



APPLICATION ACCEPTED: April 6, 2016  
BOARD OF ZONING APPEALS: September 28, 2016 @ 9:00 a.m.

# County of Fairfax, Virginia

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September 21, 2016

## STAFF REPORT

SPECIAL PERMIT APPLICATION NO. SP 2016-SP-032

### SPRINGFIELD DISTRICT

**APPLICANT:** Ambassadors for Jesus Arabic Evangelical Church

**STREET ADDRESS:** 12939 Braddock Road, Clifton 20124

**TAX MAP REFERENCE:** 66-2 ((2)) 1

**LOT SIZE:** 4.74 acres

**FAR:** 0.096

**ZONING DISTRICT:** R-C and WS

**ZONING ORDINANCE PROVISIONS:** 3-C03

**PLAN MAP:** Low Density Residential up to .1 – .2 DU/AC

**SPECIAL PERMIT PROPOSAL:** To permit a place of worship

**STAFF RECOMMENDATION:** Staff recommends approval of SP 2016-SP-032 for a place of worship, subject to the proposed development conditions contained in Appendix 1.

It should be noted that it is not the intent of staff to recommend that the Board, in adopting any conditions, relieve the applicants/owners from compliance with the provisions of any applicable ordinances, regulations, or adopted standards.

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Erin M. Haley



It should be further noted that the content of this report reflects the analysis and recommendations of staff; it does not reflect the position of the Board of Zoning Appeals. A copy of the BZA's Resolution setting forth this decision will be mailed within five (5) days after the decision becomes final.

The approval of this application does not interfere with, abrogate or annul any easements, covenants, or other agreements between parties, as they may apply to the property subject to the application.

For additional information, call Zoning Evaluation Division, Department of Planning and Zoning at 703-324-1280, 12055 Government Center Parkway, Suite 801, Fairfax, Virginia 22035. **Board of Zoning Appeals' meetings are held in the Board Room, Ground Level, Government Center Building, 12000 Government Center Parkway, Fairfax, Virginia 22035-5505.**

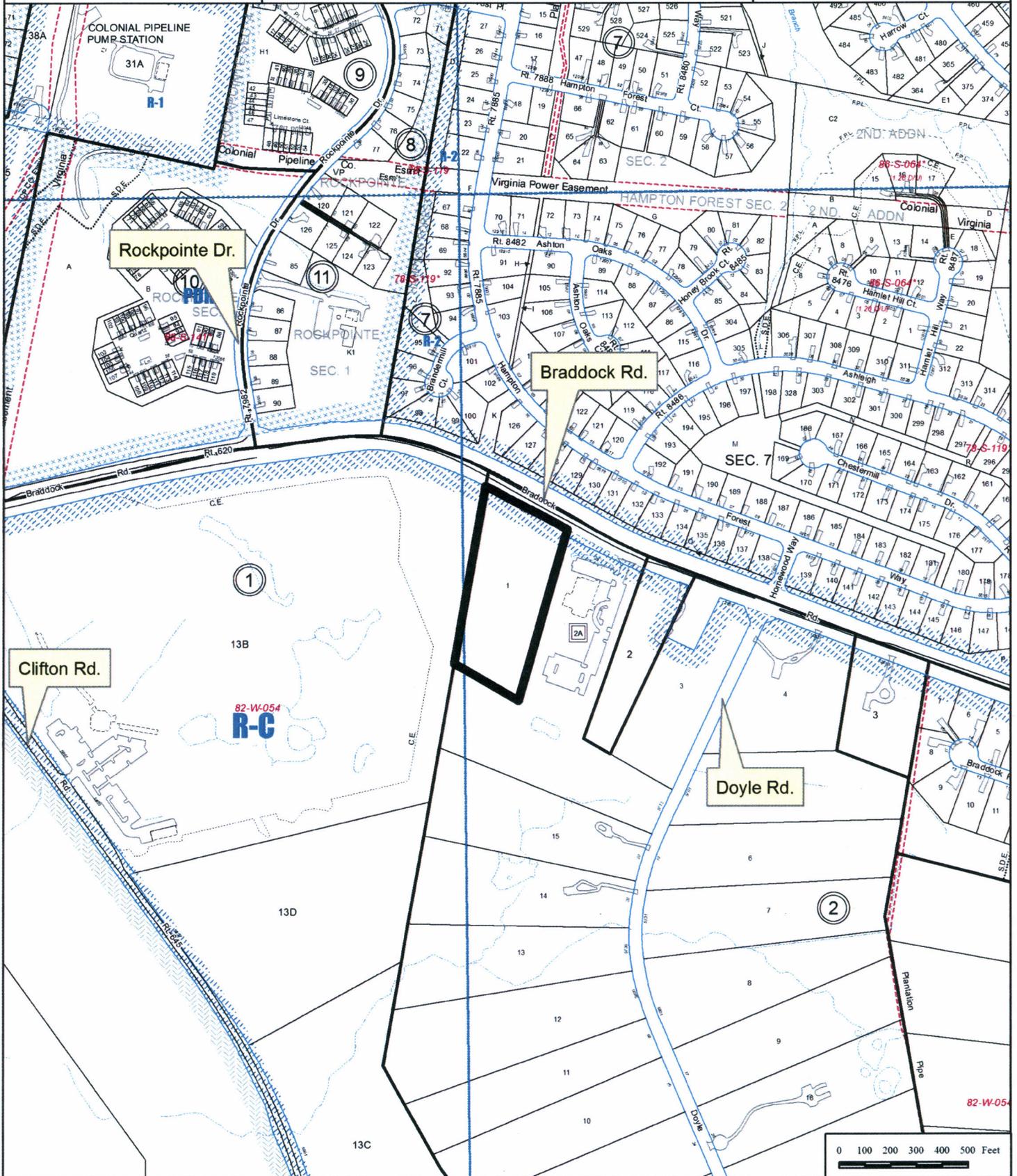


Americans with Disabilities Act (ADA): Reasonable accommodation is available upon 7 days advance notice. For additional information on ADA call (703) 324-1334 or TTY 711 (Virginia Relay Center).



# Special Permit SP 2016-SP-032

AMBASSADORS FOR JESUS ARABIC EVANGELICAL CHURCH



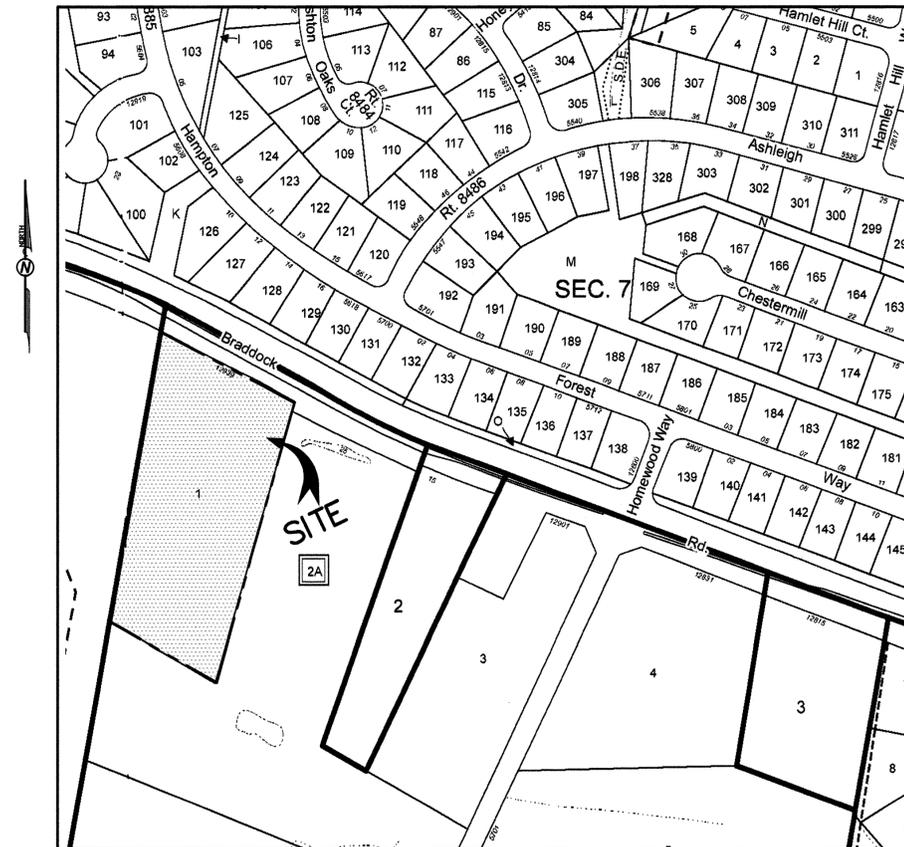
# SPECIAL PERMIT PLAN

# AMBASSADORS FOR JESUS

## SPECIAL PERMIT # SP 2016-SP-032

### NOTES

1. THE PROPERTY DELINEATED ON THIS PLAT IS IDENTIFIED ON ASSESSMENT MAP AS REFERENCE NO. 0662-02-0001, AND ZONED RC (RES CONSERVATION 1DU/5AC).
2. CURRENT OWNERS: (SEE THIS SHEET)
3. BOUNDARY AND TOPO INFORMATION SHOWN HEREON IS BASED ON A CURRENT FIELD SURVEY BY THIS FIRM.
4. BEARINGS BASED ON VCS NAD 1927 NORTH.
5. THE ADDRESS OF THIS PROPERTY IS 12939 BRADDOCK RD CLIFTON, VA 20124.
6. THE STREETS SHOWN HEREON ARE PUBLIC RIGHTS-OF-WAY.
7. NO TITLE REPORT FURNISHED.
8. CONTOUR INTERVAL : 1 FEET
9. THIS SITE TO BE SERVED BY PUBLIC WATER & PUBLIC SEWER.
10. PARKING LOT LIGHTS SHALL BE MAX. OF 12 FT HEIGHT DOWNWARD FOCUSING, NON-GLARE TYPE. ALL PARKING LIGHTS SHALL CONFORM TO PFM AND ZONING REQUIREMENTS.
11. AT THE TIME OF FINAL SITE PLAN APPROVAL, LAYOUT AND THE LOCATION OF LIMITS OF CLEARING AND GRADING MAY CHANGE SLIGHTLY DUE TO FINAL ENGINEERING.
12. THE PROPOSED DEVELOPMENT IS IN ACCORDANCE WITH THE ADOPTED COMPREHENSIVE PLAN OF FAIRFAX COUNTY.
13. THE PROPOSED DEVELOPMENT CONFORMS TO THE PROVISIONS OF ALL APPLICABLE ORDINANCES, REGULATIONS & ADOPTED STANDARDS.
14. EROSION & SEDIMENT CONTROL WILL CONFORM TO ALL APPLICABLE LOCAL COUNTY & STATE STANDARDS.
15. TO THE BEST OF OUR KNOWLEDGE NO GRAVE SITE IS LOCATED ON THIS SITE.
16. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO TOXIC MATERIALS OR AUTOMOBILE FUEL FOUND OR PROPOSED TO BE STORED ON THIS SITE.
17. THERE IS NO FLOOD PLAIN, RPA & EQC LOCATED ON THIS SITE.
18. TO THE BEST OF OUR KNOWLEDGE THERE ARE NO EXISTING UTILITY EASEMENT OF 25 FT. OR MORE, AND ANY MAJOR UNDERGROUND UTILITY EASEMENT REGARDLESS OF WIDTH EXCEPT AS SHOWN ON THE PLAT.
19. THE PROPOSED LOCATION OF BMP, SWM AND THE RELATED DESIGN CALCULATIONS ARE PRELIMINARY AND SUBJECT TO CHANGE AT THE TIME OF FINAL SITE PLAN.
20. MINOR ADJUSTMENT TO LOCATION, SIZE AND SHAPE OF THE PROPOSED IMPROVEMENTS MAY BE NECESSARY DUE TO FINAL ENGINEERING.
21. ALL EXISTING SIGNS AND ALL ADDITIONAL SIGNS SHALL CONFORM WITH ZONING ORDINANCE.
22. ALL SITE LIGHTING SHALL COMPLY WITH LATEST FAIRFAX COUNTY ZONING REQUIREMENTS.



**VICINITY MAP**  
SCALE: 1"=200'

12939 BRADDOCK RD. CLIFTON, VA 20124

### OWNERS INFORMATION :

TUTHILL FAMILY LLC.  
PO BOX 2247 MECHANICSVILLE VA 23116  
CURRENT USE: VACANT LAND

### APPLICANT INFORMATION :

AMBASSADORS FOR JESUS  
C/O MR ALFONS S MASSOUD, PE,CPE  
12605 BLYTHEWOOD DRIVE, FAIRFAX, VA 22030  
(703) 909-6974  
PROPOSED USE: CHURCH

### TRIP GENERATION RATES:

TRIP GENERATION PER 9TH EDITION, ITE TRIP GENERATION MANUAL (CHURCH)  
AVERAGE SUNDAY VEHICLE TRIP PER 1000 S.F. G. F. A.  
TOTAL GROSS AREA OF PROPOSED BUILDING = 20,000 S.F.  
SUNDAYS :  
(36.63 AVG. TRIP RATE) (20,000 S.F.) /1000 = 732.6 VPD  
WEEKDAYS :  
(9.11 AVG. TRIP RATE) (20,046 S.F.) /1000 = 182.2 VPD

### SITE TABULATION WITHOUT ABANDONED AREA:

EX. PARCEL AREA : 4.74 AC.  
EXISTING USE: VACANT LAND  
PROPOSED USE : RELIGIOUS ASSEMBLY (350 SEATS)

MAX. FAR ALLOWED : 0.15  
FAR PROVIDED = 0.096

OPEN SPACE REQUIREMENTS: 50% UNDISTURBED OPEN SPACE  
50% (206,627 SF) = 2.37 AC. REQUIRED  
OPEN SPACE PROVIDED : = 2.37 AC.  
( 50% TOTAL SITE AREA )

INTERIOR PARKING LOT LANDSCAPING REQUIRED :  
(PLEASE REFER TO LANDSCAPE PLAN)

PARKING TABULATION :  
USE : RELIGIOUS ASSEMBLY (350 PERSONS SEATING IN PRIMARY PLACE OF WORSHIP)  
PARKING SPACES REQUIRED : (1 SP./4 SEATS) = 88 SPACES  
PARKING SPACES PROVIDED = 159 SPACES INCLUDING 6 H.C. SPACES  
PARKING RATIO PROVIDED = 1 / 2.2

H.C. SPACES REQUIRED = 6  
H.C. SPACES PROVIDED = 6  
LOADING SPACES REQUIRED = NONE  
LOADING SPACES PROVIDED = NONE

### LANDSCAPE NOTES

AT TIME OF FINAL SITE PLAN, PLANT LOCATIONS MAY BE MODIFIED IF NECESSARY DUE TO CHANGES IN FINAL ENGINEERING OR LOCATION OF UTILITY EASEMENTS.

PLANT MATERIAL SHOWN ON THIS PLAN IS REPRESENTATIVE BUT NOT NECESSARILY LIMITED TO THE VARIETIES LISTED IN THE PLANT SCHEDULE.

LOCATION AND SPECIES OF THE PLANT MATERIAL SHOWN ARE SUBJECT TO CHANGES DUE FINAL ENGINEERING, BUT QUANTITIES WILL BE EQUAL TO THAT REPRESENTED ON THIS PLAN.

### SETBACK REQUIREMENTS :

ZONED : RC  
FRONT : 50 DEGREE ANGLE OF BULK PLANE, NOT LESS THAN 40 FT  
SIDE : 45 DEGREE ANGLE OF BULK PLANE, NOT LESS THAN 20 FT  
REAR : 45 DEGREE ANGLE OF BULK PLANE, NOT LESS THAN 25 FT  
MAX. BUILDING HEIGHT ALLOWED : 60 FT  
MAX. BUILDING HEIGHT PROVIDED : 45 FT

### INDEX

- 1) COVER SHEET
  - 2) GENERALIZED DEVELOPMENT PLAN
  - 3) LANDSCAPE PLAN & NOTES
  - 4) EXISTING VEGETATION MANAGEMENT PLAN
  - 5) STORM WATER MANAGEMENT REQUIREMENTS- PLAN
  - 6) STORM WATER MANAGEMENT REQUIREMENTS- COMPUTATIONS
  - A1.0) CONCEPT DESIGN: FIRST FLOOR PLAN
  - A1.1) CONCEPT DESIGN: SECOND FLOOR PLAN
  - A2.0) CONCEPT DESIGN: ELEVATIONS (BRADDOCK ROAD: NORTH, & WEST SIDE)
  - A2.1) CONCEPT DESIGN: ELEVATIONS (SOUTH & EAST SIDES)
- BRADDOCK ROAD VDOT CONSTRUCTION PLANS (STA. 54+00 TO 75+00)

VDOT PLANS SHEET 10-12)

NO.	DATE	DESCRIPTION	H.M.	H.M.	BY
1.	6/10/2016	BUILDING FOOTPRINT REVISED			
2.	8/15/2016	PARKING LAYOUT REVISED			

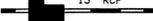
COVER SHEET  
**AMBASSADORS FOR JESUS**  
FAIRFAX COUNTY, VIRGINIA  
SPRINGFIELD DISTRICT

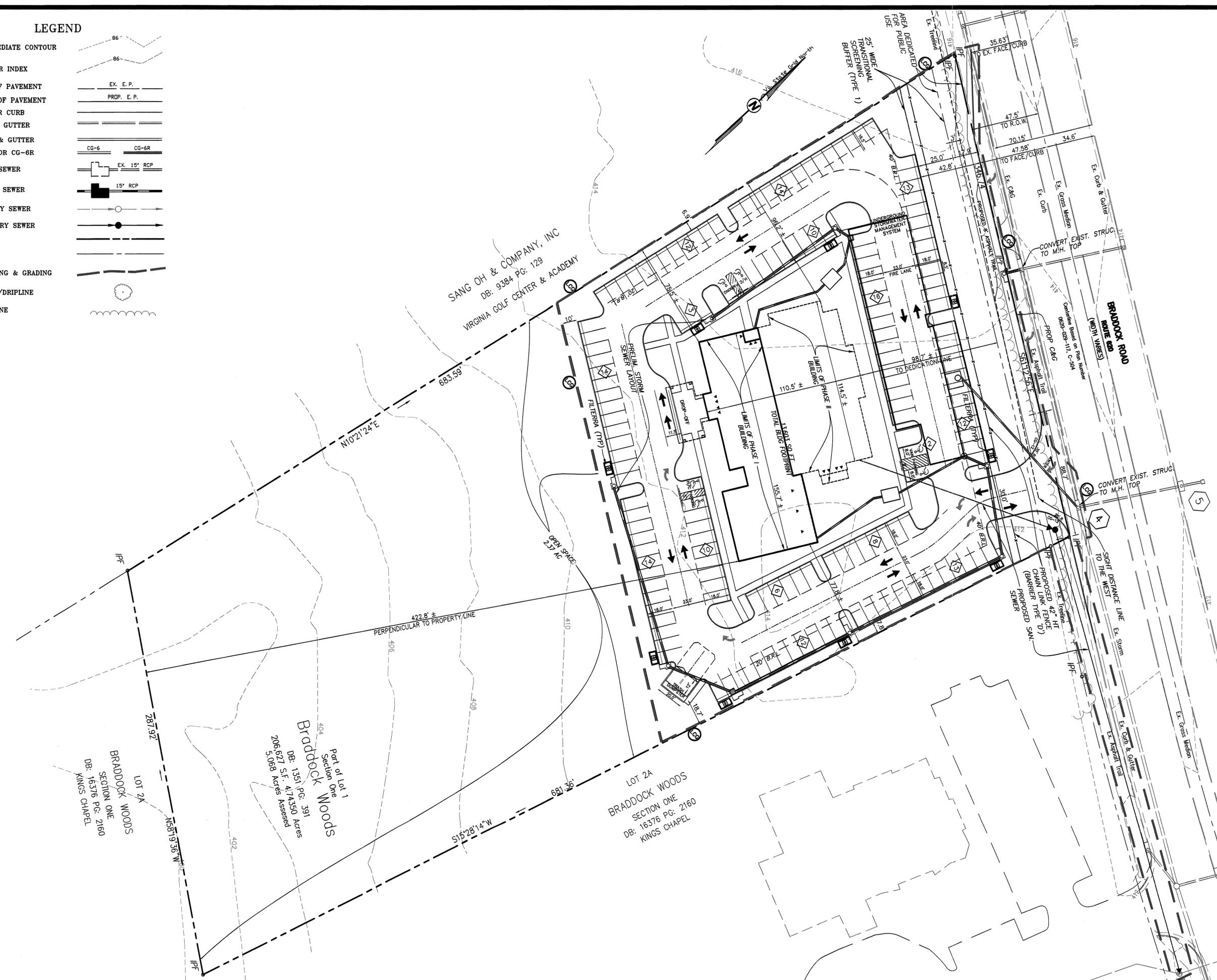


**PROFESSIONAL DESIGN GROUP, INC.**  
4124 WALNEY ROAD, SUITE M  
CHANTILLY, VIRGINIA 20151  
PHONE (703) 631-2344  
FAX (703) 378-2102  
ENGINEERS, SURVEYORS, CONSULTANT

DESIGN BY:	VO/SJ
DRAWN BY:	VO/SJ
CHECKED BY:	HM
DATE:	6/10/2016
SCALE:	N/A
JOB NO.:	00322
DRAWING NO.:	322-GDP-001

**LEGEND**

- EXISTING INTERMEDIATE CONTOUR 
- EXISTING CONTOUR INDEX 
- EXISTING EDGE OF PAVEMENT 
- PROPOSED EDGE OF PAVEMENT 
- PROPOSED HEADER CURB 
- EXISTING CURB & GUTTER 
- PROPOSED CURB & GUTTER 
- PROPOSED CG-6 OR CG-6R 
- EXISTING STORM SEWER 
- PROPOSED STORM SEWER 
- EXISTING SANITARY SEWER 
- PROPOSED SANITARY SEWER 
- PROPERTY LINE 
- CENTER LINE 
- LIMITS OF CLEARING & GRADING 
- EXISTING TREE W/DRIPLINE 
- EXISTING TREE LINE 



NO.	DATE	DESCRIPTION	BY
2	8/15/2016	PARKING LAYOUT REVISED	H.M.
1	1/6/10/2016	BUILDING FOOTPRINT REVISED	H.M.

