
1/4" = 1'-0"



2 PROPOSED REAR ELEVATION
1/4" = 1'-0"



HAINS
ARCHITECTS

2000 Parkside Drive
Richmond, VA 23228
Tel: 804-771-1188
Fax: 804-771-1189
www.hainsarchitects.com

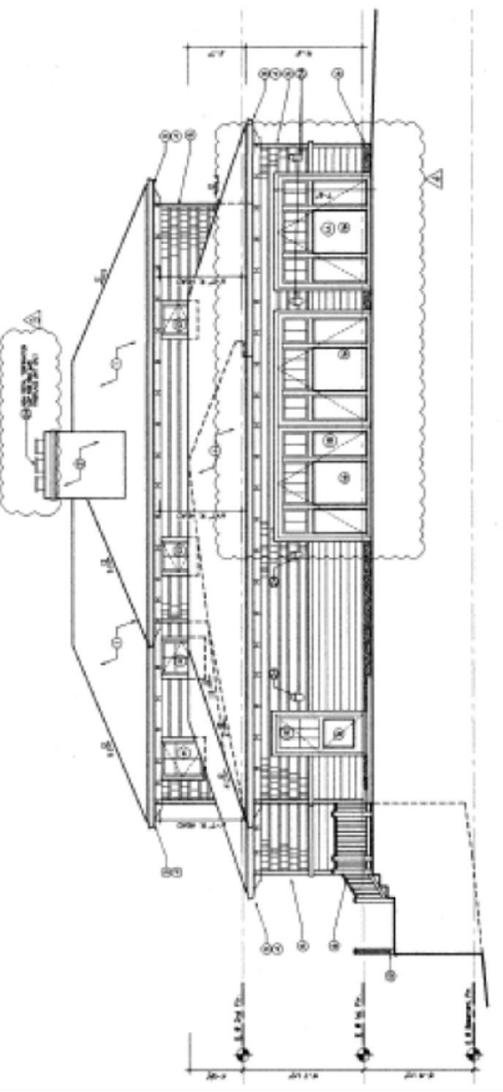
CUJATI-RAO RESIDENCE
Address and Renovation
Richmond, VA

PROPOSED EXTERIOR ELEVATIONS

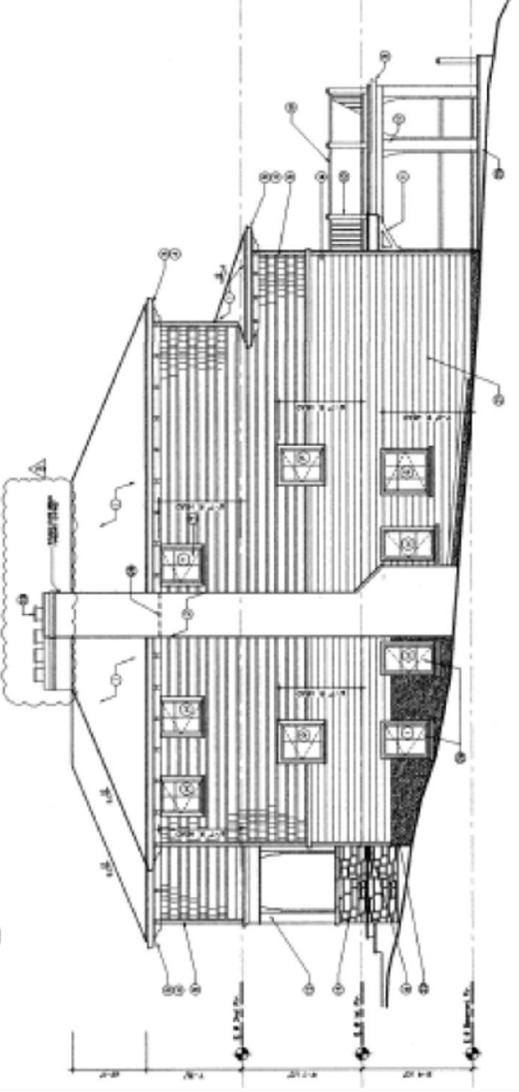
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- ELEVATION KEYNOTES**
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1 PROPOSED LEFT SIDE ELEVATION
1/4\"/>



2 PROPOSED RIGHT SIDE ELEVATION
1/4\"/>

Selected Photographs



Image 1: Front view of existing residence

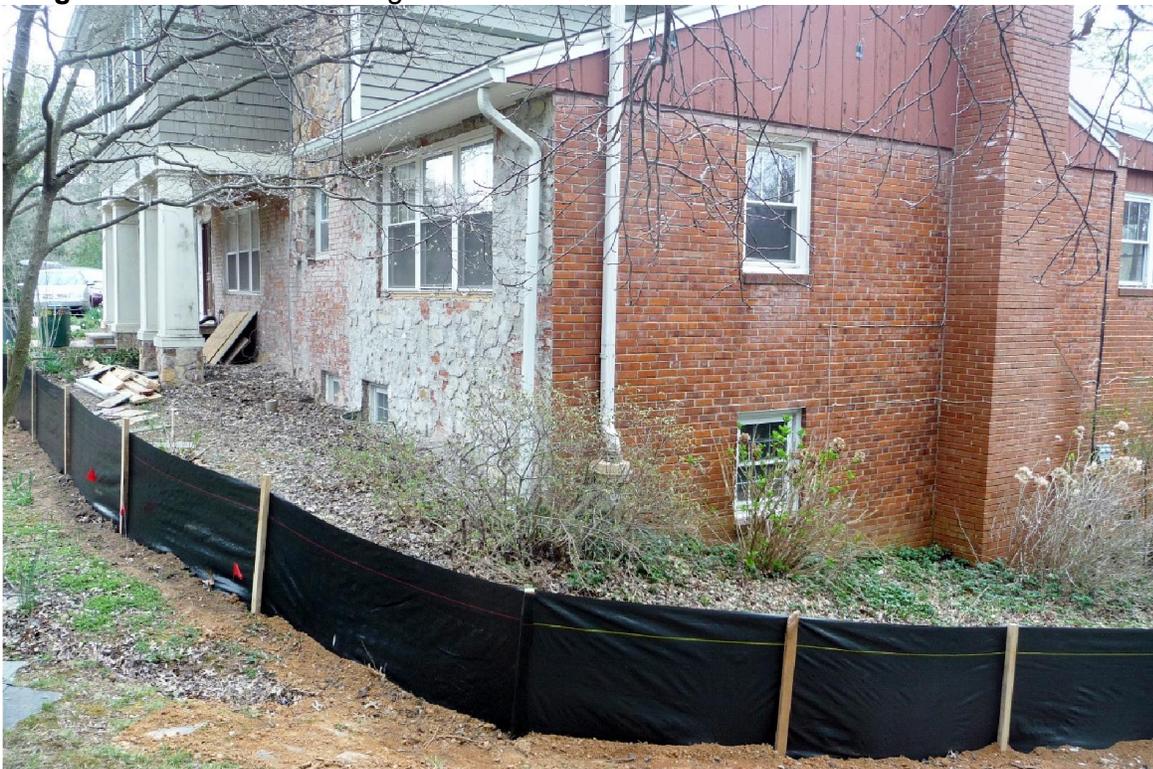


Image 2: North side of existing residence. ADU to be located in basement level this side



Image 3: View of neighbor immediately north (Lot 8)



Image 4: View of existing residence under renovation from rear yard. Note the extensive slope. The location of the proposed ADU entrance is not built in this image; it is marked with an arrow.



Image 5: South side yard behind adjacent neighbor. Note the screening along the shared lot line.



Image 6: Fences along south side lot line. Applicant's is the wooden fence.



Image 7: View of front yard. Stairway to ADU is proposed for extreme left in this image.



Image 8: View of Sunny Side Lane cul de sac with adjacent neighbors across street.



Image 9: Shared side lot line with adjacent neighbor. Entire lot line is screened in this fashion.



Image 10: View of rear yard including barn and tennis court.



County of Fairfax, Virginia

MEMORANDUM

Office of the County Attorney
 Suite 549, 12000 Government Center Parkway
 Fairfax, Virginia 22035-0064
 Phone: (703) 324-2421; Fax: (703) 324-2665
 www.fairfaxcounty.gov

RECEIVED
 Department of Planning & Zoning

MAY 23 2016

Zoning Evaluation Division

DATE: May 19, 2016

TO: Deborah Pemberton, Senior Applications Acceptance Planner
 Special Projects/Applications Management Branch, ZED
 Fairfax County Department of Planning and Zoning

FROM: Jo Ellen Groves, Paralegal 
 Office of the County Attorney

SUBJECT: BZA Affidavit
 Temporary Application No. SP 2016-0140

REF.: 134951

Attached is a copy of an application and an original affidavit that has been approved by the Office of the County Attorney for the following case:

<u>Name of Applicant</u>	<u>Affidavit Date of Oath</u>
Vivek Rao	5/12/16

Attachment

134951



COUNTY OF FAIRFAX
Department of Planning and Zoning
Zoning Evaluation Division
12055 Government Center Parkway, Suite 801
Fairfax, VA 22035 703-324-1290, TTY 711
www.fairfaxcounty.gov/dpz/zoning/applications

APPLICATION No: _____

(Staff will assign)
RECEIVED
Department of Planning & Zoning

MAY 13 2016

Zoning Evaluation Division

APPLICATION FOR A SPECIAL PERMIT / SPECIAL PERMIT AMENDMENT

(PLEASE TYPE or PRINT IN BLACK INK)

APPLICANT	APPLICANT NAME Vivek Rao		
	BUSINESS NAME (if applicable) (e.g., d/b/a; aka; LLC; trading as, etc.)		
	MAILING ADDRESS 1308 Sunny Side Lane, McLean, VA 22102		
	PHONE HOME () (703) 893-5078	WORK () (703) 893-5078	
	PHONE MOBILE () (917) 450-5302	EMAIL: roopaandvivek@yahoo.com	
PROPERTY INFORMATION	PROPERTY ADDRESS 1308 Sunny Side Lane, McLean, VA 22102		
	TAX MAP NO. 0203 07 0007A	SIZE (ACRES/SQ FT) 2.21 Acres	
	ZONING DISTRICT R-1	MAGISTERIAL DISTRICT Dranesville	
	PROPOSED ZONING IF CONCURRENT WITH REZONING APPLICATION: R-1		
SPECIAL PERMIT REQUEST INFORMATION	ZONING ORDINANCE SECTION 8-918		
	PROPOSED USE Accessory Dwelling Unit (for parents)		
AGENT/CONTACT INFORMATION	NAME Vivek Rao		
	MAILING ADDRESS 1308 Sunny Side Lane, McLean, VA 22102		
	PHONE NUMBER (703) 893-5078	HOME (703) 893-5078	WORK
	PHONE NUMBER (917) 450-5302	MOBILE	
MAILING	Send all correspondence to (check one): <input checked="" type="checkbox"/> Applicant -or- <input type="checkbox"/> Agent/Contact		
The name(s) and addresses of owner(s) of record shall be provided on the affidavit form attached and made part of this application. The undersigned has the power to authorize and does hereby authorize Fairfax County staff representatives on official business to enter the subject property as necessary to process the application.			
Vivek Rao			
TYPE/PRINT NAME OF APPLICANT/AGENT		SIGNATURE OF APPLICANT/AGENT	

DO NOT WRITE IN THIS SPACE

SP 2016-0140

Date Application accepted: _____ Application Fee Paid: \$ _____

Application No.(s): SP 2016 - 0140
(county-assigned application number(s), to be entered by County Staff)

134951

SPECIAL PERMIT/VARIANCE AFFIDAVIT

DATE: 5/12/2016
(enter date affidavit is notarized)

I, Vivek Rao, do hereby state that I am an
(enter name of applicant or authorized agent)

(check one) applicant
 applicant's authorized agent listed in Par. 1(a) below

and that, to the best of my knowledge and belief, the following is true:

1(a). The following constitutes a listing of the names and addresses of all **APPLICANTS, TITLE OWNERS, CONTRACT PURCHASERS, and LESSEES** of the land described in the application,* and, if any of the foregoing is a **TRUSTEE,**** each **BENEFICIARY** of such trust, and all **ATTORNEYS and REAL ESTATE BROKERS**, and all **AGENTS** who have acted on behalf of any of the foregoing with respect to the application:

(NOTE: All relationships to the application listed above in BOLD print must be disclosed. Multiple relationships may be listed together, e.g., Attorney/Agent, Contract Purchaser/Lessee, Applicant/Title Owner, etc. For a multiparcel application, list the Tax Map Number(s) of the parcel(s) for each owner(s) in the Relationship column.)

NAME (enter first name, middle initial, and last name)	ADDRESS (enter number, street, city, state, and zip code)	RELATIONSHIP(S) (enter applicable relationships listed in BOLD above)
Vivek Rao	1308 Sunny Side Lane McLean, VA 22102	Applicant / Title owner
Roopa Gulati - Rao	1308 Sunny Side Lane McLean, VA 22102	Title owner

(check if applicable) There are more relationships to be listed and Par. 1(a) is continued on a "Special Permit/Variance Attachment to Par. 1(a)" form.

* In the case of a condominium, the title owner, contract purchaser, or lessee of 10% or more of the units in the condominium.

** List as follows: Name of trustee, Trustee for (name of trust, if applicable), for the benefit of: (state name of each beneficiary).

Application No.(s): SP 2016-0140
(county-assigned application number(s), to be entered by County Staff)

SPECIAL PERMIT/VARIANCE AFFIDAVIT

DATE: 5/12/2016
(enter date affidavit is notarized)

134951

1(b). The following constitutes a listing*** of the **SHAREHOLDERS** of all corporations disclosed in this affidavit who own 10% or more of any class of stock issued by said corporation, and where such corporation has 10 or less shareholders, a listing of all of the shareholders:

(NOTE: Include SOLE PROPRIETORSHIPS, LIMITED LIABILITY COMPANIES, and REAL ESTATE INVESTMENT TRUSTS herein.)

CORPORATION INFORMATION

NAME & ADDRESS OF CORPORATION: (enter complete name, number, street, city, state, and zip code)

N/A

DESCRIPTION OF CORPORATION: (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

NAMES OF SHAREHOLDERS: (enter first name, middle initial, and last name)

(check if applicable) There is more corporation information and Par. 1(b) is continued on a "Special Permit/Variance Attachment 1(b)" form.

*** All listings which include partnerships, corporations, or trusts, to include the names of beneficiaries, must be broken down successively until (a) only individual persons are listed or (b) the listing for a corporation having more than 10 shareholders has no shareholder owning 10% or more of any class of stock. *In the case of an APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE* of the land that is a partnership, corporation, or trust, such successive breakdown must include a listing and further breakdown of all of its partners, of its shareholders as required above, and of beneficiaries of any trusts. Such successive breakdown must also include breakdowns of any partnership, corporation, or trust owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER or LESSEE* of the land. Limited liability companies and real estate investment trusts and their equivalents are treated as corporations, with members being deemed the equivalent of shareholders; managing members shall also be listed.* Use footnote numbers to designate partnerships or corporations, which have further listings on an attachment page, and reference the same footnote numbers on the attachment page.