**SPECIAL PERMIT PLAN**

**AMBASSADORS FOR JESUS**

SPRINGFIELD DISTRICT  
FAIRFAX COUNTY, VIRGINIA



**PROFESSIONAL DESIGN GROUP, INC.**  
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 CHANTILLY, VIRGINIA 20151  
 ENGINEERS, SURVEYORS, CONSULTANT  
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DESIGN BY: VO/SJ  
 DRAWN BY: VO/SJ  
 CHECKED BY: HM  
 DATE: 6/10/2016  
 SCALE: 1" = 30'  
 JOB NO.: 00322  
 DRAWING NO: 322-GDP-001

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**LEGEND**  
**PROPOSED PLANTING**

- PROPOSED TREE TO BE COUNTED FOR INTERIOR PARKING LOT LANDSCAPING
- UNDERSTORY/MEDIUM DECIDUOUS TREE - Category II
- CANOPY TREE - Category III
- CANOPY TREE - Category IV
- EVERGREEN TREE - Category III
- EVERGREEN TREE - Category IV
- EVERGREEN SHRUBS
- DECIDUOUS SHRUBS

**\*\*\* NOTE:**

1. THIS FIGURE PROVIDED SHALL BE ADJUSTED IN A LATER SUBMISSION SET OF DRAWINGS.
2. NO TREE SAVE CANOPY CREDIT IS TAKEN ALONG THE BRADDOCK ROAD BOUNDARY AT THIS TIME.
3. EXISTING TREES ALONG THIS PROPERTY LINE MAY BE INCORPORATED INTO THE SQUARE FOOTAGE OF 10-YEAR TREE CANOPY REQUIRED, IF FINAL GRADING SCHEME PERMITS.
4. **OPEN SPACE REQUIREMENTS:**  
50% UNDISTURBED OPEN SPACE = 103,415 SQ FT (2.37 AC).  
(AREA EXCEEDS THE 30% 10-YEAR TREE CANOPY REQUIREMENT, SEE NOTE #5).
5. **TREE CANOPY REQUIREMENTS:**  
FOR A SITE ZONED RESIDENTIAL R.C., THE 10-YEAR TREE CANOPY REQUIRED IS 30% OF GROSS SITE AREA:  
(206,627 SQ FT - 6,226 SQ FT: AREA DEDICATED FOR PUBLIC USE AT BRADDOCK RD.)  
GROSS SITE AREA = 200,401 SQ. FT., @ 30%  
= 60,120.3 SQ. FT. AREA OF 10-YEAR TREE CANOPY REQUIRED.
6. TREE CONSERVATION WILL BE PROVIDED DURING SITE PLAN PROCESS, WITH DETAILED TREE CANOPY AND TREE PRESERVATION CALCULATIONS.

**GENERAL NOTES:**

1. ALL LANDSCAPE PLANT MATERIALS SHALL CONFORM TO THE LATEST VERSION OF THE AMERICAN STANDARD OF NURSERY STOCK (ANSI Z60.1). PLANT MATERIAL SHALL BE OF STANDARD QUALITY OR BETTER, TRUE TO NAME AND TYPE OF THEIR SPECIES OR VARIETY.
2. LANDSCAPE PLANT MATERIALS SHALL BE PLANTED IN ACCORDANCE WITH EITHER THE STANDARDIZED LANDSCAPE SPECIFICATIONS ADOPTED BY THE VIRGINIA NURSERYMEN'S ASSOCIATION, THE VIRGINIA SOCIETY OF LANDSCAPE ENGINEERS, OR THE VIRGINIA CHAPTER OF THE AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS.
3. NO LANDSCAPING MATERIAL MAY BE PLANTED WITHIN 4 FEET OF ANY FIRE HYDRANT OR SIAMESE CONNECTION.
4. NO TREES MAY BE PLANTED WITHIN ANY EASEMENT.
5. SHRUBS WHICH ARE UPRIGHT IN NATURE SHALL BE A MINIMUM OF TWENTY FOUR (24") INCHES IN HEIGHT AT THE TIME OF PLANTING, AND SHRUBS WHICH ARE SPREADING IN NATURE SHALL BE A MINIMUM OF EIGHTEEN (18") INCHES IN DIAMETER AT THE TIME OF PLANTING.
6. CONTRACTOR TO COORDINATE WITH URBAN FORESTRY BRANCH OF FAIRFAX COUNTY BEFORE PLANTING ANY TREES.
7. TREE PLANTING FOR FILTERRA STRUCTURES TO BE PROVIDED BY MANUFACTURER.

PROPERTY LINE/ BOUNDARY	Required Transitional Screening Yard (25' width)				75% 10-Yr Tree Canopy Req'd (Sq Ft)	Ex. Tree Canopy to Remain (Sq Ft)	Adjusted 75% 10-Yr Tree Canopy Required (Sq Ft)	Tabulation: Shrub Quantity (3 per 10 linear ft.) Required	Provided		
	Length	Width	Sq Ft								
North (adjacent to Braddock Road)	345 (Res. 2)	25	8,625	0.75	6,469	0	6,469	4950	0.3	104	104
<b>Sub Total:</b>					<b>0</b>						

\*\*\* NOTE: Square Footage depicted is not final, and can be increased at later stage, to meet the tree canopy requirements.

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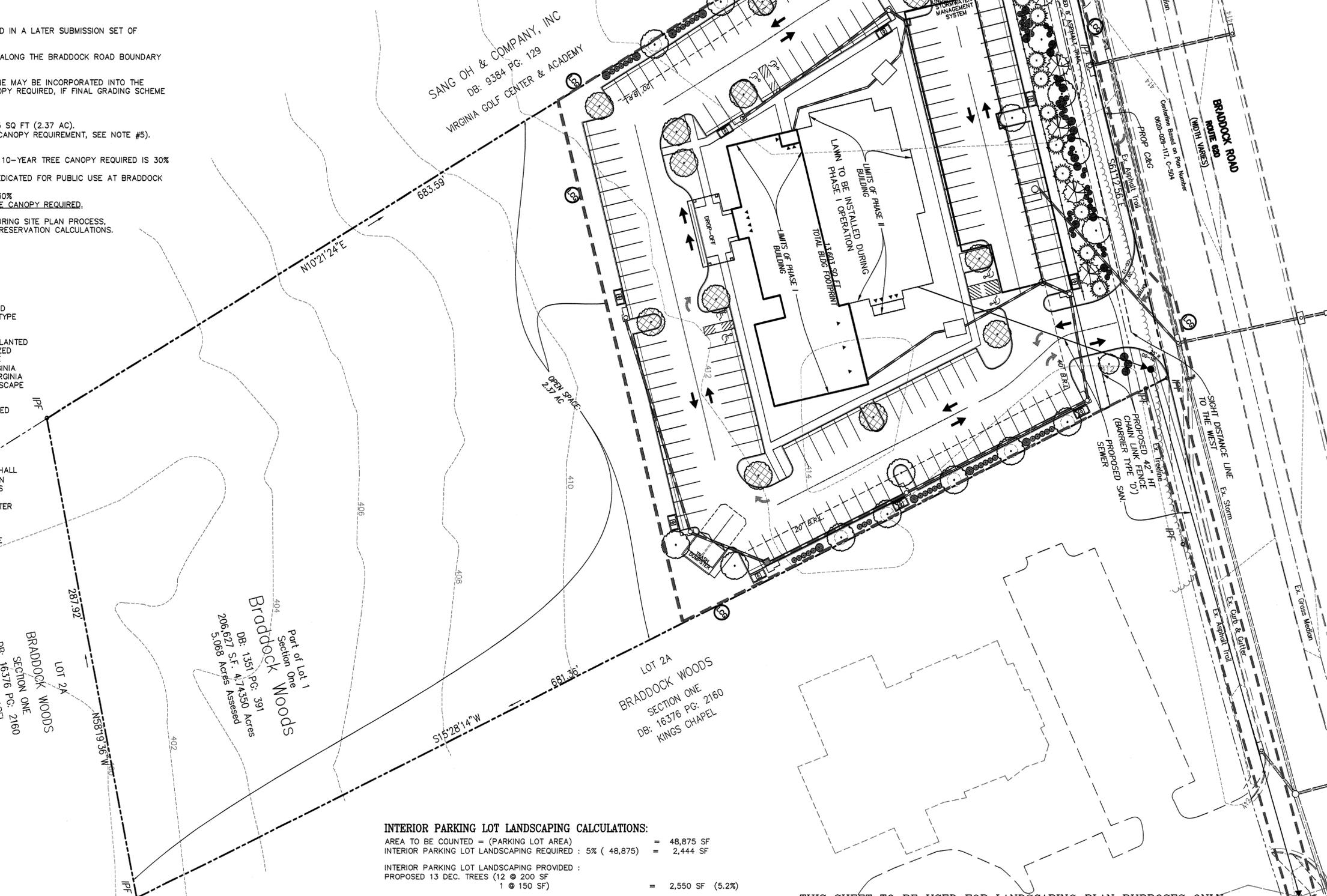
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**INTERIOR PARKING LOT LANDSCAPING CALCULATIONS:**

AREA TO BE COUNTED = (PARKING LOT AREA)	=	48,875 SF
INTERIOR PARKING LOT LANDSCAPING REQUIRED : 5% ( 48,875)	=	2,444 SF
INTERIOR PARKING LOT LANDSCAPING PROVIDED :		
PROPOSED 13 DEC. TREES (12 @ 200 SF	=	2,550 SF (5.2%)
1 @ 150 SF)		

THIS SHEET TO BE USED FOR LANDSCAPING PLAN PURPOSES ONLY



LANDSCAPE PLAN AND NOTES  
**AMBASSADORS FOR JESUS**



**PROFESSIONAL DESIGN GROUP, INC.**  
4124 WALNEY ROAD, SUITE M  
CHANTILLY, VIRGINIA 20151  
PHONE (703) 631-2344  
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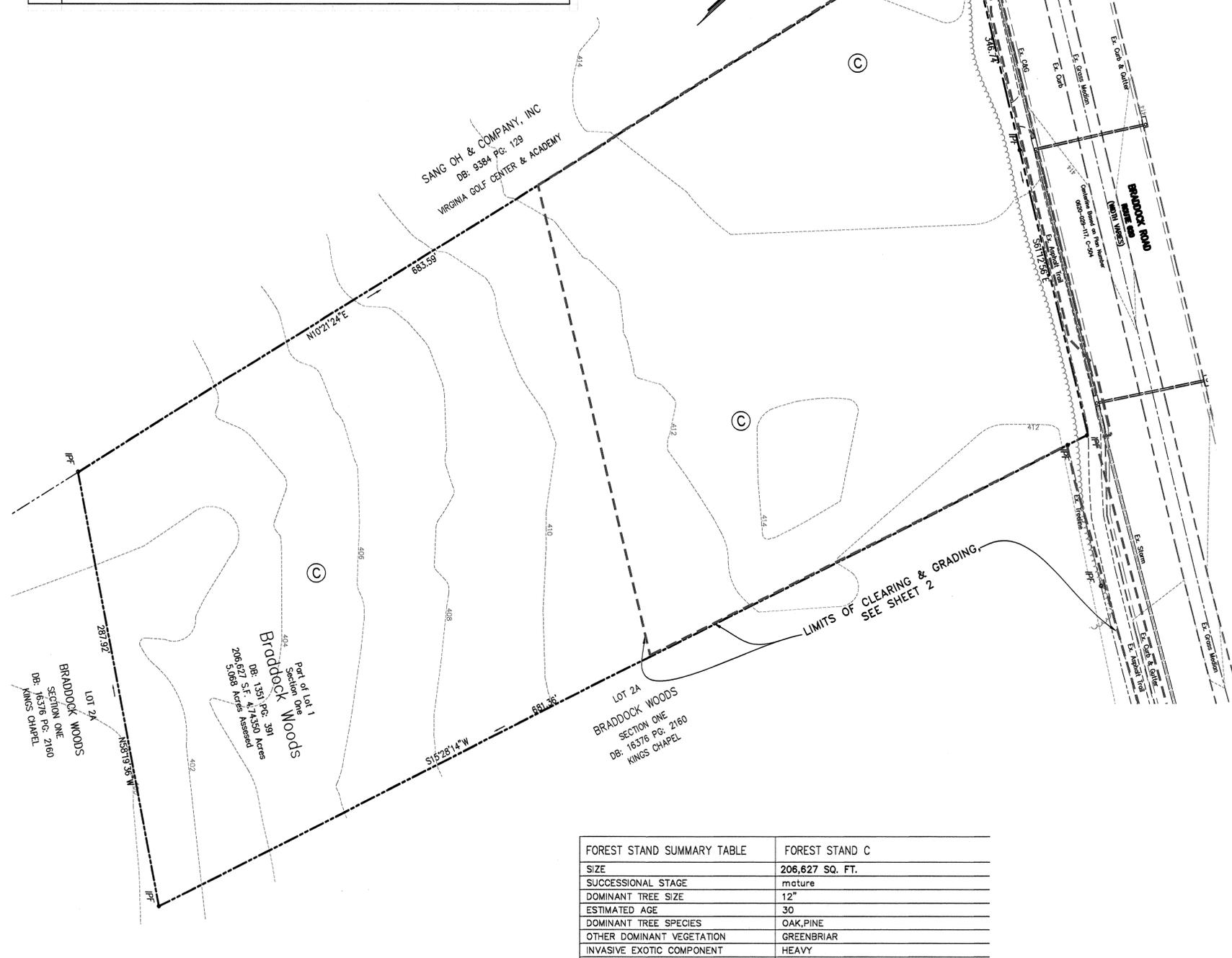
DESIGN BY: VO/SJ  
DRAWN BY: VO/SJ  
CHECKED BY: HM  
DATE: 6/10/2016  
SCALE: 1" = 30'  
JOB NO.: 00322  
DRAWING NO: 322-GDP-001

SPRINGFIELD DISTRICT  
FAIRFAX COUNTY, VIRGINIA

NO.	DATE	DESCRIPTION	BY
2.	8/15/2016	PARKING LAYOUT REVISED	H.M.
1.	6/10/2016	BUILDING FOOTPRINT REVISED	H.M.

REVISION BLOCK

A	Pre-development area of existing tree canopy (from Existing Vegetation Map) =	206,627.00
B	Percentage of gross site area covered by existing tree canopy =	100.0%
C	Percentage of 10-year tree canopy required for site (see Table 12.4) =	30.00%
D	Percentage of the 10-year tree canopy requirement that should be met through tree preservation =	100.0%
E	Proposed percentage of canopy requirement that will be met through tree preservation	172.0%
F	F Has the Tree Preservation Target minimum been met?	Yes
G	If No for line F, then a request to deviate from the Tree Preservation Target shall be provided on the plan that states one or more of the justifications listed in § 12-0507.3 along with a narrative that provides a site-specific explanation of why the	
H	If step G requires a narrative, it shall be prepared in accordance with § 12-0507.4	
I	Place this information prior to the 10-year Tree Canopy Calculations (instructions Table 12.12).	



FOREST STAND SUMMARY TABLE	FOREST STAND C
SIZE	206,627 SQ. FT.
SUCCESSIONAL STAGE	mature
DOMINANT TREE SIZE	12"
ESTIMATED AGE	30
DOMINANT TREE SPECIES	OAK, PINE
OTHER DOMINANT VEGETATION	GREENBRIAR
INVASIVE EXOTIC COMPONENT	HEAVY
GENERAL ECOLOGICAL CONDITION	POOR
COMMENTS	HEAVY DEAD FALL

COVER SYMBOL	COVER TYPE	GENERAL CONDITION	SQ FOOTAGE
C	BOTTOMLAND FOREST	AVERAGE	5,790

**LOT 1, SEC. 1  
BRADDOCK WOODS**  
FAIRFAX COUNTY, VIRGINIA  
SCALE: 1" = 40'  
DATE: JAN. 3, 2016

- NOTES:**
- THIS PROPERTY IS SHOWN ON FAIRFAX COUNTY MAP # 0662 02 0001.
  - CURRENT ZONING OF THE PROPERTY IS RC.

I CERTIFY THIS PLAN MEETS BOTH THE TREE PRESERVATION TARGET (PFM 12-501) AND THE TREE CONSERVATION PLAN (PFM 12-502) SUBMITTAL REQUIREMENTS; NO DEVIATIONS OR MODIFICATIONS TO THESE REQUIREMENTS ARE BEING REQUESTED.

W. ROSS DICKERSON, CERTIFIED ARBORIST  
W. ROSS DICKERSON DATE: ISA#MA430-5A

**THIS SHEET IS FOR EXISTING VEGETATION MAPPING PURPOSES ONLY!**

Step	Totals	Reference
<b>A. Tree Preservation Target and Statement</b>		
A1	Place the Tree Preservation Target calculations and statement here preceding the 10-year tree canopy calculations	see § 12-0507.2 for list of required elements and worksheet
<b>B. Tree Canopy Requirement</b>		
B1	Identify gross site area =	206,627.00 12-0510.1A
B2	Subtract area dedicated to parks, road frontage, and	6226 12-0510.1B
B3	Subtract area of exemptions =	0 § 12-0510.1C(1) through 12-0510.1C(6)
B4	Adjusted gross site area (B1 - B2) =	200,401.00
B5	Identify site's zoning and/or use	RESIDENTIAL RC/ CHURCH
B6	Percentage of 10-year tree canopy required =	30% § 12-509.1 and Table 12.4
B7	Area of 10-year tree canopy required (B4 x B5) =	60,120.3
B8	Modification of 10-year Tree Canopy Requirements requested?	NO Yes or No
B9	If B8 is yes, then list plan sheet where modification request is located	Sheet number
<b>C. Tree Preservation</b>		
C1	Tree Preservation Target Area =	60,120.3 sq ft
C2	Total canopy area meeting standards of 12-0200 =	103,415.0
C3	C2 x 1.25 =	129,268.8 12-0509.3B
C4	Total canopy area provided by unique or valuable forest or woodland communities =	0
C5	C4 x 1.5 =	0 12-0509.3B(1)
C6	Total of canopy area provided by "Heritage," "Memorial," "Specimen" or "Street" trees =	0
C7	C6 x 1.5 to 3.0 =	0 12-0509.3B(2)
C8	Canopy area of trees within Resource Protection Areas and 100-year flood plain =	0
C9	C8 x 1.0 =	0 § 12-0509.3C(1)
C10	Total of C3, C5, C7 and C9 =	129,268.8 If area of C10 is less than B7 remainder of requirement must be met through tree planting - goto D
<b>D. Tree Planting</b>		
D1	Area of canopy to be met through tree planting (B7-C10) =	-69,148.5
D2	Area of canopy planted for air quality benefits =	0
D3	x 1.5 =	0.0 12-0509.4B(1)
D4	Area of canopy planted for energy conservation =	N/A
D5	x 1.5 =	N/A 12-0509.4B(2)
D6	Area of canopy planted for water quality benefits =	0.0
D7	x 1.25 =	0.0 12-0509.4B(3)
D8	Area of canopy planted for wildlife benefits =	N/A
D9	x 1.5 =	N/A 12-0509.4B(4)
D10	Area of canopy provided by native trees =	10,600
D11	x 1.5 =	15,900.0 12-0509.4B(5)
D12	Area of canopy provided by improved cultivars and varieties =	0
D13	x 1.25 =	0.0 12-0509.4B(6)
D14	Area of canopy provided through tree seedlings =	N/A 12-0509.4D 1)
D15	Area of canopy provided through native shrubs or woody seed mix =	N/A § 12-0509.4D(1)(a)
D16	Percentage of D14 represented by D15 =	N/A Must not exceed 33% of D14
D17	Total of canopy area provided through tree planting =	15,900.0
D18	Is an offsite planting relief requested?	NO Yes or No
D19	Tree Bank or Tree Fund?	N/A § 12-0511
D20	Canopy area requested to be provided through offsite banking or tree fund	N/A
D21	Amount to be deposited into the Tree Preservation and Planting Fund	N/A
<b>E. Total of 10-year Tree Canopy Provided</b>		
E1	Total of canopy area provided through tree preservation (C10) =	129,268.8
E2	Total of canopy area provided through tree planting (D17) =	15,900.0
E3	Total of canopy area provided through offsite mechanism D19 =	N/A
E4	Total of 10-year Tree Canopy Provided =	145,168.8 Total of E1 through E3. Area should meet or exceed area in B6

**DICKERSON SURVEY AND ARBORIST SERVICES**  
LAND SURVEYING \* CERTIFIED ARBORISTS  
401 SOUTH JEFFERSON ST • ARLINGTON VA 22204 • [PH] 571-221-5204 •