Application No.(s):

SP2016-0440

(county-assigned application number(s), to be entered by County Staff)

Page Three

SPECIAL PERMIT/VARIANCE AFFIDAVIT

DATE:

5/12/2016

(enter date affidavit is notarized)

134951

1(c). The following constitutes a listing*** of all of the PARTNERS, both GENERAL and LIMITED, in any partnership disclosed in this affidavit:

PARTNERSHIP INFORMATION

PARTNERSHIP NAME & ADDRESS: (enter complete name, number, street, city, state, and zip code)

N/A

(check if applicable) [] The above-listed partnership has no limited partners.

NAMES AND TITLE OF THE PARTNERS (enter first name, middle initial, last name, and title, e.g. General Partner, Limited Partner, or General and Limited Partner)

(check if applicable) [] There is more partnership information and Par. 1(c) is continued on a "Special Permit/Variance Attachment to Par. 1(c)" form.

*** All listings which include partnerships, corporations, or trusts, to include the names of beneficiaries, must be broken down successively until: (a) only individual persons are listed or (b) the listing for a corporation having more than 10 shareholders has no shareholder owning 10% or more of any class of stock. In the case of an APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE* of the land that is a partnership, corporation, or trust, such successive breakdown must include a listing and further breakdown of all of its partners, of its shareholders as required above, and of beneficiaries of any trusts. Such successive breakdown must also include breakdowns of any partnership, corporation, or trust owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE* of the land. Limited liability companies and real estate investment trusts and their equivalents are treated as corporations, with members being deemed the equivalent of shareholders; managing members shall also be listed. Use footnote numbers to designate partnerships or corporations, which have further listings on an attachment page, and reference the same footnote numbers on the attachment page.

Application No.(s): SP 2016-040
(county-assigned application number(s), to be entered by County Staff)

SPECIAL PERMIT/VARIANCE AFFIDAVIT

DATE: 5/12/2016
(enter date affidavit is notarized)

134951

1(d). One of the following boxes **must** be checked:

In addition to the names listed in Paragraphs 1(a), 1(b), and 1(c) above, the following is a listing of any and all other individuals who own in the aggregate (directly and as a shareholder, partner, and beneficiary of a trust) 10% or more of the **APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE*** of the land:

Other than the names listed in Paragraphs 1(a), 1(b), and 1(c) above, no individual owns in the aggregate (directly and as a shareholder, partner, and beneficiary of a trust) 10% or more of the **APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE*** of the land.

2. That no member of the Fairfax County Board of Zoning Appeals, Planning Commission, or any member of his or her immediate household owns or has any financial interest in the subject land either individually, by ownership of stock in a corporation owning such land, or through an interest in a partnership owning such land.

EXCEPT AS FOLLOWS: (NOTE: If answer is none, enter "NONE" on the line below.)

NONE

(check if applicable) There are more interests to be listed and Par. 2 is continued on a "Special Permit/Variance Attachment to Par. 2" form.

Application No.(s): SP 2016-0140
(county-assigned application number(s), to be entered by County Staff)

SPECIAL PERMIT/VARIANCE AFFIDAVIT

134951

DATE: 5/12/2016
(enter date affidavit is notarized)

3. That within the twelve-month period prior to the public hearing of this application, no member of the Fairfax County Board of Zoning Appeals, Planning Commission, or any member of his or her immediate household, either directly or by way of partnership in which any of them is a partner, employee, agent, or attorney, or through a partner of any of them, or through a corporation in which any of them is an officer, director, employee, agent, or attorney or holds 10% or more of the outstanding bonds or shares of stock of a particular class, has, or has had any business or financial relationship, other than any ordinary depositor or customer relationship with or by a retail establishment, public utility, or bank, including any gift or donation having a value of more than \$100, singularly or in the aggregate, with any of those listed in Par. 1 above.

EXCEPT AS FOLLOWS: (NOTE: If answer is none, enter "NONE" on line below.)

NONE

(NOTE: Business or financial relationships of the type described in this paragraph that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings. See Par. 4 below.)

(check if applicable) [] There are more disclosures to be listed and Par. 3 is continued on a "Special Permit/Variance Attachment to Par. 3" form.

4. That the information contained in this affidavit is complete, that all partnerships, corporations, and trusts owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE* of the land have been listed and broken down, and that prior to each and every public hearing on this matter, I will reexamine this affidavit and provide any changed or supplemental information, including business or financial relationships of the type described in Paragraph 3 above, that arise on or after the date of this application.

WITNESS the following signature:

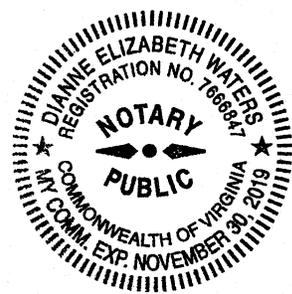
(check one) [X] Applicant [] Applicant's Authorized Agent

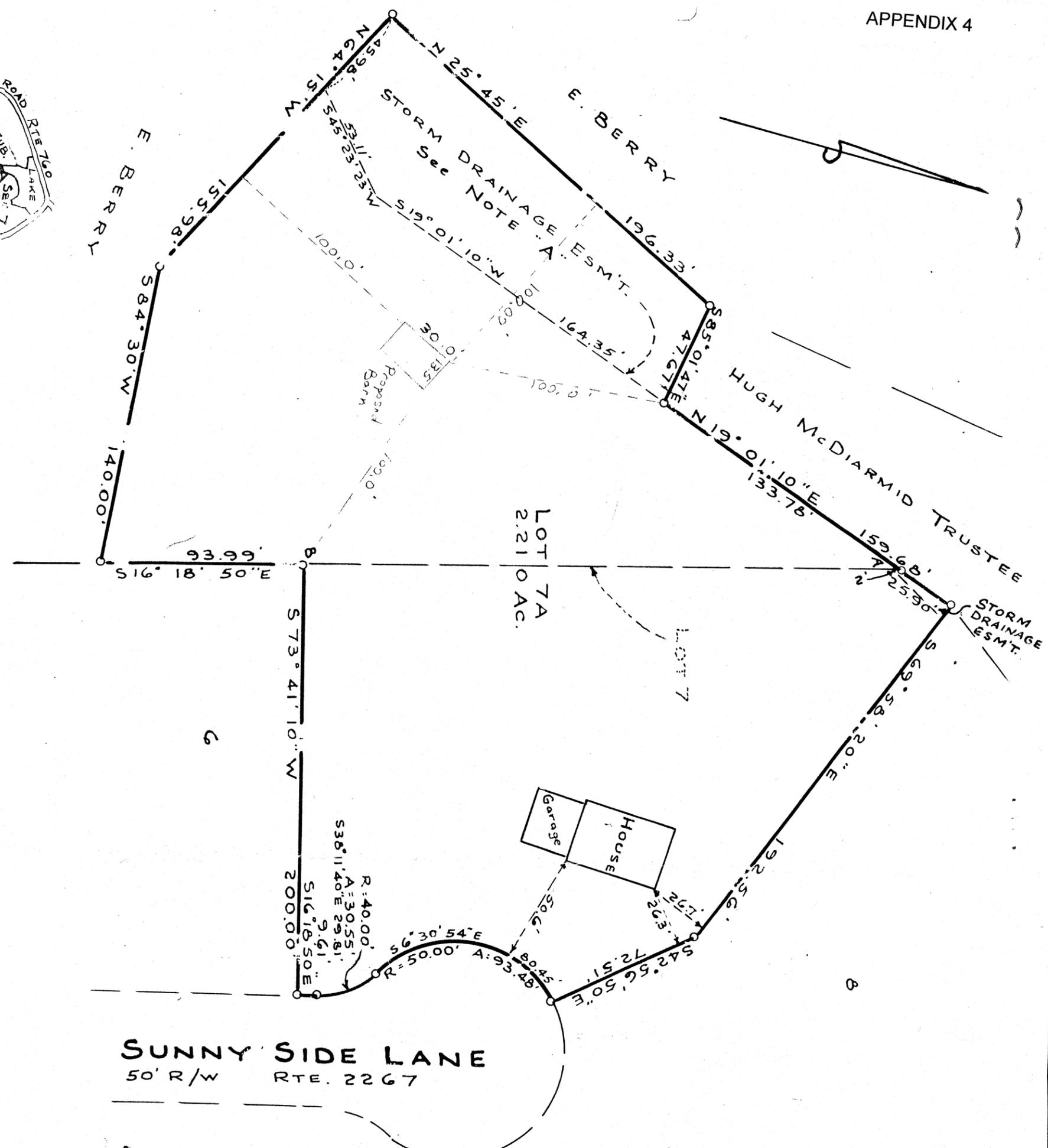
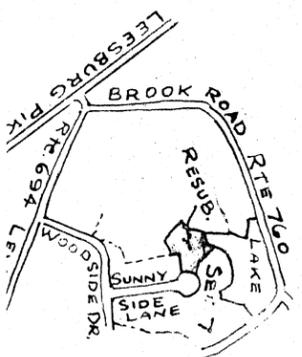
Vivek Rao
(type or print first name, middle initial, last name, and title of signee)

Subscribed and sworn to before me this 12 day of May 2016, in the State/Comm. of Virginia, County/City of Fairfax.

Diane Wag
Notary Public

My commission expires: 11/30/2019





NOTE "A": FLOOD PLANE RESTRICTION
 No use shall be made nor shall any improvement location be made in this easement which would in any way interfere with the natural drainage.

Approved for proposed location of building as shown. Final approval subject to wall check.
 ADD R 10RA

SUNNY SIDE LANE
 50' R/W RTE. 2267

Department of Public Works
 Fairfax County, Virginia
 Application Number **C-1324**
 I hereby certify that this plot plan and structure shown herein conform to the requirements of Section 113.10 of the Fairfax County, Virginia Building Code.

Director of Public Works
 APR 8 1984 By *[Signature]*

APR 8 1984
 By *[Signature]*

ENGINEER'S CERTIFICATE
 I, ORLO C. PACIULLI, do hereby certify that the land shown name of LAWRENCE B. D parcels; the parcel east of + deed dated Sept. 25, 1957 on Page 570 from M.O. BRADF line AB was acquired by d recorded at D:82363 Pg.178 from among the land records of that the tract subdivided an accurately shown by metes refer to the true meridia thus 0 and concrete monu be set in accordance with Subdivision Ordinance.
 Given under my hand +
[Signature]
 ORLO C. PACI

RESUBDIVISION OF LOT
WOODSIDE
 AND PART OF THE PROPER
 DRANESVILLE MAG
 FAIRFAX COUNTY,
 SCALE 1" = 50' AU
 BERRY ENGIN

BUILDING PERMIT APPLICATION

FAIRFAX COUNTY OFFICE OF BUILDING CODE SERVICES

PERMIT APPLICATION CENTER

12055 Government Center Parkway, 2nd Floor
Fairfax, Virginia 22035-5504

Telephone: 703-222-0801
Web site: http://www.co.fairfax.va.us/dpwes

PERMIT # 02310B0740

FOR INSPECTIONS CALL 703-222-0455 (see back for more information)

DO NOT WRITE IN THIS SPACE - COUNTY USE ONLY

PLAN # N-02-16182
TAX MAP # 020-3-1071 10007-A

FILL IN ALL APPROPRIATE INFORMATION IN THIS COLUMN
(PLEASE PRINT OR TYPE)

JOB LOCATION

ADDRESS 1308 Sunny Side Lane
LOT # 7-A BUILDING _____
FLOOR SECT# 7 SUITE _____
SUBDIVISION WOODSIDE EST
TENANT'S NAME _____

OWNER INFORMATION

OWNER TENANT

NAME Lauren + Bill Charvat
ADDRESS 1308 Sunny Side Ln
CITY McLean STATE VA ZIP 22102
TELEPHONE 703-448-8880

CONTRACTOR INFORMATION

SAME AS OWNER

CONTRACTORS MUST PROVIDE THE FOLLOWING:

COMPANY NAME _____

ADDRESS _____

CITY _____ STATE _____ ZIP _____

TELEPHONE 703-448-8880

STATE CONTRACTORS LICENSE # _____

COUNTY BPOL # _____

APPLICANT

Robert Ward

DESCRIPTION OF WORK

new deck with new posts
rails & coverings
Per County Detail with stairs, No hot tub
HOUSE TYPE 2 story colonial
ESTIMATED COST OF CONSTRUCTION \$7,000 -
BLDG AREA (SQ FT OF FOOTPRINT) 300 sq ft
USE GROUP OF BUILDING _____
TYPE OF CONSTRUCTION new deck
SEWER SERVICE PUBLIC SEPTIC OTHER
WATER SERVICE PUBLIC WELL OTHER
OTHER PLEASE SPECIFY _____

DESIGNATED MECHANICS' LIEN AGENT

(Residential Construction Only)

NAME _____

ADDRESS _____

NONE DESIGNATED PHONE _____

CHARACTERISTICS FOR NEW SFD, TH, APT & CONDOS

# KITCHENS	_____	EXTER. WALLS	_____
# BATHS	_____	INTER. WALLS	_____
# HALF BATHS	_____	ROOF MATERIAL	_____
# BEDROOMS	_____	FLOOR MATERIAL	_____
# OF ROOMS	_____	FIN. BASEMENT	_____ %
# STORIES	_____	HEATING FUEL	_____
BUILDING HEIGHT	<u>7'</u>	HEATING SYSTEM	_____
BUILDING AREA	_____	# FIREPLACES	_____
BASEMENT	_____		

ROUTING

DATE

APPROVED BY

LICENSING		
ZONING	<u>11-6-02</u>	<u>[Signature]</u>
SITE PERMITS	<u>11-6-02</u>	<u>[Signature]</u>
HEALTH DEPT.	<u>11/6/02</u>	<u>OK</u>
BUILDING REVIEW		
SANITATION		
FIRE MARSHAL		
ASBESTOS		
PROFFERS		

FEE \$ 56.00

FILING FEE - \$ _____

AMOUNT DUE = \$ _____

BUILDING PLAN REVIEW

REVIEWER _____ # OF HOURS _____
REVISION FEES \$ _____
FIRE MARSHAL FEES \$ _____
FIXTURE UNITS _____ PLAN LOC: J R

APPROVED FOR ISSUANCE OF BUILDING PERMIT

(LOG OUT) [Signature]
BY _____ DATE 11/7/02

ZONING REVIEW

ZONING CLASS R-1

USE SR

ZONING CASE # _____

GROSS FLOOR AREA OF TENANT SPACE

YARDS:	GARAGE	1 <input type="checkbox"/>	2 <input type="checkbox"/>	3 <input type="checkbox"/>
FRONT <u>N/C</u>	OPTIONS	YES <input type="checkbox"/>	NO <input type="checkbox"/>	
FRONT _____	REMARKS	<u>BLD Deck</u>		
L SIDE <u>20' +</u>		<u>40' x 10' (7' High)</u>		
R SIDE <u>20' +</u>		<u>w/STEPS</u>		
REAR <u>25' +</u>		<u>NO HOT TUB</u>		