EXISTING VEGETATION MANAGEMENT PLAN  
**AMBASSADORS FOR JESUS**  
SPRINGFIELD DISTRICT  
FAIRFAX COUNTY, VIRGINIA

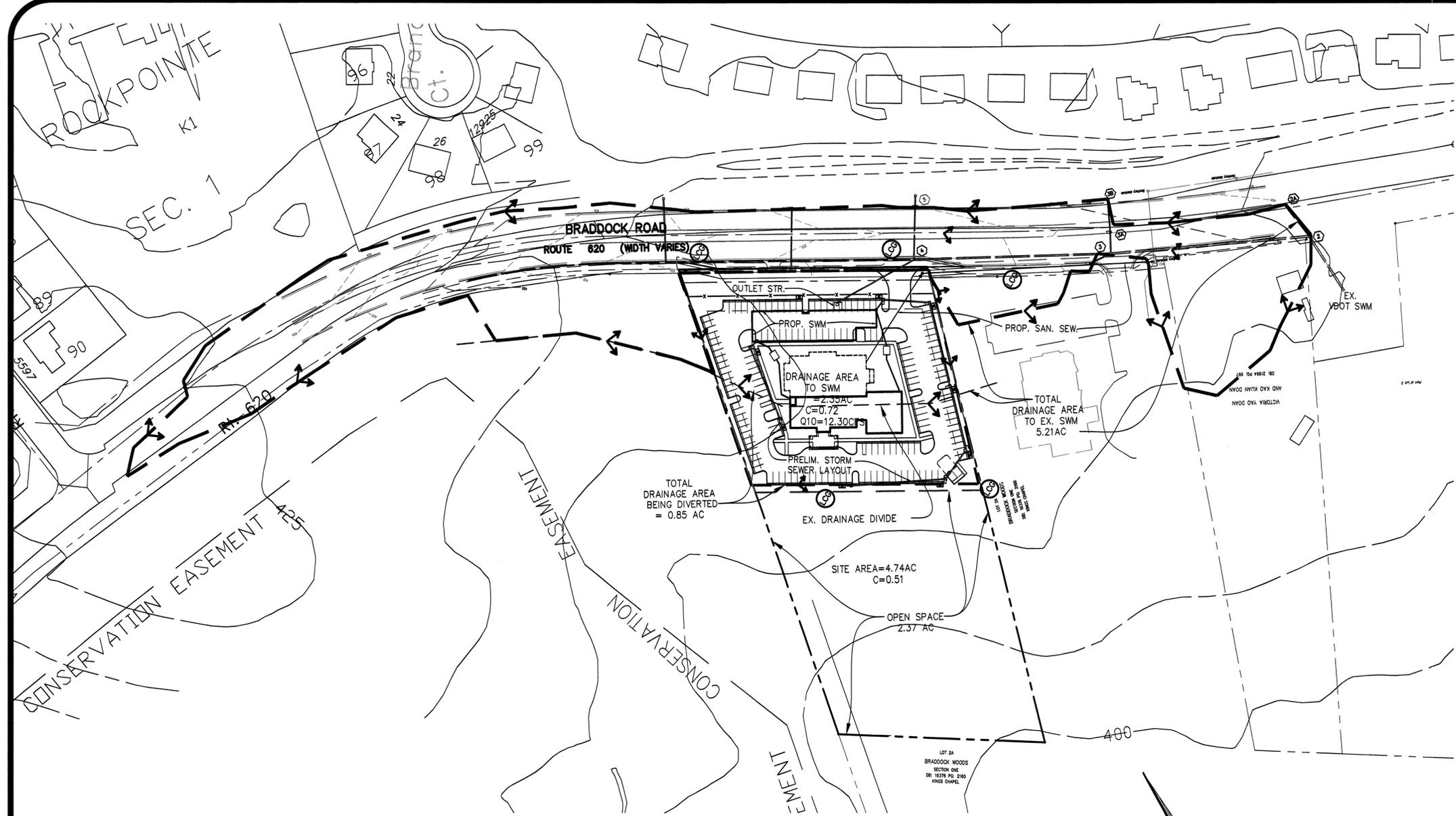
8/15/2016  
HAMID MATIN  
Lic. No. 017082  
PROFESSIONAL LAND SURVEYOR

**PROFESSIONAL DESIGN GROUP, INC.**  
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DESIGN BY: VO/SJ  
DRAWN BY: VO/SJ  
CHECKED BY: HM  
DATE: 6/10/2016  
SCALE: 1" = 40'  
JOB NO.: 00322  
DRAWING NO.: 322-GDP-001  
SHEET 4 OF 6

REVISION BLOCK

NO.	DATE	DESCRIPTION	BY
1.	6/10/2016	BUILDING FOOTPRINT REVISED	H.M.
2.	8/15/2016	PARKING LAYOUT REVISED	H.M.



Impervious Coverage Computations For Diversion Only					
Total Site Area	37505 SF	0.8610 AC	1.021 IN/HR	5.75   1.021 IN/HR	6.77
Impervious Cover:	Pre-Development		Post-Development		
	Buildings	Area SF	Area AC	Area SF	Area AC
	Parking	0	0.0000	22856	0.5247
	Miscellaneous	0	0.0000	3056	0.0474
TOTAL	0	0.0000	30059	0.6901	
Percent Imperviousness		0.00%			80.15%
Composite Rational "C" Factor		0.35			0.79
Q <sub>10</sub>	Q=CIA		1.73		3.92
Q <sub>100</sub>	Q=CIA		2.04		4.61

**DRAINAGE AREA DIVERSION:**  
 IN AN EFFORT TO REDUCE THE FLOW TO JOHNNY MOORE CREEK WATERSHED AND DUE TO LACK OF BED AND BANKS OR STORM PIPE WITHIN PROPERTY 0.85 AC OF LAND IS BEING DIVERTED TO LITTLE ROCKY RUN WATER SHED. THE FLOW IS MINIMAL AND ALL 2 AND 10 YEAR FLOW WILL BE DETAIN IN PROPOSED SWM FACILITY. THE STORM SEWER PIPE AND STRUCTURES WILL BE SIZED TO CARRY THE 2 AND 10 YEAR STORM ONLY. THE SITE WILL BE GRADED SO THAT IT WILL SLOPE TO REAR PER DRAINAGE DIVIDES. THE 50 AND 100 YEAR FLOW WILL STILL DRAIN TO JOHNNY MOORE CREEK WATERSHED AS OVERLAND RELIEF. AS DEMONSTRATED IN OUR OUTFALL NARRATIVE ALL 2 YEAR AND 10 YEAR FLOW WILL BE RELEASED FROM THE SITE WILL BE CARRIED WITH EXISTING PIPE SYSTEM AND WILL NOT HAVE ANY IMPACT ON THE ADJACENT PROPERTY DOWNSTREAM OF THIS PROJECT.

**BMP AND SWM NARRATIVE:**  
 ON-SITE STORMWATER MANAGEMENT AND BMP WILL BE SUBMITTED FOR REVIEW AT THE TIME OF SITE PLAN APPLICATION AND WILL BE PROVIDED AS FOLLOWS.  
 THE FACILITY WILL BE IN THE FORM OF FILTERRA STRUCTURES TO SERVE APPROXIMATELY 1.2 AC OF PAVED PARKING PLUS UNDERGROUND STORMFILTER TO FILTER THE ROOF DRAINS. UNDER GROUND STORM WATER DETENTION WILL ALSO BE PROVIDED TO REDUCE WATER QUANTITY IN FORM OF PIPE STORAGE OR GRAVEL RESOVAR.

**OUTFALL NARRATIVE:**  
 FOR THE POST-DEVELOPED CONDITIONS, THE STORMRUNOFF FROM THE PROPOSED BUILDING AND PARKING LOT WILL BE COLLECTED THROUGH THE PROPOSED ON SITE STORM SEWERS THEN DRAINS INTO A PROPOSED ON SITE UNDERGROUND SWM SYSTEM FOR QUANTITY AND QUALITY CONTROL, THEN OUTFLOW FROM THIS SYSTEM WILL BE DISCHARGE INTO EXISTING STORM SEWER INLET #4 TO NORTH OF SITE, THEN TRAVEL THROUGH THE EXISTING CLOSED PIPE SYSTEM ALONG BRADDOCK RD., WHICH FOUND TO BE WITHIN CAPACITY PER PFM 6-0203.3B, THEN WILL OUTFLOW DIRECTLY INTO THE EXISTING VDOT SWM POND LOCATED TO EAST OF SITE ON LOT 3, WITH NO INCREASE IN RUNOFF. PLEASE REFER TO ATTACHED PLANS.

IN OUR PROFESSIONAL OPINION THE OUTFALL IS ADEQUATE AND WILL BE NO ADVERSE IMPACT OR FLOODING DOWNSTREAM PROPERTIES, IN ACCORDANCE WITH SECTION 6-0203.1 OF THE PFM AND 124-4-3-B AND 124-4-4D OF COUNTY CODE.

**IMPERVIOUS AREA:**  
 PRE-DEVELOPED : 0.00 sf  
 POST-DEVELOPED = 73,269.86 sf (1.68AC.)  
 C PRE-DEV. = 0.30  
 C POST-DEV.=(0.9)(1.68)+(0.3)(3.06)/4.74=0.51

**RUNOFF COMPUTATIONS:**  
 TOTAL SITE AREA : 4.74 AC.  
 Q2YR. PRE-DEV. = 7.75 CFS  
 Q10YR. PRE-DEV. = 10.33 CFS  
 Q2YR. POST-DEV. = 13.17 CFS  
 Q10YR. POST-DEV. =17.57 CFS

**INCREASE IN RUN-OFF: (AMOUNT TO DETAIN)**  
 Q2YR. = 5.42 CFS  
 Q10YR. = 7.24 CFS

**SWM DETENTION PRELIMINARY SIZE APPROXIMATE FOOTPRINT**  
 SIZE = 130'X52'=6,760 S.F.  
 TOTAL DRAINAGE AREA TO DENTENTION = 2.35 AC  
 C POST-DEV.=(0.9)(1.68)+(0.3)(0.67)/2.35=0.72  
 Q2YR INFLOW = 9.22CFS  
 Q10YR INFLOW = 12.30 CFS  
 Q2YR OUTFLOW = 3.80 CFS  
 Q10YR OUTFLOW = 5.06 CFS  
 TOTAL VOLUME 2YR INFLOW=33,192.0 C.F.  
 TOTAL VOLUME 2YR OUTFLOW=13,680.00 C.F.  
 2YR VOLUME IN DETENTION=19,512.00 C.F.  
 TOTAL VOLUME 10YR INFLOW=44,280.00 C.F.  
 TOTAL VOLUME 10YR OUTFLOW=18,216.00 C.F.  
 10YR VOLUME IN DETENTION=26,064.00 C.F.  
 POND VOLUME (MIN 4' DEEP)=6,760X4=27,040.00 C.F.

NO.	DATE	DESCRIPTION	BY
2.	8/15/2016	PARKING LAYOUT REVISED	H.M.
1.	6/10/2016	BUILDING FOOTPRINT REVISED	H.M.

STORM WATER MANAGEMENT REQUIREMENTS- PLANS  
**AMBASSADORS FOR JESUS**  
 SPRINGFIELD DISTRICT  
 FAIRFAX COUNTY, VIRGINIA



**PROFESSIONAL DESIGN GROUP, INC.**  
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 ENGINEERS, SURVEYORS, CONSULTANT

DESIGN BY: VO/SJ  
 DRAWN BY: VO/SJ  
 CHECKED BY: HM  
 DATE: 6/10/2016  
 SCALE: AS SHOWN  
 JOB NO.: 00322  
 DRAWING NO.: 322-GDP-001

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Virginia Runoff Reduction Method New Development Worksheet - v2.8 - June 2014  
To be used w/ 2011 BMP Standards and Specifications

Site Data  
Project Name: Ambassador For Jesus  
Date: 12-22-2015

data input cells  
calculation cells  
constant values

1. Post-Development Project & Land Cover Information

Constants

Annual Rainfall (inches)	43
Target Rainfall Event (inches)	1.00
Phosphorus EMC (mg/L)	0.26
Target Phosphorus Target Load (lb/acre/yr)	0.41
Pj	0.90
Nitrogen EMC (mg/L)	1.86

Land Cover (acres)	A Soils	B Soils	C Soils	D Soils	Totals
Forest/Open Space (acres) - undisturbed, protected forest/open space or reforested land	0.00	0.00	0.00	2.35	2.35
Managed Turf (acres) - disturbed, graded for yards or other turf to be mowed/managed	0.00	0.00	0.00	0.71	0.71
Impervious Cover (acres)	0.00	0.00	0.00	1.68	1.68
<b>Total</b>					<b>4.74</b>

Rv Coefficients	A Soils	B Soils	C Soils	D Soils
Forest/Open Space	0.02	0.03	0.04	0.05
Managed Turf	0.15	0.20	0.22	0.25
Impervious Cover	0.95	0.95	0.95	0.95

Land Cover Summary	
Forest/Open Space Cover (acres)	2.35
Weighted Rv(orest)	0.05
% Forest	50%
Managed Turf Cover (acres)	0.71
Weighted Rv(turf)	0.25
% Managed Turf	15%
Impervious Cover (acres)	1.68
Rv(Impervious)	0.95
% Impervious	35%
Total Site Area (acres)	4.74
Site Rv	0.40
Post-Development Treatment Volume (acre-ft)	0.18
Post-Development Treatment Volume (cubic feet)	6,864
Post-Development Load (TP) (lb/yr)	4.31
Total Load (TP) Reduction Required (lb/yr)	2.37
Post-Development Load (TN) (lb/yr)	30.85

Site Results

	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E
IMPERVIOUS COVER	1.68	0.00	0.00	0.00	0.00
IMPERVIOUS COVER TREATED	1.68	0.00	0.00	0.00	0.00
TURF AREA	0.67	0.00	0.00	0.00	0.00
TURF AREA TREATED	0.67	0.00	0.00	0.00	0.00
AREA CHECK	OK	OK	OK	OK	OK

Phosphorus	
TOTAL TREATMENT VOLUME (cf)	6,864
TOTAL PHOSPHORUS LOAD REDUCTION REQUIRED (LB/YEAR)	2.37
RUNOFF REDUCTION (cf)	6761
PHOSPHORUS LOAD REDUCTION ACHIEVED (LB/YR)	3.72
ADJUSTED POST-DEVELOPMENT PHOSPHORUS LOAD (TP) (lb/yr)	0.60
REMAINING PHOSPHORUS LOAD REDUCTION (LB/YR) NEEDED	CONGRATULATIONS!! YOU EXCEEDED THE TARGET REDUCTION BY 1.3 LB/YEAR!!

Nitrogen (for information purposes)	
TOTAL TREATMENT VOLUME (cf)	6,864
RUNOFF REDUCTION (cf)	6761
NITROGEN LOAD REDUCTION ACHIEVED (LB/YR)	28.74
ADJUSTED POST-DEVELOPMENT NITROGEN LOAD (TN) (lb/yr)	3.11

Target Rainfall Event (in)	1-year storm	2-year storm	10-year storm
Target Rainfall Event (in)	1.70	2.00	3.00
<b>Drainage Area A</b>			
Drainage Area (acres)	2.35		
Runoff Reduction Volume (cf)	5,781		
<b>Drainage Area B</b>			
Drainage Area (acres)	0.00		
Runoff Reduction Volume (cf)	0		
<b>Drainage Area C</b>			
Drainage Area (acres)	0.00		
Runoff Reduction Volume (cf)	0		
<b>Drainage Area D</b>			
Drainage Area (acres)	0.00		
Runoff Reduction Volume (cf)	0		
<b>Drainage Area E</b>			
Drainage Area (acres)	0.00		
Runoff Reduction Volume (cf)	0		

Based on the use of Runoff Reduction practices in the selected drainage areas, the spreadsheet calculates an adjusted Rv<sub>Developed</sub> and adjusted Curve Number.

Drainage Area A	A Soils	B Soils	C Soils	D Soils	Weighted CN
Forest/Open Space - undisturbed, protected forest/open space or reforested land	0.00	0.00	0.00	0.00	0.00
Area (acres)	30	55	70	77	
CN	39	51	74	80	
Managed Turf - disturbed, graded for yards or other turf to be mowed/managed	0.00	0.00	0.00	1.68	
Area (acres)	98	98	98	98	
CN	98	98	98	98	
Impervious Cover					98
Adjusted CN					0.75
Rv <sub>Developed</sub> (ft) with no Runoff Reduction	1.04	1.31	2.25		
Rv <sub>Developed</sub> (ft) with Runoff Reduction	0.37	0.64	1.58		
Adjusted CN	79	82	88		

Virginia Runoff Reduction Method New Development Worksheet - v2.8 - June 2014

Update Summary Sheet

Print

Site Data Summary

Total Rainfall = 43 inches

Site Land Cover Summary

	A Soils	B Soils	C Soils	D Soils	Total	% of Total
Forest (acres)	0.00	0.00	0.00	2.35	2.35	49.58
Turf (acres)	0.00	0.00	0.00	0.71	0.71	14.98
Impervious (acres)	0.00	0.00	0.00	1.68	1.68	35.44
					4.74	100.00

Site Rv	0.40
Post Development Treatment Volume (ft <sup>3</sup> )	6864
Post Development TP Load (lb/yr)	4.31
Post Development TN Load (lb/yr)	30.85
Total TP Load Reduction Required (lb/yr)	2.37

Total Runoff Volume Reduction (ft <sup>3</sup> )	5761
Total TP Load Reduction Achieved (lb/yr)	4
Total TN Load Reduction Achieved (lb/yr)	28.74
Adjusted Post Development TP Load (lb/yr)	0.60
Remaining Phosphorous Load Reduction (lb/yr) Required	0.00

Drainage Area Summary

	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	Total
Forest (acres)	0.00	0.00	0.00	0.00	0.00	0.00
Turf (acres)	0.67	0.00	0.00	0.00	0.00	0.67
Impervious (acres)	1.68	0.00	0.00	0.00	0.00	1.68

Drainage Area Compliance Summary

	D.A. A	D.A. B	D.A. C	D.A. D	D.A. E	Total
TP Load Red. (lb/yr)	3.72	0.00	0.00	0.00	0.00	3.72
TN Load Red. (lb/yr)	28.74	0.00	0.00	0.00	0.00	28.74

Drainage Area A Summary

Land Cover Summary	A Soils	B Soils	C Soils	D Soils	Total	% of Total
Forest (acres)	0.00	0.00	0.00	0.00	0.00	0.00
Turf (acres)	0.00	0.00	0.00	0.67	0.67	28.51
Impervious (acres)	0.00	0.00	0.00	1.68	1.68	71.49
					2.35	

BMP Selections

Practice	Credit Area (acres)	Downstream Practice

Total Impervious Cover Treated (acres)	1.68
Total Turf Area Treated (acres)	0.67
Total TP Load Reduction Achieved in D.A. A (lb/yr)	3.72
Total TN Load Reduction Achieved in D.A. A (lb/yr)	28.74

MINIMUM STORMWATER INFORMATION FOR REZONING, SPECIAL EXCEPTION, SPECIAL PERMIT AND DEVELOPMENT PLAN APPLICATIONS

The following information is required to be shown or provided in all zoning applications, or a waiver request of the submission requirement with justification shall be attached. Note: Waivers will be acted upon separately. Failure to adequately address the required submission information may result in a delay in processing this application.

This information is required under the following Zoning Ordinance Sections:

- Special Permits (Sect. 8-011 2J & 2L)
- Cluster Subdivision (Sect. 9-615 1G & 1N)
- Development Plans PRC District (Sect. 16-302 3 & 4L)
- FDP P Districts (Sect. 16-502 1A (6) & (17))
- Special Exceptions (Sect. 9-011 2J & 2L)
- Commercial Revitalization Districts (Sect. 9-622 2A (12) & (14))
- PRC Plan (Sect. 16-303 1E & 1 O)
- Amendments (Sect. 18-202 10F & 10I)

- Plat is at a minimum scale of 1"=50' (Unless it is depicted on one sheet with a minimum scale of 1"=100)
- A graphic depicting the stormwater management facility(ies) and limits of clearing and grading accommodate the stormwater management facility(ies), storm drainage pipe systems and outlet protection, pond spillways, access roads, site outfalls, energy dissipation devices, and stream stabilization measures as shown on Sheet(s) 5. If infiltration is proposed the soils should be tested for suitability prior to submission of the development plan and results of the infiltration test provided as part of the description of the facility.

3. Provide:

Facility Name/Type & No. (E.g. dry pond, infiltration trench, underground vault, etc.)	On-site area served (acres)	Off-site area served (acres)	Drainage area (acres)	Footprint area (sf)	Storage volume (cf)	If pond, dam height (ft)
Underground inf.	2.35		2.35	6760	27,040	NA
Totals:						

- Onsite drainage channels, outfalls and pipe systems are shown on Sheet(s) 5. Pond inlet and outlet pipe systems are shown on Sheet(s) 5.
- Maintenance access (road) to stormwater management facility(ies) are shown on Sheet(s) 5. Type of maintenance access road surface noted on the plat is (asphalt, geoblock gravel, etc.)
- Landscaping and tree preservation in and near the stormwater management facility is shown on Sheet(s) 3, 4.
- Stormwater management and BMP narratives including Virginia Runoff Reduction Spreadsheet and descriptions of how detention and best management practices requirements will be met are provided on Sheet(s) 6.
- A description of existing conditions of each numbered site outfall extended downstream from the site to a point which is at least 100 times the site area or which has a drainage area of at least one square mile (640 acres) is provided on Sheet(s) 6. If the outfall is proposed to be improved off-site it should be specifically noted.
- A detailed description and analysis of how the channel protection requirements and flood protection requirements of each numbered outfall will be satisfied per Stormwater Management Ordinance and Public Facilities Manual are provided on Sheet(s) 6.
- Existing topography with maximum contour intervals of two (2) feet and a note as to whether it is an air survey or field run is provided on Sheet(s) 2.
- A submission waiver is required for \_\_\_\_\_
- Stormwater management is not required because \_\_\_\_\_

Revised: 8/4/2015

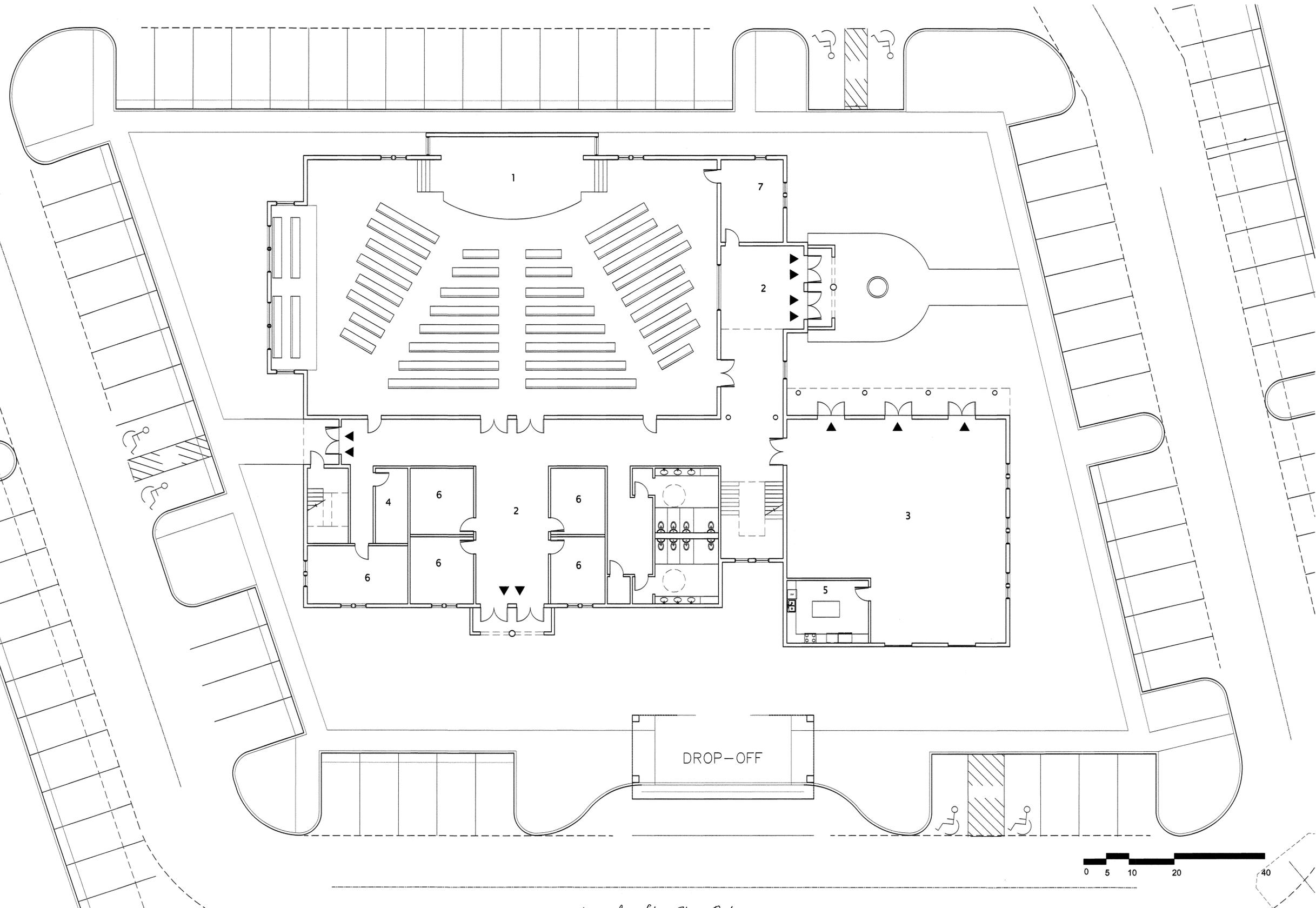
NO.	DATE	DESCRIPTION	REVISION BLOCK
2	8/15/2016	PARKING LAYOUT REVISED	H.M.
1	6/10/2016	BUILDING FOOTPRINT REVISED	H.M.

STORM WATER MANAGEMENT REQUIREMENTS-COMPUTATIONS  
**AMBASSADORS FOR JESUS**  
FAIRFAX COUNTY, VIRGINIA  
SPRINGFIELD DISTRICT



PROFESSIONAL DESIGN GROUP, INC.  
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ENGINEERS, SURVEYORS, CONSULTANT

DESIGN BY: VO/SJ  
DRAWN BY: VO/SJ  
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DATE: 6/10/2016  
SCALE: N/A  
JOB NO.: 00322  
DRAWING NO.: 322-GDP-001  
SHEET 6 OF 6

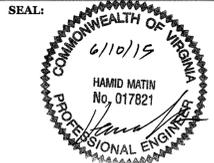


- 1 SANCTUARY
- 2 VESTIBULE
- 3 FELLOWSHIP HALL
- 4 STORAGE
- 5 KITCHEN
- 6 CLASSROOM
- 7 OFFICE

*This sheet is for floor plan only*



**A/E**  
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 Fairfax, VA 22030  
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 amassoud@cox.net

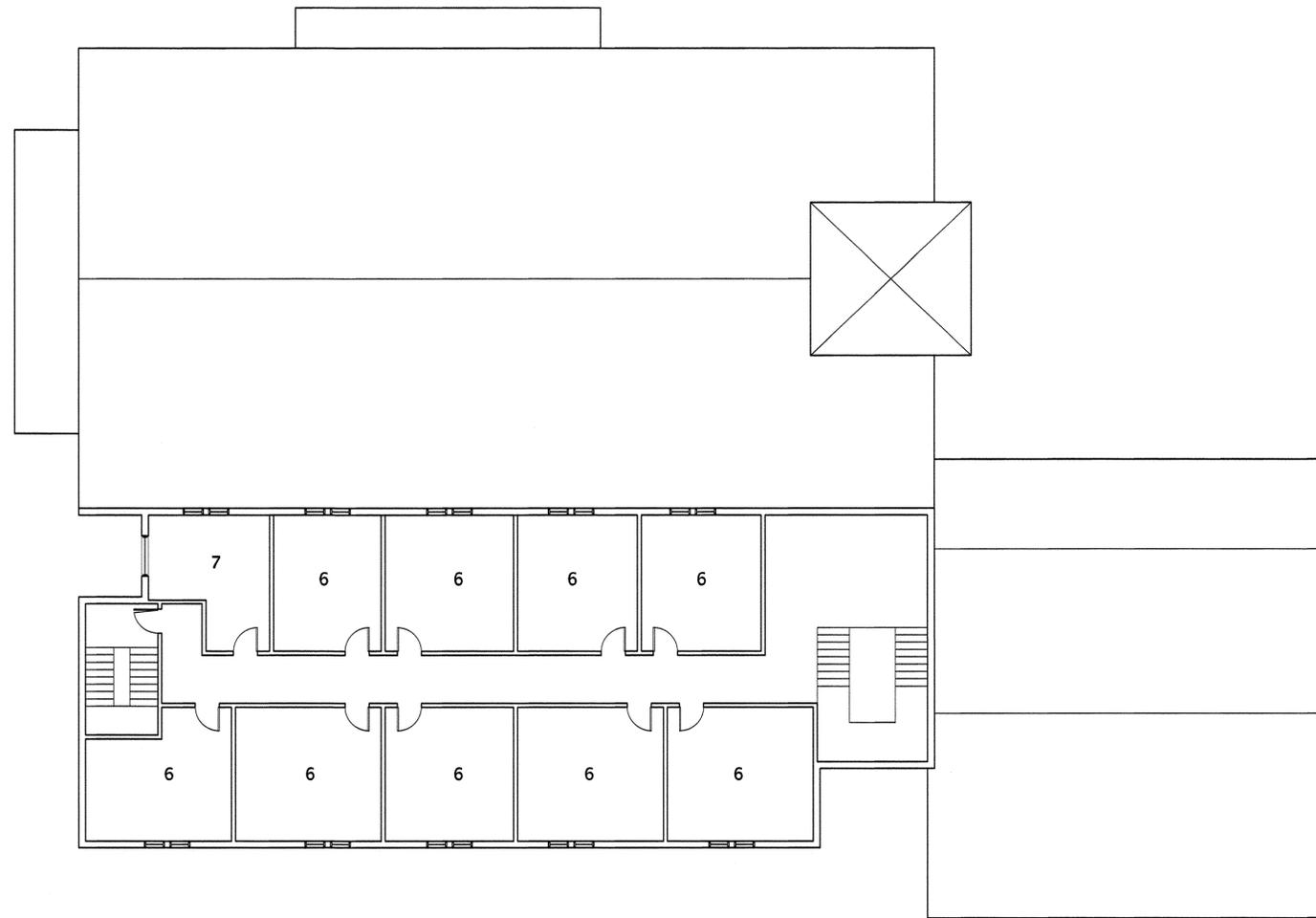


**AMBASSADORS OF JESUS CHRIST**  
 12939 BRADDOCK ROAD, FAIRFAX, VA 20124  
 CONCEPT DESIGN

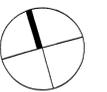
ISSUE	DATE
	6-10-2016

**DRAWING TITLE:**  
 FIRST FLOOR PLAN

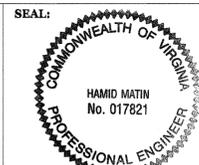
**DRAWING NUMBER:**  
**A1.0**



- 1 SANCTUARY
- 2 VESTIBULE
- 3 FELLOWSHIP HALL
- 4 STORAGE
- 5 KITCHEN
- 6 CLASSROOM
- 7 OFFICE



**A/E**  
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 (703) 909-6974  
 amassoud@cox.net

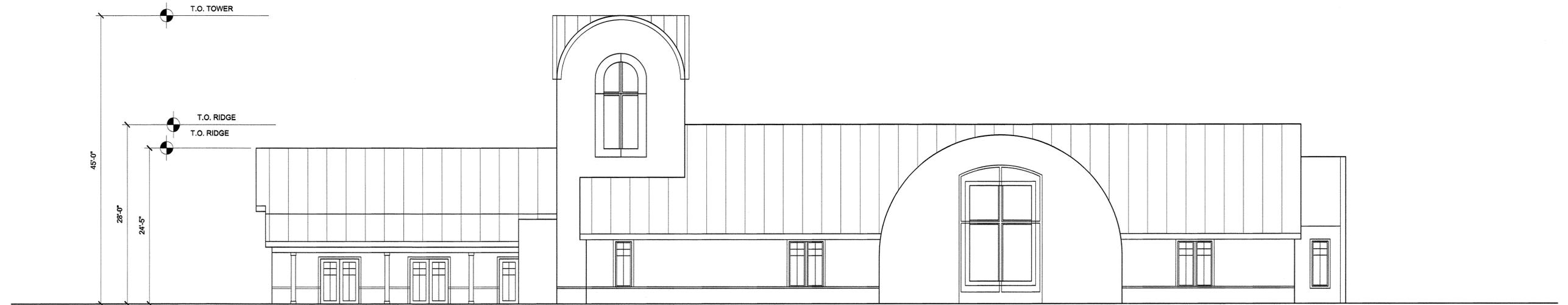


**AMBASSADORS OF JESUS CHRIST**  
 12939 BRADDOCK ROAD, FAIRFAX, VA 20124  
 CONCEPT DESIGN

ISSUE	DATE
	6-10-2016

**DRAWING TITLE:**  
 SECOND FLOOR PLAN

**DRAWING NUMBER:**  
**A1.1**



**(A) BRADDOCK RD. ELEVATION (NORTH)**

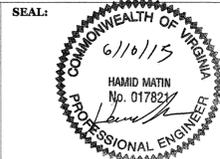
1/8"=1'-0"



**(B) WEST ELEVATION**

1/8"=1'-0"

**A/E**  
 DESIGN AMERICA ENGINEERING  
 Alfons Massoud  
 12605 Blythewood Drive  
 Fairfax, VA 22030  
 (703) 909-6974  
 amassoud@cox.net



**AMBASSADORS OF JESUS CHRIST**  
 12939 BRADDOCK ROAD, FAIRFAX, VA 20124  
 CONCEPT DESIGN

ISSUE	DATE
	6-10-2016

**DRAWING TITLE:**  
 ELEVATIONS

DRAWING NUMBER:

**A2.0**



**(A) SOUTH ELEVATION**  
 1/8"=1'-0"  
 0 4' 8' 16' 32'



**(B) EAST ELEVATION**  
 1/8"=1'-0"

**A/E**  
 DESIGN AMERICA ENGINEERING  
 Alons Massoud  
 12605 Blythewood Drive  
 Fairfax, VA 22030  
 (703) 909-6974  
 amassoud@cox.net



**AMBASSADORS OF JESUS CHRIST**  
 12939 BRADDOCK ROAD, FAIRFAX, VA 20124  
 CONCEPT DESIGN

ISSUE	DATE
	6-10-2016

**DRAWING TITLE:**  
 ELEVATIONS

**DRAWING NUMBER:**  
 A2.1

SUPERVISED BY: ED SEITZ (703) 383-2201  
 DESIGNED BY: TAF GROUP (757) 340-0322  
 CADD OPERATOR: MRE/JLD/JT  
 REVISED BY:

PLAN	NO.
REVISION	DATE

REVISED	FHWA REGION	STATE	FEDERAL AID PROJECT	ROUTE	STATE PROJECT	SHEET NO.
8/24/95, 9/21/95 12/20/95, 3/15/96 4/19/96, 8/16/96 8/26/96, 9/04/96 9/11/96, 10/11/96 11/15/96	3	VA.		620	0620-029-117, C-504	10

**UTILITY OWNERS**

POWER POLES:  
 VIRGINIA POWER OR  
 NORTHERN VIRGINIA ELECTRIC  
 COOPERATIVE

TELEPHONE POLES:  
 C&P TELEPHONE

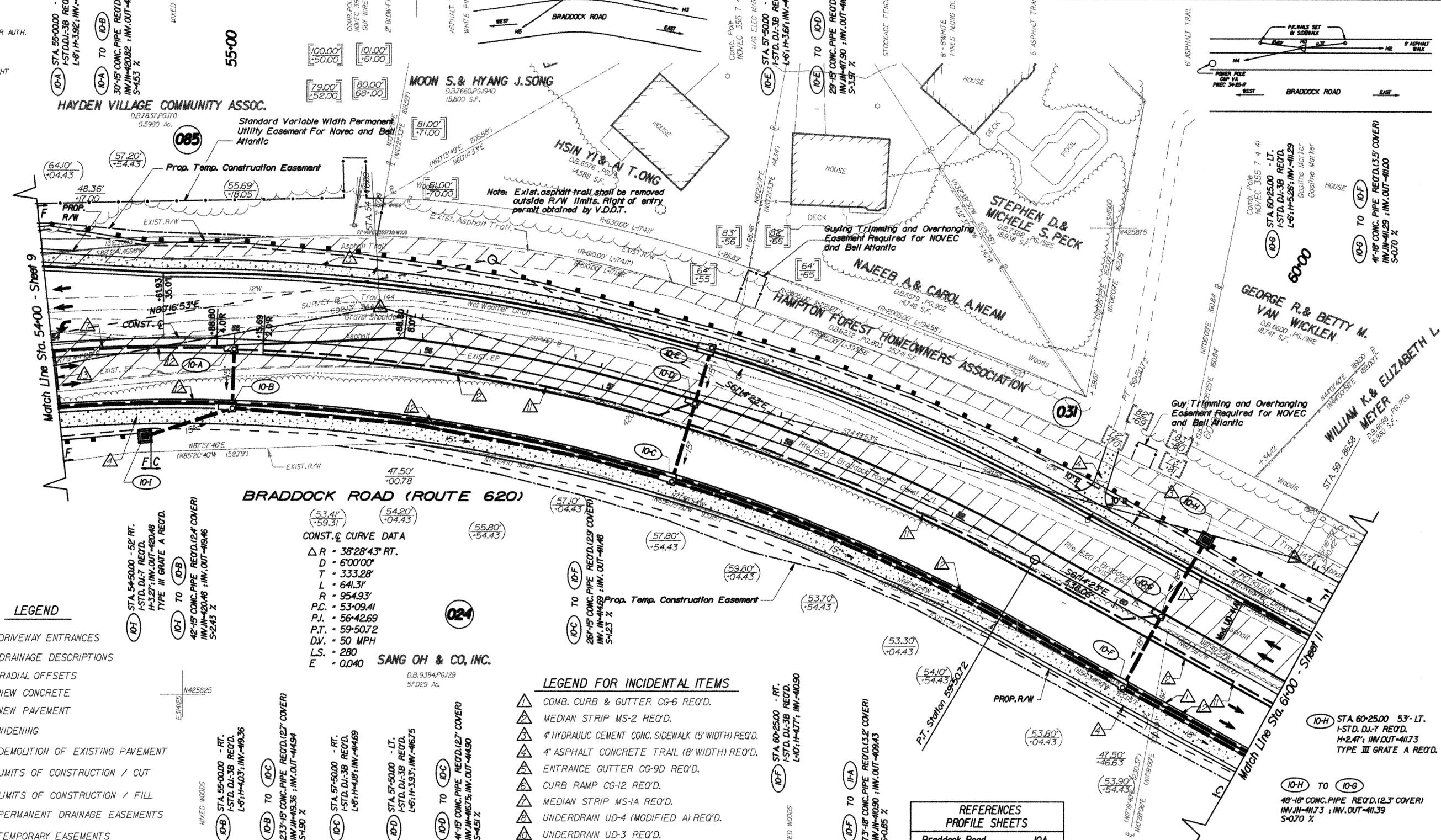
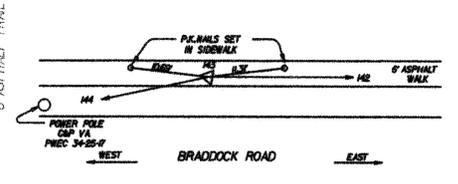
WATER LINES:  
 CITY OF FAIRFAX OR  
 FAIRFAX COUNTY WATER AUTH.

SEWER LINES:  
 COUNTY OF FAIRFAX

CABLE TELEVISION:  
 MEDIA GENERAL

GAS LINES:  
 WASHINGTON GAS & LIGHT  
 FUEL LINES:  
 COLONIAL PIPELINE CO.

DESIGN FEATURES RELATING TO CONSTRUCTION OR TO REGULATION AND CONTROL OF TRAFFIC MAY BE SUBJECT TO CHANGE AS DEEMED NECESSARY BY THE DEPARTMENT



**LEGEND**

- (I) DENOTES DRIVEWAY ENTRANCES
- (20-A) DENOTES DRAINAGE DESCRIPTIONS
- (101) DENOTES RADIAL OFFSETS
- [Pattern] DENOTES NEW CONCRETE
- [Pattern] DENOTES NEW PAVEMENT
- [Pattern] DENOTES WIDENING
- [Pattern] DENOTES DEMOLITION OF EXISTING PAVEMENT
- C DENOTES LIMITS OF CONSTRUCTION / CUT
- F DENOTES LIMITS OF CONSTRUCTION / FILL
- T DENOTES PERMANENT DRAINAGE EASEMENTS
- T DENOTES TEMPORARY EASEMENTS
- T DENOTES PERMANENT UTILITY EASEMENTS
- RIGHT OF WAY AND EASEMENTS REFERENCED FROM CONSTRUCTION
- [Symbol] DENOTES TEMPORARY FILTER BARRIER

**CONST. CURVE DATA**

Δ R = 38°28'43" RT.  
 D = 600'00"  
 T = 333.28'  
 L = 641.31'  
 R = 954.93'  
 P.C. = 53+09.41  
 P.T. = 59+50.72  
 D.V. = 50 MPH  
 L.S. = 280  
 E = 0.040

**SANG OH & CO. INC.**  
 D.B. 9384.PGJ29  
 57,029 Ac.

**LEGEND FOR INCIDENTAL ITEMS**

- [Symbol] COMB. CURB & GUTTER CG-6 REQ'D.
- [Symbol] MEDIAN STRIP MS-2 REQ'D.
- [Symbol] 4" HYDRAULIC CEMENT CONC. SIDEWALK (5' WIDTH) REQ'D.
- [Symbol] 4" ASPHALT CONCRETE TRAIL (8' WIDTH) REQ'D.
- [Symbol] ENTRANCE GUTTER CG-9D REQ'D.
- [Symbol] CURB RAMP CG-12 REQ'D.
- [Symbol] MEDIAN STRIP MS-1A REQ'D.
- [Symbol] UNDERDRAIN UD-4 (MODIFIED A) REQ'D.
- [Symbol] UNDERDRAIN UD-3 REQ'D.
- [Symbol] UNDERDRAIN UD-2 REQ'D.
- [Symbol] UNDERDRAIN UD-4 (MODIFIED B) REQ'D.
- [Symbol] COMB. UNDERDRAIN CD-2 REQ'D.