GRADING AND DRAINAGE REVIEW

SOILS # _____ A B C
HISTORICAL DISTRICT _____
AREA TO BE DISTURBED (TOTAL SQ FT) _____
ADD'L IMPERVIOUS AREA (ADDED SQ FT) _____
PLAN # _____ APPR. DATE _____

STAMPS

[Signature]

(See reverse side of application)

REMARKS

Any and all information and/or stamps on the reverse side of this form are a part of this application and must be complied with. I hereby certify that I have authority of the owner to make this application, that the information is complete and correct, and that the construction and/or use will conform to the building code, the zoning ordinance and other applicable laws and regulations which relate to the property.

[Signature] 11/7/02
Signature of Owner or Agent Date

Lauren Charvat
Printed Name and Title

(Notarization of signature is required if owner is listed as the contractor and is not present at time of application)

NOTARIZATION (if required)

State (or territory or district) of Virginia
County (or city) of Fairfax, to wit:

I, Lauren Charvat

a Notary Public in the State and County aforesaid, do certify that

Lauren Charvat
whose name is signed to this application, appeared before me in the State and County aforesaid and executed this affidavit.

Given under my hand this _____ day of _____, 20____.

My commission expires the _____ day of _____, 2003.

[Signature]
(Notary Signature)

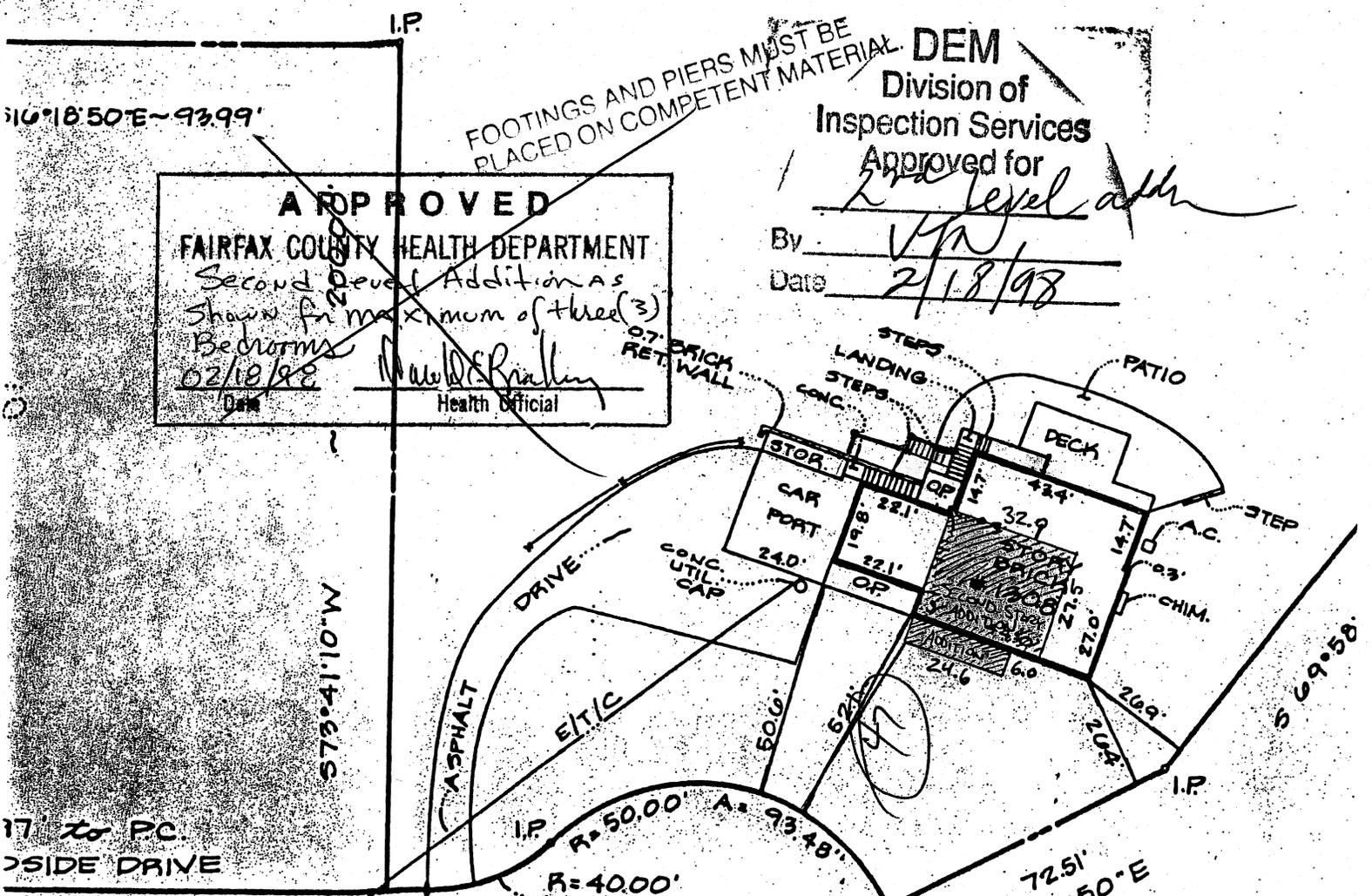
N 19° 0' 10" E

APPROVED

11-6-07
[Signature]
Zoning Administrator

7A

2.210 ACRES



FOOTINGS AND PIERS MUST BE PLACED ON COMPETENT MATERIAL.

DEM
Division of Inspection Services
Approved for

By: *[Signature]*
Date: 2/18/98

APPROVED
 FAIRFAX COUNTY HEALTH DEPARTMENT
 Second Level Addition as
 Shown for maximum of three (3)
 Bedrooms
 02/18/98
[Signature]
 Health Official

DPW&ES
Office of Building Code Services

Approved for
By: *[Signature]*
Date: 11-6-07

JY SIDE LANE
ROUTE # 2267 50' R/W

APPROVED
 FAIRFAX COUNTY HEALTH DEPARTMENT
 11/6/07
[Signature]
 Health Official

APPROVED
2/18/98
[Signature]

NOTE: FENCES

BUILDING PERMIT APPLICATION

FAIRFAX COUNTY OFFICE OF BUILDING CODE SERVICES
 PERMIT APPLICATION CENTER
 12055 Government Center Parkway, 2nd Floor
 Fairfax, Virginia 22035-5504
 Telephone: 703-222-0801
 Web site: http://www.co.fairfax.va.us

PERMIT # 03093B0440

FOR INSPECTIONS CALL 703-222-0455 (see back for more information)

DO NOT WRITE IN THIS SPACE - COUNTY USE ONLY

TAX MAP # 020

FILL IN ALL APPROPRIATE INFORMATION IN THIS COLUMN
 (PLEASE PRINT OR TYPE)

JOB LOCATION
 ADDRESS 1308 Sunnyside Lane
 LOT # 7A BUILDING _____
 FLOOR _____ SUITE _____
 SUBDIVISION Woodside Estates
 TENANT'S NAME _____