**REFERENCES**  
 PROFILE SHEETS  
 Braddock Road 10A

**FOR INFORMATION ONLY**

**WARREN E. & JOAN C. TUTHILL**  
 D.B. 2543, PG.695  
 5,117 Ac.

SCALE  
 0 25' 50'

PLAN NO.	PROJECT	FILE NO.	SHEET NO.
	0620-029-117,C-504	70-12-1	10

SUPERVISED BY: ED SEITZ (703) 383-2201  
 DESIGNED BY: TAF GROUP (757) 340-0322  
 CADD OPERATOR: MRE/JLD/JT  
 REVISED BY:

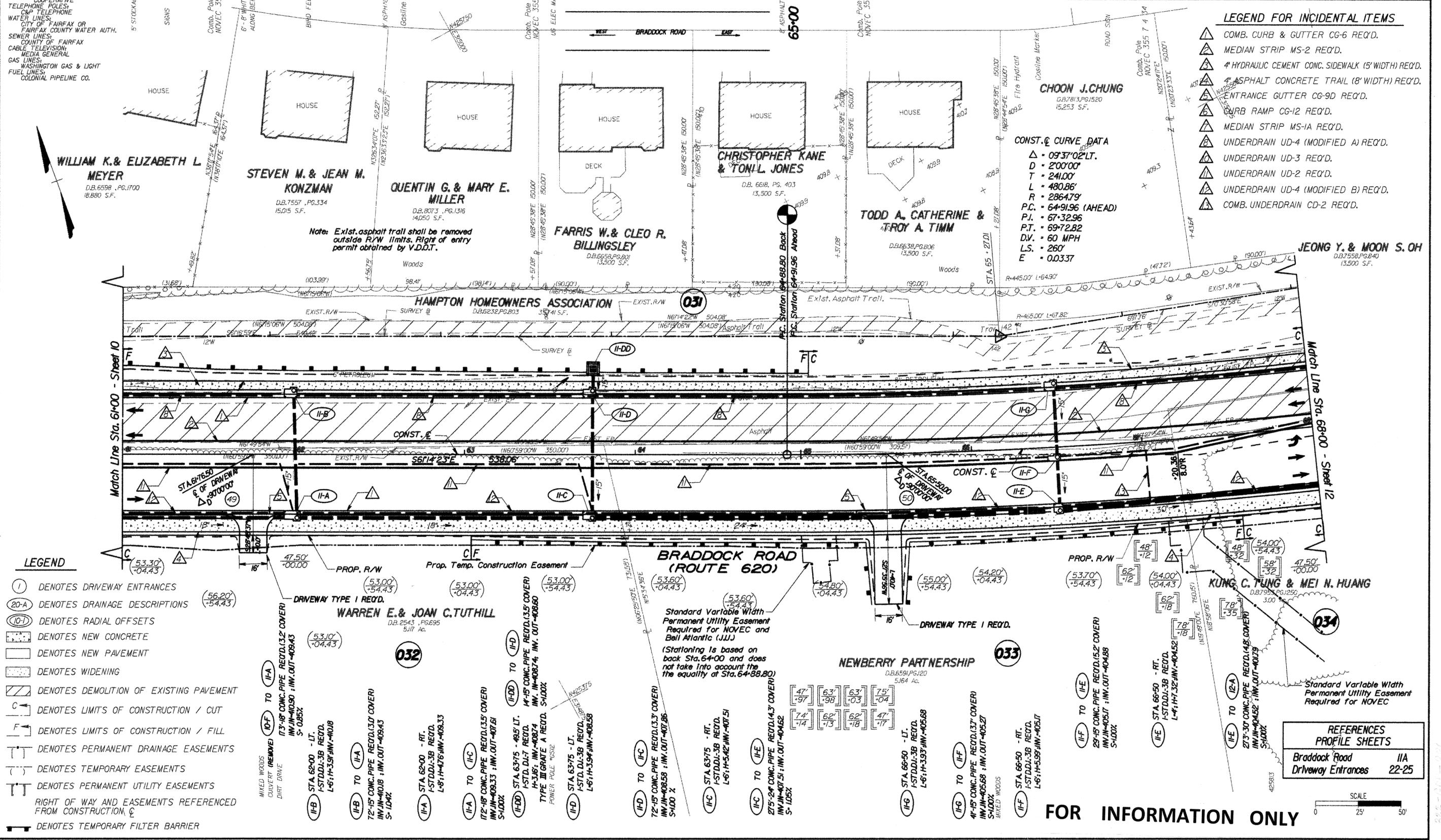
PLAN NO.	REVISION	DATE

UTILITY OWNERS POWER POLES: VIRGINIA POWER OR NORTHERN VIRGINIA ELECTRIC COOPERATIVE TELEPHONE POLES: COM. TELEPHONE WATER LINES: CITY OF FAIRFAX OR FAIRFAX COUNTY WATER AUTH. SEWER LINES: COUNTY OF FAIRFAX CABLE TELEVISION: MEDIA GENERAL GAS LINES: WASHINGTON GAS & LIGHT FUEL LINES: COLONIAL PIPELINE CO.	REVISED 8/24/95, 9/10/95 12/20/95, 3/15/96 4/19/96, 6/19/96 8/16/96, 8/26/96 9/04/96, 10/11/96 11/15/96, 3/2/97	FEDERAL AID PROJECT ROUTE STATE PROJECT	FEDERAL AID PROJECT ROUTE STATE PROJECT	SHEET NO. 11
	DESIGN FEATURES RELATING TO CONSTRUCTION OR TO REGULATION AND CONTROL OF TRAFFIC MAY BE SUBJECT TO CHANGE AS DEEMED NECESSARY BY THE DEPARTMENT	3 VA.	620 0620-029-117, C-504	0620-029-117, C-504

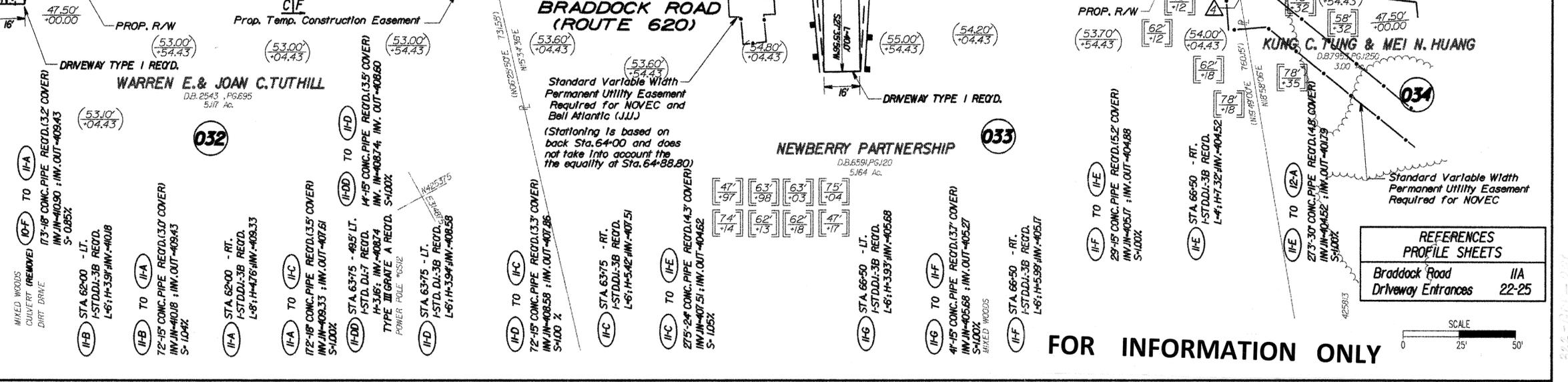
- LEGEND FOR INCIDENTAL ITEMS**
- △ COMB. CURB & GUTTER CG-6 REQ'D.
  - △ MEDIAN STRIP MS-2 REQ'D.
  - △ 4" HYDRAULIC CEMENT CONC. SIDEWALK (15' WIDTH) REQ'D.
  - △ 4" ASPHALT CONCRETE TRAIL (8' WIDTH) REQ'D.
  - △ ENTRANCE GUTTER CG-9D REQ'D.
  - △ CURB RAMP CG-12 REQ'D.
  - △ MEDIAN STRIP MS-1A REQ'D.
  - △ UNDERDRAIN UD-4 (MODIFIED A) REQ'D.
  - △ UNDERDRAIN UD-3 REQ'D.
  - △ UNDERDRAIN UD-2 REQ'D.
  - △ UNDERDRAIN UD-4 (MODIFIED B) REQ'D.
  - △ COMB. UNDERDRAIN CD-2 REQ'D.

**CONST. & CURVE DATA**

Δ - 09°37'02" LT.  
 D - 2'00'00"  
 L - 241.00'  
 T - 480.86'  
 R - 286.479'  
 P.C. - 64+91.96 (AHEAD)  
 P.I. - 67+32.96  
 P.T. - 69+72.82  
 D.V. - 60 MPH  
 L.S. - 260'  
 E - 0.0337



- LEGEND**
- ① DENOTES DRIVEWAY ENTRANCES
  - ②0-A DENOTES DRAINAGE DESCRIPTIONS
  - ①01 DENOTES RADIAL OFFSETS
  - ▨ DENOTES NEW CONCRETE
  - ▨ DENOTES NEW PAVEMENT
  - ▨ DENOTES WIDENING
  - ▨ DENOTES DEMOLITION OF EXISTING PAVEMENT
  - C DENOTES LIMITS OF CONSTRUCTION / CUT
  - F DENOTES LIMITS OF CONSTRUCTION / FILL
  - T DENOTES PERMANENT DRAINAGE EASEMENTS
  - T DENOTES TEMPORARY EASEMENTS
  - T DENOTES PERMANENT UTILITY EASEMENTS
  - RIGHT OF WAY AND EASEMENTS REFERENCED FROM CONSTRUCTION, &
  - ▨ DENOTES TEMPORARY FILTER BARRIER



**REFERENCES PROFILE SHEETS**

Braddock Road	IIA
Driveway Entrances	22-25

**FOR INFORMATION ONLY**

SCALE: 0 25' 50'

PLAN NO.	PROJECT	FILE NO.	SHEET NO.
0620-029-117, C-504	70-12-1	11	11

**UTILITY OWNERS**  
 POWER LINES:  
 VIRGINIA POWER OR  
 NORTHERN VIRGINIA ELECTRIC  
 COOPERATIVE  
 TELEPHONE LINES:  
 C&P TELEPHONE  
 WATER LINES:  
 CITY OF FAIRFAX OR  
 FAIRFAX COUNTY WATER AUTH.  
 SEWER LINES:  
 COUNTY OF FAIRFAX  
 CABLE TELEVISION:  
 MEDIA GENERAL  
 GAS LINES:  
 WASHINGTON GAS & LIGHT  
 FUEL LINES:  
 COLONIAL PIPELINE CO.

**CONST. CURVE DATA**  
 Δ = 09°37'02" LT.  
 D = 2'00'00"  
 T = 241.00'  
 L = 480.86'  
 R = 2864.79'  
 P.C. = 64+91.96 (AHEAD)  
 P.I. = 67+32.96  
 P.T. = 69+72.82  
 D.V. = 60 MPH  
 L.S. = 260'  
 E = 0.0337

**JEONG Y. & MOON S. OH**  
 D.B. 7558, P.G. 840  
 13,500 S.F.

**GREGORY D. HAMMOND & JULIA M. PALUCH**  
 D.B. 679, P.G. 325  
 13,500 S.F.

**HUONG T. LE & DUNG B. PHAN**  
 D.B. 7799, P.G. 109  
 13,500 S.F.

**PHILLIP J. & BARBARA K. CHMELESKI**  
 D.B. 7862, P.G. 498  
 13,500 S.F.

**EILEEN WOLSTADT**  
 D.B. 9366, P.G. 1658  
 14,865 S.F.

**SIMON J. & JENNIFER Y. HEU**  
 D.B. 8809, P.G. 749  
 14,865 S.F.

**ROBBIE B. & ELAINE B. BROWN**  
 D.B. 7738, P.G. 565  
 13,320 S.F.

**EUGENE & IRENE H. ESKILDSEN**  
 D.B. 7658, P.G. 53  
 13,320 S.F.

Note: Exist. asphalt trail shall be removed outside R/W limits. Right of entry permit obtained by V.D.O.T.

Note: Exist. asphalt trail shall be removed outside R/W limits. Right of entry permit obtained by V.D.O.T.

REVISED	FHWA REGION	STATE	FEDERAL AID	ROUTE	STATE	PROJECT	SHEET NO.
8/24/95, 9/10/95, 12/29/95, 3/15/96, 4/19/96, 6/19/96, 8/16/96, 8/26/96, 10/14/96, 10/15/96, 11/11/96, 12/28/97	3	VA.		620	0620-029-117, C-504	12	

SUPERVISED BY: ED SHITZ (703) 383-2201  
 DESIGNED BY: TAF GROUP (757) 340-0322  
 CADD OPERATOR: [REDACTED]  
 REVISED BY:



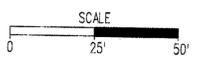
**LEGEND 034**

**LEGEND FOR INCIDENTAL ITEMS**

- ▲ COMB. CURB & GUTTER CG-6 REQ'D.
- ▲ MEDIAN STRIP MS-2 REQ'D.
- ▲ 4" HYDRAULIC CEMENT CONC. SIDEWALK (5' WIDTH) REQ'D.
- ▲ ASPHALT CONCRETE TRAIL (8' WIDTH) REQ'D.
- ▲ ENTRANCE GUTTER CG-9 REQ'D.
- ▲ CURB RAMP CG-12 REQ'D.
- ▲ MEDIAN STRIP MS-1A REQ'D.
- ▲ UNDERDRAIN UD-4 (MODIFIED A) REQ'D.
- ▲ UNDERDRAIN UD-3 REQ'D.
- ▲ UNDERDRAIN UD-2 REQ'D.
- ▲ UNDERDRAIN UD-4 (MODIFIED B) REQ'D.
- ▲ COMB. UNDERDRAIN CD-2 REQ'D.
- ▲ STD. PE-1 DRIVEWAY REQ'D.

**REFERENCES PROFILE SHEETS**

Braddock Road	12A
Homewood Way	12B
Doyle Road	12B
Driveway Entrances 22-25	



FOR INFORMATION ONLY

322-GBP-001

## SPECIAL PERMIT REQUEST

The applicant requests special permit approval for a place of worship with a maximum of 350 seats in a new, 20,000 square foot building with a 159-space parking lot.

A copy of the special permit amendment plat titled, "Special Permit Plan, Ambassadors for Jesus," prepared by Hamid Matin, P.E., dated June 10, 2016, as revised through August 15, 2016, is included at the front of the staff report. The proposed special permit amendment development conditions, statement of justification, and affidavit are contained in Appendices 1 to 3, respectively.

## CHARACTER OF THE SITE AND SURROUNDING AREA



Figure 1: Aerial of property and surrounding area, Fairfax County Pictometry 2015

The subject site measures 4.74 acres in area and is located along the south side of Braddock Road, east of the intersection of Clifton and Braddock Roads. The site is currently vacant and is relatively flat and is wooded with upland hardwoods and evergreen trees.

The parcel is bounded by Kings Chapel Church to the east and south, and the Virginia Golf Center and Academy to the west, which are all zoned R-C and are located in the Water Supply Protection Overlay District (WSPOD). Across Braddock Road to the north are single family detached dwellings zoned R-2C.

<b>Surrounding Area Description</b>		
<b>Direction</b>	<b>Use</b>	<b>Zoning</b>
<b>North</b>	Single Family Detached Dwellings	R-2C
<b>South</b>	Kings Chapel Church	R-C, WS
<b>East</b>	Kings Chapel Church	R-C, WS
<b>West</b>	Virginia Golf Center & Academy	R-C, WS

## **BACKGROUND**

There are no previous zoning applications specifically on the site. In 1982, the Board of Supervisors rezoned approximately 40,000 acres of land within the Occoquan Watershed to the R-C (Residential-Conservation) District.

## **DESCRIPTION OF THE APPLICATION**

The applicant proposes to build a new place of worship with a maximum of 350 seats in a two-story, 20,000 square foot building. The structure would include a sanctuary, fellowship hall, kitchen, classrooms, and offices with 159 parking spaces on site. The proposed place of worship would be staffed by three employees, with volunteers and teachers on Sundays. Services would be held daily, with Sundays anticipated to be the busiest day. The site would be open during weekdays from dawn to dusk for church members to drop by for small, informal prayer services. The proposed hours of operation are as follows:

- Weekday informal prayer services: "From Dawn to Dusk", for small groups
- Sunday: 9:30 a.m. to 11:00 a.m., 6:00 p.m. to 7:30 p.m.
- Saturday: 6:00 p.m. to 7:30 p.m.
- Wednesday: 6:00 p.m. to 7:30 p.m.

- Weekend Sunday School: 9:30 a.m. to 4:00 p.m.
- Daily office hours: 9:00 a.m. to 6:00 p.m.
- Special events, not to be held same time as services

Half of the 4.74 acre site (50% or 2.37 acres) will be preserved as undisturbed open space, and the site will be developed with a new building, parking lot, landscaping, and an underground stormwater management system. The building is proposed to be constructed in two phases with Phase 1 consisting of the fellowship hall, kitchen, classrooms, and offices. Construction of the sanctuary, an addition to the Phase 1 building, would occur in Phase 2. Prior to Phase 2, religious services would take place in the Fellowship Hall; the land area of the future sanctuary would be maintained with landscaping. The property is to be served by public water and sewer. A 25 foot planted transitional screening buffer is proposed across the front of the property.

The following is an image from the special permit plat.



Figure 2: Image from Special Permit Plat

### Vehicle Access and Parking

In accordance with Paragraph 3 of Article 11-106 of the Zoning Ordinance, a place of worship requires one parking space per four seats in the principal place of worship. For 350 seats, this equates to a minimum requirement of 88 spaces. The applicant proposes 159 surface parking spaces, including six handicap spaces, which yields a parking space for approximately every 2.2 seats.

Access to the site will be provided via a single ingress and egress point along Braddock Road. A dedicated, marked right turn lane is proposed along Braddock Road into the site, pending Virginia Department of Transportation (VDOT) approval. Two-way traffic circulation is provided around the entire building. The main entrance is located at the rear of the building where a designated drop-off area is located. An area approximately 17.9 feet in width across the front of the property would be dedicated for the construction of an 8-foot wide asphalt trail to connect to existing trails at either side of the property. Frontage improvements consisting of curb and gutter are also proposed. The plat indicates that pole mounted lights in the parking lot would be no taller than 12 feet in height and of a downward focusing, non-glare type that would conform to Fairfax County Public Facilities Manual (PFM) and Zoning Ordinance requirements.

Development conditions have been proposed to require that all parking be on-site and that weekend religious services be scheduled in coordination with the two immediate neighboring places of worship so as to minimize overlapping times of arrival and departure.

### Trees, Landscaping, and Open Space

A 25-foot-wide Transitional Screening Buffer with trees and shrubs is proposed along the front of the property. Supplemental landscaping, including deciduous and evergreen trees, will be planted around the eastern and western edges of the parking lot. Trees, shrubs, lawn, and other plantings are also proposed throughout the site. A 2.37 acre portion (50 percent) of heavily wooded land to the south of the building will be left as undisturbed open space in conformance with the policies of the R-C District.

As depicted on the special permit plat, the applicant intends to meet all tree canopy and tree preservation targets. Development conditions have been included requiring consultation with a certified arborist, removal of dead or dying trees, planting of additional landscaping, and maintenance of all landscaping.

### Stormwater Management/Best Management Practices

The property falls within the Johnny Moore Creek Watershed. The stormwater management narrative indicates that water quality requirements for the newly constructed facility will be provided by nine filterra and a stormfilter. Stormwater runoff will be retained onsite by underground stormwater facilities designed to achieve both

water quality and water quantity control. The outfall narrative indicates that runoff from a majority of the site will then be discharged into the existing storm sewer situated north of the site along Braddock Road which outfalls in a VDOT pond situated east. Runoff from a smaller area of the site will be diverted west toward the Little Rocky Run watershed. Final design and approval of the stormwater management system will be reviewed and approved by the Department of Public Works and Environmental Services (DPWES) at the time of site plan approval.

Architecture

The elevation below depicts the proposed place of worship. The applicant has indicated that building materials will primarily consist of wide plank siding, a stone base, large windows, and a sloping shingled roof. The proposed height is 28 feet to the main building and 45 feet to the top of the central tower. For comparison, the neighboring Jehovah’s Witnesses place of worship was approved for a height of 26 feet and Kings Chapel was approved for a height of 50 feet.

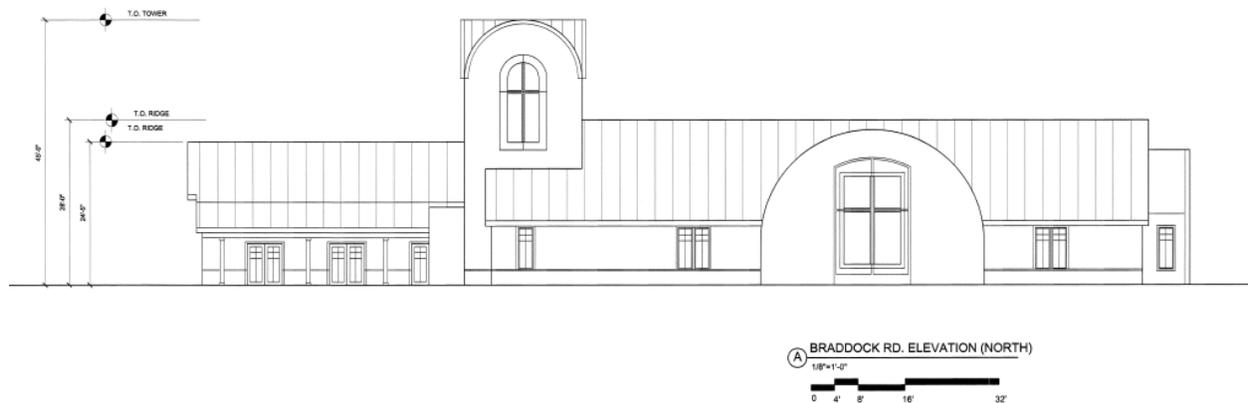


Figure 3: Elevation of proposed structure, provided by applicant

A development condition has been included requiring the sanctuary building to be generally consistent with the submitted architectural elevations.