OWNER INFORMATION OWNER TENANT
 NAME Mr + Mrs William Charwat
 ADDRESS 1308 Sunnyside Lane
 CITY McLean STATE VA ZIP 22102
 TELEPHONE 703 448 8880

CONTRACTOR INFORMATION SAME AS OWNER
 CONTRACTORS MUST PROVIDE THE FOLLOWING:
 COMPANY NAME Fisher Group LLC
 ADDRESS 4119 Chatelain Road
 CITY Annandale STATE VA ZIP 22003
 TELEPHONE 703 750 1151
 STATE CONTRACTORS LICENSE # 2705 048742A
 COUNTY BPOL # 0442044 26-1200

APPLICANT D. Michael Ingram

DESCRIPTION OF WORK
Carport Enclosure 24 x 28
Interior Room Renovation

HOUSE TYPE Masonry/Frame SFD
 ESTIMATED COST OF CONSTRUCTION 29,000
 BLDG AREA (SQ FT OF FOOTPRINT) _____
 USE GROUP OF BUILDING _____
 TYPE OF CONSTRUCTION _____
 SEWER SERVICE PUBLIC SEPTIC OTHER
 WATER SERVICE PUBLIC WELL OTHER
 OTHER PLEASE SPECIFY _____

DESIGNATED MECHANICS' LIEN AGENT
 (Residential Construction Only)
 NAME D. Michael Ingram
 ADDRESS 413103
 NONE DESIGNATED PHONE _____

CHARACTERISTICS FOR NEW SFD, TH, APT & CONDOS

# KITCHENS	EXTER. WALLS	_____
# BATHS	INTER. WALLS	_____
# HALF BATHS	ROOF MATERIAL	_____
# BEDROOMS	FLOOR MATERIAL	_____
# OF ROOMS	FIN. BASEMENT	_____ %
# STORIES	HEATING FUEL	_____
BUILDING HEIGHT	HEATING SYSTEM	_____
BUILDING AREA	# FIREPLACES	_____
BASEMENT		_____

ROUTING	DATE	APPROVED BY
LICENSING	4.3.03	RLG
ZONING	4.3.03	JH
SITE PERMITS	4/3/03	(Vee)
HEALTH DEPT.	5/27/03	J
BUILDING REVIEW	5.28.03	J
SANITATION		
FIRE MARSHAL		
ASBESTOS		
PROFFERS		

FEE \$ 223.51
 FILING FEE - \$ 111.75
 AMOUNT DUE = \$ _____

BUILDING PLAN REVIEW
 REVIEWER _____ # OF HOURS _____
 REVISION FEES \$ _____
 FIRE MARSHAL FEES \$ _____
 FIXTURE UNITS _____ PLAN LOC: J R

APPROVED FOR ISSUANCE OF BUILDING PERMIT
 (LOG OUT) BY MD DATE 5/28/03

ZONING REVIEW ZONING CLASS R-3
 USE SFD
 ZONING CASE # _____

GROSS FLOOR AREA OF TENANT SPACE
 YARDS: GARAGE 1 2 3
 FRONT 50 OPTIONS YES NO
 FRONT REMARKS 23' Enclose
 L SIDE 68-75' Carport into a garage
 R SIDE A/C Interior Remodel -
 REAR A/C no wetbar no 2nd floor

GRADING AND DRAINAGE REVIEW
 SOILS # 5562L A B C
 HISTORICAL DISTRICT _____
 AREA TO BE DISTURBED (TOTAL SQ FT) 1408
 ADD'L IMPERVIOUS AREA (ADDED SQ FT) 0
 PLAN # _____ APPR. DATE _____

STAMPS
 (See reverse side of application)

REMARKS
INT/ALT = 13000
Car Port = 16000
TOTAL 29000

Any and all information and/or stamps on the reverse side of this form are a part of this application and must be complied with. I hereby certify that I have authority of the owner to make this application, that the information is complete and correct, and that the construction and/or use will conform to the building code, the zoning ordinance and other applicable laws and regulations which relate to the property.

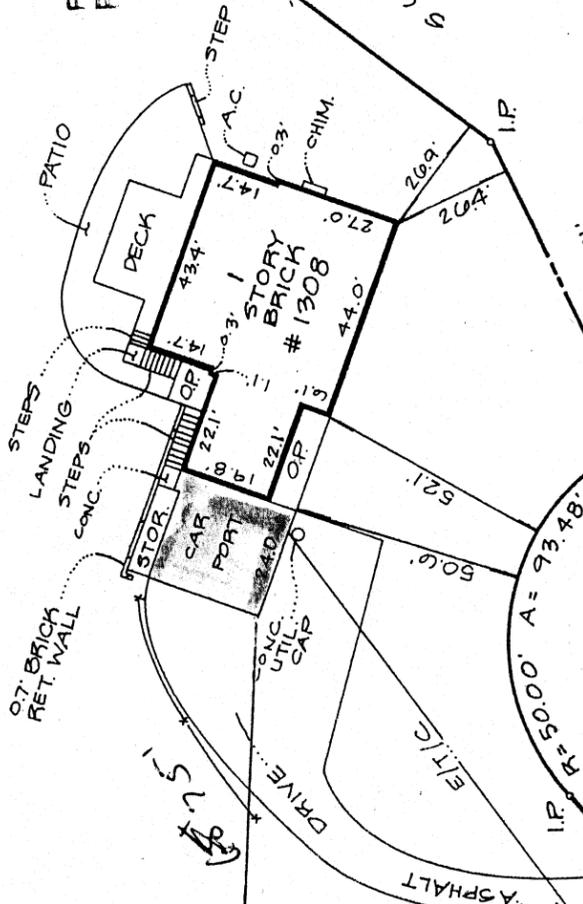
Signature of Owner or Agent [Signature] Date 4/3/03
 Printed Name and Title KENNETH FISHER - Builder
 (Notarization of signature is required if owner is listed as the contractor and is not present at time of application)

NOTARIZATION (if required)
 State (or territory or district) of _____
 County (or city) of _____, to wit:
 I, _____
 a Notary Public in the State and County aforesaid, do certify that
 whose name is signed to this application, appeared before me in the State and County aforesaid and executed this affidavit.
 Given under my hand this _____ day of _____, 20____.
 My commission expires the _____ day of _____, 20____.
 (Notary Signature)

7A

2.210 ACRES
EXCAVATED MATERIAL
SHALL BE REMOVED
FROM SITE

TOTAL EARTH DISTURBANCE ON THIS
LOT SHALL NOT EXCEED 2500 S.F.



FOOTINGS AND PIERPS MUST BE
PLACED ON COMPETENT MATERIAL.

DAMP PROOFING/MA/PERPROOFING
REQUIRED IN ACCORDANCE WITH
CABO AND BOCA CODES.

APPROVED
TM 4-3-03
Zoning Administrator

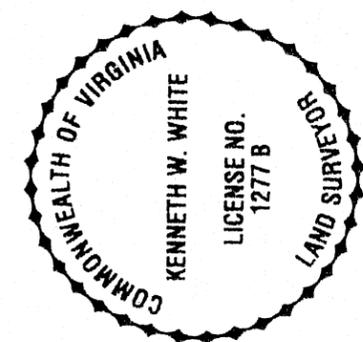
E LANE
50'R/W

NOTE: FENCES ARE FRAME UNLESS NOTED.

THIS PROPERTY IS NOT LOCATED IN A
SPECIAL FLOOD HAZARD AREA.
PLAT SUBJECT TO RESTRICTIONS OF
RECORD.
TITLE REPORT NOT FURNISHED.

I HEREBY CERTIFY THAT THE POSITIONS OF
ALL THE EXISTING IMPROVEMENTS HAVE BEEN
CAREFULLY ESTABLISHED BY A TRANSIT TAPE
SURVEY AND UNLESS OTHERWISE SHOWN,
THERE ARE NO VISIBLE ENCROACHMENTS.

Kenneth W. White
KENNETH W. WHITE
L.S.



CASE NAME:
COFRANCESCO ~ CHARWAT
STEWART TITLE &
ESCROW, INC.

ALEXANDRIA SURVEYS, INC.
6343 SOUTH KINGS HIGHWAY
ALEXANDRIA, VIRGINIA 22306
703-660-6615
FAX 703-768-7764

APPROVED SUBJECT TO NOTATIONS SHOWN

FAIRFAX COUNTY HEALTH DEPARTMENT

① Septic tank must be mechanically serviced
treatment - no injection of septic waste
permitted. No termite treatment permitted.

② Sign posted on functioning septic tank.

Date: 5/27/03 Health Official: [Signature]

PLAT

SHOWING HOUSE LOCATION ON
LOT 7A, SECTION 7

WOODSIDE ESTATES
FAIRFAX COUNTY, VIRGINIA

SCALE: 1" = 40' DECEMBER 27, 1996

TAX MAP 20-3-007-7A



Fairfax County, Virginia

BUILDING PERMIT

MULTIPLE WORK PERMIT

Permit Number: 151970175

Issued Date: 03/15/2016

Tax Map ID: 020-3 / 07 / 0007A

RECEIVED
Department of Planning & Zoning

Job Address: 1308 Sunny Side La
Mclean, VA 22102-0000

Plan No.: R-15-2069

MAY 13 2016

Owner/Tenant:
RAO ROOPA GULATI
1308 Sunny Side Ln
Mclean, Va 22102
(703) -

Contractor:
C&D HOME IMPROVEMENTS INC
21982 Hyde Park Drive
Ashburn, Va 20147-0000
(703) 938-8303

Zoning Evaluation Division

Mechanic 's Lien Agent: None Designated

Structure: SINGLE FAMILY DWELLING

Code: IRC 2012

Group: R5

Type of Construction: VB

Has permission, according to approved plans, applications and restrictions of record to:

BUMP OUT ADDITION ON REAR OF BASEMENT TO INCLUDE NEW GARDEN STORAGE AREA AND POWDER ROOM/FIRST FLOOR ADDITION TO INCLUDE MUDROOM, LAUNDRY ROOM, HALF BATH, FAMILY ROOM, MASTER BEDROOM AND MASTER BATHROOM/SECOND FLOOR ADDITION TO INCLUDE TWO BEDROOMS AND FULL BATH/COVERED FRONT PORCH/REAR DECK WITH STAIRS/INTERIOR ALTERATIONS TO ALL THREE LEVELS OF HOME

Site Related Approval Conditions and Alerts

- **Responsible Land Disturber:** don thomas cooke rd03044
- Before you start work, you are required to notify the Site Inspector at 703-324-1720. Failure to notify can result in a violation and fee charge per compliance inspection.

FLOODPLAIN PRESENT ON SITE.

FEMA Floodplain? N

Required Elevation:

Lowest Structural Member as Approved:

Deck Summary Information

Property line setback verification required at framing inspection. Failure to comply may result in non-issuance of Residential Use Permit or Final Inspection.

BUILDING OFFICIAL *Brian J. Foley*

- A copy of this permit must be posted at the construction site for the duration of the permit.
- This permit does not constitute approval from your homeowners' association and its related covenants.
- This permit will expire if work does not commence in six months, or if work is suspended for six months.
- This permit holder is responsible to contact the county when stages of construction are reached that require inspections.
- To schedule inspections call our Inspection office at 703-631-5101, TTY 711 during business hours. Inspection may also be scheduled online at www.fairfaxcounty.gov/fido.
- For questions regarding this permit call the Permit Application Center at 703-222-0801, TTY 711.
- Call Miss Utility before you dig at 811.

Bldg Permit #: **151970175** **MULTIPLE WORK PERMIT**

Address: 1308 SUNNY SIDE LA
MCLEAN VA 22102-0000
Bldg: N/A Floor: Suite: N/A
Tax Map: 0203 07 0007A
Subdiv: **WOODSIDE ESTATES LT 7A SEC 7** .21
Tenant: NEW HOUSE
Owner: RAO ROOPA GULATI
1308 SUNNY SIDE LN MCLEAN VA 22102
Phone Day: (703) - x Evening:

Contractor: TO BE SELECTED
(000) 000-0000

Type of Work: MULTI WORK
Description of Work: BUMP OUT ADDITION ON REAR OF BASEMENT TO INCLUDE NEW GARDEN STORAGE AREA AND POWDER ROOM/FIRST FLOOR ADDITION TO INCLUDE MUDROOM, LAUNDRY ROOM, HALF BATH, FAMILY ROOM, MASTER BEDROOM AND MASTER BATHROOM/SECOND FLOOR ADDITION TO INCLUDE TWO BEDROOMS AND FULL BATH/COVERED FRONT PORCH/REAR DECK WITH STAIRS/INTERIOR ALTERATIONS TO ALL THREE LEVELS OF HOME

ZPRB Review:
Date: 01/19/2016 Status: AMOOR4 Approved

Zoning Detail Review TAB:

Zoning Dist.	Cluster Subdiv	Exceeds 30%	Height	Wet Bar	2nd Kitchen	ADU Subdiv	Proffer	Setback	Parking Requirement*
R-1	N	N	18.00	N	N	N	N	Y	Y
Zoning Use									
SFD									
Yard/Setbacks:									
Structure	Front (A)	Front (B)	Front (C)	Left	Right	Rear			
1	0.00	0.00	0.00	88.00	0.00	215.00			
2	0.00	0.00	0.00	0.00	40.00	210.00			
3	40.00	0.00	0.00	75.00	0.00	0.00			
4	0.00	0.00	0.00	0.00	0.00	200.00			
USE GRP	CNST TYPE		BLDGAREA						
R5	VB		6,495.00						

DETAILS COMMENTS:
1 17 x 46 rear addn' 2 5 x 25 rear addn 3 25 x 57 front addn 4 17 x20 deck with steps plus int alts per plans needs setback cert for front lot line per approved plan on file 4923-inf-022-1

SCANNED



County of Fairfax, Virginia

MEMORANDUM

DATE: July 11, 2016

TO: Heath Eddy
Zoning Evaluation Division
Department of Planning and Zoning

FROM: Daun Klarevas, Engineer III
Site Development and Inspections Division
Department of Public Works and Environmental Services

SUBJECT: Application #SP 2016-DR-060 (04923-ZONA-001-1), Lot 7A, 1308 Sunny Side Lane, McLean, VA 22102, Tax Map #020-3-07-0007A, Dranesville

We have reviewed the subject application, plan received May 13, 2016, and offer the following stormwater management comments.

Chesapeake Bay Preservation Ordinance (CBPO)

There is a 1993 Resource Protection Area (RPA) on this site. The proposed structure addition appears to be outside of both the RPA and the 10' work zone required by LTI 09-05 around the structures perimeter will disturb the RPA limit.

Floodplain

There is a county mapped minor floodplain on this site. However, the proposed structure addition appears to be outside of the floodplain.