**ANALYSIS**

**Comprehensive Plan Provisions**

Plan Area: Area III

**Planning Sector:** Pohick Planning District, Twin Lakes Community Planning Sector (P1)

**Plan Map:** Low Density Residential up to .1 – .2 DU/AC

### **Land Use/Environmental Analysis** (Appendix 4)

The site is currently undeveloped land within the of the Occoquan Reservoir watershed, and therefore, the Comprehensive Plan recommends that development should respect the County's commitment to water quality protection. There is no site specific language in the plan, but the Comprehensive Plan notes that non-residential uses requiring special exception or special permit approval in this area should be rigorously reviewed and located at the boundary of Low Density Residential Areas and Suburban Neighborhoods where impacts to existing residences are minimal. The following conditions should be satisfied:

- *Access for the use is oriented to an arterial;*
- *The use is of a size and scale that will not adversely impact the character of the area in which it is located; and*
- *The use is designed to mitigate impacts on the water quality of the Occoquan Reservoir.*

The site is oriented to, and has direct access to, Braddock Road. The place of worship is designed so as to retain 50 percent of the site as undisturbed open space to address water quality impacts; building design and footprint is not land intensive; building height and square footage are below the maximums permitted by the R-C Zoning District. The proposed place of worship is designed at a compatible scale to the two approved places of worship to the east (Kings Chapel and the Centreville English Congregation of Jehovah's Witnesses) between the site and Doyle Road, which is approximately 800 feet to the east. Kings Chapel was approved for a 40,000 square foot building, 50 feet in height with 800 seats. Jehovah's Witnesses was approved for a 13,150 square foot building 26 feet in height with 328 seats. This proposal is for a 20,000 square foot building 28 feet in height with a 45 foot tower and 350 seats, which is approximately an average of the other two sites in size. While this use will add traffic to surrounding roadways, primarily on weekends, and some of this traffic may overlap with that from nearby places of worship, staff feels that the modest size and scale of the proposed use will not adversely impact the area's character. A development condition has been proposed that would require the applicant to schedule services in coordination with both Kings Chapel and the Centreville English Congregation of Jehovah's Witnesses so as to prevent or minimize overlap that would negatively affect traffic along Braddock Road. In staff's opinion, the proposal addresses Plan guidance with inclusion of the proposed development conditions.

Lastly, the architecture of the building is residential in nature with wide plank siding and a sloped roof. Sixty feet is the maximum building height in the R-C District, and the applicant proposes approximately 28 feet for the main structure and 45 feet for the central tower. The applicant additionally proposes landscaping to supplement the existing vegetation to be preserved on site around the site's perimeter.

### **Stormwater Management Analysis (Appendix 5)**

In 1982, the Board of Supervisors rezoned roughly 40,000 acres of land within the Occoquan Watershed to the R-C (Residential-Conservation) District. The intent of the rezoning was to limit land use to a very low density as the primary water quality protection mechanism within a large portion of the watershed. Protection of water quality can generally be achieved through the preservation of at least 50 percent of the application property as perpetually undisturbed open space, which the applicant proposes to do and which is in conformance with the Comprehensive Plan's guidance for development in the R-C District.

There are no regulated floodplains or Resource Protection Areas on the site and no recent downstream flooding complaints on file. The applicant proposes that detention requirements will be met by providing an underground stormwater management system. Water quality requirements are proposed to be met by using filterra and a stormfilter. At the time of site plan review, the proposed stormwater management/best management practice measures and outfall adequacy will be subject to further review and approval by DPWES.

The applicant intends to divert drainage from 0.85 acres of the Johnny Moore Creek watershed to Little Rocky Run Watershed, due to lack of bed and banks and storm sewer pipe. This diversion will require DPWES approval. If natural drainage divides cannot be maintained, a drainage diversion justification narrative must be provided at the time of site plan review. The increase and decrease in discharge rates, volumes, and durations of concentrated and non-concentrated stormwater runoff leaving a development site due to the diverted flow must not have an adverse impact (e.g., soil erosion; sedimentation; yard, dwelling, building, or private structure flooding; duration of ponding water; inadequate overland relief) on adjacent or downstream properties. The applicant states that the underground stormwater facility would provide detention for 2- and 10-year stormwater flows as required by the PFM and CBPO. As stated above, at the time of site plan review, DPWES must review and approve this facility.

### **Transportation Analysis (Appendix 6)**

The applicant proposes to provide a dedicated, painted right turn lane from Braddock Road into the site, subject to VDOT's final approval. Due to the potentially cumulative traffic impacts of another place of worship to this portion of Braddock Road, a development condition has been proposed that would require the applicant to submit a

traffic signal warrant analysis to VDOT, if requested, at the time of site plan review and a contribution to the design and construction of a traffic signal, if warranted. Staff has proposed a development condition requiring the applicant to coordinate with the two approved places of worship to the east to coordinate their weekend services so as to minimize traffic impacts on Braddock Road due to overlapping service times.

### Urban Forest Management Analysis (Appendix 7)

The special permit plat indicates that the applicant will meet all tree preservation and tree canopy requirements, which DPWES must approve at the time of site plan review. The R-C zoning district calls for a 10-year Tree Canopy area of 30 percent, which is 60,120.3 square feet of the subject property. The applicant proposes to preserve an area 129,268.8 square feet in size while planting an additional 15,900 square feet, for a total of 145,168.8, or 72 percent. The applicant is proposing additional landscaping along the eastern and western edges of the parking lot that are 7.8 and 6.9 feet wide, respectively. In order to ensure that the trees have adequate room to grow, the applicant has noted on the special permit plat that all peripheral trees are to be planted a minimum of 4 feet from the back-of-curb or other hardscape edge.

### ZONING ORDINANCE PROVISIONS

<b>Bulk Standards (R-C Zoning)</b>		
<b>Standard</b>	<b>Required R-C</b>	<b>Proposed R-C</b>
Min. Lot Area	5 acres	4.74 acres*
Lot Width	200 feet	346.74 ft.
Building Height	60 feet	45 ft.
Front Yard	Controlled by a 50 degree angle of bulk plane, but not less than 40 feet (other)	98.7 ft
Side Yard	Controlled by a 45 degree angle of bulk plane, but not less than 20 feet (other)	Eastern: 77.8 ft. Western: 75.5 ft
Rear Yard	25 feet (dwelling) Controlled by a 45 degree angle of bulk plane, but not less than 25 feet (other)	422.8 ft.
Tree Cover	Interior parking area: 5% 10 year canopy: 30%	Interior parking area: 5.2% 10 year canopy: 72%
FAR	0.15	0.096
Open Space	50%	50%

Parking	One (1) space per four (4) seats in the principal place of worship (88 spaces)	159 spaces
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\* The subject parcel was legally created prior to the adoption of the current Zoning Ordinance; therefore it is considered a legal, buildable lot under Sect. 2-405.1 of the Zoning Ordinance

**Special Permit Requirements** (See Appendix 9)

- \* General Special Permit Standards (Sect. 8-006)
- \* Group Standards for All Group 3 Uses (Sect. 8-303)

General Special Permit Standards (Sect. 8-006)

The following is staff’s analysis of the Zoning Ordinance provisions and the proposal to permit a place of worship on the subject property.

General Standards (Sect. 8-006)

**General Standard 1** states that the proposed use at the specified location shall be in harmony with the adopted Comprehensive Plan. The Land Use Policy Plan of the Comprehensive Plan states that “Fairfax County should seek to establish areas of community focus which contain a mixture of compatible land uses providing for housing...institutional/public services...” The Plan also “encourages a land use pattern that protects, enhances and/or maintains stability in established residential neighborhoods.” Further the Plan “should seek to achieve a harmonious and attractive development pattern, which minimizes undesirable visual, auditory, environmental and other impacts created by potentially incompatible uses.” (Fairfax County Comprehensive Plan Land Use Objectives 2, 8 and 14).

The Comprehensive Plan recommends low density single-family, detached residential use for the subject property and in the immediate vicinity of the subject property. The Plan also gives guidance on the location of uses that could be approved through the special permit or special exception process, such as places of worship which are an institutional use. Other institutional uses including several other places of worship are located directly to the east on Braddock Road.

In conjunction with this application, the applicant has provided a number of measures to ensure the proposed improvements are compatible with the surrounding neighborhood and have no adverse impacts on public facilities, transportation systems, and the environment. These improvements include preserving 50 percent undisturbed open space, providing a 25 foot transitional screening buffer between the parking lot and Braddock Road, and proposing architectural elements such as wide plank siding, a sloped roof, and large windows that are residential in character. The applicant is

proposing tree preservation above the minimum required. Staff believes these conditions help to minimize any negative impact associated with this application.

In addition, the applicant has agreed to conduct a traffic signal warrant analysis, if required, and to coordinate with the two nearest places of worship to the east to mitigate the potential cumulative impact of adding another place of worship to this area of Braddock Road. Overall, staff believes that the proposed place of worship is in conformance with the land use recommendations of the Comprehensive Plan and therefore, meets Standard 1.

**General Standard 2** states that *the proposed use shall be in harmony with the general purpose and intent of the applicable zoning district regulations*. The R-C District was established to protect water courses, stream valleys, marshes, forest cover in watersheds; to minimize impervious surface and to protect the quality of water in public water supply watersheds; and for low density residential uses. Places of worship are a use that is allowed with special permit or special exception approval. Other uses allowed in the R-C District by special permit or special exception approval are:

- veterinary hospitals, kennels, and animal shelters
- home professional offices,
- dormitories and fraternity/sorority houses
- museums and cultural centers,
- private clubs and benefit associations
- plant nurseries
- parks, playgrounds, golf courses, driving ranges, and country clubs
- riding and boarding stables
- Skeet and trapshooting ranges

The applicant is proposing a new place of worship that would be located immediately adjacent to a golf course and another place of worship. The proposed use is modest in size at 350 seats. Staff believes that the application is in harmony with the purpose and intent of the R-C District and thus, satisfies this standard.

**General Standard 3** requires that the proposed use *shall be such that it will be harmonious with and will not adversely affect the use or development of neighboring properties in accordance with the applicable zoning district regulations and the adopted comprehensive plan. The location, size and height of buildings, structures, walls and fences, and the nature and extent of screening, buffering and landscaping shall be such that the use will not hinder or discourage the appropriate development and use of adjacent or nearby land and/or buildings or impair the value thereof*. Staff believes that this proposal will not adversely affect the use or development of neighboring properties. The property to the west is a golf course and conservation area and the property to the east and south is a larger place of worship approved for 800 seats. The surrounding area also contains several other institutional uses including another place of worship two properties over to the east. The applicant has worked to minimize the visual impact to adjacent properties through the location of the buildings, tree preservation, and transitional screening. Overall, 50 percent of the subject property will remain as open

space. Staff believes the proposed building location, screening and vegetation adequately shield the place of worship from adjacent properties and therefore, finds that this standard has been met.

**General Standard 4** states that *the proposed use shall be such that pedestrian and vehicular traffic associated with such use will not be hazardous or conflict with the existing and anticipated traffic in the neighborhood.* The applicant has agreed to a proposed development condition that would require cooperation with the two nearest places of worship to the east to minimize potential cumulative impacts of adding another place of worship to this area of Braddock Road. The applicant has also agreed to provide a traffic signal warrant analysis, if required, at the time of site plan review and to contribute to the design and construction of a traffic signal if warranted. Therefore, staff believes that the proposal will not conflict with the existing traffic, and that this standard is met.

**General Standard 5** states that *in addition to the standards which may be set forth in this Article for a particular group or use, the BZA shall require landscaping and screening in accordance with the provisions of Article 13.* The application has been reviewed by the UFMD. The applicant has demonstrated that tree preservation above the minimum requirements has been provided (129,268.8 square feet provided versus 60,120.3 square feet required). This preservation, combined with the proposed new vegetation (15,900 provided), will result in approximately 72 percent tree cover, which exceeds the 30 percent required in the R-C District.

On balance, staff believes that the application meets this standard.

**General Standard 6** requires that *open space be provided in an amount equivalent to that specified for the zoning district in which the proposed use is located.* As stated, there is a 50 percent undisturbed open space requirement for the proposed use and the applicant has proposed a total of 50 percent of the subject property as open space; therefore, this standard has been met.

**General Standard 7** requires that *adequate utility, drainage, parking, loading and other necessary facilities to serve the proposed use shall be provided. Parking requirements are proposed to be in accordance with the provisions of Article 11.* The applicant proposes 159 parking spaces, which exceeds the Zoning Ordinance requirement of 88 parking spaces, providing a ratio of 1 space per 2.2 seats. Staff has also included a development condition stating all parking shall be located on-site. The building will be served by public water and sewer. The applicant has proposed a stormwater facility that would detain 2- and 10-year stormwater flows. A development condition has been included requiring on-site stormwater detention and BMPs as approved by DPWES. Staff believes that Standard 7 has been met.

**General Standard 8** requires that *signs be regulated by the provisions of Article 12; however, the BZA may impose more strict requirements for a given use than those set forth in this Ordinance.* Staff has included a development condition that all existing and

proposed signage must be in conformance with the Zoning Ordinance. With this condition, this standard has been met.

With the approval and adoption of the proposed development conditions, staff believes the general standards are met.

#### Standards for all Group 3 Uses (Sect. 8-303)

**Standard 1** states that all uses shall comply with the lot size and bulk regulations of the zoning district in which located. As previously summarized in the bulk requirements chart above, the application meets this standard. While the lot is undersized (by about 0.25 of an acre) based on the R-C District standards, the lot was created prior to the Occoquan downzoning and met the requirements in place at the time. Therefore, it is a legal, buildable lot. In staff's opinion, the site can accommodate the use as proposed.

**Standard 2** stipulates that all uses shall comply with the performance standards for the applicable zoning district. The use would be required to comply with the performance standards of Article 14, as required by the Zoning Ordinance.

**Standard 3** specifies that all uses shall be subject to the provisions of Article 17, Site Plans. The applicant will be required to submit a site plan for the proposed development.

### **CONCLUSIONS AND RECOMMENDATIONS**

Staff believes that all applicable standards for a place of worship as outlined in Sects. 8-006 and 8-303 are satisfied with adoption of the proposed development conditions. Therefore staff recommends approval of SP 2016-SP-032 subject to the Proposed Development Conditions contained in Appendix 1 of this staff report.

It should be noted that it is not the intent of staff to recommend that the Board, in adopting any conditions, relieve the applicant/owner from compliance with the provisions of any applicable ordinances, regulations, or adopted standards.

It should be further noted that the content of this report reflects the analysis and recommendations of staff; it does not reflect the position of the Board of Zoning Appeals

### **APPENDICES**

1. Proposed Development Conditions
2. Statement of Justification
3. Affidavit

4. Land Use/Environmental Analysis
5. Stormwater Management Analysis
6. Fairfax County Department of Transportation Analysis
7. Urban Forest Management Analysis
8. Applicable Zoning Ordinance Provisions

**PROPOSED DEVELOPMENT CONDITIONS****SP 2016-SP-032****September 21, 2016**

If it is the intent of the Board of Zoning Appeals to approve SP 2016-SP-032 located at Tax Map 66-2 ((2)) 1 to permit a place of worship under Section 3-C03 to the Fairfax County Zoning Ordinance, staff recommends that the Board condition the approval by requiring conformance with the following development conditions.

1. This approval is granted to the applicant only, Ambassadors for Jesus Arabic Evangelical Church, and is not transferable without further action of this Board, and is for the location indicated on the application, 12939 Braddock Road, and is not transferable to other land.
2. This special permit is granted only for the purposes, structures and/or uses indicated on the plat titled, "Special Permit Plan, Ambassadors for Jesus," prepared by Hamid Matin, P.E., dated June 10, 2016, as revised through August 15, 2016, and approved with this application, as qualified by these development conditions.
3. A copy of this special permit shall be posted in a conspicuous place on the property of the use and made available to all departments of the County of Fairfax during the hours of operation of the permitted use.
4. This special permit is subject to the provisions of Article 17, Site Plans. Any plan submitted to the Department of Public Works and Environmental Services (DPWES) pursuant to this Special Permit shall be in substantial conformance with these conditions. Minor modifications to the approved Special Permit may be approved pursuant to Par. 4 of Sect. 8-004 of the Zoning Ordinance.
5. The total seating capacity in the main areas of worship shall not exceed 350 seats.
6. The conceptual elevations may be modified with respect to building articulation by the applicant as part of final engineering and building design, provided that the modifications are in substantial conformance with the elevations and building materials shown on the special permit plat.
7. The conservation area as shown on the plat shall be preserved as undisturbed open space. The minimum area of undisturbed space shall be 50 percent. There shall be no mowing of grass or other vegetation within the undisturbed open space and only vegetation deemed hazardous by the Urban Forest Management Division may be removed.

8. The applicant shall submit a Tree Preservation Plan and Narrative as part of the first and all subsequent site plan submissions. The preservation plan and narrative shall be prepared by a Certified Arborist or a Registered Consulting Arborist, and shall be subject to the review and approval of the Urban Forest Management Division, DPWES (UFMD). The tree preservation plan shall include a tree inventory that identifies the location, species, critical root zone, size, crown spread and condition analysis percentage rating for all individual trees to be preserved, as well as all on and off-site trees, living or dead, with trunks 12 inches in diameter and greater (measured at 4 ½ -feet from the base of the trunk or as otherwise allowed in the latest edition of the Guide for Plant Appraisal published by the International Society of Arboriculture) located in the protected area within 25 feet of limits of clearing and grading, and within 10 feet of the limits of clearing and grading in the disturbed area. The tree preservation plan shall provide for the preservation of existing trees in areas outside of the limits of clearing and grading shown on the special permit plat, and those additional areas in which trees can be preserved as a result of final engineering. The tree preservation plan and narrative shall include all items specified in PFM 12-0507 and 12-0509. Specific tree preservation activities that will maximize the survivability of any tree identified to be preserved, such as: crown pruning, root pruning, mulching, fertilization, and others as necessary, shall be included in the plan.
9. Tree Preservation Walk-Through: The applicant shall retain the services of a certified arborist or Registered Consulting Arborist, and shall have the limits of clearing and grading marked with a continuous line of flagging prior to the walk-through meeting. During the tree-preservation walk-through meeting, the certified arborist or landscape architect shall walk the limits of clearing and grading with a UFMD representative to determine where adjustments to the clearing limits can be made to increase the area of tree preservation and/or to increase the survivability of trees at the edge of the limits of clearing and grading, and such adjustment shall be implemented. Trees that are identified as dead or dying may be removed as part of the clearing operation. Any tree that is so designated shall be removed using a chain saw and such removal shall be accomplished in a manner that avoids damage to surrounding trees and associated understory vegetation. If a stump must be removed, this shall be done using a stump-grinding machine in a manner causing as little disturbance as possible to adjacent trees and associated understory vegetation and soil conditions.
10. Limits of Clearing and Grading: The applicant shall conform strictly to the limits of clearing and grading as shown on the special permit plat, subject to allowances specified in these conditions and for the installation of utilities and/or trails as determined necessary by the Director of DPWES, as described herein. If it is determined necessary to install utilities and/or trails in areas protected by the limits of clearing and grading as shown on the approved site plan, they shall be located in the least disruptive manner necessary as determined by UFMD. A replanting plan shall be developed and implemented, subject to approval by

UFMD, for any areas protected by the limits of clearing and grading that must be disturbed for such trails or utilities.

11. Tree Preservation Fencing: All trees shown to be preserved on the tree preservation plan shall be protected by tree protection fence. Tree protection fencing in the form of four (4) foot high, fourteen (14) gauge welded wire attached to six (6) foot steel posts driven eighteen (18) inches into the ground and placed no further than ten (10) feet apart or, super silt fence to the extent that required trenching for super silt fence does not sever or wound compression roots which can lead to structural failure and/or uprooting of trees shall be erected at the limits of clearing and grading as shown on the demolition, and phase I & II erosion and sediment control sheets, as may be modified by the "Root Pruning" condition below. All tree protection fencing shall be installed after the tree preservation walk-through meeting but prior to any clearing and grading activities, including the demolition of any existing structures. The installation of all tree protection fencing shall be performed under the supervision of a certified arborist, and accomplished in a manner that does not harm existing vegetation that is to be preserved. Three (3) days prior to the commencement of any clearing, grading or demolition activities, but subsequent to the installation of the tree protection devices, UFMD shall be notified and given the opportunity to inspect the site to ensure that all tree protection devices have been correctly installed. If it is determined that the fencing has not been installed correctly, no grading or construction activities shall occur until the fencing is installed correctly, as determined by UFMD.
12. Root Pruning: The applicant shall root prune, as needed to comply with the tree preservation requirements of these conditions. All treatments shall be clearly identified, labeled, and detailed on the erosion and sediment control sheets of the subdivision plan submission. The details for these treatments shall be reviewed and approved by UFMD, accomplished in a manner that protects affected and adjacent vegetation to be preserved, and may include, but not be limited to the following:
  - Root pruning shall be done with a trencher or vibratory plow to a depth of 18 inches.
  - Root pruning shall take place prior to any clearing and grading, or demolition of structures.
  - Root pruning shall be conducted with the supervision of a certified arborist.
  - A UFMD representative shall be informed when all root pruning and tree protection fence installation is complete.
13. Site Monitoring: During any clearing or tree/vegetation/structure removal, a representative of the applicant shall be present to monitor the process and ensure that the activities are conducted as conditioned and as approved by

UFMD. The Applicant shall retain the services of a certified arborist or Registered Consulting Arborist to monitor all construction and demolition work and tree preservation efforts in order to ensure conformance with all tree preservation conditions, and UFMD approvals. The monitoring schedule shall be described and detailed in the Landscaping and Tree Preservation Plan, and reviewed and approved by UFMD.