Downstream Drainage Complaints

There are complains about maintenance of the downstream pond and ditches on lots 020-3-06-0019, 020-3-03-0014A, 020-3-03-0015, 020-3-03-0017A, 020-3-03-0018 and 019-4-08-0001. For more information the applicant should contact stormwater planning Tel 703-877-2800.

Water Quality and Water Quantity

Since the limits of disturbance will exceed 2,500 square feet, water quality and quantity controls will need to be addressed.

Site Outfall

Site outfall may be required since the lot area may exceed 1% of the total drainage area of the adjacent county minor floodplain.



Application #SP 2016-DR-060 (04923-ZONA-001-1), Lot 7A, 1308 Sunny Side Lane, McLean,
VA 22102, Tax Map #020-3-07-0007A, Dranesville
Plan received May 13, 2016
Page 2 of 2

If you have any questions please contact me at 703-324-5238.

DNK/

cc: Shahab Baig, Chief, North Branch, SDID, DPWES
Zoning Application File

Zoning Ordinance Provisions

8-006 General Standards

In addition to the specific standards set forth hereinafter with regard to particular special permit uses, all special permit uses shall satisfy the following general standards:

1. The proposed use at the specified location shall be in harmony with the adopted comprehensive plan.
2. The proposed use shall be in harmony with the general purpose and intent of the applicable zoning district regulations.
3. The proposed use shall be such that it will be harmonious with and will not adversely affect the use or development of neighboring properties in accordance with the applicable zoning district regulations and the adopted comprehensive plan. The location, size and height of buildings, structures, walls and fences, and the nature and extent of screening, buffering and landscaping shall be such that the use will not hinder or discourage the appropriate development and use of adjacent or nearby land and/or buildings or impair the value thereof.
4. The proposed use shall be such that pedestrian and vehicular traffic associated with such use will not be hazardous or conflict with the existing and anticipated traffic in the neighborhood.
5. In addition to the standards which may be set forth in this Article for a particular group or use, the BZA shall require landscaping and screening in accordance with the provisions of Article 13.
6. Open space shall be provided in an amount equivalent to that specified for the zoning district in which the proposed use is located.
7. Adequate utility, drainage, parking, loading and other necessary facilities to serve the proposed use shall be provided. Parking and loading requirements shall be in accordance with the provisions of Article 11.
8. Signs shall be regulated by the provisions of Article 12; however, the BZA, under the authority presented in Sect. 007 below, may impose more strict requirements for a given use than those set forth in this Ordinance.

8-903 Standards for All Group 9 Uses

In addition to the general standards set forth in Sect. 006 above, all Group 9 special permit uses shall satisfy the following standards:

1. All uses shall comply with the lot size and bulk regulations of the zoning district in which located, except as may be qualified below.
2. All uses shall comply with the performance standards specified for the zoning district in which located.
3. Before establishment, all uses, including modifications or alterations to existing uses, shall be subject to the provisions of Article 17, Site Plans, or other appropriate submission as determined by the Director.

8-918 Additional Standards for Accessory Dwelling Units

As established by the Fairfax County Board of Supervisors' Policy on Accessory Dwelling Units (Appendix 5), the BZA may approve a special permit for the establishment of an accessory dwelling unit with a single family detached dwelling unit but only in accordance with the following conditions:

1. Accessory dwelling units shall only be permitted in association with a single family detached dwelling unit and there shall be no more than one accessory dwelling unit per single family detached dwelling unit.
2. Except on lots two (2) acres or larger, an accessory dwelling unit shall be located within the structure of a single family detached dwelling unit. Any added external entrances for the accessory dwelling unit shall be located on the side or rear of the structure.

On lots two (2) acres or greater in area, an accessory dwelling unit may be located within the structure of a single family detached dwelling unit or within a freestanding accessory structure.

3. The gross floor area of the accessory dwelling unit shall not exceed thirty-five (35) percent of the total gross floor area of the principal dwelling unit. When the accessory dwelling unit is located in a freestanding accessory structure, the gross floor area of the accessory dwelling unit shall not exceed thirty-five (35) percent of the gross floor area of the accessory freestanding structure and the principal dwelling unit.
4. The accessory dwelling unit shall contain not more than two (2) bedrooms.

5. The occupancy of the accessory dwelling unit and the principal dwelling unit shall be in accordance with the following:
 - A. One of the dwelling units shall be owner occupied.
 - B. One of the dwelling units shall be occupied by a person or persons who qualify as elderly and/or disabled as specified below:
 - (1) Any person fifty-five (55) years of age or over and/or
 - (2) Any person permanently and totally disabled. If the application is made in reference to a person because of permanent and total disability, the application shall be accompanied by a certification by the Social Security Administration, the Veterans Administration or the Railroad Retirement Board. If such person is not eligible for certification by any of these agencies, there shall be submitted a written declaration signed by two (2) medical doctors licensed to practice medicine, to the effect that such person is permanently and totally disabled. The written statement of at least one of the doctors shall be based upon a physical examination of the person by the doctor. One of the doctors may submit a written statement based upon medical information contained in the records of the Civil Service Commission which is relevant to the standards for determining permanent and total disability.

For purposes of this Section, a person shall be considered permanently and totally disabled if such person is certified as required by this Section as unable to engage in any substantial gainful activity by reasons of any medically determinable physical or mental impairment or deformity which can be expected to result in death or can be expected to last for the duration of the person's life.
 - C. The accessory dwelling unit may be occupied by not more than two (2) persons not necessarily related by blood or marriage. The principal single family dwelling unit may be occupied by not more than one (1) of the following:
 - (1) One (1) family, which consists of one (1) person or two (2) or more persons related by blood or marriage and with any number of natural children, foster children, step children or adopted children.
 - (2) A group of not more than four (4) persons not necessarily related by blood or marriage.
6. Any accessory dwelling unit established for occupancy by a disabled person shall provide for reasonable access and mobility as required for the disabled person. The measures for reasonable access and mobility shall be specified

- in the application for special permit. Generally, reasonable access and mobility for physically disabled persons shall include:
- A. Uninterrupted access to one (1) entrance; and
 - B. Accessibility and usability of one (1) toilet room.
7. The BZA shall review all existing and/or proposed parking to determine if such parking is sufficient to meet the needs of the principal and accessory dwelling units. If it is determined that such parking is insufficient, the BZA may require the provision of one (1) or more off-street parking spaces. Such parking shall be in addition to the requirements specified in Article 11 for a single family dwelling unit.
 8. The BZA shall determine that the proposed accessory dwelling unit together with any other accessory dwelling unit(s) within the area will not constitute sufficient change to modify or disrupt the predominant character of the neighborhood. In no instance shall the approval of a special permit for an accessory dwelling unit be deemed a subdivision of the principal dwelling unit or lot.
 9. Any accessory dwelling unit shall meet the applicable regulations for building, safety, health and sanitation.
 10. Upon the approval of a special permit, the Clerk to the Board of Zoning Appeals shall cause to be recorded among the land records of Fairfax County a copy of the BZA's approval, including all accompanying conditions. Said resolution shall contain a description of the subject property and shall be indexed in the Grantor Index in the name of the property owners.
 11. The owner shall make provisions to allow inspections of the property by County personnel during reasonable hours upon prior notice.
 12. Special permits for accessory dwelling units shall be approved for a period not to exceed five (5) years from the date of approval; provided, however, that such special permits may be extended for succeeding five (5) year periods in accordance with the provisions of Sect. 012 above.
 13. Notwithstanding Par. 5 of Sect. 9-012, any accessory dwelling unit approved prior to July 27, 1987 and currently valid may be extended in accordance with the provisions of this Section and Sect. 012 above.