14. Native Species Landscaping: All proposed landscaping shall be native to the middle Atlantic region to the extent feasible and non-invasive as determined by UFMD. In addition, the quality and quantity of landscaping provided shall be in substantial conformance with the Special Permit Plat.
15. Unless waived or modified by DPWES, Stormwater Management (SWM)/Best Management Practices (BMPs) shall be provided on site in accordance with Public Facilities Manual (PFM) requirements. Adequate outfall shall be provided for the site in substantial conformance with the special permit plat and the PFM.
16. Parking shall be provided as depicted on the special permit plat. All parking shall be on site.
17. Right-of-way along the Braddock Road frontage as shown on the plat shall be dedicated to the Board of Supervisors or the Virginia Department of Transportation (VDOT) in fee simple at no cost, at the time of site plan approval or upon demand, at the discretion of VDOT.
18. A right turn lane on Braddock Road shall be provided, as depicted on the special permit plat, pursuant to VDOT approval.
19. The applicant shall submit a traffic signal warrant to VDOT, if requested, for the intersection of Doyle Road and Braddock Road. If the warrants have been met, the applicant shall contribute to the design and construction of a traffic signal, subject to approval by VDOT.
20. The applicant shall designate a staff member to work as a coordinator with other nearby places of worship (at minimum the two places of worship between the subject property and Doyle Road to the east) to coordinate weekend service times to minimize traffic impacts due to overlapping services.
21. All new lighting, including security lighting, shall be in conformance with Part 9 of Article 14 of the Zoning Ordinance. All lights shall be low intensity design, full cut-off fixtures, which focus the light directly onto the subject property and does not create glare or a nuisance off the property. Lighting shall be controlled with an automatic shut-off device and shall be turned off when the site is not in use, excepted for security lighting directly adjacent to the building. There shall be no up-lighting of the proposed building.

This approval, contingent on the above-noted conditions, shall not relieve the applicant from compliance with the provisions of any applicable ordinances, regulations, or

adopted standards.

Pursuant to Sect.8-015 of the Zoning Ordinance, this special permit shall automatically expire, without notice, thirty (30) months after the date of approval unless construction has commenced and been diligently prosecuted. The Board of Zoning Appeals may grant additional time to commence construction if a written request for additional time is filed with the Zoning Administrator prior to the date of expiration of the special permit. The request must specify the amount of additional time requested, the basis for the amount of time requested and an explanation of why additional time is required.

**Written Statement of Justification for  
Application for Special Permit  
Fairfax County  
SP 2016-SP-032  
Ambassadors For Jesus Arabic Evangelical Church  
Revised 6-10-2016**

**A. Description of Type of Operation \ Description of Proposed Use**

The Ambassadors For Jesus Arabic Evangelical Church proposes to establish a religious center (Church), related religious service, school and gathering hall on 4.74350 acres (5.068 Acres Assessed) of R-C (Res. Conservation) zoned property, located on 12939 Braddock Road. The property is more particularly shown on Tax Map No. 0662-02-0001, Lot 1. Section 3-103 of the Fairfax County Zoning Ordinance allows for places of worship and related uses by Special Permit in the R-C zoning district. Currently, there are no existing structures on site.

A Proposed Building consisting of approximately 20,000 square feet will be built and utilized for Weekend Religious Services, holding not more than 350 people at any one time.

**B. Hours of Operation**

1. **Weekend Sunday School** – The hours of operation are 09:30 am to 4:00 pm.
2. **Prayer Services:** Sunday Morning: 9:30 AM – 11:00 AM.  
Saturday and Sunday Evening: 6 PM – 7:30 PM.  
Wed Evening: 6 PM – 7:30 PM.
  - a. Daily Prayers – From Dawn to Dusk.
  - b. Special Events at different times however will not be held at the same time with other services.
3. **Community support and services:** Counseling Services, Marriage Services, Evening Bible education programs, volunteer coordination etc. Daily office hours are from 09:00 am to 6:00 pm, 7 days a week.

**C. Estimated Number of Patrons/Clients/Patients/Pupils/etc.**

1. **Weekend Sunday School** – Different levels for all ages. Currently 50 students.
2. **Prayer Services:**
  - A. 350 on Sundays

- B. 100 during the week
3. **Community support and services:** Counseling Services, Marriage Services, Evening Bible education programs, volunteer coordination etc. average 30 to 60 people.

**D. Proposed Number of Employees/Attendants/Teachers/etc.**

The total number of full and part time employees is projected **at 3** plus volunteers and teachers on Sundays.

**E. Estimate of Traffic Impact of the Proposed Use, including the Maximum Expected Trip generation and the Distribution of Such Trips by Mode and Time of Day**

The maximum average Saturday, Sunday and weekdays vehicle trip generated by the proposed use does not exceed more than 733 VPD. The proposed use can be adequately served by the area road network.

Trip generation per 9th edition, ITE Trip Generation Manual (Church):

Average Sunday vehicle trip per 1000 s.f. GFA.

Total gross area of proposed building = 20,000 s.f.

Sundays: (36.63 avg. trip rate) (20,000 s.f.) /1000 = 732.6 VPD

Weekdays: (9.11 avg. trip rate) (20,046 s.f.) /1000 = 182.2 VPD

**F. Vicinity or General Area to be Served by the Use**

The proposed facility will serve **Springfield, Fairfax, Clifton and Sterling.**

**G. Description of Building Facade and Architecture of Proposed New Building or Additions**

The design of the church simultaneously respects the value of the site and the beliefs and traditions of its congregation. Multiple masses housing the various functions of the church is assembled to integrate the program and reflect the hierarchy with the chapel being the most significant. The main façade marked with a steeple entrance is visible from each direction of travel from Braddock Road. A landscaped forecourt will invite the members and guests to the front door and also function as an outdoor yard for the fellowship hall with its covered porch and French doors.

The massing and façade elements reflects that of a traditional church and traditional building methods. The design of the church includes wide plank siding, a stone base and large windows found commonly in this suburban context. The chapel and fellowship hall are both one story with a gable roof. The classroom and service area are on two floors connected with a grand staircase.

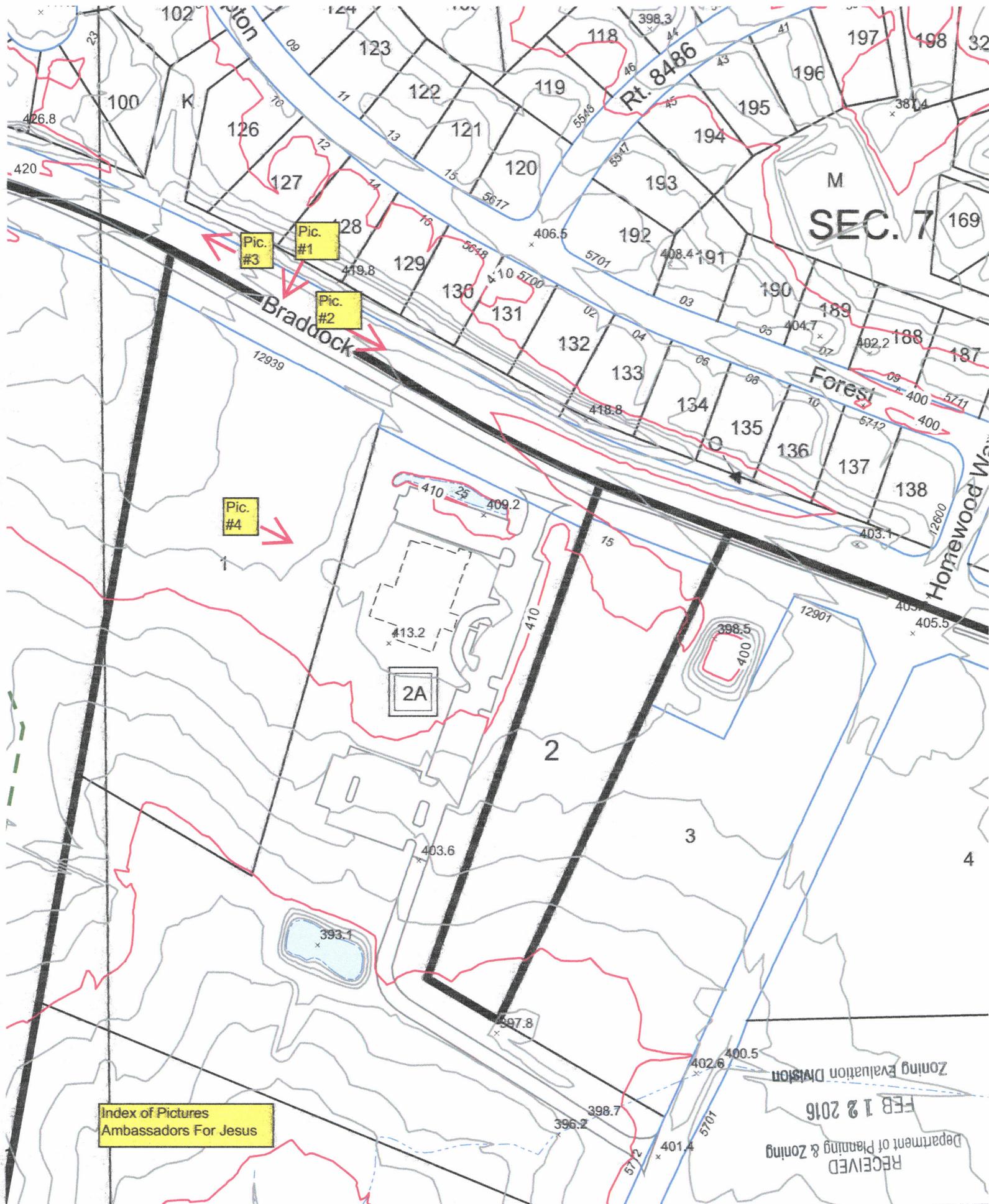
**H. A Listing, if Known, of All Hazardous or Toxic Substances as Set Forth in Title 40. Code of Federal Regulations Parts 116.4, 302.4 and 355; All Hazardous Waste as Set Forth in Commonwealth of Virginia/Department of Waste Management VR 672-10-1-Virginia Hazardous Waste Management Regulations; and/or Petroleum Products as defined in Title 40. Code of Federal Regulations Part**

**280: to be Generated, Utilized, Stored, Treated, and/or Disposed of On Site and the Size and Contents of Any Existing or Proposed Storage Tanks or Containers**

None.

- I. A Statement that the Proposed Use Conforms to the Provisions of All Applicable Ordinances, Regulations, Adopted Standards and any Applicable Conditions, or if any Waiver, Exception or Variance is Sought by the Applicant from Such Ordinances, Regulations, Standards and Conditions. Such Shall be Specifically Noted with the Justification for Any such Modification.**

The proposed use is in conformance with all provisions of Fairfax County Ordinances, Regulations, Adopted Standards and any applicable conditions.



Index of Pictures  
Ambassadors For Jesus

RECEIVED  
Department of Planning & Zoning  
FEB 12 2016  
Zoning Evaluation Division

RECEIVED  
Department of Planning & Zoning

FEB 12 2016

Zoning Evaluation Division



Picture one Front Entrance  
Ambassadors For Jesus

RECEIVED  
Department of Planning & Zoning

FEB 12 2016

Zoning Evaluation Division

Picture 2 Looking East  
Ambassadors For Jesus





RECEIVED  
Department of Planning & Zoning  
FEB 12 2016  
Zoning Evaluation Division

Picture #4 Middle of Property  
Looking West  
Ambassadors For Jesus

RECEIVED  
Department of Planning & Zoning

FEB 12 2016

Zoning Evaluation Division

Picture #3 Looking West  
Ambassadors For Jesus



Application No.(s): SP 2016 - SP-032  
(county-assigned application number(s), to be entered by County Staff)

134257

**SPECIAL PERMIT/VARIANCE AFFIDAVIT**

DATE: 9/07/2016  
(enter date affidavit is notarized)

I, Hamid Matin, do hereby state that I am an  
(enter name of applicant or authorized agent)

(check one)         applicant  
                          applicant's authorized agent listed in Par. 1(a) below

and that, to the best of my knowledge and belief, the following is true:

1(a). The following constitutes a listing of the names and addresses of all **APPLICANTS, TITLE OWNERS, CONTRACT PURCHASERS, and LESSEES** of the land described in the application,\* and, if any of the foregoing is a **TRUSTEE,\*\*** each **BENEFICIARY** of such trust, and all **ATTORNEYS** and **REAL ESTATE BROKERS**, and all **AGENTS** who have acted on behalf of any of the foregoing with respect to the application:

(NOTE: All relationships to the application listed above in **BOLD** print must be disclosed. Multiple relationships may be listed together, e.g., **Attorney/Agent, Contract Purchaser/Lessee, Applicant/Title Owner**, etc. For a multiparcel application, list the Tax Map Number(s) of the parcel(s) for each owner(s) in the Relationship column.)

<b>NAME</b> (enter first name, middle initial, and last name)	<b>ADDRESS</b> (enter number, street, city, state, and zip code)	<b>RELATIONSHIP(S)</b> (enter applicable relationships listed in <b>BOLD</b> above)
Hamid Matin, P.E., Agent Professional Design Group, Inc.	4124 Walney Road, Suite M, Chantilly, Virginia 20151	Engineer/Agent for Title Owner and Applicant
Shawn C. Tuthill, Agent TUTHILL FAMILY, LLC.	C/O THOMPSON & MCMULLAN P.C. 100 Shockoe Slip, 3rd. Floor Richmond, Virginia 23219	Title Owner
Alfons S. Massoud, Agent AMBASSADORS FOR JESUS ARABIC EVANGELICAL CHURCH	12605 BLYTHEWOOD DRIVE, FAIRFAX, VA 22030	Applicant
Veronica Ong, Agent Professional Design Group, Inc.	4124 Walney Road, Suite M, Chantilly, Virginia 20151	Landscape Designer, Agent for Applicant

(check if applicable)         There are more relationships to be listed and Par. 1(a) is continued on a "Special Permit/Variance Attachment to Par. 1(a)" form.

\* In the case of a condominium, the title owner, contract purchaser, or lessee of 10% or more of the units in the condominium.  
\*\* List as follows: Name of trustee, Trustee for (name of trust, if applicable), for the benefit of: (state name of each beneficiary).

Application No.(s): SP 2016-SA-032  
(county-assigned application number(s), to be entered by County Staff)

**SPECIAL PERMIT/VARIANCE AFFIDAVIT**

134257

DATE: 9/07/2016  
(enter date affidavit is notarized)

1(b). The following constitutes a listing\*\*\* of the **SHAREHOLDERS** of all corporations disclosed in this affidavit who own 10% or more of any class of stock issued by said corporation, and where such corporation has 10 or less shareholders, a listing of all of the shareholders:

**(NOTE:** Include **SOLE PROPRIETORSHIPS, LIMITED LIABILITY COMPANIES, and REAL ESTATE INVESTMENT TRUSTS** herein.)

**CORPORATION INFORMATION**

**NAME & ADDRESS OF CORPORATION:** (enter complete name, number, street, city, state, and zip code)  
TUTHILL FAMILY, LLC.  
PO BOX 2247 MECHANICSVILLE VA 23116

**DESCRIPTION OF CORPORATION:** (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below

**NAMES OF SHAREHOLDERS:** (enter first name, middle initial, and last name)

(check if applicable)  There is more corporation information and Par. 1(b) is continued on a "Special Permit/Variance Attachment 1(b)" form.

\*\*\* All listings which include partnerships, corporations, or trusts, to include the names of beneficiaries, must be broken down successively until (a) only individual persons are listed or (b) the listing for a corporation having more than 10 shareholders has no shareholder owning 10% or more of any class of stock. *In the case of an APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\* of the land that is a partnership, corporation, or trust, such successive breakdown must include a listing and further breakdown of all of its partners, of its shareholders as required above, and of beneficiaries of any trusts. Such successive breakdown must also include breakdowns of any partnership, corporation, or trust owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER or LESSEE\* of the land. Limited liability companies and real estate investment trusts and their equivalents are treated as corporations, with members being deemed the equivalent of shareholders; managing members shall also be listed.* Use footnote numbers to designate partnerships or corporations, which have further listings on an attachment page, and reference the same footnote numbers on the attachment page.

Application No.(s): SP 2016-SP-032  
(county-assigned application number(s), to be entered by County Staff)

Page 1 of 1

**Special Permit/Variance Attachment to Par. 1(b)**

134257

DATE: 09/07/2016  
(enter date affidavit is notarized)

**NAME & ADDRESS OF CORPORATION:** (enter complete name, number, street, city, state, and zip code)

Ambassadors for Jesus Arabic Evangelical Church  
12415 Braddock Rd.  
Fairfax, Va. 22030

**DESCRIPTION OF CORPORATION:** (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

**NAMES OF THE SHAREHOLDERS:** (enter first name, middle initial, and last name)

Non-Stock Corporation

**NAME & ADDRESS OF CORPORATION:** (enter complete name, number, street, city, state, and zip code)

Professional Design Group, Inc.  
4124 Walney Road  
Suite M  
Chantilly, Virginia 20151

**DESCRIPTION OF CORPORATION:** (check one statement)

- There are 10 or less shareholders, and all of the shareholders are listed below.
- There are more than 10 shareholders, and all of the shareholders owning 10% or more of any class of stock issued by said corporation are listed below.
- There are more than 10 shareholders, but no shareholder owns 10% or more of any class of stock issued by said corporation, and no shareholders are listed below.

**NAMES OF THE SHAREHOLDERS:** (enter first name, middle initial, and last name)

Fariba Sadeghpour

(check if applicable)  There is more corporation information and Par. 1(b) is continued further on a "Special Permit/Variance Attachment to Par. 1(b)" form.

Application No.(s): SP 2016-SP-032  
(county-assigned application number(s), to be entered by County Staff)

**SPECIAL PERMIT/VARIANCE AFFIDAVIT**

134257

DATE: 9/07/2016  
(enter date affidavit is notarized)

1(c). The following constitutes a listing\*\*\* of all of the **PARTNERS**, both **GENERAL** and **LIMITED**, in any partnership disclosed in this affidavit:

**PARTNERSHIP INFORMATION**

**PARTNERSHIP NAME & ADDRESS:** (enter complete name, number, street, city, state, and zip code)

(check if applicable)  The above-listed partnership has no limited partners.

**NAMES AND TITLE OF THE PARTNERS** (enter first name, middle initial, last name, and title, e.g. **General Partner, Limited Partner, or General and Limited Partner**)

(check if applicable)  There is more partnership information and Par. 1(c) is continued on a "Special Permit/Variance Attachment to Par. 1(c)" form.

\*\*\* All listings which include partnerships, corporations, or trusts, to include the names of beneficiaries, must be broken down successively until: (a) only individual persons are listed or (b) the listing for a corporation having more than 10 shareholders has no shareholder owning 10% or more of any class of stock. *In the case of an APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\* of the land that is a partnership, corporation, or trust, such successive breakdown must include a listing and further breakdown of all of its partners, of its shareholders as required above, and of beneficiaries of any trusts. Such successive breakdown must also include breakdowns of any partnership, corporation, or trust owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\* of the land. Limited liability companies and real estate investment trusts and their equivalents are treated as corporations, with members being deemed the equivalent of shareholders; managing members shall also be listed.* Use footnote numbers to designate partnerships or corporations, which have further listings on an attachment page, and reference the same footnote numbers on the attachment page.

Application No.(s): SP 2016 - SP- 032  
(county-assigned application number(s), to be entered by County Staff)

**SPECIAL PERMIT/VARIANCE AFFIDAVIT**

DATE: 9/07/2016  
(enter date affidavit is notarized)

134257

1(d). One of the following boxes **must** be checked:

In addition to the names listed in Paragraphs 1(a), 1(b), and 1(c) above, the following is a listing of any and all other individuals who own in the aggregate (directly and as a shareholder, partner, and beneficiary of a trust) 10% or more of the **APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\*** of the land:

Other than the names listed in Paragraphs 1(a), 1(b), and 1(c) above, no individual owns in the aggregate (directly and as a shareholder, partner, and beneficiary of a trust) 10% or more of the **APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\*** of the land.

2. That no member of the Fairfax County Board of Zoning Appeals, Planning Commission, or any member of his or her immediate household owns or has any financial interest in the subject land either individually, by ownership of stock in a corporation owning such land, or through an interest in a partnership owning such land.

**EXCEPT AS FOLLOWS:** (NOTE: If answer is none, enter "NONE" on the line below.)  
None

(check if applicable)  There are more interests to be listed and Par. 2 is continued on a "Special Permit/Variance Attachment to Par. 2" form.

Application No.(s): SP-2016-SP-032  
(county-assigned application number(s), to be entered by County Staff)

**SPECIAL PERMIT/VARIANCE AFFIDAVIT**

134257

DATE: 9/07/2016  
(enter date affidavit is notarized)

3. That within the twelve-month period prior to the public hearing of this application, no member of the Fairfax County Board of Zoning Appeals, Planning Commission, or any member of his or her immediate household, either directly or by way of partnership in which any of them is a partner, employee, agent, or attorney, or through a partner of any of them, or through a corporation in which any of them is an officer, director, employee, agent, or attorney or holds 10% or more of the outstanding bonds or shares of stock of a particular class, has, or has had any business or financial relationship, other than any ordinary depositor or customer relationship with or by a retail establishment, public utility, or bank, including any gift or donation having a value of more than \$100, singularly or in the aggregate, with any of those listed in Par. 1 above.

**EXCEPT AS FOLLOWS:** (NOTE: If answer is none, enter "NONE" on line below.)  
None

**(NOTE:** Business or financial relationships of the type described in this paragraph that arise after the filing of this application and before each public hearing must be disclosed prior to the public hearings. See Par. 4 below.)

(check if applicable) [ ] There are more disclosures to be listed and Par. 3 is continued on a "Special Permit/Variance Attachment to Par. 3" form.

4. That the information contained in this affidavit is complete, that all partnerships, corporations, and trusts owning 10% or more of the APPLICANT, TITLE OWNER, CONTRACT PURCHASER, or LESSEE\* of the land have been listed and broken down, and that prior to each and every public hearing on this matter, I will reexamine this affidavit and provide any changed or supplemental information, including business or financial relationships of the type described in Paragraph 3 above, that arise on or after the date of this application.

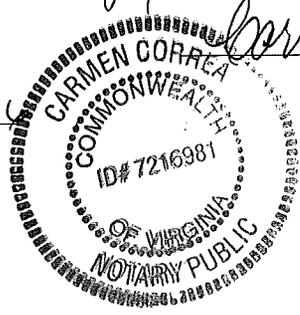
WITNESS the following signature:

(check one) [ ] Applicant [Signature] [x] Applicant's Authorized Agent

Hamid Matin, Agent  
(type or print first name, middle initial, last name, and title of signee)

Subscribed and sworn to before me this 7 day of Sept. 2016 in the State/Comm. of Virginia, County/City of Fairfax.

My commission expires: 11-30-2016  
Carmen Correa  
Notary Public





# County of Fairfax, Virginia

## MEMORANDUM

**DATE:** July 15, 2016

**TO:** Barbara Berlin, Director  
Zoning Evaluation Division, DPZ

**FROM:** Denise M. James, Chief *DJ*  
Environment and Development Review Branch

**SUBJECT:** **LAND USE and ENVIRONMENTAL ASSESSMENT: SP 2016-SP-032**  
Ambassadors for Jesus Arabic Evangelical Church

This memorandum, prepared by Mary Ann Welton, includes citations from the Comprehensive Plan that list and explain land use and environmental policies for this property. Plan citations are followed by a discussion of concerns including a description of potential impacts that may result from the proposed development as depicted on the special permit plat revised through June 10, 2016. Possible solutions to remedy identified issues are suggested. Other solutions may be acceptable, provided that they achieve the desired degree of mitigation and are in harmony with Plan policies.

### DESCRIPTION

The 4.74 acre subject property is located on the south side of Braddock Road. The site is zoned R-C (Residential Conservation, 1 dwelling unit per 5-10 acres). The applicant seeks special permit approval to construct a 350 seat place of worship with 159 parking spaces and it would include a Sunday school and gathering hall to be constructed in two phases. The proposed development would achieve a maximum of a 0.096 Floor Area Ratio (FAR) and a maximum building height of 45 feet; 0.15 FAR and a 60 foot building height is the maximum allowed for this use in the R-C District.

### LOCATION AND CHARACTER OF THE AREA

The application property is located on the south side of Braddock Road approximately 800 feet west of Doyle Road and generally east of the Fairfax County Parkway in the Springfield Magisterial District. The site is currently undeveloped land within the Water Supply Protection Overlay District (WSPOD) and it is surrounded by other non-residential uses to the south, west and east and single family detached residences are across Braddock Road to the north.

Excellence \* Innovation \* Stewardship  
Integrity \* Teamwork \* Public Service

Department of Planning and Zoning  
Planning Division  
12055 Government Center Parkway, Suite 730  
Fairfax, Virginia 22035-5509  
Phone 703-324-1380  
Fax 703-653-9447  
[www.fairfaxcounty.gov/dpz/](http://www.fairfaxcounty.gov/dpz/)



DEPARTMENT OF  
**PLANNING  
& ZONING**

The area north of Braddock Road is currently planned for residential use at 1-2 dwelling units per acre and private open space. The area surrounding the site to the west, south and east is currently planned for low density residential use at .1-.2 dwelling units per acre, private open space and public park.

## **ANALYSIS**

The Comprehensive Plan is the basis for the evaluation of this application. The assessment of the proposal is based on addressing the land use and environmental recommendations of the Comprehensive Plan.

### **Land Use**

The Comprehensive Plan provides guidance that development within the Occoquan Reservoir watershed should respect the County's commitment to water quality protection for the entire watershed. The application property is situated in the Twin Lakes Community Planning Sector which falls entirely within the Occoquan Reservoir watershed and Plan guidance further directs that non-residential uses requiring special exception and special permit approval should be oriented to an arterial and should be of a compatible size and scale so as not to adversely impact the surrounding area.

The application does address plan guidance.

- The site is oriented to Braddock Road with a single access point.
- The place of worship is designed to retain 50% of the site in undisturbed open space to address water quality impacts.
- The application proposes a building design and footprint which is not land intensive and with a building height and square footage below the maximums permitted by the R-C Zoning regulations.

The applicant has indicated that the building will feature a traditional church design with plank siding, large windows and a stone base to reflect architectural details typically found in a suburban context.

Staff believes that the proposed church and related facilities are in harmony with the Comprehensive Plan.

### **Environment**

This section identifies the environmental concerns raised by an evaluation of this site and the proposed development. Solutions are suggested to remedy the concerns that have been identified by staff. There may be other acceptable solutions. Particular emphasis is given to opportunities provided by this application to conserve the county's remaining natural amenities.

**Water Quality Protection and Stormwater Best Management Practices:** The subject property falls within the Johnny Moore Creek Watershed. The stormwater management narrative indicates that water quality requirements for the newly constructed facility will be provided by nine filterra and a storm filter. Stormwater runoff will be retained onsite by underground stormwater

facilities designed to achieve both water quality and water quantity control. The outfall narrative indicates that runoff from a majority of the site will then be discharged into the existing storm sewer situated north of the site along Braddock Road which outfalls in a VDOT pond situated to the east. Runoff from a smaller area of the site will be diverted west toward the Little Rocky Run watershed. The proposed stormwater management/best management practice measures and outfall adequacy will be subject to further review and approval by the Department of Public Works and Environmental Services (DPWES).

**Tree Preservation/Restoration:** The subject property is characterized by a dense canopy of deciduous and evergreen trees. Because of the site's location within the Occoquan watershed, the development plan appropriately demonstrates preservation of the southern half of the site or 2.37 acres. To ensure preservation of the open space into perpetuity, the applicant is encouraged to place this area in a protective easement.

**Green Building Practices:** The Policy Plan incorporates guidance in support of the application of energy conservation, water conservation and other green building practices in the design and construction of new development and redevelopment projects. The statement of justification makes no reference to the County's Green Building Policy. The applicant is encouraged to demonstrate support of the County's Green Building Policy.

DMJ: MAW

#### **COMPREHENSIVE PLAN CITATIONS:**

Fairfax County Comprehensive Plan, 2013 Area III, Pohick Planning District, P1-Twin Lakes Community Planning Sector, as amended through October 20, 2015 on page 22 states:

1. The entire P1 Planning Sector is located within the watershed of the Occoquan Reservoir. Protection of the Occoquan Reservoir water quality is the primary objective for this area. Almost all of the land in the sector is planned for residential uses within a density range of .1-.2 dwelling unit per acre. This conforms with findings in the Occoquan Basin Study and is commensurate with predominant densities and the well-established character of existing development in this sector.
2. Nonresidential uses requiring special exception or special permit approval should be rigorously reviewed. In general, these uses should be located at the boundary of Low Density Residential Areas and Suburban Neighborhoods or where their impact on existing residences is minimal. These uses should be granted only if the following conditions are met:
  - Access for the use is oriented to an arterial;
  - The use is of a size and scale that will not adversely impact the character of the area in which it is located; and
  - The use is designed to mitigate impacts on the water quality of the Occoquan Reservoir.

The Fairfax County Comprehensive Plan, Policy Plan, 2013 Edition, Environment section as amended through July 1, 2014, page 7-8 states:

**“Objective 2: Prevent and reduce pollution of surface and groundwater resources. Protect and restore the ecological integrity of streams in Fairfax County.**

Policy a. Maintain a best management practices (BMP) program for Fairfax County and ensure that new development and redevelopment complies with the County’s best management practice (BMP) requirements...

Policy k. For new development and redevelopment, apply better site design and low impact development (LID) techniques such as those described below, and pursue commitments to reduce stormwater runoff volumes and peak flows, to increase groundwater recharge, and to increase preservation of undisturbed areas. In order to minimize the impacts that new development and redevelopment projects may have on the County’s streams, some or all of the following practices should be considered where not in conflict with land use compatibility objectives:

- Minimize the amount of impervious surface created.
- Site buildings to minimize impervious cover associated with driveways and parking areas and to encourage tree preservation. . . .
- Encourage cluster development when designed to maximize protection of ecologically valuable land. . . .
- Encourage fulfillment of tree cover requirements through tree preservation instead of replanting where existing tree cover permits. Commit to tree preservation thresholds that exceed the minimum Zoning Ordinance requirements.
- Where appropriate, use protective easements in areas outside of private residential lots as a mechanism to protect wooded areas and steep slopes. . . .
- Encourage the use of innovative BMPs and infiltration techniques of stormwater management where site conditions are appropriate, if consistent with County requirements.
- Apply nonstructural best management practices and bioengineering practices where site conditions are appropriate, if consistent with County requirements. ”

The Fairfax County Comprehensive Plan, Policy Plan, 2013 Edition, Environment section as amended through July 1, 2014, page 10 states:

**“Objective 3: Protect the Potomac Estuary and the Chesapeake Bay from the avoidable impacts of land use activities in Fairfax County.**

Policy a. Ensure that new development and redevelopment complies with the County's Chesapeake Bay Preservation Ordinance. . . .”

The Fairfax County Comprehensive Plan, 2013 Edition, Policy Plan, Environment, as amended through July 1, 2014, page 18 states:

**“Objective 10: Conserve and restore tree cover on developed and developing sites. Provide tree cover on sites where it is absent prior to development.**

Policy a: Protect or restore the maximum amount of tree cover on developed and developing sites consistent with planned land use and good silvicultural practices. . . .”

In the Fairfax County Comprehensive Plan, 2013 Edition, Policy Plan, Environment, as amended through July 1, 2014, on pages 19 -20 the Plan states:

**“Objective 13: Design and construct buildings and associated landscapes to use energy water resources efficiently and to minimize short- and long-term negative impacts on the environment and building occupants.**

Policy a. In consideration of other Policy Plan objectives, encourage the application of energy conservation, water conservation and other green building practices in the design and construction of new development and redevelopment projects. These practices may include, but are not limited to:

- Environmentally-sensitive siting and construction of development;
- Application of low impact development practices, including minimization of impervious cover (See Policy k under Objective 2 of this section of the *Policy Plan*);
- Optimization of energy performance of structures/energy-efficient design;
- Use of renewable energy resources;

- Use of energy efficient appliances, heating/cooling systems, lighting and/or other products;
- Application of best practices for water conservation, such as water efficient landscaping and innovative wastewater technologies, that can serve to reduce the use of potable water and/or reduce stormwater runoff volumes;
- Reuse of existing building materials for redevelopment projects;
- Recycling/salvage of non-hazardous construction, demolition, and land clearing debris;
- Use of recycled and rapidly renewable building materials;
- Use of building materials and products that originate from nearby sources;
- Reduction of potential indoor air quality problems through measures such as increased ventilation, indoor air testing and use of low-emitting adhesives, sealants, paints/coatings, carpeting and other building materials;
- Reuse, preservation and conservation of existing buildings, including historic structures;
- Retrofitting of other green building practices within existing structures to be preserved, conserved and reused;
- Energy and water usage data collection and performance monitoring;
- Solid waste and recycling management practices; and
- Natural lighting for occupants.

Encourage commitments to implementation of green building practices through certification under established green building rating systems for individual buildings (e.g., the U.S. Green Building Council's Leadership in Energy and Environmental Design for New Construction [LEED-NC®] or the U.S. Green Building Council's Leadership in Energy and Environmental Design for Core and Shell [LEED-CS®] program or other equivalent programs with third party certification). An equivalent program is one that is independent, third-party verified, and has regional or national recognition or one

that otherwise includes multiple green building concepts and overall levels of green building performance that are at least similar in scope to the applicable LEED rating system. Encourage commitments to the attainment of the ENERGY STAR® rating where available. . . . Encourage the inclusion of professionals with green building accreditation on development teams. Encourage commitments to the provision of information to owners of buildings with green building/energy efficiency measures that identifies both the benefits of these measures and their associated maintenance needs. . . .”

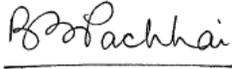


# County of Fairfax, Virginia

## MEMORANDUM

DATE: July 11, 2016

TO: Erin Haley, Staff Coordinator  
Zoning Evaluation Division  
Department of Planning and Zoning

FROM: Bel Pachhai, PE, CFM, Senior Engineer III   
Site Development and Inspections Division  
Department of Public Works and Environmental Services

SUBJECT: Special Permit Application #SP 2016-SP-032; Ambassadors for Jesus Arabic Evangelical Church; SPP dated June 10, 2016, LDS Project #001794-ZONA-004-1, Tax Map #066-2-02-0001; Johnny Moore Creek Watershed; Springfield District

We have reviewed the subject revised plan and offer the following Stormwater management comments.

### **Chesapeake Bay Preservation Ordinance (CBPO)**

There are no Resource Protection Areas on the site.

### **Floodplain**

There are no regulated floodplains on the site.

### **Downstream Drainage Complaints**

There are no recent downstream flooding complaints on file. Detention is mandatory when there are downstream drainage complaints.

### **Stormwater Detention**

Applicant stated on sheet #5 that the detention requirements will be met for this development by providing underground SWM system. Detention requirements must be met if not waived (PFM 6-0301.2).

### **Water Quality Control**

Applicant stated on sheet #5 that the water quality requirements will be met for this development using Filterra and Stormfilter. The VRRM spreadsheets demonstrating compliance with the water quality requirement for the redevelopment as per Chapter 124 of the County Code has been provided on sheet #6 but the drainage area sheet demonstrating how much area is treated by Filterra and Stormfilter is still missing in the plan.

Furthermore, every effort shall be made to provide BMP more than that of minimum necessary.

### **Onsite Major Storm Drainage System and Overland Relief**

Applicant needs to show that no buildings will be flooded during the 100-year storm event assuming that the minor system fails due to blocking. Applicant needs to provide an overland relief narrative and arrows showing runoff flow path for the 100-year storm event. Cross-sections at key locations including the building entrances must be shown on the site plan.

### **Downstream Drainage System**

The general outfall narrative has been provided but not properly addressed for channel and flood protection. Adequacy of outfall system shall be demonstrated in the site plan as per SWO 124-4-4(B) & (C)

### **Drainage Diversion**

Applicant intended to divert drainage from 0.85 acre area of Johnny Moore Creek watershed to Little Rocky Run Watershed due to lack of bed and banks and storm sewer pipe. If natural drainage divides cannot be honored, a drainage diversion justification narrative must be provided. The increase and decrease in discharge rates, volumes, and durations of concentrated and non-concentrated Stormwater runoff leaving a development site due to the diverted flow shall not have an adverse impact (e.g., soil erosion; sedimentation; yard, dwelling, building, or private structure flooding; duration of ponding water; inadequate overland relief) on adjacent or downstream properties. (PFM 6-0202.2A)

### **Stormwater Planning Comments**

This case is located in the Johnny Moore Creek Watershed. Please visit <http://www.fairfaxcounty.gov/dpwes/watersheds/johnnymoorecreek.htm> for water quality projects proposed near the subject site and coordinate with Stormwater Planning Division to address their comments, if any.

### **Dam Breach**

None of this property is within the dam breach inundation zone.

### **Stormwater Management Proffers**

Comments on the draft proffers will be provided separately once we receive the draft proffers.

Please contact me at 703-324-1698 if you require additional information.



Erin Haley, Staff Coordinator

SP 2016-SP-032 (Ambassadors for Jesus); 001794-ZONA-004-1; Springfield District

Page 3 of 3

BBP/

cc: Fred Rose, Chief, Watershed Planning & Assessment Branch, Stormwater Planning  
Division, DPWES  
Don Demetrius, Chief, Watershed Evaluation Branch, SPD, DPWES  
Durga Kharel, Chief, South Branch, SDID, DPWES  
Zoning Application File





# County of Fairfax, Virginia

## MEMORANDUM

**DATE:** September 2, 2016

**TO:** Barbara Berlin, Director  
Zoning Evaluation Division, Department of Planning & Zoning

**FROM:** Michael A. Davis, Acting Chief   
Site Analysis Section, Department of Transportation

**FILE:** SP 2016-SP-032

**SUBJECT:** SP 2016-SP-032 – Ambassadors for Jesus Arabic Evangelical Church  
Tax Map: 66-2 ((2)) 1

This department has reviewed the subject application including plans, dated January 29, 2016, and revised through June 10, 2016. The applicant is requesting permission to develop a church and gathering hall on Braddock Road in Clifton.

In response to previous comments, the applicant has relocated the drop-off area to the rear of the building, which will provide a more adequate vehicle queuing area, particularly during peak drop-off times. Staff expressed concern regarding the cumulative impact of traffic on Braddock Road on Sundays, given the number of religious institutions operating within a close proximity to each other. The applicant has agreed to the following, in response to staff concerns:

- Amend their statement of justification to include a trip generation estimate for the weekday PM and Sunday peak hours for the proposed use, and to include a discussion of how the service times for the subject property may overlap with service times for the two approved churches just to the east of the subject property (King's Chapel and Congregation of Jehovah's Witnesses).
- Include a development condition demonstrating that they will conduct a signal warrant analysis at the time of site plan for the intersection of Doyle Road and Braddock Road, and contribute to the design and construction of a traffic signal if signal warrants are met.

With the implementation of the development condition, staff believes transportation issues have been adequately addressed.

MAD/VLH  
cc: Erin Haley/DPZ



# County of Fairfax, Virginia

## MEMORANDUM

**DATE:** July 7, 2016

**TO:** Erin M. Haley  
Planner II  
Department of Planning and Zoning

**FROM:** Ian Fuze, Urban Forester II  
Forest Conservation Branch, DPWES

**SUBJECT:** Ambassadors for Jesus Arabic Evangelical-Braddock Woods Section 1, Lot 1.SP 2016-SP-032

The following comments are based on a second submission review of the Application for a Special Permit, SP 2016-SP-032 and Statement of Justification both date stamped as received by the Department of Planning and Zoning on June 10, 2016.

1. Comment: Although peripheral parking lot landscaping is now provided along the eastern or western property, the minimum width of any planting area shall be 8 feet, measured from the interior of the sides of the restrictive barrier such as curb or pavement. Trees shall be located no closer than 4 feet from any restrictive barrier.

Recommendation: The peripheral parking lot landscaping should be provided per the above reference comment or a request to waive or modify this requirement should be included as part of the Special Permit Application.

2. Comment: The second submission comment does not address the first submission recommendation, "It is unclear how the 10-year canopy cover for the site will be met. The Forest Stand Summary Table on the Existing Vegetation Map notes heavy invasive species and rates the general ecological condition as poor. Trees that do not meet pre-development standards for structural integrity and health shall not be afforded tree canopy cover credits for purposes of meeting 10-year canopy requirements."

Recommendation: The applicant should provide a 10-Year Tree Canopy Calculation worksheet demonstrating how the site will meet its required 10-Year Tree Canopy.

Please contact me should you have any questions.

IF/tw

UFMDID #: 214580

Department of Public Works and Environmental Services  
Urban Forest Management Division  
12055 Government Center Parkway, Suite 518  
Fairfax, Virginia 22035-5503  
Phone 703-324-1770, TTY: 711, Fax: 703-653-9550  
[www.fairfaxcounty.gov/dpwes](http://www.fairfaxcounty.gov/dpwes)



**8-006 General Standards**

In addition to the specific standards set forth hereinafter with regard to particular special permit uses, all special permit uses shall satisfy the following general standards:

1. The proposed use at the specified location shall be in harmony with the adopted comprehensive plan.
2. The proposed use shall be in harmony with the general purpose and intent of the applicable zoning district regulations.
3. The proposed use shall be such that it will be harmonious with and will not adversely affect the use or development of neighboring properties in accordance with the applicable zoning district regulations and the adopted comprehensive plan. The location, size and height of buildings, structures, walls and fences, and the nature and extent of screening, buffering and landscaping shall be such that the use will not hinder or discourage the appropriate development and use of adjacent or nearby land and/or buildings or impair the value thereof.
4. The proposed use shall be such that pedestrian and vehicular traffic associated with such use will not be hazardous or conflict with the existing and anticipated traffic in the neighborhood.
5. In addition to the standards which may be set forth in this Article for a particular group or use, the BZA shall require landscaping and screening in accordance with the provisions of Article 13.
6. Open space shall be provided in an amount equivalent to that specified for the zoning district in which the proposed use is located.
7. Adequate utility, drainage, parking, loading and other necessary facilities to serve the proposed use shall be provided. Parking and loading requirements shall be in accordance with the provisions of Article 11.
8. Signs shall be regulated by the provisions of Article 12; however, the BZA, under the authority presented in Sect. 007 below, may impose more strict requirements for a given use than those set forth in this Ordinance.

**8-303 Standards for all Group 3 Uses**

In addition to the general standards set forth in Sect. 006 above, all Group 3 special permit uses shall satisfy the following standards:

1. Except as may be qualified in the following Sections, all uses shall comply with the lot size and bulk regulations of the zoning district in which located; however, subject to the provisions of Sect. 9-607, the maximum building height for a Group 3 use may be increased.
2. All uses shall comply with the performance standards specified for the zoning district in which located.
3. Before establishment, all uses, including modifications or alterations to existing uses, except home child care facilities, shall be subject to the provisions of Article 17, Site Plans.